

December 15, 2021

IRVINGTON UNION FREE SCHOOL DISTRICT
FACILITIES STORAGE BUILDING AT IRVINGTON CAMPUS:
SED Control Number: 66-04-02-02-2-022-001

CONTRACT G – GENERAL CONSTRUCTION, CIVIL & SITE WORK
HVAC WORK, PLUMBING WORK
ELECTRICAL WORK

WESTCHESTER COUNTY, NEW YORK

NOTE: *This clarification forms a part of the contract documents for the above project and must be acknowledged in the plans and specifications. Attach it to the inside front cover of each of the specifications.*

CLARIFICATION TO PROJECT:

1. Drawing C501.00 has been omitted from the project.

CLARIFICATION TO SPECIFICATIONS:

2. Remove *TABLE OF CONTENTS* and replace with revised *TABLE OF CONTENTS*, attached herewith. Specification section 074216 Metal Soffit Panels has been added.
3. Add SPECIFICATION SECTION NEW FACILITIES STORAGE BUILDING – SPECIAL PROVISIONS, attached herewith.
4. Remove *SPECIFICATION 004116.11 PROPOSAL (PB-G)* and replace with revised *SPECIFICATION 004116.11 PROPOSAL (PB-G)*, attached herewith. DIVISION 33 – UTILITIES has been added.
5. Add *SPECIFICATION 074216 METAL SOFFIT PANELS*, attached herewith.

CLARIFICATION TO DRAWINGS:

1. Remove *DRAWING G0.0 GENERAL NOTES, ABBREVIATIONS, DRAWING LIST, STAGING PLAN, LOCATION MAP AND LEGEND* and replace with revised *DRAWING G0.0 GENERAL NOTES, ABBREVIATIONS, DRAWING LIST, STAGING PLAN, LOCATION MAP AND LEGEND*, attached herewith. There is an update to the civil drawing list.
2. Remove *DRAWING CD100.00 EXISTING CONDITIONS AND DEMOLITION SITE PLAN* and replace with revised *DRAWING CD100.00 EXISTING CONDITIONS AND DEMOLITION SITE PLAN*, attached herewith. Added asphalt replacement ADD/ALTERNATE.
3. Remove *DRAWING C101.00 ADD ALTERNATE PAVEMENT RESTORATION PLAN* and replace with revised *DRAWING C101.00 ADD ALTERNATE PAVEMENT RESTORATION PLAN*, attached herewith. Added asphalt replacement ADD/ALTERNATE. Removed new force main, new sanitary manhole and new lift station.
4. Remove *DRAWING C500.00 SITE DETAILS* and replace with revised *DRAWING C500.00 SITE DETAILS*, attached herewith. Added asphalt replacement ADD/ALTERNATE. Removed Pipe Trench Detail #10.
5. Remove *DRAWING A6.0 DOOR SCHEDULE AND DETAILS* and replace with revised *DRAWING A6.0 DOOR SCHEDULE AND DETAILS*, attached herewith. The West wall is to receive epoxy instead of PT.

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REQUEST FOR INFORMATION FROM NEW STYLE CONTRACTORS, INC.:

1. Please clarify any and all items that the owner will be providing for contractor installation.

RFI Response: Please review the drawings and specifications for clarification as it states who is responsible for the work.

2. Please specify whether there will be any required off-hour, after hours, and/or night work throughout the duration of this job.

RFI Response: Permitted working hours are Monday thru Friday between 7am and 7pm, and if necessary, Saturdays from 9am to 5pm as per local noise ordinances. No work on Sundays. No off hours are anticipated unless the Contractor is making up for schedule delays.

3. Will all noisy work be required to be performed after-hours?

RFI Response: Noisy work will be done during regular hours

4. Is there any specific phasing on this project?

RFI Response: The Construction Schedule is June 27, 2022 thru August 31, 2022. All work is planned to start and finish over the summer when there are no students.

5. Is this an occupied facility?

RFI Response: The project scope includes a new building. Adjacent, existing buildings will have minimal occupants during the summer Construction Schedule. Access must be maintained at all times for School deliveries and emergency access.

6. Please confirm that in the event of conflicting provisions within the bid documents, the more expensive option should be included with the bid price.

RFI Response: Confirmed

7. Is there any parking near the building?

RFI Response: Parking locations for contractors will be designated by the Construction Manager.

8. Please advise on labor affiliation for this project.

RFI Response: This is a public bid governed by the NYS labor laws.

9. Are there any MWBE goals set for this project?

RFI Response: MWBE is encouraged but not a requirement of the contract.

10. Where can the GC place its trailer / temporary office?

RFI Response: Trailer locations will be designated by the Construction Manager. Any utilities to the trailers are at each Prime Contractors own expense.

11. What areas can be used for storage?

RFI Response: See contract documents. Storage locations will be approved by the Construction

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Manager.

12. Are there any allowances on this project?

RFI Response: Yes. Refer to Specification 004116.11 – Proposal (PB-G)

13. Are there any alternates on this project?

RFI Response: Yes. Refer to Specification 004116.11 – Proposal (PB-G)

REQUEST FOR INFORMATION FROM PIEROTTI CORP.:

1. Drawing C101 shows new lift station referencing P Sheets, this is not shown on the plumbing drawings. Please provide details.

RFI response: Please refer to revised Drawing C101.00, attached herein. The new force main, new sanitary manhole and new lift station are removed from the scope of work (see 'CLARIFICATIONS TO DRAWINGS')

2. Borings B-11, B-12 and B-13 look to be where the new force main is going, boring logs note termination at 1-foot below grade with no note if rock was encountered. Please advise if rock removal is required for the new force main and depth of rock to assume.

RFI response: Please refer to revised Drawing C101.00, attached herein. The new force main, new sanitary manhole and new lift station are removed from the scope of work (see 'CLARIFICATIONS TO DRAWINGS')

3. Drawing A6.0 under finish schedule shows North, East & South walls as epoxy and West wall as PT. Are these meant to be epoxy paint and regular paint? There are no specifications for painting. Please advise.

RFI response: Please refer to revised Drawing A6.0 DOOR SCHEDULE AND DETAILS, attached herein. The West wall is to receive epoxy. (see 'CLARIFICATIONS TO DRAWINGS')

4. Revised bid form in Addendum #2 does not have a line item for DIV 33 – Utilities which should be all the underground outside the building limits. Please advise where this should be allocated.

RFI response: Please refer to revised Specification 004116.11 PROPOSAL (PB-G). See 'Clarifications to Specifications'.

5. Please provide specifications for metal soffit as shown on A3.0 wall section 3.

RFI response: Please refer to added Specification 074216 METAL SOFFIT PANELS. See 'Clarifications to Specifications'.

IRVINGTON UNION FREE SCHOOL DISTRICT
FACILITIES STORAGE BUILDING AT IRVINGTON CAMPUS

SED Control No. 66-04-02-02-2-022-001

**CONTRACT G – GENERAL CONSTRUCTION WORK, HVAC WORK, PLUMBING WORK,
ELECTRICAL WORK, CIVIL & SITE WORK**

DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS

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002113	INSTRUCTIONS FOR BIDDERS
002515	QUALIFICATIONS OF BIDDERS
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005209	SAMPLE AGREEMENT
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007244	WEEKLY PAYROLL FORM – WH347
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SAMPLE AIA DOCUMENTS

AIA A310	(BID BOND)
AIA A312	(PERFORMANCE BOND)
AIA A312	(PAYMENT BOND)
AIA G702	(APPLICATION AND CERTIFICATE FOR PAYMENT)
AIA G703	(CONTINUATION SHEET)
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AIA G706	(CONTRACTOR'S AFFIDAVIT OF PAYMENT OF DEBTS AND CLAIMS)
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014500.01	STATEMENT OF SPECIAL INSPECTION AND TESTS
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DIVISION 05 - METAL

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074400	CONCRETE FACED PANELS
076200	SHEET METAL FLASHING AND TRIM
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078413	FIRESTOPPING



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DIVISION 09 - FINISHES

096716 EPOXY FLUID – APPLIED FLOORING

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220517 SLEEVES AND SLEEVE SEALS FOR PLUMBING PIPING
220523 GENERAL-DUTY VALVES FOR PLUMBING PIPING
220529 HANGERS AND SUPPORTS FOR PLUMBING PIPING AND EQUIPMENT
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DIVISION 23 – HVAC

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DIVISION 26 – ELECTRICAL

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260519 LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES
260529 HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS
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DIVISION 33 – UTILITIES

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SPECIAL PROVISIONS

These Special Provisions are in addition to the Plans, Specifications and the other Contract Documents and shall be part of this Agreement between the Owner and the Contractor. All references to "This Prime Contractor", "This Contractor" or "Contractor" refer to the General Contractor, Mechanical Contractor and Electrical Contractor, Plumbing Contractor, and Site Work Contractor. In cases of contradictions, the most stringent Provision shall govern.

General Requirements for a Single Prime Contractor

I. General

1. All dates, durations, etc. defined herein shall be in business days.
2. Except for the basic building permit, the Prime Contractor's price shall include all fees and other costs for securing and maintaining (by the Prime Contractors or their subcontractors) for the life of the job; all permits, PE licenses, connection fees, inspections, etc., applicable to, or customarily secured for the Work. This provision includes any applications and/or permits to be issued by utility companies in the name of the Prime Contractor, or the Owner, as required for the Work. Originals of all permits are to be issued in the name of the Prime Contractor as required for the Work. The Prime Contractor shall furnish the Construction Manager with original copies of all permits prior to the commencement of the Work, and, shall prominently display a copy of all permits at a location agreed to with the Construction Manager.
3. One week after Notice to Proceed (NTP), the Prime Contractor shall provide two copies of a videotaped recording of all existing conditions to the Construction Manager. This taping shall provide a record of all-existing buildings, grounds, exterior conditions and interior conditions. The Contractor shall schedule a representative of both the Owner and the Construction Manager to be present at this taping. In the absence of this record, the Prime Contractor shall be responsible for paying the costs associated with any and all repairs or replacements of existing materials and/ or conditions that were damaged in an area where the Prime Contractor is working or has worked, as may be deemed necessary by the Owner or the Construction Manager.
4. The Prime Contractor is responsible for providing the required mock-ups defined by the Contract Documents out of sequence as needed by the Architect.
5. The Prime Contractor is responsible for providing all required Engineered material calculations as defined by the contract documents.
6. The Prime Contractor shall provide drinking water for his own employees.
7. On Site Communications. The Prime Contractor shall provide, or otherwise see that, the project manager, or site managers, and/or responsible workers of the Prime Contractor and major subcontractor are equipped with cellular phones for the purpose of staying in contact with for the Construction Manager.
8. The Prime Contractor shall include in his base price the cost of all rigging and equipment required for the performance and installation of the Work.

II. Schedule

1. The Prime Contractor is to recognize that the Project Schedule is of critical importance to the Owner. All aspects of construction must reflect a 'time is of the essence' construction strategy. The attached 'Bid Schedules' serves as a guide of critical milestone dates to the Project. Failure to meet intermediate milestone dates will jeopardize the overall Project Schedule. This failure will mandate Contractor(s) to, increase staff, work overtime, or use other means to recover time, at the costs of those Contractor(s) responsible for such delays. In addition, all costs due to delays in completion of the Work, which require additional Custodial Overtime, Construction Management services, Architectural services, and Engineering services beyond the Work duration in the Bid Schedule, shall be borne by Contractor(s) responsible for delays.
2. The Prime Contractor shall review the completed "Final" detailed construction schedule and acknowledge their acceptance of this schedule by signing a copy to be kept on record by the Construction Manager. This agreed upon schedule must incorporate all milestone dates and shall be established within five (5) weeks of Notice to Proceed.
3. The Prime Contractor shall update the detailed construction schedule with the Construction Manager and issue copies to the Owner, Construction Manager, and the Architect monthly.
4. The Prime Contractor is to submit a schedule of projected fabrication on long lead items (items requiring four weeks and over to fabricate) three weeks after Notice to Proceed. Progress/Status reports on fabrication to be submitted to the Construction Manager every two weeks. 'Rate of Change' chart and marked up shop drawings to be included in these reports.
5. The Prime Contractors shall be responsible for coordinating and expediting their fabrication and delivery schedules and keeping the Construction Manager informed as to their progress and their anticipated ability to stay on schedule. Should it become necessary (in the opinion of the Construction Manager) to supplement the Prime Contractor's expediting efforts in order to maintain job progress, the Construction Manager may elect to charge all costs incurred to said Prime Contractor.
6. In the event that Owner makes special arrangements to open a building at the request of a Contractor and the Contractor does not show, the Prime Contractor shall pay the Owner all costs incurred. All parties agree that any action taken to enforce this requirement shall not be construed by the Prime Contractor or its subcontractors/suppliers, as a reason for a claim (for either time or money) for delay to, or cost of, the Work or to the Prime Contractor, its subcontractors, or suppliers.
7. The Owner shall take occupancy of the new building spaces in accordance with the dates established by the Bid Schedule and the Special Provisions. The Contractors shall perform all Work necessary to maintain the Owner's move-in and occupancy schedule.
8. The Prime Contractor shall include in their base price, all out of sequence Work and any Work required to be performed during overtime hours or non-working hours necessary to maintain the Master Schedule, the Prime Contractors' project schedule, or, the Owner's move-in schedule.

Milestone Requirements

Submittal Priorities

The following submittal dates are critical to allow for proper fabrication timeframes to ensure timely completion of the project to meet the attached bid schedule. A complete listing of all submittal requirements is located in "Section 01 33 00 Submittal Requirements"

Major Submittals

Concrete Footings and Foundations	15 days from Notice to Proceed
EFIS System	15 days from Notice to Proceed
Cold Formed Metal Frame and Decking	20 days from Notice to Proceed
Asphalt Roofing Systems	15 days from Notice to Proceed
Exterior Doors/ Frames/Hardware	15 days from Notice to Proceed
Garage Doors	20 days from Notice to Proceed
Exterior and Interior Signage	20 days from Notice to Proceed
Site Fencing	20 days from Notice to Proceed
Interior Finishes	20 days from Notice to Proceed
Oil/ water Separator	20 days from Notice to Proceed
HWH	20 days from Notice to Proceed
Plumbing Fixtures, piping, and Accessories	20 days from Notice to Proceed
Mechanical Unit Heaters and Fans	15 days from Notice to Proceed
Underground service conduit and cable	15 days from Notice to Proceed
Raceways, panels, and boxes for Electrical	15 days from Notice to Proceed
Hangers and supports for Electrical Systems	15 days from Notice to Proceed
Interior and Exterior Power wiring and Conduit	15 days from Notice to Proceed
Wiring Devices	15 days from Notice to Proceed
Interior and Exterior Lighting	15 days from Notice to Proceed
Fire Detection and Alarm System	15 days from Notice to Proceed
Card Lock Hardware System	15 days from Notice to Proceed
Grading and Final Topsoil	15 days after Notice to Proceed
Excavation, Backfill, and Compaction	15 days after Notice to Proceed
Site/ Sediment Protection, Temp. Site Fencing	15 days after Notice to Proceed
Trenching and Associated Piping	15 days after Notice to Proceed
Rock Removal	15 days after Notice to Proceed
Aggregate Base Courses	15 days after Notice to Proceed
Asphalt Paving	15 days after Notice to Proceed
All remaining Submittals with-in	25 days from Notice to Proceed

Construction Milestones

Special consideration should be made to the requirements of the project bid schedule attached in the Specifications. The Prime Contractor will be required to man each contract to meet the milestone dates indicated below and/or in the contract bid schedule. All costs should be included in the bid for working multiple shifts, nights, weekends, and holidays to complete each phase of the project.

Time frames indicated, show milestone dates required to be met by The Prime Contractor. These areas, once completed, will be punch-listed and given partial occupancy for the Owner to occupy. Occupying these areas is critical to the Owner. If said dates are not met Liquidated damages may be assessed and back-charged to the responsible Contractor.

Key Milestone Dates

New Facilities Storage Building

- o Construction Start June 27, 2022, Substantial Completion August 30, 2022, Final Completion September 30, 2022.

Summary of Work

This contract work is intended take place over the summer when school is not in session. Any work required after September 1, 2022 will be completed after regular school hours at no additional cost to the District. The appropriate construction site fencing will enclose the entire work area. Unabated construction area access for this Prime Contractor will be maintained by the High School Construction Project at all times. This Prime Contractor will allow roadway access around the construction site for the District deliveries and other Prime Contractor work in the exiting courtyard.

Faculty, Staff, and Students will be occupying the existing building, track and fields throughout the summer.

Be advised that the main roadway leading into campus (Heritage Hill Road) is a public roadway and cannot be closed or burdened by materials or equipment at any time.

It is anticipated that rock removal will be necessary. No blasting will be allowed.

SCHOOL OPERATIONS & CONTRACTOR WORK HOURS

This project will affect areas, which in some cases will remain in operation during construction. During the school session all contract work not effecting the District's Operation may be performed weekdays during the hours of 7:00 a.m. and 7:00 p.m. All contract work effecting the Operation of the School must be performed on an after-hours schedule, weekends or school holidays.

