CONSTRUCTION DOCUMENTS MARCH 15, 2021

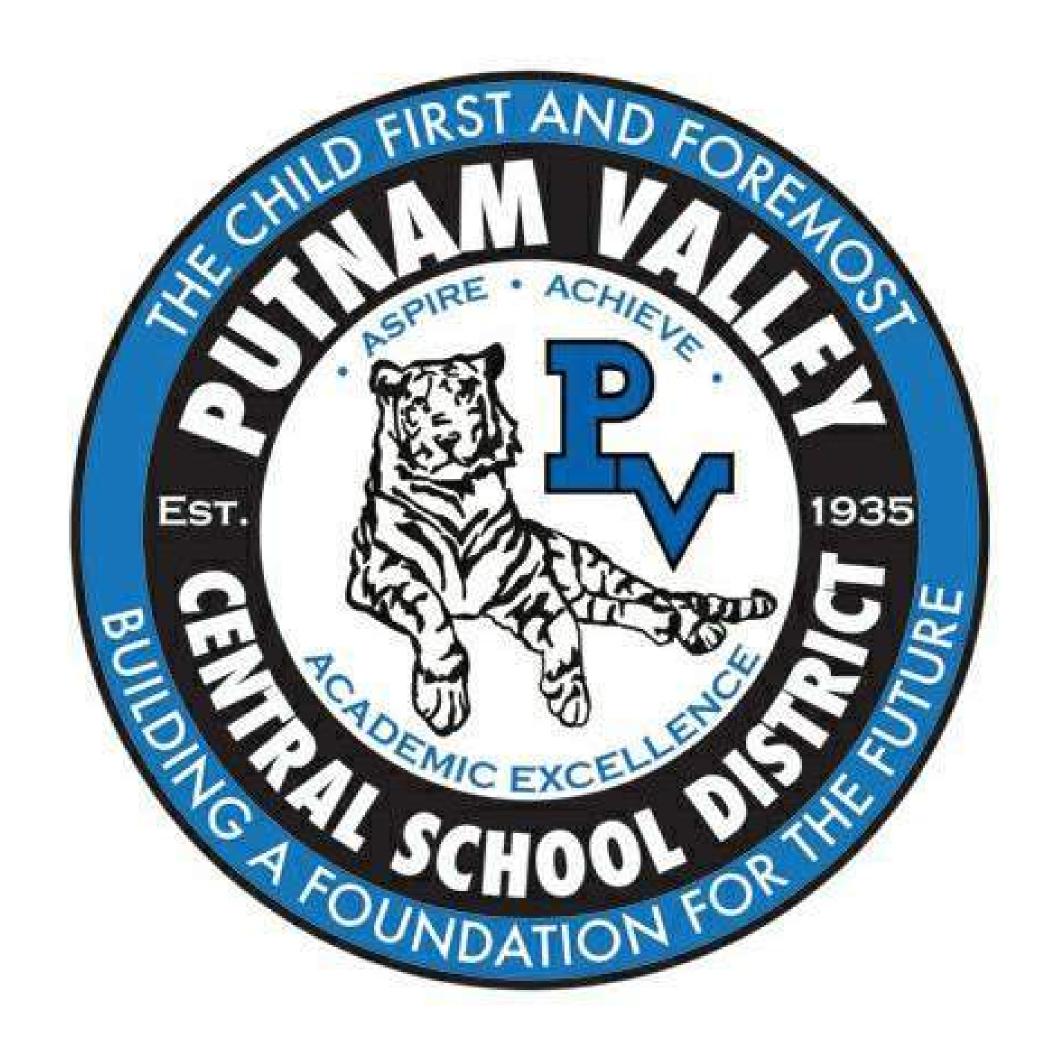
OWNER Putnam Valley CSD

Putnam Valley Middle School 142 Peekskill Hollow Road Putnam Valley, NY 10579 District Phone: 845.528.8143

2018 CAPITAL PROJECTS - PHASE 2

PUTNAM VALLEY MIDDLE SCHOOL TOILET ROOM ALTERATIONS

142 PEEKSKILL HOLLOW RD, PUTNAM VALLEY, NY 10579



LIST OF DRAWINGS

GENERAL INFO	RMATION	<u>PLUMBING</u>	
G001 CC-1	GENERAL INFORMATION CODE COMPLIANCE INFORMATION	P101 P201	FIRST AND SECOND FLOOR REMOVAL PLANS FIRST AND SECOND FLOOR PLANS
HAZARDOUS MA	ATERIALS_	<u>MECHANICAL</u>	
H-001.00 H-002.00	ASBESTOS ABATEMENT GENERAL NOTES ASBESTOS ABATEMENT 1ST AND 2ND FLOOR PLAN	H101 H201 H301	FIRST AND SECOND FLOOR REMOVAL PLANS FIRST AND SECOND FLOOR PLANS SCHEDULES AND DETAILS
ARCHITECTURA	<u>\L</u>		
A101	DEMOLITION PLANS	<u>ELECTRICAL</u>	
A201	FLOOR PLANS	E001	LEGEND, NOTES & ABBREVIATIONS
A401	INT. FINISHES, DOOR SCHEDULE, SIGNAGE & ROOF DETLS.	E101	FIRST AND SECOND FLOOR REMOVAL PLANS
A402	INTERIOR ELEVATIONS	E201	FIRST AND SECOND FLOOR LIGHTING PLANS
A601	REFLECTED CEILING PLANS	E301	FIRST AND SECOND FLOOR POWER PLANS
		E501	POWER AND FA RISER
		E601	ELECTRICAL SCHEDULES

Grand total: 20

ARCHITECT

KG+D Architects

Kaeyer Garment & Davidson Architects, PC 285 Main Street Mt. Kisco, NY 10549 phone: 914.666.5900 fax: 914.666.0051

MECHANICAL ENGINEER

Barile Gallagher
Barile Gallagher & Associates
Consulting Engineers 39 Marble Ave, Pleasantville, NY 10570 phone: 914.328.6060 fax: 914.328.9304

ABATEMENT CONSULTANTS WSP

Environmental Consultant 96 Morton Street, 8th Floor New York, NY 10014 fax: 914.592.1734

KG+D Project No. 2020-1051

NY SED Project No. 48-05-03-04-0-004-016

JOBSITE RULES SIGN DETAIL

ATTENTION!

AUTHORIZED PERSONNEL ONLY

SAFETY STARTS HERE

JOBSITE REQUIREMENTS: ALL VISITORS MUST CHECK IN AT THE PROJECT OFFICE

ALL ACCIDENTS MUST BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY MATERIAL SAFETY DATA SHEETS ARE REQUIRED FOR ALL MATERIALS BROUGHT ONTO THE JOBSITE.

POSSESSING AND OR WORKING UNDER THE INFLUENCE OF DRUGS AND OR ALCOHOL IS PROHIBITED NO FIREARMS OR WEAPONS OF ANY KIND ARE PERMITTED ON SITE. HARD HATS MUST BE WORN AT ALL TIMES PROTECTIVE EYE WEAR IS REQUIRED. NO SMOKING

NO LOITERING ALL TRADE PERSONS MUST WEAR SHIRTS WITH SLEEVES, LONG PANTS, AND PROPER FOOTWEAR

ANY PERSONS FOUND IN VIOLATION OF THESE REQUIREMENTS WILL BE REMOVED FROM THE JOBSITE AT THE DISCRETION OF THE CONSTRUCTION MANAGER.

GRAPHIC LEGEND EXISTING BUILDING (NO MAJOR WORK) AREA OF WORK TEMPORARY CONSTRUCTION BARRIER (LFMF + GWB)

(WOOD NOT PERMITTED)

CONSTRUCTION SCHEDULE:

START OF CONSTRUCTION - JUNE 2021 **END OF CONSTRUCTION - AUGUST 2021**

NOTE: NO STUDENTS OR FACULTY WILL BE IN THE BUILDING DURING THE CONSTRUCTION TIME FRAME LISTED ABOVE

ALL TEMPORARY CONSTRUCTION MATERIALS MUST BE NON-COMBUSTIBLE

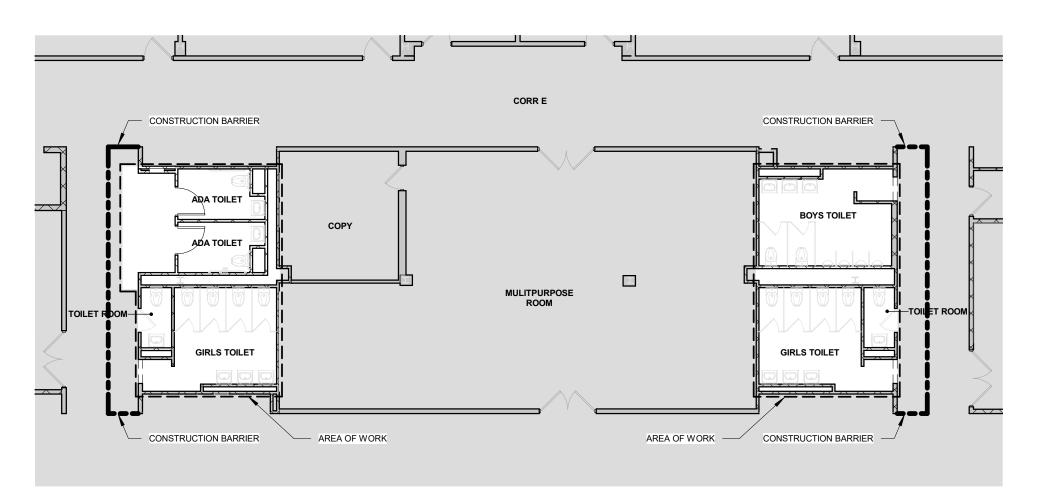
ALL CONSTRUCTION MUST COMPLY WITH PART 155.5

