

ADDENDUM NO. 02

PROJECT: Newburgh Enlarged City School District
2019 Capital Improvements Project – Phase 3

CPL PROJECT NO. 13940.18

SED PROJECT NO. Heritage Middle School SED # 44-16-00-01-0-039-011

DATE: September 27, 2021

Include this Addendum as part of the Contract Documents. It supplements portions of the original specifications and drawings, the extent of which shall remain, except as revised herein:

CLARIFICATIONS

- 1.1 See the attached Pre-Bid Walkthrough Sign in Sheet.
- 1.2 Regarding the existing lightning protection system, it is unknown if there is an existing ground loop to connect to. New work should include main conductor from last aerial terminal shown and include new ground rods.
- 1.3 The existing ceiling tile is Armstrong 933.

CHANGES TO THE PROJECT MANUAL:

- 2.1 Section 000550: Replace the construction schedule with the attached revised construction schedule
- 2.2 Section 004010: Replace with the attached revised Section 004010.
- 2.3 Section 004040: Replace with the attached revised Section 004040.
- 2.4 Section 011200:
 - 2.4.1 Part 1.7.B: Add the following:

Project Lead: TPG

2021

2022

2023

2024	2023
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WBS	Task Name	Start	Finish	Duration	RESPONSIBILITY	LOCATION	Gantt Chart																																			
							9	10	11	12	1	2	3	4	5	6	7	8	9	10	11	12	1	2	3	4	5	6	7	8	9	10	11	12	1	2	3	4	5	6	7	8
1	Out to bid	Mon 06-Sep-21	Tue 05-Oct-21	22			Out to bid																																			
2	Bid Contractor Walkthrough	Wed 22-Sep-21	Wed 22-Sep-21	1			Bid Contractor Walkthrough																																			
3	Bid Opening	Tue 05-Oct-21	Tue 05-Oct-21	1			Bid Opening																																			
4	Contractor qualification	Thu 07-Oct-21	Mon 11-Oct-21	3			Contractor qualification																																			
5	Award contracts	Tue 12-Oct-21	Wed 13-Oct-21	2			Award contracts																																			
6	Front end submittals	Thu 14-Oct-21	Fri 29-Oct-21	12			Front end submittals																																			
7	Product submittals	Thu 14-Oct-21	Wed 15-Dec-21	45			Product submittals																																			
8	Substantial Completeion	Thu 01-Sep-22	Thu 01-Sep-22	1			Substantial Completeion																																			
9	C of O Inspection	Tue 23-Aug-22	Tue 23-Aug-22	1			C of O Inspection																																			
10	Startup and balancing	Tue 24-May-22	Mon 05-Dec-22	140			Startup and balancing																																			
11	Closeout	Tue 06-Sep-22	Mon 10-Oct-22	25			Closeout																																			
12	Demobilize	Tue 06-Sep-22	Mon 10-Oct-22	25			Demobilize																																			
13	<u>New Addition Construction</u>	Thu 14-Oct-21	Mon 15-Aug-22	218			New Addition Construction																																			
14	Mobilization / Site fence	Thu 14-Oct-21	Wed 03-Nov-21	15			Mobilization / Site fence																																			
15	Under ground utility re-route	Thu 04-Nov-21	Wed 24-Nov-21	15			Under ground utility re-route																																			
16	Phase one site prep	Thu 25-Nov-21	Wed 01-Dec-21	5			Phase one site prep																																			
17	Survey stakeout	Thu 02-Dec-21	Thu 02-Dec-21	1			Survey stakeout																																			
18	Phase two site/pad prep	Fri 03-Dec-21	Mon 06-Dec-21	2			Phase two site/pad prep																																			
19	Excavation footings	Tue 07-Dec-21	Thu 09-Dec-21	3			Excavation footings																																			
20	Footing rebar	Fri 10-Dec-21	Tue 21-Dec-21	8			Footing rebar																																			
21	Form and pour footings	Wed 22-Dec-21	Tue 28-Dec-21	5			Form and pour footings																																			
22	Strip footings	Wed 29-Dec-21	Thu 30-Dec-21	2			Strip footings																																			
23	Rebar FO walls / set sleeves	Fri 31-Dec-21	Mon 10-Jan-22	7			Rebar FO walls / set sleeves																																			
24	Install anchor bolts	Tue 11-Jan-22	Tue 11-Jan-22	1			Install anchor bolts																																			
25	Form and Pour FO walls	Wed 12-Jan-22	Wed 19-Jan-22	6			Form and Pour FO walls																																			
26	Strip walls	Thu 20-Jan-22	Fri 21-Jan-22	2			Strip walls																																			
27	Waterproof FO Walls	Mon 24-Jan-22	Tue 25-Jan-22	2			Waterproof FO Walls																																			
28	Backfill FO Walls	Wed 26-Jan-22	Fri 28-Jan-22	3			Backfill FO Walls																																			
29	Prep SOG	Mon 31-Jan-22	Thu 03-Feb-22	4			Prep SOG																																			
30	Stone for SOG	Fri 04-Feb-22	Wed 09-Feb-22	4			Stone for SOG																																			
31	Underground MEP / outlets	Thu 10-Feb-22	Wed 16-Feb-22	5			Underground MEP / outlets																																			
32	Waterproof SOG	Thu 17-Feb-22	Mon 21-Feb-22	3			Waterproof SOG																																			
33	Rebar SOG	Tue 22-Feb-22	Tue 01-Mar-22	6			Rebar SOG																																			
34	Pour SOG + cure time	Wed 02-Mar-22	Tue 15-Mar-22	10			Pour SOG + cure time																																			
35	Set structural steel framing	Wed 16-Mar-22	Tue 29-Mar-22	10			Set structural steel framing																																			
36	Set roof deck	Wed 30-Mar-22	Tue 12-Apr-22	10			Set roof deck																																			
37	Install temp roof	Wed 13-Apr-22	Tue 26-Apr-22	10			Install temp roof																																			
38	Set Storefront	Wed 20-Apr-22	Tue 03-May-22	10			Set Storefront																																			
39	interior framing	Wed 20-Apr-22	Tue 10-May-22	15			interior framing																																			
40	Mechanical rough / duct work	Thu 07-Apr-22	Wed 27-Apr-22	15			Mechanical rough / duct work																																			

41	Electrical rough	Wed 11-May-22	Tue 31-May-22	15		Electrical rough
42	Plumbig rough	Wed 11-May-22	Mon 30-May-22	14		Plumbig rough
43	exterior finish	Wed 04-May-22	Tue 31-May-22	20		exterior finish
44	finish roofing / tie in	Wed 30-Mar-22	Tue 26-Apr-22	20		finish roofing / tie in
45	Exterior concrete Sidewalks	Sat 28-May-22	Fri 24-Jun-22	20		Exterior concrete Sidewalks
46	Sheet rock / tapingc/ Paint	Tue 07-Jun-22	Mon 18-Jul-22	30		Sheet rock / tapingc/ Paint
47	Ceilings	Tue 19-Jul-22	Mon 08-Aug-22	15		Ceilings
48	Architechtrual finishes	Tue 19-Jul-22	Mon 08-Aug-22	15		Architechtrual finishes
49	MEP finishes	Tue 19-Jul-22	Mon 15-Aug-22	20		MEP finishes
50	Final Cleaning / training / turnover	Tue 16-Aug-22	Mon 05-Sep-22	15		Final Cleaning / training / turnover
51	C of O Inspection	Tue 23-Aug-22	Tue 23-Aug-22	1		◆ C of O Inspection
52	startup and balancing	Tue 16-Aug-22	Mon 05-Dec-22	80		startup and balancing
53	<u>Existing Cafeteria Renovation</u>	Tue 28-Jun-22	Tue 06-Sep-22	51		Existing Cafeteria Renovation SUMmer 202
54	Demo Space/MEPS	Tue 28-Jun-22	Thu 07-Jul-22	8		Demo Space/MEPS
55	New Mechanical / MEP rough	Fri 08-Jul-22	Thu 04-Aug-22	20		New Mechanical / MEP rough
56	Framing	Fri 05-Aug-22	Tue 16-Aug-22	8		Framing
57	Sheetrock	Fri 12-Aug-22	Mon 29-Aug-22	12		Sheetrock
58	Paint / finishes	Tue 30-Aug-22	Tue 06-Sep-22	6		Paint / finishes
59	Mechanical Startup and balancing	Wed 07-Sep-22	Fri 09-Dec-22	68		Mechanical Startup and balancing
60	<u>GYM MEP Second Shift work</u>	Thu 16-Dec-21	Mon 15-Aug-22	173		GYM MEP Second Shift work
61	New unit install	Tue 01-Feb-22	Mon 04-Apr-22	45		New unit install
62	Duct work install	Tue 05-Apr-22	Mon 09-May-22	25		Duct work install
63	Copper runs	Tue 05-Apr-22	Mon 09-May-22	25		Copper runs
64	Diffusers and grills	Tue 10-May-22	Mon 23-May-22	10		Diffusers and grills
65	Demo Existing Mechanical	Tue 28-Jun-22	Mon 29-Aug-22	45		Demo Existing Mechanical
66	Mechanical Startup and balancing	Tue 24-May-22	Fri 09-Dec-22	144		Mechanical Startup and balancing
67	<u>Existing BLDG MEP / ceilings Second</u>	Thu 16-Dec-21	Mon 15-Aug-22	173		Existing BLDG MEP / ceilings Second shif
68	Relocate existing fresh air intake at	Mon 27-Dec-21	Fri 07-Jan-22	10		Relocate existing fresh air intake at ca
69	Chiller line / ceiling removal	Thu 16-Dec-21	Wed 23-Mar-22	70		Chiller line / ceiling removal
70	New Ceiling unit install	Tue 28-Jun-22	Mon 19-Sep-22	60		New Ceiling unit install
71	New Copper runs / condensate	Thu 16-Dec-21	Wed 23-Mar-22	70		New Copper runs / condensate
72	Electrical tie ins	Tue 28-Jun-22	Mon 29-Aug-22	45		Electrical tie ins
73	New ceilings	Tue 12-Jul-22	Mon 29-Aug-22	35		New ceilings
74	Demo Existing Mechanical	Tue 28-Jun-22	Mon 08-Aug-22	30		Demo Existing Mechanical
75	New units tie ins	Mon 04-Jul-22	Thu 01-Sep-22	44		New units tie ins
76	Floor / finishes repair	Tue 05-Jul-22	Mon 15-Aug-22	30		Floor / finishes repair
77	Mechanical Start up And balancing	Tue 16-Aug-22	Fri 09-Dec-22	84		Mechanical Start up And balancing
78	<u>Site work summer 2022</u>	Tue 28-Jun-22	Thu 01-Sep-22	48		Site work summer 2022
79	Concrete sidewalk demo	Tue 28-Jun-22	Mon 22-Aug-22	40		Concrete sidewalk demo
80	New conc. Sidewalk forms	Tue 05-Jul-22	Mon 08-Aug-22	25		New conc. Sidewalk forms
81	New Conc. Sidewalk pour	Tue 19-Jul-22	Mon 29-Aug-22	30		New Conc. Sidewalk pour
82	New Asphalt at entrance + stripeing	Tue 05-Jul-22	Wed 03-Aug-22	22		New Asphalt at entrance + stripeing
83	Soil and seeding	Thu 04-Aug-22	Wed 24-Aug-22	15		Soil and seeding
84	<u>Submittals Long Leed Submission</u>	Thu 14-Oct-21	Wed 10-Nov-21	20		Submittals Long Leed Submission
85	Casework / Shop drawings	Thu 14-Oct-21	Wed 27-Oct-21	10		Casework / Shop drawings

86	Windows / Shop Drawings	Thu 14-Oct-21	Wed 27-Oct-21	10		Windows / Shop Drawings
87	Mechanical units	Thu 14-Oct-21	Wed 27-Oct-21	10		Mechanical units
88	Doors	Thu 14-Oct-21	Wed 27-Oct-21	10		Doors
89	Steel / rebar / Shop Drawings	Thu 14-Oct-21	Wed 27-Oct-21	10		Steel / rebar / Shop Drawings
90	Main electrical Equipment	Thu 14-Oct-21	Wed 27-Oct-21	10		Main electrical Equipment
91	Gym Equipment	Thu 14-Oct-21	Wed 27-Oct-21	10		Gym Equipment
92	Lighting fixtures	Thu 14-Oct-21	Wed 27-Oct-21	10		Lighting fixtures
93	Roof insulation	Thu 14-Oct-21	Wed 27-Oct-21	10		Roof insulation
94	Brick	Thu 14-Oct-21	Wed 27-Oct-21	10		Brick
95	Drinking fountains	Thu 14-Oct-21	Wed 27-Oct-21	10		Drinking fountains
96	Coordination drawings	Thu 14-Oct-21	Wed 27-Oct-21	10		Coordination drawings
97	Site work catch basins / vaults	Thu 14-Oct-21	Wed 27-Oct-21	10		Site work catch basins / vaults

Type here to add a new task

NEWBURGH ECS		Phase 3: 2019 Capital Improvement Project
13940.18	FORM OF PROPOSAL GENERAL CONSTRUCTION	004010 - 1

SECTION 004010

FORM OF PROPOSAL GENERAL CONSTRUCTION

PART 1 GENERAL

01. SUMMARY

Fill in information:

Date:
TO:
Newburgh Enlarged City School District:
124 Grand Street
Newburgh, New York 12550
FROM:
BIDDER NAME & ADDRESS

02. GENERAL

Pursuant to, and in compliance with, the Procurement and Contracting Requirements, Conditions of the Contract, relative thereto and all of the Contract Documents, including any Addenda issued by the Architect and mailed or delivered to the undersigned prior to the opening of Bids, whether received by the undersigned or not, we, _____

- 1) having visited the site and being familiar with all conditions and requirements of the Work, hereby propose to furnish all plant, labor, supplies, materials and equipment incidental to GENERAL CONSTRUCTION WORK as required by and in strict accord with the applicable provisions of the Drawings and Specifications entitled (Insert project title Here) all to the satisfaction and approval of the Architect and the Owner in accordance with the terms and conditions of the Contract Documents for the following sum:

DOLLARS
(\$)
BASE BID

03. BID GUARANTEE

The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within [10] days after a written Notice of Award, if offered within 45 days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, or bid bond, as liquidated damages for such failure, in the following amount constituting five percent (5%) of the Base Bid.

- 1) In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond.

04. TIME OF COMPLETION

It is agreed by the undersigned that after receipt of a Notice of Award and a consummation of a Contract Agreement in accord with the terms of the Contract Documents, he will start work within 10 (or Insert number) consecutive calendar days of this notice to

NEWBURGH ECSD		Phase 3: 2019 Capital Improvement Project	
13940.18	FORM OF PROPOSAL GENERAL CONSTRUCTION		004010 - 2

proceed and fully complete the work.as indicated in the project schedule.

05. ALLOWANCES (REFERENCE SPECIFICATION SECTION 012100)

Specified Allowance as indicated in Specification Section 012100. This amount is to be included in the Base Bid above.

- 1) Allowance Amount:

\$ 50,000

06. UNIT PRICES (REFERENCE SPECIFICATION SECTION 012700)

Enter in unit prices from spec section 012700. (Unit prices are used in anticipation that there will be additional quantities of materials and labor not expressly indicated on the contract documents.)

- 1) Unit Price No. GC-1: (Ceiling Replacement)

\$ per

07. ALTERNATES (REFERENCE SPECIFICATION SECTION 012300)

Enter a whole dollar amount, even if it is zero (\$ 0), for each Alternate. Circle "ADD" or "DEDUCT" for each Alternate Bid. If neither is circled, "DEDUCT" will be assumed. Do not leave any Alternate amount blank. If any amount is blank, it will be assumed the Bidder will provide that Alternate for no change, neither increase nor decrease, in Contract Price.

- 1) Alternate No. GC-1;General Construction work associated with Roof Top Unit Replacement:

ADD/DEDUCT (\$)

DOLLARS

- 2) Alternate No. GC-2; General Construction work associated with Fan Coil Unit:

ADD/DEDUCT (\$)

DOLLARS

- 3) Alternate No. GC-3; General Construction work associated with Unit Ventilator Replacement:

ADD/DEDUCT (\$)

DOLLARS

- 4) Alternate No. GC-4; General Construction work associated with Condensing Unit Removal:

ADD/DEDUCT (\$)

DOLLARS

- 5) Alternate No. GC-5; General Construction work associated with Cafeteria Stage Removal:

ADD/DEDUCT (\$)

DOLLARS

- 6) Alternate No. GC-6;General Construction work associated with Gymnasium Stage Floor:

ADD/DEDUCT (\$)

DOLLARS

- 7) Alternate No. GC-7; General Construction work associated with Floor Material:

ADD/DEDUCT (\$)

NEWBURGH ECSD		Phase 3: 2019 Capital Improvement Project	
13940.18	FORM OF PROPOSAL GENERAL CONSTRUCTION		004010 - 3
	DOLLARS		

- 8) Alternate No. GC-8; Motorized Window Shades:

ADD/DEDUCT (\$)
DOLLARS

- 9) Alternate No. GC-9; Painting walls at mechanical equipment removals:

ADD/DEDUCT (\$)
DOLLARS

08. BID SECURITY

Bid Security in the form of a Certified or Cashier's Check or a Bid Bond in the form required by the Contract Documents is attached to and made a part of this Proposal.

