

Kitchen and Terrace for Old Oaks Country Club

Section Description

01 50 00

- 1.03 C. Separate electrical metering, reimburse owner - will be more costly to owner since usage must be estimated
- 1.08 B Separate water metering, reimburse owner - will be more costly to owner since usage must be estimated

Not Required

- 1.21 Field Office for 10 people

Not Required

01 50 50

- 1.03 C. Recycle minimum of 80% of waste including concrete, asphalt, drywall, ceiling tiles

Please provide alternate pricing.

- 1.03 D Recycle all fluorescent lights, mercury thermostats

Required. Please provide.

03 30 00

- 1.03 E Material certificates signed by manufacturers for cast in place concrete

Could be concrete tickets to verify 28 day compressive strength

- 1.03 F Shop drawings of concrete formwork, steel reinforcing bar, etc. By contractor or architect?

Shop drawings for concrete do not required however, the inspection reports of the installed reinforcement is required.

04 43 13

- 1.05 A Mock up of stone veneer 4 x 4

Please provide alternate pricing.

04 43 20

- 1.05 A Physical properties of each granite?

05 12 00 Structural Steel

- 1.02 B Fabricator must use a PE from NJ?? Must prepare structural calculations

PE requirement for shop drawings is waived. Shop drawings showing the connections must be provided

- 1.06 A Owner will have Independent Testing Agency to check drawings, calculations and may inspect work, materials,

This is OK

Welds must be 50% dye penetrant inspected
Contractor to supply a tension measuring device (Rental Costs?) and calibrated wrenches for testing agency

This is OK

05 52 00 Glass Guard Assemblies

1.05 D Engineering Design from PE in NY Engineering design and calculations must be provided by NYS PE

06 10 50 Miscellaneous Carpentry

1.03 B	Wood Treatment products data must be submitted	For wood members exposed to the elements wood treatment shall be provided
1.04 A	Must cover lumber	Yes
2.01	Provide documentation for lumber including grade stamps, etc.	Yes

07 71 00 Preformed Coping

1.04 C Wind Load by NY PE

Additional Notes/Clarifications

Is owner responsible for removal of existing kitchen equipment? If not, does it have to be recycled?
Contractor is responsible.

Who is responsible for walk-in cooler removal? Contractor is responsible.

Detail of railing on main terrace and is secured in concrete? Does this need structural engineer? Please clarify which detail.

Is FRP in kitchen only 6' up. FRP panels go full height.

Who is doing logo on pavers #2? By Contractor.

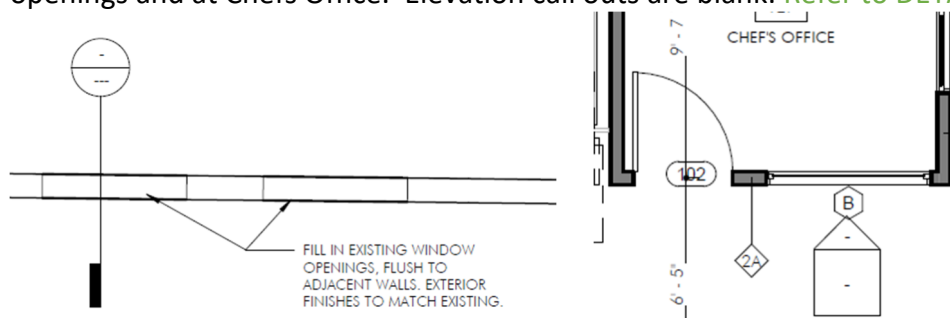
Who is providing and installing walk-in coolers? By Kitchen Equipment Vendor.

Who is providing aluminum soffits above cooler and installing? The soffit can be sheet rock and installed by contractor.

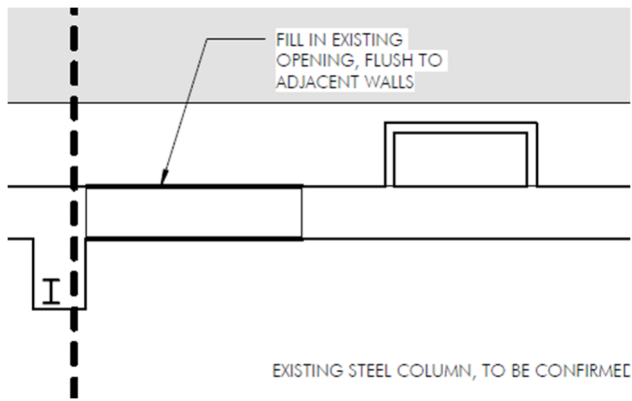
Do we need construction fence?

