

KITCHEN & TERRACE RENOVATION FOR:  
OLD OAKS COUNTRY CLUB

3100 Purchase St, Purchase, NY 10577

Issued to:  
OWNER

Issued for:  
ISSUED FOR BIDDING ONLY

Issued on:  
09/10/21

MATERIAL SYMBOLS

EARTH/ COMPACT FILL

GRAVEL

CONCRETE

SAND/MORTAR/PLASTER

COMMON/FACE BRICK/STONE

CONCRETE UNIT/PRECAST

REINFORCED CONCRETE

METAL/STEEL

FINISH WOOD

PLYWOOD

LAMINATED WOOD

COMPOSITE MATERIAL

GWB

GLASS

BATT INSULATION

CELLULOSE/LOOSE FILL

RIGID INSULATION

3 SHEET SYMBOLS		NTS	
ACT	ACOUSTICAL CEILING TILE	E	EAST
ACMU	ACOUSTIC MASONRY UNITS	AS	EACH
ADJ	ADJACENT	EJ	EXPANSION JOINT
AFF	ABOVE FINISHED FLOOR	ELEC	ELECTRICAL
AGG	AGGREGATE	EL	ELEVATION
ALT	ALTERNATE	ELEV	ELEVATOR
ALUM	ALUMINUM	EMER	EMERGENCY
ANOD	ANODIZED	ENCL	ENCLOSURE
APPX	APPROXIMATE	ENT	ENTRANCE
A/E	ARCHITECT/ENGINEER	EPB	EXPOSED PAINTED BLOCK
ARCH	ARCHITECT-ARCHITECTURAL	EQ	EQUAL
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	EQUIP	EQUIPMENT
AUD	AUDITORIUM	ERF	EPOXY RESIN FLOOR
AUTO	AUTOMATIC	EXCAV	EXCAVATE
AUX	AUXILIARY	EXH	EXHAUST
		EXIST	EXISTING
		EXP	EXPOSED
		EXT	EXTERIOR
BC	BUILDING CODE	FAF	FACTORY APPLIED FINISH
BD	BOARD	FAI	FRESH AIR INTAKE
BET	BETWEEN	FC	FURRED CEILING
BES	BRONZE EXPANSION SADDLE	FER	FIRE EXTINGUISHER RECESS
BIT	BITUMINOUS	FHEC	FIRE HOSE & EXTINGUISHER CABINET
BLD	BUILDING	FG	FINISHED GRADE
BLK	BLOCK	FIN	FINISH
BLKG	BLOCKING	FLASH	FLASHING
BMA	BOARD OF EDUCATION	FL	FLOOR
BOE	BOARD OF EDUCATION	FD	FLOOR DRAIN
BOW	BOTTOM OF WALL	FND	FOUNDATION
BR	BRONZE	FP	FIRE PROOF
BSMT	BASEMENT	FPSC	FIRE PROOF SELF CLOSING
BSA	BOARD OF STD. & APPEALS	FMS	FLOOR SINK
BUR	BUILT-UP ROOF	FS	FULL SIZE
CAB	CABINET	FTG	FOOTING
CB	CATCH BASIN	FTS	FLUSH TERRAZZO SADDLE
CEM	CEMENT	FTT	FLUSH TERRAZZO TREAD
CI	CAST IRON	FUR	FURRING
CL	CONTROL JOINT	FUT	FUTURE
CLG	CEILING		
CL	CENTER LINE	GL	GLASS
CLOS	CLOSET	GA	CONSTRUCTION MANAGER
CM	CONCRETE MASONRY UNITS	GALV	GALVANIZED
CMU	CONCRETE MASONRY UNITS	GI	GALVANIZED IRON
CO	CLEANOUT	GEN	GENERAL
COL	COLUMN	GC	GENERAL CONTRACTOR
CONC	CONCRETE	GP	GROUP
CONT	CONTINUOUS	GT	GLAZED TILE
CONV	CONVECTOR	GYP	GYPSPUM
CONST	CONSTRUCTION	GWB	GYPSPUM WALLBOARD (GYP BD)
COORD	COORDINATE		
COR	CORIAN	HC	FOR HANDICAPPED USE
CP	CEILING PAINT	HDR	HEADER
CPT	CARPET	HDW	HARDWARE
CTIC(T)	CUBIC TILE (MITREOUS)	HM	HOLLOW METAL
CU FT	CUBIC FEET	HOR	HORIZONTAL
		HP	HIGH POINT
DBL (DB)	DOUBLE	HR	HAND RAIL
DEMO	DEMOLITION	HGTG	HEATING
DEP	DEPRESSED	HVAC	HEATING, VENTILATION, AIR
DET(S)	DETAIL(S)		
DEPT	DEPARTMENT	HD WD	HARDWOOD
DF	DRINKING FOUNTAIN	HW	HOT WATER
DB-D	DISPLAY BOARD-CABINET		
DIAM	DIAMETER	ID	INSIDE DIAMETER
DIAG	DIAGONAL	IGU	INSULATING GLASS UNIT
DIM	DIMENSION	IN	INCH
DIV	DIVISION	INSUL	INSULATION
DN	DOWN	INT	INTERIOR
DR	DRAIN	INTER	INTERMEDIATE
DWG	DRAWING		

SHEET SYMBOLS

NEW PARTITION

EXISTING PARTITION

DEMOLISHED PARTITION

WINDOW TYPE IDENTIFICATION TAG

DOOR IDENTIFICATION TAG

PARTITION TYPE IDENTIFICATION TAG

ELEVATION IDENTIFICATION TAG

SLAB ELEVATION IDENTIFICATION TAG

CEILING TAG

BREAK LINE

CENTER LINE

BUILDING SECTION IDENTIFICATION TAG

WALL SECTION IDENTIFICATION TAG

PLAN DETAIL REFERENCE TAG

EXTERIOR ELEVATION IDENTIFICATION TAG

INTERIOR ELEVATION IDENTIFICATION TAG

ROOM NAME IDENTIFICATION TAG

NEW GRID LINE IDENTIFICATION TAG

EXISTING GRID LINE IDENTIFICATION TAG

REVISION CLOUD AND IDENTIFICATION TAG

3		NTS	
JC	JANITORS CLOSET JOINT	R	RISER
JT	JOINT	RD	RADIUS
LAB	LABORATORY	REF	REFLECTED CEILING PLAN
LAM	LAMINATED	REIN	ROOF DRAIN
LAV	LAVATORY	REINFC	REINFORCING
LCC	LEAD COATED COPPER	REQD	REQUIRED
LINO	LINOLEUM	RET	RETURN
LL	LINE LOAD	REV	REVISION
LONG	LONGITUDINAL	RH	RIGHT HAND
LP	LOW POINT	RM	ROOM
LT WT	LIGHT WEIGHT	RO	ROUGH OPENING
		RPZ	REDUCED PRESSURE ZONE
M	METER	S	SOUTH
MACH	MACHINE	SAD	SADDLE
MAINT	MAINTENANCE	SAN	SANITARY
MAR	MARBLE	SECT	SECTION
MAS	MASONRY	SF	SQUARE FEET
MAT	MATERIAL	SH	SHELF OR SHELVES
MAX	MAXIMUM	SIM	SIMILAR
MC REC	MEDICAL CABINET RECESS	SL	SLEEVE
MECH	MECHANICAL	SP	STARTING POINT
MED	MEDIUM	SPECS	SPECIFICATIONS
MET	METAL	ST	STAINLESS STEEL
MF	METAL FURRING	STEEL	STEEL
MF&PL	METAL FURRING AND PLASTER	STC	SOUND TRANSMISSION
MIN	MINIMUM	STD	STANDARD
MISC	MISCELLANEOUS	STOR	STORAGE
MLD	MOLDING	STRUCT	STRUCTURAL
MM	MILLIMETER	SUSP	SUSPENDED
MT	MARBLE TILE	SYM	SYMMETRICAL
MO	MASONRY OPENING	SYMB	SYMMETRICAL
MOD	MODULAR	STD	STANDARD
MRGWB	MOISTURE RESISTANT GWB	ST PL	STEEL PLATE
NORTH	NORTH	TF	TRANSPARENT FINISH
NIC	NOT IN CONTRACT	T&B	TOP & BOTTOM
NO	NUMBER	TC	TOP OF CURB
NOM	NOMINAL	TCR	TYPICAL CLASS ROOM
NRC	NOISE REDUCTION COEFFICIENT	TEL	TELEPHONE
NTS	NOT TO SCALE	TEMP	TEMPORARY
NFPA	NATIONAL FIRE PROTECTION AGENCY	TER	TERRAZZO
		T&G	TONGUE AND GROOVE
OC	ON CENTER	THK	THICKNESS
OCCUP	OCCUPANCY	TO	TOP OF OPENING
OD	OUTSIDE DIAMETER	TOS	TOP OF SLAB
OPG	OPENING	TYP	TYPICAL
OPP	OPPOSITE	TR	TREAD
		TS	TO SADDLE
PT	PAINT	TW	TOP OF WALL
PAV	PAVEMENT	TYP	TYPICAL
PER	PERIMETER	U	UNFINISHED
PERF	PERFORATED	UL	UNDERWRITERS LABORATORY
PFB	PLASTIC FACED BLOCK	UON	UNLESS OTHERWISE NOTED
PLAM	PLASTIC LAMINATE		
PLASTER	PLASTER	VCT	VINYL COMPOSITION TILE
PHL	PANEL	VENT	VENTILATOR
PREFAB	PREFABRICATE	VERT	VERTICLE
PT	POINT	VEST	VESTIBULE
PTN	PARTITION	VIF	VERIFY IN FIELD
PLUMB	PLUMBING AND DRAINAGE	VINT	VINTAGE
PRES	PRESENT	VP	VENT PIPE
PTD	PAINTED	VWN	VINYL WALL COVERING
PWD	PLYWOOD		
QT	QUARRY TILE	W	WEST
QTY	QUANTITY	W/	WITH
		WC	WATER CLOSET
		WD	WOOD
		W/O	WITHOUT
		WIN	WINDOW
		WF	WATER FOUNTAIN
		WH	WEEP HOLE
		WM	WIRE MESH
		WMG	WIRE MESH GUARD
		W PT	WATER PROOFING
		WT	WORKING POINT
		WP	WEIGHT
		WWM	WELDED WIRE MESH

2 DRAWING LIST		NTS	
DRAWING LIST		OWNERS REVIEW 2021-07-23	
ISSUED FOR BID			
Sheet Issue Date	SHEET NUMBER	SHEET NAME	
00 GENERAL			
09/10/21	CVR	COVER	
03/13/17	G100.00	PARTITION TYPES, DRAWING LIST, ABBREV. & SYMBOLS	
03/15/17	G101.00	TYP. DIMENSIONS & ACCESSIBILITY DETAILS	
03/15/17	G102.01	GENERAL NOTES	
07/09/21	G102.02	GENERAL NOTES	
03/15/17	G103.00	SITE PLAN, ZONING & CODE INFORMATION	
03/15/17	G104.00	EGRESS PLANS	
08/23/21	G105.00	DOOR AND WINDOW SCHEDULES AND DETAILS	
01 DEMOLITION			
03/15/17	D101.00	KITCHEN DEMO PLAN	
07/08/21	D102.00	ROOF DEMOLITION PLAN	
06/04/21	D103.00	TERRACE DEMO PLAN	
06/10/21	D110.00	KITCHEN - DEMO RCP	
02 ARCHITECTURAL			
06/16/21	A100.00	LOWER LEVEL PROPOSED FLOOR PLAN	
07/20/21	A101.00	NEW CONSTRUCTION KITCHEN FLOOR PLAN	
04/28/21	A102.00	PROPOSED KITCHEN EQUIPMENT PLAN	
04/20/21	A103.00	ENLARGED PLAN - CALLOUT 1	
04/20/21	A104.00	ENLARGED PLAN - CALLOUT 2	
04/20/21	A105.00	ENLARGED PLAN - CALLOUT 3	
04/20/21	A106.00	ENLARGED PLAN - CALLOUT 4	
06/16/21	A107.00	ROOF PLAN	
06/11/21	A108.00	NEW CONSTRUCTION TERRACE PLAN	
12/10/19	A110.00	REFLECTED CEILING PLAN LEGEND & SCHEDULE	
12/10/19	A120.00	FINISH SCHEDULE	
06/09/21	A121.00	KITCHEN FINISH PLAN	
06/09/21	A122.00	TERRACE FINISH PLAN	
12/10/19	A400.00	WALL SECTIONS & TYPICAL DETAILS	
12/10/19	A401.00	ENLARGED PLANS & DETAILS	
08/19/21	A402.00	BAR EQUIPMENT LAYOUT, SCHEDULE AND BAR DETAILS	
07/21/21	A403.00	ENLARGED PLANS AND DETAILS	
07/21/21	A404.00	ENLARGED PLANS AND DETAILS	
08/19/21	A405.00	RAMP ENLARGED PLAN AND SECTION DETAIL	
04 STRUCTURAL			
03/13/17	S001.00	GENERAL NOTES, EQUIPMENT SUPPORT PLAN	
03/13/17	S002.00	SECTIONS AND TYPICAL DETAILS	
09/08/21	S100.00	GENERAL NOTES AND MATERIAL SPECIFICATIONS	
09/08/21	S101.00	MECHANICAL RTU SUPPORT FRAMING PLAN, TYPICAL SECTIONS AND DETAILS	
09/08/21	S102.00	CONCRETE RAMP INSTALLATION, BAR ROOF FRAMING TYPICAL SECTIONS AND DETAILS	
05 MECHANICAL			
03/13/17	M001.00	MECHANICAL NOTES, LEGEND AND INDEX	
03/13/17	M100.00	MECHANICAL DEMOLITION PLAN	
07/20/21	M101.00	MECHANICAL ROOF DEMOLITION PLAN	
07/20/21	M200.00	MECHANICAL FLOOR PLAN	
07/20/21	M201.00	MECHANICAL ROOF PLAN	
07/20/21	M300.00	MECHANICAL SCHEDULES	
07/20/21	M301.00	MECHANICAL DETAILS	
07/20/21	M400.00	MECHANICAL SPECIFICATIONS (1 OF 2)	
07/20/21	M401.00	MECHANICAL SPECIFICATIONS (2 OF 2)	
06 ELECTRICAL			
03/13/17	E001.00	ELECTRICAL NOTES AND LEGEND	
03/13/17	E100.00	KITCHEN ELECTRICAL DEMOLITION PLAN	
07/20/21	E101.00	KITCHEN ELECTRICAL LIGHTING PLAN	
07/20/21	E102.00	KITCHEN ELECTRICAL POWER PLAN	
07/20/21	E103.00	TERRACE ELECTRICAL POWER PLAN	
09/08/21	E104.00	ROOF ELECTRICAL POWER PLAN	
07/20/21	E200.00	ELECTRICAL Riser DIAGRAM & PANEL SCHEDULES	
07/20/21	E201.00	ELECTRICAL DETAILS	
07/20/21	E300.00	ELECTRICAL SPECIFICATIONS (1 OF 2)	
07/20/21	E301.00	ELECTRICAL SPECIFICATIONS (2 OF 2)	
07 PLUMBING			
03/13/17	P001.00	PLUMBING NOTES AND LEGEND	
03/13/17	P100.00	LOWER LEVEL PLUMBING DEMOLITION PLAN	
07/20/21	P101.00	KITCHEN PLUMBING DEMOLITION PLAN	
09/08/21	P102.00	TERRACE PLUMBING DEMOLITION PLAN	
07/20/21	P200.00	KITCHEN EQUIPMENT SCHEDULE	
07/20/21	P201.00	LOWER LEVEL PLUMBING PLAN	
07/20/21	P202.00	KITCHEN PLUMBING PLAN	
07/20/21	P203.00	PLUMBING ROOF PLAN	
09/08/21	P204.00	TERRACE PLUMBING PLAN	
07/20/21	P300.00	PLUMBING SCHEDULES	
09/08/21	P301.00	PLUMBING DETAILS	
09/08/21	P400.00	KITCHEN RISER DIAGRAMS (SHEET 1 OF 2)	
09/08/21	P401.00	KITCHEN RISER DIAGRAMS (SHEET 2 OF 2)	
07/20/21	P500.00	PLUMBING SPECIFICATIONS	
08 FIRE PROTECTION			
03/13/17	FP001.00	FIRE PROTECTION NOTES AND LEGEND	
03/13/17	FP100.00	FIRE PROTECTION DEMOLITION PLAN	
07/20/21	FP200.00	FIRE PROTECTION PLAN	
07/20/21	FP300.00	FIRE PROTECTION SPECIFICATIONS	

FILL BOTTOM OF DECK RECESSES AT ALL PARTITIONS RUNNING PERPENDICULAR TO DECK RECESSES.

PARTITION TYPE NOTES

REFER TO PARTITION TYPE DIAGRAMS, REFERENCED BY THE 'PARTITION SYMBOL', INDICATING THE COMPONENTS AND ASSEMBLY OF EACH PARTITION.

REFER TO SPECIFICATIONS FOR VERTICAL PARTITION SPAN CRITERIA AND METAL STUD GAUGES, UON

GYPSON BOARD SHALL BE HIGH IMPACT 5/8" THICK, TO MIN. 6' AFF UON, WHERE EXPOSED TO OCCUPANTS.

STEEL STUDS SHALL BE 20 GAUGE, 16" O. C., UON

FIRE-RESISTANCE RATED & STC-RATED PARTITIONS & STC-RATED SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE TESTED ASSEMBLY UNLESS MORE STRINGENT REQUIREMENTS ARE DESIGNATED BY DETAIL.

STC-RATED PARTITION CONSTRUCTION SHALL HAVE ALL PENETRATIONS AND INTERSECTIONS SEALED AIR TIGHT WITH ACOUSTICAL SEALANT.

AT SHOWERS & VERTICAL SURFACES TO RECEIVE TILE FINISH, PROVIDE 1 LAYER CEMENTITIOUS BACKER UNIT IN PLACE OF THE OUTSIDE LAYER OF GYPSON BOARD ON THE SCHEDULED PARTITION.

COORDINATE PARTITION CONSTRUCTION WITH FINISH PLANS.

PROVIDE METAL BACKING PLATES FOR WALL-MOUNTED ACCESSORIES & CONSTRUCTION.

PREP ALL CMU WALLS FOR PAINTING

HEAD

SECURE WALL HEAD TO DECK THRU TOP RUNNER W/ EXP. ANCHORS @ 24" O.C.

REF. STRUCTURAL DRAWINGS FOR TYPE OF STRUCTURE

SEALANT (TYP.)

THICKNESS

4-7/8"

RATING

NON-RATED

CONSTRUCTION

3-5/8" MTL STUDS @ 16" O.C.

5/8" GYP BOARD

BLOWN-IN CELLULOSE INSULATION

BASE

SECURE WALL BASE TO EXIST. FLOOR THRU BOTTOM TRACK W/ EXP. ANCHORS @ 24" O.C. MAX.

SEE PARTITION TYPE NOTES

2A FULL HEIGHT PARTITION, 5" NOM.

HEAD

SECURE WALL HEAD TO DECK THRU TOP RUNNER W/ EXP. ANCHORS @ 24" O.C.