09. IRAN DIVESTMENT ACT CERTIFICATION

Contractor to submit with the bid, Iran Divestment Act Certification which hereto is made a part of this Form of Proposal and is attached at the end of this Form of Proposal.

10. REPRESENTATIONS

By submitting this Proposal the Bidder represents and certifies to the Owner and the Architect that

- 1) It has examined the Contract Documents, the site of the proposed Work, is familiar with the local conditions at the place where the Work is to be performed and fully comprehends the requirements and intent of the plans and specifications for this Project in accordance with the drawings, specifications and other Contract Documents prepared by CPL the Owners Consultant, for this Project.
- 2) It has examined and reviewed, where applicable, all information and data in the Contract Documents related to existing underground facilities at or contiguous to the site. Bidder shall require of the Owner or Architect no further investigations, explorations, tests or reports with respect to such underground facilities in order for the Bidder to perform the Work of the Proposal within the Contract Time and in accordance with the Contract Documents.
- 3) It has given notice to the Architect, as required by the Contract Documents of any and all discrepancies it has discovered and accepts the resolution of those discrepancies offered by the Architect.
- 4) Pursuant to New York State General Municipal Law section 103-d, by submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:
 - a) The prices in this bid have been arrived at independently without collusion, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
 - b) Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not be knowingly disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or competitor; and
 - c) No attempt has been made or will be made by bidder to induce any other person, partnership or corporation to submit or not to submit a bid for

NEWBURGH ECS		Phase 3: 2019 Capital Improvement Project
13940.18	FORM OF PROPOSAL GENERAL CONSTRUCTION	004010 - 4

the purpose of restricting competition.

- d) The proposal is based upon the materials, equipment and systems required by the Contract Documents, without exception, unless otherwise set forth in this Proposal in detail.

11. CHANGE ORDERS

We propose and agree that the above lump sum shall be adjusted for changes in the Contract Work not included in unit prices by addition of the following costs:

- 1) Profit and overhead as permitted in the General Conditions.

12. NON-COLLUSIVE BIDDING CERTIFICATION

By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:

- 1) The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
- 2) Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or to any competitor; and
- 3) No attempt has been made or will be made by the bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition.

13. ACCEPTANCE

When this Proposal is accepted, the undersigned agrees to enter into a Contract with the Owner as provided in the Form of Agreement.

14. AFFIRMS

The undersigned affirms and agrees that this Proposal is a firm one which remains in effect and will be irrevocable for a period of forty-five (45) days after opening of Bids.

15. TYPE OF BUSINESS

The undersigned hereby represents that it is a (select with circle):

- 1) Corporation, Partnership, Individual.
- 2) If a Corporation, then the undersigned further represents that it is duly qualified as a Corporation under the laws of New York State and it is authorized to do business in this State.

16. PLACE OF BUSINESS

The following is the name and address of the person to whom all notices required in connection with this Proposal may be telephoned, mailed, or delivered.

Name of Contact Person:	
Name of Business or Firm:	
Address:	
Address:	
Telephone:	Fax
Email Address:	
FEIN: Federal Employer Identification No.:	

NEWBURGH ECS		Phase 3: 2019 Capital Improvement Project
13940.18	FORM OF PROPOSAL GENERAL CONSTRUCTION	004010 - 6

further certifies that it will not utilize on such Contract any subcontractor that is identified on the Prohibited Entities List. Additionally, Bidder/Contractor is advised that should it seek to renew or extend a Contract awarded in response to the solicitation, it must provide the same certification at the time the Contract is renewed or extended. (See Article in the Instructions to Bidders.)

Individual or Legal Name of Firm or Corporation:
Mailing Address:
Signature of Representative of Firm or Corporation:
Printed Name and Title:
Date:
SWORN to before me this date:
Notary Public Signature and Stamp:

22. **SEXUAL HARASSMENT POLICY/TRAINING AFFIRMATION**

By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that the bidder has and has implemented a written policy addressing sexual harassment prevention in the workplace and provides annual sexual harassment prevention training to all its employees.

Name of Contractor:
Name of Business or Firm:
Address:
Telephone: Fax
Email Address:
Signature and Title of Contractor:
Date:

END OF SECTION 004010 004010

NEWBURGH ECS		Phase 3: 2019 Capital Improvement Project
13940.18	FORM OF PROPOSAL ELECTRICAL CONSTRUCTION	004040 - 1

**SECTION 004040
FORM OF PROPOSAL ELECTRICAL CONSTRUCTION**

PART 1 GENERAL

1.01 SUMMARY

- A. Fill in information:

Date:
TO:
Newburgh Enlarged City School District
124 Grand Street
Newburgh, New York
FROM:
BIDDER NAME & ADDRESS

1.02 GENERAL

- A. Pursuant to, and in compliance with, the Procurement and Contracting Requirements, Conditions of the Contract, relative thereto and all of the Contract Documents, including any Addenda issued by the Architect and mailed or delivered to the undersigned prior to the opening of Bids, whether received by the undersigned or not, we,

1. having visited the site and being familiar with all conditions and requirements of the Work, hereby propose to furnish all plant, labor, supplies, materials and equipment incidental to ELECTRICAL CONSTRUCTION WORK as required by and in strict accord with the applicable provisions of the Drawings and Specifications entitled (Insert project title Here) all to the satisfaction and approval of the Architect and the Owner in accordance with the terms and conditions of the Contract Documents for the following sum:

	DOLLARS
(\$)	
BASE BID	

1.03 BID GUARANTEE

- A. The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within 10 days after a written Notice of Award, if offered within 45 days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, or bid bond, as liquidated damages for such failure, in the following amount constituting five percent (5%) of the Base Bid.
1. In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond.

1.04 TIME OF COMPLETION

- A. It is agreed by the undersigned that after receipt of a Notice of Award and a consummation of a Contract Agreement in accord with the terms of the Contract Documents, he will start work within 10 consecutive calendar days of this notice to proceed and fully complete the work as indicated in the project schedule.

1.05 ALLOWANCES (REFERENCE SPECIFICATION SECTION 012100)

- A. Specified Allowance as indicated in Specification Section 012100. This amount is to be included in the Base Bid above.

1. Allowance Amount:

\$	(Insert Amount)
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NEWBURGH ECSO		Phase 3: 2019 Capital Improvement Project
13940.18	FORM OF PROPOSAL ELECTRICAL CONSTRUCTION	004040 - 2

1.06 ALTERNATES (REFERENCE SPECIFICATION SECTION 012300.)

- A. Enter a whole dollar amount, even if it is zero (\$ 0), for each Alternate. Circle "ADD" or "DEDUCT" for each Alternate Bid. If neither is circled, "DEDUCT" will be assumed. Do not leave any Alternate amount blank. If any amount is blank, it will be assumed the Bidder will provide that Alternate for no change, neither increase nor decrease, in Contract Price.

1. Alternate No. EC-1;Electrical Work Associated with RTU-1 and RTU-2:

ADD/DEDUCT (\$)
DOLLARS	

2. Alternate No. EC-2; Electrical Work Associated with the Fan Coil Unit:

ADD/DEDUCT (\$)
DOLLARS	

3. Alternate No. EC-3;Electrical work associated with the Unit Ventilator Replacement:

ADD/DEDUCT (\$)
DOLLARS	

4. Alternate No. EC-4;Electrical work associated with the Condensing Unit Removal:

ADD/DEDUCT (\$)
DOLLARS	

5. Alternate No. EC-5;Electrical work associated with the Dust Collector Replacement:

ADD/DEDUCT (\$)
DOLLARS	

6. Alternate No. EC-6;Cafeteria Stage Removal:

ADD/DEDUCT (\$)
DOLLARS	

1.07 BID SECURITY

- A. Bid Security in the form of a Certified or Cashier's Check or a Bid Bond in the form required by the Contract Documents is attached to and made a part of this Proposal.

1.08 IRAN DIVESTMENT ACT CERTIFICATION

- A. Contractor to submit with the bid, Iran Divestment Act Certification which hereto is made a part of this Form of Proposal and is attached at the end of this Form of Proposal.

1.09 REPRESENTATIONS

- A. By submitting this Proposal the Bidder represents and certifies to the Owner and the Architect that
1. It has examined the Contract Documents, the site of the proposed Work, is familiar with the local conditions at the place where the Work is to be performed and fully comprehends the requirements and intent of the plans and specifications for this Project in accordance with the drawings, specifications and other Contract Documents prepared by CPL the Owners Consultant, for this Project.
 2. It has examined and reviewed, where applicable, all information and data in the Contract Documents related to existing underground facilities at or contiguous to the site. Bidder shall require of the Owner or Architect no further investigations, explorations, tests or reports with respect to such underground facilities in order for the Bidder to perform the Work of the Proposal within the Contract Time and in accordance with the Contract Documents.
 3. It has given notice to the Architect, as required by the Contract Documents of any and all discrepancies it has discovered and accepts the resolution of those discrepancies offered by the Architect.
 4. Pursuant to New York State General Municipal Law section 103-d, by submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:

NEWBURGH ECSD		Phase 3: 2019 Capital Improvement Project
13940.18	FORM OF PROPOSAL ELECTRICAL CONSTRUCTION	004040 - 3

- a. The prices in this bid have been arrived at independently without collusion, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
- b. Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not be knowingly disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or competitor; and
- c. No attempt has been made or will be made by bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition.
- d. The proposal is based upon the materials, equipment and systems required by the Contract Documents, without exception, unless otherwise set forth in this Proposal in detail.

1.10 NON-COLLUSIVE BIDDING CERTIFICATION

- A. By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:
 1. The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
 2. Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or to any competitor; and
 3. No attempt has been made or will be made by the bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition.

1.11 ACCEPTANCE

- A. When this Proposal is accepted, the undersigned agrees to enter into a Contract with the Owner as provided in the Form of Agreement.

1.12 AFFIRMS

- A. The undersigned affirms and agrees that this Proposal is a firm one which remains in effect and will be irrevocable for a period of forty-five (45) days after opening of Bids.

1.13 TYPE OF BUSINESS

- A. The undersigned hereby represents that it is a (select with circle):
 1. Corporation, Partnership, Individual.
 2. If a Corporation, then the undersigned further represents that it is duly qualified as a Corporation under the laws of New York State and it is authorized to do business in this State.

1.14 PLACE OF BUSINESS

- A. The following is the name and address of the person to whom all notices required in connection with this Proposal may be telephoned, mailed, or delivered.

Name of Contact Person:	
Name of Business or Firm:	
Address:	
Address:	
Telephone:	Fax
Email Address:	
FEIN: Federal Employer Identification No.:	

1.15 EXECUTION OF CONTRACT

- A. When written Notice of Acceptance of the Proposal is mailed or delivered to the undersigned within forty-five (45) days after the opening of Bids, or anytime thereafter should the Proposal not be withdrawn, the undersigned, within ten (10) days, will execute

NEWBURGH ECSD		Phase 3: 2019 Capital Improvement Project
13940.18	FORM OF PROPOSAL ELECTRICAL CONSTRUCTION	004040 - 5
Notary Public Signature and Stamp:		

1.20 SEXUAL HARASSMENT POLICY/TRAINING AFFIRMATION

- A. By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that the bidder has and has implemented a written policy addressing sexual harassment prevention in the workplace and provides annual sexual harassment prevention training to all its employees.

Name of Contractor:	
Name of Business or Firm:	
Address:	
Telephone:	Fax
Email Address:	
Signature and Title of Contractor:	
Date:	

END OF SECTION 004040

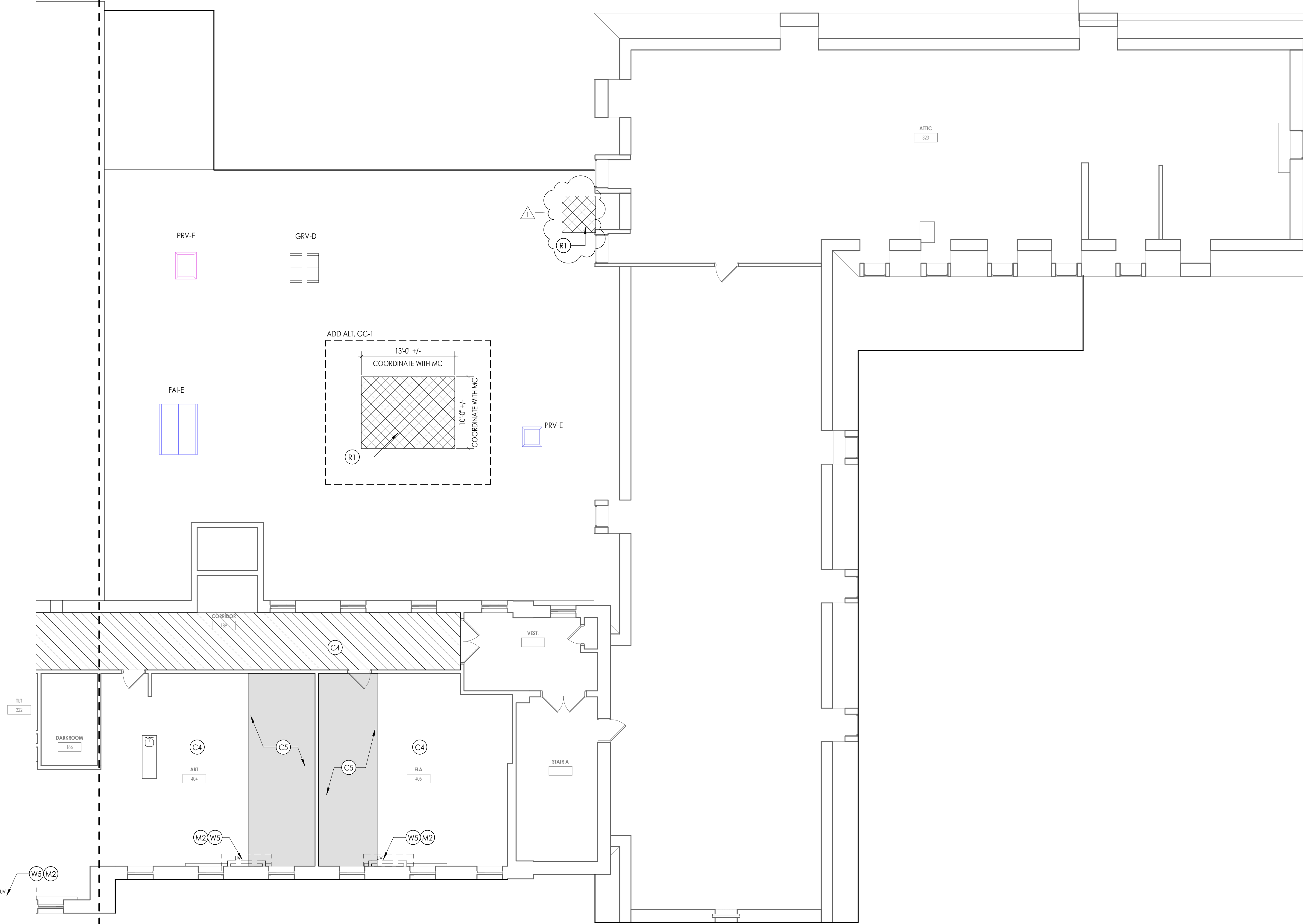
NEWBURGH ECSD		Phase 3: 2019 Capital Improvement Project
13940.18	FORM OF PROPOSAL ELECTRICAL CONSTRUCTION	004040 - 1

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A103D
1/8" = 1'-0"

ASBESTOS ABATEMENT GENERAL NOTES

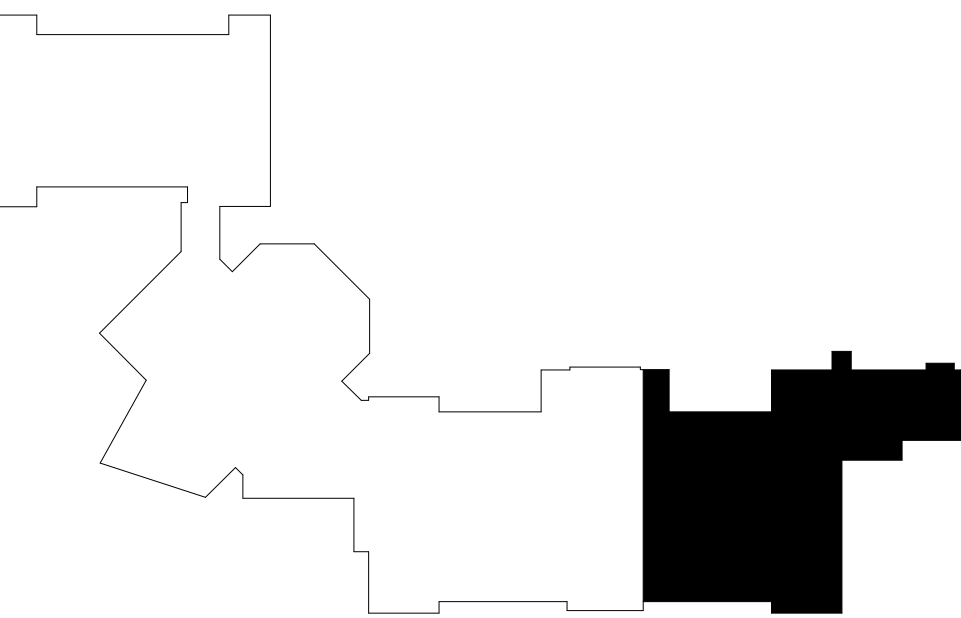
- ALL DRAWINGS ARE A GRAPHIC REPRESENTATION OF APPROXIMATE LOCATIONS OF MATERIALS TO BE ABATED. IF THERE ARE ANY DISCREPANCIES WITH WHAT EXISTS TO WHAT IS INDICATED ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPORT SAID DISCREPANCIES TO THE ARCHITECT PRIOR TO SUBMITTING A BID. THE INTENT OF THIS PROJECT IS TO COMPLETELY REMOVE ASBESTOS CONTAINING MATERIALS INDICATED AND TO PROVIDE A CLEAN ACM FREE WORK AREA POST ABATEMENT.
- ALL ABATEMENT PROCEDURES TO BE IN ACCORDANCE WITH STANDARDS SET FORTH BY NEW YORK STATE DEPARTMENT OF LABOR INDUSTRIAL CODE RULE S6 AND ALL APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL PATCH TO MATCH ANY DISTURBED AREAS AND FINISHES AS A RESULT OF THEIR ABATEMENT WORK. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S AND ARCHITECT'S SATISFACTION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ASBESTOS DUMPSTER WITH THE OWNER.
- THE CONTRACTOR MAY APPLY FOR PROJECT SPECIFIC VARIANCES. USE OF SUCH VARIANCES ARE SUBJECT TO APPROVAL BY THE OWNER AND ARCHITECT.
- ALL CHALKBOARDS, TACK BOARDS, DRY ERASE BOARDS, ETC. TO BE REMOVED BY ASBESTOS ABATEMENT.