The Prime Contractor may work Saturdays to make up for lost time (Saturday work will be required if necessary, to meet deadline) with prior approval from the Owner and after Contractor has verified allowable working hours by town ordinance. Work will not be permitted on Sundays and Jewish Holidays.

III. SAFETY / LOGISTICS/STORAGE

1. Two weeks after the receipt of the Notice to Proceed, the Prime Contractor shall provide a Site Safety/Logistics Plan to the Construction Manager. The site logistics plan should minimally include locations of the eight-foot high temporary fence, traffic plans for deliveries and removals, refuse container locations, crane locations, pick locations, boom radius, and lift locations. This plan shall also show the location of all staging and storage areas, non-rated and fire-rated partitions used to separate construction and school areas, made with plywood

and/or gypsum wallboard, etc. The logistical information represented by the construction documents shall serve as a minimal guide.

2. The Prime Contractor is to submit their corporate safety policy (5) days after notice to proceed. Plan to minimally meet OSHA standards and current COVID-19 protocols. The Prime Contractor shall make the participation of their subcontractors in this program mandatory. These Safety Programs should be a detailed Company Policy defining the specifics as to how a safe work environment shall be maintained.
3. The Prime Contractor and Sub Contractors shall schedule weekly safety meetings (Job Site Safety Talks) and submit meeting minutes indicating attendees and topics to the Construction Manager.
4. The Prime Contractor is to identify in writing to the Construction Manager their "OSHA Competent Person Regarding Safety" Definition. "Competent person" means one who is capable of identifying existing and predictable hazards in the surroundings or working conditions which are unsanitary, hazardous, or dangerous to employees, and who has authorization to take prompt corrective measures to eliminate them.
5. All flagmen required for deliveries to the site are to be furnished by the Prime Contractor responsible for the delivery. Any and all deliveries crossing the site or student traffic areas shall be escorted by flagmen. All flagmen shall wear orange vests. All deliveries shall be scheduled and coordinated with the Construction Manager and the Owner. Delivery blackout periods for bus traffic interference shall be established with the Construction Manager.
6. Smoking, firearms, alcoholic beverages, indecent photography, and radios are expressly prohibited on all school properties. All persons representing Contractors, subcontractors or suppliers shall wear shirts, long pants and other proper attire while on school property. All persons representing Contractors, subcontractors or suppliers shall conduct themselves in a professional manner consistent with the rules and policies of The School District, and the New York State Education Department while on school property or otherwise representing this project.
7. The Prime Contractor will ensure that all their employees, while on school property, will wear hard hats, high visibility vests, and ID badges at all times. Anyone on site without this safety gear will be escorted off school property.
8. The Prime Contractor will ensure that every employee working on this project has completed a 10-hour OSHA training course. Any worker that cannot present a 10-hour OASHA safety-training card will be escorted off the property.
9. Food truck vendors for Construction Workers will only be allowed on school property with prior authorization from the School District. The District may allow or discontinue food vendor truck service at any time for any reason.
10. **Identification Badges.** The Prime Contractor will provide an ID badge for each of their field personnel prior to coming on school property. All workmen shall display the badge on their person while on site, and at all times. Failure to wear identification badge at all times will result in the immediate removal from the jobsite.
11. The Prime Contractor is responsible for their own storage and personnel trailers at each site. The Contractor will be required to supply man trailers and storage box trailers as required. All costs related to its delivery, construction, protection, power, etc. is borne by the individual Contractors utilizing space. The Owner WILL NOT PROVIDE STORAGE SPACE. The placement of these trailers will be strictly limited to predetermined locations. Approval of the placement of any trailer or storage box must be received from the Construction Manager.

12. The parking for construction personnel shall be limited to designated parking areas only. Failure to abide by this rule will result in towing of cars at the expense of the Contractor whom employs the individual.
13. All delivery vehicles/trucks/machinery/etc. permitted on site, must be equipped with back-up alarms and enter through the designated access points. Failure to demonstrate this ability will result in cancellation of delivery or stoppage of work. All delays associated with this cancellation will be the responsibility of the Contractor responsible for the Work involved.
14. All temporary construction site fences installed by the any Contractor shall be installed with a tightly woven, blind screen mesh. This mesh is to be installed on the "construction" side of the fence. This Contractor will maintain all fencing daily and lock gates at the end of the day. All fencing must also include signage at least every 25 feet the reads "Construction area keep out" and "No trespassing"
15. All crane picks, material delivery, etc. must be coordinated with the Construction Manager and must not lift over any occupied area of the building. If absolutely necessary, this work shall be done on off hours to ensure the safety of the building occupants. Crane location must be carefully chosen to ensure the safety of building occupants.
16. The Owner or Construction Manager reserves the right to have all hoisting equipment periodically inspected by an independent inspector whose findings will be binding. The Prime Contractor at its own expense must make corrections before continuing work. The Owner or Construction Manager will not assume any responsibility for the safe operation of any hoisting equipment by exercising this right. The Prime Contractor or Sub Contractor shall cooperate with the inspector by allowing time for the inspection. The Prime Contractor shall be notified 24 hours prior to the time of the inspection. These inspections do not release the Prime Contractor of their responsibility to provide all engineering, permits, and inspections as required by OSHA or the SED prior to use of any hoisting equipment.
17. All vehicular traffic (personal vehicles, trucks, equipment, deliveries, etc.) are to use the designated entrances as outlined on the Contractor Logistics Drawings. Access by other routes is to be on exception basis only.

IV. SUBMITTALS

1. Each copy of each submittal shall have attached as the cover page the "Submittal Cover Sheet". All information requested in "Section 01 33 00 Submittal Requirements" shall be provided by the respective Contractor. Submittals will be returned without review if the cover sheet is not accurately completed.
2. The Prime Contractor shall generate a complete "Submittal Log" within one calendar week of the Notice to Proceed. This log is to list all required submittals specific to your trade as detailed in the Project Manual/Specs. See enclosed form for your use. "ROJ" stands for Required on Job to assist your judgment of the time gap between submission, Architect review, fabrication/procurement and on-site need for putting the work item into place.
3. The Prime Contractor shall review all submissions for completeness. The Prime Contractor is responsible to stamp all shop drawings prior to submission to the Architect. The Architect will not review any shop drawings unless first reviewed by said Contractor. Bundle similar material submissions for proper review. Use the Architects Submittal cover sheet located in the Specifications

4. **All submissions shall be sent electronically to the Architect. Submittals will be processed and stored electronically, with access available to all Prime Contractors for coordination.**
5. The Prime Contractor shall provide one transmittal for each submission package identifying each unique submission individually. For each submittal with the submission package, the Prime Contractor shall identify the length of the delivery time and the necessary "last date" an item may be received on site. Each Prime Contractor shall keep a log of all submissions in a manner prescribed by the Construction Manager and the attached form. Minimally, the Contractor shall update this submittal log biweekly and provide a copy to the Construction Manager for review and information.
6. The Prime Contractor shall copy the Construction Manager's Project Manager on all transmittals, correspondence, RFI's and any other documents sent to the Architect, his consultants or the Owner
7. At the direction of the Construction Manager, the Prime Contractor shall provide copies of either document and/or data files for any requested document on one of the following programs: Microsoft Word, Microsoft Excel, or Primavera's SureTrack – Project Manager 2.0 scheduling program.

VI. MANAGEMENT OF WORK

1. **The Prime Contractor shall employ (from one week after Notice to Proceed until punch-list and closeout are complete) at a minimum a part time Project Manager and full-time on-Site Super. The Project Manager and Site Super shall represent the Prime Contractor. All communications given to the Project Manager or Site Super either verbal or written shall be as binding as if given to the Prime Contractor. Important communications shall be so confirmed in writing.**
2. The Prime Contractor shall provide copies of their daily construction reports to the Construction Manager's Project Manager. These reports shall be submitted no later than 10:00am the following workday. The daily reports shall provide detailed information concerning the Prime Contractors' activities and operation only. Daily Construction Reports to the owners' representative detailing manpower and work activities on site. A "Daily Construction" form is attached and shall be used for reporting these said activities. In addition, the Contractors are to submit Two Week Look Ahead schedules at every construction meeting which describes coming work in detail. A "Two Week Look Ahead" form is also attached and shall be used to report said activities
3. The Prime Contractor shall have responsible representation at the **MANDATORY** weekly job meetings held at the Construction Manager's job office from notice to proceed thru close out. These meetings will be held to arrange for a satisfactory coordination of all building trades so as not to impede job progress. **Prime Contractors or subcontractors who fail to attend the meetings will be back-charged \$500.00 per each occurrence.**
4. The Prime Contractor shall submit two-week look ahead schedules identifying the anticipated activity, and material needs for all of the work scheduled to be formed by the Prime Contractor and his subcontractors for the identified time period. The Prime Contractor shall keep this schedule current and provide a biweekly report to the Construction Manager concerning the actual performance and activity compared to the two-week look ahead.
5. The MEP Coordination shall follow the guidelines stated below:
 - a. It is the responsibility of the Prime Contractor to coordinate with the architectural details and elements, such as soffits, variations in ceiling height and materials,

fire/smoke partitions or barriers, folding partition, doors, lockers, and any other general construction items that impact the space above the ceiling or otherwise requiring light framing and/or miscellaneous support or bracing.

6. If the Prime Contractor fails to keep the site safe and clean within four hours of being notified by the Construction Manager either verbally or in writing, the Construction Manager will have this work performed and back charged to the appropriate Prime Contractor at prevailing overtime rates plus 15%. Notice to field personnel is deemed notice to this Prime Contractor.
7. Dust and fume control are essential to the reduction of health risks to the surrounding personnel. Methods of dust control shall include but not be limited to the following:
 - a. Adequate ventilation.
 - b. Wetting down.
 - c. Keeping bags of insulating materials, cement, etc. closed.
 - d. Controlled mixing of materials under field conditions.
 - e. Special attention should be utilized in sawing of insulation and certain acoustical materials and storage of materials.
 - f. Job housekeeping must be maintained.
 - g. Advising all personnel of hazardous conditions, including supervisors and workmen.
 - h. The Prime Contractor shall be responsible for instituting the above policies to ensure minimal impact to surrounding occupied areas.
8. The Prime Contractor shall confine operations on the premises to areas designated by the Construction Manager and permitted by law, ordinances, permits and the Contract Documents, and shall not unreasonably encumber the Premises with any materials or equipment. The Prime Contractor shall coordinate all of his operations with, and secure approval from, the Construction Manager, before using any portion of the Premises. Field personnel are to be confined to the work area assigned.
9. Where material is specified to be furnished by others or furnished and delivered only, the Prime Contractor installing the material shall be responsible for scheduling the delivery and receiving, unloading, storing, handling, relocating, hoisting, distribution, laying out and installing this material. Upon receipt by the Prime Contractor installing the material, risk of loss and damage shall be borne by that Contractor.
10. The Contractors and their subcontractors shall allow sufficient time to inspect and accept the work. Should any discrepancies be discovered, The Construction Manager shall be notified sufficiently in advance so that corrective action can be agreed to and taken (by all necessary parties) without affecting the progress of any Contractor or the work.
11. The Prime Contractor is advised to exert utmost care and diligence when working in or near any existing buildings or site work which is to remain. The absence of protection around such items shall not excuse the Prime Contractor from his liability to provide protection. Any damages to the existing buildings, sitework or facilities shall be repaired and expensed to the responsible Prime Contractor.
12. The Prime Contractor shall be solely responsible to remove and replace the existing ceiling tiles and grid in areas of the existing building where their work is required but new ceilings are not scheduled. In the event that the existing ceilings are damaged and cannot be replaced to the satisfaction of the Owner, the responsible Prime Contractor shall be solely responsible for replacing, in kind, the existing ceilings with new tile and grid. A qualified Contractor, acceptable to the Owner, shall perform all ceiling replacements.
13. All disconnect and/or tie-in work involving any utilities that would interfere with the ongoing operations of the Owner shall be completed on an after-hours basis. The performance of this work shall be projected on the required schedules and the Owners Representative is to be

notified at least forty-eight hours in advance of commencing with this work. All overtime and standby personnel necessary to complete these tie-ins shall be the responsibility of the Prime Contractor performing the work.

14. At the same time the Prime Contractor submits their Insurance Certificate they shall also submit to the Construction Manager the prevailing wage labor rates of each category of labor for which he or his subcontractors shall employ (either directly or indirectly). This information shall be itemized in the format shown below.

Contractor's Name					
Contractor's Address					
Contractor's Office Phone					
Contractor's Fax Number					
Contractor's Email Address					
Labor Rate Breakdown					
Worker's Title		Journey man	1.5 Rate	Fore man	1.5 Rate
Base Hourly Rate					
Payroll Tax & Insurance:	% Per Hr.				
FICA					
Federal Unemployment State					
Workers Compensation Disability					
Other (Explanation Required)					
Subtotal					
Benefits:	\$ Per Hr.				
Vacation					
Health & Welfare					
Pension					
Annuity					
401K Fund					
Other (Explanation Required)					
Other (Explanation Required)					
Subtotal					
Hourly Labor Rate					

VII. REQUEST FOR INFORMATION (RFIs)

1. Please refer to the specifications for Construction Phase Clarifications-Request for Information from Architect's Office" for a complete explanation of the process and copy of RFI form.

VIII. TESTING/INSPECTIONS

1. If the Architect or Owner determines that any work requires special inspection, testing or approval the Owner's Representative will instruct the Prime Contractor of such special inspection, or testing. If such special inspection or testing reveals a failure of the work to comply with the requirements of the Contract Documents, the Prime Contractor shall bear all costs thereof, including compensation for the Architect's, Owner's Representative's, and Testing Lab costs.
2. Contractor shall furnish incidental labor to:
 - a. Provide access to the work to be tested, sampled, and inspected.
 - b. Obtain and handle samples at the project site or at the source of the product to be tested.
 - c. Facilitate inspections, samplings and tests.
 - d. Coordinate with the Owners Rep and testing lab and submit schedule of required tests one week in advance.
 - e. Coordinate inspections
3. As they relate to the timely prosecution of the work, the Prime Contractors shall coordinate when independent testing and inspections are needed with the Construction Manager. If the Prime fails to coordinate such inspections and additional costs are incurred to the Owner, the Prime Contractor will be responsible for that inspection cost.
4. **The following is a list of intended inspections:**
 - a. Soil bearing, sub-grade inspection and/or compaction
 - b. Concrete field and plant testing & rebar placement
 - c. Asphalt and sub-base inspection
 - d. Soil compaction, density and sieve analysis testing, soil bearing
 - e. Roofing, flashing, waterproofing
 - f. Under slab plumbing work
5. Architect and Owner's Representative shall be notified forty-eight hours prior to the need of testing, in the event the Contractor does not give proper notification and the work is done with no test, that Contractor will bear all costs for such tests.
6. **All testing costs will be paid for by the Owner except as noted above.**
7. As part of the two-week look ahead, the Prime Contractor shall provide the Construction Manager with a schedule of all anticipated on-site Owner supplied inspections (if any are required). The Prime Contractor shall submit all requests for Owner-supplied inspection for all items of controlled inspection by 1:30 p.m. of the day previous.

IX. CHANGES TO THE WORK

1. Refer to the General Conditions for additional information pertaining to this subject.
2. All change proposals for extra work by the Prime Contractors shall be submitted to the Construction Manager, with a complete labor and material breakdown and on the basis of net difference in quantities. The Owner reserves the right to request adequate back up such as invoices, subcontractor quotes, etc., to substantiate the change order cost. Current labor rates for all trades are to be submitted to the Construction Manager by the respective Prime Contractors at the first scheduled job meeting. When both additions and deductions are involved in any one change, the allowance for overhead and profit shall be figured on the basis of net increase or decrease. All change requests shall include the following breakdown:
 - a. Materials (itemized breakdown)
 - b. Rental of equipment (itemized breakdown)
 - c. Labor (itemized breakdown)
 - d. Insurance
 - e. **Subtotal**
 - f. Overhead 10%
 - g. **Subtotal**
 - h. Subcontractor work (same as above, subcontractor O & P 10%)
 - i. **Subtotal**
 - j. Profit 5%
 - k. **Subtotal**
 - l. Bond charges 2%
 - m. **Total change order**

X. SCHEDULE OF VALUES/PAYMENTS

1. Within one week after Notice to Proceed, the Prime Contractor shall submit a detailed billing breakdown on the AIA G702/ G703 form for approval by Construction Manager. No payments will be made until such billing breakdown is approved.
2. The schedule of values will be reviewed and adjusted if necessary. Once approved, the schedule of values is to be used for the AIA pay application. The schedule of value will take into account and include at minimum the following items:
 - a. Bond/insurance based on actual invoice amount
 - b. Labor and material on line items as applicable
 - c. Submittals - 1% of contract sum
 - d. Punch list - 1% of contract sum
 - e. Close-out documents/warranties - 3% of the contract sum
 - f. Meeting Attendance & Meeting Documentation - 2% of the contract sum
 - g. Allowances
 - h. Approved Alternates
 - i. Labor and Material breakdown for each line item

Note: ALL PAYMENT APPLICATIONS SHALL INCLUDE A 5% RETAINAGE FACTOR.