ALL TEMPORARY EXITING & SEPARATION OF WORK ZONES MUST BE IN-PLACE PRIOR TO COMMENCEMENT OF WORK

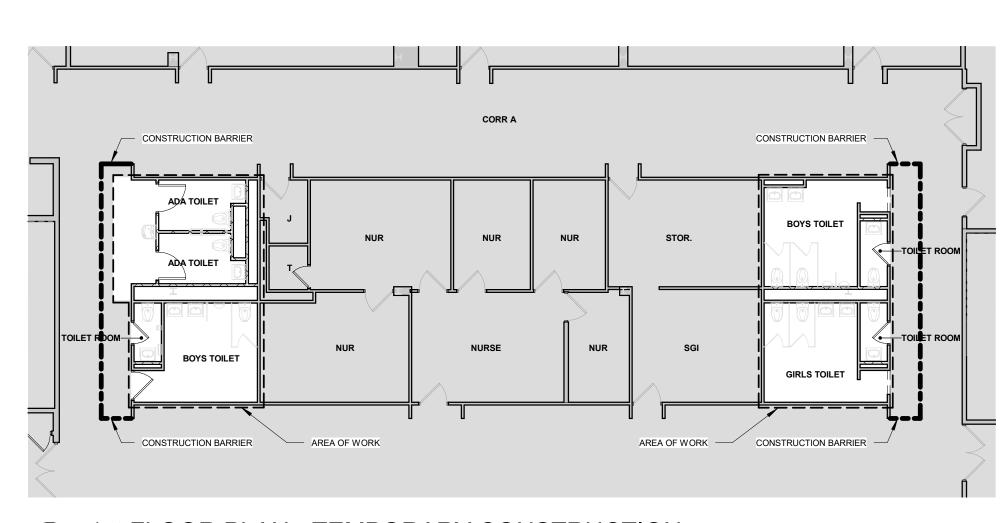
FIRE ACCESS ROAD NOTES: . EXISTING EMERGENCY VEHICLE ACCESS

ROAD TO BE MAINTAINED FREE & CLEAR THROUGHOUT ENTIRE PROJECT. 2. IF EMERGENCY VEHICLE ACCESS ROAD NEEDS TO BE BLOCKED, AN EQUAL OR GREATER WIDTH AND LENGTH OF TEMPORARY FIRE ACCESS ROAD MUST BE

PROVIDED. 3. MAINTAIN FULL AND SAFE 24/7 EMERGENCY VEHICLE ACCESS TO THE ENTIRE PERIMETER OF BUILDING DURING ALL PHASES OF CONSTRUCTION.



2nd FLOOR PLAN - TEMPORARY CONSTRUCTION



1st FLOOR PLAN - TEMPORARY CONSTRUCTION

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	GALV	GALVANIZED	QT	QUARRY TILE
ACM	ASBESTOS CONTAINING MATERIAL	GFB	GROUND FACE BLOCK	QTB	QUARRY TILE BASE
ACPL	ACOUSTIC PANEL	GFRG	GLASS FIBER REINFORCED GYPSUM	QTY	QUANTITY
ACT	ACOUSTIC CEILING TILE	GL	GLASS		
ADJ	ADJUSTABLE	GOG	GOGGLE	RCP	REFLECTED CEILING PLAN
AC	AIR CONDITIONING	GWB	GYPSUM WALLBOARD	REFL	REFLECTED
AESS	ARCHITECTURAL EXPOSED STRUCTURAL STEEL			REQD	REQUIRED
AHAP	AS HIGH AS POSSIBLE	Н	HEIGHT AFF	RB	RUBBER BASE
ALUM	ALUMINUM	HDW	HARDWARE	RTN	RETURN
AMP	ACRYLIC MODIFIED POLYESTER	HDWD	HARDWOOD	RA DEV	RETURN AIR
APPROX	APPROXIMATE	HD HDR	HEAD HEADER	REV RFI	REVISED/REVISION REQUEST FOR INFORMATION
BEPO	BROADCAST EPOXY	HVAC	HEATING, VENTILATING, AIR CONDITIONING	RFI RO	ROUGH OPENING
BTW	BETWEEN	HR	HOUR	RT	RUBBER TREATD/TILE
BLKG	BLOCKING	HT	HEIGHT	RTB	RUBBER TREAD BASE
BOT	BOTTOM	HM	HOLLOW METAL	RTT	RESILIENT TERRAZZO TILE
BLDG	BUILDING	HMFR	HOLLOW METAL FRAME	RW	RESCUE WINDOW
BL	BUILDING LINE	HORIZ	HORIZONTAL		
		HC	HANDICAP	S	SAFETY GLZING/SEE SPEC
CAB	CABINET			SCHED	SCHEDULE/SCHEDULED
СВ	CEMENT BOARD	IF	INSIDE FACE	SECT	SECTION
CI	CAST IRON	IN	INCH/INCHES	SFB	SPLIT FACE BLOCK
CLG	CEILING	INCL	INCLUDE/INCLUSIVE	SH	SHELVING/SHELF/SHELVES
CL	CENTER LINE	INFO	INFORMATION	SIM	SIMILAR
CMU	CONCRETE MASONRY UNIT	INSUL	INSULATION	SL	SLATE
COL	COLUMN	INT	INTERIOR	STC	SOUND TRANSMISSION CLASS
CONC	CONCRETE			SPEC	SPECIFICATION
CONF	CONFERENCE	JC	JANITOR'S CLOSET	SQFT	SQUARE FOOT
CONST	CONSTRUCTION	JT	JOINT	SS	SAND, STAIN, SEAL
CONTR	CONTRACTOR	KDI	KICK DI ATE	STSTL	STAINLESS STEEL
CONT CPT	CONTINUOUS CARPET	KPL KD	KICK PLATE KNOCKDOWN	STL STR	STEEL STRUCTURAL/STRUCTURE
CT	CERAMIC TILE	KO	KNOCKOUT	SUSP	SUSPENDED/SUSPENSION
СТВ	CERAMIC TILE BASE	NO	KNOCKOOT	303F	303F LINDLD/303F LINSION
CID	CEIVAINIO TILE BAGE	LAM	LAMINATED	Т	TOP
DA	DEVICE ARRANGEMENT	LAMGL	LAMINATED GLASS	TB	TACKBOARD
DET	DETAIL	LT	LIGHT	TBD	TO BE DETERMINED
DF	DRINKING FOUNTAIN	LTG	LIGHTING	TERR	TERRAZZO
DIM	DIMENSION	LWC	LIGHT WEIGHT CONCRETE	TFF	TOP FINISHED FLOOR
DR	DOOR	LIN	LINOLEUM	TMP GL	TEMPERED GLASS
DN	DOWN			THERMO	THERMOSTAT
DWG	DRAWING	MAINT	MAINTAIN/MAINTENANCE	T&B	TOP AND BOTTOM
		MAX	MAXIMUM	TO	TOP OF
EE	EACH END	MFG	MANUFACTURER	TOS	TOP OF STEEL
EIFS	EXTERIOR INSULATION FINISH SYSTEM	MSNRY	MASONRY	TOSS	TOP OF STRUCTURAL SLAB
EJ	EXPANSION JOINT	MO	MASONRY OPENING	TOES	TOP OF EXISTING SLAB
ELEC	ELECTRIC/ELECTRICAL	MATL	MATERIAL	TRT	TERRAZZO RESILIENT TILE
EL/ELEV	ELEVATION	MECH	MECHANICAL	TYP	TYPICAL
ENCL	ENCLOSURE EDOS OF REOK	MTL	METAL COMPOSITE BANISI	LINITINI	LINENIOLIED
EOD EOS	EDGE OF DECK EDGE OF SLAB	MCP MCB	METAL COMPOSITE PANEL METAL CORNER BEAD	UNFIN UNO	UNFINISHED UNLESS NOTED OTHERWISE
EPO	EPOXY	MS	METAL CORNER BEAD METAL STUD	UR	UNRINAL
EPS	EDGE OF POUR STOP	MLWK	MILL WORK	UTIL	UTILITY
EQ	EQUAL	MIN	MINIMUM	UTIL	OTILITY
ES	EACH SIDE	MISC	MISCELLANEOUS	VAT	VINYL ASBESTOS TILE
EXST	EXISTING	MLDG	MOLDING	VCT	VINYL COMPOSITE TILE
ETR	EXISTING TO REMAIN	MTG	MOUNTING	VEN	VENEER
ETRE	EXISTING TO BE RELOCATED	-		VERT	VERTICAL
EXP JT	EXPANSION JOINT	NIC	NOT IN CONTRACT	VET	VINYL ENHANCED TILE
EXT	EXTERIOR	NTS	NOT TO SCALE	VIF	VERIFY IN FIELD
EW	EACH WAY	NO	NUMBER	VRS	VINYL REDUCER STRIP
	545510		ON OFFITED	VT	VINYL TILE
FAB	FABRIC FACE	OC	ON CENTER	VWC	VINYL WALL COVERING
FTF	FACE TO FACE	OPNG	OPENING	WB	MULTEROARR
FIN	FINISHED	OPP	OPPOSITE HAND	WB	WHITEBOARD
FA FD	FIRE ALARM FLOOR DRAIN	OH OTS	OPPOSITE HAND OPEN TO STRUCTURE	WC WF	WATER CLOSET WATER FOUNTAIN
FDMPR	FLOOR DRAIN FIRE DAMPER	OUT	OUTLET	WF WGL	WATER FOUNTAIN WIRE GLASS
FE	FIRE DAMPER FIRE EXTINGUISHER	OD	OUTSIDE DIAMETER	W/	WIRE GLASS WITH
FEC	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET	OF	OUTSIDE DIAIMETER OUTSIDE FACE	W/C	WHEEL CHAIR
FF	FACTORY FINISH	O1	JOI DIDE I MUL	W/O	WITHOUT
FHC	FIRE HOSE CABINET	Р	PAINTED	WOM	WALK OFF MAT
FHVC	FIRE HOSE VALVE CABINET	PT	PORCELAIN TILE	WD	WOOD
FR	FIRE RATED	PTB	PORCELAIN TILE BASE	WD BLKG	WOOD BLOCKING
FRD	FRENCH DRAIN	PR	PAIR	WD DR	WOOD DOOR
FFSC	FIRE RATED ASSEMBLY (DOORS)	PNL	PANEL	WP	WATERPROOFING
FRTD	FIRE RETARDANT	PTN	PARTITION	WR	WARDROBE
FIX	FIXTURE	PL	PROPERTY LINE	WW	WINDOW WALL
FL/FLR	FLOOR	PLAM	PLASTIC LAMINATE		
FLUOR	FLUORESCENT	PLMB	PLUMBING	YD	YARD
FL MTD	FLUSH MOUNTED	PLYWD	PLYWOOD	YCO	YARD CLEANOUT
FT	FOOT/FEET	PTWD	PRESERVATIVE TREATED WOOD		7010 00 1777 65777
FDN	FOUNDATION			ZCC	ZINC COATED COPPER

UNIFORM SAFETY STANDARDS FOR SCHOOL CONSTRUCTION AND MAINTENANCE PROJECTS PER COMMISSIONERS REGULATIONS PART 155.5

ZINC COATED COPPER

THE OCCUPIED PORTION OF THE EXISTING SCHOOL BUILDING SHALL ALWAYS COMPLY WITH THE MINIMUM REQUIREMENTS NECESSARY TO MAINTAIN A CERTIFICATE OF OCCUPANCY.