DEMOLITION GENERAL NOTES

- IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL DETAILS INVOLVED IN THE DEMOLITION CONTRACT. SPECIFIC INSTRUCTION ON EACH ITEM WILL NOT BE GIVEN.
- GC IS RESPONSIBLE FOR KEEPING BUILDING WEATHTIGHT DURING DEMOLITION WORK.
- GC IS TO PROVIDE DUST CONTROL BARRIERS AT ALL AREAS OF CONSTRUCTION.
- GC WILL SALVAGE ANY ITEMS PER OWNERS LIST (BID).
- PC = PLUMBING CONTRACTOR, EC = ELECTRICAL CONTRACTOR, MC = MECHANICAL CONTRACTOR
- PATCH WALLS, FLOORS AND CEILINGS AT ALL WALL REMOVALS, TO MATCH SCHEDULED FINISHES
- WORK AREAS SHALL BE MAINTAINED AND LEFT BROOM CLEANED AT END OF EACH DAY.
- EXISTING BUILDING AND STRUCTURE TO REMAIN EXCEPT AS NOTED.

DEMOLITION KEY NOTES

- (C1) REMOVE EXISTING ACOUSTIC CEILING TILES, GRID, AND SUSPENSION SYSTEM IN ITS ENTIRETY FULL EXTENT OF ROOM. PATCH WALLS AFFECTED BY DEMOLITION.
- (C2) REMOVE EXISTING METAL STUD, GYPSUM WALL BOARD SOFFIT AND ALL ASSOCIATED COMPONENTS IN ITS ENTIRETY.
- (C3) REMOVE EXISTING GYPSUM BOARD CEILING AND ALL ASSOCIATED FRAMING IN ITS ENTIRETY.
- (C4) REMOVE AND SALVAGE 24X24 OR 24X48 ACOUSTIC CEILING TILE. STORE PANELS SAFELY FOR REINSTALLATION IN NEW WORK. REFER TO RCPS. EXISTING GRID AND SUSPENSION SYSTEM TO REMAIN.
- (C5) REMOVE PORTION OF EXISTING CEILING TILES, GRID, AND SUSPENSIONS SYSTEM AT SHADED AREAS INDICATED ON DRAWINGS. SALVAGE EXISTING CEILING TILES FOR REINSTALLATION. PATCH WALLS AFFECTED BY DEMOLITION.
- (D1) REMOVE EXISTING HOLLOW METAL DOOR, FRAME, AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY.
- (F1) REMOVE EXISTING VCT FLOORING, RUBBER BASE, AND ALL ASSOCIATED TRIM IN ITS ENTIRETY FULL EXTENT OF ROOM. PREPARE SUBSTRATE FOR INSTALLATION OF NEW FINISHES.
- (F2) REMOVE EXISTING CONCRETE RAMP, RAILING, AND ALL ASSOCIATED MOUNTING HARDWARE IN ITS ENTIRETY.
- (F3) REMOVE EXISTING CONCRETE STAIR, RAILING, AND ALL ASSOCIATED MOUNTING HARDWARE IN ITS ENTIRETY.
- (F4) REMOVE EXISTING 4" THICK CONCRETE SLAB, FINISHES, AND ALL ASSOCIATED TRIM IN ITS ENTIRETY. EXCAVATE DOWN TO REQUIRED ELEVATION FOR NEW WORK.
- (F5) REMOVE EXISTING SAFETY PADDING. PREPARE SUBTRATE FOR NEW FINISHES.
- (F6) REMOVED DAMAGED STAIR TREAD.
- (F7) SAW CUT AND REMOVE PORTION OF EXISTING SLAB ON GRADE AND EXCAVATE AS REQUIRED FOR NEW WORK. COORDINATE WORK WITH ALL TRADES.
- (F8) REMOVE EXISTING QUARRY TIL AND MUDESET TO EXTENT SHOWN IN SHADED AREA.
- (F9) REMOVE EXISTING RUBBER BASE. PREPARE SURFACE FOR INSTALLATION OF NEW FINISHES.
- (F10) REMOVE RUBBER STAIR TREAD/RISER AND ALL ASSOCIATED TRIM. PREPARE SUBSTRATE FOR NEW FINISHES.
- (F11) SAW CUT AND REMOVE EXISTING FLOOR SLAB. PROVIDE OPENING SUPPORT PER STRUCTURAL DWGS.
- (M1) REMOVE EXISTING GYPSUM COLUMN WRAP AND ALL ASSOCIATED COMPONENTS. PREPARE FOR NEW FINISHES
- (M2) MC TO REMOVE EXISTING UNIT VENTILATORS. GC TO PATCH INTAKE OPENING AND FINISHES @ WALL/FLOOR PER DETAIL ON A801.
- (M3) REMOVE EXISTING RAILING.
- (M4) REMOVE EXISTING BALLASTED ROOF SYSTEM DOWN TO DECKING. REMOVE EXISTING FLASHING AS NECESSARY FOR INSTALLATION OF NEW ROOF SYSTEM.
- (M5) PC TO REMOVE EXISTING DRINKING FOUNTAIN. PATCH WALL AFFECTED BY DEMOLITION.
- (M6) REMOVE PAPER TOWEL DISPENSER AND TURN OVER TO OWNER.
- (M7) REMOVE AND SALVAGE FOR RE-INSTALLATION EXISTING STEEL WORK SURFACE.
- (M8) REMOVE AND REINSTALL STAINLESS STEEL TRAY SURFACE AS NECESSARY FOR DEMOLITION.
- (M9) REMOVE FLOOR MOUNTED SLEEVES. PATCH HOLE IN CONCRETE FLOOR.
- (M10) MC TO REMOVE EXISTING UNIT VENTILATORS. GC TO MODIFY CASEWORK AS NEEDED TO FACILITATE INSTALLATION OF NEW UNIT.
- (R1) REMOVE EXISTING EPDM ROOF MEMBRANE, COVER BOARD, ROOF INSULATION, AND SUBSTRATE BOARD REQUIRED TO INSTALL NEW ROOF CURB. COORDINATE ROOF DECK REMOVAL WITH STRUCTURAL DRAWINGS. COORDINATE INSTALLATION OF ROOF CURBS WITH MECHANICAL CONTRACTOR.
- (S1) REMOVE EXISTING COLUMN. REFER TO STRUCTURAL DWGS.
- (W1) REMOVE PORTION OF EXISTING CMU WALL PER DETAIL ON A401. SUPPORT REMAINING EXISTING WALL AS REQUIRED. PREPARE AREA FOR NEW WORK.
- (W2) REMOVE PORTION OF EXISTING WALL AS REQUIRED. PREPARE AREA FOR NEW WORK
- (W3) REMOVE EXISTING ALUMINUM STOREFRONT SYSTEM AND ALL RELATED MOUNTING HARDWARE.
- (W4) REMOVE EXISTING 6" CMU WALL IN ITS ENTIRETY. PATCH AND PREP. FOR NEW WORK.
- (W5) REMOVE EXISTING CHASE WALL IN ITS ENTIRETY. PATCH ALL ADJACENT SURFACES AFFECTED BY DEMOLITION.
- (W6) REMOVE PORTION OF EXISTING 8" CMU WALL. PREPARE ADJACENT SURFACES FOR NEW WORK.



KEYPLAN AREA D
NTS

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50 FRONT ST. SUITE 202
NEWBURGH, NY 12550
CPLteam.com

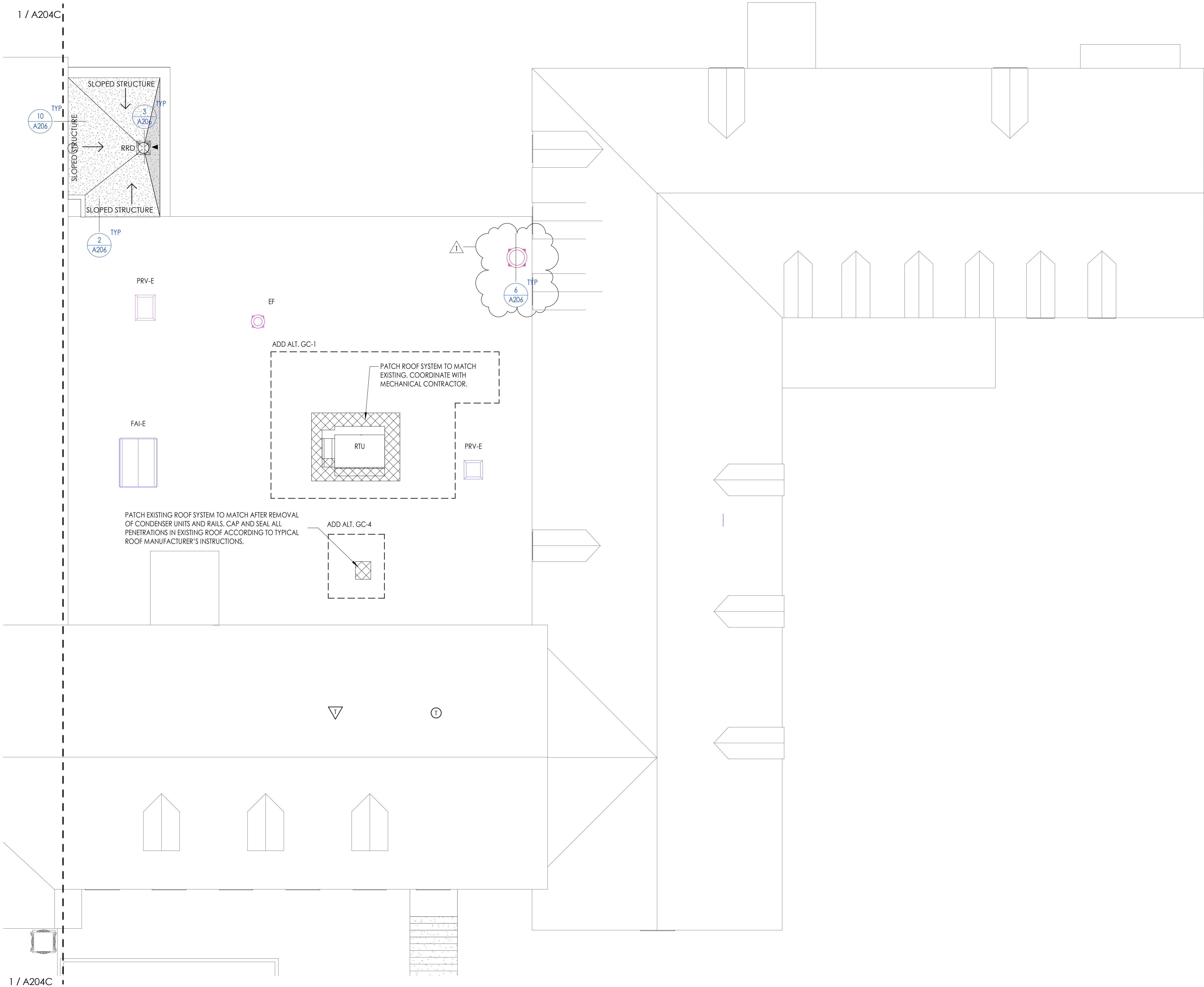
PROJECT INFORMATION
Project Number
13940.18
Client Name
NEWBURGH ENLARGED CITY SCHOOL DISTRICT
Project Name
PHASE 3: HERITAGE MIDDLE SCHOOL 2019 CAPITAL IMPROVEMENT PROJECT
Project Address
405 Union Avenue, New Windsor, NY 12553
SED Number
44-16-00-01-0-039-011
PROJECT ISSUE SCHEDULE
No. Date Description
1 09/27/21 BID ADDENDA 2

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED. THE ALTERING PARTY SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION
Issued
9/9/2021
Project Status
CONSTRUCTION DOCUMENTS
Drawn By
CPL
Checked By
CPL
Drawing Title
THIRD FLOOR AREA D - DEMOLITION PLAN

Drawing Number
HMS
A103D

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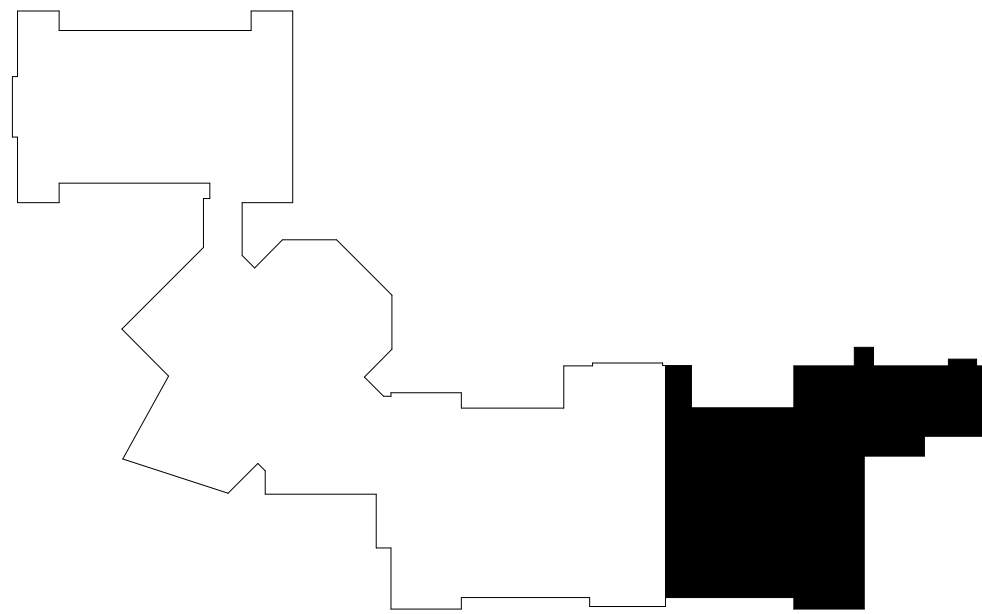
1 ROOF PLAN AREA D
1/8" = 1'-0"

ROOF PLAN GENERAL NOTES

1. ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF APPROXIMATE LOCATIONS OF MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
2. REFER TO ALL DRAWINGS IN THE SET FOR LOCATIONS OF ALL ROOF PENETRATIONS. PROVIDE FRAMING AS REQUIRED.
3. CONTRACTOR SHALL PAINT ALL ROOF FASTENERS EXPOSED TO VIEW AT UNDERSIDE OF DECK TO MATCH.
4. WORK AREAS SHALL BE MAINTAINED AND ALL WORK AREAS SHALL BE BROOM CLEAN AT THE END OF EACH DAY.
5. ALL WOOD BLOCKING USED SHALL BE PRESSURE TREATED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL ROOF DRAINS AND CUTTING THE HOLES IN THE DECK FOR ANY DRAINS AND PROVIDING STRUCTURAL SUPPORTS.
7. THE ROOF ELEVATIONS SHOWN ON THE PLAN ARE SHOWN TO ESTABLISH RELATIVE HEIGHTS OF THE INDIVIDUAL ROOFS.
8. NO WEEP HOLES SHALL BE COVERED OR PLUGGED AS A RESULT OF THE ROOFING WORK, UNLESS OTHERWISE DIRECTED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN WATER TIGHTNESS AND PROVIDE PROTECTION AT ANY/ALL OPENINGS IN THE ROOF LEFT AT THE END OF EACH DAY.
10. PROVIDE CRICKETS FOR WATER DIVERSION AT ALL CURBS, RAILS, ETC., WHICH RUN PERPENDICULAR TO THE SLOPE OF THE INSULATION/SLOPED STRUCTURE.
11. ALL ROOF TOP UNITS SHALL BE MOUNTED ON 16" MIN. INSULATED METAL CURBS. PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED TO SHED WATER. WOOD BLOCKING SHALL BE PROVIDED SO CURBS ARE 8" ABOVE FINISHED ROOF SURFACE.
12. THE MINIMUM INSULATION THICKNESS SHALL BE 5.5". SLOPE OF TAPERED INSULATION TO BE A MINIMUM OF 1/4" PER FOOT FOR NEW CONSTRUCTION AND 1/8" PER FOOT OVER EXISTING STRUCTURE.