3. The Owner has elected to require the Prime Contractor to submit releases of liens with respect to all Work previously performed and for which payments were made under a preceding application. Beginning with the second payment requisition and with each

subsequent payment requisition, each Prime Contractor shall furnish to Owner the following documents:

- a. Labor and/or Materials Affidavit
 - b. Daily and Weekly Wage Affidavit
 - c. Prime Contractor's-Partial Release and Wavier of Lien
4. Monthly Payment Applications for Payments shall be made as per Article 9 of the General Conditions of the Contract

XI. PUNCH LIST:

1. Upon substantial completion of each phase of work, the Prime Contractor is to submit to the Owner/Construction Manager a letter declaring the work is substantial complete. Included with said letter is to be the Contractor's punch list. Upon the receipt of above, the Construction Manager will schedule with the Owner, Architect, and Contractor a walk through to develop a single final punch list. This single final punch list agreed by all parties shall serve as the only punch list. Upon failure to complete the final punch list within two weeks from receipt, the Owner reserves the right to complete same and back-charge the costs of material, labor, supervision and other incidental costs.

XII. INSURANCE/INDEMNIFICATION

1. The Prime Contractors must issue a Certificate of Insurance with liability limits as defined in the Construction Documents naming Triton Construction Company, The Architect, and the School District as an 'Additional Insured' in addition to all other parties as stipulated in the General Conditions of the Contract in the project manual.
2. All Prime Contractors agree to indemnify and hold harmless Triton Construction Company, The Architect, the School District, its agents and employees in addition to all other parties as stipulated in the General Conditions of the Contract in the project manual.
3. All Prime Contractors and Sub-Contractors/sub-subcontractor's/vendors/etc. insurance/indemnification shall comply with Article 10 "Insurance" and Article 12 "Indemnification" as specified in the General Conditions of the Contract in the project manual.

Specific Scope Requirements for the Prime Contractor

1. This Prime Contractor shall provide, for all new building construction, and existing building renovation work, all necessary site refuse containers and disposal services to maintain the site in a clean and safe condition. This Prime Contractor shall be responsible for emptying and/or replacing all containers on a regular basis or when full. All containers and disposal services shall be provided by a single entity.
2. This Prime Contractor will employ the necessary laborer for the purpose of maintaining general housekeeping and safety of the work area, including but not limited to all site fencing, erosion and sediment control, and broom cleaning daily. Failure to do so may result in back-charges by the District

3. This Prime Contractor will provide a flag person, when required, at the entrance gates and Public roadways to coordinate deliveries for their work from the street and protect the public.
4. This Prime Contractor shall coordinate all the Electrical, Mechanical, Plumbing, and Civil/ Site Contractors work under this contract. This Prime Contractor to allow other Prime Contractors unabated access to the building and surrounding work areas to complete their work.
5. This Prime Contractor shall provide and maintain temporary chemical toilets for the duration of the project at the new addition, building renovations, and Site work for all Contractors. The quantity of these toilets should be as required to properly maintain sanitary facilities and easy access for the personnel on the job. This quantity shall be one toilet for every ten workers, and a minimum of two toilets per major work area. This requirement shall include all necessary paper products, supplies and services, as well as the maintenance of these toilets until all work is complete and the Owner assumes partial occupancy of the building additions and renovations. As a minimum, this Contractor shall include the pumping and servicing of these toilets twice per week.
6. This Prime Contractor or General Construction will provide, maintain, and remove all temporary construction fencing enclosing construction work areas, or storage and trailer park areas.
7. This Prime Contractor shall include in his bid price, all costs to provide an 8' ht. rental type chain link temporary construction fencing and gates around the entire construction work area. All fencing shall have a tightly woven, blind screen mesh installed on the "construction" side of the fence. Mesh to be dark green or black. When directed by the Construction Manager, this Prime Contractor shall remove and dispose of this fencing and all related materials. Gates for man access shall be passive to the exterior of the jobsite during the event of an emergency but remain closed for un-authorized entry during construction. All gates shall be chain locked when the site is not active, with a double-keyed system, granting the District access to the site after-hours
8. This Prime Contractor shall provide and maintain all temporary protection of existing building floors, walls, doorways, etc. in order to access the construction areas.
9. Construction Signage. The Prime Contractor shall include in his base price all construction signage required by OSHA. At the site fence, "Construction Area keep out", "Hard Hats Required" and "Authorized personal only" signage shall be posted every 25' on site fencing. This Prime Contractor shall reference the logistics plans for each project to include any other signage designated for entry gates. Signs shall be made of either metal or durable PVC to endure the project duration.
10. Professional Cleaning: The Prime Contractor shall provide a professional commercial cleaning service to prepare all areas of interior construction for use and to provide a final cleaning after substantial completion is achieved and after direction to provide such service is received from the Construction Manager. This work shall be completed in cooperation with the building maintenance staff and their respective procedures. As part of this service, this Prime shall wax all new or repaired floors, and wash or clean all walls, doors, windows,

- frames, casework, blinds, unit ventilators, shelves, counters, toilet fixture, sinks, equipment, etc. All work shall be performed in place or on site and does not include sending items out for service or special cleaning operations. Building Services shall provide this Contractor with the necessary paper products, hand soaps, trash liners and other products to fill (one time) any dispensers or accessories in order for these items to be prepared for use.
11. This Prime Contractor is responsible for protection of finished work. Including but not limited to, floors, walls, and doors. This Prime Contractor will provide, maintain, and remove the appropriate protection materials necessary to adequately protect his finished product.
 12. This Prime Contractor should note there are areas where the existing ceilings are remaining. Unless otherwise indicated, This Contractor will be required to remove and reinstall any ceilings displaced by installation of this Contractor's Work. If open ceilings are not replaced within a twenty-four-hour period after a request by the Construction Manager, either verbal or written, the Construction Manager will have said ceilings reinstalled and all related costs will be back charged to said Contractor.
 13. Unless otherwise noted in the construction documents, this Prime Contractor will repair and patch all existing building walls, floors, and ceilings to match adjacent finishes after the removal of interior partitions, ceilings, floors. Each Prime Contractor will cut and cap and patch their own work inside finished walls, floors and ceilings.
 14. Stormwater: This Prime Contractor will be responsible to install sewer and stormwater structures and piping associated with the new building. Stormwater and ponding during the period where final connections have yet to be made will be managed by this Prime Contractor. Ponding of water within or directly outside the site due to construction activities will be mitigated by this Prime contractor, by removing the water by pumping or with re-grading the disturbed area.
 15. Soil Erosion: This Prime Contractor will be responsible to establish and maintain a soil erosion fence around the disturbed site during the entirety of construction until authorized by the Civil Engineer to remove such provisions. This Prime contractor will also provide erosion control at each existing and new nearby storm basin or inlet structure.
 16. Exterior Site underground Trenching: This Prime Contractor will provide coordination for any excavation, bedding, backfill, or support of excavation for any underground utility work required outside the building footprint.
 17. Trenching inside new building footprint: This Prime Contractor will provide coordination for any saw cutting, removal, or patching of existing building slabs, including excavation, bedding, backfill, or support of excavation for any underground utility work required inside the new building or existing building footprint.
 18. This Prime Contractor will remove and dispose of topsoil inside the building footprint, and install stone subbase, water barrier, and concrete slabs. This contractor will provide excavation, compaction, and backfill for new building foundations and footings.
 19. This Prime Contractor will provide all plumbing work associated with the contract documents, including but not limited to Plumbing fixtures, equipment, piping, insulation, signage and tie-ins for a complete assembly of the work.

20. This Prime Contractor will provide all Mechanical work associated with the contract documents, including but not limited to Mechanical fixtures, equipment, piping, insulation, signage and tie-ins for a complete assembly of the work.
21. This Prime Contractor will provide all Electrical work associated with the contract documents, including but not limited to Electrical fixtures, equipment, piping, insulation, signage and tie-ins for a complete assembly of the work.
22. This Prime Contractor shall provide and maintain temporary light and power operational throughout the entire building (normal working hours 7:00 am to 4:00 pm). This applies to all scheduled workdays, Monday through Saturday inclusive, which are established as regular workdays for any trade engaged in the work, including such days that are holidays for Electricians but are regular workdays for other trades. These services are to be kept operational until the CM determines that they are no longer required for the execution of the work.
23. This Prime Contractor is to develop a separate site-specific electrical service shutdown/upgrade schedule within four weeks after Notice to Proceed. This schedule will be developed in conjunction with the Construction Manager and the Owner. No service shutdown/transfer will be permitted at any time without prior written notification.
24. This Prime Contractor shall remove and replace all Asphalt pavements with-in the area of work defined on the construction documents.

Note: The bidder is asked to use either black ink or typewriter (black ribbon) in completing this proposal form. Each line item amount must be completed. Failure to do so will be grounds for disqualification of the bidder.

BASE BID: Contract G – General Construction Work

ITEM 1 – BONDS and INSURANCES

(written in words) _____ (\$)

ITEM 2 – DIVISION 1 – GENERAL REQUIREMENTS

(written in words) _____ (\$)

ITEM 3 – DIVISION 1 – PROJECT SUPERVISION

(written in words) _____ (\$)

ITEM 4 – DIVISION 2 – EXISTING CONDITIONS & DEMOLITION WORK

(written in words) _____ (\$)

ITEM 6 – DIVISION 3 – CONCRETE

(written in words) _____ (\$)

ITEM 7 – DIVISION 4 – MASONRY

(written in words) _____ (\$)

ITEM 8 – DIVISION 5 – METALS

(written in words) _____ (\$)

ITEM 9 – DIVISION 6 – WOOD, PLASTICS AND COMPOSITES

(written in words) _____ (\$)

ITEM 10 – DIVISION 7 – THERMAL AND MOISTURE PROTECTION

(written in words) _____ (\$)

ITEM 11 – DIVISION 7 – PENETRATION FIRESTOPPING

(written in words) _____ (\$)

ITEM 12 – DIVISION 8 - OPENINGS

(written in words) _____ (\$)

ITEM 13 – DIVISION 9 - FINISHES

(written in words) _____ (\$)

ITEM 14 – DIVISION 32 – WATER SUPPLY SYSTEM

(written in words) _____ (\$)

ITEM 15 – DIVISION 22 – PLUMBING EQUIPMENT

(written in words) _____ (\$)

ITEM 16 – DIVISION 22 – ALL OTHER PLUMBING CONTRACT ITEMS

(written in words) _____ (\$)

ITEM 17 – DIVISION 23 – SHEET METAL WORK

(written in words) _____ (\$)

ITEM 18 – DIVISION 23 – DIFFUSERS, REGISTERS & GRILLES

(written in words) _____ (\$)

ITEM 19 – DIVISION 23 – HVAC CONTROLS

(written in words) _____ (\$)

ITEM 20 – DIVISION 23 – ALL OTHER MECHANICAL CONTRACT ITEMS

(written in words) _____ (\$)

ITEM 21 – DIVISION 26 – CONDUIT, CONDUCTORS, BOXES & WIRE TROUGHS

(written in words) _____ (\$)

ITEM 22 – DIVISION 26 – WIRING DEVICES

(written in words) _____ (\$)

ITEM 23 – DIVISION 26 – ELECTRIC SERVICE AND PANEL BOARDS

(written in words) _____ (\$)

ITEM 24 – DIVISION 26 – LIGHTING

(written in words) _____ (\$)

ITEM 25 – DIVISION 28 – ALARM, SIGNAL & DETECTION

(written in words) _____ (\$)

ITEM 26 – DIVISION 26– ALL OTHER ELECTRICAL CONTRACT ITEMS

(written in words) _____ (\$)

ITEM 27 – DIVISION 31 – EARTHWORK

(written in words) _____ (\$)

ITEM 28 – DIVISION 32 – EXTERIOR IMPROVEMENTS

3 (written in words) _____ (\$ _____)
ITEM 29 – DIVISION 33 – UTILITIES
(written in words) _____ (\$ _____)
ITEM 30 – PROJECT CLOSEOUT
(written in words) _____ (\$ _____)

ALLOWANCE G1 – ALLOWANCE FOR GENERAL CONTINGENCY

(written in words) Thirty Thousand Dollars and 00 Cents (\$30,000.00)

<p>TOTAL BASE BID (ITEMS 1 – 29 INCLUSIVE, PLUS ALLOWANCE G1) (written in words) _____ (\$ _____)</p>

Note: The IRVINGTON UNION FREE SCHOOL DISTRICT is exempt from Federal, New York State and local taxes. TOTAL AMOUNT BID shall be exclusive of all taxes.

EACH BIDDER SHALL SUBMIT WITH IT'S BID A SEPARATE SEALED LIST THAT NAMES THE SUBCONTRACTORS THAT THE BIDDER WILL USE TO PERFORM WORK AND THE AGREED UPON AMOUNT TO BE PAID FOR A.) HEATING, VENTILATION AND AIR-CONDITIONING WORK, B.) PLUMBING WORK AND C.) ELECTRICAL WORK. AFTER THE LOW BID IS ANNOUNCED, THE SEALED LIST OF SUBCONTRACTORS SUBMITTED BY THE APPARENT LOW BIDDER SHALL BE OPENED AND THE NAMES OF THE SUBCONTRACTORS ANNOUNCED. ANY CHANGE OF SUBCONTRACTOR OR AGREED UPON AMOUNT TO BE PAID SHALL REQUIRE THE APPROVAL OF THE PUBLIC OWNER, UPON A SHOWING OF "LEGITIMATE CONSTRUCTION NEED" FOR SUCH CHANGE.

"LEGITIMATE CONSTRUCTION NEED" SHALL INCLUDE, BUT NOT BE LIMITED TO:

- A CHANGE IN PROJECT SPECIFICATIONS,
- A CHANGE IN CONSTRUCTION MATERIAL COSTS,
- A CHANGE IN SUBCONTRACTOR STATUS, OR
- THE SUBCONTRACTOR HAS BECOME UNWILLING, UNABLE OR UNAVAILABLE TO PERFORM THE SUBCONTRACT.

THE SEALED LISTS OF SUBCONTRACTORS SUBMITTED BY ALL OTHER BIDDERS SHALL BE RETURNED TO THEM UNOPENED AFTER THE CONTRACT AWARD.

PAYMENTS TO SUBCONTRACTORS AND MATERIAL MEN MUST BE MADE WITHIN 7 CALENDAR DAYS AS OPPOSED TO 15 CALENDAR DAYS OF THE RECEIPT OF PAYMENT FORM THE PUBLIC OWNER. FAILURE TO PAY WITHIN 7 CALENDAR DAYS WILL RESULT IN INTEREST DUE FOR ALL CALENDAR DAYS SUBSEQUENT TO THE SEVENTH DAY THROUGH THE DATE THAT PAYMENT IS MADE.

THE BIDDER UNDERSTANDS THAT THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS AND TO WAIVE ANY INFORMALITIES IN THE BIDDING.

THE BIDDER AGREES THAT THE BID SHALL BE GOOD AND MAY NOT BE WITHDRAWN FOR A PERIOD OF **FORTY-FIVE (45)** CALENDAR DAYS AFTER THE SCHEDULED CLOSING TIME FOR RECEIVING BIDS.

THE BIDDER HAS SUBMITTED ALL REQUESTS FOR OTHER BRAND NAMES OR PRODUCTS NOT LISTED IN THE SPECIFICATIONS IN ACCORDANCE WITH ARTICLE 6(W) OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.

ALTERNATE WORK

THE CONTRACTOR SHALL CLEARLY STATE WHETHER COST INDICATED IS TO BE ADDED TO OR DEDUCTED FROM THE BASE BID COST. FAILURE TO CLEARLY STATE SAME WILL BE GROUNDS FOR DISQUALIFICATION OF THE BIDDER.

ALL WORK INCLUDED UNDER THIS HEADING SHALL BE SUBJECT TO THE GENERAL CONDITIONS OF THE PROJECT. ALL CONSTRUCTION, WORKMANSHIP AND FINISHES REQUIRED BY THE ALTERNATES SHALL BE AS SPECIFIED IN THE APPLICABLE SECTIONS OF THE SPECIFICATIONS MANUAL.

THE BIDDER PROPOSES AND AGREES THAT SHOULD THE FOLLOWING ALTERNATES BE ACCEPTED AND INCLUDED IN THE CONTRACT, THE AMOUNT OF THE TOTAL BASE BID WILL BE REVISED AS FOLLOWS. THE UNDERSIGNED FURTHER AGREES THAT SHOULD THE FOLLOWING ALTERNATES BE ACCEPTED, THE ALTERNATE BID PRICES INDICATED SHALL BE HELD AND HONORED FOR A PERIOD OF ONE YEAR FROM THE DATE OF CONTRACT SIGNING.