REF. STRUCTURAL DRAWINGS FOR TYPE OF STRUCTURE

SEALANT (TYP.)

THICKNESS

6-3/4"

RATING

NON-RATED

CONSTRUCTION

5 1/2" MTL STUDS @ 16" O.C.

5/8" GREENBOARD OR BLUEBOARD (MOISTURE-RESISTANT GWB)

BLOWN-IN CELLULOSE INSULATION

BASE

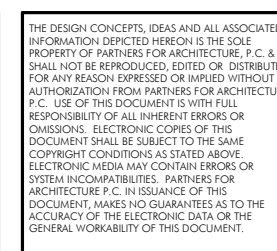
SECURE WALL BASE TO EXIST. FLOOR THRU BOTTOM TRACK W/ EXP. ANCHORS @ 24" O.C. MAX.

<





SCALE  $1/4" = 1'-0"$



3100 Purchase St, Purchase, NY 10577

SEAL &amp; SIGNATURE

DATE:	09-20-19
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DRAWN BY: **Author**

DRAWING NO:

6101.00

CAD FILE NO:  
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J:\Prip2016\694 BASI

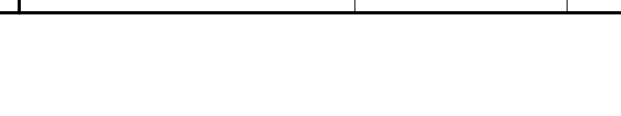


SEAL & SIGNATURE	DATE:	09-20-19
	PROJECT NO.:	21-826
	DRAWN BY:	AD
	CHECKED BY:	SVG
	DRAWING NO.	G102.01
	CAD FILE NO.	J:\P\mg201\61694 BASIS



OLD FILE NO.





48 UNION STREET  
STAMFORD, CT 06906  
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2020 RESIDENTIAL CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)  
2020 BUILDING CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)  
2020 PLUMBING CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)  
2020 MECHANICAL CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)  
2020 FUEL GAS CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)  
2020 FIRE CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)  
2020 PROPERTY MAINTENANCE CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)  
2020 EXISTING BUILDING CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)  
(COLLECTIVELY, THE NYS CODE BOOKS)

USE CLASSIFICATION: OCCUPANCY GROUP: A-3

(TABLES 601 & 602) FIRE RESISTANCE RATING REQUIREMENTS - TYPE III-B CONSTRUCTION: FULLY SPRINKLERED

(SEC. 703.2) FIRE RESISTANCE RATING AND FIRE TEST

THE FIRE-RESISTANCE RATING OF BUILDING ELEMENTS, COMPONENTS OR ASSEMBLIES SHALL BE DETERMINED IN ACCORDANCE WITH TEST PROCEDURES SET FORTH IN ASTM E119 OR UL 263 OR IN ACCORDANCE WITH SECTION 703.3.

THE FIRE-RESISTANCE RATING OF PENETRATIONS AND FIRE-RESISTANT JOINT SYSTEMS SHALL BE DETERMINED IN ACCORDANCE SECTIONS 714 AND 715, RESPECTIVELY.

(SEC. 713.4) FIRE RESISTANCE RATING  
SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 1 HOUR WHERE  
CONNECTING LESS THAN FOUR STORIES. **PROVIDED**

(TABLE 1006.2.1) SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY

(TABLE. 1017.2) EXIT ACCESS TRAVEL DISTANCE: W/SPRINKLER SYSTEM = 250 FEET.

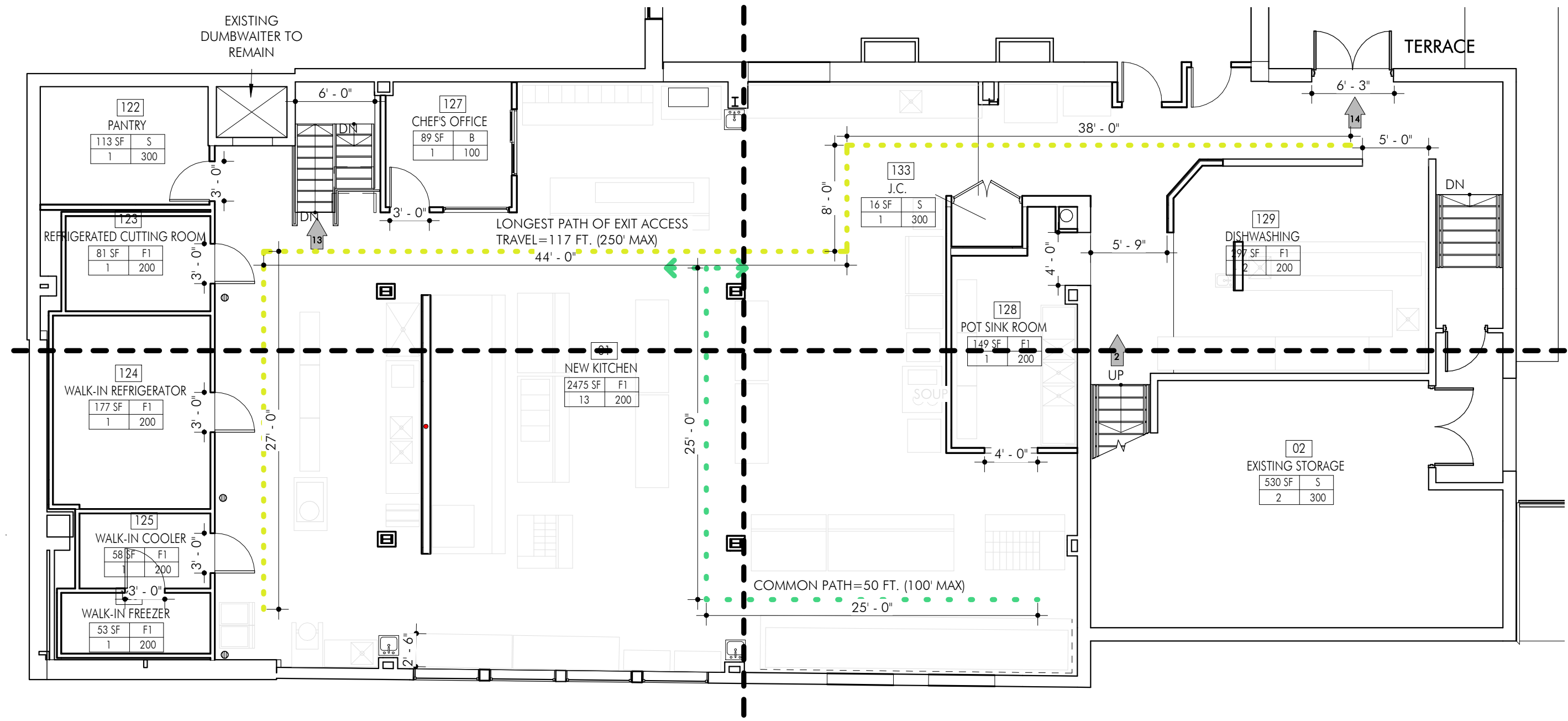
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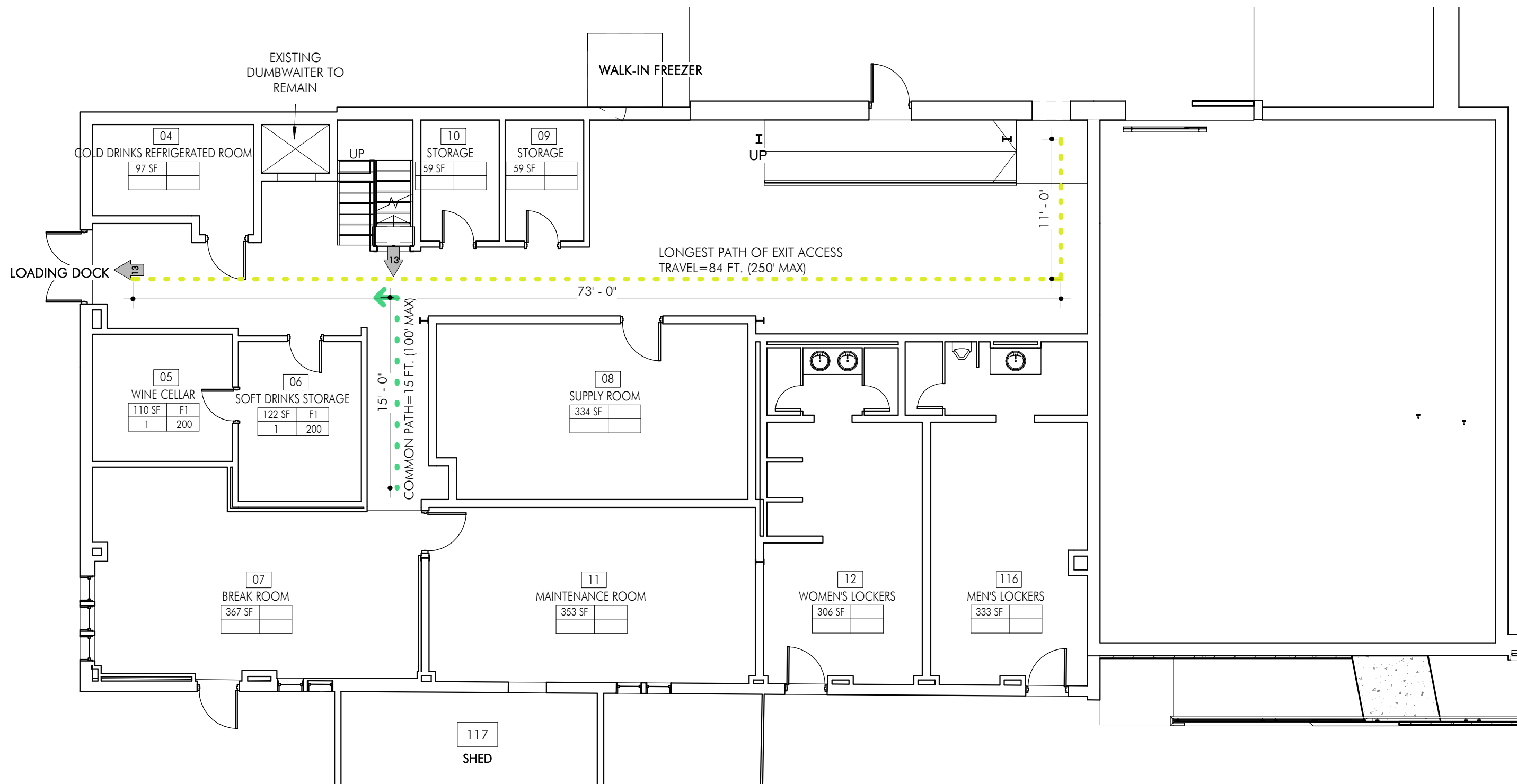


3	MEZZANINE	SHEET REF	SCALE	1/8" = 1'-0"
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TABLE 1004.1.1 - 1ST FLOOR OCCUPANCY						
RM. #	NAME	AREA	OCCUPANCY GROUP	OCC. LOAD FACTOR (\$F PER OCC.)	CALC. OCC. LOAD	
122	PANTRY	113 SF	S	300	1	
123	REFRIGERATED CUTTING ROOM	81 SF	F1	200	1	
124	WALK-IN REFRIGERATOR	177 SF	F1	200	1	
125	WALK-IN COOLER	58 SF	F1	200	1	
126	WALK-IN FREEZER	53 SF	F1	200	1	
127	CHEF'S OFFICE	89 SF	B	100	1	
128	POT SINK ROOM	149 SF	F1	200	1	
129	DISHWASHING	297 SF	F1	200	2	
131	STORAGE	478 SF	S	300	2	
133	J.C.	16 SF	S	300	1	
134	TERRACE	2549 SF				
136	BAR	225 SF				
OCCUPIED SPACE TOTAL:		4285 SF			12	

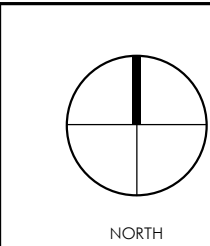


2 PROPOSED KITCHEN FLOOR PLAN - EGRESS PLAN



1 PROPOSED LOWER LEVEL FLOOR PLAN - EGRESS PLAN

2	2021-09-10	OWNER	ISSUED FOR BIDDING ONLY OWNER'S REVIEW DESCRIPTION
1	2021-07-23	OWNER	
	DATE	ISSUED TO	



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OLD OAKS COUNTRY  
CLUB

3100 Purchase St, Purchase, NY 10577

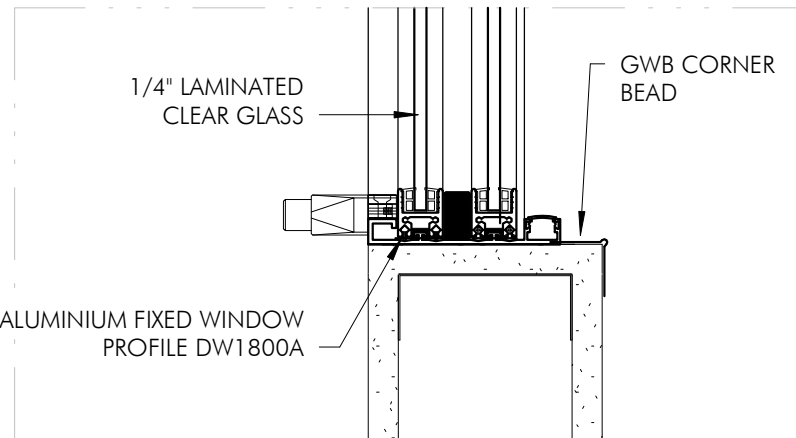
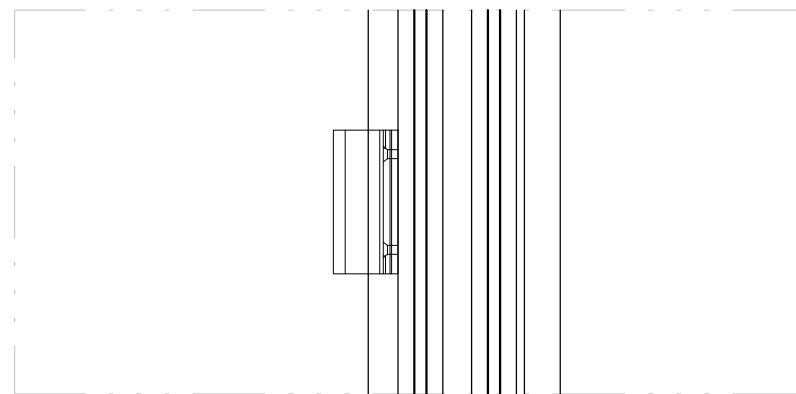
## EGRESS PLANS

SEAL & SIGNATURE	DATE: <b>09-20-19</b>	
	PROJECT NO.: <b>21-826</b>	
	DRAWN BY: <b>AD</b>	
	CHECKED BY: <b>SVG</b>	
	DRAWING NO:	
	<b>G104.00</b>	
C/D FILE NO. J:\P\m\2016\694 BASIS		



Diagram illustrating the cross-section of a window assembly, showing the internal structure and components. The diagram is labeled with the following parts:

- BACKER ROD & SEALANT BOTH SIDES
- ALUMINUM FIXED WINDOW PROFILE DW1800A
- 1/4" LAMINATED CLEAR GLASS
- INTER
- GWBC CORNER BEAD