ALL SCHOOL AREAS TO BE DISTURBED DURING RENOVATION OR DEMOLITION HAVE BEEN OR WILL BE TESTED FOR LEAD AND ASBESTOS.

GENERAL SAFETY AND SECURITY STANDARDS FOR CONSTRUCTION PROJECTS:

- ALL CONSTRUCTION MATERIALS SHALL BE STORED IN A SAFE AND SECURE MANNER.
- FENCES AROUND CONSTRUCTION SUPPLIES OR DEBRIS SHALL BE MAINTAINED GATES SHALL ALWAYS BE LOCKED UNLESS A WORKER IS IN ATTENDANCE TO PREVENT UNAUTHORIZED ENTRY
- (D) DURING EXTERIOR RENOVATION WORK, OVERHEAD PROTECTION SHALL BE PROVIDED FOR ANY SIDEWALKS OR AREAS IMMEDIATELY BENEATH THE WORK SITE OR SUCH AREAS SHALL BE FENCED OFF AND PROVIDED WITH WARNING SIGNS TO PREVENT
- (E) WORKERS SHALL BE REQUIRED TO WEAR PHOTO-IDENTIFICATION BADGES AT ALL TIMES FOR IDENTIFICATION AND SECURITY PURPOSES WHILE WORKING AT OCCUPIED SITES.

SEPARATION OF CONSTRUCTION AREAS FROM OCCUPIED SPACES:

FRITZ

FRITZ FLOOR (RTT) TILE

CONSTRUCTION AREAS WHICH ARE UNDER THE CONTROL OF A CONTRACTOR AND THEREFORE NOT OCCUPIED BY DISTRICT STAFF OR STUDENTS SHALL BE SEPARATED FROM OCCUPIED AREAS. PROVISIONS SHALL BE MADE TO PREVENT THE PASSAGE OF DUST AND CONTAMINANTS INTO OCCUPIED PARTS OF THE BUILDING. PERIODIC INSPECTION AND REPAIRS OF THE CONTAINMENT BARRIERS MUST BE MADE TO PREVENT EXPOSURE TO DUST OR CONTAMINANTS. GYPSUM BOARD MUST BE USED IN EXIT WAYS OR OTHER AREAS THAT REQUIRE FIRE RATED SEPARATION. HEAVY DUTY PLASTIC SHEETING MAY BE USED ONLY FOR A VAPOR, FINE DUST OR AIR INFILTRATION BARRIER, AND SHALL NOT BE USED TO SEPARATE OCCUPIED SPACES FROM CONSTRUCTION AREAS.

- (A) A SPECIFIC STAIRWELL AND/OR ELEVATOR SHOULD BE ASSIGNED FOR CONSTRUCTION WORKER USE DURING WORK HOURS. IN GENERAL, WORKERS MAY NOT USE CORRIDORS, STAIRS OR ELEVATORS DESIGNATED FOR STUDENTS OR SCHOOL STAFF.
- (B) LARGE AMOUNTS OF DEBRIS MUST BE REMOVED BY USING ENCLOSED CHUTES OR A SIMILAR SEALED SYSTEM. THERE SHALL BE NO MOVEMENT OF DEBRIS THROUGH HALLS OF OCCUPIED SPACES OF THE BUILDING. NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE WALLS OF THE BUILDING.
- (C) ALL OCCUPIED PARTS OF THE BUILDING AFFECTED BY RENOVATION ACTIVITY SHALL BE CLEANED AT THE CLOSE OF EACH WORKDAY SCHOOL BUILDINGS OCCUPIED DURING A CONSTRUCTION PROJECT SHALL MAINTAIN REQUIRED HEALTH, SAFETY AND EDUCATIONAL CAPABILITIES AT ALL TIMES THAT CLASSES ARE IN SESSION.
- A PLAN DETAILING HOW EXITING REQUIRED BY THE APPLICABLE BUILDING CODE WILL BE MAINTAINED.
- A PLAN DETAILING HOW ADEQUATE VENTILATION WILL BE MAINTAINED DURING CONSTRUCTION.

CONSTRUCTION AND MAINTENANCE OPERATIONS SHALL NOT PRODUCE NOISE IN EXCESS OF 60 DBA IN OCCUPIED SPACES OR SHALL BE SCHEDULED FOR TIMES WHEN THE BUILDING OR AFFECTED BUILDING SPACES ARE NOT OCCUPIED OR ACOUSTICAL ABATEMENT MEASURES SHALL BE TAKEN.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF CHEMICAL FUMES, GASES, AND OTHER CONTAMINATES PRODUCED BY WELDING. GASOLINE OR DIESEL ENGINES, ROOFING, PAVING, PAINTING, ETC. TO ENSURE THEY DO NOT ENTER OCCUPIED PORTIONS OF THE BUILDING OR AIR

THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ACTIVITIES AND MATERIALS WHICH RESULT IN "OFF-GASSING" OF VOLATILE ORGANIC COMPOUNDS SUCH AS GLUES, PAINTS, FURNITURE, CARPETING, WALL COVERING, DRAPERY, ETC. ARE SCHEDULED, CURED OR VENTILATED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS BEFORE A SPACE CAN BE OCCUPIED.

LARGE AND SMALL ASBESTOS ABATEMENT PROJECTS AS DEFINED BY 12NYCRR56 SHALL NOT BE PERFORMED WHILE THE BUILDING IS OCCUPIED". NOTE, IT IS OUR INTERPRETATION THAT THE TERM "BUILDING", AS REFERENCED IN THIS SECTION, MEANS A WING OR MAJOR SECTION OF A BUILDING THAT CAN BE COMPLETELY ISOLATED FROM THE REST OF THE BUILDING WITH SEALED NON COMBUSTIBLE CONSTRUCTION. THE ISOLATED PORTION OF THE BUILDING MUST CONTAIN EXITS THAT DO NOT PASS THROUGH THE OCCUPIED PORTION AND VENTILATION SYSTEMS MUST BE PHYSICALLY SEPARATED AND SEALED AT THE ISOLATION BARRIER.

EXTERIOR WORK SUCH AS ROOFING, FLASHING, SIDING, OR SOFFIT WORK MAY BE PERFORMED ON OCCUPIED BUILDINGS PROVIDED PROPER VARIANCES ARE IN PLACE AS REQUIRED, AND COMPLETE ISOLATION OF VENTILATION SYSTEMS AND AT WINDOWS IS PROVIDED. CARE MUST BE TAKEN TO SCHEDULE WORK SO THAT CLASSES ARE NOT DISRUPTED BY NOISE OR VISUAL DISTRACTION.

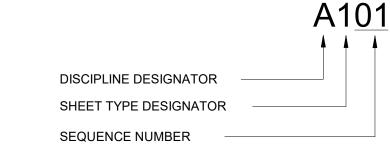
SURFACES THAT WILL BE DISTURBED BY RECONSTRUCTION MUST HAVE A DETERMINATION MADE AS TO THE PRESENCE OF LEAD. PROJECTS WHICH DISTURB SURFACES THAT CONTAIN LEAD SHALL HAVE IN THE SPECIFICATIONS A PLAN PREPARED BY A CERTIFIED LEAD RISK ASSESSOR OR SUPERVISOR WHICH DETAILS PROVISIONS FOR OCCUPANT PROTECTION, WORKSITE PREPARATION, WORK METHODS, CLEANING AND CLEARANCE TESTING WHICH ARE IN GENERAL ACCORDANCE WITH THE HUD GUIDELINES.

SYMBOLS LEGEND

ROOM NAME 101 150 SF	ROOM T (NAME,
101	DOOR D
	DENOTE BUILDIN GENERA
	DENOTE
=====	DENOTE DEMOLI
	DENOTE
M4 2HR	DENOTE
MATERI	AL
	CMU WA
	GWB W
	MASON
	" GWB -
	PLYWO
	UNDIST
	WOOD E TREATE TO WEA
SHEET	IDE

ALTERATIONS E, NUMBER, & AREA) 2018 CAPITAL PROJECTS -PHASE 2 INTERIOR 142 PEEKSKILL HOLLOW RD, **DESIGNATION TAG ELEVATION** PUTNAM VALLEY, NY 10579 TES EXISTING AREA OF THE WALL OR BUILDING SECTION ING TO REMAIN (NO MAJOR RAL CONSTRUCTION). TES EXISTING WALL TO REMAIN DENOTES EXISTING DOOR TO 285 MAIN STREET MOUNT KISCO . NEW YORK . 10549 REMAIN (U.N.O) P:914.666.5900 KGDARCHITECTS.COM TES EXISTING WALL TO BE DENOTES EXISTING DOOR AND OR FRAME TO BE DEMOLISHED. SEE DOOR SCHEDULE. TES NEW WALL DENOTES NEW DOOR AND OR FRAME. SEE DOOR SCHEDULE TES WALL TYPE & FIRE RATING Y SED PROJECT CONTROL NO. 48-05-03-04-0-004-016 CONSTRUCTION **LEGEND DOCUMENTS** CAULK w/ BACKER ROD — — — — WATER PROOFING MEMBRANE, OR ROOFING MEMBRANE OR FLASHING RIGID INSULATION NRY VENEER WWWWW BATT. INSULATION "TYPE X" UNO (SEE SPECS PORUS FILL SUITABLE COMPACTED BACKFILL TURBED SOIL CAST IN PLACE CONCRETE OR CAST STONE **BLOCKING (PRESSURE** TED ALL AREAS EXPOSED ATHER OR MOISTURE) GLASS SURFACE ENTIFICATION LEGEND





DISCIPLINE DESIGNATORS GENERAL

CODE COMPLIANCE HAZARDOUS MATERIAL ABATEMEN^{*} LANDSCAPE STRUCTURAL ARCHITECTURA

MECHANICAL

ELECTRICAL

SHEET TYPE DESIGNATOR GENERAL DEMOLITION **EXTERIOR ELEVATIONS &**

TYPICAL DETAILS

BUILDING SECTIONS ENLARGED PLANS & INTERIOR ELEVATIONS FINISHES REFLECTED CEILING PLANS FIRE PROTECTION VERTICAL CIRCULATION PLUMBING WALL SECTIONS & ENLARGED

PROJECT INFORMATION

OWNER PUTNAM VALLEY CENTRAL SCHOOL DISTRICT 171 OSCAWANA LAKE ROAD PUTNAM VALLEY, NEW YORK 10579

WWW.PVCSD.ORG

CONTACT: DAVID SPITTAL DIRECTOR OF FACILITIES & TRANSPORTATION

845.528.8143 (DISTRICT'S OFFICE)