NUMBER	DESCRIPTION	COST
C-1	PAVEMENT RESTORATION Provide all labor, material and equipment required and as specified for work related to restoring pavement including but not limited to removal of materials as required, new asphaltic concrete courses and pavement striping, for areas of existing pavement as shown on the contract documents	\$ _____ Is

<p>TOTAL BID (ITEMS 1 – 29 INCLUSIVE, PLUS ALLOWANCE G1 AND ALTERNATE C-1) (written in words) _____ (\$ _____)</p>

UNIT PRICES

THE CONTRACT SHALL INCLUDE UNIT PRICES AS HEREIN STATED. SHOULD THE AMOUNT OF WORK REQUIRED BY THE CONTRACT DOCUMENTS BE INCREASED OR DECREASED, THE FOLLOWING UNIT PRICES SHALL BE USED AS A BASIS FOR COMPUTING THE COST TO THE DISTRICT, OR THE CREDIT DUE THE DISTRICT AS THE CASE MAY BE, FOR SUCH INCREASES OR DECREASES IN THE WORK. THE LISTED UNIT PRICES WILL ALSO BE USED FOR DETERMINING THE VALUE OF QUANTITIES INCLUDED IN THE SPECIFICATIONS. PRICES SHALL REFLECT THE BASIS FOR FURNISHING ALL LABOR, MATERIAL, EQUIPMENT AND OTHER RELATED ITEMS NECESSARY FOR COMPLETION OF WORK (IN PLACE). THE QUOTED FIGURE SHALL INCLUDE CONTRACTOR'S OVERHEAD AND PROFIT.

THE OWNER/ARCHITECT HEREBY RESERVES THE RIGHT TO ORDER ANY ADDITION OR DEDUCTION OF MATERIALS ON BASIS OF UNIT COST FIGURES QUOTED.

NUMBER	DESCRIPTION	COST
CU-1	Trench Rock Provide all labor, material and equipment trench rock and replace with compacted structural fill, to be used as an add or deduct from bid quantities and/or allocation of bid allowance. Unit of Measurement: per cubic yard of trench rock measured in place.	\$ _____ cy
CU-2	Rock Excavation / Removal Provide all labor, material and equipment for rock excavation / removal using non-blasting methods and replace with compacted structural fill, to be used from allocation of bid allowance. Unit of Measurement: per cubic yard of rock measured in place.	\$ _____ cy

SITE SUPERVISION

THE SUCCESSFUL CONTRACTOR IS TO PROVIDE FULL TIME SITE SUPERVISION FOR HIS OR HER STAFF, SUBCONTRACTORS AND SUPPLIERS FOR THE DURATION OF THIS PROJECT. A COMPETENT SUPERINTENDENT SHALL BE IN ATTENDANCE AT THE JOB SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED UNDER THEIR CONTRACT. THE SUPERINTENDENT IS RESPONSIBLE TO VISIT THE JOB SITE DAILY WHEN WORK IS NOT BEING PERFORMED UNDER THEIR CONTRACT AND TO MONITOR THE OVERALL CONSTRUCTION PROGRESS. A QUALIFIED SITE SUPERINTENDENT MUST HAVE THE AUTHORITY TO REPRESENT AND MAKE DECISIONS FOR HIS OR HER COMPANY WITH REGARDS TO THE SUBJECT JOB, MUST BE ABLE TO GIVE GUIDANCE AND DIRECTION TO EMPLOYEES, SUBCONTRACTORS AND SUPPLIERS, AND MUST BE KNOWLEDGEABLE ABOUT THE WORK TO BE PROVIDED. FAILURE TO PROVIDE A QUALIFIED SITE SUPERINTENDENT AT THE JOB SITE SHALL SUBJECT SAID PRIME CONTRACTOR TO A PENALTY OF \$1,000 PER DAY FOR EVERY OCCURRENCE.

TIME OF COMPLETION

ALL WORK UNDER THIS CONTRACT SHALL BE COMPLETED BETWEEN THE FOLLOWING HOURS, IN ACCORDANCE WITH THE FOLLOWING DATES:

- WORK DAYS: MONDAY – FRIDAY**
- WORK HOURS: 7:00 AM – 5:00 PM**
- WEEKEND WORK DAYS: SATURDAY**
- WEEKEND WORK HOURS: 9:00 AM – 5:00 PM**
- CONSTRUCTION START DATE: MONDAY, JUNE 27, 2022**
- SUBSTANTIAL COMPLETION: TUESDAY, AUGUST 30, 2022**

FINAL COMPLETION:

FRIDAY, SEPTEMBER 30, 2022

IF NECESSARY, WEEKEND, HOLIDAY AND EVENING WORK SHALL BE PROVIDED TO ENSURE THE COMPLETION DATES LISTED ABOVE, AT THE SOLE COST AND EXPENSE OF THE BIDDER.

FAILURE OF THE CONTRACTOR TO COMPLETE WORK BY THE SPECIFIED TIME SHALL SUBJECT HIM/HER TO LIQUIDATED DAMAGES AS SET FORTH IN ARTICLE 13 OF THE GENERAL CONDITIONS.

THE ARCHITECT/ENGINEER SHALL ACT AS THE RECORD KEEPER OF CONTRACT DAYS; HE WILL BE THE SOLE JUDGE OF DELAYS CAUSED BY WEATHER. ONLY WEATHER DELAYS, AS ADJUDGED BY THE ARCHITECT/ENGINEER, WILL BE CONSIDERED FOR EXTENSIONS OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL SUBMIT A BI-WEEKLY REQUEST FOR DELAYS DUE TO WEATHER TO THE ARCHITECT/ENGINEER FOR APPROVAL. NO OTHER DELAY CLAIMS WILL BE ACCEPTED, FOR CREDIT TOWARDS THE PROJECT COMPLETION SCHEDULE, REGARDLESS OF THE SOURCE OF THE DELAY.

FAILURE OF THE CONTRACTOR TO COMPLETE ALL WORK SHOWN AND SPECIFIED IN THE CONTRACT DOCUMENTS, BY ALL OF THE SPECIFIED TIME FRAMES, SHALL SUBJECT THE CONTRACTOR TO LIQUIDATED DAMAGES, AS SET FORTH IN ARTICLE 13 OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, IN THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) PER CALENDAR DAY. SUCH DAMAGES WILL COMMENCE ON THE DAY AFTER THE COMPLETION DATE OR THE DAY AFTER ANY LISTED MILESTONE DATE IN THE NOTICE TO PROCEED.

WITHIN TEN (10) CONSECUTIVE CALENDAR DAYS AFTER THE DATE OF THE NOTICE OF AWARD, THE BIDDER SHALL EXECUTE THE CONTRACT AND FURNISH THE REQUIRED PERFORMANCE BOND, PAYMENT BOND AND INSURANCES.

THE BOARD OF EDUCATION OF THE DISTRICT RESERVES THE RIGHT TO AWARD THIS CONTRACT TO OTHER THAN THE LOW BIDDER IF THE LAW SO PERMITS.

THE UNDERSIGNED HEREBY ACKNOWLEDGES RECEIPT OF THE FOLLOWING ADDENDA (IF ANY):

<u>ADDENDUM NO.</u>	<u>DATED</u>
_____	_____
_____	_____

SPECIFIC DAMAGES WILL BE ASSESSED AND DEDUCTED FROM AMOUNTS OTHERWISE DUE THE CONTRACTOR FOR ADDITIONAL INSPECTION (FIELD) AND CONTRACT ADMINISTRATION (OFFICE) TIME EXPENDED BY THE ARCHITECT/ENGINEER AND/OR OTHER CONSTRUCTION EMPLOYEE(S) HIRED TO ADMINISTER OR OBSERVE THE CONTRACT, SHOULD THE CONTRACTOR COMPLETE THE CONTRACT BEYOND THE CONTRACT COMPLETION PERIOD SPECIFIED ABOVE.

SUCH DEDUCTION SHALL BE IN ACCORDANCE WITH THE ARCHITECT, ENGINEER'S, AND/OR OTHER CONSTRUCTION EMPLOYEE(S) STANDARD HOURLY BILLING RATES IN EFFECT AT THE TIME FOR THE SCHOOL DISTRICT.

THE REQUIREMENTS OF THE PROPOSAL HAVE BEEN COMPLETELY READ, UNDERSTOOD AND ACKNOWLEDGED BY THE BIDDER.

BIDDER: _____

NOTICE TO BIDDERS
IRVINGTON UNION FREE SCHOOL DISTRICT



BIDDER'S ADDRESS: _____

SIGNED BY: _____ TITLE: _____

DATE: _____

Telephone number where the contractor or a competent representative can accept a telephone message and provide a reasonable reply as soon as possible, but not later than twenty-four (24) hours:

DAY: () _____ NIGHT: () _____

FAX: () _____

FEDERAL I.D. NO. OR SOCIAL SECURITY NO.: _____

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Manufactured metal panels for soffits, with related flashings and accessory components.

1.02 REFERENCE STANDARDS

- A. AAMA 609 & 610 - Cleaning and Maintenance Guide for Architecturally Finished Aluminum (Combined Document); 2015.
- B. ASTM A653/A653M - Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process; 2015.
- C. ASTM B209 - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate; 2014.

1.03 SUBMITTALS

- A. See Section 013300 - SUBMITTALS, for submittal procedures.
- B. Shop Drawings: Indicate dimensions, layout, joints, construction details, methods of anchorage, and elevations indicating material type, finish and direction of rib installation..
- C. Samples: Submit two samples of wall panel and soffit panel, by 18 inch (____ mm) in size or one complete 12 inch long section of panel illustrating finish color, sheen, and texture.

1.04 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing the products specified in this section with minimum ten years of documented experience.
- B. Installer Qualifications: Company specializing in installing the products specified in this section with minimum five years of documented experience.
- C. Source Limitations: Obtain all components from a single manufacturer. Secondary products that are required shall be recommended and approved in writing by the Manufacturer.
 - 1. Upon request of the Architect or Owner, submit Manufacturer's written approval of secondary components in list form, signed by an authorized agent of the Manufacturer.
 - 2. Manufacturer shall have direct authority and control over all fabrication of steel components as well as the raw materials used in their fabrication.

1.05 MOCK-UP

- A. Construct mock-up, 12 feet (____ m) long by 8 feet (____ m) wide or as directed by the Architect; include panel system, attachments to building frame, associated vapor retarder and air seal materials, weep drainage system, sealants and seals, related insulation, and connections to adjoining materials in mock-up.
- B. Locate where directed.
- C. Mock-up may remain as part of the Work.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. Manufacturer's responsibilities:
 - 1. All panels shall be shipped from the manufacturer with polystyrene or similar cushioned packaging material separating the individual panels to minimize flexing, stressing, scratching or otherwise damaging the material during transit to the job.
 - 2. Fully cover materials with tarpaulins or similar protective cover during transit to prevent dirt and debris from coming in contact with the finished goods.
- B. Inspect materials upon delivery. Reject and remove physically damaged or marred material from project site.
- C. Protect panels from accelerated weathering by removing or venting sheet plastic shipping wrap.
- D. Store prefinished material off ground and protected from weather. Prevent twisting, bending, or abrasion, and provide ventilation to stored materials. Slope metal sheets to ensure drainage.
- E. Prevent contact with materials that may cause discoloration or staining of products.

1.07 WARRANTY

- A. See Section 017800 - CLOSEOUT SUBMITTALS, for additional warranty requirements.
- B. Correct defective Work within a five year period after the Date of Substantial Completion, including defects in water tightness and integrity of seals.
- C. Additional Special Warranties:
 - 1. Manufacturer's standard twenty (20) year finish warranty covering checking, crazing, peeling, chalking, fading, or adhesion.
 - 2. Installer's two (2) year warranty covering panel system installation.
- D. Warranties shall commence on date of Substantial Completion.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Metal Soffit Panels:
 - 1. ATAS International, Inc; Wind-Lok Soffit MPS120 and MPV120 panels:
www.atas.com/sle.
 - a. Finish: KYNAR 500 PVDF. Finish thickness shall provide a 1.0 mil dry film thickness consisting of a primer and finish color coat.
 - b. Color shall be as selected by the Architect from the manufacturers full color offering.
 - 2. The Garland Company: R-MER Soffit System.
The Garland Company
3800 East 91st Street
Cleveland, Ohio 44105
Telephone: (800) 762-8225
Website: www.garlandco.com
 - 3. Or approved equal
 - 4. Substitutions: See 012500 - PRODUCT SUBSTITUTION PROCEDURES.

2.02 MATERIALS

- A. Precoated Steel Sheet: Hot-dipped galvanized steel sheet, ASTM A653/A653M Structural Steel (SS) or Forming Steel (FS), with G90/Z275 coating; continuous coil-coated on exposed surfaces with specified finish coating and on panel back with specified panel back coating.
- B. Precoated Aluminum Sheet: ASTM B209 (ASTM B209M), 3105 alloy, H14 smooth surface texture; continuous-coil-coated on exposed surfaces with specified finish coating and on panel back with specified panel back coating.

2.03 ACCESSORIES

- A. Sealants:
 - 1. Exposed Sealant: Elastomeric; silicone, polyurethane, or silyl-terminated polyether/polyurethane.
 - 2. Concealed Sealant: Non-curing butyl sealant or tape sealant.
 - 3. Color: Color of sealants shall match the approved panel color unless directed otherwise by the Architect.
- B. Fasteners: Manufacturer's standard type to suit application; with soft neoprene washers, steel, hot dip galvanized. Exposed fasteners same finish as panel system.
 - 1. Metal-to-Metal Fasteners: Self-drilling, self-tapping screws.
 - 2. Products:
 - a. ITW Commercial Construction North America; Teks Select Series: www.ITWBuildex.com.
- C. Field Touch-up Paint: As recommended by panel manufacturer.
- D. Bituminous Paint: Asphalt base.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that building framing members are ready to receive panels.
- B. Verify that weather barrier has been installed over substrate completely and correctly.

3.02 PREPARATION

- A. Install subgirts perpendicular to panel length, securely fastened to substrates and shimmed and leveled to uniform plane. Space at intervals indicated.

3.03 INSTALLATION

- A. Install panels on soffits in accordance with manufacturer's instructions.
- B. Manufacturer shall provide all details on their shop drawings provided to the contractor; the manufacturer approved installation contractor shall install soffit and flashings in accordance with approved shop drawings and manufacturer's product data, within specified erection tolerances.

- C. Protect surfaces in contact with cementitious materials and dissimilar metals with bituminous paint. Allow to dry prior to installation.
- D. Install metal soffit panels over the completed soffit substrate fastened into the structural substrate with compatible / non-corrosive screw type fasteners at twelve (12) inches o.c. maximum spacing along each panel seam, unless a closer spacing is required by the manufacturer to meet local wind loading conditions.
- E. Fasten panels to structural supports; aligned, level, and plumb.
- F. Locate joints over supports. Lap panel ends minimum 2 inches (51 mm).
- G. Provide expansion joints where indicated.
- H. Coordinate flashing and sheet metal work to provide weathertight conditions at soffit terminations. Fabricate and install in accordance with standard of SMACNA Manual.
- I. Use concealed fasteners unless otherwise approved by Architect.
- J. Seal and place gaskets to prevent weather penetration. Maintain neat appearance.

3.04 TOLERANCES

- A. Maximum Offset From True Alignment Between Adjacent Members Butting or In Line: 1/16 inch (1.6 mm).
- B. Maximum Variation from Plane or Location Indicated on Drawings: 1/8 inch (3.2 mm).

3.05 CLEANING

- A. Remove site cuttings from finish surfaces.
- B. Clean and wash prefinished surfaces with mild soap and water; rinse with clean water in accordance with the manufacturer's directions.
- C. Replace damaged work that cannot be restored by normal cleaning methods.
- D. Upon completion of installation, thoroughly clean prefinished aluminum surfaces in accordance with AAMA 609 & 610.