INTERIOR

BACKER ROD & SEALANT  
BOTH SIDES

ALUMINUM FIXED WINDOW  
PROFILE CRL ST11A

1/4" LAMINATED  
CLEAR GLASS

127

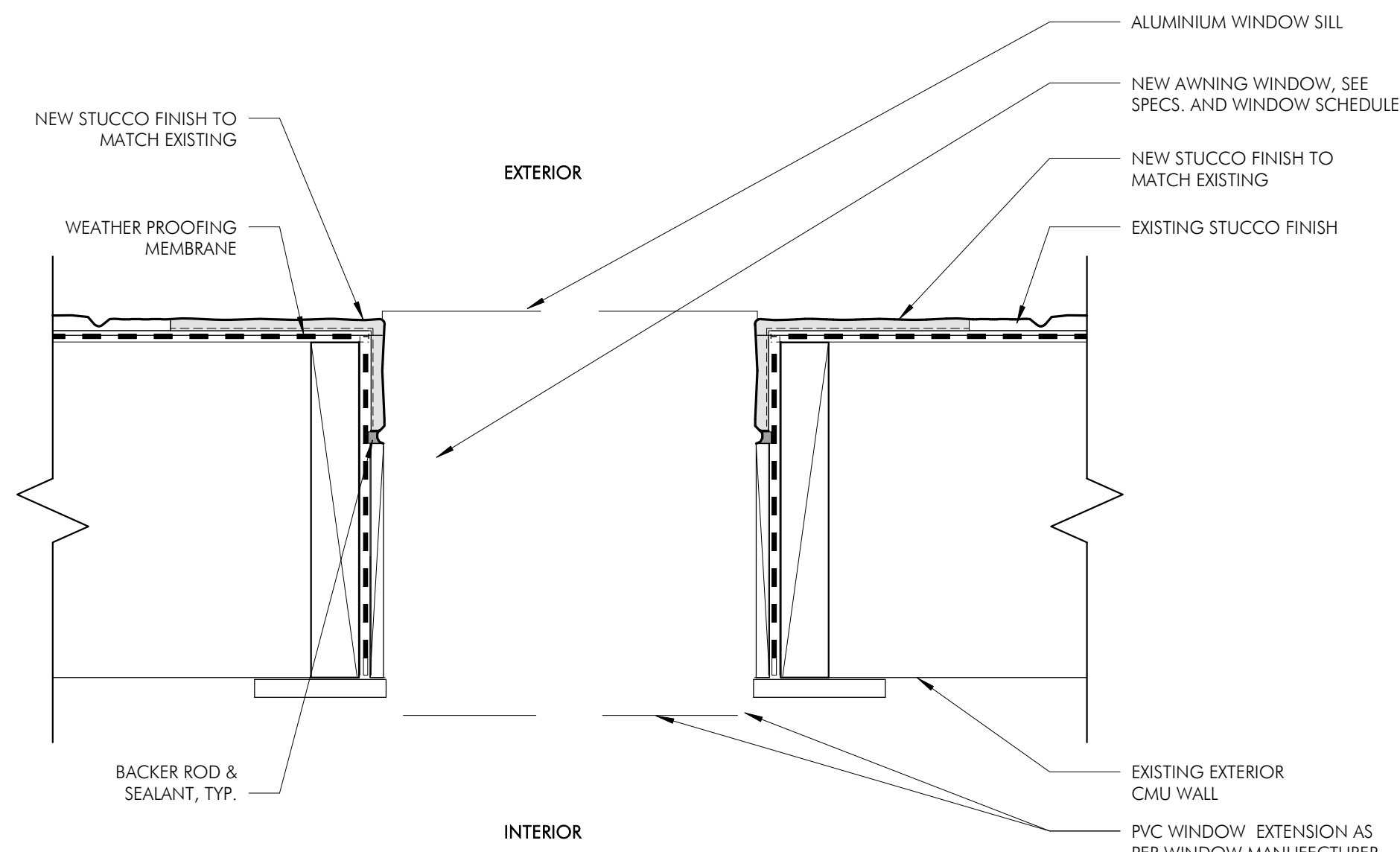
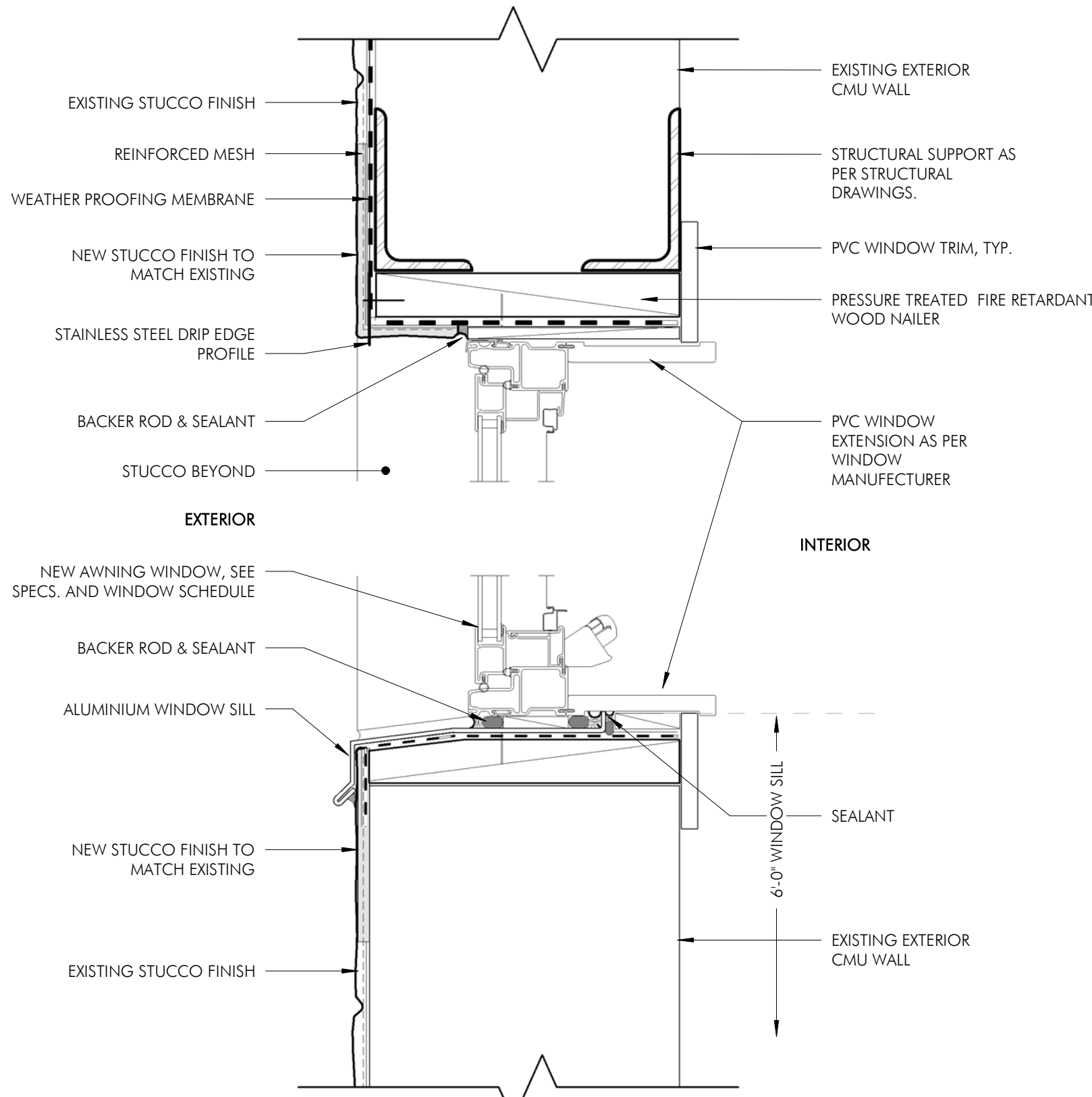
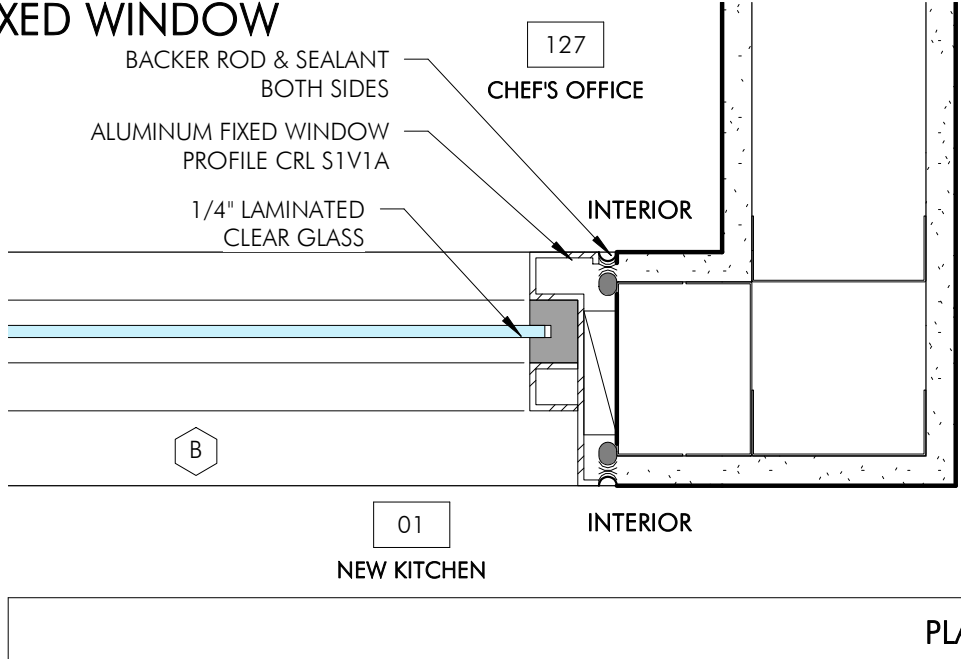
CHEF'S OFFICE

INTERIOR

01

NEW KITCHEN

SECTION



NEW WINDOW SCHEDULE										
TYPE	COUNT	R. O.		WINDOW				GLAZING		COMMENTS
		WIDTH	HEIGHT	DESCRIPTION	WIDTH	HEIGHT	MATERIAL	FINISH	THICKNESS	
FIRST FLOOR										
A	4			5' - 0"	2' - 6"				GL1	AWNING WINDOWS ( MARVIN ESSENTIAL - ESAWN2626) W/6 9/16" PVC EXTENTIONS AND OPERATING DEVICES
B	1			5' - 0"	4' - 0"	ALUMINUM	SATIN ANODIZED		GL2	INTERIOR WINDOWS (CRL S1V1A)
C	1			5' - 0"	4' - 0"	ALUMINUM	SATIN ANODIZED		GL2	INTERIOR SLIDING WINDOWS (CRL DW1800A)
Grand total: 6										
GENERAL NOTES:										
ALL GLAZING IN PROJECT TO BE TEMPERED.										
ALL OPERABLE WINDOWS TO BE PROVIDED AND INSTALLED WITH WINDOW OPENING CONTROL DEVICES LIMITING WINDOW OPENING TO 4" MAXIMUM.										
FENESTRATION AIR LEAKAGE: WINDOWS AND SLIDING OR SWINGING DOOR ASSEMBLIES EXCEPT SITE-BUILT WINDOWS AND/OR DOORS SHALL BE VISUALLY INSPECTED TO VERIFY THAT INSTALLED ASSEMBLIES ARE LISTED AND LABELED BY THE MANUFACTURER TO THE REFERENCED STANDARD.										
FOR GLAZED DOORS, PLEASE SEE DOOR SCHEDULE FOR SPECS; NFRC CERTIFICATE IS INCLUDED ON THIS SHEET.										

59335 X-28173 Version 1  
Hardware Group No. 1  
For use on Door #1(s):  
Provide each SGL door(s) with the following:

QT	DESCRIPTION	CATALOG NUMBER	ITEM D	FINIS H	MFR
3 EA	HINGE	5BB1 4.5 X 4.5	630	IVE	
1 EA	OFFICE/ENTRY LOCK	L9050P6 18A 09-544	630	SCH	
1 EA	SURFACE CLOSER	1450 HJUSH STD	689	LCN	
1 EA	KICK PLATE	8400 10" X 1" LDW B-CS	630	IVE	
1 EA	STOP	WS407/FS438 AS REQUIRED	630	IVE	
3 EA	SILENCER	SR64		GRY	IVE

Hardware Group No. 2  
For use on Door #1(s):  
Provide each SGL door(s) with the following:

QT	DESCRIPTION	CATALOG NUMBER	ITEM D	FINIS H	MFR
3 EA	HINGE	5DB1 4.5 X 4.5	630	IVC	
1 EA	STOREROOM LOCK	L9080P6 18A	630	SCH	
1 EA	SURFACE CLOSER	1450 HJUSH STD	689	LCN	
1 EA	KICK PLATE	8400 10" X 1" LDW B-CS	630	IVE	
1 EA	STOP	WS407/FS438 AS REQUIRED	630	IVE	
3 EA	SILENCER	SR64		GRY	IVE

Hardware Group No. 3  
For use on Door #1(s):  
Provide each FR door(s) with the following:

Diagram illustrating three window configurations (A, B, and C) with dimensions and performance specifications.

**Configuration A:** Double Hung window, 5'-0" wide by 2'-6" high.

**Configuration B:** Single Hung window, 5'-0" wide by 4'-0" high.

**Configuration C:** Transom window, 5'-0" wide by 4'-0" high.

**WINDOW MINIMUM PERFORMANCE PER NYS ECC 2020:**  
 MAXIMUM U-FACTOR: 0.38 FIXED; 0.45 OPERABLE  
 MAXIMUM AIR LEAKAGE RATE: 0.20 CFM/SF

**MAX. SHGC W/ PF < 0.2: 0.36**  
**MAX. SHGC W/ 0.2 < PF < 0.5: 0.43**  
**MAX. SHGC W/ PF > 0.5: 0.58**

**GL-1 1 1/16" INSULATING GLASS**  
 1 1/16" (17MM) INSULATING GLASS - LOW E2 - ARGON  
 A. U-FACTOR: 0.29  
 B. SHGC: 0.29  
 C. VT: 0.49

**GL-2 1/4" LAMINATED GLASS**

DOOR SCHEDULE														
TYPE	FROM ROOM:	TO ROOM:	DOOR							FRAME				FIRE RATING
			DESCRIPTION	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	JAMB DEPTH	MATERIAL	FINISH	
PATIO LEVEL														
110	TERRACE	BAR		E	3' - 0"	7' - 0"	0' - 1 3/4"	HM	PT			HM	PT	
FIRST FLOOR														
102	KITCHEN	OFFICE		B	3' - 0"	7' - 0"	0' - 1 1/2"	WD	ST			HM	PT	
103	KITCHEN	PANTRY		B	3' - 0"	7' - 0"	0' - 1 1/2"	HM	PT			HM	PT	
104	KITCHEN	WALK-IN COOLER		C	3' - 0"	7' - 0"	0' - 2'							
105	WALK-IN COOLER	WALK-IN FREEZER		C	3' - 0"	7' - 0"	0' - 2'							
107	KITCHEN	REF. CUTTING ROM		C	3' - 0"	7' - 0"	0' - 2'							
108	KITCHEN	WALK-IN REF.		C	3' - 0"	7' - 0"	0' - 2'							
109	KITCHEN HALLWAY	J.C.		D	5' - 0"	7' - 0"	0' - 1 3/4"	HM	PT			HM	PT	
111	DINING ROOM	KITCHEN HALLWAY		A	3' - 0"	7' - 0"	0' - 1 1/2"	HPL	HPL					
112	KITCHEN HALLWAY	DINING		A	3' - 0"	7' - 0"	0' - 1 1/2"	HPL	HPL					

DOOR SCHEDULE														
TYPE	FROM ROOM:	TO ROOM:	DOOR							FRAME				FIRE RATING
			DESCRIPTION	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	JAMB DEPTH	MATERIAL	FINISH	
PATIO LEVEL														
110	TERRACE	BAR		E	3' - 0"	7' - 0"	0' - 1 3/4"	HM	PT			HM	PT	
FIRST FLOOR														
102	KITCHEN	OFFICE		B	3' - 0"	7' - 0"	0' - 1 1/2"	WD	ST			HM	PT	
103	KITCHEN	PANTRY		B	3' - 0"	7' - 0"	0' - 1 1/2"	HM	PT			HM	PT	
104	KITCHEN	WALK-IN COOLER		C	3' - 0"	7' - 0"	0' - 2'							
105	WALK-IN COOLER	WALK-IN FREEZER		C	3' - 0"	7' - 0"	0' - 2'							
107	KITCHEN	REF. CUTTING ROM		C	3' - 0"	7' - 0"	0' - 2'							
108	KITCHEN	WALK-IN REF.		C	3' - 0"	7' - 0"	0' - 2'							
109	KITCHEN HALLWAY	J.C.		D	5' - 0"	7' - 0"	0' - 1 3/4"	HM	PT			HM	PT	
111	DINING ROOM	KITCHEN HALLWAY		A	3' - 0"	7' - 0"	0' - 1 1/2"	HPL	HPL					
112	KITCHEN HALLWAY	DINING		A	3' - 0"	7' - 0"	0' - 1 1/2"	HPL	HPL					

59335 X-28173 Version 1

Hardware Group No. 1

For use on Door (#s):

Provide each SGL door(s) with the following:

QT	DESCRIPTION	CATALOG NUMBER		ITEM	FINIS	MFR
Y				D	H	
3	EA HINGE	5BB1 4.5 X 4.5	1		630	IVE
1	EA OFFICE/ENTRY LOCK	L900P6 18A 90-544	1		630	SGH
1	EA SURFACE CLOSER	1450 HCUSH STD	1		689	LCN
1	EA KICK PLATE	8400 10" X 1" LDW B-CS	1		630	IVE
1	EA STOP	WS407F-5438 AS REQUIRED	1		630	IVE
3	EA SILENCER	SR64	1		GRY	IVE

Hardware Group No. 2

For use on Door (#s):

Provide each SGL door(s) with the following:

QT	DESCRIPTION	CATALOG NUMBER		ITEM	FINIS	MFR
Y				D	H	
3	EA HINGE	5DD1 4.5 X 4.5	1		630	IVE
1	EA STOREROOM LOCK	L900CP6 18A	1		630	SGH
1	EA SURFACE CLOSER	1450 HCUSH STD	1		689	LCN
1	EA KICK PLATE	8400 10" X 1" LDW B-CS	1		630	IVE
1	EA STOP	WS407F-5438 AS REQUIRED	1		GRY	IVE
3	EA SILENCER	SR64	1		GRY	IVE

Hardware Group No. 3

For use on Door (#s):

Provide each PR door(s) with the following:

QT	DESCRIPTION	CATALOG NUMBER		ITEM	FINIS	MFR
Y				D	H	
6	EA HINGE	5BB1 4.5 X 4.5	1		630	IVE
1	SET CONST LATCHING BOLT	FBS1P 24"	1		630	IVE
1	EA STOREROOM LOCK	L900R6 18A	1		630	SGH
2	EA SURFACE CLOSER	1450 HCUSH STD	1		689	LCN
2	EA SILENCER	SR64	1		GRY	IVE

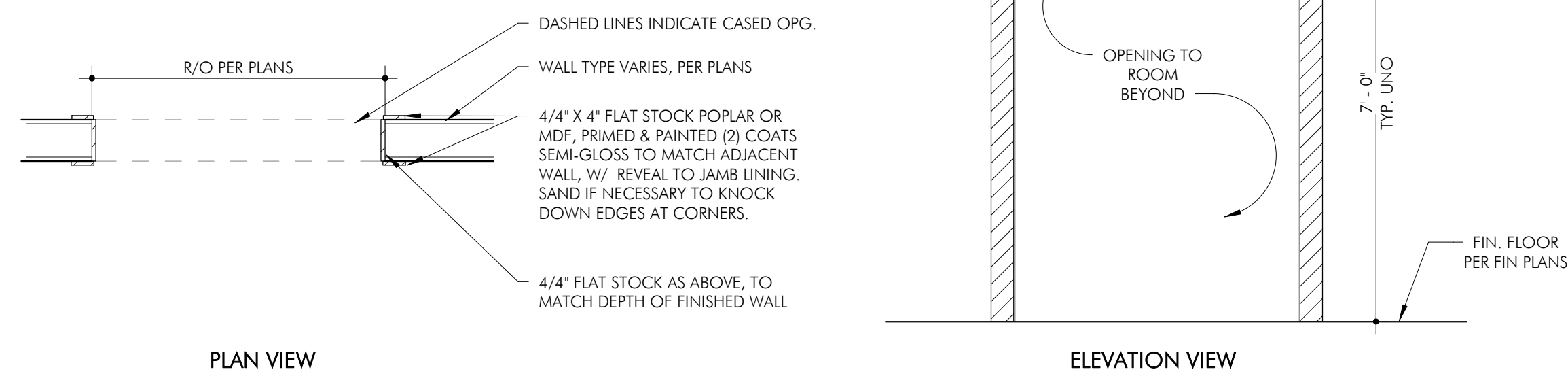
Hardware Group No. 4

For use on Door (#s):

Provide each SGL door(s) with the following:

QT	DESCRIPTION	CATALOG NUMBER		ITEM	FINIS	MFR
Y				D	H	
2	EA BY DOOR MANUFACTURER	ALL HARDWARE				

6 HARDWARE SCHEDULE - REFER TO SPECIFICATIONS



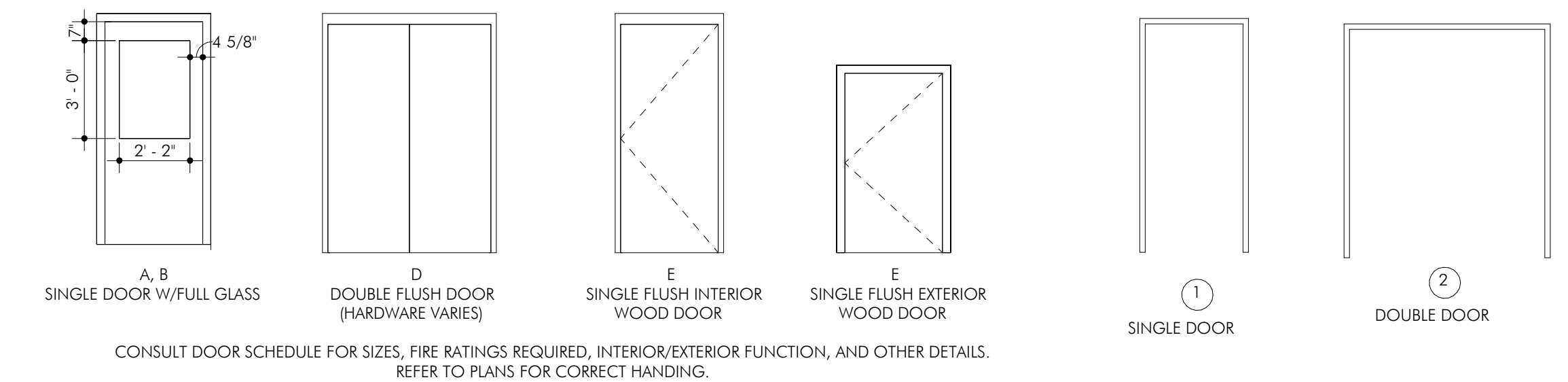
ELEVATION VIEW

DOOR SCHEDULE														
TYPE	FROM ROOM:	TO ROOM:	DOOR							FRAME				FIRE RATING
			DESCRIPTION	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	JAMB DEPTH	MATERIAL	FINISH	
PATIO LEVEL														
110	TERRACE	BAR		E	3' - 0"	7' - 0"	0' - 1 3/4"	HM	PT			HM	PT	
FIRST FLOOR														
102	KITCHEN	OFFICE		B	3' - 0"	7' - 0"	0' - 1 1/2"	WD	ST			HM	PT	
103	KITCHEN	PANTRY		B	3' - 0"	7' - 0"	0' - 1 1/2"	HM	PT			HM	PT	
104	KITCHEN	WALK-IN COOLER		C	3' - 0"	7' - 0"	0' - 2'							
105	WALK-IN COOLER	WALK-IN FREEZER		C	3' - 0"	7' - 0"	0' - 2'							
107	KITCHEN	REF. CUTTING ROM		C	3' - 0"	7' - 0"	0' - 2'							
108	KITCHEN	WALK-IN REF.		C	3' - 0"	7' - 0"	0' - 2'							
109	KITCHEN HALLWAY	J.C.		D	5' - 0"	7' - 0"	0' - 1 3/4"	HM	PT			HM	PT	
111	DINING ROOM	KITCHEN HALLWAY		A	3' - 0"	7' - 0"	0' - 1 1/2"	HPL	HPL					
112	KITCHEN HALLWAY	DINING		A	3' - 0"	7' - 0"	0' - 1 1/2"	HPL	HPL					

DOOR SCHEDULE														
TYPE	FROM ROOM:	TO ROOM:	DOOR							FRAME				FIRE RATING
			DESCRIPTION	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	JAMB DEPTH	MATERIAL	FINISH	
PATIO LEVEL														
110	TERRACE	BAR		E	3' - 0"	7' - 0"	0' - 1 3/4"	HM	PT			HM	PT	
FIRST FLOOR														
102	KITCHEN	OFFICE		B	3' - 0"	7' - 0"	0' - 1 1/2"	WD	ST			HM	PT	
103	KITCHEN	PANTRY		B	3' - 0"	7' - 0"	0' - 1 1/2"	HM	PT			HM	PT	
104	KITCHEN	WALK-IN COOLER		C	3' - 0"	7' - 0"	0' - 2'							
105	WALK-IN COOLER	WALK-IN FREEZER		C	3' - 0"	7' - 0"	0' - 2'							
107	KITCHEN	REF. CUTTING ROM		C	3' - 0"	7' - 0"	0' - 2'							
108	KITCHEN	WALK-IN REF.		C	3' - 0"	7' - 0"	0' - 2'							
109	KITCHEN HALLWAY	J.C.		D	5' - 0"	7' - 0"	0' - 1 3/4"	HM	PT			HM	PT	
111	DINING ROOM	KITCHEN HALLWAY		A	3' - 0"	7' - 0"	0' - 1 1/2"	HPL	HPL					
112	KITCHEN HALLWAY	DINING		A	3' - 0"	7' - 0"	0' - 1 1/2"	HPL	HPL					

QTY	STC RATING	HARDWARE SET	COMMENTS
		1	
		1	
		2	
		4	REFER TO WALK-INS MANUFACTURER DRAWINGS AND SPECS.
		4	REFER TO WALK-INS MANUFACTURER DRAWINGS AND SPECS.
		4	REFER TO WALK-INS MANUFACTURER DRAWINGS AND SPECS.
		4	REFER TO WALK-INS MANUFACTURER DRAWINGS AND SPECS.
		3	
			ELIASON RESTAURANT DOOR - SCP-8 HPL TRAFFIC DOOR
		4	ELIASON RESTAURANT DOOR - SCP-8 HPL TRAFFIC DOOR

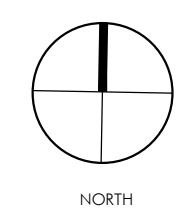
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		1	
		1	
		2	
		4	REFER TO WALK-INS MANUFACTURER DRAWINGS AND SPECS.
		4	REFER TO WALK-INS MANUFACTURER DRAWINGS AND SPECS.
		4	REFER TO WALK-INS MANUFACTURER DRAWINGS AND SPECS.
		4	REFER TO WALK-INS MANUFACTURER DRAWINGS AND SPECS.
		3	
			ELIASON RESTAURANT DOOR - SCP-8 HPL TRAFFIC DOOR
		4	ELIASON RESTAURANT DOOR - SCP-8 HPL TRAFFIC DOOR



CONSULT DOOR SCHEDULE FOR SIZES, FIRE RATINGS REQUIRED, INTERIOR/EXTERIOR FUNCTION, AND OTHER DETAILS.  
REFER TO PLANS FOR CORRECT HANDING.

8	DOOR LEGEND
---	-------------

8	DOOR LEGEND
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[illegible]

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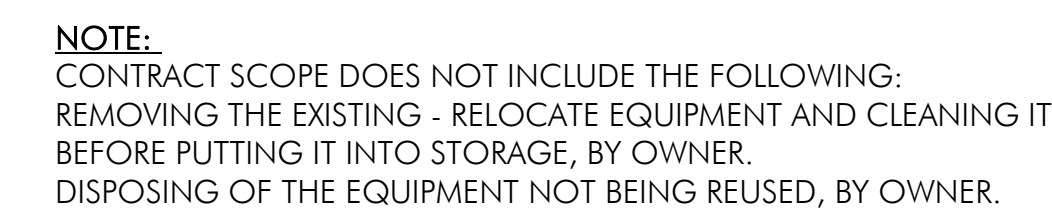
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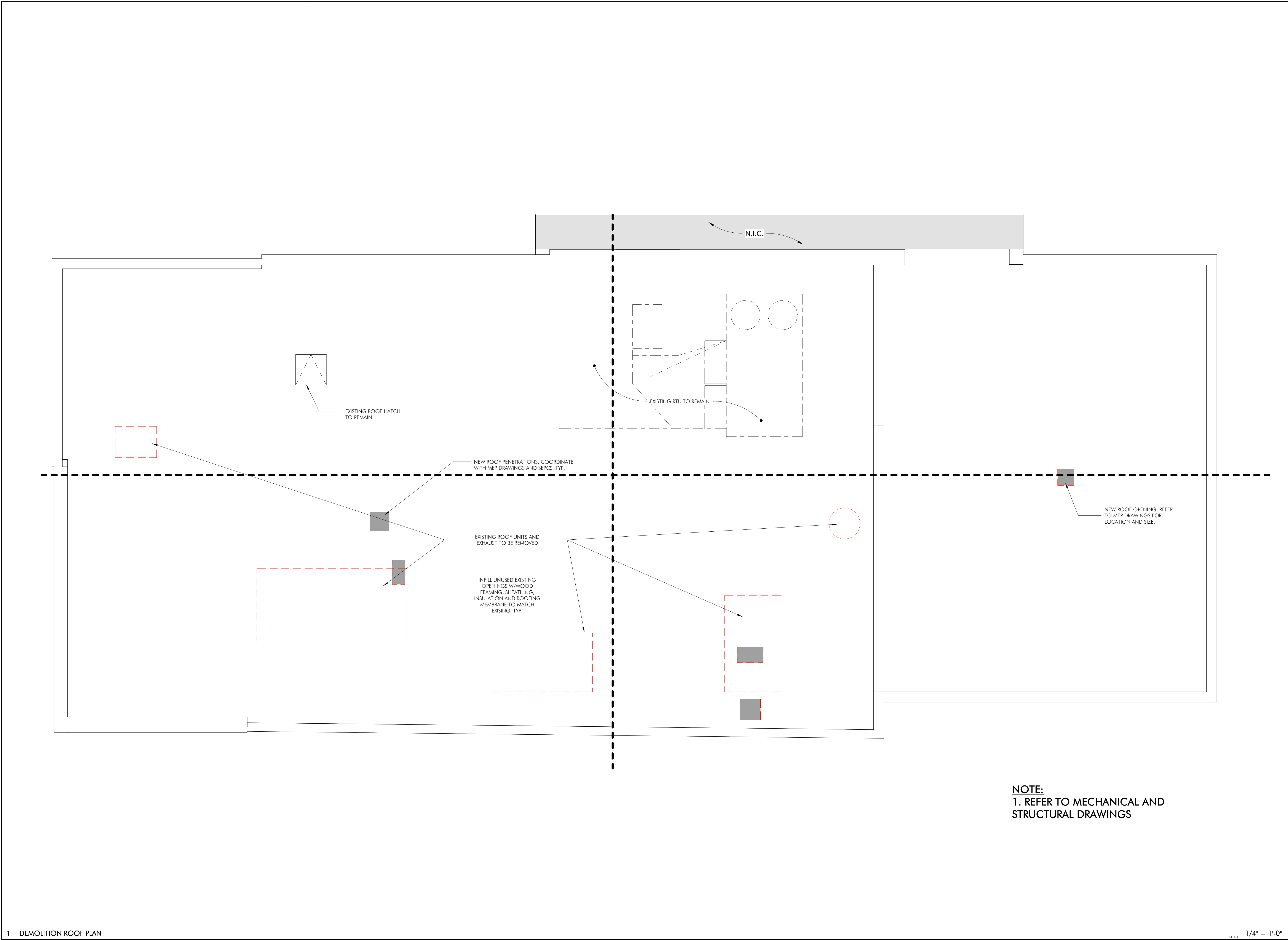
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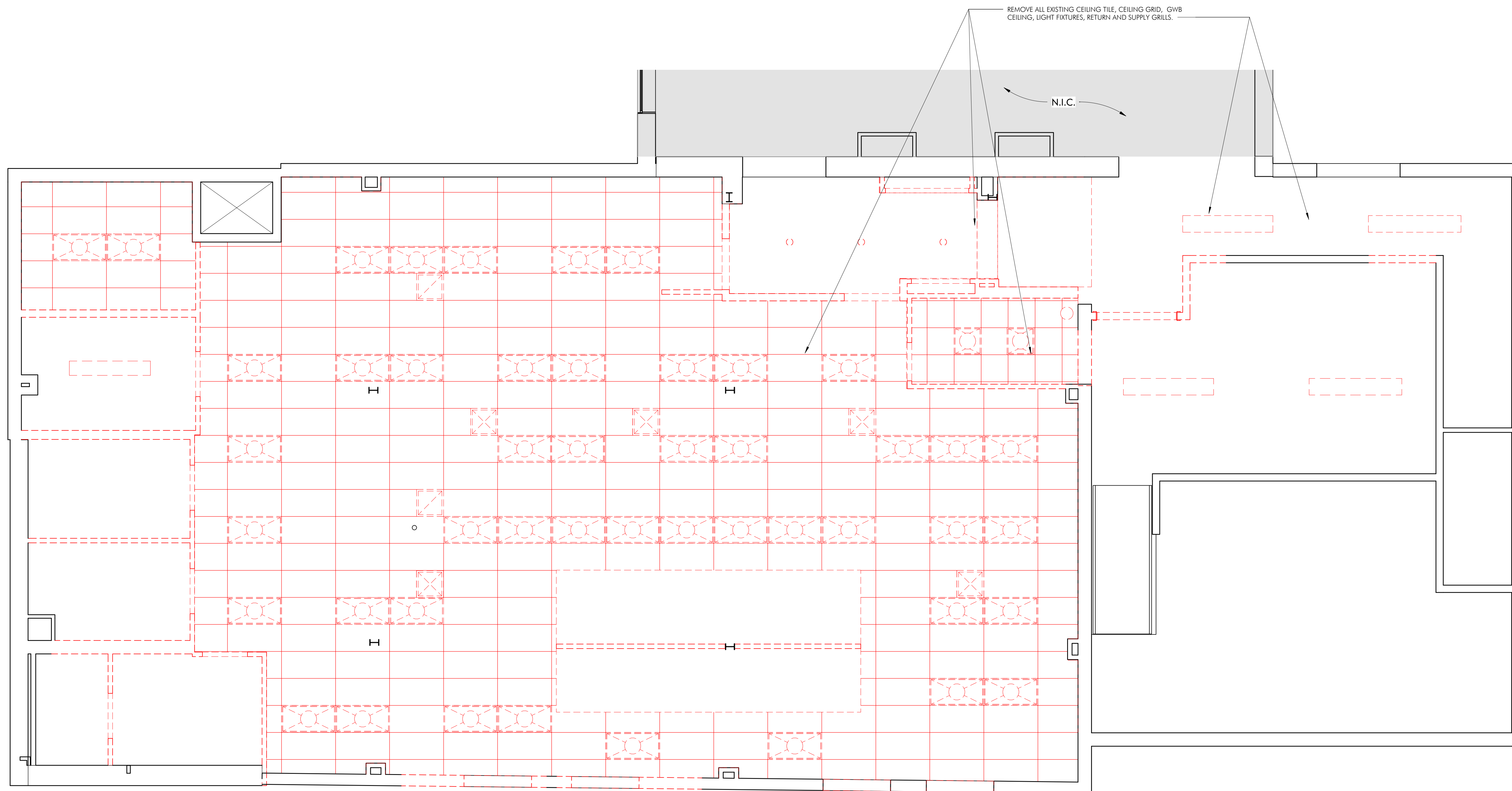
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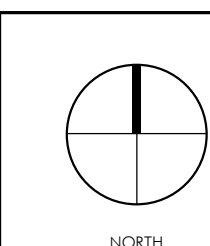
- REMOVE ALL EXISTING CEILING TILE, CEILING GRID, GWE CEILING, LIGHT FIXTURES, RETURN AND SUPPLY GRILLS. —

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## KITCHEN - DEMO RCP

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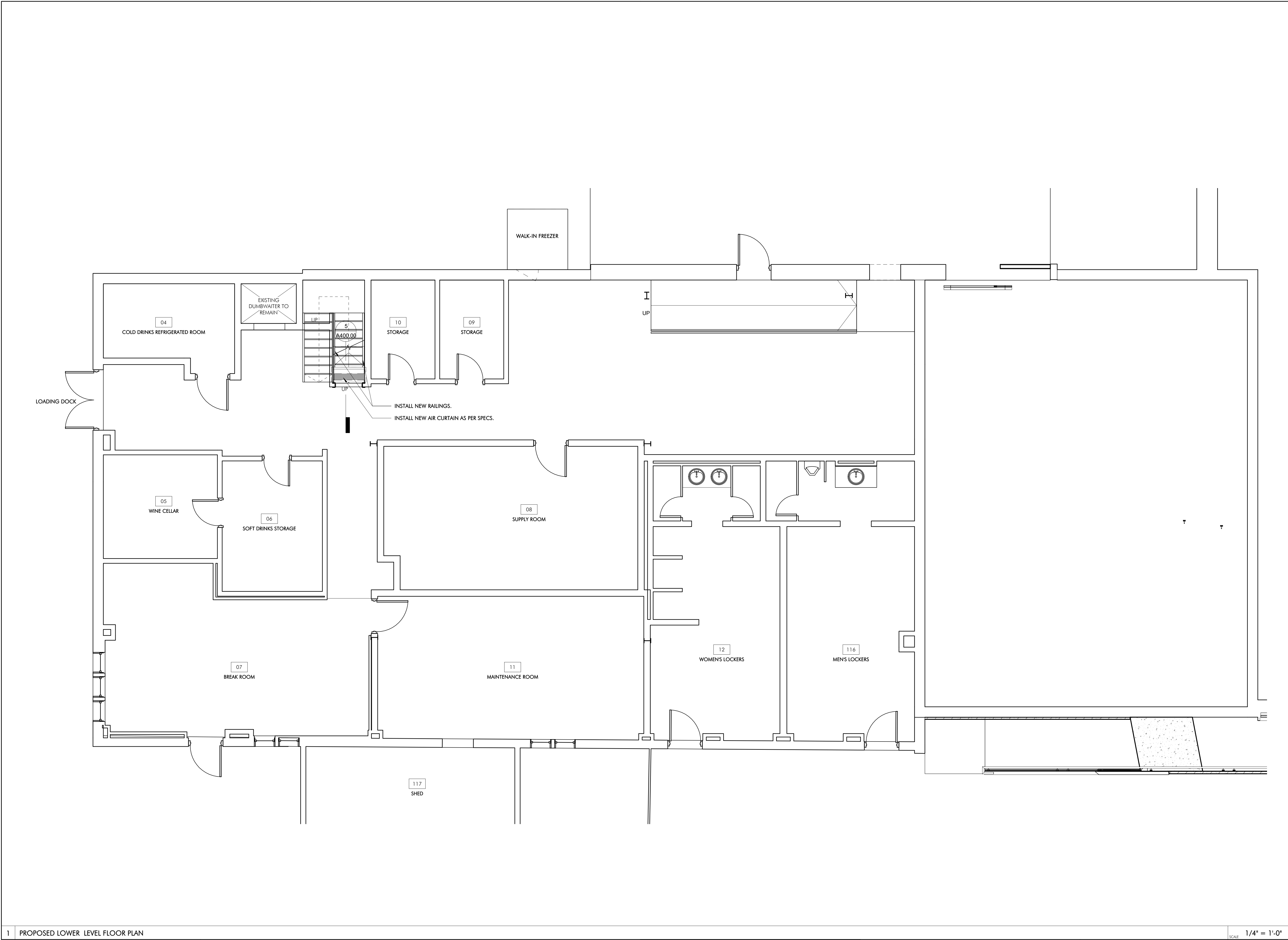
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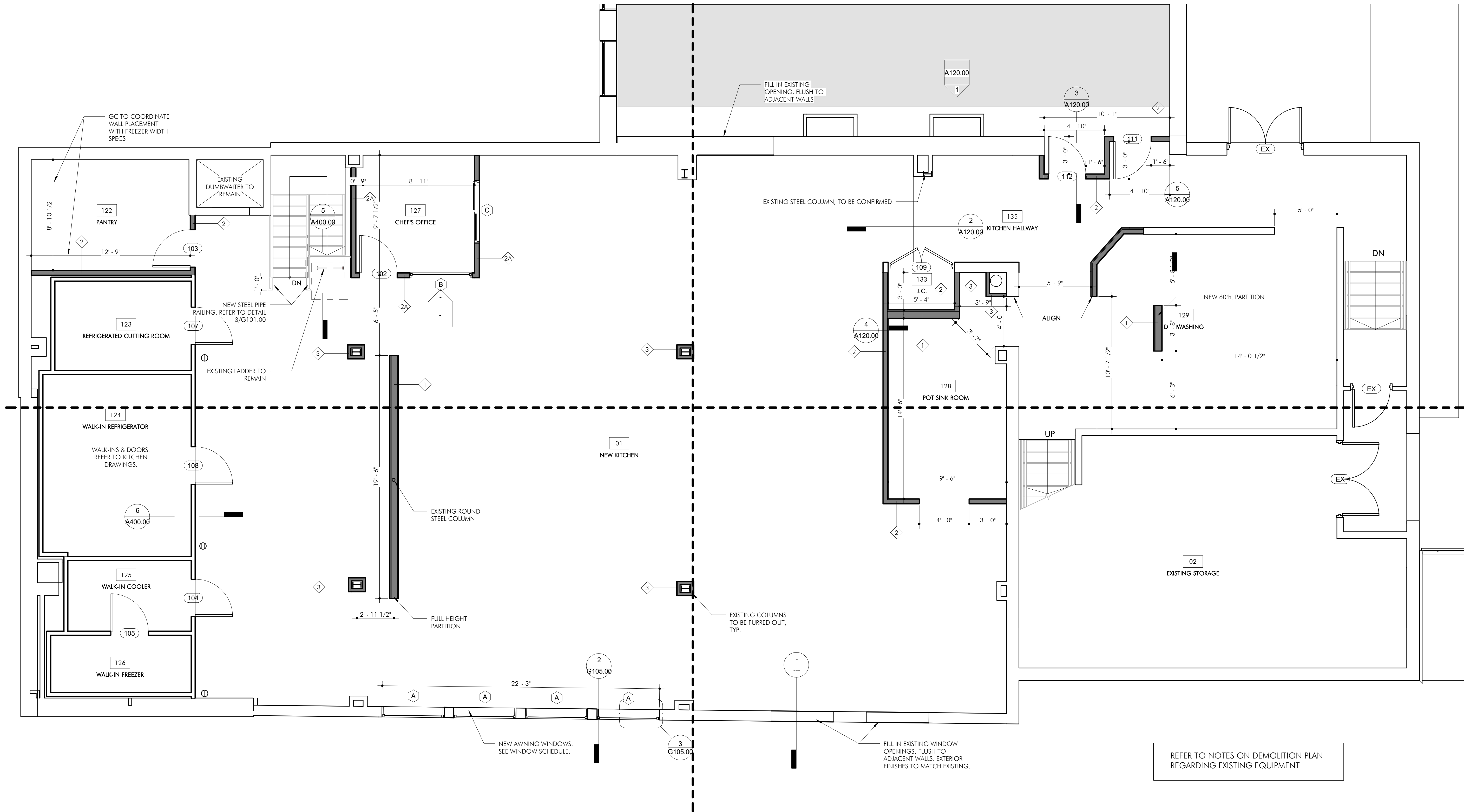
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LOWER LEVEL PROPOSED FLOOR PLAN