CONSTRUCTION MANAGER TRITON CONSTRUCTION 30 EAST 33RD STREET, 11TH FLOOR

> WWW.TRITONCONSTRUCTION.NET CONTACT: KEVIN SAWYER

> > PUTNAM VALLEY MIDDLE SCHOOL

TELEPHONE: 845.821.3354 (MOBILE)

48-05-03-04-0-004-016

SPRING 2021

FALL 2021

NEW YORK, NY 10016

BUILDING LOCATION

142 PEEKSKILL HOLLOW ROAD TYPE OF PROJECT ALTERATIONS

NYSED NUMBER PROJECT COMMENCEMENT PROJECT COMPLETION

APPLICABLE CODES

2015 NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE CONSISTS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE 2015 WITH AMENDMENTS INTERNATIONAL EXISTING BUILDING CODE WITH AMENDMENTS INTERNATIONAL FIRE CODE 2015 WITH AMENDMENTS INTERNATIONAL ENERGY CONSERVATION CODE WITH AMENDMENTS INTERNATIONAL PLUMBING CODE WITH AMENDMENTS INTERNATIONAL MECHANICAL CODE WITH AMENDMENTS INTERNATIONAL FUEL GAS CODE WITH AMENDMENTS

MANUAL OF PLANNING STANDARDS, THE UNIVERSITY OF THE STATE OF NEW YORK, THE STATE EDUCATION DEPARTMENT

KEY PLAN

PUTNAM VALLEY

MIDDLE SCHOOL

TOILET ROOM

USE ON THIS PROJECT, NONE OF SUCH IDEAS, DESIGNS, ARRANGEME CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF A

HITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLA TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

Professional Seal

03/15/21 CONSTRUCTION DOCUMENTS

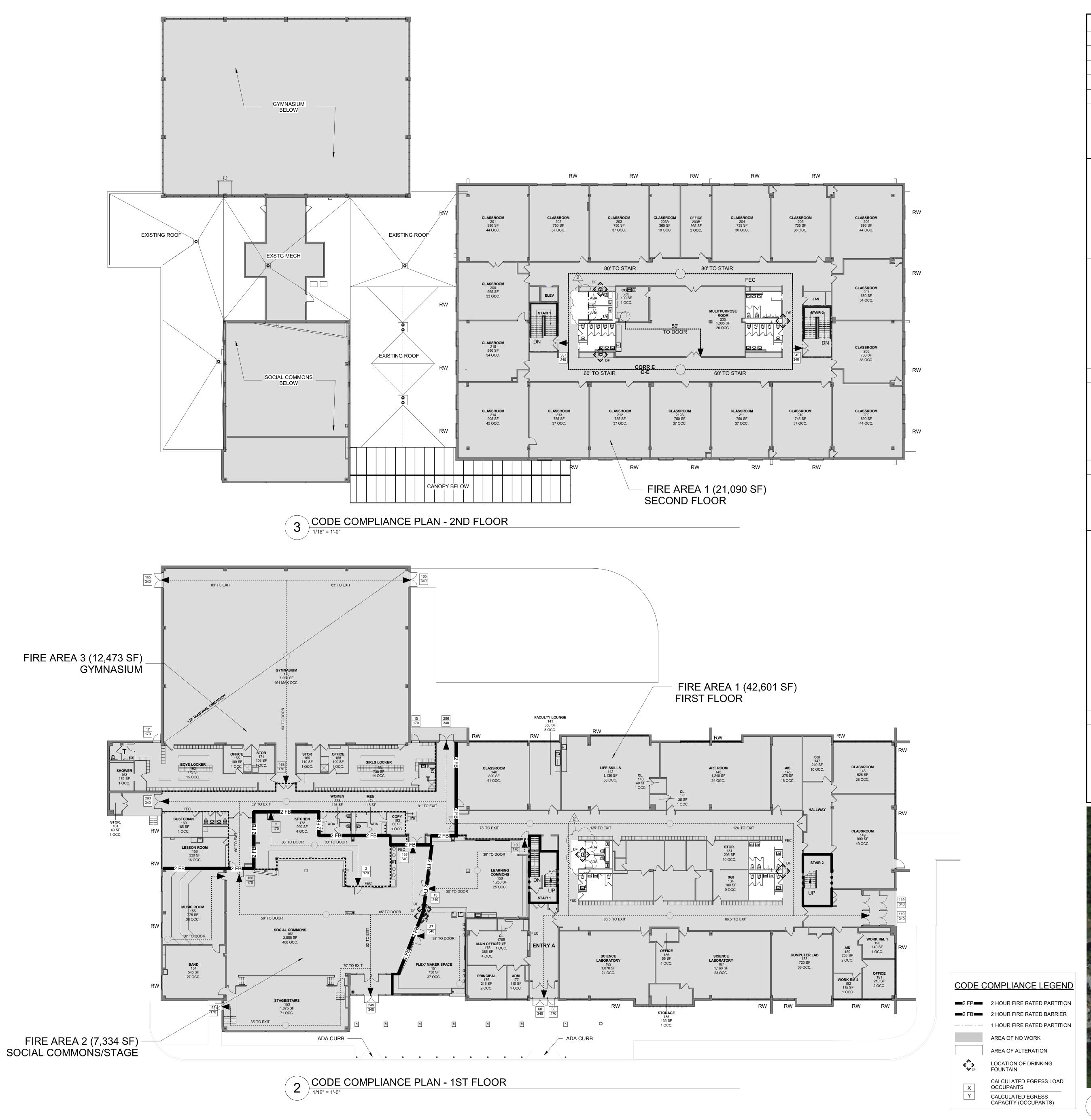
GENERAL

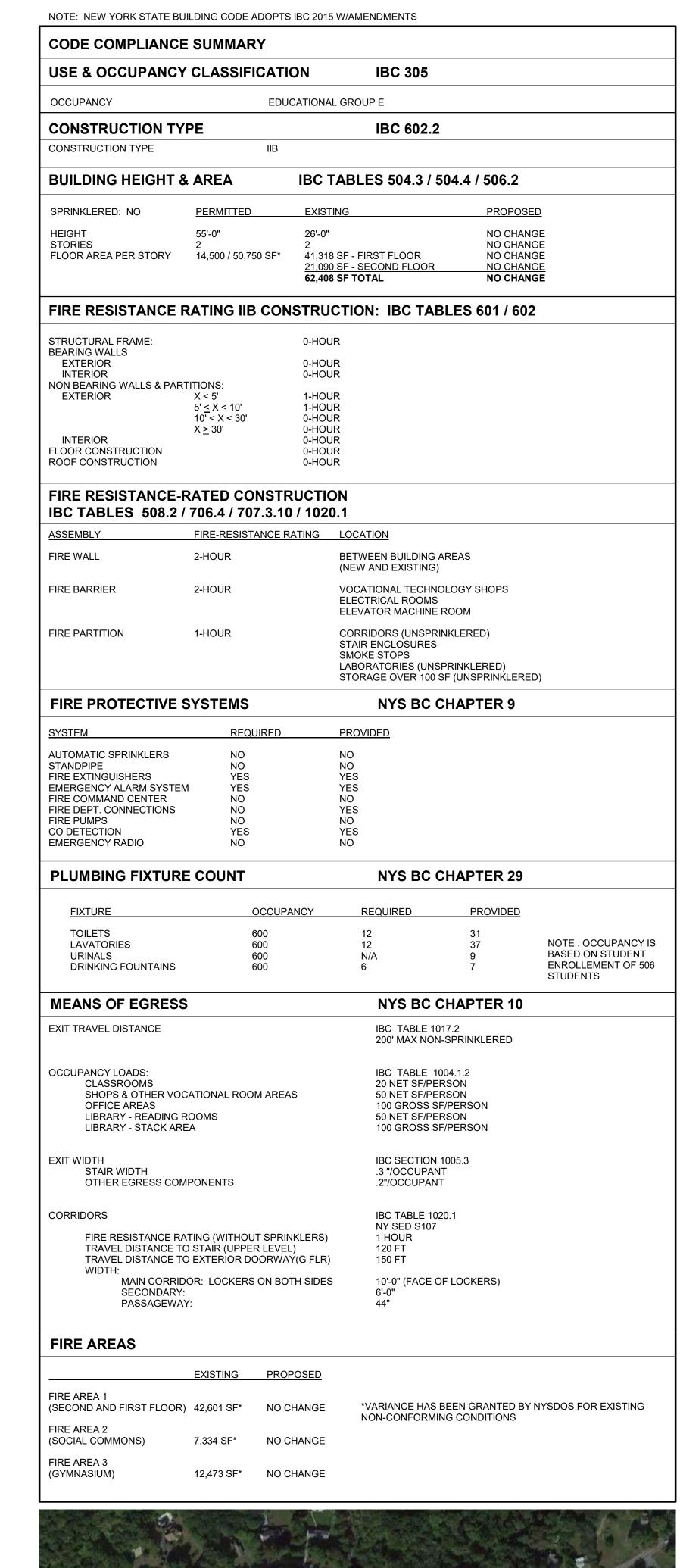
02/01/21 CONSTRUCTION DOCUMENTS

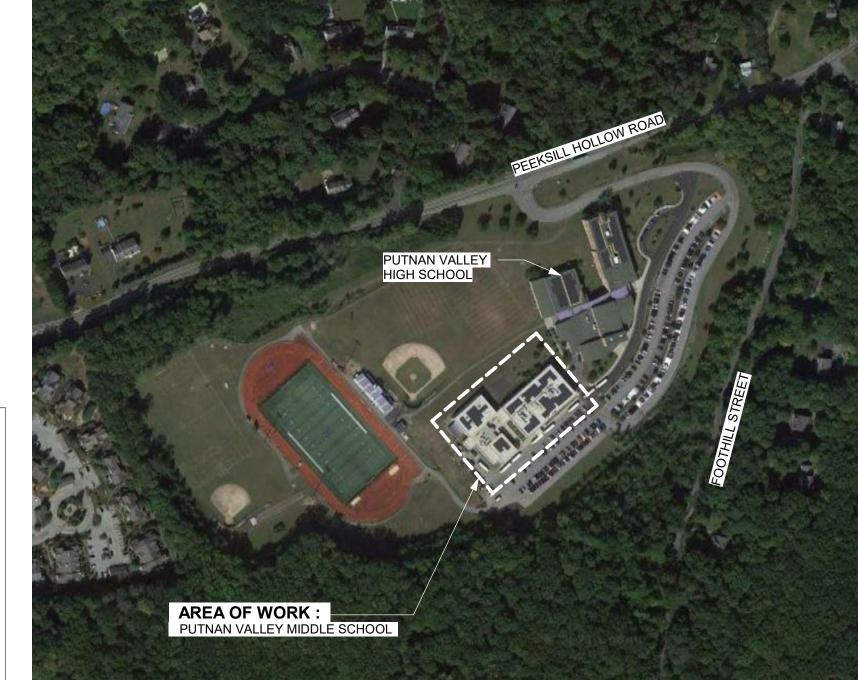
INFORMATION

01/14/2021 Drawn / Checked AS NOTED Sheet Number

G001







AERIAL PHOTO - SITE LOCATION PLAN
NOT TO SCALE

PUTNAM VALLEY
MIDDLE SCHOOL
TOILET ROOM
ALTERATIONS

2018 CAPITAL PROJECTS -PHASE 2 142 PEEKSKILL HOLLOW RD,



PUTNAM VALLEY, NY 10579

KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO . NEW YORK . 10549

KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.