ROOF PLAN LEGEND

- | | | |
|--|--------------|---|
| | RD | ROOF DRAIN W/ SECONDARY |
| | H.P. XX" | SLOPED INSULATION HIGH POINT (MIN. 5 1/2") |
| | | SLOPED INSULATION ROOF CRICKET. PROVIDE 1/2" / 1'-0" POSITIVE DRAINAGE |
| | | MECH. CURB (W/ CRICKET), PROVIDE FLASHING PER ROOF MANUFACTURER'S DETAILS |
| | 1/4" / 1'-0" | ROOF SLOPE |
| | | 2'-0" x 2'-0" ROOF MEMBRANE WALKWAY SYSTEM |
| | | NEW EPDM ROOF SYSTEM AS SPECIFIED |



KEYPLAN AREA D
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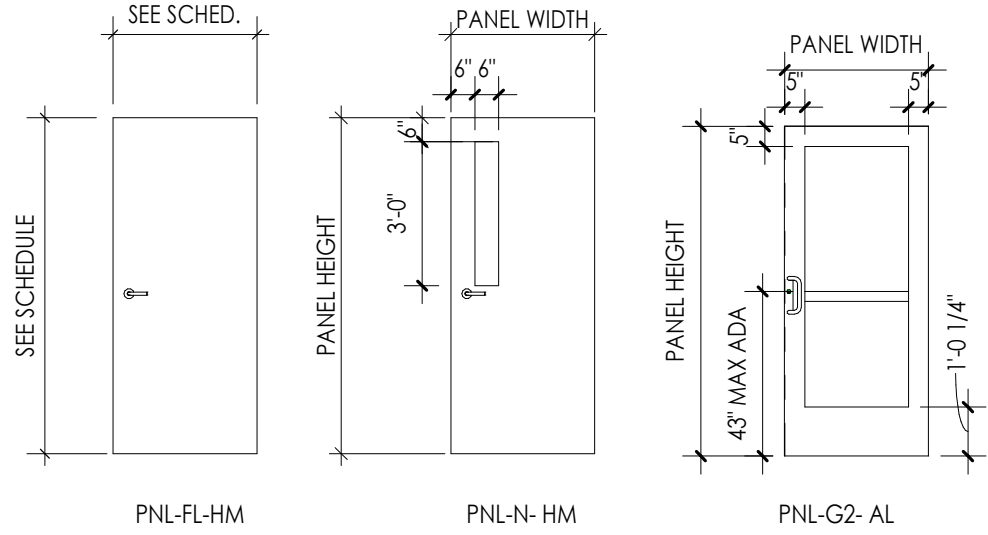
CPL
CPL | Architecture Engineering Planning
50 FRONT ST. SUITE 202
NEWBURGH, NY 12550
CPLteam.com

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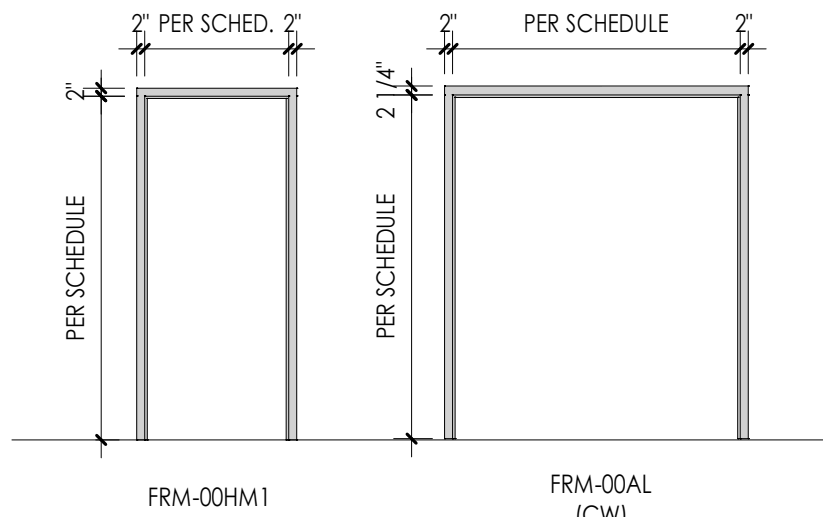
SHEET INFORMATION
Issued
9/9/2021
Scale
As indicated
Project Status
CONSTRUCTION DOCUMENTS
Drawn By
CPL
Checked By
CPL
Drawing Title
ROOF PLAN AREA D
Drawing Number
HMS
A204D

DOOR SCHEDULE.																				
DOOR		DOOR PANELS DOOR TYPE	FRAME PANELS OPENING WIDTH	FRAME PANELS OPENING HEIGHT	DOOR PANELS			DOOR FRAME			DEPTH	DOOR FRAME			HEAD	JAMB	SILL	HW SET	DOOR GLAZING TYPE	COMMENTS
NUMBER	FIRE RATING (MIN)				THICKNESS	UNDERCUT	FINISH 1	TYPE	JAMB WIDTH	HEAD HEIGHT		FINISH 1								
50-1	90	PNL-FL-HM	3'-0"	7'-0"	0'-1 3/4"	0'-0 3/4"	PTD		FRM-00HM1	0'-2"	0'-2"	0'-5 7/8"	PTD		6	3	1		SEE SPEC.	
44B-1	-	PNL-FL-HM	3'-0"	7'-2"	0'-1 3/4"	0'-0 3/4"	PTD		FRM-00HM1	0'-2"	0'-2"	0'-7 5/8"	PTD		5	2	1		SEE SPEC.	
44B-2	-	PNL-N-HM	3'-0"	7'-2"	0'-1 3/4"	0'-0 3/4"	PTD		FRM-00HM1	0'-2"	0'-2"	0'-7 5/8"	PTD		5	2	1		SEE SPEC.	G2
44BA-1	-	PNL-G2-AL	6'-0"	7'-0"	0'-2"	0'-0 3/4"	Clear Anodize		FRM-00AL(CW)	0'-2"	0'-2"	0'-4 1/2"	Clear Anodize		9	8 & 4	7		SEE SPEC.	G1
44BA-2	-	PNL-G2-AL	6'-0"	7'-0"	0'-2"	0'-0 3/4"	Clear Anodize		FRM-00AL(CW)	0'-2"	0'-2"	0'-4 1/2"	Clear Anodize		9	8 & 4	7		SEE SPEC.	G1



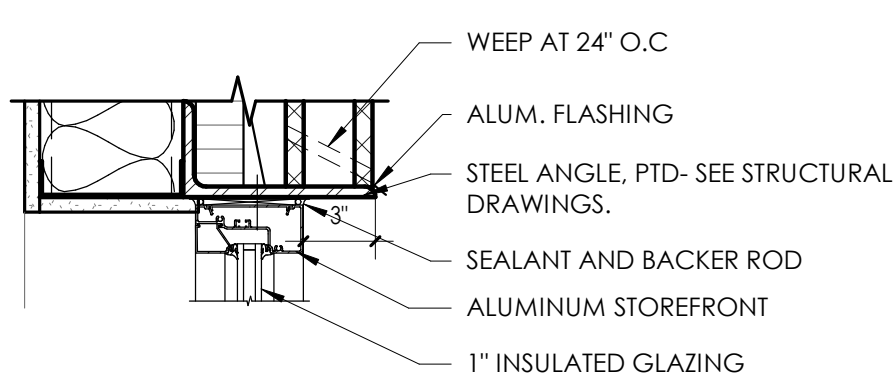
DOOR TYPES

1/4" = 1'-0"



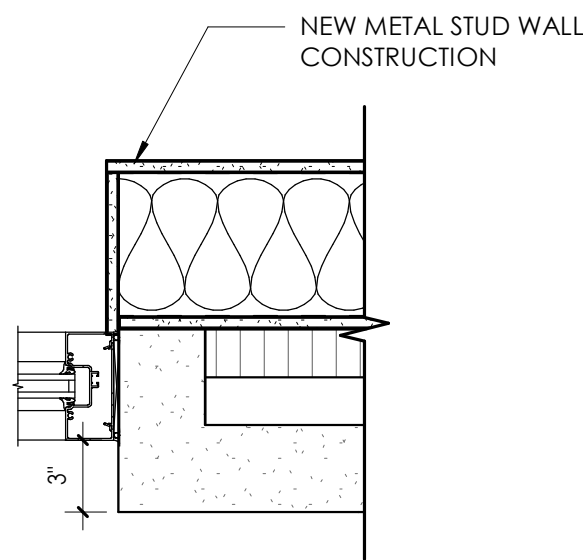
DOOR FRAME TYPES

1/4" = 1'-0"



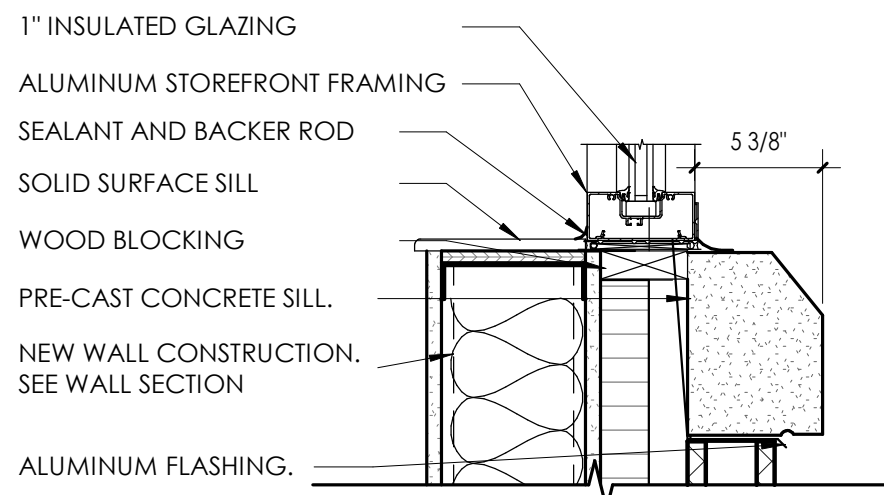
12. STOREFRONT WINDOW HEAD DETAIL

A900 1 1/2" = 1'-0"



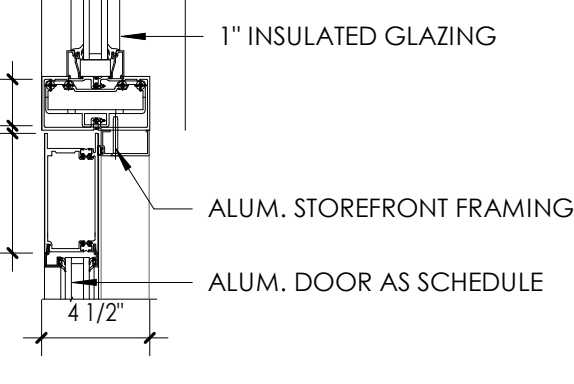
11 STOREFRONT WINDOW JAMB DETAIL

A900 1 1/2" = 1'-0"



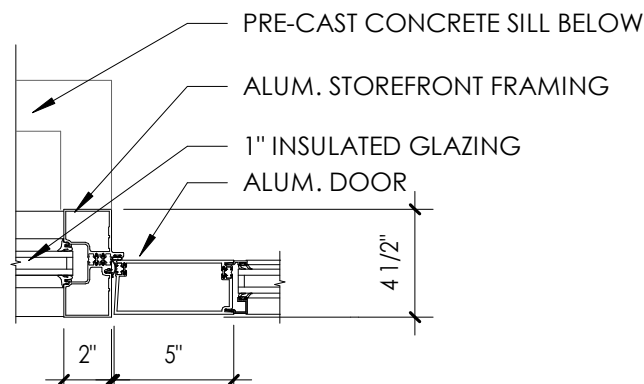
10 STOREFRONT WINDOW SILL DETAIL

A900 1 1/2" = 1'-0"



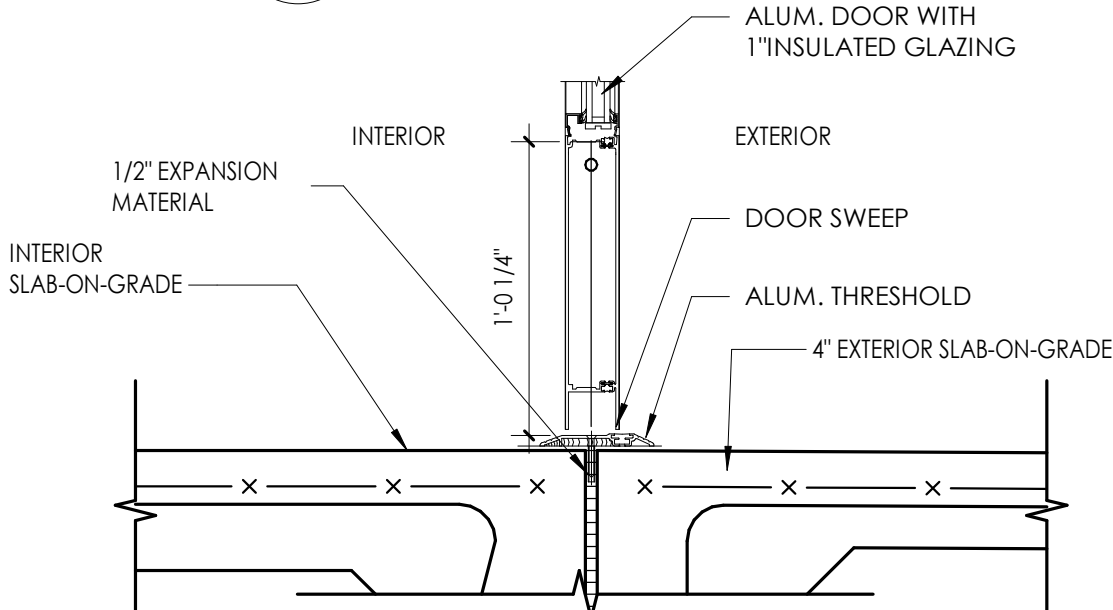
9 ALUM. DOOR HEAD

A900 1 1/2" = 1'-0"



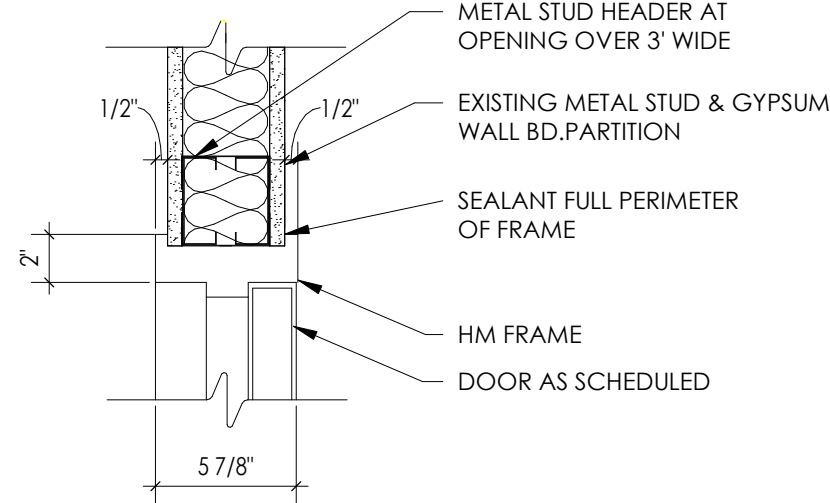
8 ALUM. DOOR JAMB DETAIL

A900 1 1/2" = 1'-0"