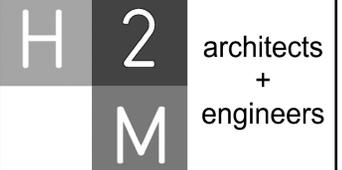
END OF SECTION

IRVINGTON UNION FREE SCHOOL DISTRICT FACILITIES STORAGE BUILDING

40 N. BROADWAY, IRVINGTON, NY 10533

SED PROJECT CONTROL NUMBER 66-04-02-02-2-022-001

CONTRACT G - GENERAL CONSTRUCTION, HVAC CONSTRUCTION, ELECTRICAL CONSTRUCTION,
PLUMBING CONSTRUCTION, CIVIL & SITE WORK



2700 Westchester Avenue, Suite 415
Purchase, NY 10577
914.358.5623 www.h2m.com

CONSULTANTS:

MARK	DATE	DESCRIPTION

MARK	DATE	DESCRIPTION
3	12/14/2021	ADDENDUM #3
2	12/10/2021	ADDENDUM #2
1	12/01/2021	ADDENDUM #1
	11/18/2021	FINAL BID DOCUMENT

REGISTERED ARCHITECT
AMORIO J. BELLEFANT
STATE OF NEW YORK
033063

"ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL IS ILLEGAL"

DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVIEWED BY:
CWP	CWP	CWP	CWP
PROJECT NO:	DATE:	SCALE:	AS SHOWN
IRSD1903	NOV 2021		

CLIENT
Irvington Union Free School District

Facilities Storage Building at Irvington Campus



Irvington Campus
40 N. Broadway
Irvington, NY 10533

SED Number: 66-04-02-02-2-022-001

CONTRACT
**CONTRACT G
GENERAL CONSTRUCTION**

STATUS
FINAL BID DOCUMENT

SHEET TITLE
**GENERAL NOTES, ABBREVIATIONS
DRAWING LIST, STAGING PLAN,
LOCATION MAP AND LEGEND**

DRAWING NO.
G0.0

ABBREVIATIONS

AB	ANCHOR BOLT	FAI	FRESH AIR INTAKE
AC	AIR CONDITIONING	F.C.	FIRE CODE
ACI	AMERICAN CONCRETE	FD	FLOOR DRAIN
		FIN	FINISH
ACST	ACOUSTIC	FR	FIRE RETARDANT
ACT	ACOUSTICAL CEILING TILE	FTG	FOOTING
ACU	AIR CONDITIONING UNIT	GA	GAUGE
AD	ACCESS DOOR ADJUSTABLE	GWB	GYP/SUM WALL BOARD
ADJ	A/E ARCHITECT/ENGINEER	GYP	GYP/SUM
AFF	ABOVE FINISH FLOOR	GYP, BD.	GYP/SUM BOARD
ALUM	ALUMINUM	HC	HANDICAPPED
ANCH	ANCHOR ANSI AMERICAN	HM	HOLLOW METAL
	NATIONAL STANDARDS	HOR	HORIZONTAL
	INSTITUTE	HW	HOT WATER
		INSUL	INSULATION/INSULATING
		INT	INTERIOR
APPA	APPROXIMATELY	LAV	LAVATORY
ASPH	ASPHALT	LDR	LEADER
		LT	LIGHT
		MAX	MAXIMUM
AWS	AMERICAN WELDING SOCIETY	MECH	MECHANICAL
B	FIRE BLANKET	MISC	MISCELLANEOUS
BAL	BALANCE	MO	MASONRY OPENING
BB	BULLETIN BOARD	MR	MOISTURE RESISTANT
BD	BOARD	MR	NOT IN CONTRACT
BLDG	BUILDING	NTS	NOT TO SCALE
BLK	BLOCK	OC	ON CENTER
BLKG	BLOCKING	OD	OUTSIDE DIAMETER
BM	BEAM	OD	OUTSIDE DIAMETER
B.O.	BOTTOM OF	PLYWD	PLYWOOD
BOL	BOTTOM OF LINTEL	PSF	POUNDS PER SQUARE FOOT
BOT	BOTTOM	PSI	POUNDS PER SQUARE INCH
		PTD	PAINTED
CEL	CEILING	PVC	POLYVINYL CHLORIDE
CEM	CEMENT	R	RADIUS OR RISER
CER	CERAMIC	RCP	REFLECTED CEILING PLAN
CLO	CLOSET	RD	ROOF DRAIN
CMU	CONCRETE MASONRY UNIT	REIN	REINFORCED
COL	COLUMN	RM	ROOM
CONC	CONCRETE	RO	ROUGH OPENING
CONST	CONSTRUCTION	SIM	SIMILAR
CONT	CONTINUOUS	SPEC	SPECIFICATIONS
CORR	CORRIDOR	SQ	SQUARE
CPT	CARPET	SS	STAINLESS STEEL
DS	DOWNSPOUT	STL	STEEL
DW	DISHWASHER	TEMP	TEMPERATURE
DWG	DRAWING	TER	TERRAZZO
EA	EACH	THK	THICK
EL	ELEVATION	TYP	TYPICAL
ELEC	ELECTRIC/ELECTRICAL	UTL	UTILITY
ELEV	ELEVATOR	VB	VAPOR BARRIER
EP	ELECTRICAL PANEL	VCT	VINYL COMPOSITION TILE
EPY	EPOXY COATING	VERT	VERTICAL
EQ	EQUAL	VTR	VENT THRU ROOF
EQUIP	EQUIPMENT	WC	WATER CLOSET
EXIST	EXISTING	WH	WATER HEATER
EXST	EXHAUST	WWF	WELDED WIRE FABRIC

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE 2020 BUILDING CODE OF NEW YORK STATE, 2020 FIRE CODE OF NEW YORK STATE AND THE NEW YORK STATE EDUCATION DEPARTMENT MANUAL OF PLANNING STANDARDS.
- ALL NOTES APPEARING HEREIN, WITH THOSE ON VARIOUS DRAWINGS SHALL APPLY TO ALL DRAWINGS AND FORM PART OF THE CONTRACT DOCUMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL DIMENSIONS, SQUARE FOOTAGES, LOCATIONS AND QUANTITIES OF ALL ITEMS AND/OR SPACES WHETHER INDICATED IN THE DRAWINGS OR NOT.
- DO NOT SCALE MEASURE ANY DRAWING. VERIFY THE FIGURES, DIMENSIONS AND DESIGN INTENTION SHOWN ON THE DRAWINGS BEFORE BEGINNING LAYOUT OF THE WORK AND REPORT ANY ERRORS, INACCURACIES, OR CONFLICTS TO THE ARCHITECT/ENGINEER IN WRITING BEFORE BEGINNING ANY WORK.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS AND STATUTES AS REQUIRED. STRICTLY ADHERE TO MANUFACTURER'S PRINTED INSTRUCTIONS.
- VERIFY EXACT LAYOUT COMPATIBILITY WITH ALL EXISTING CONDITIONS BEFORE BEGINNING WORK.
- DISTURB ONLY THOSE AREAS OF THE SITE AFFECTED BY RENOVATION, UNLESS NOTED OTHERWISE. PROTECT ALL OTHER AREAS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL PATCH AND REPAIR OF EXISTING FINISHES WHICH ARE DAMAGED DURING CONSTRUCTION.
- EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ANSI AND PROVIDE WHERE APPLICABLE ADA COMPLIANT BUILDING COMPONENTS.
- THE OWNER RESERVES THE RIGHT AT ALL TIMES TO DELIVER, PLACE AND INSTALL EQUIPMENT AND FURNISHINGS AS THE WORK PROGRESSES SO LONG AS THERE IS NOT A CONFLICT WITH THE CONTRACTORS.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE ONE RECORD COPY OF ALL DRAWINGS, SPECIFICATIONS AND APPROVED SHOP DRAWINGS AND APPROVED SAMPLES MARKED CURRENTLY TO RECORD ALL CHANGES DURING CONSTRUCTION.
- ANY CHANGES TO THE SCOPE OF WORK OR IN THE CONSTRUCTION DETAILS, WHETHER DUE TO FIELD CONDITIONS OR OMISSION SHALL BE DOCUMENTED BY THE ARCHITECT PRIOR TO EXECUTION. ANY INCREASE OR DECREASE IN THE CONTRACT PRICE MUST BE APPROVED IN WRITING PRIOR TO EXECUTION.
- THE CONTRACTOR BY PRESENTING THEIR BID FOR THE WORK, REPRESENTS THAT HE/SHE HAS INSPECTED THE SITE AND IS COMPLETELY FAMILIAR WITH THE SCOPE OF WORK AND ALL FIELD CONDITIONS RELATED TO, AND AFFECTING THE WORK AND ITS PERFORMANCE. EXCEPTIONS AFFECTING THE WORK AND ITS PERFORMANCE, OR CONFLICTS BETWEEN FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF BIDS. FAILURE TO DO SO WILL NOT RESULT IN A CHANGE TO THE CONTRACT PRICE IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE ALL NECESSARY ACCOMMODATIONS TO COMPLETE THE SCOPE OF WORK.

DRAWING LIST

INFORMATIONAL DRAWINGS

G.0.0 GENERAL NOTES, MAPS, DRAWING LIST, STAGING PLAN, EXIT PLAN & LEGENDS

G1.0 CODE ANALYSIS

G1.1 COM CHECK

CIVIL DRAWINGS

CD100.00 EXISTING CONDITIONS AND DEMOLITION SITE PLAN

C100.00 SITE IMPROVEMENT PLAN

C101.00 SANITARY ALIGNMENT PLAN

C500.00 SITE DETAILS

STRUCTURAL DRAWINGS

S001.00 GENERAL NOTES

S100.00 FOUNDATION PLAN

S101.00 SLAB PLAN

S102.00 ROOF FRAMING PLAN

S300.00 STRUCTURAL SECTIONS

S900.00 STRUCTURAL DETAILS

ARCHITECTURAL DRAWINGS

A1.0 FLOOR PLAN & REFLECTED CEILING PLAN

A1.1 ROOF PLAN

A2.0 ELEVATIONS

A3.0 BUILDING SECTION AND WALL SECTION

A6.0 DOOR SCHEDULE AND DETAILS

PLUMBING DRAWINGS

P0.0 PLUMBING NOTES, LEGEND ABBREVIATIONS, AND SCHEDULES

P1.0 SITE PLAN AND EXISTING BASEMENT PLAN

P2.0 GROUND FLOOR PLANS

P3.0 PLUMBING DETAILS

P4.0 PLUMBING RISER DIAGRAMS

HVAC DRAWINGS

H0.0 HVAC LEGENDS, SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES

H1.0 HIGH SCHOOL FACILITIES STORAGE BUILDING HVAC CONSTRUCTION

ELEVATION DRAWINGS

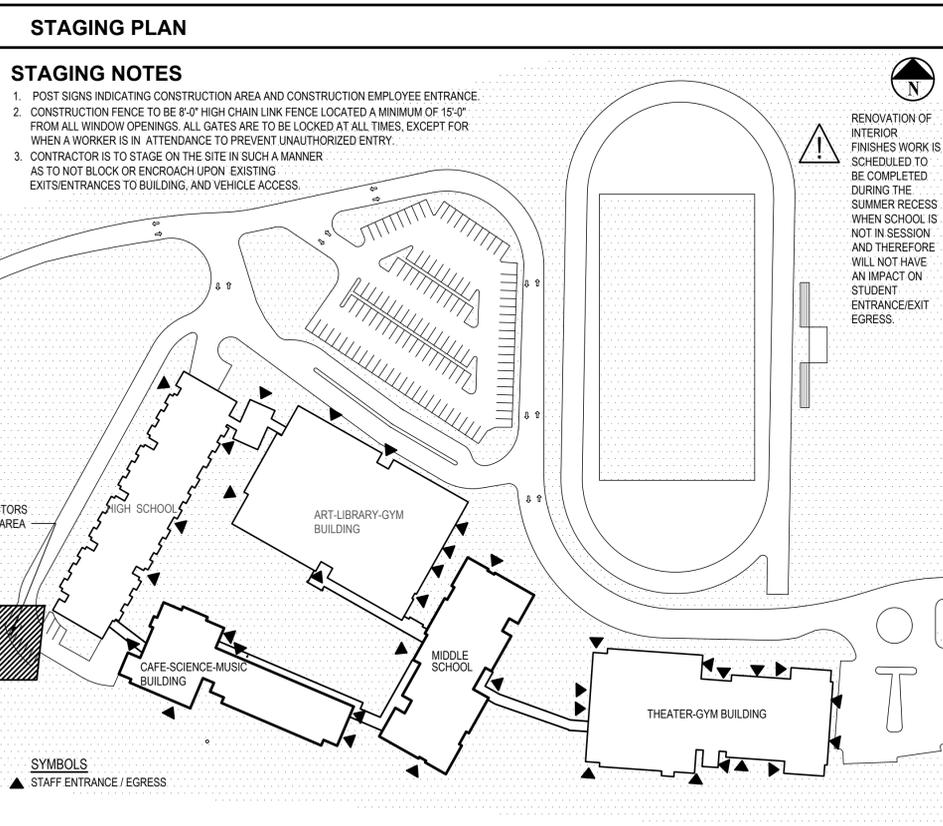
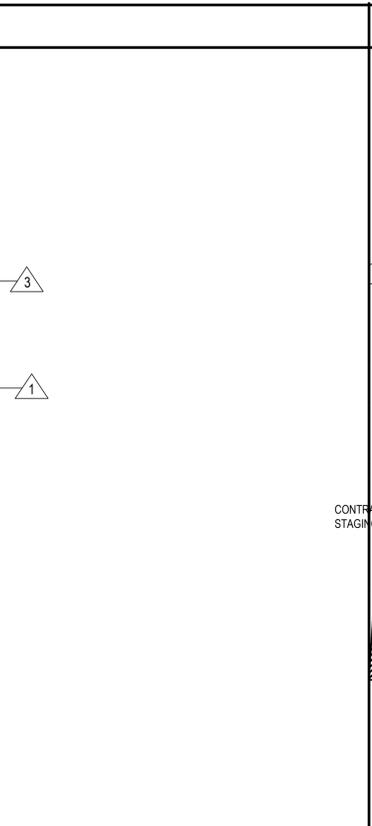
E0.0 ELECTRICAL LEGENDS

E1.0 ELECTRICAL SITE PLAN

E2.0 ELECTRICAL PARTIAL LOWER LEVEL CAFE - SCIENCE - MUSIC BUILDING POWER PLAN

E2.1 ELECTRICAL FACILITIES STORAGE BUILDING PLAN

E3.0 ELECTRICAL SINGLE LINE DIAGRAM, DETAILS AND SCHEDULES



SYMBOLS LEGEND

DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL
ROOM DESIGNATION	GYMNASIUM	GYP/SUM	
SECTION MARK	1 AS.0	CONCRETE	
DETAIL SYMBOL	1 AS.1	AGGREGATE SUB-BASE	
ELEVATION KEY	1 A4.0	EARTH	
INTERIOR ELEVATION REFERENCE	1 A5.0	BATT INSULATION	
ELEVATION LINE	1 A6.0	PLYWOOD	
REVISION	1 A7.0	RIGID INSULATION	
PARTITION TYPE	1 A8.0	STEEL	
		WOOD	
		WOOD BLOCKING	

UNIFORM SAFETY STANDARDS - FOR SCHOOL CONSTRUCTION AND MAINTENANCE PROJECTS (NYSED 155.5 REGULATION)