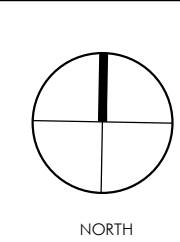
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DRAWING NO.: A100.00  
CUT FILE NO.:  
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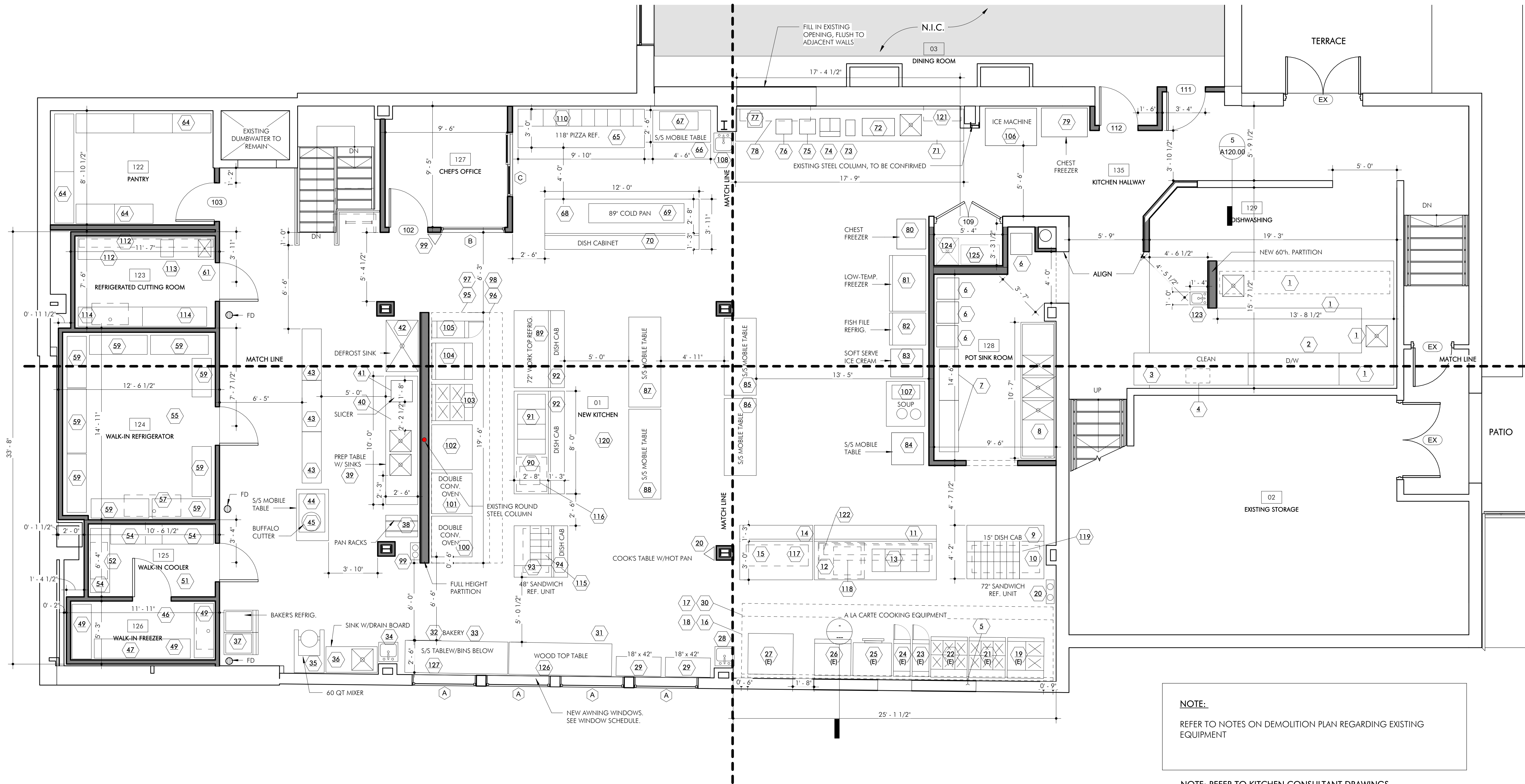
OLD OAKS COUNTRY CLUB

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NEW CONSTRUCTION KITCHEN FLOOR PLAN

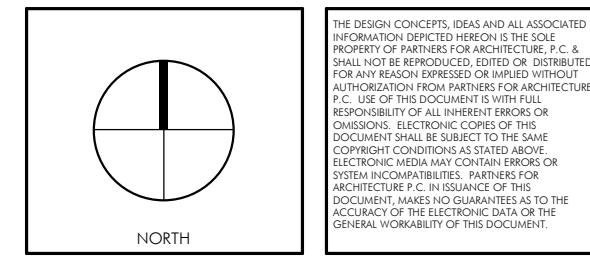
SEAL & SIGNATURE	DATE:	09-20-19
	PROJECT NO.:	21-826
	DRAWN BY:	Author
	CHECKED BY:	Checker
DRAWING NO.:		A101.00
C/D/REV:		





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ISS	REV	DATE	DESCRIPTION
2	1	2021-09-10	OWNER
2021-07-23			ISSUED TO



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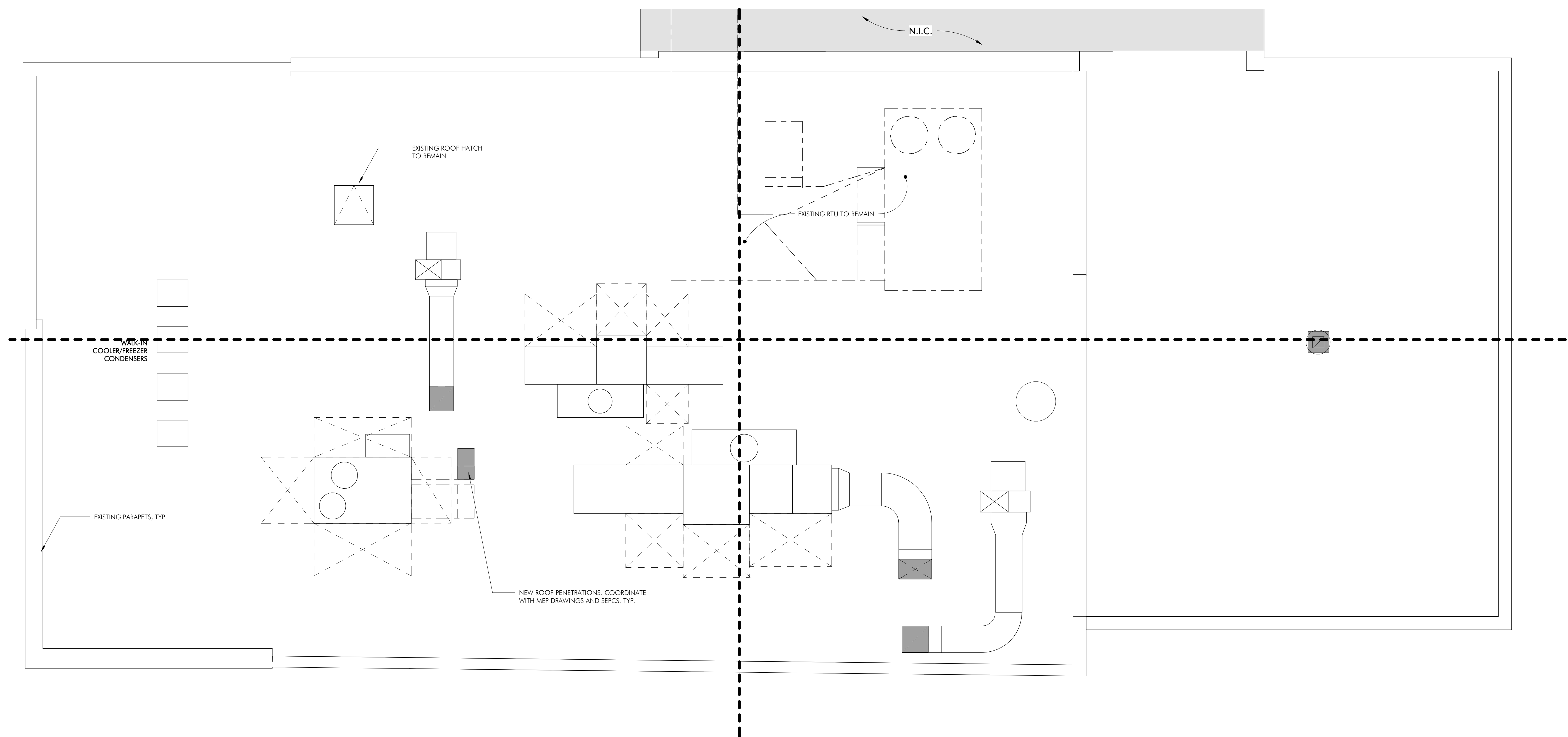
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PROPOSED KITCHEN EQUIPMENT PLAN

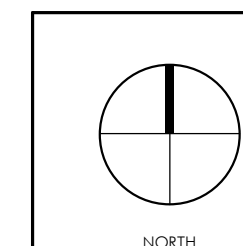
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	PROJECT NO.:	21-826
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	CHECKED BY:	SVG
	DRAWING NO.:	A102.00

CAD FILE NO.  
A102.00





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## ROOF PLAN

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	CHECKED BY:	SVG
	DRAWING NO.:	A107.00
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NEW CONSTRUCTION TERRACE PLAN

SEAL & SIGNATURE

DATE: 09-20-19

PROJECT NO.: 21-026

DRAWN BY: IO

CHECKED BY: SVG

DRAWING NO.: A108.00

CAD FILE NO.: J:\P\2021-09-10\A108.00

1 NEW CONSTRUCTION TERRACE FLOOR PLAN

SCALE 1/8" = 1'-0"

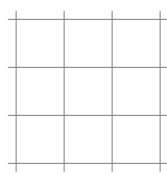


INTERIOR LIGHTING SCHEDULE

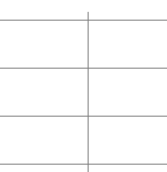
TYPE MARK	COUNT	COMMENTS
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FIRST FLOOR		
	52	
A	11	
B	48	

CEILING TYPES

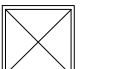


ACT 1 - ACOUSTICAL CEILING TILE, AMSTRONG,  
DUNE - 1850, LAY-IN WITH PRELUDE 15/16"  
SUSPENSION SYSTEM

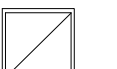


ACT 2 - ACOUSTICAL CEILING TILE, AMSTRONG,  
KITCHEN ZONE - 672, LAY-IN WITH PRELUDE 15/16"  
SUSPENSION SYSTEM

MECHANICAL LEGEND



SUPPLY CEILING DIFFUSER



RETURN CEILING GRILLE OR REGISTER

NOTE :

\* ALL LIGHT FIXTURE MANUFACTURERS TO PROVIDE MIN 10 - YEAR WARRANTY

LIGHTING LEGEND

TYPE	DESCRIPTION
A	RECESSED 2' x 2' FLAT PANEL, LED 32 W +/- DIMMABLE - CFP22-3335-HE? (FOR EM: PLD10M) MFR.: COLUMBIA
B	RECESSED 2' x 4' FLAT PANEL LED 34 W +/- DIMMABLE - CFP24-4135-HE? (FOR EM: PLD10M) MFR.: COLUMBIA
M	LED EXIT SIGN - CEILING/WALL MOUNTED, RED LE-W-S-R-X-N-E; LE-C-S-R-X-N-E MFR.: DUAL LITE
M1	LED EXIT SIGN - CEILING/WALL MOUNTED W/ ARROW LE-W-S-R-R-N-E; LE-C-S-R-R-N-E; LE-W-S-R-L-N-E; LE-C-S-R-L-N-E; MFR.: DUAL LITE
M2	LED EXIT SIGN - CEILING MOUNTED W/ARROW LE-C-D-R-C-N-E MFR.: DUAL LITE

BAR LIGHTING LEGEND

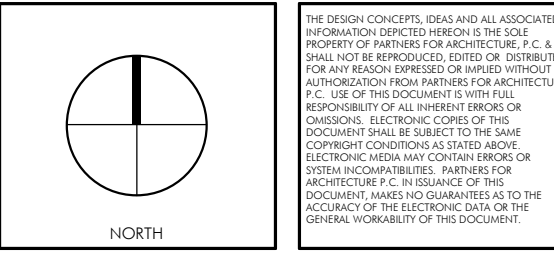
	TYPE	DESCRIPTION
○	C	6" RECESSED LED DOWNLIGHT
▬	D	4' PENDANT LIGHT BACK OF HOUSE PENDANT, LENSED COLUMBIA LCL-4-35-ML-E-U WITH CHC CHAIN HANGER ASSEMBLY UNO (FOR F EM: LCL-4-35-ML-E-U-ELL14 WITH CHC CHAIN HANGER ASSEMBLY UNO)
▬ ▬ ▬	E	EXTERIOR LED RGB COVE LIGHTING STRIP



NOTE: REFER TO MECHANICAL DRAWING

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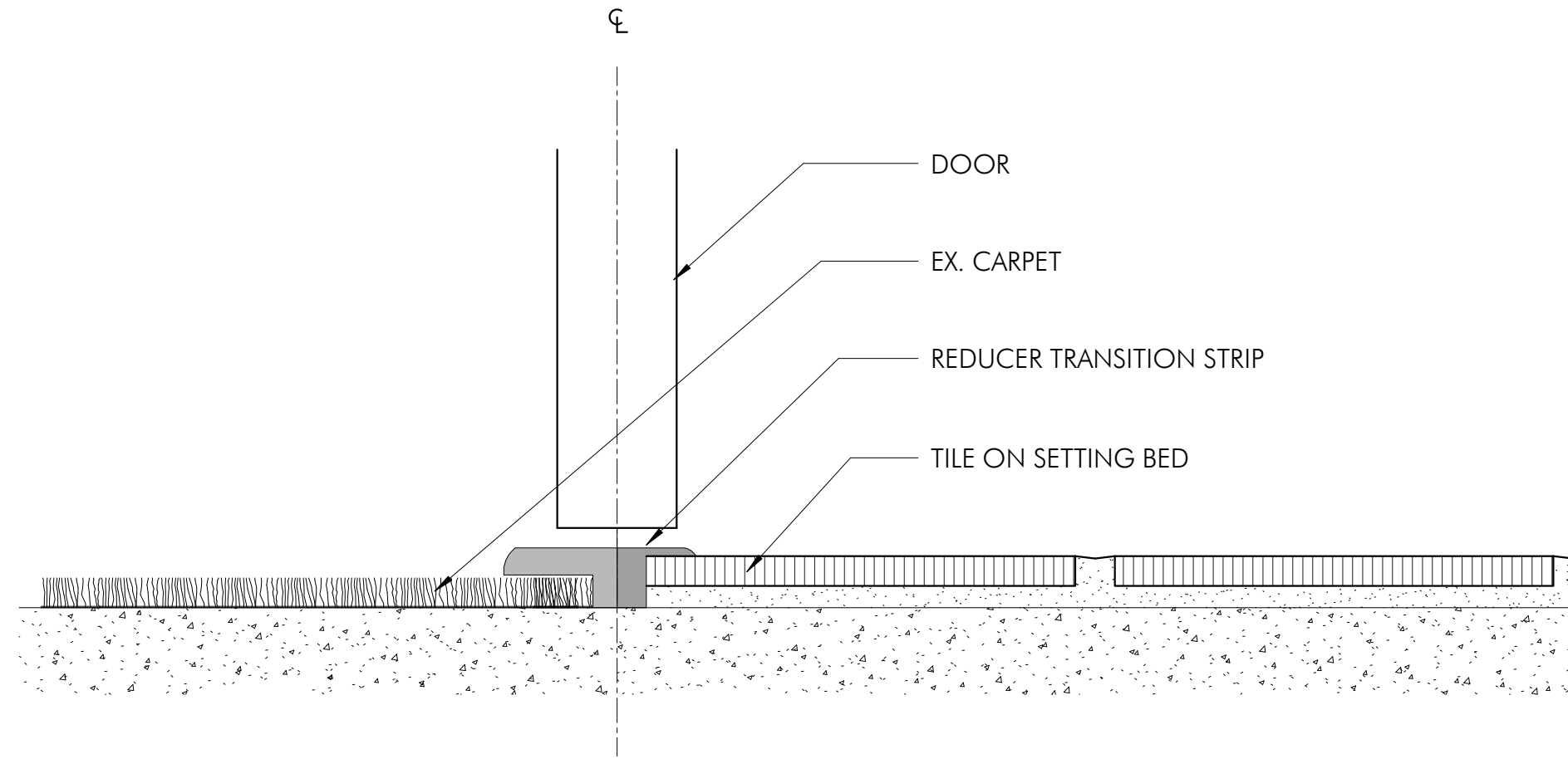
OLD OAKS COUNTRY CLUB