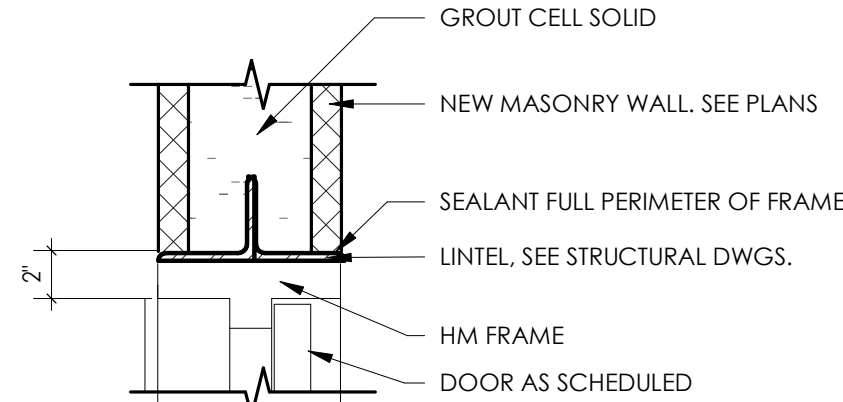
7 ALUM. DOOR SILL DETAIL

A900 1 1/2" = 1'-0"



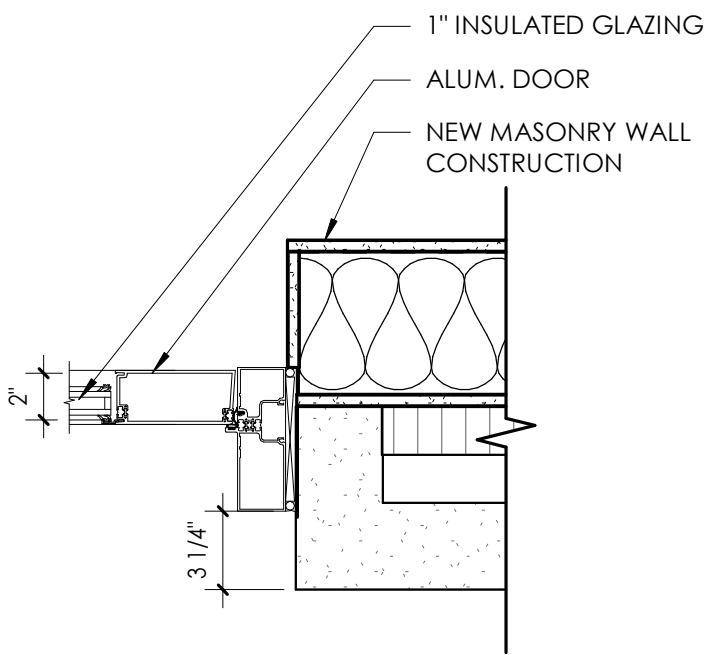
6 HEAD DETAIL

A900 1 1/2" = 1'-0"



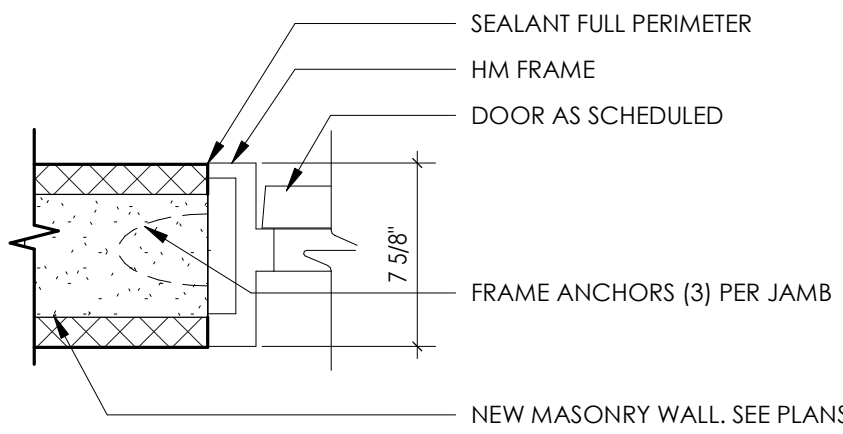
5 HEAD DETAIL CMU

A900 1 1/2" = 1'-0"



4 ALUM. DOOR JAMB DETAIL AT CMU WALL

A900 1 1/2" = 1'-0"



2 JAMB DETAIL CMU

A900 1 1/2" = 1'-0"

DOOR AND FRAME NOTES

1. REFER TO A900S FOR DOOR & FRAME SCHEDULE
2. ALL FRAMES ARE TO RECEIVE FULL PERIMETER SEALANT, INTERIOR AND EXTERIOR
3. ALL DOOR AND WINDOW DIMENSIONS ARE TO BE VERIFIED IN FIELD PRIOR TO FABRICATION
4. SEE SCHEDULE FOR DOOR & FRAME MATERIAL

WINDOW GENERAL NOTES

1. COORDINATE ALL FRAME SIZES, TRIM EXTRUSIONS AND SILLS WITH WALL SECTIONS AND DETAILS
2. ALL FRAMES ARE TO RECEIVE FULL PERIMETER SEALANT, INTERIOR AND EXTERIOR
3. ALL DOOR AND WINDOW DIMENSIONS ARE TO BE VERIFIED IN FIELD PRIOR TO FABRICATION
4. REFER TO DIMENSION PLANS AND WALL SECTIONS FOR MULLION LAYOUT DIMENSIONS.
5. REFER TO EXTERIOR ELEVATIONS FOR GLASS, SPANDREL AND METAL PANEL LOCATIONS.
6. SYSTEM TYPE DESIGNATIONS ARE:
 - AC - APPLIED MULLION CURTAIN WALL WINDOW SYSTEM.
 - AW - INTERIOR ALUMINUM WINDOW SYSTEM
 - CW - CURTAIN WALL WINDOW SYSTEM
 - HM - HOLLOW METAL WINDOW SYSTEM
 - RA - RATED ALUMINUM WINDOW SYSTEM
 - SS - STAINLESS STEEL FRAMELESS GLASS WINDOW SYSTEM
 - SF - STOREFRONT WINDOW SYSTEM
7. OPENING MARK DESIGNATION PROVIDED FOR COORDINATION OF SHOP DRAWING SUBMITTALS.

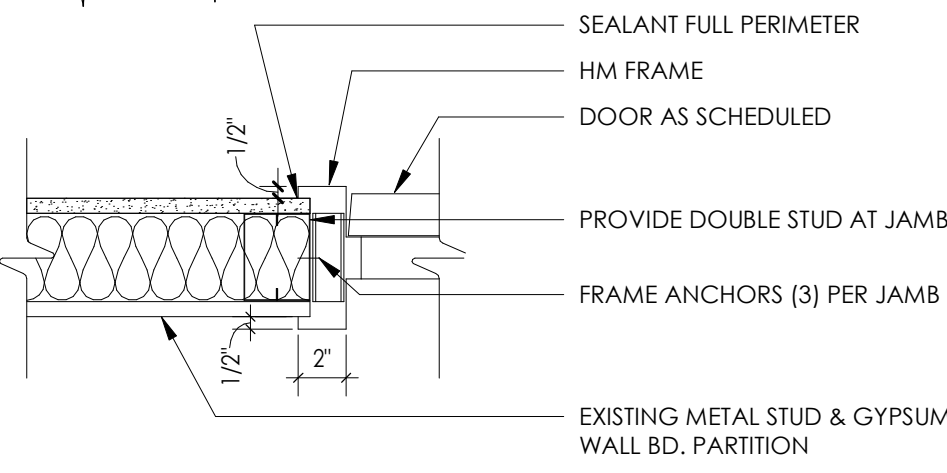
DOOR AND FRAME SCHEDULE LEGEND

NOTE: THIS LEGEND MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PROJECT.

DOOR OR FRAME MATERIAL		DOOR OR FRAME FINISH	
ACR	ACROVYN DOOR	PTD	PAINT
ACR-L	ACROVYN LEAD LINED DOOR	PTM	PAINT TO MATCH EXISTING
ALUM	ALUMINUM	ST	WOOD STAIN
HM	HOLLOW METAL	DB	DARK BRONZE(ANODIZED)
HM-L	HOLLOW METAL LEAD LINED	SS	STAINLESS STEEL
IHM	INSULATED HOLLOW METAL	BE	BAKED ENAMEL
WD	WOOD		
WD-L	WOOD LEAD LINED		

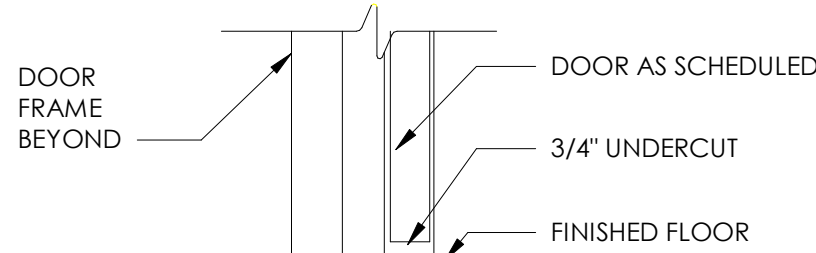
GLAZING TYPES

TYPE MARK	GLAZING DESCRIPTION
G1	1" INSULATED LOW-E GLAZING
G2	MONOLITHIC SAFETY GLAZING



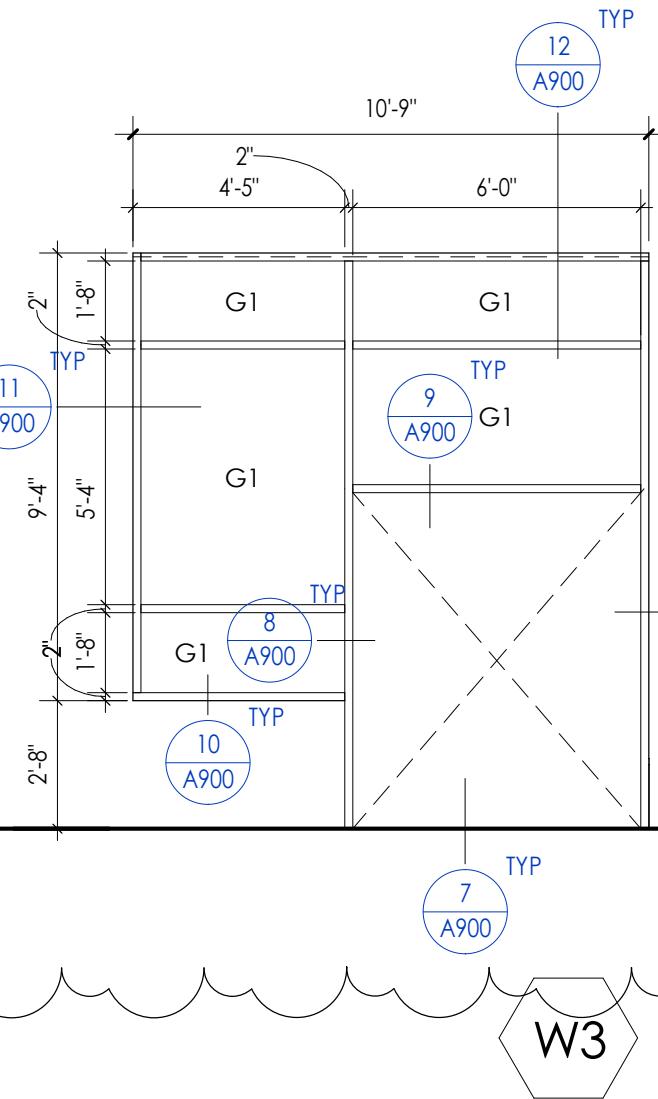
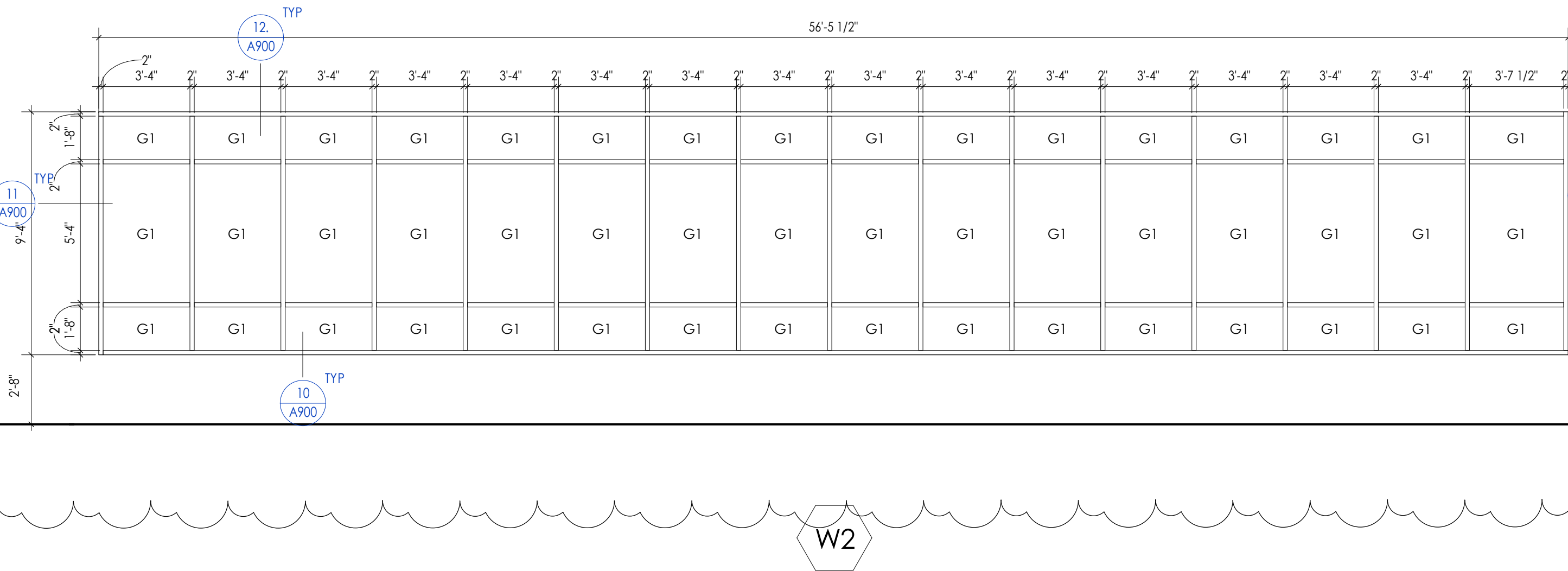
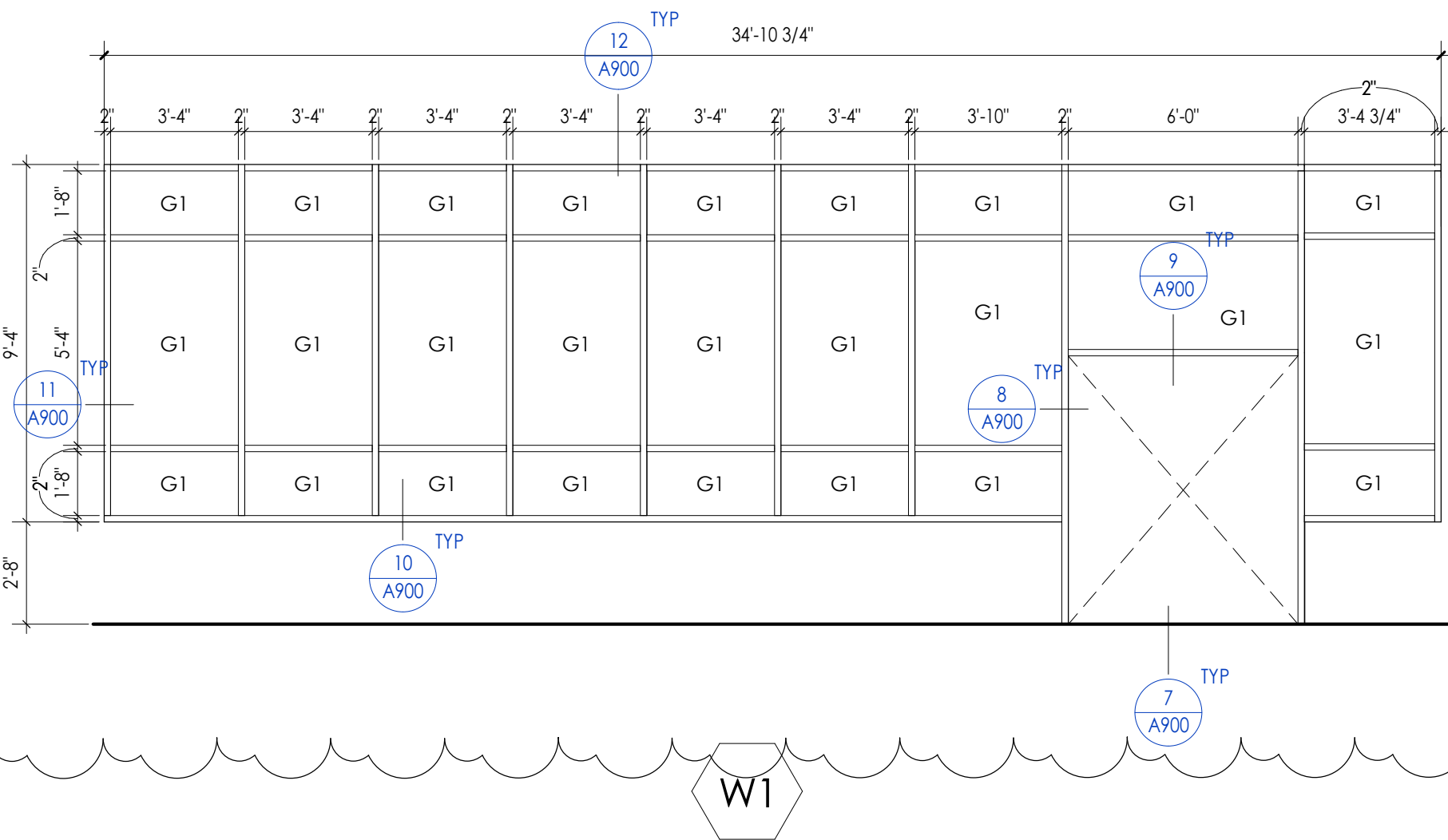
3 JAMB DETAIL