P:914.666.5900

48-05-03-04-0-004-016
CONSTRUCTION
DOCUMENTS

Project North KEY PLAN AREA OF WORK

ITE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR PRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF EYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATE! R USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER THOUT THE WRITTEN PERMISSION OF (KG&D).

ITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER ALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS D CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF AN RIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUSUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH SPICATION

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON T DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATIO OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, POALL RIGHTS RESERVED.

Professional Seal

03/15/21 CONSTRUCTION DOCUMENTS
02/26/21 SED ADDENDUM 1
02/01/21 CONSTRUCTION DOCUMENTS
0. Date Issue

CODE COMPLIANCE

INFORMATION

Date

CC-1

ASBESTOS ABATEMENT GENERAL NOTES

PVMS TOILET ROOM **ALTERATIONS**

CAPITAL PROJECTS PHASE 2

142 PEEKSKILL HOLLOW RD PUTNAM VALLEY, NY 10579



ENVIRONMENTAL CONSULTANT

WSP USA SOLUTIONS, INC. 500 Summit Lake Drive, Suite 450 Valhalla, NY 10595 TEL. 914.742.1120

NY SED PROJECT CONTROL NO.

48-05-03-04-0-004-016

SED SUBMISSION

KEY PLAN

NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY AEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED

WITHOUT THE WRITTEN PERMISSION OF (KG&D).

OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

Professional Seal

FOR USE ON THIS PROJECT, NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENT OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY

ARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUS BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION

COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PO

03/15/21 | CONSTRUCTION DOCUMENTS

02/01/21 SED SUBMISSION

PRE-ABATEMENT WORK NOTES

1. THE HAZARDOUS MATERIALS, CONFIGURATIONS, AND LOCATIONS SHOWN IN THESE DRAWINGS ARE BASED ON THE HAZARDOUS MATERIALS TESTING REPORT COMPLETED BY LOUIS BERGER A WSP COMPANY, DATED NOVEMBER 19, 2019.

2. THE CONTRACTOR SHALL DETERMINE EXACT FINAL LOCATIONS OF PERSONAL AND WASTE DECONTAMINATION ENCLOSURES, PICK UP AREA FOR REFUSE AND ASBESTOS DEBRIS. THESE LOCATIONS SHALL BE REVIEWED AND PROPERLY APPROVED BY THE DISTRICT PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL ESTABLISH, LABEL AND AND MAINTAIN PROPER EXITS AND WAYS OF DEPARTURE WITHIN EACH WORK AREA FOR NORMAL AND EMERGENCY USE BY WORKERS DURING ALL ABATEMENT.

POST-ABATEMENT WORK NOTES

1. THE CONTRACTOR SHALL, UPON COMPLETION OF REMOVALS, PROVIDE WRITTEN DOCUMENTATION THAT THE PROJECT WORK AREAS ARE COMPLETELY FREE OF ALL HAZARDOUS MATERIALS.

2. THE CONTRACTOR SHALL PROVIDE RECORDS OF ALL HAZARDOUS MATERIALS REMOVED FROM THE SITE.

SED ADDENDUM # 1 02/26/21

DRAWING	DRAWING NAME
H-001.00	ASBESTOS ABATEMENT LOCATIONS - GENERAL NOTES
H-002.00	ASBESTOS ABATEMENT LOCATIONS - 1ST AND 2ND FLOOR PLAN

1. ALL ASBESTOS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, GUIDELINES, REGULATIONS, ORDERS AND DIRECTIVES, INCLUDING WITHOUT LIMITATIONS, THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA), AND U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), NATIONAL INSTITUTE FOR OCCUPATIONAL SAFETY AND HEALTH (NIOSH), AND NEW YOK STATE DEPARTMENT OF LABOR (NYSDOL).

2. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, SERVICES, ETC., NECESSARY TO PERFORM THE WORK REQUIRED FOR ASBESTOS ABATEMENT IN ACCORDANCE WITH CONTRACT DOCUMENTS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.

3. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A WRITTEN STANDARD PROCEDURE FOR ABATEMENT WORK TO ENSURE MAXIMUM PROTECTION AND SAFEGUARD FROM ASBESTOS EXPOSURE OF THE WORKERS. VISITORS, EMPLOYEES, GENERAL PUBLIC, AND THE ENVIRONMENT.

4. CONTRACTOR SHALL PROVIDE SIGNS, LABELS, WARNINGS, AND POST INSTRUCTIONS THAT ARE NECESSARY TO PROTECT, INFORM AND WARN PEOPLE OF THE HAZARD FROM ASBESTOS EXPOSURE. POST IN A PROMINENT AND CONVENIENT PLACE FOR THE WORKERS A COPY OF THE LATEST APPLICABLE REGULATIONS FROM OSHA, EPA, NIOSH AND NYSDOL.

5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATION.

GENERAL NOTES:

6. THE CONTRACTOR SHALL RELOCATE ALL FURNITURE, LOCKERS, DESKS AND OTHER MISC. ITEMS IN AND OUT OF THE WORK AREAS TO ACCOMODATE ASBESTOS ACTIVITIES.

7. THE CONTRACTOR SHALL PROVIDE ALL ELECTRICAL, WATER, AND WASTE CONNECTIONS, TIE-INS, EXTENSIONS, CONSTRUCTION MATERIALS, SUPPLIES, ETC. AS REQUIRED TO FACILITATE ASBESTOS REMOVAL.

8. CONTRACTOR SHALL PROVIDE TEMPORARY ELECTRIC AND LIGHT THROUGHOUT THE WORK AREA(S) AS REQUIRED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND CODES.

9. THE CONTRACTOR SHALL ESTABLISH CRITICAL BARRIERS OVER ALL OPENINGS LOCATED INSIDE THE PARTICULAR WORK AREA AS WELL AS INSIDE THE SCHOOL.

10. CONTRACTOR SHALL PROPERLY PROTECT ALL CONTROLS, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.

11. THE CONTRACTOR SHALL BE REQUIRED TO ISSUE NON-WHITE WORK COVERALLS FOR ALL ABATEMENT WORKERS.

12. CONTRACTOR SHALL EXERCISE EXTREME CARE AND CAUTION DURING ANY AND ALL DEMOLITION AND ABATEMENT OPERATIONS. CONTRACTOR SHALL CONDUCT REMOVAL OF ALL MATERIALS FROM THE SITE WITH MINIMUM DISTURBANCE: PROVIDE PROPER PROTECTION AND REGULAR MAINTENANCE OF ALL BUILDING PREMISES DIRECTLY OR INDIRECTLY ASSOCIATED WITH ABATEMENT OPERATIONS.

13. CONTRACTOR SHALL LOCATE AND SEAL ALL PENETRATIONS THROUGH WALLS BETWEEN THE WORK AREA AND ADJACENT AREAS, INCLUDING, BUT NOT LIMITED TO PIPE, DUCT, CONDUIT, CHASES, AND OPENINGS IN FIRE WALLS OR DECKS BETWEEN FLOORS AS REQUIRED BY THE FIELD CONDITION.

14. THE CONTRACTOR SHALL USE A WATER SPRAYER TO WET ASBESTOS—CONTAINING MATERIALS INSIDE THE WORK AREA.

15. CONTRACTOR SHALL CONSTRUCT A PERSONAL/WASTE DECONTAMINATION ENCLOSURE SYSTEM (P./W.D.E.S.) AS INDICATED. IT SHALL BE OF SUFFICIENT SIZE TO ACCOMMODATE STORAGE OF MATERIALS, EQUIPMENT, ETC. .

16. SHOWER AND WASTEWATER MUST BE FILTERED AND DISPOSED OF IN THE BUILDING'S SANITARY SYSTEM. REFER TO CONTRACT SPECIFICATIONS.

17. IF WATER IS NOT AVAILABLE, THE CONTRACTOR SHALL PROVIDE A 55-GALLON WATER TANK FOR THE DECONTAMINATION UNIT.

18. THE CONTRACTOR SHALL UTILIZE GFCI PANEL CONNECTIONS AT THE SOURCE OUTLET WHEN ACCESSING TEMPORARY POWER.

19. CONTRACTOR SHALL SUPPLY ALL NECESSARY CONNECTIONS, FASTENERS, FLEXIBLE DUCTS, MANIFOLDS, SUPPORTS, ETC. ANY AND ALL INSTALLATIONS SHALL COMPLY WITH CONTRACT DOCUMENTS AND MANUFACTURER'S REQUIREMENTS.

20. THE CONTRACTOR SHALL VERIFY THE LOCATION OF THE TEMPORARY WATER AND POWER SOURCES PRIOR TO ABATEMENT ACTIVITIES.

21. DEBRIS RESULTING FROM ANY DEMOLITION AND/OR ASBESTOS ABATEMENT ACTIVITIES SHALL BE DISPOSED OF AS ASBESTOS CONTAMINATED WASTE.

22. NO WASTE SHALL BE STORED ON SITE OR INSIDE THE DECONTAMINATION UNIT BETWEEN SHIFTS. WASTE SHALL BE DOUBLE BAGGED BEFORE PROCEEDING TO THE CONTAINER AND/OR DECON. BAGS WILL BE MOVED FROM WORK AREAS TO THE WASTE DECON AND SUBSEQUENTLY TO THE CONTAINER IN COVERED CARTS. BAGS WILL BE CARRIED BY HAND ONLY WHEN NECESSARY. ALL WASTE SHALL BE CONTAINERIZED AT THE END OF EACH WORK SHIFT BEFORE RELINQUISHING TO WASTE HAULER.