3100 Purchase St, Purchase, NY 10577

REFLECTED CEILING PLAN  
LEGEND & SCHEDULE

SEAL & SIGNATURE	DATE:	09-20-19
	PROJECT NO.:	21-826
	DRAWN BY:	AD
	CHECKED BY:	SVG
	DRAWING NO.:	A110.00

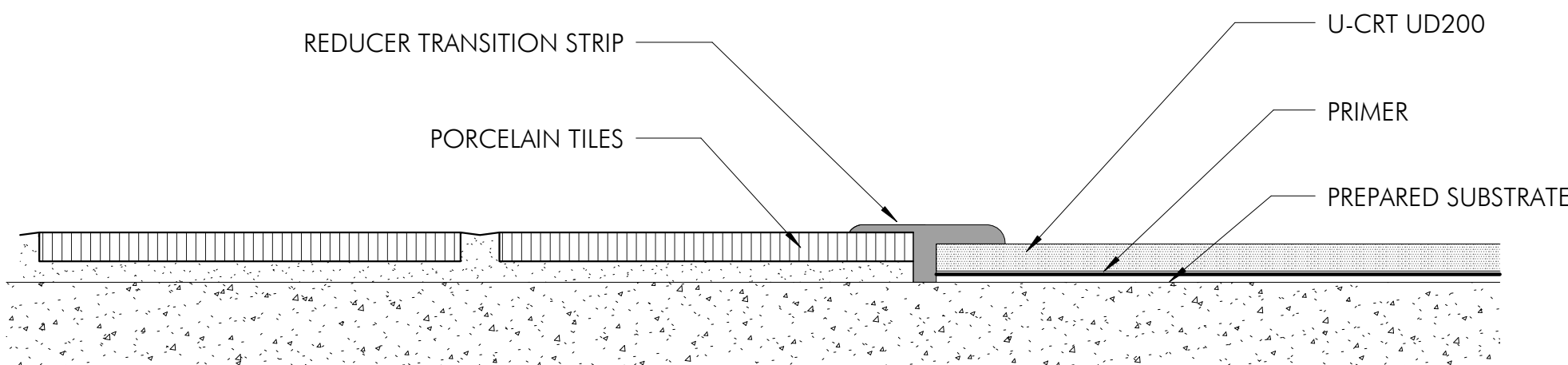
CAD FILE NO.  
21P00201-6169A BASIS



TRANSITION BETWEEN CARPET AND TILE

3 TYPICAL FLOOR FINISH TRANSITION DETAIL 2

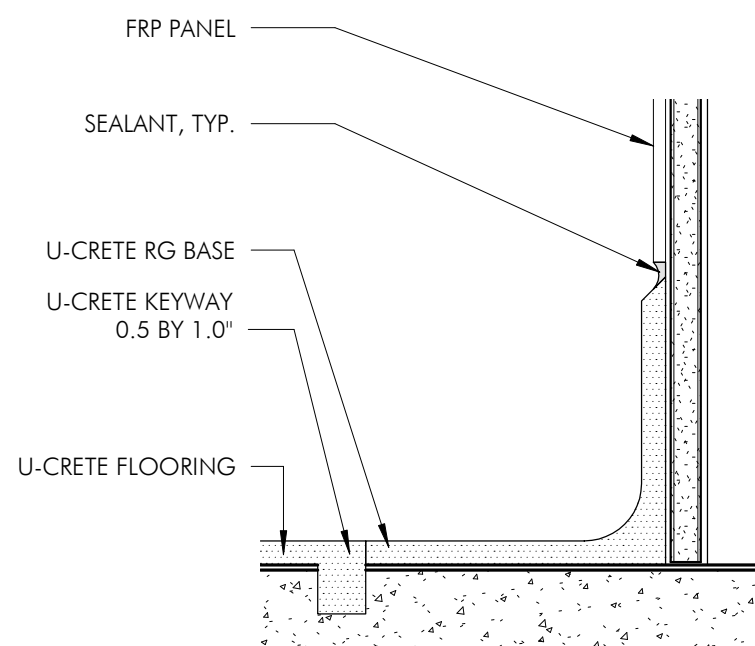
SHEET REF A101.00 SCALE 6" = 1'-0"



TRANSITION BETWEEN U-CRT AND TILE

2 TYPICAL FLOOR FINISH TRANSITION DETAIL 1

SHEET REF A101.00 SCALE 6" = 1'-0"



4 TYPICAL FRP WALL ON U-CRT FLOORING

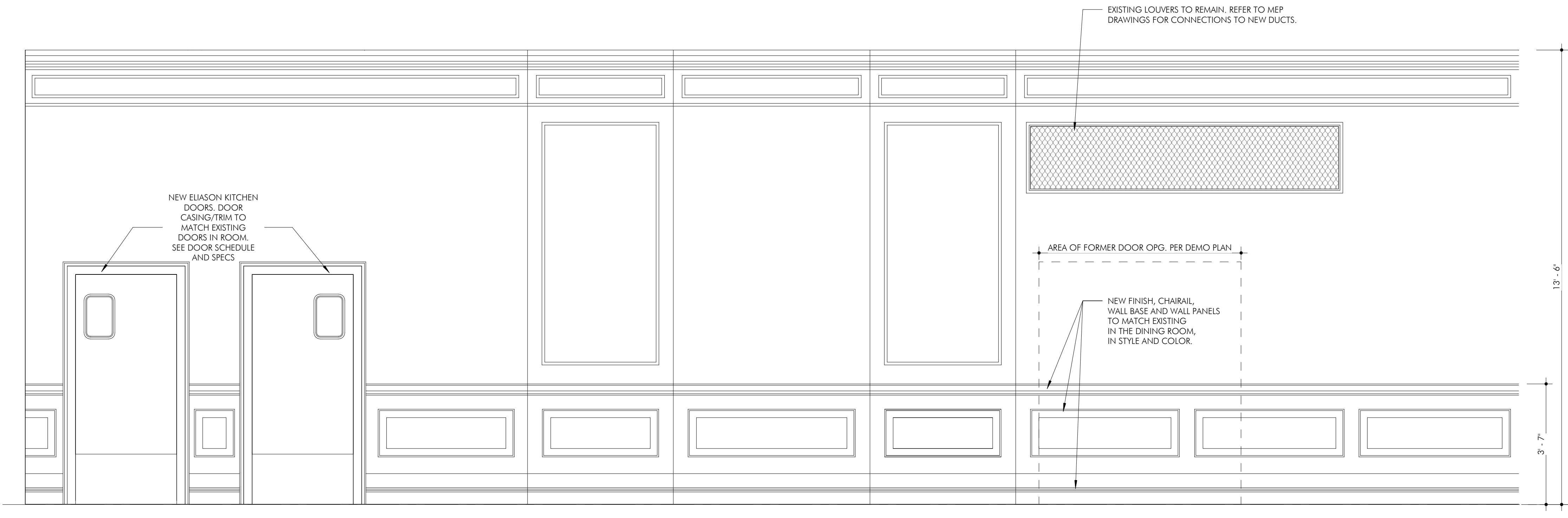
SHEET REF A101.00 SCALE 3" = 1'-0"

FINISH SPECIFICATIONS LEGEND

FLOOR	WALL	WALL BASE	CEILING	COUNTERTOP/CABINETS	GENERAL NOTES
PAV 1 - PORCELAIN FLOOR TILE MFR: MIRAGE TYPE: QUARZITI COLOR: GLACIER QR 01 NAT SIZE: 24"x48" / 24"x48"	PT - FIELD PAINT MFR: BENJAMIN MOORE TYPE: LATEX COLOR: TBD SHEEN: ENAMEL FINISH	U-CRT - HEAVY DUTY POLYURETHANE CONCRETE FLOOR FINISH SYSTEM MFR: MASTER BUILDERS SOLUTIONS TYPE: UD200 COLOR: RED	ACT-1 ACOUSTICAL CEILING TILES MFR: ARMSTRONG COLLECTION: DUNE TILES SIZE: 2' x 2' COLOR: WHITE GRID: 9/16" INTERLUDE DIMENSIONAL TEE GRID FIRE PERFORMANCE: CLASS A	ST - STONE COUNTERTOP MFR: TBD TYPE: TBD COLOR: TBD	1. FINISH MANUFACTURERS, PATTERNS, AND COLORS INDICATED ARE INTENDED TO ESTABLISH MINIMUM ACCEPTABLE DESIGN PARAMETERS. ACCEPTABLE ALTERNATE MANUFACTURERS ARE LISTED IN THE SPECIFICATIONS AND MAY BE ACCEPTED OR REJECTED BY THE ARCHITECT ON THE BASIS OF AESTHETIC CRITERIA ALONE.  2. ALL FLOORING MATERIALS TO MEET AT CENTER OF DOORWAY, U.N.O.  3. ALL FLOORING MATERIALS CONTINUE UNDER CASEWORK TO TOE KICK OR UNDER OPEN COUNTER TO WALL.  4. PAINT ALL WALLS FIELD COLOR UNLESS NOTED OTHERWISE  5. PAINT ALL DOOR FRAMES, MFR: SHERWIN WILLIAMS, COLOR: TO MATCH WALLS, FINISH: SEMI-GLOSS.  6. ALL EXPOSED STRUCTURAL BRACING TO BE PAINTED.MFR: SHERWIN WILLIAMS, COLOR: TO MATCH WALLS, FINISH: SEMI-GLOSS
PAV 2 - PORCELAIN FLOOR TILE MFR: MIRAGE TYPE: QUARZITI COLOR: WATERFALL QR 03 NAT SIZE: 24"x24" / 24"x48"	FRP - FIBERGLASS REINFORCED WALL PANEL MFR: TRANE TYPE: LINEN WHITE FIRE PERFORMANCE: CLASS A SIZE: GO UP TO 6' AFF	TLB - PORCELAIN TILE BASE MFR: PORCELANOSA COLOR: BALTIMORE BEIGE SIZE: 24"x24" RECOMMENDED JOINT WIDTH: 1/16"	ACT-2 ACOUSTICAL CEILING TILES MFR: ARMSTRONG COLLECTION: DUNE TILES SIZE: 2' x 4' COLOR: WHITE GRID: 9/16" INTERLUDE DIMENSIONAL TEE GRID FIRE PERFORMANCE: CLASS A	CORNER GUARD	
PAV 3 - STONE PAVER MFR: TBD TYPE: GRANITE COLOR: CHATHAM BRUSHED	TL2 - PORCELAIN WALL TILE MFR: PORCELANOSA TYPE: TBD COLOR: TBD SIZE: TBD			CG - STAINLESS STEEL CORNER GUARD MFR: TBD TYPE: 16 GA 302 FINISH: STAINLESS STEEL SIZE: 4' x4"x48"	
TL1 - PORCELAIN FLOOR TILE MFR: PORCELANOSA COLOR: BALTIMORE BEIGE SIZE: 24"x24" RECOMMENDED JOINT WIDTH: 1/16"	TL3 - PORCELAIN WALL TILE MFR: PORCELANOSA COLOR: BOTTEGA WHITE SIZE: 13"x24"				
U-CRT - HEAVY DUTY POLYURETHANE CONCRETE FLOOR FINISH SYSTEM MFR: MASTER BUILDERS SOLUTIONS TYPE: UD200 COLOR: RED	TL4 - PORCELAIN WALL TILE MFR: PORCELANOSA COLOR: EMERALD SIZE: 11"x12"				
	AWP - SURFACE MOUNTED ACOUSTIC PANELS MFR: ACOUSTICAL SURFACES, INC. TYPE: RIGID POROUS ARPRO COLOR: CHARCOAL SIZE: 2'				

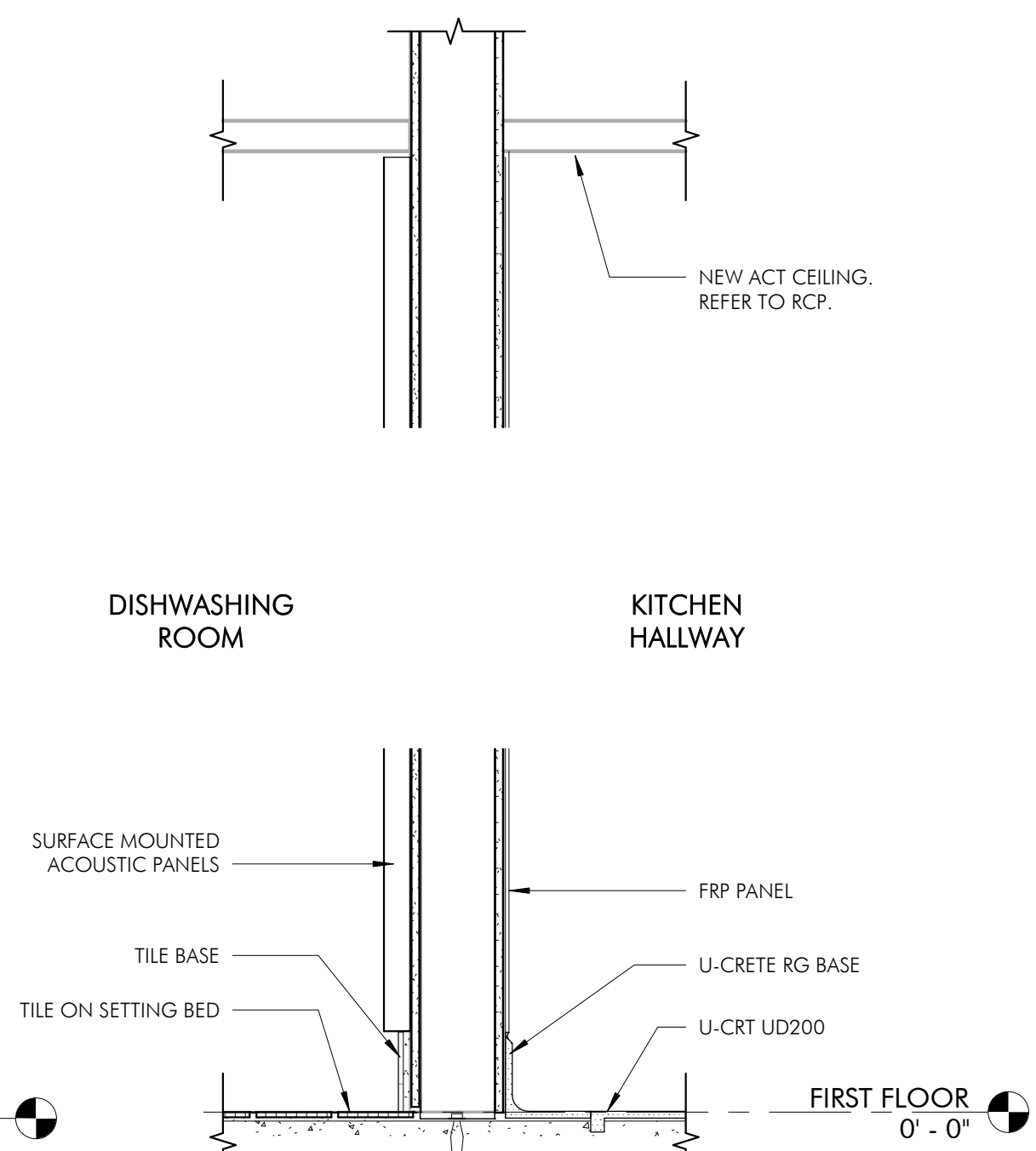
FINISH SCHEDULE2

LEVEL	NUMBER	NAME	AREA	FLOOR	BASE	WALL	CEILING
FIRST FLOOR							
FIRST FLOOR	01	NEW KITCHEN	2475 SF	U-CRT	U-CRT	FRP, PT	ACT-2
FIRST FLOOR	02	EXISTING STORAGE	530 SF	EXISTING	EXISTING	EXISTING	EXISTING
FIRST FLOOR	18	STAIR	69 SF	PAV 2	EXISTING	EXISTING	EXISTING
FIRST FLOOR	122	PANTRY	113 SF	U-CRT	U-CRT	FRP, PT	ACT-2
FIRST FLOOR	123	REFRIGERATED CUTTING ROOM	81 SF	AS PER MFR	AS PER MFR	AS PER MFR	AS PER MFR
FIRST FLOOR	124	WALK-IN REFRIGERATOR	177 SF	AS PER MFR	AS PER MFR	AS PER MFR	AS PER MFR
FIRST FLOOR	125	WALK-IN COOLER	58 SF	AS PER MFR	AS PER MFR	AS PER MFR	AS PER MFR
FIRST FLOOR	126	WALK-IN FREEZER	53 SF	AS PER MFR	AS PER MFR	AS PER MFR	AS PER MFR
FIRST FLOOR	127	CHEF'S OFFICE	89 SF	TL1	TLB	PAINT	ACT-1
FIRST FLOOR	128	POT SINK ROOM	149 SF	U-CRT	U-CRT	FRP, PT	ACT-2
FIRST FLOOR	129	DISHWASHING	297 SF	U-CRT	U-CRT	FRP, PT	ACT-2
FIRST FLOOR	133	J.C.	16 SF	TL1	U-CRT	FRP, PT	ACT-2
FIRST FLOOR	134	TERRACE	2549 SF	PAV 1,PAV 2, PAV 3	EXISTING	EXISTING	EXISTING
FIRST FLOOR	136	BAR	225 SF	PAV 1	PAV 1	TL 3, TL 4	GWB, PT
MEZZANINE							
MEZZANINE	131	STORAGE	478 SF	EXISTING	EXISTING	EXISTING	EXISTING



1 NEW KITCHEN ENTRY INTERIOR ELEVATION

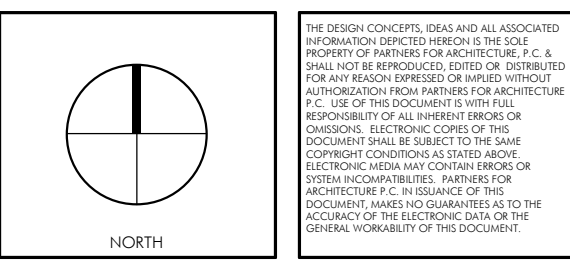
SHEET REF A101.00 SCALE 1/2" = 1'-0"



5 ACOUSTICAL PANEL SECTION DETAIL

SHEET REF A101.00 SCALE 1" = 1'-0"