- "THE OCCUPIED PORTION OF ANY SCHOOL BUILDING SHALL ALWAYS COMPLY WITH THE MINIMUM REQUIREMENTS NECESSARY TO MAINTAIN A CERTIFICATE OF OCCUPANCY."
- "THE OCCUPIED PORTION OF ANY SCHOOL BUILDING SHALL COMPLY WITH THE COMMISSIONER OF EDUCATION 155.5 - UNIFORM SAFETY STANDARDS."
- PORTIONS OF WORK TO BE DISTURBED DURING THIS PROJECT ARE KNOWN TO CONTAIN ASBESTOS AND SHALL BE ABATED AS SHOWN.
- "GENERAL SAFETY AND SECURITY STANDARDS FOR CONSTRUCTION PROJECTS:
 - ALL CONSTRUCTION MATERIALS SHALL BE STORED IN A SAFE AND SECURE MANNER.
 - LARGE AMOUNTS OF DEBRIS MUST BE REMOVED BY USING ENCLOSED CHUTES OR A SIMILAR SEALED SYSTEM. THERE SHALL BE NO MOVEMENT OF DEBRIS THROUGH HALLS OF OCCUPIED SPACES OF THE BUILDING. NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE WALLS OF THE BUILDING.
 - GATES SHALL ALWAYS BE LOCKED UNLESS A WORKER IS IN ATTENDANCE TO PREVENT UNAUTHORIZED ENTRY.
 - DURING EXTERIOR RENOVATION WORK, OVERHEAD PROTECTION SHALL BE PROVIDED FOR ANY SIDEWALKS OR AREAS IMMEDIATELY BENEATH THE WORK SITE OR SUCH AREAS SHALL BE FENCED OFF AND PROVIDED WITH WARNING SIGNS TO PREVENT ENTRY.
 - WORKERS SHALL BE REQUIRED TO WEAR PHOTO-IDENTIFICATION BADGES AT ALL TIMES FOR IDENTIFICATION AND SECURITY PURPOSES WHILE WORKING AT OCCUPIED SITES."
- "SEPARATION OF CONSTRUCTION AREAS FROM OCCUPIED SPACES: CONSTRUCTION AREAS WHICH ARE UNDER THE CONTROL OF A CONTRACTOR AND THEREFORE NOT OCCUPIED BY DISTRICT STAFF OR STUDENTS SHALL BE SEPARATED FROM OCCUPIED AREAS. PROVISIONS SHALL BE MADE TO PREVENT THE PASSAGE OF DUST AND CONTAMINANTS INTO OCCUPIED PARTS OF THE BUILDING. PERIODIC INSPECTION AND REPAIRS OF THE CONTAINMENT BARRIERS MUST BE MADE TO PREVENT EXPOSURE TO DUST OR CONTAMINANTS. GYPSUM BOARD MUST BE USED IN EXIT WAYS OR OTHER AREAS THAT REQUIRE FIRE RATED SEPARATION. HEAVY DUTY PLASTIC SHEETING MAY BE USED ONLY FOR A VAPOR, FINE DUST OR AIR INFILTRATION BARRIER, AND SHALL NOT BE USED TO SEPARATE OCCUPIED SPACES FROM CONSTRUCTION AREAS.
 - A SPECIFIC STAIRWELL AND/OR ELEVATOR SHALL BE ASSIGNED OR CONSTRUCTION WORKER USE DURING WORK HOURS. IN GENERAL, WORKERS MAY NOT USE CORRIDORS, STAIRS OR ELEVATORS DESIGNATED FOR STUDENTS OR SCHOOL STAFF, WHERE NO STAIRWELL AND/OR ELEVATOR IS ASSIGNED, WORKERS MUST ENTER THE CONSTRUCTION SPACES DIRECTLY FROM THE BUILDING EXTERIOR.
 - LARGE AMOUNTS OF DEBRIS MUST BE REMOVED BY USING ENCLOSED CHUTES OR A SIMILAR SEALED SYSTEM. THERE SHALL BE NO MOVEMENT OF DEBRIS THROUGH HALLS OF OCCUPIED SPACES OF THE BUILDING. NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE WALLS OF THE BUILDING.
 - ALL OCCUPIED PARTS OF THE BUILDING AFFECTED BY RENOVATION ACTIVITY SHALL BE CLEANED AT THE CLOSE OF EACH WORKDAY. SCHOOL BUILDINGS OCCUPIED DURING A CONSTRUCTION PROJECT SHALL MAINTAIN REQUIRED HEALTH, SAFETY AND EDUCATIONAL CAPABILITIES AT ALL TIMES THAT CLASSES ARE IN SESSION."
- A PLAN DETAILING HOW EXITING REQUIRED BY THE APPLICABLE BUILDING CODE WILL BE MAINTAINED.
- WORK UNDER THIS PROJECT WILL BE COMPLETED DURING OFF HOURS WHEN THE BUILDING WILL NOT BE OCCUPIED BY FACULTY, STAFF OR STUDENTS. IF A PORTION OF THE BUILDING IS TO BECOME OCCUPIED DURING THE CONSTRUCTION PROCESS THE CONTRACTOR SHALL CLOSE OFF ALL INTAKES, OPENINGS, AND MECHANICAL VENTILATION SYSTEMS ADJACENT TO THE WORK AREA. THE ARCHITECT SHALL ASSIST THE CONTRACTOR IN DEVELOPING A PLAN TO PROVIDE ALTERNATE MEANS OF FRESH AIR TO ALL OCCUPIED SPACES.
- "CONSTRUCTION AND MAINTENANCE OPERATIONS SHALL NOT PRODUCE NOISE IN EXCESS OF 80 DBA IN OCCUPIED SPACES OR SHALL BE SCHEDULED FOR TIMES WHEN THE BUILDING OR AFFECTED BUILDING SPACES ARE NOT OCCUPIED OR ACOUSTICAL ABATEMENT MEASURES SHALL BE TAKEN."
- "THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF CHEMICAL FUMES, GASES, AND OTHER CONTAMINANTS PRODUCED BY WELDING, GASOLINE OR DIESEL ENGINES, ROOFING, PAINTING, ETC. TO ENSURE THEY DO NOT ENTER OCCUPIED PORTIONS OF THE BUILDING OR AIR INTAKES." ALL VENTS SHALL BE SEALED TO PREVENT CONTAMINANTS FROM THE CONSTRUCTION AREA FROM ENTERING THE OCCUPIED AREAS OF THE BUILDING.
- "THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ACTIVITIES AND MATERIALS WHICH RESULT IN "OFF-GASSING" OF VOLATILE ORGANIC COMPOUNDS SUCH AS GLUES, PAINTS, FURNITURE, CARPETING, WALL COVERINGS, DRAPERY, ETC. ARE SCHEDULED, CURED OR VENTILATED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS BEFORE A SPACE CAN BE OCCUPIED."
- "LARGE AND SMALL ASBESTOS ABATEMENT PROJECTS AS DEFINED BY 12NYCRR56 SHALL NOT BE PERFORMED WHILE THE BUILDING IS OCCUPIED." IT IS OUR INTERPRETATION THAT THE TERM "BUILDING", AS REFERENCED IN THIS SECTION, MEANS A WING OR MAJOR SECTION OF A BUILDING THAT CAN BE COMPLETELY ISOLATED FROM THE REST OF THE BUILDING WITH SEALED NON-COMBUSTIBLE CONSTRUCTION. THE ISOLATED PORTION OF THE BUILDING MUST CONTAIN EXITS THAT DO NOT PASS THROUGH THE OCCUPIED PORTION AND VENTILATION SYSTEMS MUST BE PHYSICALLY SEPARATED AND SEALED AT THE ISOLATION BARRIER.
- EXTERIOR WORK SUCH AS ROOFING, FLASHING, SIDING, OR SOFFIT WORK MAY BE PERFORMED ON OCCUPIED BUILDINGS PROVIDED PROPER VARIANCES ARE IN PLACE AS REQUIRED, AND COMPLETE ISOLATION OF VENTILATION SYSTEMS AND AT WINDOWS IS PROVIDED. CARE MUST BE TAKEN TO SCHEDULE WORK SO THAT CLASSES ARE NOT DISRUPTED BY NOISE OR VISUAL DISTRACTION.
- MINOR ASBESTOS PROJECTS DEFINED BY 12NYCRR56 AS AN ASBESTOS PROJECT INVOLVING THE REMOVAL, DISTURBANCE, REPAIR, ENCAPSULATION, ENCLOSURE OR HANDLING OF 10 SQUARE FEET OF ASBESTOS OR ASBESTOS MATERIAL MAY BE PERFORMED IN UNOCCUPIED AREAS OF AN OCCUPIED BUILDING IN ACCORDANCE WITH 12NYCRR56.
- NONE OF THE SURFACES AND/OR MATERIALS TO BE REMOVED OR DISTURBED BY THIS RENOVATION ARE SUSPECT OF CONTAINING LEAD.
- UNDER NEW YORK STATE LAW SMOKING IS PROHIBITED ON SCHOOL GROUNDS. EMPLOYEES FOUND TO BE SMOKING ON SCHOOL GROUNDS SHALL BE ORDERED OFF SITE AND A SECOND OFFENSE WILL BE GROUNDS FOR PERMANENT REMOVAL FROM PROJECT. LEGAL PENALTIES MAY ALSO BE APPLIED.
- ALL CONTRACTORS SHALL TAKE EVERY PRECAUTION AND SHALL PROVIDE SUCH EQUIPMENT AND FACILITIES AS ARE NECESSARY OR REQUIRED FOR THE SAFETY OF ITS EMPLOYEES. IN CASE OF AN ACCIDENT, FIRST AID SHALL BE ADMINISTERED TO ANY WHO MAY BE INJURED IN THE PROGRESS OF THE WORK. IN ADDITION, THE CONTRACTOR SHALL BE PREPARED FOR THE REMOVAL TO THE HOSPITAL FOR TREATMENT OF ANY EMPLOYEE EITHER SERIOUSLY INJURED OR ILL.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER-TIGHT AND INSULATED ENCLOSURES AS MAY BE REQUIRED BY THE SCOPE OF WORK FOR ALL EXTERIOR OPENINGS SO AS TO PROTECT ALL WORK FROM THE WEATHER, AND TO PROVIDE SECURITY AGAINST UNAUTHORIZED ENTRY. ENCLOSURES SHALL NOT CREATE DEAD END CONDITIONS, REQUIRED EXITS SHALL BE MAINTAINED FREE AND CLEAR.

NYSED Irvington Union Free School District Facilities Storage Building G0.0 (General Construction) G0.0 (General Construction) Notes.dwg User: jason.murphy Date: 12/15/2021 3:57pm Picked on: Dec 15, 2021 3:57pm by: jason.murphy

CONSULTANTS:

MARK	DATE	DESCRIPTION
3	12/14/2021	ADDENDUM #3
2	12/10/2021	ADDENDUM #2
1	12/01/2021	ADDENDUM #1
	11/18/2021	FINAL BID DOCUMENT



DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVIEWED BY:
EPI	EPI	RJR	
PROJECT NO:	DATE:	SCALE:	
IRSD1903	NOV 2021	AS SHOWN	

CLIENT
Irvington Union Free School District

Facilities Storage Building at Irvington Campus



Irvington Campus
40 N. Broadway
Irvington, NY 10533

SED Number:66-04-02-02-2-022-001

CONTRACT
CONTRACT G
GENERAL CONSTRUCTION

STATUS
FINAL BID DOCUMENT

SHEET TITLE
EXISTING CONDITIONS AND DEMOLITION SITE PLAN

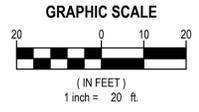
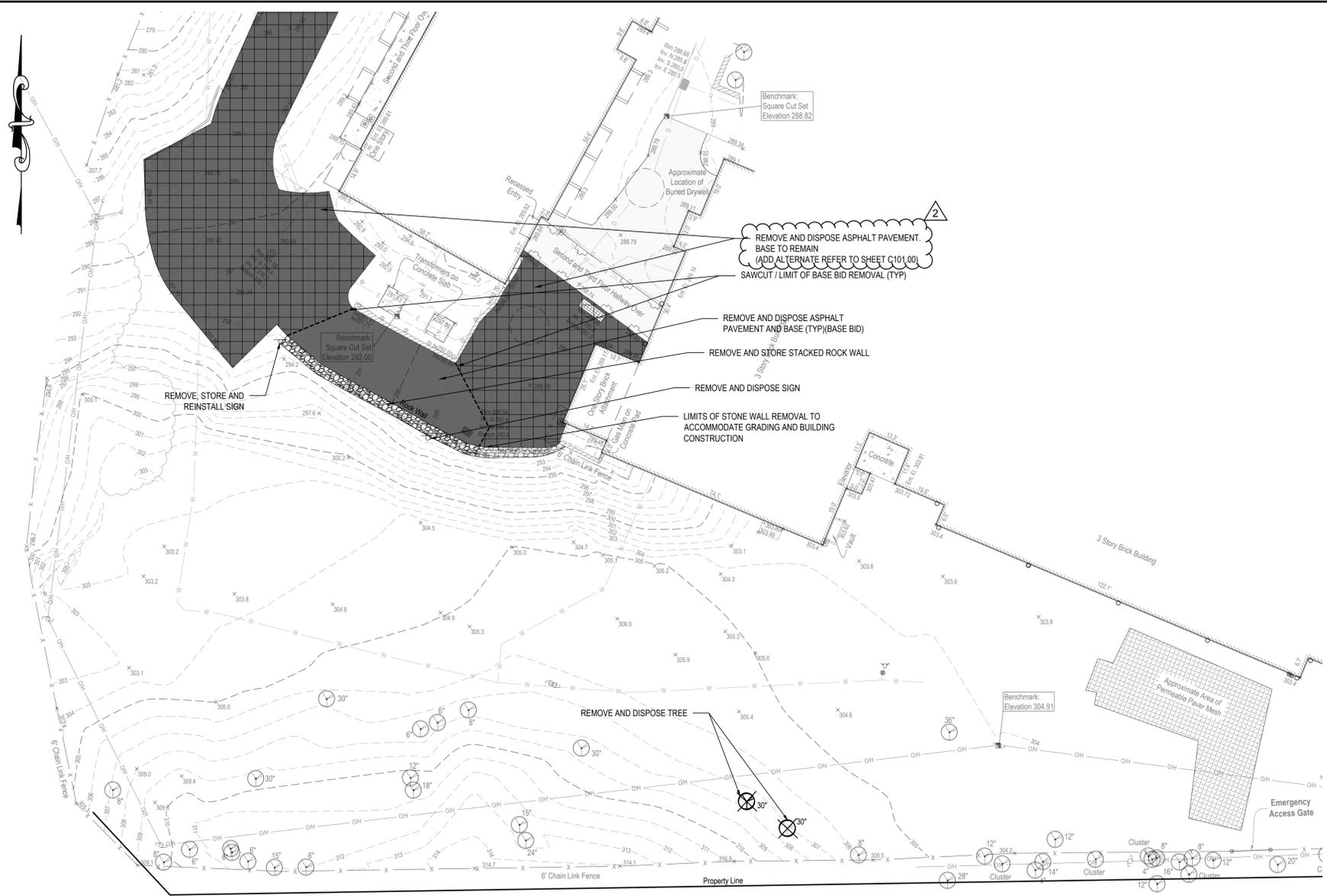
DRAWING No.
CD100.00

DEMOLITION PLAN LEGEND

- REMOVE AND DISPOSE EXISTING ASPHALT PAVEMENT AND BASE
- REMOVE AND DISPOSE ROCK RETAINING WALL
- REMOVE AND DISPOSE EXISTING TREE
- SAWCUT PAVEMENT LINE
- ADD ALTERNATE REMOVE AND DISPOSE EXISTING ASPHALT PAVEMENT

EXISTING CONDITIONS LEGEND

- MONUMENT
- BENCHMARK
- DRAINAGE MANHOLE
- CURB INLET
- CATCH BASIN
- INLET
- INLET
- HYDRANT
- WATER METER
- WATER VALVE
- SANITARY MANHOLE
- CLEAN OUT/VENT PIPE
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- ELECTRIC RISER
- UTILITY POLE/GUY POLE
- GUY WIRE
- GAS VALVE
- SIGN
- BOLLARD
- FLAG POLE
- EVERGREEN TREE
- DECIDUOUS TREE
- DOOR
- CURB
- DROP CURB
- STORM DRAIN
- ROOF LEADER
- WATER MAIN
- WATER SERVICE
- BLOW OFF LINE
- CAUSTIC SODA LINE
- SAMPLING LINE
- SANITARY SEWER
- HOUSE CONNECTION
- UNDERGROUND GAS
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- OVERHEAD WIRES
- FENCE
- CONTOUR
- SPOT ELEVATION
- TOP/BOT CURB GRADE
- ASPHALT PAVEMENT
- ROCK WALL
- PERMEABLE PAVER MESH
- CONCRETE PAVEMENT
- EXISTING TREELINE



SITE REMOVALS NOTES:

- REPORT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS TO THE ENGINEER IN WRITING IMMEDIATELY.
- UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FOR DESIGN PURPOSES ONLY. PROVIDE FOR CONSTRUCTION MARKOUT AND LOCATE EXISTING UNDERGROUND UTILITIES. NO EXCAVATION CAN COMMENCE UNTIL UTILITY DOCUMENTATION HAS BEEN COMPLETED.
- AFTER MARKOUT AND PRIOR TO DISTURBING THE SITE, UNCOVER ALL SUBSURFACE UTILITIES AND STRUCTURES WITHIN LIMITS OF DISTURBANCE TO CONFIRM THEIR LOCATION AND DEPTH.
- NO COMPENSATION WILL BE MADE FOR ANY INCONVENIENCE CAUSED BY ENCOUNTERING UTILITIES AND STRUCTURES WHICH ARE NOT SHOWN, OR ARE INACCURATELY SHOWN ON THE PLANS.
- REPAIR ANY DAMAGE TO EXISTING UTILITIES RESULTING FROM CONTRACTOR OPERATIONS IMMEDIATELY AT NO COST TO OWNER.
- REPAIR ANY DAMAGE TO EXISTING SITE FEATURES SCHEDULED TO REMAIN RESULTING FROM CONTRACTOR OPERATIONS AT NO COST TO OWNER.
- LOCATE ALL COMPONENTS OF ANY EXISTING IRRIGATION SYSTEMS PRIOR TO CONSTRUCTION AND PROTECT THROUGHOUT THE DURATION OF THE CONTRACT. REPAIR ALL DAMAGED COMPONENTS AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE TEMPORARY FENCING TO PROTECT WORK AREAS.
- INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE DIMENSIONAL SITE PLAN PRIOR TO ANY GROUND DISTURBANCE.
- DELINEATE THE LIMITS OF CLEARING AND REVIEW WITH THE OWNER PRIOR TO COMMENCING WORK.
- NOTIFY OWNER AND ENGINEER IMMEDIATELY IN WRITING WHEN UNKNOWN STRUCTURES OR SUSPECTED HAZARDOUS OR CONTAMINATED MATERIALS ARE ENCOUNTERED PRIOR TO REMOVAL OR DISTURBANCE.
- TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC DURING REMOVAL ACTIVITIES, AND PROVIDE TEMPORARY MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC UNTIL FINAL ACCEPTANCE BY THE OWNER.
- BACKFILL ALL VOIDS RESULTING FROM THE REMOVAL OF EXISTING SITE FEATURES. BACKFILL TO BE SOIL, FREE OF ORGANIC MATERIAL, DEBRIS, TRASH, CLAY AND STONES LARGER THAN 4 INCHES.

UTILITY NOTES:

SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVELS OF SERVICE (ACCURACY)
ALL MARKOUT IS QUALITY LEVEL B UNLESS OTHERWISE NOTED.

QL-A = QUALITY LEVEL A (TEST HOLES)
DATA TYPICALLY ACQUIRED AT ONE POINT ON AN UNDERGROUND UTILITY FEATURE EXPOSED BY AIR VACUUM EXCAVATION OR OTHER MEANS. THE HORIZONTAL AND VERTICAL LOCATION OF THIS REFERENCE POINT IS ACQUIRED AND REPORTED TO ACCEPTABLE SURVEY TOLERANCES. THE ACQUIRED DATA FULFILLS SECTION 5.4.5 ON PAGE 6 OF ASCE STANDARD 38-02.