Do we have to provide performance bond and labor and material payment bonds?

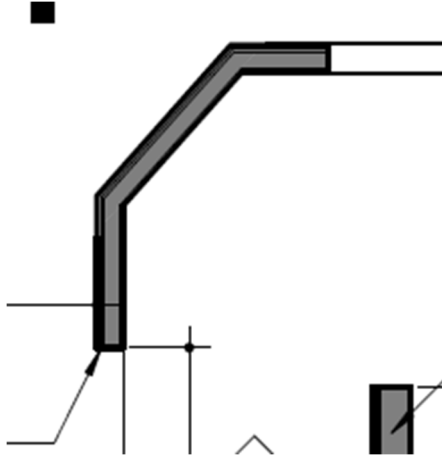
1. Please provide Building Rules & Regulations for the property. **Old Oaks**
1. Please provide Building Insurance Requirements for the property. **This will be discussed as we get closer to an award.**
2. Please provide a list of Building Approved Subcontractors and Vendors, if applicable. **Old Oaks**
3. Please provide contact information for the building Roofing Vendor. **Old Oaks**
4. Please provide contact information for the building Fire Alarm Vendor. **Old Oaks**
5. Please provide a copy of the anticipated contract, including all terms/language modifications. **Old Oaks**
6. Please advise if there are any days where we cannot work due to scheduled events, etc. **This will be provided as we get closer to an award.**
7. Please confirm Bid Due Date – RFP indicates TUESDAY October 11th, 2021; however, October 11th is a Monday. Please advise. **October 11th, Monday.**
8. Commercial Kitchen Equipment – Per your email dated Sept. 14th, 2021, “Also please be aware that the Kitchen package, material & installation has already been bid out **and is available for inclusion into your bid.**” Please advise if Kitchen Equipment Vendor costs should be included with the GC LS Proposal. If so, please provide awarded Kitchen Equipment Vendor Proposal for inclusion & review. **Please provide allowance of \$443,000 for Kitchen Equipment.**
9. A102.00 – Please provide Kitchen Consultant Drawings and Bar Consultant Drawings for reference. **See link attached to the email.**
10. A101.00 - Please provide missing sections/elevations for wall infill at existing window openings and at Chefs Office. Elevation call outs are blank: **Refer to DETAIL ON SK-01**



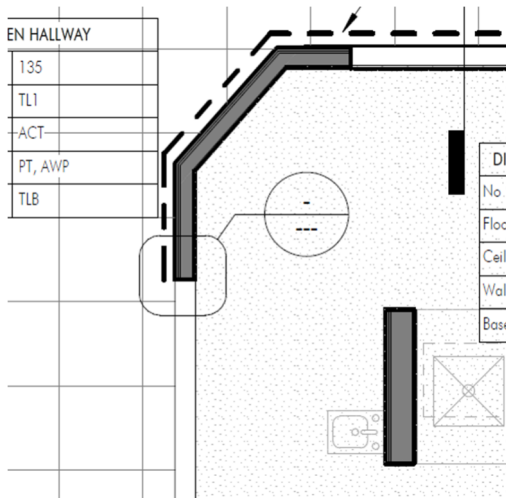
11. A101.00 - Please advise partition type for wall infill at Dining Room side: **Fill Existing Wall in Kind. Install new finish, chairrail, wall base and wall panels to match existing in the dining room, in style and color.**



12. A-101 – Please advise partition type at Washing Room 129, wall not tagged: [Refer to Partition Type 2 on G100 and Section 5/A120.](#)

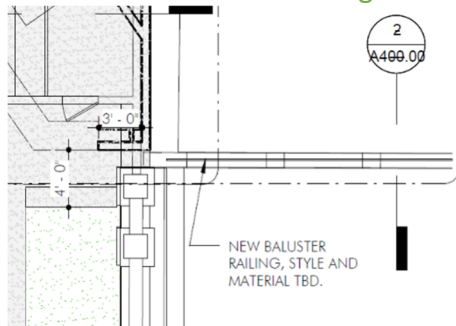


13. A121.00 - Please provide missing sections/elevations at new Wall at Washing Room 129. Elevation call outs are blank: [Refer to attached SK-02](#)