A900 1 1/2" = 1'-0"



1 TYP. SILL DETAIL

A900 1 1/2" = 1'-0"



PROJECT INFORMATION

Project Number
13940.18
Client Name
NEWBURGH ENLARGED CITY SCHOOL DISTRICT
Project Name
PHASE 3: HERITAGE MIDDLE SCHOOL 2019 CAPITAL IMPROVEMENT PROJECT

Project Address
405 Union Avenue, New Windsor, NY 12553

SED Number
44-16-00-01-0-039-011

PROJECT ISSUE SCHEDULE

No.	Date	Description
1	09/27/21	BID ADDENDA 2

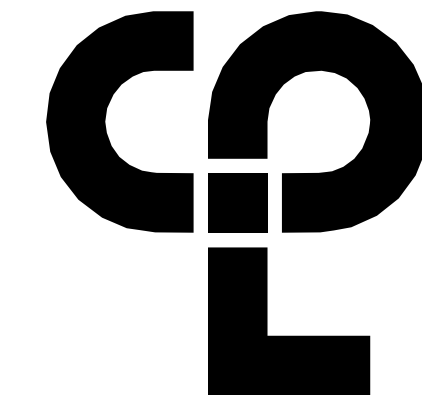
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SHEET INFORMATION

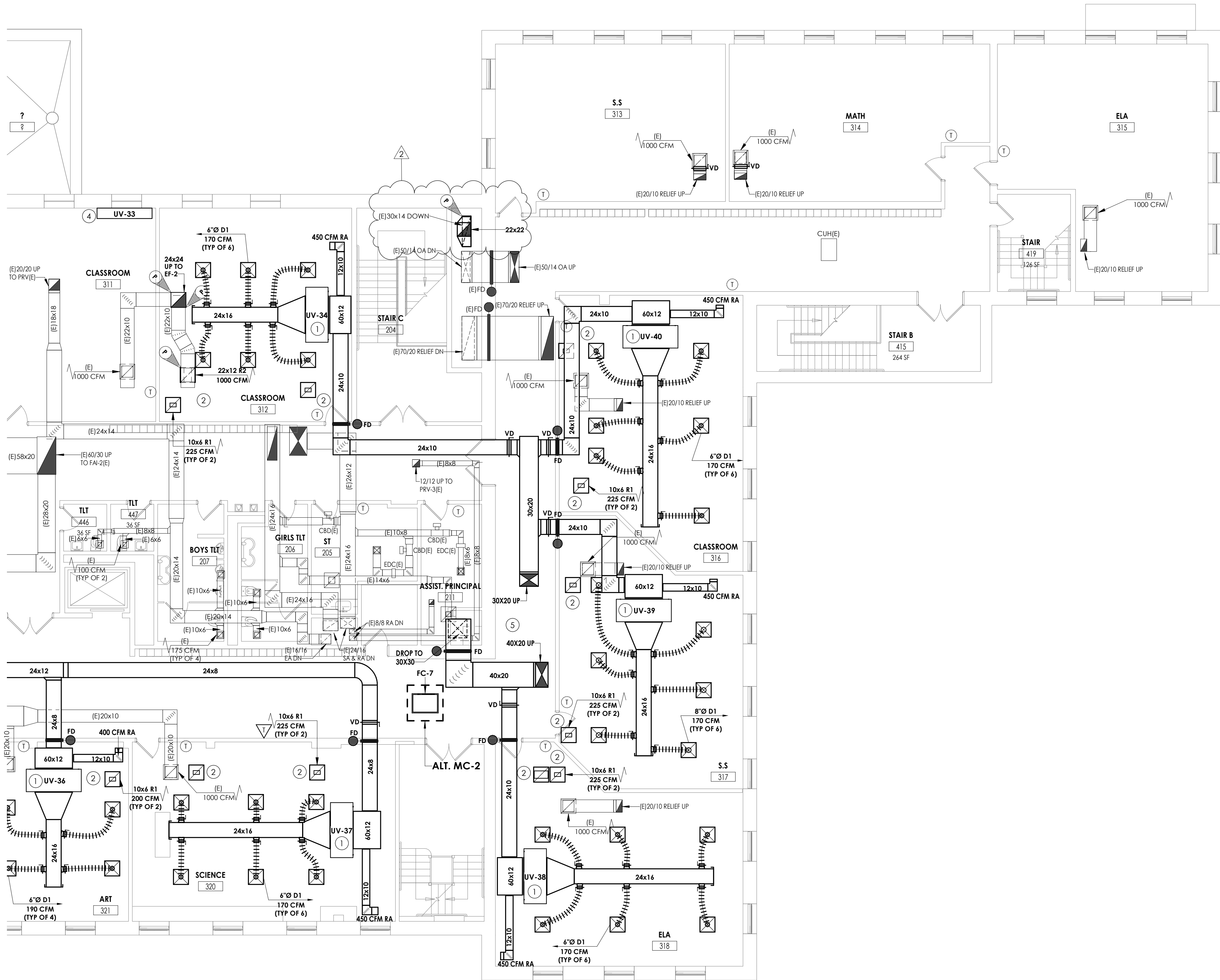
Issued
9/9/2021
Project Status
CONSTRUCTION DOCUMENTS
Drawn By
CPL
Checked By
CPL
Drawing Title
DOOR PANELS, FRAME TYPES & SCHEDULES

Drawing Number

HMS
A900



CPL | Architecture Engineering Planning
50 FRONT ST. SUITE 202
NEWBURGH, NY 12550
CPLteam.com



1 SECOND FLOOR HVAC DUCTWORK PLAN - AREA D
H202D 1/8" = 1'-0"

KEY NOTES

- 1 MOUNT UNIT VENTILATOR ABOVE CEILING. COORDINATE WITH ANY CEILING UTILITIES. MAINTAIN ACCESS FOR FILTER CHANGES. ALL SUPPLY AND RETURN DUCTWORK SHALL BE LINED. EXTEND EXISTING CONTROLS TO NEW UNIT LOCATION.
- 2 PLENUM RETURN.
- 3 DUCTWORK LOCATED IN ATTIC SPACE.
- 4 PROVIDE NEW UNIT VENTILATOR IN EXISTING LOCATION. EXTEND EXISTING UTILITIES TO NEW UNIT. COORDINATE NEW INSTALLATION WITH EXISTING CABINETS.
- 5 REROUTE EXISTING DUCTWORK AS NEEDED TO ACCOMMODATE NEW INSTALLATION.

CPL
CPL | Architecture Engineering Planning
50 FRONT ST. SUITE 202
NEWBURGH, NY 12550
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2	9/23/21	BID ADDENDUM #2

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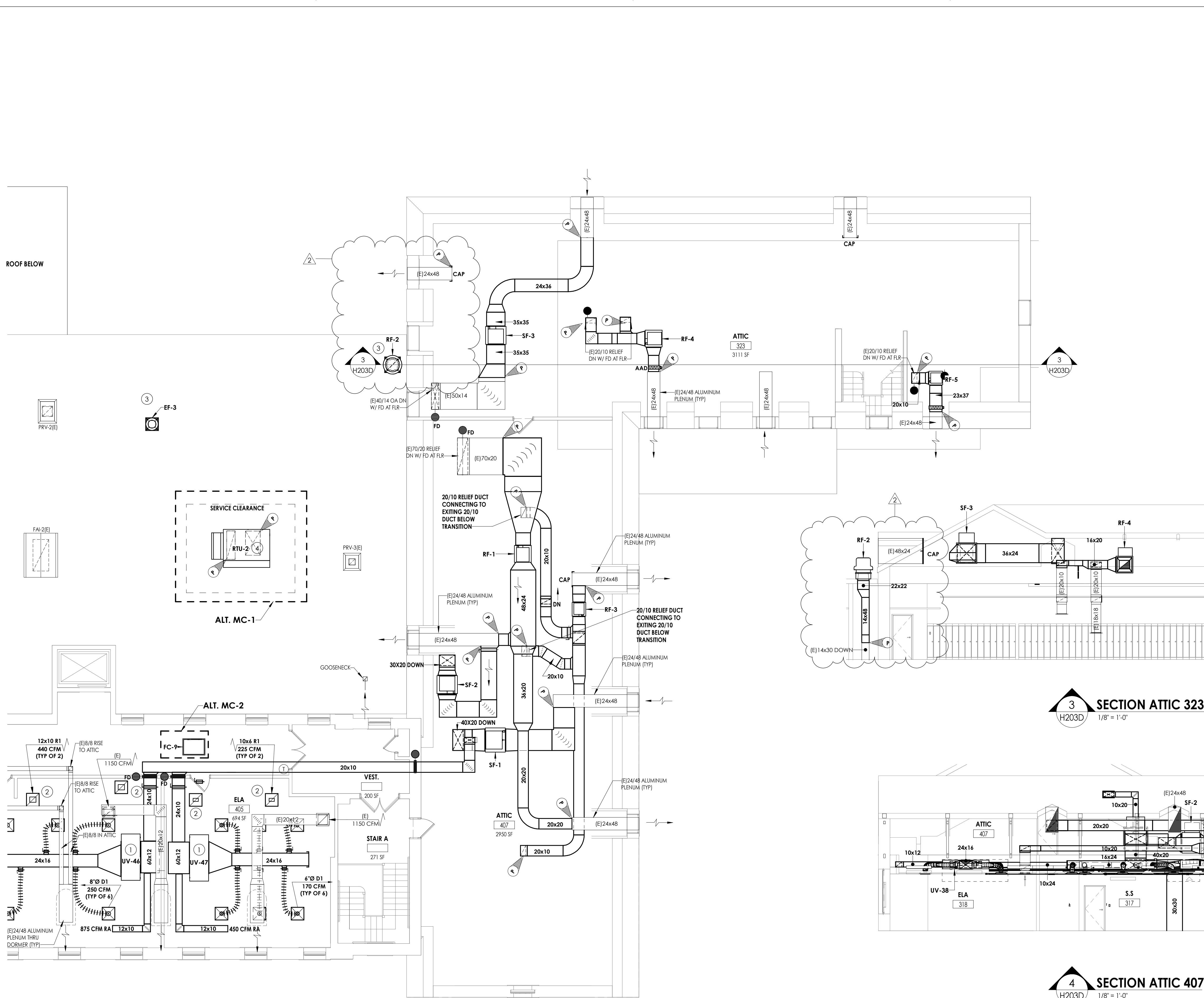
Issued
09/09/2021
Scale
As indicated
Project Status
CONSTRUCTION DOCUMENTS
Drawn By
NRH
Checked By
JJM
Drawing Title
SECOND FLOOR HVAC
DUCTWORK PLAN - AREA D

Drawing Number

HMS
H202D



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1 THIRD FLOOR HVAC DUCTWORK PLAN - AREA D
H203D 1/8" = 1'-0"

KEY NOTES

- 1 MOUNT UNIT VENTILATOR ABOVE CEILING. COORDINATE WITH ANY CEILING UTILITIES. MAINTAIN ACCESS FOR FILTER CHANGES. ALL SUPPLY AND RETURN DUCTWORK SHALL BE LINED. EXTEND EXISTING CONTROLS TO NEW UNIT LOCATION.
- 2 PLENUM RETURN.
- 3 EXHAUST FANS SHALL BE PROVIDED WITH NEW CURB. CONNECT TO EXISTING DUCT RISERS.
- 4 ROOFTOP UNIT SHALL BE PROVIDED WITH A NEW CURB. CONNECT TO EXISTING DUCT RISER.
- 5 UNIT VENTILATORS SHALL BE INSTALLED IN ATTIC SPACE. EACH DROP THROUGH CONCRETE FLOOR SHALL BE PROVIDED WITH NEW FIRE DAMPER.
- 6 PROVIDE FIRE DAMPER AT ALL FLOOR PENETRATIONS. ATTIC FLOOR IS CONCRETE.

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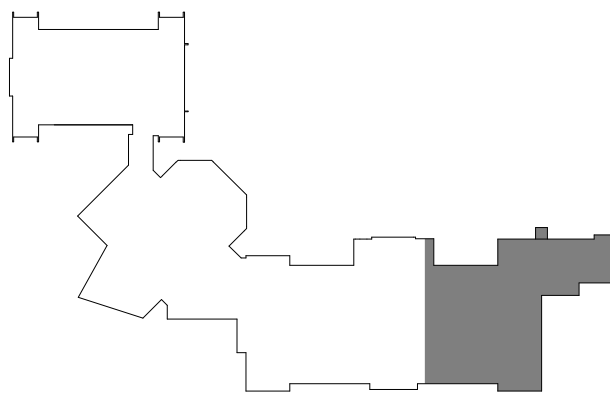
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44-16-00-01-0-039-011

PROJECT ISSUE SCHEDULE

No.	Date	Description
2	9/23/21	BID ADDENDUM #2

3 SECTION ATTIC 323
H203D 1/8" = 1'-0"

4 SECTION ATTIC 407
H203D 1/8" = 1'-0"



KEYPLAN

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SHEET INFORMATION

Issued
09/09/2021
Project Status
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NRH
Checked By
JJM
Drawing Title
THIRD FLOOR HVAC DUCTWORK
PLAN - AREA D

Drawing Number
HMS
H203D

ROOF TOP ENERGY RECOVERY UNIT																													
MARK	LOCATION	AREA SERVED	SA (CFM)	EA (CFM)	RA (CFM)	COOLING COIL					SUPPLY FAN					EXHAUST FAN					TOTAL MBH SAVED SUMMER	TOTAL MBH SAVED WINTER	OPERATING WEIGHT (LBS)	FILTERS	ELECTRICAL REQUIREMENTS			TYPICAL UNIT MFG & MODEL NO.	REMARKS:
						TOTAL MBH	SENS MBH	EAT	LAT	AMB	FAN TYPE	E.S.P. (IN. WC)	RPM	BHP	HP	FAN TYPE	E.S.P. (IN. WC)	RPM	BHP	HP					V/Ø/HZ	FLA	MCA		
RTU-4	CAFÉ ROOF	CAFETERIA	9100	6000	6000	486	320	79.7	54.07	75	PLENUM	1	1760	11.89	15	PLENUM	0.5	1760	9.39	10	183	511	3780	MERV 13	208/360	195	207	AAON RN-Q25-8-0-EB09-EJK	1,2,3,4
<div>REMARKS:</div> <div>1. FACTORY MOUNTED AND WIRED DISCONNECT. 115V CONVENIENCE OUTLET, FACTORY WIRED. CLOGGED FILTER SWITCH.</div> <div>2. ECM CONDENSER FAN, HEAT PRESSURE CONTROL WITH SIGHT GLASS. REMOTE SAFETY SHUTDOWN TERMINAL.</div> <div>3. TERMINAL STRIP FOR BMS CONTROL OF FAN AND DAMPERS. COMPATIBLE WITH JOHNSON CONTROLS FACILITY EXPLORER.</div> <div>4. DOUBLE WALL, R-13 FOAM INSULATION. STAINLESS STEEL DRAIN PAN.</div>																													

AIR SEPARATOR SCHEDULE									
MARK	LOCATION	SERVED	GPM	WEIGHT (LBS)	DIA. (IN)	LNG. (IN)	STRAINER SQ. IN. FA	TYPICAL UNIT MFG & MODEL NO.	REMARKS:
AS-1	CHILLER PUMP ROOM	CHILLED WATER	300	579	18	44	6	B&G R-6F	
REMARKS: 1. 30% PROPYLENE GLYCOL.									