QL-B = QUALITY LEVEL B (UTILITY DESIGNATION)
DEPICTION OF AN UNDERGROUND UTILITY LINE ESTABLISHED BY SENSING THE LOCATION WITH ELECTRONIC INSTRUMENTATION. LINEWORK AND UTILITY SURFACE FEATURES ARE ACQUIRED BY SURVEYING POINTS ALONG ALIGNMENT TO ACCEPTABLE SURVEY TOLERANCES.

QL-C = QUALITY LEVEL C (RECORDS PLOTTING)
UTILITY INFORMATION OBTAINED FROM RECORD INFORMATION AND PLOTTED TO CORRELATE WITH SURFACE UTILITY FEATURES WHICH HAVE BEEN SURVEY LOCATED AND ACCURATELY REDUCED ON TO DESIGN/CONSTRUCTION DOCUMENTS.

QL-D = QUALITY LEVEL D (RECORDS DRAFTING)
DEPICTION OF UNDERGROUND UTILITY LINES BY TRANSPOSITION FROM UTILITY RECORDS OR PLACED FROM VERBAL RECOLLECTIONS WITHOUT BENEFIT OF SURVEYED SURFACE FEATURES. ACCURACY OF INFORMATION IS QUESTIONABLE.

EQI
END OF INFORMATION PERTAINS TO THE LOSS OF SIGNAL THAT HAS BEEN APPLIED TO AN UNDERGROUND UTILITY AND THEN DETECTED TO ELECTRONICALLY LOCATE THE UTILITY. COMMONLY FOUND WHERE UTILITIES CHANGE TO NON-CONDUCTIVE MATERIALS, ARE CUT OR AT END OF UTILITY.

EXISTING CONDITIONS NOTES:

- EXISTING SURVEY PREPARED BY H2M architects + engineers. DATED 10/22/2019 AND MOST RECENTLY REVISED 07/09/2020.
- ELEVATIONS REFER TO N.A.V.D. 1988.
- THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A COMPLETE TITLE REPORT.
- THE OFFSETS AND DIMENSIONS SHOWN FROM STRUCTURES TO THE PROPERTY LINE ARE FOR A SPECIFIC PURPOSE AND ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES WALLS POOLS PATIOS ADDITIONS TO BUILDINGS AND ANY OTHER CONSTRUCTION.
- THE LOCATIONS OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON ARE BASED ON ABOVEGROUND FEATURES AND/OR RECORD DRAWINGS AND MARKOUT PROVIDED BY SINGER UTILITY ENGINEERING, P.C. ON SEPTEMBER, 2019. LOCATIONS OF UNDERGROUND STRUCTURES AND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED STRUCTURES AND UTILITIES MAY BE ENCOUNTERED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.



CONSULTANTS:

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3	12/14/2021	ADDENDUM #3
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1	12/01/2021	ADDENDUM #1
	11/18/2021	FINAL BID DOCUMENT



DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVIEWED BY:
RJR	RPM	RJR	

PROJECT NO: IRSD1903 DATE: NOV 2021 SCALE: AS SHOWN

CLIENT
Irvington Union Free School District

Facilities Storage Building at Irvington Campus



Irvington Campus
40 N. Broadway
Irvington, NY 10533

SED Number:66-04-02-02-2-022-001

CONTRACT
CONTRACT G
GENERAL CONSTRUCTION

STATUS
FINAL BID DOCUMENT

SHEET TITLE
SITE IMPROVEMENT PLAN

DRAWING No.
C100.00

GRADING AND DRAINAGE NOTES:

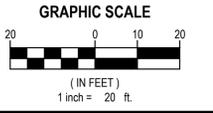
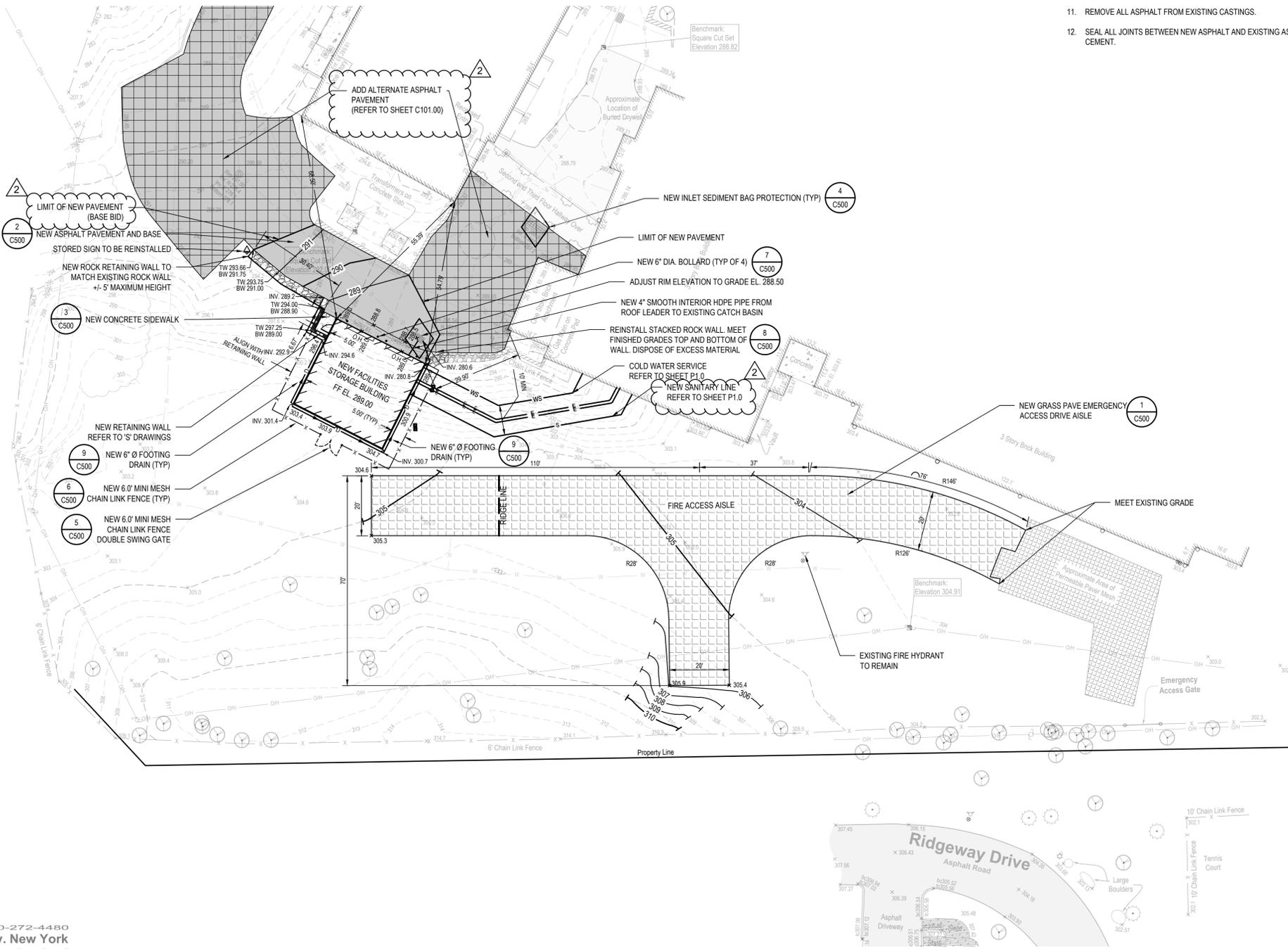
- FOR NEW CONSTRUCTION THAT MEETS EXISTING CONDITIONS, ABUTTING SURFACES SHALL BE FLUSH AND ALIGNED.
- ADJUST ALL EXISTING CASTINGS AND VALVE COVERS TO MEET PROPOSED GRADE.
- CONSTRUCTION DEBRIS AND EXCESS SOIL SHALL BE REMOVED AND LEGALLY DISPOSED OFF SITE.
- UNSUITABLE SOILS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IMMEDIATELY IN WRITING BEFORE REMOVAL OR DISTURBANCE.

SITE PLAN NOTES:

- INSPECT THE SITE PRIOR TO SUBMISSION OF BIDS AND MAKE NO ADDITIONAL CLAIMS REGARDING SITE CONDITIONS THEREAFTER.
- NOTIFY THE OWNER AND H2M (TELEPHONE 631-756-8000) AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF THE WORK. THE SAME NOTICE SHALL BE REQUIRED WHEN RESUMING WORK AFTER ANY STOPPAGE OR DELAY.
- COMPLETE ALL SURVEY AND STAKEOUT AS REQUIRED TO PROPERLY COMPLETE THE WORK.
- PERFORM DAILY CLEANUP OPERATIONS INCLUDING REMOVAL OF DEBRIS AND EXCESS CONSTRUCTION MATERIAL, AND DRIVEWAY/STREET CLEANING TO THE SATISFACTION OF THE OWNER.
- DURING ALL NON-WORKING HOURS, STORE ALL EQUIPMENT AND MATERIALS WITHIN AN AREA DESIGNATED BY THE OWNER AT THE PROJECT SITE.
- ALL CURB DIMENSIONS SHOWN REFER TO THE FACE OF CURB.
- ALL CONSTRUCTION TO CONFORM WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
- COORDINATE CONSTRUCTION ACTIVITIES WITH OWNER TO MINIMIZE INTERRUPTION TO THE OWNER'S OPERATIONS.
- RESTORE SURROUNDING AREAS DAMAGED OR DISTURBED DURING CONSTRUCTION. RESTORE TO NEW CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- RESTORE ALL DISTURBED GRASS AREAS AND ALL AREAS NOT SPECIFICALLY IDENTIFIED FOR OTHER IMPROVEMENTS WITH 4 INCHES OF TOPSOIL AND SEED.
- REMOVE ALL ASPHALT FROM EXISTING CASTINGS.
- SEAL ALL JOINTS BETWEEN NEW ASPHALT AND EXISTING ASPHALT WITH HOT ASPHALT CEMENT.

LEGEND

DESCRIPTION	SYMBOL
BASE CONTRACT ASPHALT PAVEMENT	[Symbol]
CONCRETE PAVEMENT SIDEWALK	[Symbol]
ADD ALTERNATE ASPHALT PAVEMENT	[Symbol]
ROCK RETAINING WALL	[Symbol]
DOOR	[Symbol]
OVERHEAD DOOR	[Symbol]
SPOT ELEVATION	+121.50
TOP AND BOTTOM CURB ELEVATION	TC140.00 BC139.50
MAJOR CONTOUR	240
MINOR CONTOUR	241
RIDGE LINE	[Symbol]
RETAINING WALL	[Symbol]
SANITARY LINE	S-S
DRAINAGE LINE	D-D
ELECTRIC LINE	E-E
WATER SERVICE LINE	WS-WS



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CONSULTANTS:

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	11/18/2021	FINAL BID DOCUMENT



DESIGNED BY: RJR	DRAWN BY: RPM	CHECKED BY: RJR	REVIEWED BY:
PROJECT NO: IRSD1903	DATE: NOV 2021	SCALE: AS SHOWN	

CLIENT
Irvington Union Free School District

Facilities Storage Building at Irvington Campus



Irvington Campus
40 N. Broadway
Irvington, NY 10533

SED Number:66-04-02-02-2-022-001

CONTRACT
CONTRACT G
GENERAL CONSTRUCTION

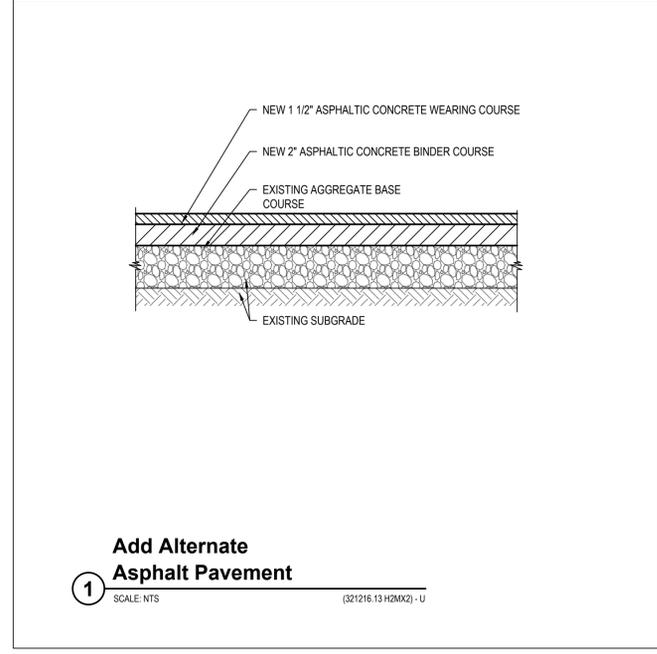
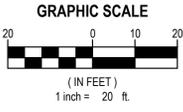
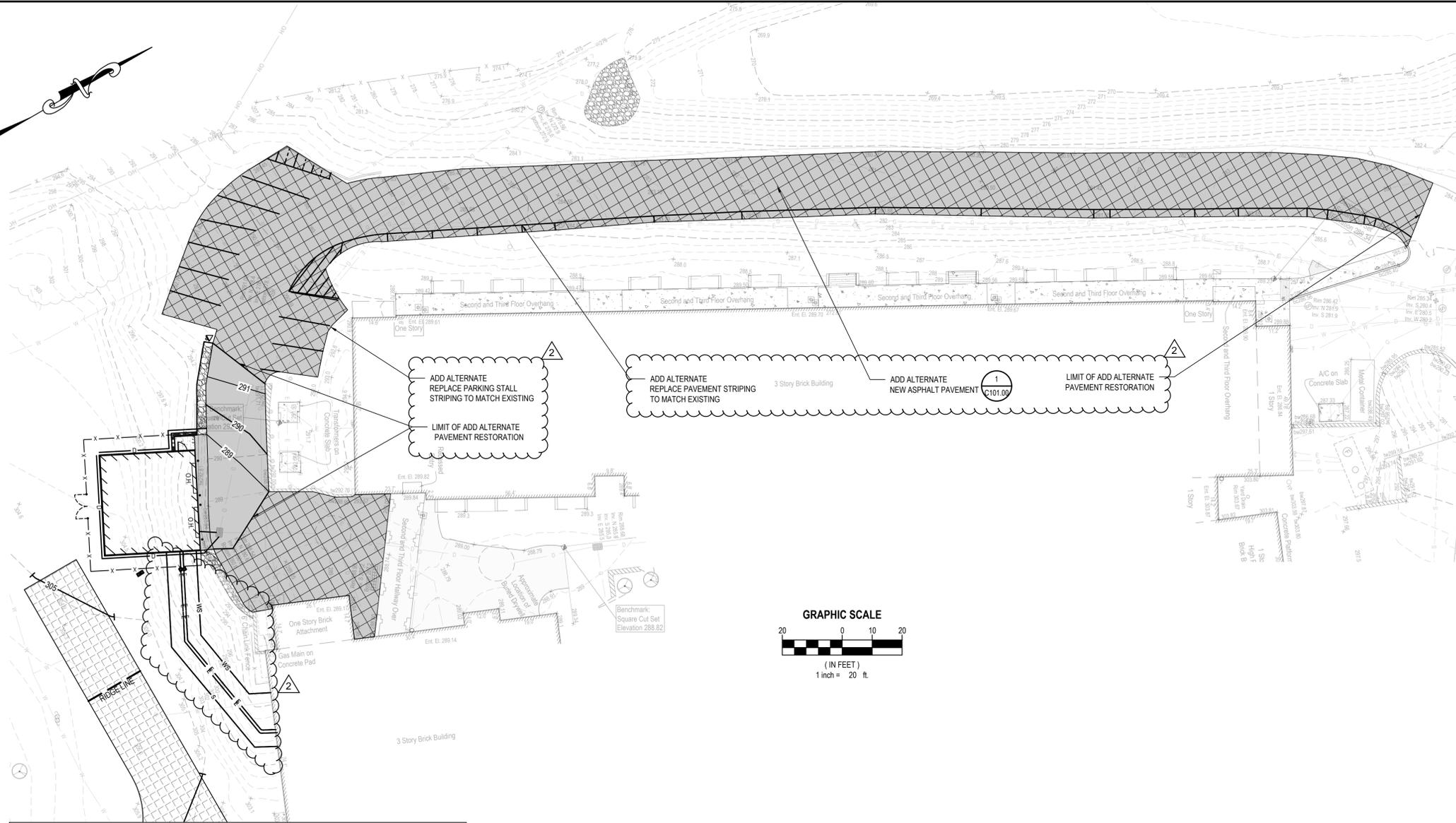
STATUS
FINAL BID DOCUMENT

SHEET TITLE
ADD ALTERNATE PAVEMENT RESTORATION PLAN

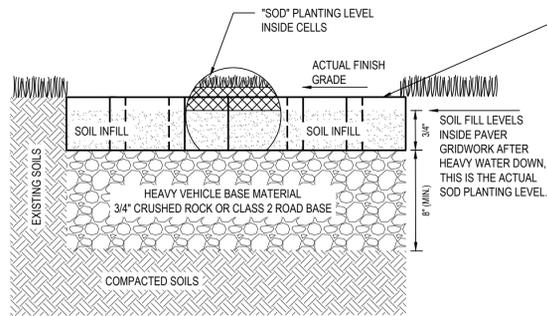
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C101.00

LEGEND

DESCRIPTION	SYMBOL
BASE CONTRACT ASPHALT PAVEMENT	[Solid Grey Box]
CONCRETE PAVEMENT SIDEWALK	[Dotted Pattern Box]
ADD ALTERNATE ASPHALT PAVEMENT	[Cross-hatched Pattern Box]
ROCK RETAINING WALL	[Stippled Pattern Box]
DOOR	[Door Symbol]
OVERHEAD DOOR	[Overhead Door Symbol]
SPOT ELEVATION	[Spot Elevation Symbol]
TOP AND BOTTOM CURB ELEVATION	[Curb Elevation Symbol]
MAJOR CONTOUR	[Major Contour Line]
MINOR CONTOUR	[Minor Contour Line]
RIDGE LINE	[Dashed Line]
RETAINING WALL	[Retaining Wall Symbol]
SANITARY LINE	[Sanitary Line Symbol]
DRAINAGE LINE	[Drainage Line Symbol]
ELECTRIC LINE	[Electric Line Symbol]
WATER SERVICE LINE	[Water Service Line Symbol]



K:\SSD\Irvington\IRSD\1903\1903-Facilities Storage Building\22-Sub-C101\01-Add Alternate Pavement Restoration.dwg, last Modified: Nov 12, 2021, 4:14pm, Plotted on: Nov 12, 2021, 4:48pm by mram



SOIL INFILL THE COMPOSITION OF THE MATERIAL SHALL BE FERTILE, AGRICULTURAL TOPSOIL, FRIABLE LOAM FREE OF SUBSOIL, CLAY, IMPURITIES OR FOREIGN MATTER WITH A pH RANGE OF 5.8 TO 6.5 AND CONTAIN A MINIMUM OF 2.75% AND A MAXIMUM OF 25% ORGANIC MATTER.