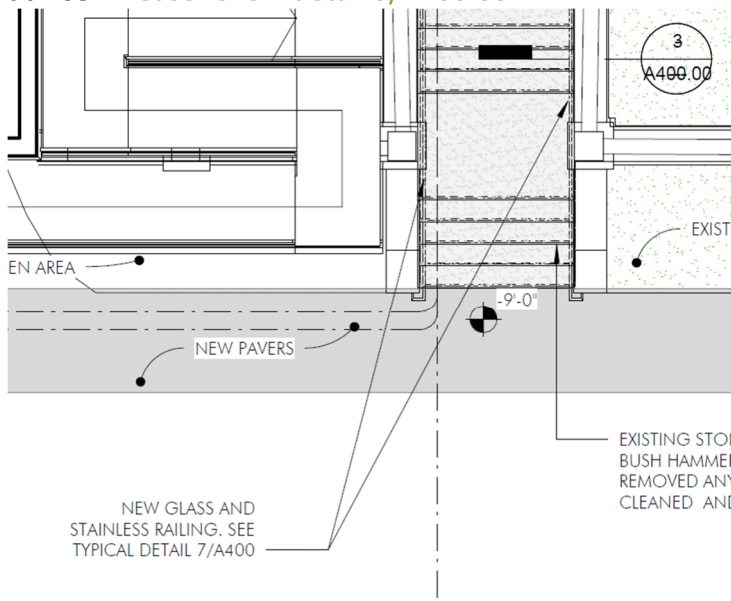


14. A108.00 - Note indicates finish is TBD for new trench drain. Please advise finish required. [Stainless Steel.](#)

15. A108.00 – Drawings calls for “new baluster railing, style and material TBD.” However, detail calls for 2/A400.00 which indicates a glass partition with stainless-steel cap. Please advise. **Please disregard the note and refer to detail 2/A400.**



16. A108.00 – Drawings calls for “existing railing, balusters, and posts to be repaired, typ.”. Please advise scope of work, or allowance for GCs to carry. **Please provide allowance of \$25,000 for repairing and cleaning of existing railing.**
17. A108.00 – Please provide specifications for cleaning requirements, stain removal & refinishing of existing stone. **Existing stone steps to be bush hammered or sand blasted to removed stains. No need for other surface treatment afterwards.**
18. A108.00 – Please clarify what railings are required – plan includes two different details at terrace stairs – Detail 3/A400.00 which includes a stainless-steel handrails & posts and Detail 7/A400.00 which includes a stainless-steel cap and glass partition. Please advise. **Please follow detail 3/A400.00**



19. Please provide specifications/details for new exterior decorative grills. **Please replace in kind.**
20. Please advise/clarify specifications for PAV-3 Stone Paver – manufacturer is listed as TBD with the type as Granite, while specifications provided indicate manufacturer is Tile-Tech (porcelain pavers). Please advise/clarify. **Salt & Pepper Granite for exterior steps.**
21. Please provide specifications or material allowance for TL2 Porcelain Wall Tile. **TL2 IS ELIMINATED**

22. Please provide specifications or material allowance for ST Stone Countertops. **1 ¼" Black Granite countertop.**
23. Please provide specifications or material allowance for CG Stainless-Steel Corner Guards. **See Specs for corner guard in the link provided.**
24. A121.00 – Legend is confusing, as it identifies two different types of flooring, however they are both for U-CRT Flooring. Please clarify/advise what the two different types are on the legend, and as shown on the floor plan. Yes, it's true. It's a misprint: the 2nd hatch it's for the TILE FLOOR (in the kitchen Hallway)
25. 3/A404.00 – Indicates "install new electrical conduits, piping and drains underground, refer to MEP drawings". No work is shown on Electrical Plans, please advise. **MEP Response: Underground conduit shown on drawing E103. New drains are shown on drawing P101.**
26. Mechanical Plans – mechanical piping connections, sizes, types, etc. is not identified/shown, please provide/advise. **MEP Response: refer to drawings M200 and M201 for pipe connections. Verify exact pipe sizes in field.**
27. Addendum #1 Electrical Plans – Please reissue the Electrical Plans from Addendum #1, they appear to be corrupted. Letters are missing throughout the plans – an example is below: **MEP Response: See attached Addendum #1 drawings.**
28. P401.00 – Please advise/provide route for LP mains to existing LP Storage Tanks. **MEP Response: Exact routing and connection to LP Storage Tanks to be verified in field.**
29. Please confirm Fencing/Barrier is required securing the work area perimeter during construction. **Old Oaks**
30. Please advise if there are separate Fire Alarm Plans available, or only as noted within the Electrical Plans. **MEP Response: Fire alarm scope of work is outlined on electrical drawings.**
31. Please advise if a separate Field Office/Trailer is required – specifications call for GC to provide space/tables/chairs for project meetings to accommodate 10 persons. **Not required.**