PUMP SCHEDULE									
MARK	LOCATION	SERVICE	GPM	HD (FT.)	HP	VOLTS	PH	TYPICAL UNIT MFG & MODEL NO.	REMARKS:
P-1	STORAGE	CHILLED WATER	300	80	15	208	3	B&G E-1510 3BD	1,2,3
P-2	STORAGE	CHILLED WATER	300	80	15	208	3	B&G E-1510 3BD	1,2,3
REMARKS: 1. 30% PROPYLENE GLYCOL. 2. SUCTION DIFFUSER. 3. WALL MOUNTED VFD UNIT DISCONNECT.									

VRF FAN COIL UNITS									
MARK	TOTAL AIRFLOW CFM	NOM.HEATING CAPACITY BTU/HR	NOM.COOLING CAPACITY BTU/HR	WEIGHT (LBS)	POWER (ØV/HZ)	AMPS	TYPICAL UNIT MFG & MODEL NO.	REMARKS:	
SSI-1	1500	27000	24000	47	1 / 208 / 60	0.28	SAMSUNG - AM024KN4DCH/AA	1,2,3,4,5	
SSI-2	1500	27000	24000	47	1 / 208 / 60	0.28	SAMSUNG - AM024KN4DCH/AA	1,2,3,4,5	
SSI-3	1500	27000	24000	47	1 / 208 / 60	0.28	SAMSUNG - AM024KN4DCH/AA	1,2,3,4,5	
SSI-4	1500	27000	24000	47	1 / 208 / 60	0.28	SAMSUNG - AM024KN4DCH/AA	1,2,3,4,5	
SSI-5	1500	27000	24000	47	1 / 208 / 60	0.28	SAMSUNG - AM024KN4DCH/AA	1,2,3,4,5	
SSI-6	1500	27000	24000	47	1 / 208 / 60	0.28	SAMSUNG - AM024KN4DCH/AA	1,2,3,4,5	
SSI-7	1500	27000	24000	47	1 / 208 / 60	0.28	SAMSUNG - AM024KN4DCH/AA	1,2,3,4,5	
SSI-8	1500	27000	24000	47	1 / 208 / 60	0.28	SAMSUNG - AM024KN4DCH/AA	1,2,3,4,5	
SSI-9	250-430	21500	15000	23.4	1 / 208 / 60		SAMSUNG - AR12T5FABWKNVCV	1,2,3,4,5	
REMARKS: 1. UNIT MOUNTED AND WIRED DISCONNECT. 2. BAC NET INTERGRATION TO BMS. JOHNSON CONTROLS FACILITY EXPLORER. 3. COLOR WHITE. 4. DRAIN PAN LEVEL SESORS. 5. CONDENSATE PUMP.									

EXPANSION TANK SCHEDULE								
MARK	LOCATION	SERVED	ACCEPT. GAL.	DIA (IN.)	HEIGHT (IN.)	WEIGHT FULL (LBS.)	TYPICAL UNIT MFG & MODEL NO.	REMARKS:
ET-1	CHILLER PUMP ROOM	CHILLED WATER	79	20	58	992	TACO CA-300	1,2
REMARKS: 1. REMOVABLE BLADDER TYPE. 2. CHARGE TO 12PSI. 3. 30% PROPYLENE GLYCOL.								

FIN TUBE SCHEDULE										
MARK	BTU/FT.	GPM	TUBE SIZE (IN.)	FINS / FT.	EWT (°F)	EAT (°F)	ENCLOSURE		TYPICAL UNIT MFG & MODEL NO.	REMARKS:
							H (IN.)	STYLE		
FT-1	720	5	3/4	40	180	65	10-3/4	6-1/16	PEDESTAL	STERLING JVB 1,2,3,4
REMARKS: 1. CONTROL VALVES ABOVE THE CEILING. 2. COLOR BY ARCHITECT. 3. ELEMENT LENGTH LISTED ON PLANS. CAT - 66289C RETURN 4. COORDINATE HEIGHT WITH ELECTRICAL DEVICES.										

CHILLER SCHEDULE															
MARK	NOMINAL CAPACITY (TONS)	% PROP GLYCOL	CHILLED WATER				REFRIGERANT		ELECTRICAL DATA			WEIGHT (LBS)	TYPICAL UNIT MFG & MODEL NO.	REMARKS	
			FLOW (GPM)	DELTA P (FT)	IP/LV	EWT (°F)	LWT (°F)	REF. TYPE.	CHARGE (LB)	VOLTS/Ø	MCA				MOP
CH-1	180	30	270	17.42	20.516	56.97	42.00	134A	420.00	230/3	654	800	15700	TRANE-ACRB1805B	1,2,3,4
REMARKS: 1. FACTORY MOUNTED AND WIRED DISCONNECT. 2. THE SCHEDULED REFRIGERANT CHARGE IS A MANUFACTURERS ESTIMATE, COORDINATE THE CORRECT CHARGE BASED ON FIELD CONDITIONS. 3. FIVE YEAR COMPRESSOR WARRANTY. 4. HEAT TRACED EVAPORATOR BARREL AND EXTERIOR PIPING. HEAT TRACE SHALL BE ON SEPARATE 120V/20AMP CIRCUIT.															

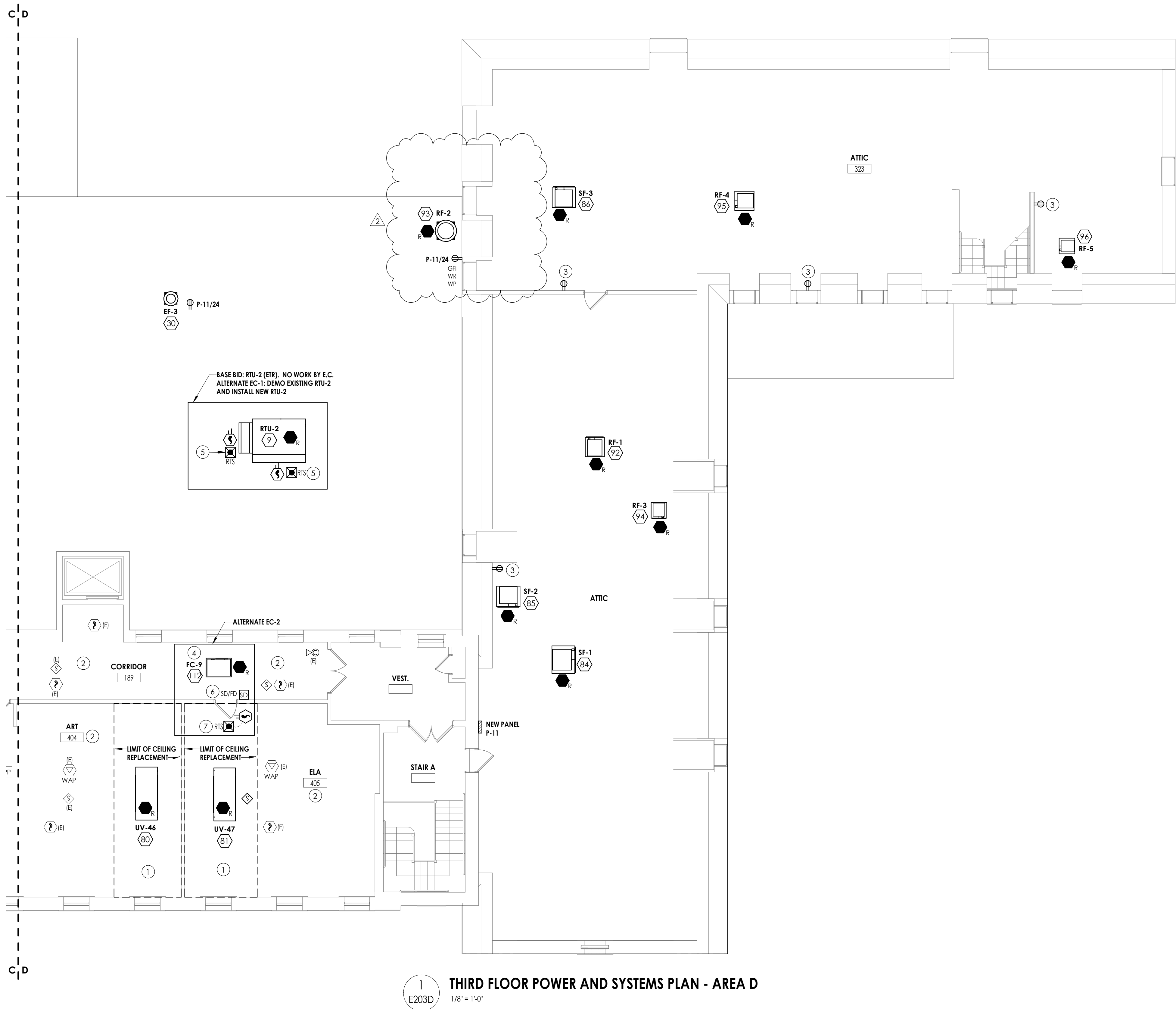
FAN COIL UNIT SCHEDULE																
MARK	TYPE	LOCATION	MAX CFM	COOLING			HEATING					ELECTRICAL DATA			TYPICAL UNIT MFG & MODEL NO.	REMARKS:
				MBH	GPM	WPD	MBH	EWT (°F)	WATER ΔT	GPM	WPD-FT-WC	WATTS	VOLTS	PHASE		
FC-1	DUCTED	159 CUSTODIAN	1020	20	5	3.1	42	180	160	4.5	5.6	150	115	60	AIRTHERM 101-1	1,2,3,4,5
FC-2	CEILING RECESSED	GROUND FLOOR HALL	1020	20	5	3.1	42	180	160	4.5	5.6	150	115	60	AIRTHERM 101-1	1,2,3,4
FC-3	CEILING RECESSED		1020	20	5	3.1	42	180	160	4.5	5.6	150	115	60	AIRTHERM 101-1	1,2,3,4,5
FC-4	CEILING RECESSED	1ST FLOOR HALL	1020	20	5	3.1	42	180	160	4.5	5.6	150	115	60	AIRTHERM 101-1	1,2,3,4,5
FC-5	CEILING RECESSED	1ST FLOOR HALL	1020	20	5	3.1	42	180	160	4.5	5.6	150	115	60	AIRTHERM 101-1	1,2,3,4,5
FC-6	CEILING RECESSED	2ND FLOOR HALL	1020	20	5	3.1	42	180	160	4.5	5.6	150	115	60	AIRTHERM 101-1	1,2,3,4,5
FC-7	CEILING RECESSED	2ND FLOOR HALL	1020	20	5	3.1	42	180	160	4.5	5.6	150	115	60	AIRTHERM 101-1	1,2,3,4,5
FC-8	CEILING RECESSED	1ST FLOOR HALL	1020	20	5	3.1	42	180	160	4.5	5.6	150	115	60	AIRTHERM 101-1	1,2,3,4,5
FC-9	CEILING RECESSED	3RD FLOOR HALL	1020	20	5	3.1	42	180	160	4.5	5.6	150	115	60	AIRTHERM 101-1	1,2,3,4,5
FC-10	DUCTED	105B SCHOOL PSYCHOLOGIST	1020	20	5	3.1	42	180	160	4.5	5.6	150	115	60	AIRTHERM 101-1	1,2,3,4
FC-11	CEILING RECESSED	3RD FLOOR HALL	1020	20	5	3.1	42	180	160	4.5	5.6	150	115	60	AIRTHERM 101-1	1,2,3,4,5
REMARKS: 1. FACTORY MOUNTED AND WIRED DISCONNECT. 2. PROVIDE WITH 1" MERV 7 FILTERS. 3. 30% PROPYLENE GLYCOL COOLING COIL. 4. CONDENSATE PUMP. 5. ALTERNATE NO. MC-2																

AIR HANDLING UNIT SCHEDULE																					
MARK	ROOM SERVED	CFM	MIN. OA CFM	EXT. SP W.C.	COOLING MBH				HOT WATER HEATING COIL DATA						SUPPLY FAN MOTOR DATA			TYPICAL UNIT MFG & MODEL NO.	REMARKS		
					TOTAL	SENS	ROWS	EAT °F DBWB	LAT °F DBWB	MBH	EWT	LWT	EAT °F	LAT °F	GPM	WPD FT-W.C.	BHP/HP			RPM	VOLTS/Ø
AHU-1	GYM	3500	750	1.5	145	102	4	83.2/68.8	57.9/56	204	180	138	58.7/55.6	111.5/72.7	10	0.7	3.3/4	1935	208/3/60	AAON: H3-DRB-8-0-162D-12F	1,2,3,4,5
AHU-2	GYM	3500	750	1.5	145	102	4	83.2/68.8	57.9/56	204	180	138	58.7/55.6	111.5/72.7	10	0.7	3.3/4	1935	208/3/60	AAON: H3-DRB-8-0-162D-12F	1,2,3,4,5
AHU-3	GYM	3500	750	1.5	145	102	4	83.2/68.8	57.9/56	204	180	138	58.7/55.6	111.5/72.7	10	0.7	3.3/4	1935	208/3/60	AAON: H3-DRB-8-0-162D-12F	1,2,3,4
AHU-4	GYM	3500	750	1.5	145	102	4	83.2/68.8	57.9/56	204	180	138	58.7/55.6	111.5/72.7	10	0.7	3.3/4	1935	208/3/60	AAON: H3-DRB-8-0-162D-12F	1,2,3,4
AHU-5	KITCHEN	2600	500	1	98.3	70.57	6	80/67	56.1/44.7	128.7	180	127	60.4/56.6	105.4/71.3	5	0.3	1.68/4	1552	208/3/60	AAON:H3-CRB-8-0-162C-12F	1,2,3,4,5
AHU-6	MUSIC	4200	1500	1.2	185.6	129.7	6	85.4/70.2	57.8/56.3	266.4	180	122.3	47.9/47.9	104.2/68.5	9.5	0.7	3.12/4	1901	208/3/60	AAON: H3-DRB-8-0-162C-12F	1,2,3,4,5
REMARKS: 1. FACTORY MOUNTED AND WIRED DISCONNECT. ALL UNITS SHALL BE SINGLE POINT CONNECTION. 2. DAMPER ACTUATORS BY MANUFACTURER. FULLY MODULATING ACTUATORS. MERV 13 FILTERS. MAGNEHELIC HAUGE CLOG FILTER SWITCH. THERMAL EXPANSION VALVES. 3. CONNECT TO EXISTING JOHNSON CONTROLS, FACILITY EXPLORER. 4. VIBRATION ISOLATION. 5. CONTROLS RELOCATED BY OTHERS FROM EXISTING UNIT.																					

HOT WATER COIL SCHEDULE																
MARK	SERVICE	CFM	AIR DATA				GPM	WATER DATA			MFG SIZE HXL (IN.)	ROWS	TYPICAL UNIT MFG & MODEL NO.	REMARKS:		
			ENT	TEMP (°F)	LVG	MAX APD (IN. WG)		ENT	TEMP (°F)	LVG					MAX APD (IN. WG)	
HC-1	SF-9	2250	-2	70	0.76	174.960	18.8	180	160	3.8	15X22	2	CAPITAL COIL W8-2215-12B-HCA-R	1,2		
HC-2	RTU-4	9100	-2	70	0.56	707.616	70.8	180	160	4.5	46X30	4	CAPITAL COIL	1		
REMARKS: 1. TUBE ØD 0-625, TUBE SPACING 1.50X1.299 2. ALTERNATE WC-05.																

REGISTERS, GRILLES, AND DIFFUSERS						
MARK	APPLICATION	MATERIAL	TYPE	FINISH	DESIGN EQUIP.	REMARKS
D1	SUPPLY	STEEL	LAY-IN	WHITE	PRICE SPD	4
D2	SUPPLY	STEEL	DUCT GRILLE	WHITE	PRICE SDG	1,3
S1	SUPPLY	STEEL	DUCT GRILLE	WHITE	PRICE HCD	1
R1	RETURN/EA	STEEL	LAY-IN	WHITE	PRICE PDR	4
R2	RETURN/EA	STEEL	WALL GRILLE	WHITE	PRICE 90	2,3
REMARKS: 1. OPPOSED BLADE DAMPER. 2. CONCEALED MOUNTING. 3. SINGLE DEFLECTION. BLADES PARALLEL TO LENGTH. 4. INSULATED BACK PAN.						