23. CONTRACTOR IS RESPONSIBLE TO COORDINATE AND CONFIRM THE EXACT SCOPE OF WORK FOR EACH PHASE OF ABATEMENT WITH THE GENERAL CONTRACTOR AND OTHER TRADES.

24. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, TOOLS, TRANSPORTATION AND ANY OTHER EQUIPMENT REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK DESCRIBED IN THE CONTRACT DOCUMENTS.

25. THE LOCATION OF THE PERSONAL/WASTE DECONTAMINATION UNITS, AIRLOCKS, ETC. IS SHOWN FOR REFERENCE PURPOSES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD.

26. ASBESTOS ABATEMENT INDICATED IN THE DRAWING #H002.00 WILL BE DONE IN ACCORDANCE WITH 12 NYCRR PART 56 AND SHALL BE PERFORMED BY A NYS STATE DEPARTMENT OF LABOR LICENSED ASBESTOS CONTRACTOR.

- SED ADDENDUM # 1 02/26/21



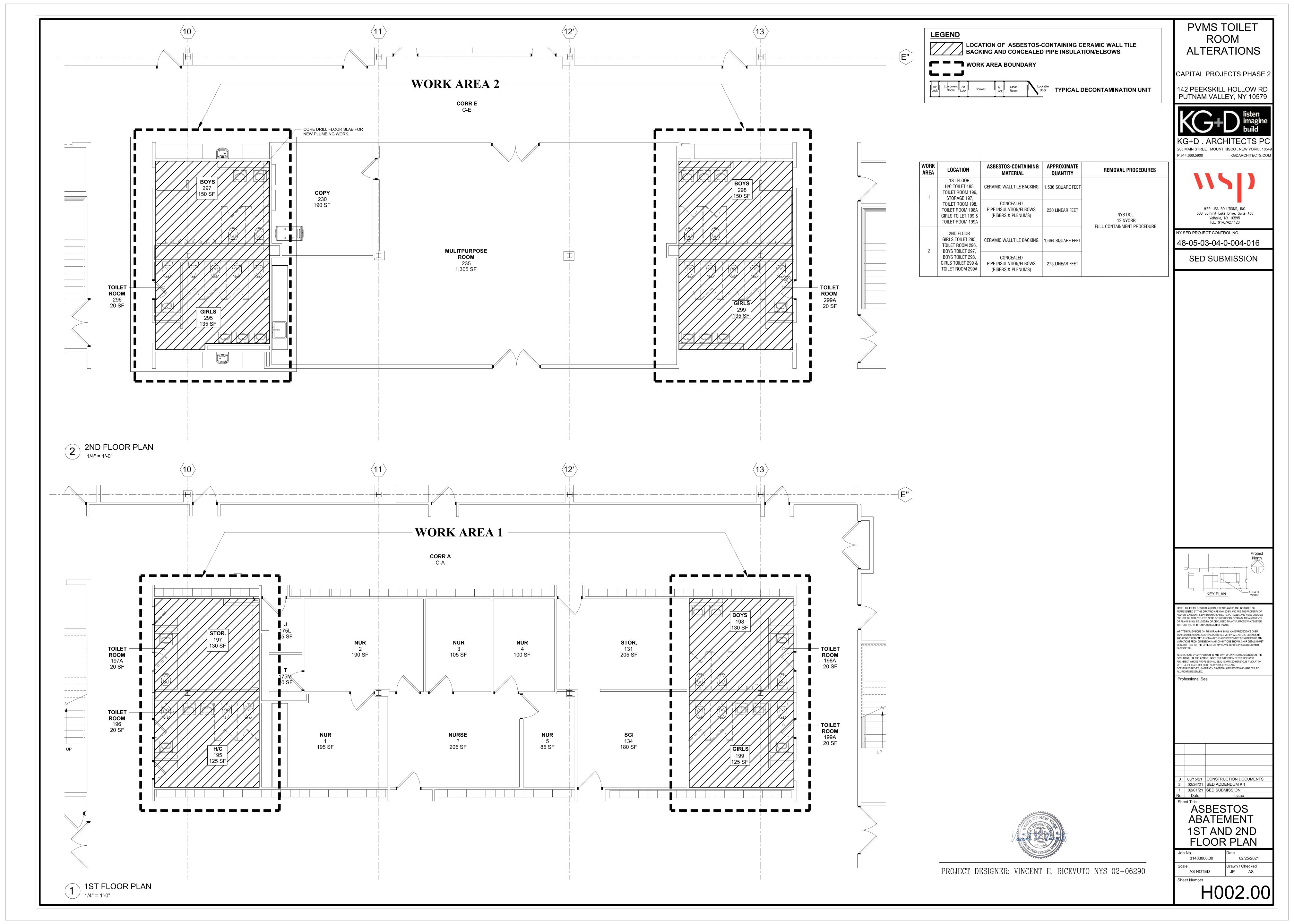
PROJECT DESIGNER: VINCENT E. RICEVUTO NYS 02-06290