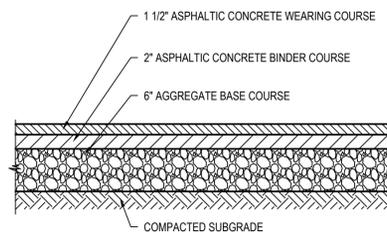
GRASS SEED OR SOD REFER TO PLANTING PLAN.

EZ ROLL™ GRASS PAVER PRODUCT DESCRIPTION
 PANEL SIZE - 24" x 24" x 1"
 CELLS PER PANEL - (72) - 2-1/4" HEXAGONAL CELLS
 STOCK ROLL SIZE'S - 4' x 24' (96 SF)

CUSTOM SIZES AVAILABLE UPON REQUEST
 1' - 6' x 150' (225 SF)
 2' x 150' (300 SF)

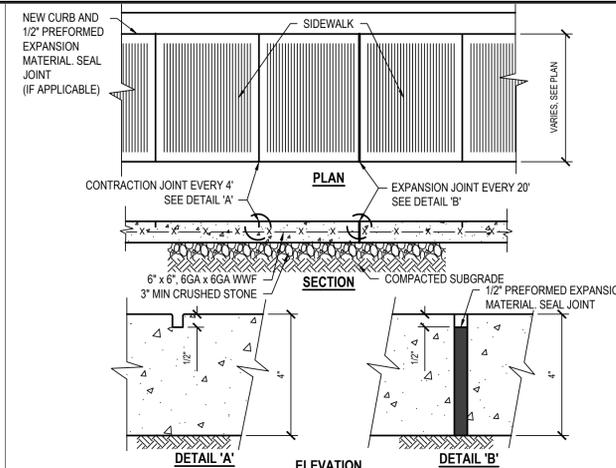
NESTED HONEYCOMB CELL LAYOUT
 COMPRESSIVE STRENGTH (OPEN CELL NO FILL)
 63,936 PSF
 444 PSI
 EXCEEDS H2O LOADING

1 EZ-Roll Grass Paver / Fire Access
 N.T.S.



NOTE:
 COMPACT SUBGRADE TO 92% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557.

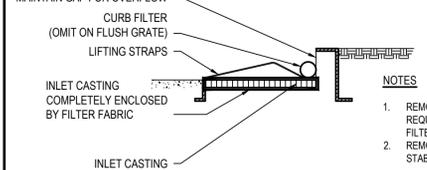
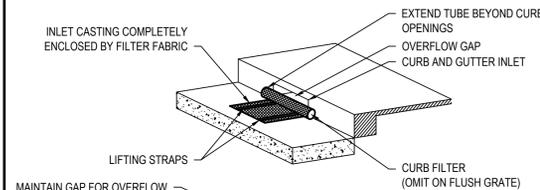
2 Asphalt Pavement - Standard Duty
 SCALE: N.T.S. (321216.13 H2MX1) - U



- NOTES:**
- CONCRETE TO ACHIEVE 4000 PSI STRENGTH AT 28 DAYS
 - COMPACT SUBGRADE TO 92% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557.
 - APPLY BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL.

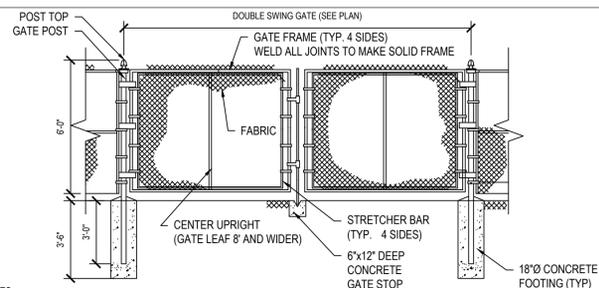
3 Concrete Sidewalk
 SCALE: N.T.S. (321313.33 H2MX1) - U

FILTER FABRIC PROPERTIES			
Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	lbs	365 x 200
Grab Tensile Elongation	ASTM D 4632	%	24 x 10
Puncture Strength	ASTM D 4833	lbs	90
Mullen Burst Strength	ASTM D 3786	psi	450
Trapezoid Tear Strength	ASTM D 4533	lbs	115 x 75
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	US Std Sieve	40
Flow Rate	ASTM D 4491	gal/min/ft	145
Permittivity	ASTM D 4491	Sec	2.1



- NOTES:**
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS AS REQUIRED TO MAINTAIN ADEQUATE FLOW THROUGH FILTER FABRIC.
 - REMOVE INLET PROTECTION UPON PERMANENT STABILIZATION OF CONSTRUCTION SITE.

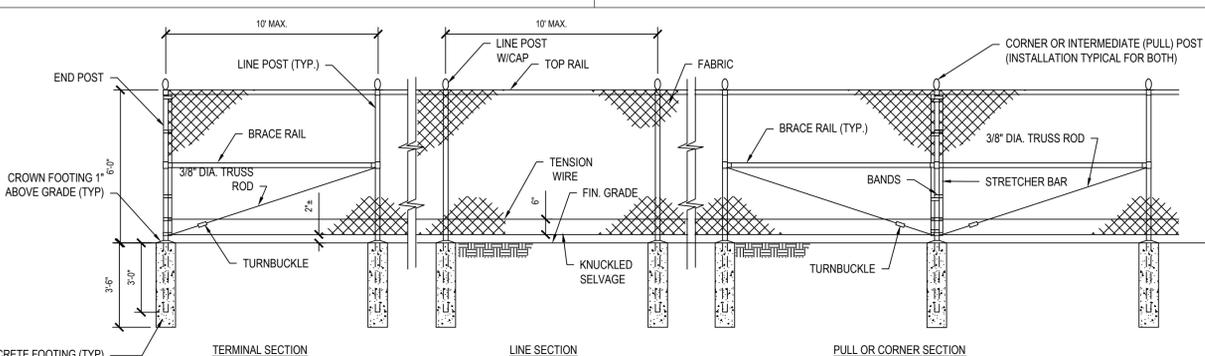
4 Curb Inlet/Flush Grate Sediment Bag Protection
 SCALE: N.T.S. (312553.13 H2MX1) - R



- NOTES:**
- FABRIC: ASTM A392, 1" MESH, 9 GAUGE STEEL CHAIN LINK FENCE FABRIC. ASTM A641 GALVANIZED STEEL CORE WIRE, ZINC COATED TO 0.3 OZ/SF WITH 7-12 MIL PVC COATING IN ACCORDANCE WITH ASTM F688, CLASS 2B.
 - FRAME: ASTM F900, 1.875" O.D. (1.83 LBS./FT.) STEEL PIPE. HOT DIPPED GALVANIZED TO 1.8 OZ/SF IN ACCORDANCE WITH ASTM A123 (SEE TABLE FOR SIZE AND WEIGHT). SUPPLEMENTAL 10-15 MIL PVC POWDER COATING IN ACCORDANCE WITH ASTM F1043.
 - GATE POST: ASTM F1043, SS40 STEEL PIPE. HOT DIPPED GALVANIZED TO 1.8 OZ/SF IN ACCORDANCE WITH ASTM A123 (SEE TABLE FOR SIZE AND WEIGHT). SUPPLEMENTAL 10-15 MIL PVC POWDER COATING IN ACCORDANCE WITH ASTM F1043.
 - HINGES: ASTM F900, NON-LIFT-OFF TYPE.
 - LATCH: ASTM F900 FORKED TYPE GRAVITY DROP WITH PROVISION FOR PADLOCK.
 - FITTINGS AND ACCESSORIES: ASTM F626, MALLEABLE OR PRESSED STEEL, HOT DIPPED GALVANIZED TP 1.2 OZ/SF. SUPPLEMENTAL 10-15 MIL PVC POWDER COATING IN ACCORDANCE WITH ASTM F1043.
 - GATE KEEPER: ASTM F900.
 - PROVIDE GATE KEEPER FOR EACH SWING GATE.
 - VINYL COATING COLOR TO BE SELECTED BY OWNER.
 - CONCRETE TO ACHIEVE 4,000 PSI STRENGTH AT 28 DAYS.

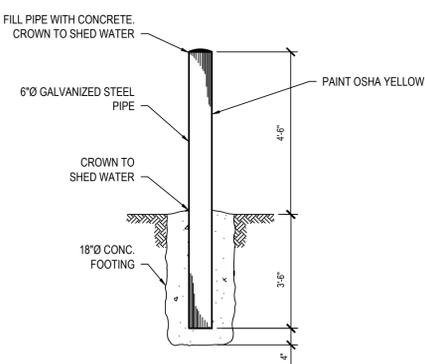
SINGLE GATE LEAF WIDTH	GATE POST OUTSIDE DIAMETER (INCHES)	MINIMUM WEIGHT (LB/FT)
UP TO 4'	2.375	3.12
5' TO 10'	2.875	4.64
11' TO 18'	4.000	6.56

5 Mini Mesh Chain Link Double Swing Gate - Vinyl Coated - 6' Height
 SCALE: N.T.S. 323113.26 - MOD



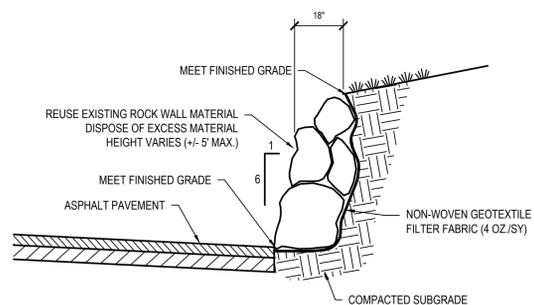
- NOTES:**
- FABRIC: ASTM A392, 1" MESH, 9 GAUGE STEEL CORE CHAIN LINK FENCE FABRIC. ASTM A641 GALVANIZED STEEL CORE WIRE, ZINC COATED TO 0.3 OZ/SF WITH 7-12 MIL PVC COATING IN ACCORDANCE WITH ASTM F688 CLASS 2B.
 - TOP AND BRACE RAILS: ASTM F1043 1.66" O.D. (1.84 LBS./FT.) SS40 STEEL PIPE. HOT DIPPED GALVANIZED TO 1.8 OZ/SF IN ACCORDANCE WITH ASTM A123. SUPPLEMENTAL 10-15 MIL PVC POWDER COATING IN ACCORDANCE WITH ASTM F1043.
 - LINE POSTS: ASTM F1043 1.9" O.D. (2.28 LBS./FT.) SS40 STEEL PIPE. HOT DIPPED GALVANIZED TO 1.8 OZ/SF IN ACCORDANCE WITH ASTM A123. SUPPLEMENTAL 10-15 MIL PVC POWDER COATING IN ACCORDANCE WITH ASTM F1043.
 - END, CORNER & PULL POSTS: ASTM F1043 2.375" O.D. (3.12 LBS./FT.) SS40 STEEL PIPE. HOT DIPPED GALVANIZED TO 1.8 OZ/SF IN ACCORDANCE WITH ASTM A123. SUPPLEMENTAL 10-15 MIL PVC POWDER COATING IN ACCORDANCE WITH ASTM F1043.
 - FITTINGS AND ACCESSORIES: ASTM F626 MALLEABLE OR PRESSED STEEL. HOT DIPPED GALVANIZED TO 1.2 OZ/SF. SUPPLEMENTAL 10-15 MIL PVC POWDER COATING IN ACCORDANCE WITH ASTM F1043.
 - BOTTOM TENSION WIRE: ASTM A824 NO. 7 GAUGE STEEL-MARCELLED WIRE. ZINC COATED TO 0.4 OZ/SF WITH 7-12 MIL PVC POWDER COATING IN ACCORDANCE WITH ASTM F1664.
 - VINYL COATING COLOR: TO BE SELECTED BY OWNER.
 - CONCRETE TO ACHIEVED 4,000 PSI STRENGTH AT 28 DAYS.

6 Mini Mesh Chain Link Fence - Vinyl Coated - 6' Height
 SCALE: N.T.S. 323113.15 H2MX2 - MOD

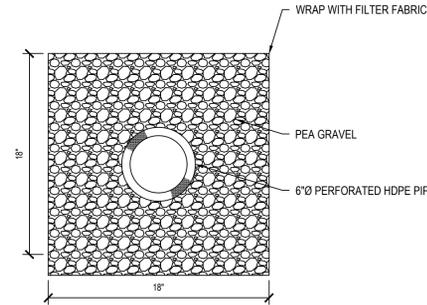


- NOTE:**
- CONCRETE TO ACHIEVE 4000 PSI STRENGTH AT 28 DAYS.

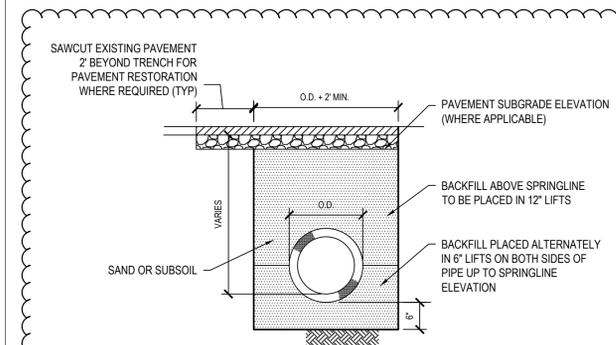
7 Steel Bollard - 6" Diameter
 SCALE: N.T.S. (323613.00 H2MX2)



8 Stacked Rock Wall
 SCALE: N.T.S.



9 Footing Drain
 SCALE: N.T.S.



- NOTES:**
- IF DEPTH OF TRENCH EXCEEDS 5', THE CONTRACTOR MUST PROVIDE SHEETING AND BRACING OR A SHEETING BOX IN ACCORDANCE WITH OSHA REGULATIONS. AS AN ALTERNATIVE, IF PERMITTED BY THE ENGINEER, THE TRENCH WALLS MAY BE CUT BACK TO A 1:1 SLOPE OR THE NATURAL ANGLE OF REPOSE FOR THE SOIL, WHICHEVER IS GREATER.
 - WITHIN 9" OF PAVEMENT SUBGRADE ELEVATION (WHERE APPLICABLE) COMPACT BACKFILL TO 92% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557. ALL OTHER BACKFILL MATERIAL TO BE COMPACTED TO 90% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557.

10 Pipe Trench
 SCALE: N.T.S. (312333.00 H2MX1) - U

2700 Westchester Avenue, Suite 415
 Purchase, NY 10577
 914.358.5623 • www.h2m.com

CONSULTANTS:

MARK	DATE	DESCRIPTION
3	12/14/2021	ADDENDUM #3
2	12/10/2021	ADDENDUM #2
1	12/01/2021	ADDENDUM #1
	11/18/2021	FINAL BID DOCUMENT



DESIGNED BY: EPI | DRAWN BY: EPI | CHECKED BY: RJR | REVIEWED BY: EPI
 PROJECT NO.: IRSD1903 | DATE: NOV 2021 | SCALE: AS SHOWN

Irvington Union Free School District

Facilities Storage Building at Irvington Campus



Irvington Campus
 40 N. Broadway
 Irvington, NY 10533

SED Number:66-04-02-02-2-022-001

CONTRACT G
GENERAL CONSTRUCTION

FINAL BID DOCUMENT

SITE DETAILS

C500.00