FAN SCHEDULE												
MARK	LOCATION	SERVICE	TYPE	CFM	SP IN W.G.	RPM	ELECTRICAL DATA				TYPICAL UNIT MFG & MODEL NO.	REMARKS:
							HP	VOLTS	PHASE	AMPS		
EF-1	GYM	LOCKER ROOM EXHAUST	CENTRIFUGAL	1500	0.75	1457	.25	115	1	3.8	GREENHECK G-100-VG	1,2,4
EF-2	GYM	LOCKER ROOM EXHAUST	CENTRIFUGAL	1500	0.75	1457	.25	115	1	3.8	GREENHECK G-100-VG	1,2,4
EF-3	ROOF	CLASSROOM EXHAUST	CENTRIFUGAL	2000	0.5	948	1/2	208	1	5.4	GREENHECK GB-161	1,2
EF-4	ROOF	MUSIC ROOM	CENTRIFUGAL	1400	1	1725	1/2	208	1	5.4	GREENHECK G-123-A	1,2
EF-5	ROOF	CLASSROOM EXHAUST	CENTRIFUGAL	1250	1	1725	1/2	208	1	4.9	GREENHECK G-123-1	1,2
EF-6	ROOF	CLASSROOM EXHAUST	CENTRIFUGAL	4500	1	1102	2	208	1	12	GREENHECK G-200	1,2
SF-1	ATTIC	CLASSROOM OA	INLINE	10000	1.5	824	5	208	3	16.7	GREENHECK BSQ-300	1
SF-2	ATTIC	CLASSROOM OA	INLINE	3750	0.4	539	1/2	208	3	2.4	GREENHECK BSQ-240	1
SF-3	ATTIC	CLASSROOM OA	INLINE	8750	1.5	1147	5	208	3	16.7	GREENHECK BSQ-240	1
SF-4	-	-	-	-	-	-	-	-	-	-	NOT USED	-
SF-5	-	-	-	-	-	-	-	-	-	-	NOT USED	-
SF-6	ATTIC	CLASSROOM OA	INLINE	7000	0.75	875	2	208	3	7.5	GREENHECK BSQ-240	1
SF-7	ATTIC	CLASSROOM OA	INLINE	7500	1	964	3	208	3	10.6	GREENHECK BSQ-240	1
SF-8	ATTIC	CLASSROOM OA	INLINE	6750	1.5	1012	5	208	3	16.7	GREENHECK BSQ-240	1
SF-9	TECH	CLASSROOM OA	INLINE	2250	0.5	992	1/2	208	1	5.4	GREENHECK BSQ-160	1,3
RF-1	ATTIC	CLASSROOM EA	INLINE	12750	1.25	875	7-1/2	208	3	24.2	GREENHECK BSQ-360	1
RF-2	ATTIC	CLASSROOM EA	CENTRIFUGAL	3750	0.8	738	1	208	3	4.6	GREENHECK GB-220	1,2
RF-3	ATTIC	CLASSROOM EA	INLINE	3750	0.4	539	1/2	208	3	2.4	GREENHECK BSQ-240	1
RF-4	ATTIC	CLASSROOM EA	INLINE	2500	0.25	585	1/3	208	3	2.4	GREENHECK BSQ-200	1
RF-5	ATTIC	CLASSROOM EA	INLINE	1250	0.25	623	1/4	208	3	2.4	GREENHECK BSQ-160	1
RF-6	ATTIC	CLASSROOM EA	INLINE	6250	0.75	816	2	208	3	7.5	GREENHECK BSQ-240	1
RF-7	ATTIC	CLASSROOM EA	INLINE	4000	1	1038	1-1/2	208	3	6.6	GREENHECK BSQ-200	1
RF-8	ATTIC	CLASSROOM EA	INLINE	7250	1	945	3	208	3	10.6	GREENHECK BSQ-240	1
REMARKS: 1. FACTORY MOUNTED AND WIRED DISCONNECT. 2. HINGED BASE AND BIRD SCREEN. 3. ALTERNATE MC-5. 4. PROVIDE WITH SLOPPED CURBS.												



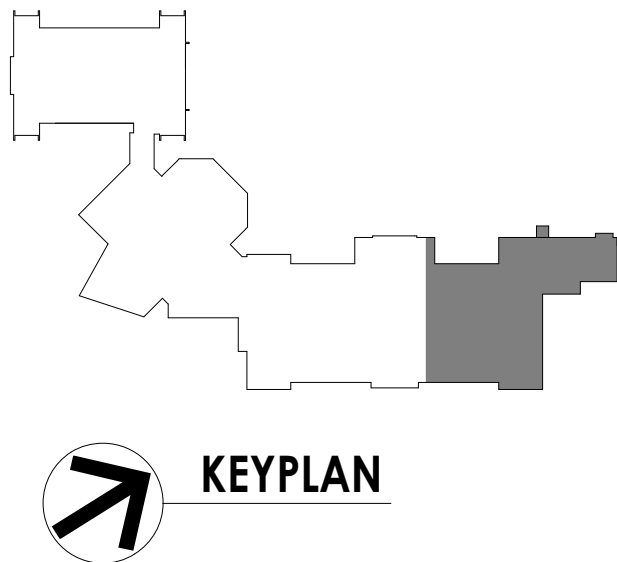
1
E203D
THIRD FLOOR POWER AND SYSTEMS PLAN - AREA D
1/8" = 1'-0"

GENERAL NOTES:

- FIXTURES, DEVICES, AND EQUIPMENT LABELED AS "E" ARE EXISTING AND ARE SHOWN FOR REFERENCE ONLY. ALL OF THESE DEVICES SHALL REMAIN OPERATIONAL FOLLOWING CONSTRUCTION.
- EQUIPMENT DESIGNATED WITH A NUMBER INSIDE OF A HEXAGON ARE SCHEDULED ON DRAWING E900. REFER TO EQUIPMENT WIRING SCHEDULE FOR BREAKER AND CIRCUITING INFORMATION.
- DISCONNECT SWITCHES AND STARTER DEVICES ASSOCIATED WITH HVAC EQUIPMENT SHALL BE FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR, AND WIRED BY THE ELECTRICAL CONTRACTOR. INCLUDE AN ADDITIONAL 10' OF CIRCUITING IN PRICING FOR INSTANCES WHERE A DISCONNECT MAY NOT BE MOUNTED DIRECTLY ON UNIT. E.C. IS RESPONSIBLE TO WIRE BOTH LINE AND LOAD SIDES OF DISCONNECT.
- UPDATE PANELBOARD DIRECTORIES TO REFLECT CHANGES MADE TO CIRCUITS WITH LOAD(S) AND ROOM(S) SERVED. LABEL ANY UNUSED BREAKER AS SPARE AND TURN TO OFF POSITION.
- FIRE ALARM SCOPE OF THIS PROJECT INCLUDES INSTALLING A NEW SIMPLEX 4100ES PANEL TO SERVE NEW AND RENOVATED AREAS WHILE MAINTAINING EXISTING SIMPLEX 4020 PANEL. ALL EXISTING DEVICES REMOVED IN THE DEMOLITION PHASE OF THE PROJECT SHALL BE REMOVED FROM THE SYSTEM PROGRAMMING OF THE 4020 PANEL. NEW INITIATION AND NOTIFICATION DEVICES SHOWN SHALL BE CONNECTED TO AND COMPATIBLE WITH THE NEW SIMPLEX 4100ES FIRE ALARM CONTROL PANEL LOCATED IN CUSTODIAN ROOM 50. PROVIDE NEW NOTIFICATION APPLIANCE CIRCUIT PANELS (WITH SMOKE DETECTOR WITHIN 5') WITH BATTERIES WHERE REQUIRED TO ACCOMMODATE NEW NOTIFICATION DEVICES. LOCATE SAID NAC PANEL IN A STORAGE OR ELEC/MECH ROOM, AND WIRE TO NEAREST AVAILABLE PANELBOARD WITH (2) #12, #12 GND. IN 3/4" CONDUIT. FOR PRICING PURPOSES, ASSUME 150' PER CIRCUIT. PROVIDE 20/1 CIRCUIT BREAKER AS REQUIRED.
- FIRE ALARM SPACING SHALL COMPLY WITH NFPA 72 REQUIREMENTS. ALL FIRE ALARM INITIATION DEVICES SHOWN SHALL NOT BE LOCATED IN DIRECT AIRFLOW PATH OR CLOSER THAN 3' OF AN AIR SUPPLY DIFFUSER OR RETURN AIR OPENING.
- THE OPERABLE PART OF PULL STATIONS SHALL BE MOUNTED MORE THAN 3'-6" BUT LESS THAN 4'-0" ABOVE FINISHED FLOOR.
- FOR PUBLIC MODE, WALL MOUNTED VISUALS AND AUDIBLE/VISUALS SHALL BE MOUNTED SUCH THAT THE ENTIRE LENS IS NOT LESS THAN 80" AND NOT GREATER THAN 96" ABOVE FINISHED FLOOR.
- THE MINIMUM REQUIRED CANDELA LEVEL IS INDICATED ADJACENT TO NEW VISUAL DEVICES. IF NOT INDICATED, MINIMUM ALLOWABLE SETTING IS 15 CANDELA.
- ACTIVATION OF BUILDING FIRE ALARM SYSTEM SHALL AUTOMATICALLY SHUT DOWN ALL FANS ASSOCIATED WITH HVAC UNITS IN THE BUILDING AS REQUIRED BY LOCAL, STATE, AND NATIONAL CODES. PROVIDE FIRE ALARM SHUT DOWN RELAYS IN EACH UNIT.
- FINAL TESTING OF FIRE ALARM SYSTEM SHALL COMPLY WITH ALL NFPA 72 REQUIREMENTS. ANY ALTERED CIRCUIT(S) SHALL HAVE ALL FIRE ALARM INITIATION DEVICES TESTED IN THEIR ENTIRETY AND 10% OF NEIGHBORING ZONE/LOOP DEVICES.
- PROVIDE 8" ROUND, FLUSH MOUNTED, WHITE CEILING SPEAKERS WHERE SHOWN. NEW SPEAKERS SHALL BE CONNECTED TO AND COMPATIBLE WITH EXISTING BUILDING PUBLIC ADDRESS SYSTEM. EXPAND EXISTING SYSTEM WITH ADDITIONAL AMPLIFIERS AS REQUIRED AT HEAD END LOCATION FOR A COMPLETE OPERATIONAL SYSTEM. COORDINATE EXACT REQUIREMENTS WITH OWNER.
- ALL CABLING ABOVE ACCESSIBLE CEILINGS SHALL BE SUPPORTED VIA J-HOOK. J-HOOKS SHALL NOT EXCEED 5'-0" SPACING. ALL CABLING ABOVE INACCESSIBLE SPACES AND CEILINGS OPEN TO STRUCTURE SHALL BE IN CONDUIT.
- ALL EXPOSED RACEWAY SHALL BE PAINTED TO MATCH CEILING/WALL FINISH. CONTRACTOR SHALL USE APPROVED PAINT COLOR/TYPE.
- NEW CARBON MONOXIDE DETECTORS SHALL BE ADDRESSABLE AND BE CONNECTED TO THE BUILDING FIRE ALARM SYSTEM.

KEY NOTES:

- IN DESIGNATED CEILING REPLACEMENT AREA, ELECTRICAL CONTRACTOR SHALL REINSTALL SALVAGED CEILING MOUNTED ELECTRICAL DEVICES SHOWN. RECONNECT EXISTING CABLING AND BRANCH CIRCUIT WIRING LEFT FROM DEMOLITION.
- EXISTING CEILING MOUNTED SYSTEM AND POWER DEVICES SHOWN IN THIS AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY. SHOULD CEILING TILE BE REQUIRED TO BE REMOVED AS NOTED IN DEMOLITION DRAWING KEY NOTES, THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO TEMPORARILY SUPPORT OR REMOVE/REINSTALL THE EQUIPMENT.
- INSTALL SERVICE RECEPTACLE FOR NEW HVAC EQUIPMENT. COORDINATE EXACT LOCATION IN FIELD TO MEET NEC 210.63. WIRE RECEPTACLES TOGETHER WITH (2) #12, #12 G. IN 1/2" CONDUIT AND WIRE TO PANEL P-11, CIRCUIT 26.
- WIRE NEW FAN COIL UNIT TO BRANCH CIRCUIT WIRING LEFT FROM DEMOLITION OF HVAC UNIT. SPlice AND EXTEND EXISTING CIRCUIT AS REQUIRED WITH (2) #12, #12 GND. IN 1/2" CONDUIT TO REACH TERMINATION POINT OF NEW UNIT.
- LOCATE REMOTE TEST SWITCHES FOR ROOFTOP UNIT DUCT SMOKE DETECTOR IN ACCESSIBLE SPACE BELOW UNIT. RECESS MOUNT IN DROP CEILING TILE OR WALL MOUNT IN JANITOR CLOSET/STORAGE ROOM TYPE SPACE. LABEL SWITCHES WITH UNIT NAME AND SUPPLY/RETURN DESIGNATION.
- PROVIDE DUCT SMOKE DETECTOR AND FIRE ALARM RELAY TO SIGNAL MECHANICAL SMOKE DAMPER. PROVIDE 120V BRANCH CIRCUIT TO DAMPER ACTUATOR FROM NEAREST 120V RECEPTACLE CIRCUIT. WIRE WITH (2) #12, #12 GND. IN 1/2" CONDUIT.
- LOCATE REMOTE TEST SWITCH FOR DUCT SMOKE DETECTOR BELOW UNIT. RECESSED IN CEILING TILE.



PROJECT INFORMATION

Project Number
13940.18
Client Name
**NEWBURGH ENLARGED CITY
SCHOOL DISTRICT**
Project Name
**PHASE 3: HERITAGE MIDDLE
SCHOOL 2019 CAPITAL
IMPROVEMENT PROJECT**
Project Address
405 Union Avenue, New Windsor, NY 12553
SED Number

PROJECT ISSUE SCHEDULE

No.	Date	Description
2	9/23/21	BID ADDENDUM #2

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED. THE ALTERING PARTY SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION

Issued
09/06/2021
Scale
As indicated
Project Status
CONSTRUCTION DOCUMENTS
Drawn By
RJD
Checked By
ARM
Drawing Title
**THIRD FLOOR POWER AND
SYSTEMS PLAN - AREA D**

Drawing Number

**HMS
E203D**



“g. All “TR” Drawings (Theatrical Rigging)

2.4.2 Part 1.7.H: Add the following:

“q) Division 19 – Section 193000—Theatrical Stage Rigging and curtains”

2.4.3 Part 1.9.A.a: Add the following:

“7) All “TL” Drawings (Theatrical Lighting)

8) All “TS” Drawings (Theatrical Sound)”

2.5 Section 012300:

2.5.1 Part 3.01.A: Add the following:

“8. Alternate No. GC-8: Motorized Window Shades

a. Description: Provide and install motorized window shades as specified in the Cafeteria.”

“9. Alternate No. GC-9: Painting walls at mechanical equipment removals

a. Description: Paint wall surface per keynote 7 on drawings.”

2.5.2 Part 3.01.C: Add the following:

“6. Alternate No. EC-6: Cafeteria Stage Removal

a. Description: Provide Electrical work associated with the removal of the existing stage and the installation of a new concrete slab on grade.”

2.6 Section 084313, Part 2.02.A: Revise “Front-Set Style...” to read; “Center Set Style...”

CHANGES TO THE DRAWINGS:

3.1 Drawing HMS C100: Revise note, “Concrete sidewalk and subbase to be removed and disposed (~1,960 LF measured along the pavement side)” to read, “Concrete sidewalk and subbase to be removed and disposed (~290 LF measured along the pavement side)”

3.2 Drawing HMS C101:

3.2.1 Revise note, “Contractor to establish temporary additional...” to read “Contractor to maintain temporary additional parking area.”

3.2.2 Revise note, “Contractor to establish temporary access...” to read “Contractor to maintain temporary access...”



- 3.2.3 Remove note, “Provide stone subbase for contractor staging area”
- 3.2.4 Revise note, “Contractor to install construction entrance...” to read, “Contractor to maintain construction entrance. Contractor will be responsible for keeping erosion and debris on site”
- 3.2.5 Remove note, “Contractor to establish temporary additional parking area (~30 spaces) using 6" of compacted crushed stone (see detail).”
- 3.2.6 Remove note, “Contractor to replace curb when restoring area”
- 3.2.7 Remove note, “Temporary tree protection...”
- 3.2.8 Remove note, “After construction, contractor to remove...”
- 3.3 Drawing HMS A103D: Replace with the attached revised HMS A103D.
- 3.4 A200 Series Drawings: Revise Keynote 7 to read, “Base Bid: Patch existing wall. Coordinate work with MC. Refer to A801 for details. Alternate GC-9: Paint surface corner to corner and floor to ceiling to match existing color.”
- 3.5 Drawing HMS A204D: Replace with the attached revised HMS A204D.
- 3.6 Drawing HMS A800, Detail 3: After note, “Motorized window shades” add the words, “per Alternate GC-8”
- 3.7 Drawing HMS A900: Replace sheet with attached HMS A900.
- 3.8 Drawing HMS I000: At WT-1 Notes, revise “By Owner” to read, “Alternate GC-8”
- 3.9 Drawing HMS H202D: Replace with the attached revised drawing HMS H202D.
- 3.10 Drawing HMS H203D: Replace with the attached revised drawing HMS H203D.
- 3.11 Drawing HMS H900: Replace with the attached revised drawing HMS H900.
- 3.12 Drawing HMS E203D: Replace with the attached revised HMS E203D.

END OF ADDENDUM NO. 02