ISS/REV	DATE	OWNER	ISSUED TO	DESCRIPTION
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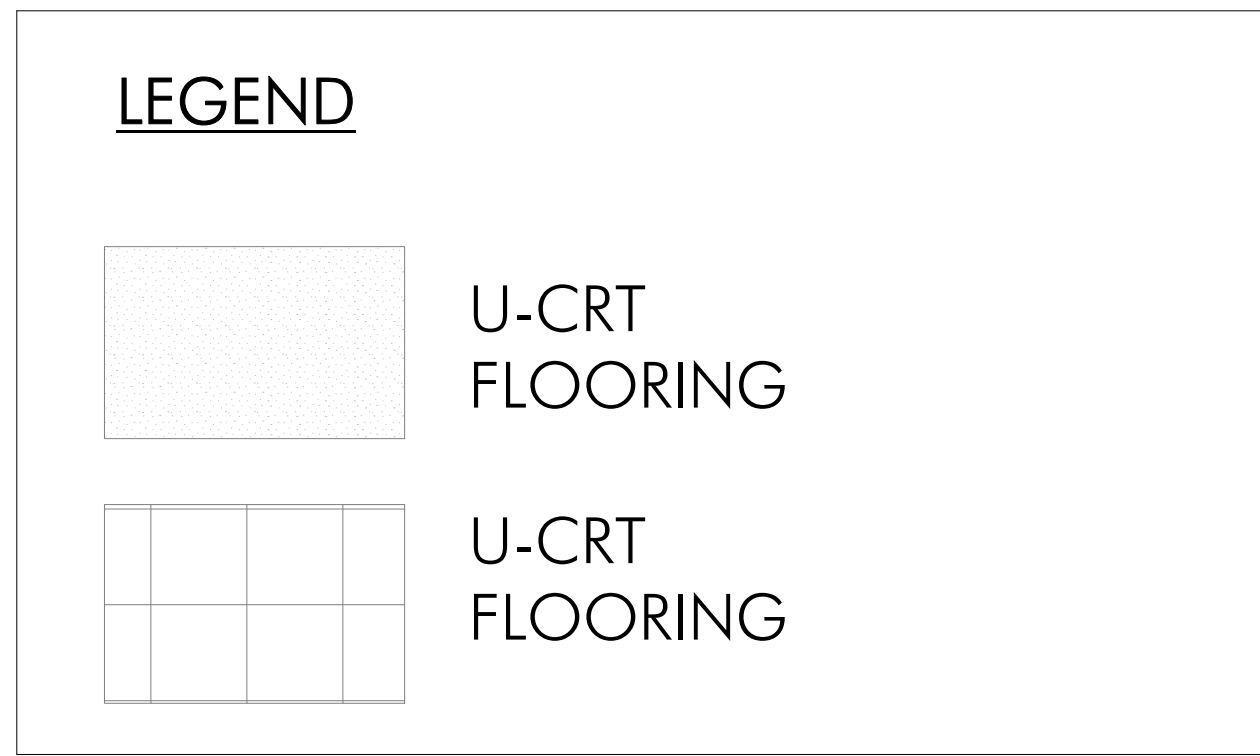
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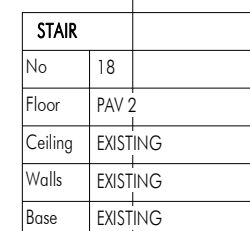
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PAV 1

PAV 2

PAV 3

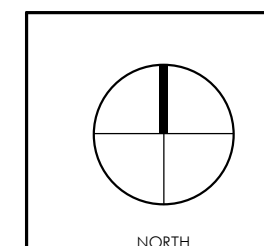
EXIST. PLANTED AREAS; N.I.C.



A108.00	3/4" = 1'-0"
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2	BAR ELEVATION
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A108.00	3/4" = 1'-0"
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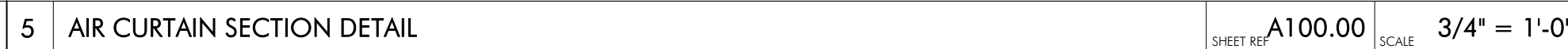
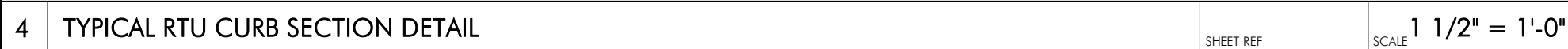
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CHECKED BY:
DRAWING NO.

DRAWING NO:  
A122.00

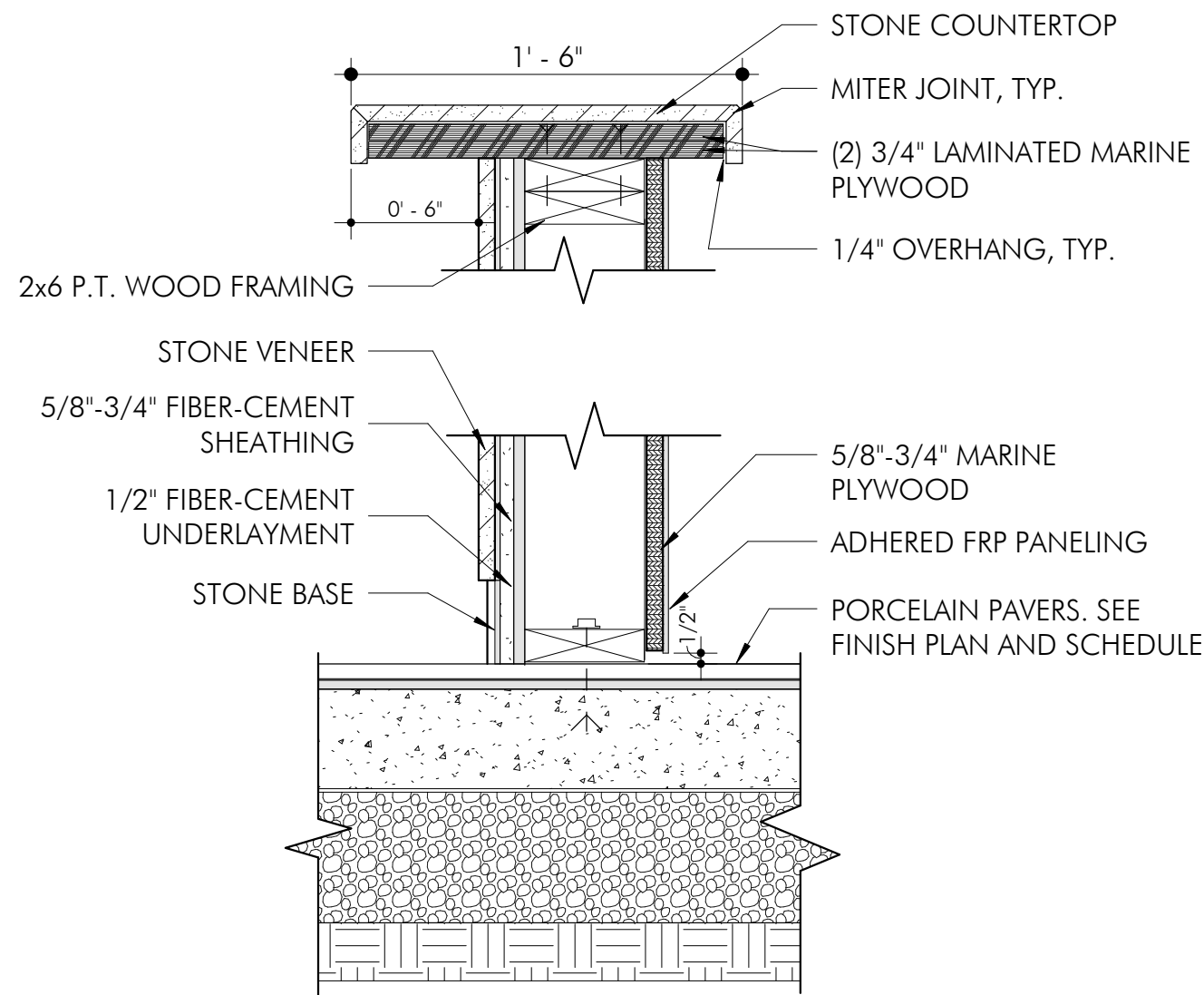
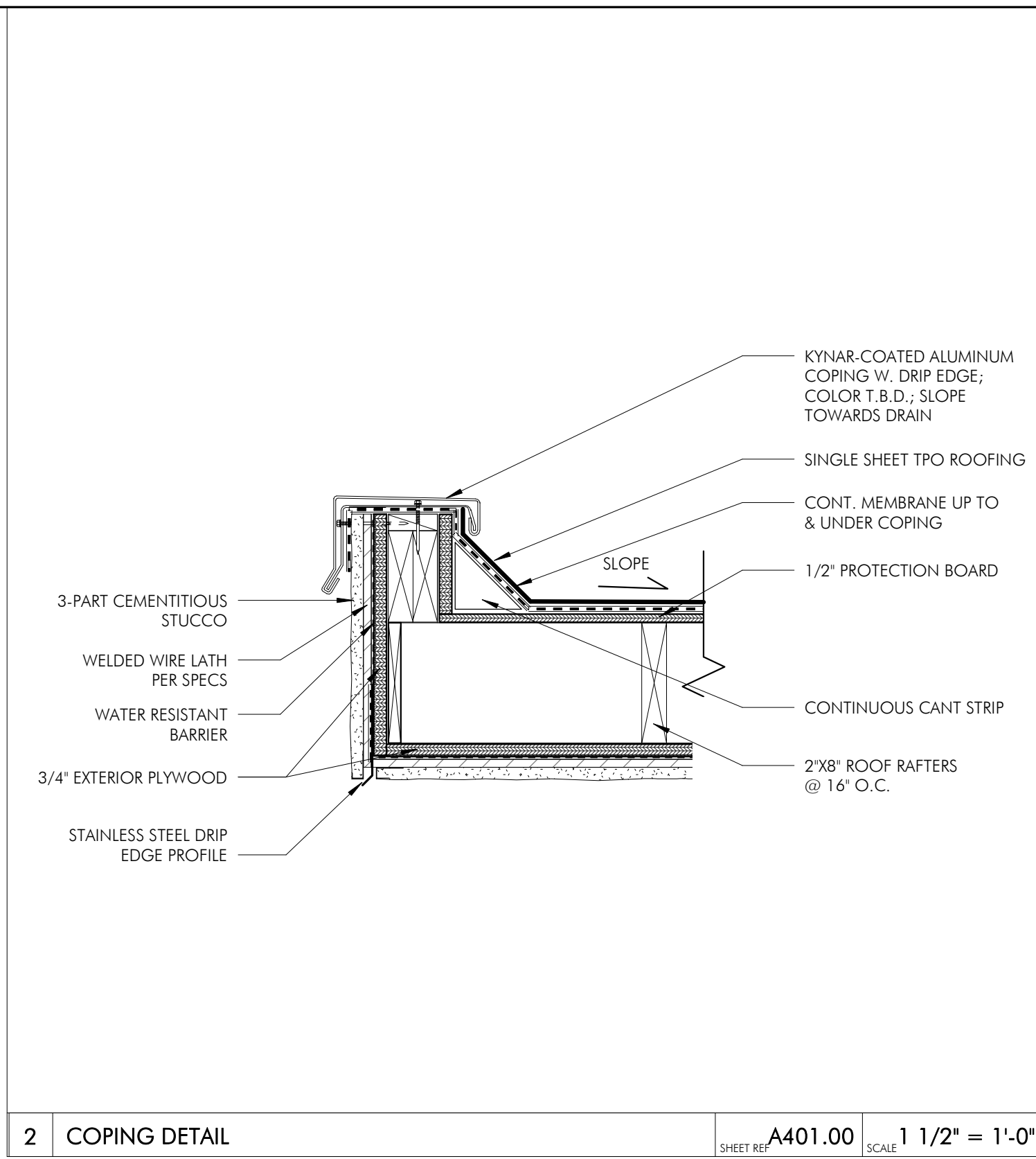
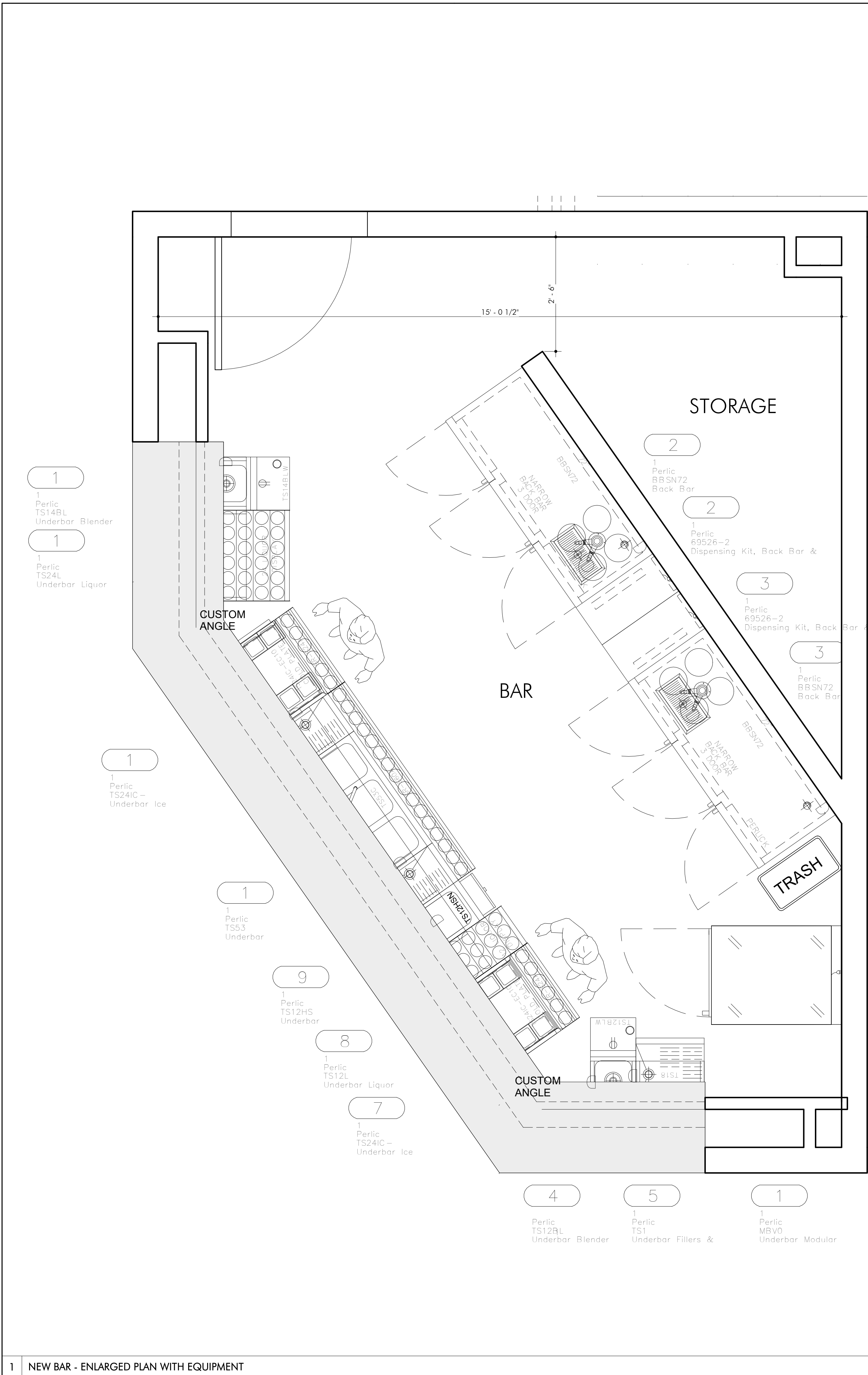
CAD FILE NO:  
J:\Prg\2016\694 BASIS











2 COPING DETAIL SHEET REF: A401.00 SCALE: 1 1/2" = 1'-0" 3 BAR SECTION DETAIL SHEET REF: A401.00 SCALE: 1 1/2" = 1'-0"

EQUIPMENT				
Ite N	Qt	Manufactu	Model	Equipme Remar
2	1	Perlic	BBSN72	
2	1	Perlic	69526-2	
3	1	Perlic	BBSN72	
3	1	Perlic	69526-2	
4	1	Perlic	TS12BL	
5	1	Perlic	TS1	
7	1	Perlic	TS24IC -	
8	1	Perlic	TS12L	
9	1	Perlic	TS12HS	
1	1	Perlic	TS53	
1	1	Perlic	TS24IC -	
1	1	Perlic	TS24L	
1	1	Perlic	TS14BL	
1	1	Perlic	MBV0	
1	1	Victo	VERSA-1D-	

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BAR EQUIPMENT LAYOUT, SCHEDULE AND BAR DETAILS

SEAL & SIGNATURE

DATE: 09-20-19

PROJECT NO.: 21-826

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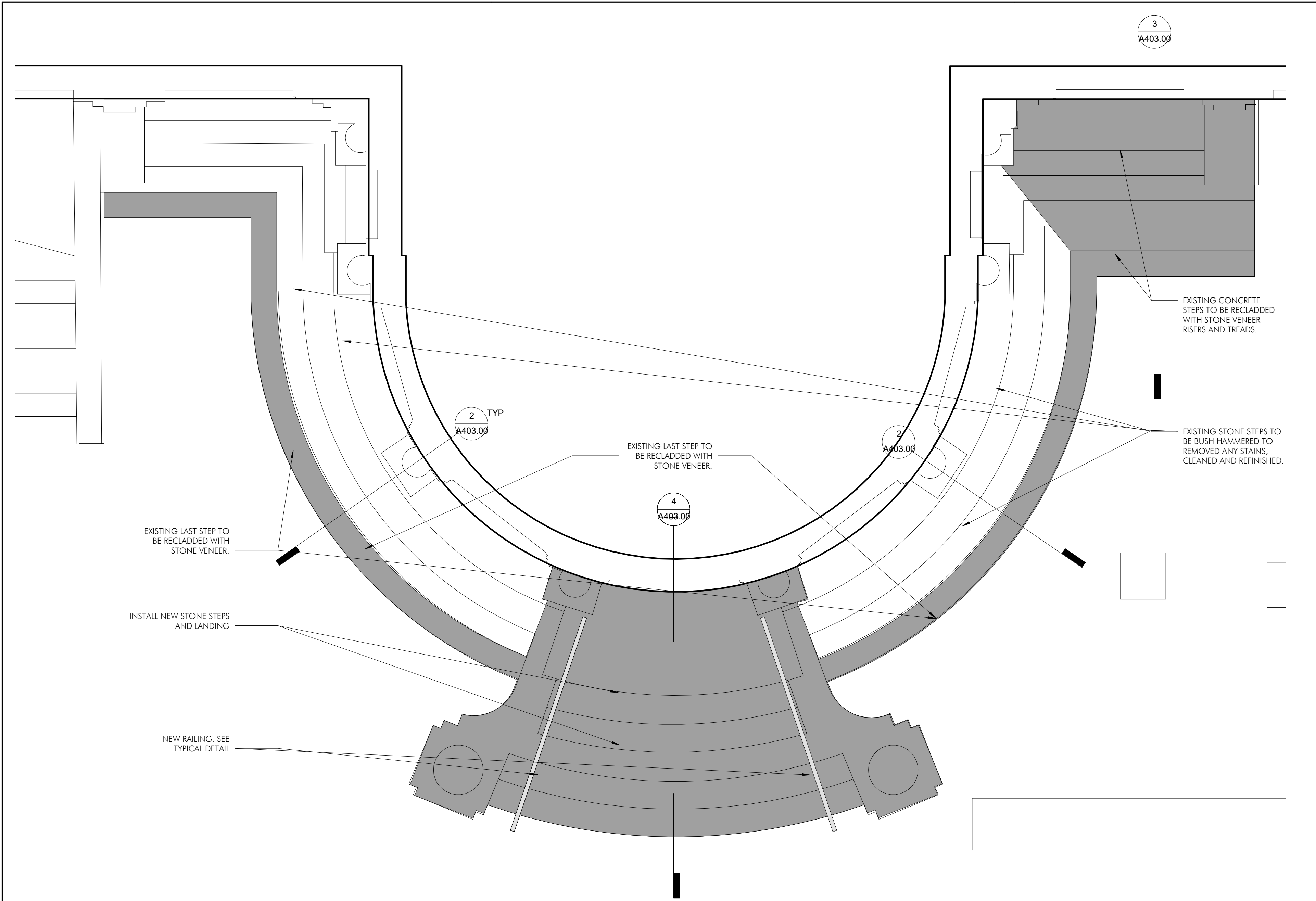
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DRAWING NO.: A402.00

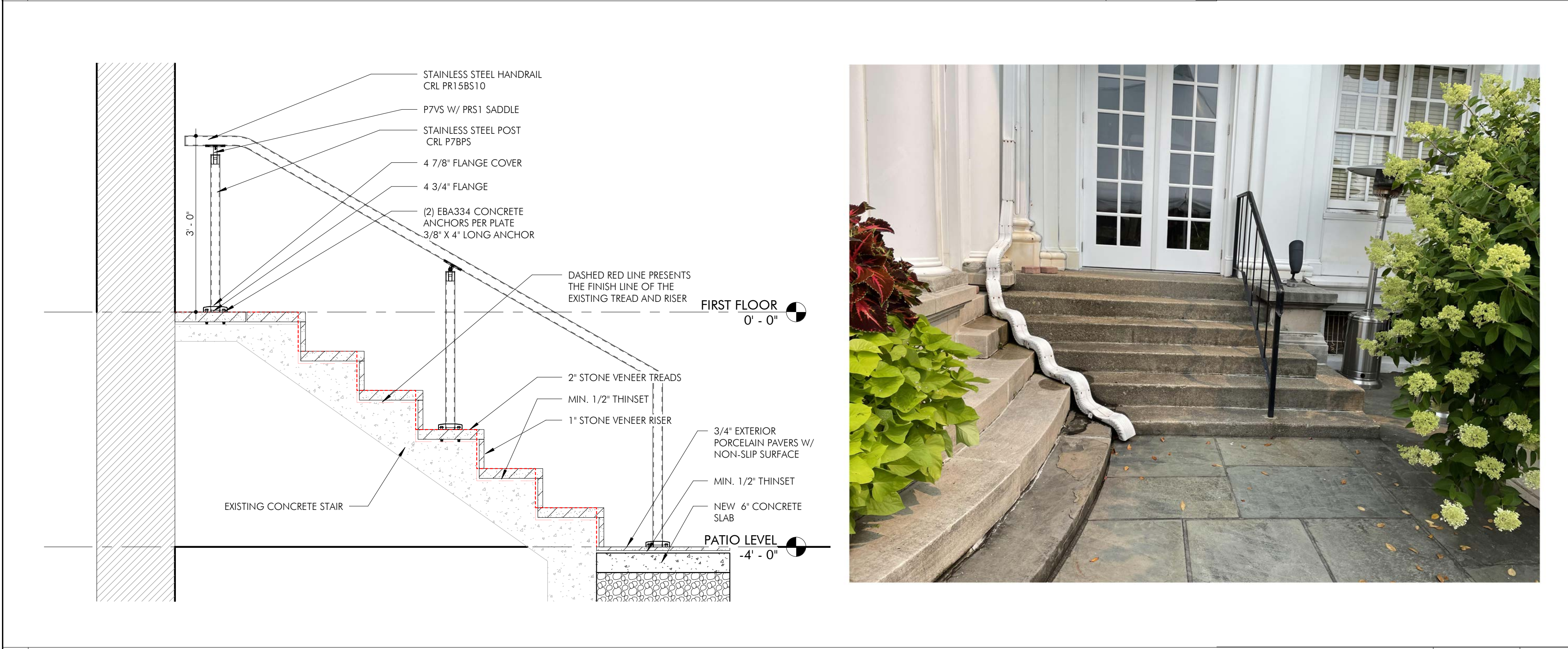
CAD FILE NO.

1 NEW BAR - ENLARGED PLAN WITH EQUIPMENT SCALE: 3/4" = 1'-0"

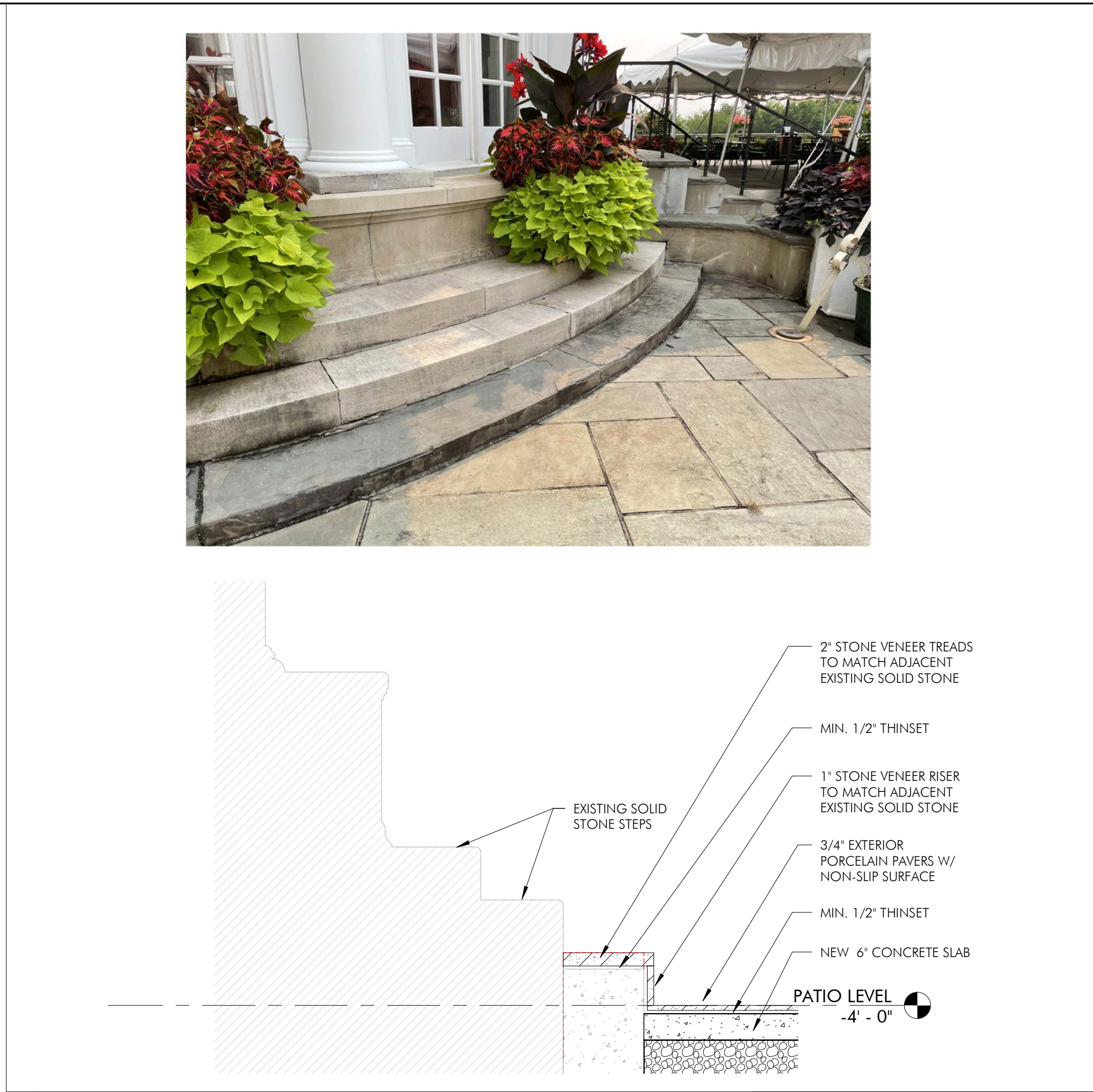




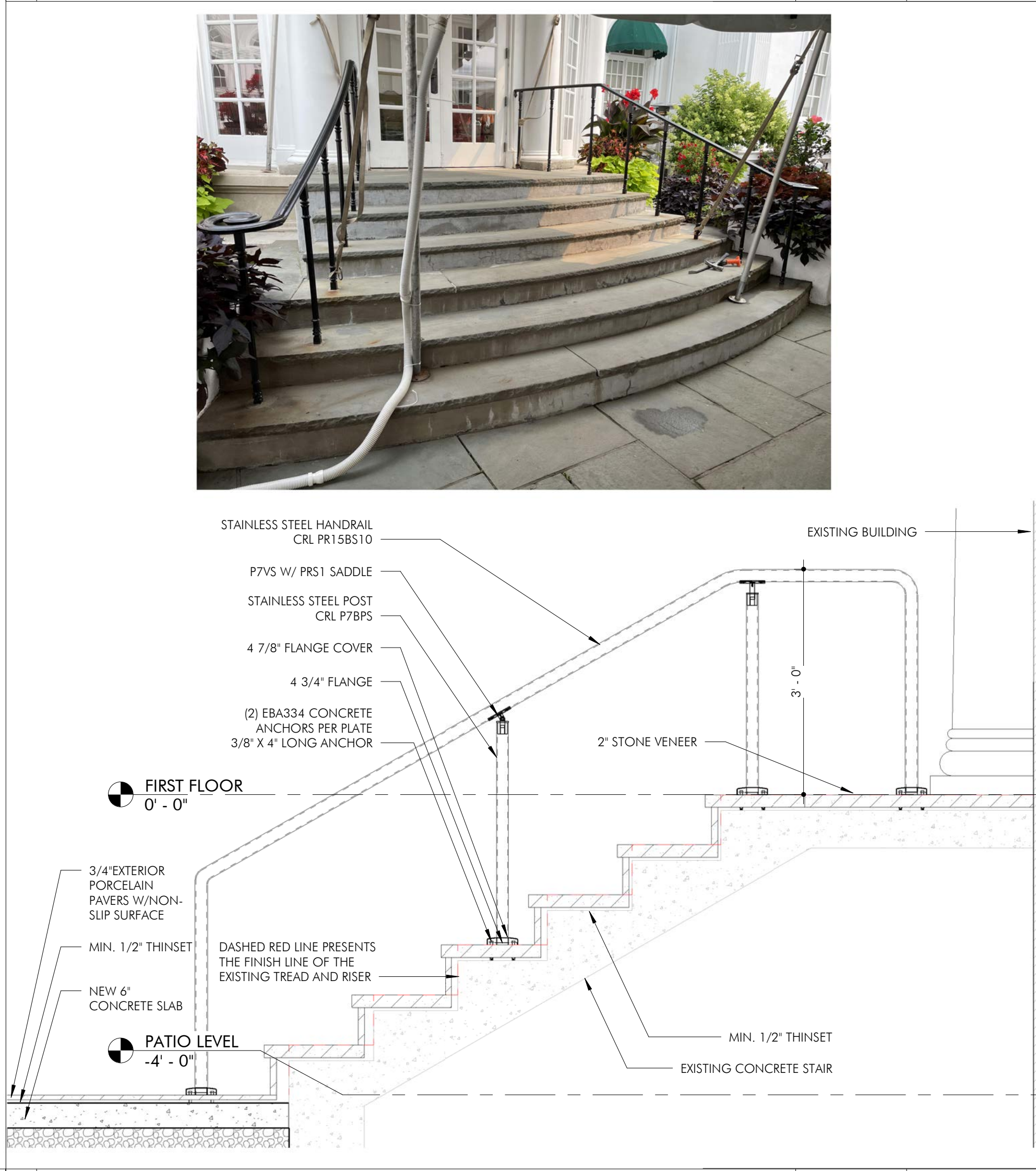
1 ROUND STAIRS - ENLARGED PLAN



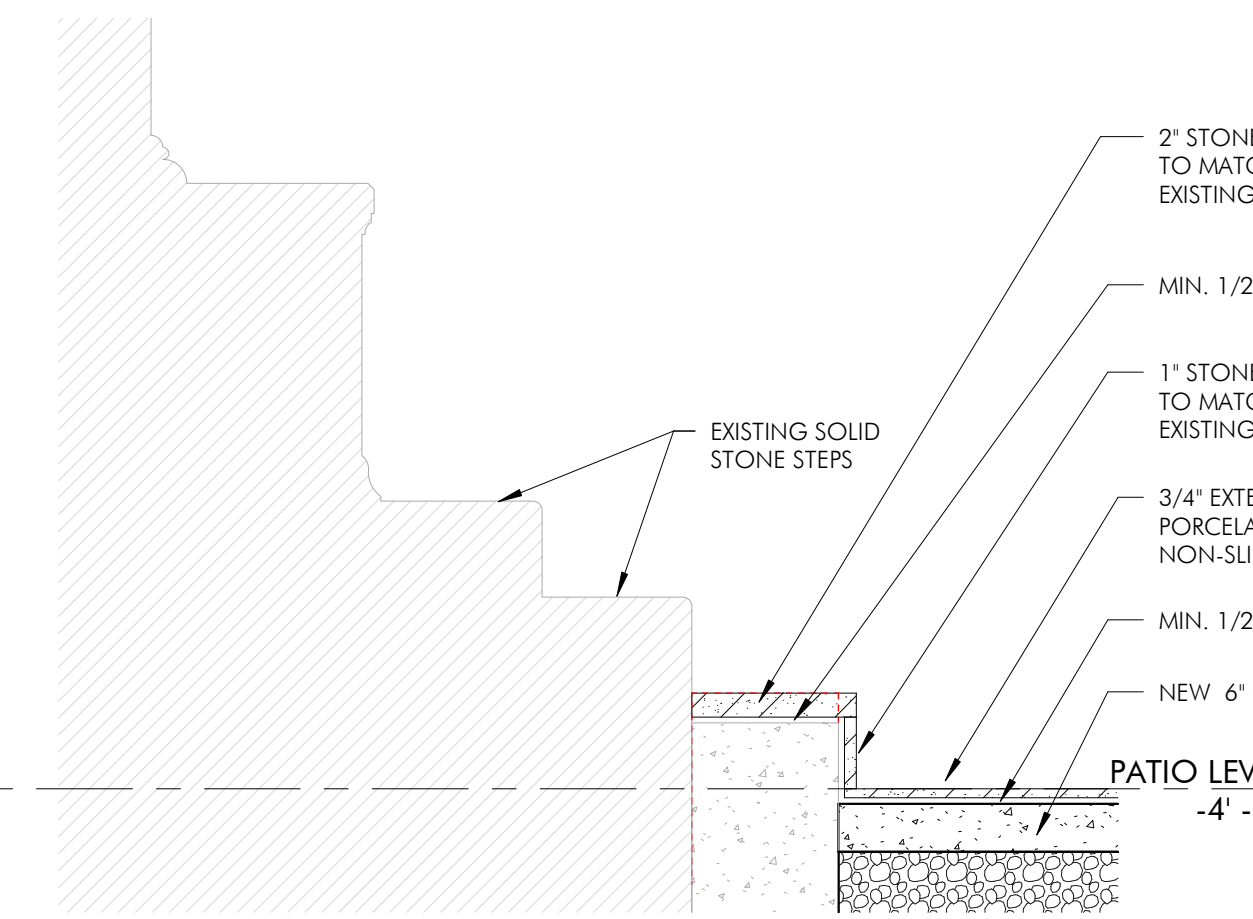
3 FLANKING STAIRS - SECTION DETAIL



2 ROUND STEPS SECTION DETAIL



4 EXTERIOR ROUND STAIR RAILING ELEVATION



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ENLARGED PLANS AND DETAILS

SEAL & SIGNATURE

DATE: 09-20-19

PROJECT NO.: 21-826

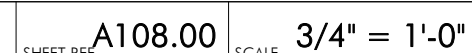
DRAWN BY: Author

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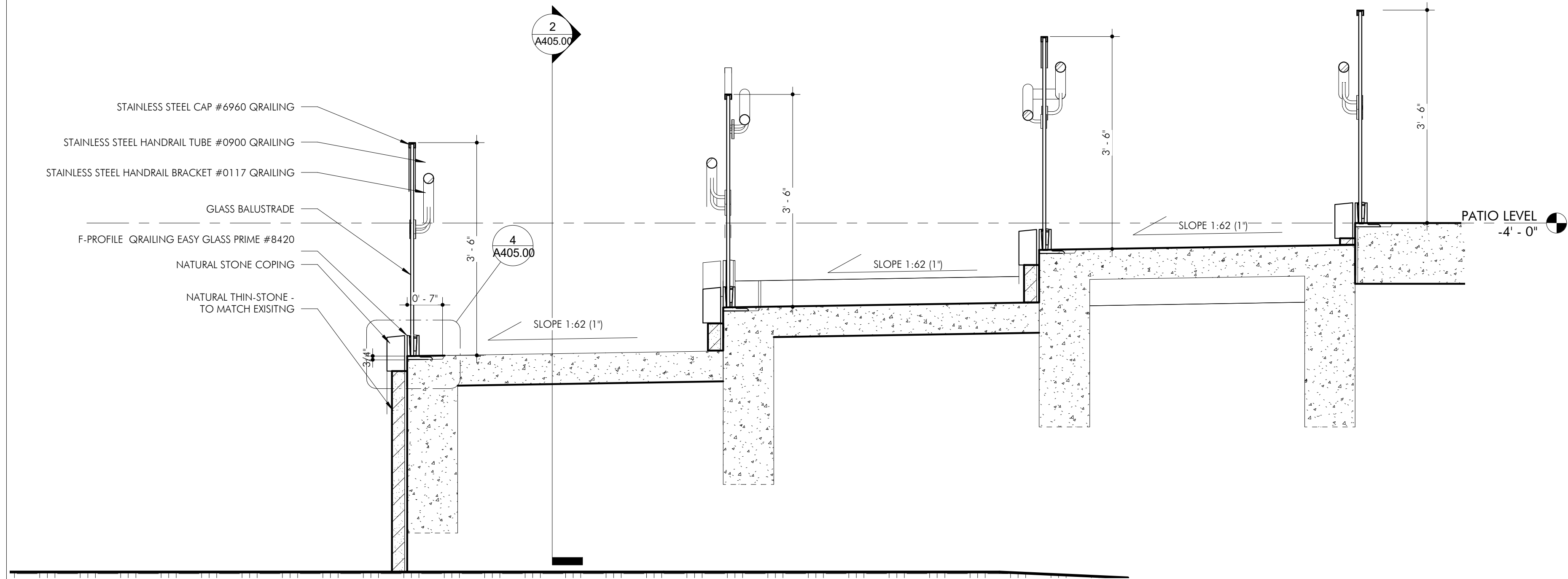
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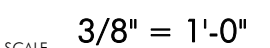
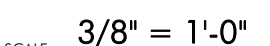








A405.00 3/4" = 1'-0"



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