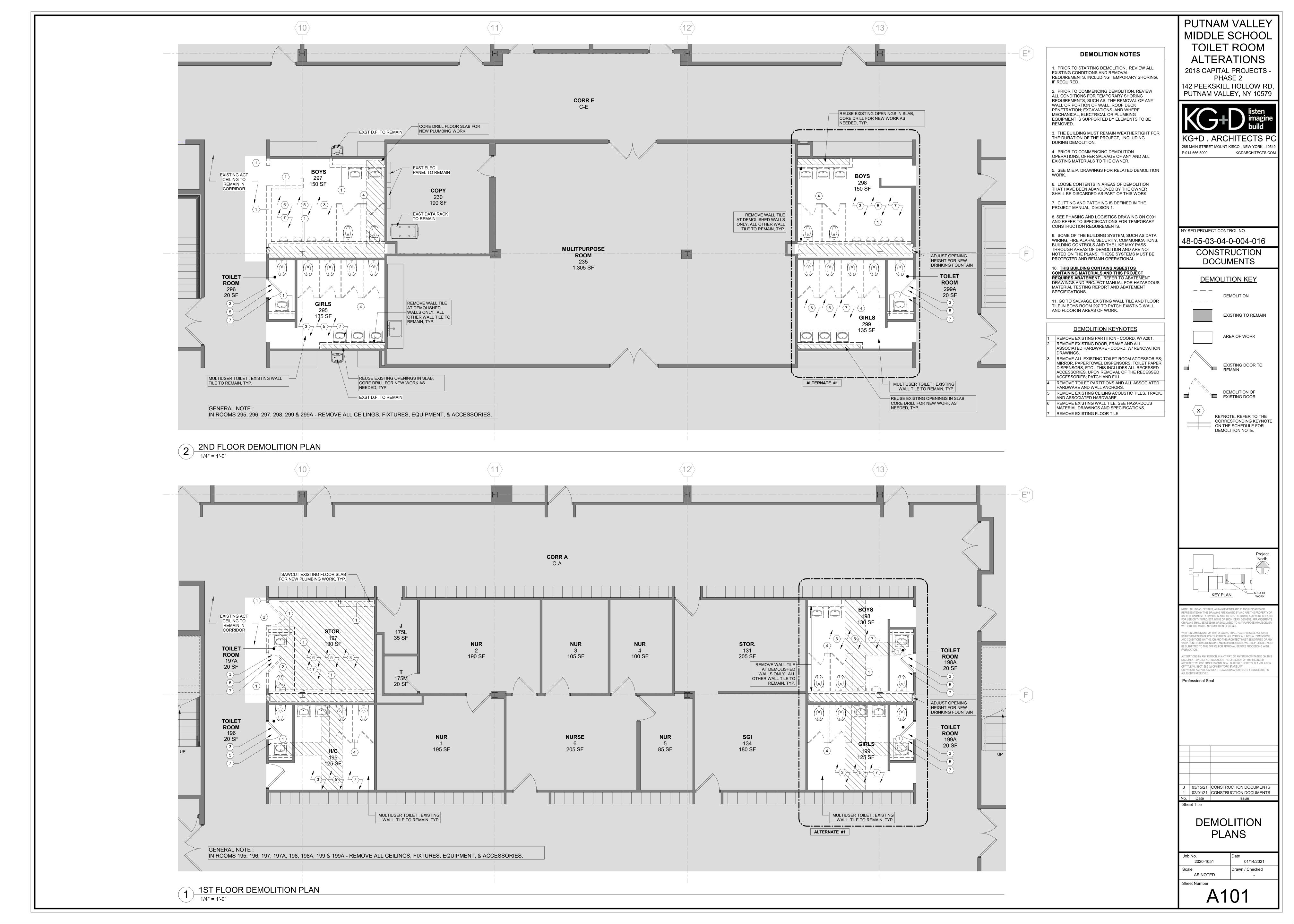
ASBESTOS ABATEMENT GENERAL

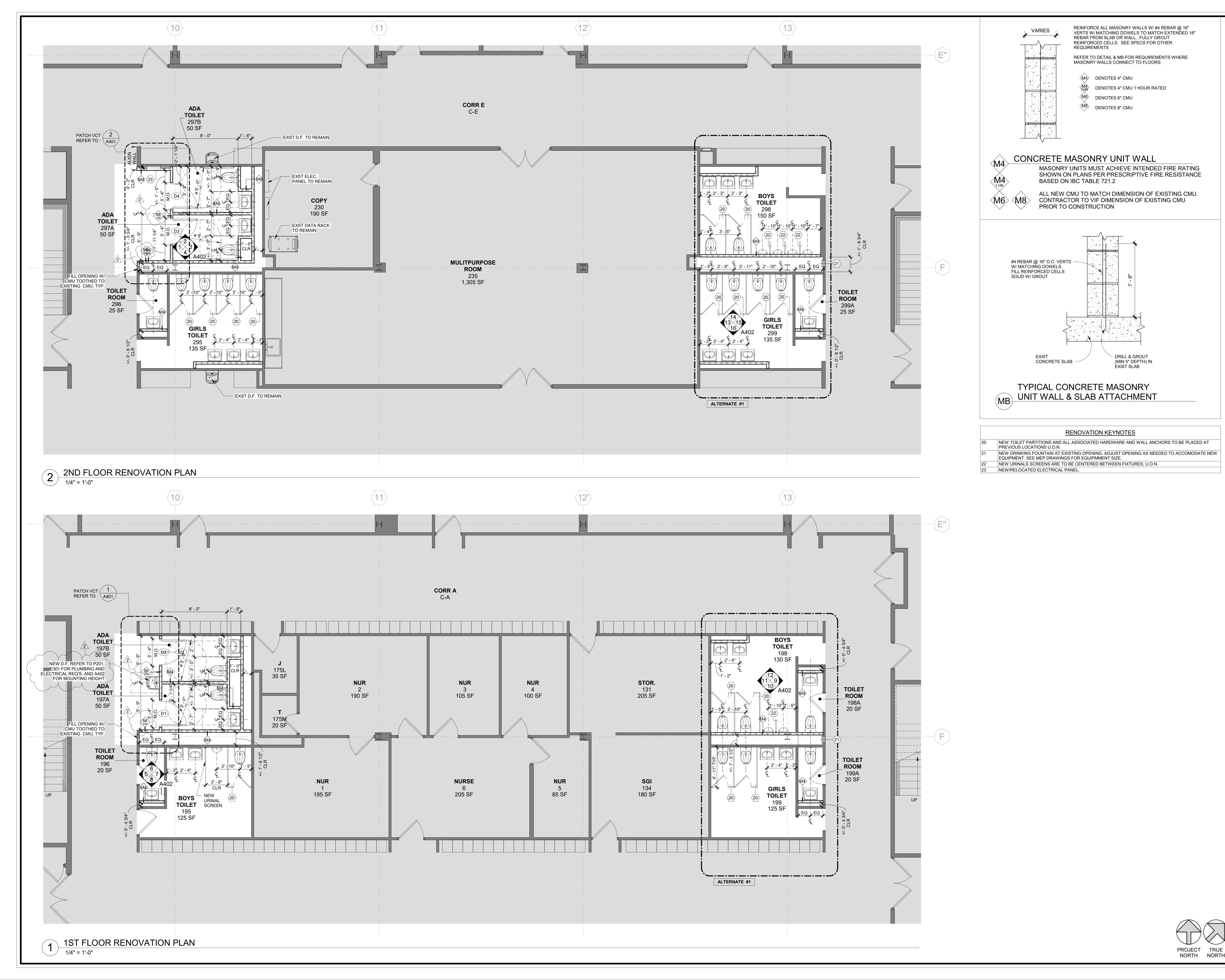
> 02/26/2021 31403000.000 AS NOTED Sheet Number

NOTES

H001.00







PUTNAM VALLEY MIDDLE SCHOOL **TOILET ROOM**

ALTERATIONS 2018 CAPITAL PROJECTS -

P:914.666.5900

PHASE 2 142 PEEKSKILL HOLLOW RD,



PUTNAM VALLEY, NY 10579

285 MAIN STREET MOUNT KISCO . NEW YORK . 10549

KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.

48-05-03-04-0-004-016 CONSTRUCTION DOCUMENTS

GENERAL NOTES

DENOTES AREA OF NO MAJOR ARCHITECTURAL RENOVATION WORK, SPECIFIC WORK MAY BE SHOWN ELSEWHERE, REFER TO M.E.P. DWGS.

REMAIN (MOST EXISTING WALLS ARE MASONRY)

DENOTES EXISTING DOOR & FRAME TO REMAIN

DENOTES EXISTING WALL TO

DENOTES EXISTING DOOR &/OR FRAME TO BE REPLACED. SEE DOOR SCHEDULE ON A401

> DENOTES NEW DOOR & NUMBER SEE DOOR SCHEDULE ON A401. SEE SPECS FOR HARDWARE SET & INFO

DENOTES 1hr OR NON-RATED WALL

DENOTES 2hr FIRE RATED WALL X DENOTES NEW WALL TYPE & FIRE

RATING, (WHERE SHOWN) DENOTES KEYNOTE. REFER TO

THE CORRESPONDING KEYNOTE ON THE SCHEDULE FOR

CONSTRUCTION NOTE. 10 FINISH SCHEDULE - SEE A401

1 DIMENSIONS SHOWN FOR INTERIOR WALLS ARE: 'FACE OF CMU'

12 FACE OF ADJACENT WALL TO EDGE OF NEW DOOR FRAME IS 4" (TYP) U.N.O. (SEE DETAILS A & B ON A401)

3 SEE SPECIFICATIONS SECTION 07 84 00 FOR FIRESTOPPING REQUIREMENTS.

KEY PLAN_ IOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR PRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY EYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREAT OR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENT OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVE

VITHOUT THE WRITTEN PERMISSION OF (KG&D). CALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS ND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF AN E SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS OCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. DPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC

RIGHTS RESERVED. Professional Seal

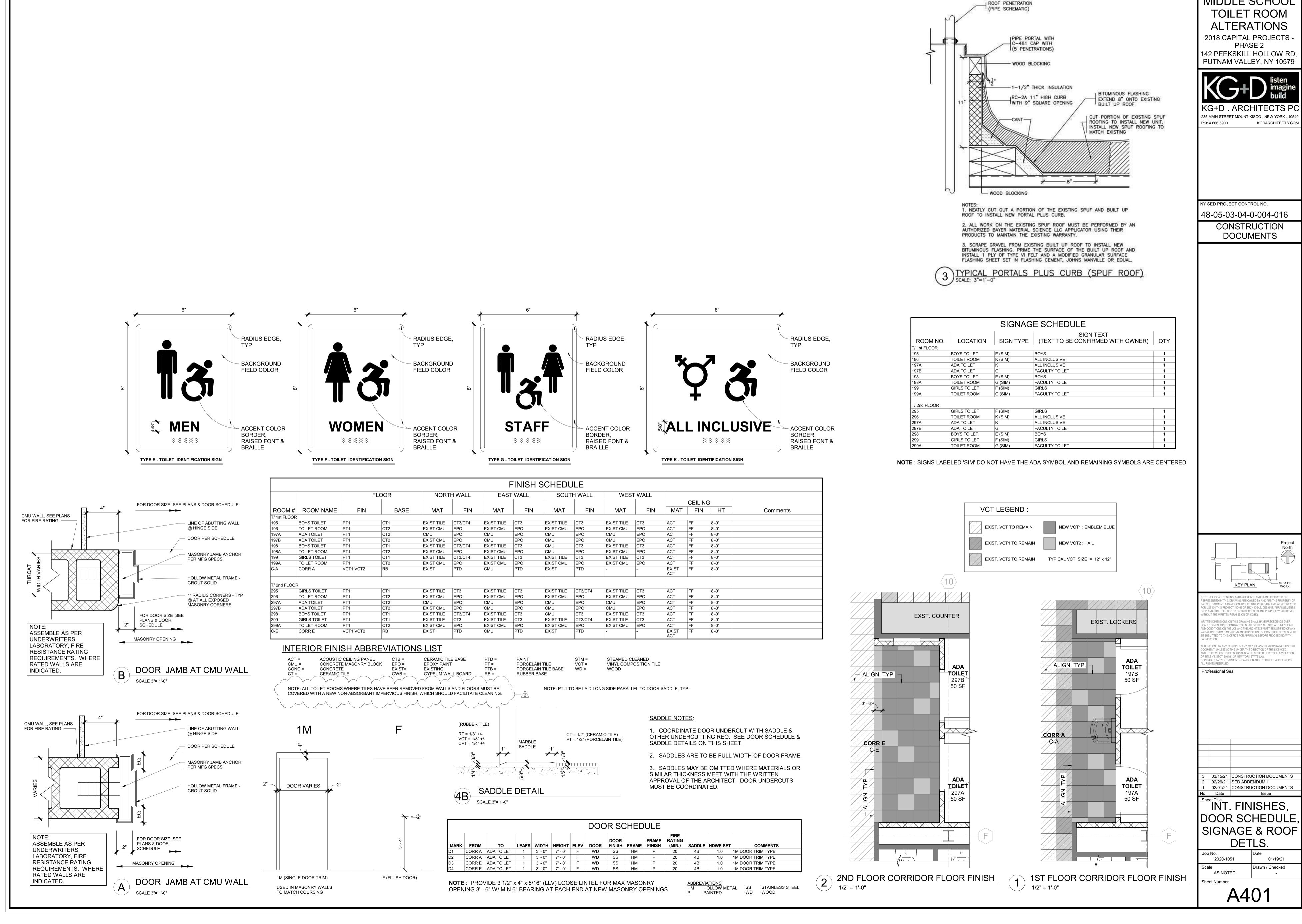
03/15/21 CONSTRUCTION DOCUMENTS

02/26/21 SED ADDENDUM 1 02/01/21 CONSTRUCTION DOCUMENTS

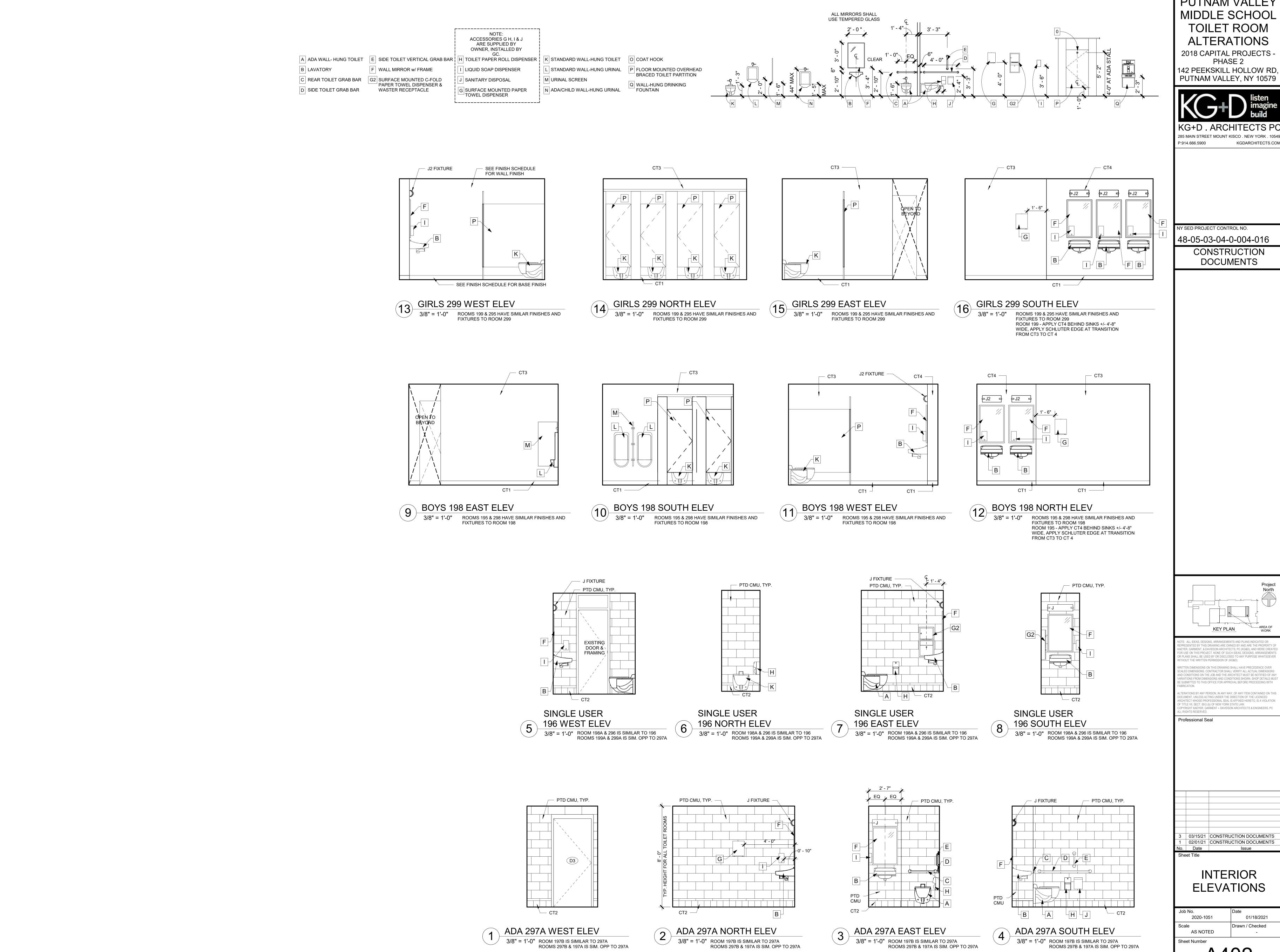
Date Issue

FLOOR PLANS

01/14/2021 Drawn / Checked AS NOTED



PUTNAM VALLEY MIDDLE SCHOOL



PUTNAM VALLEY MIDDLE SCHOOL **TOILET ROOM ALTERATIONS**

2018 CAPITAL PROJECTS -PHASE 2



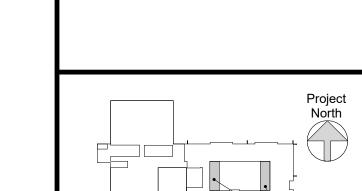
285 MAIN STREET MOUNT KISCO . NEW YORK . 10549 KGDARCHITECTS.COM P:914.666.5900

Y SED PROJECT CONTROL NO.

CONSTRUCTION

48-05-03-04-0-004-016

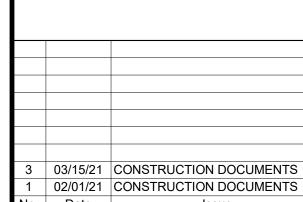
DOCUMENTS



OTE: ALL IDEAS DESIGNS ARRANGEMENTS AND PLANS INDICATED OR PRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY EYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREAT OR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMEN R PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVE THOUT THE WRITTEN PERMISSION OF (KG&D). CALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS ID CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF AN SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

TERATIONS BY ANY PERSON. IN ANY WAY, OF ANY ITEM CONTAINED ON TH RCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION FITTLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. PYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, P

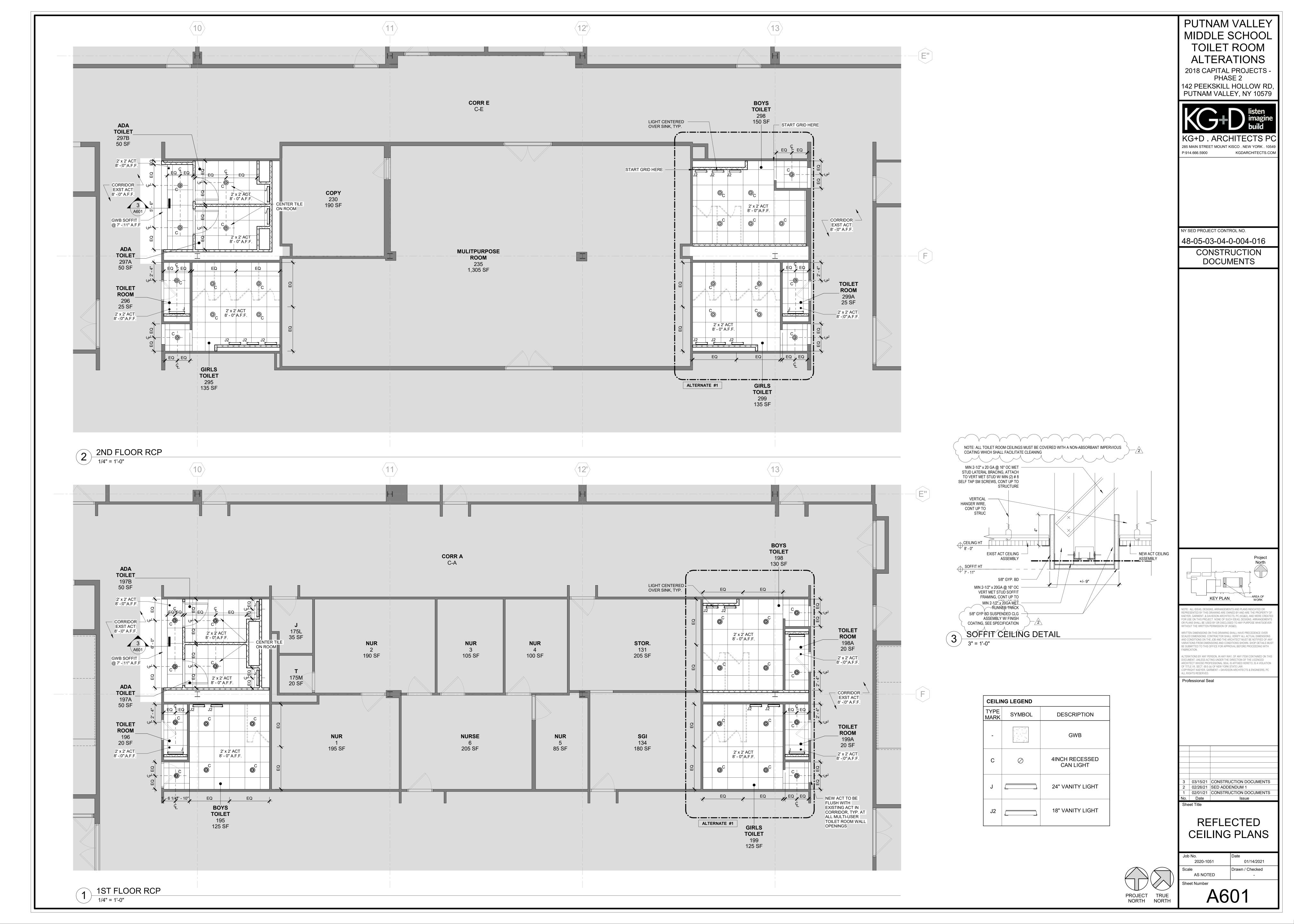
Professional Seal

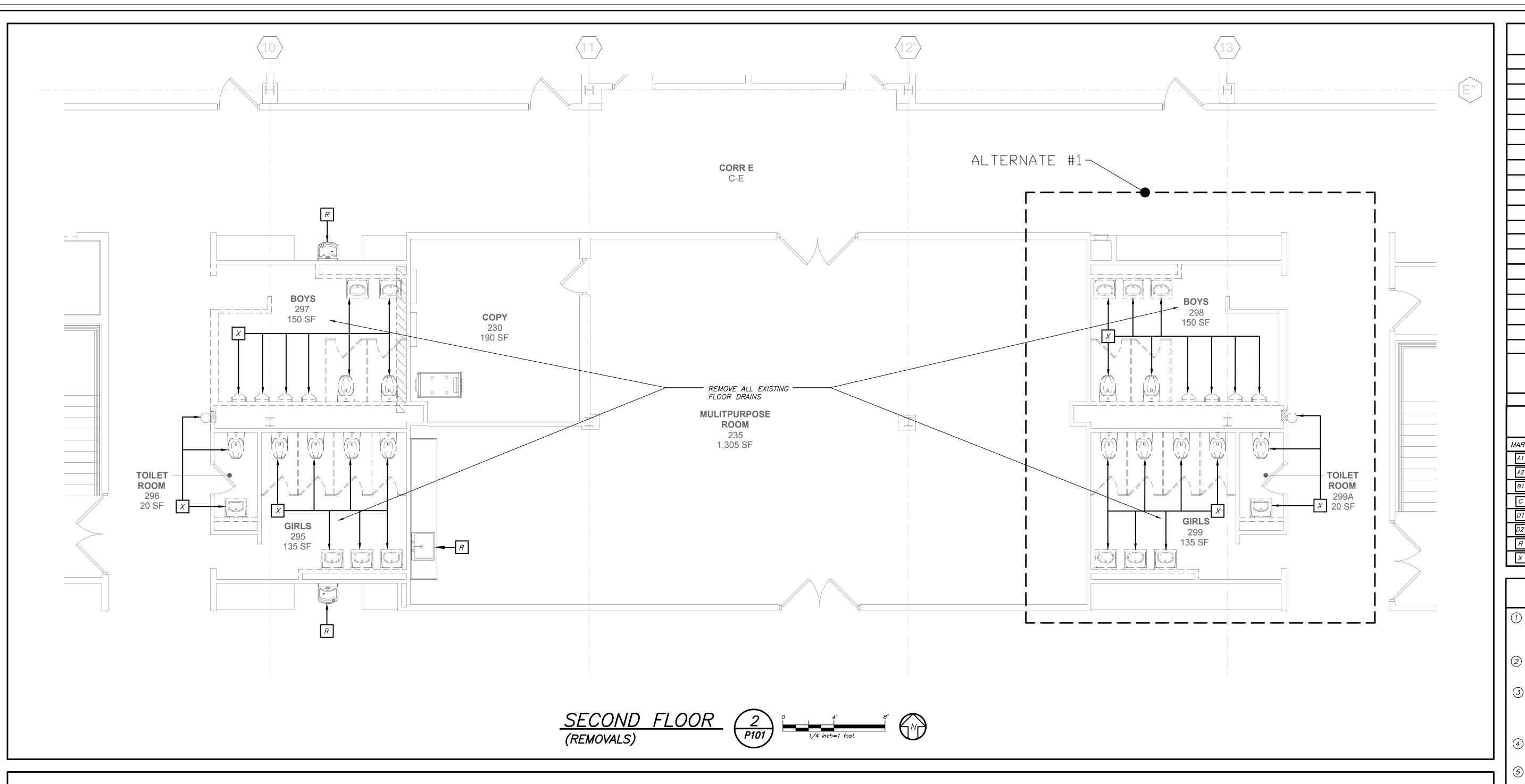


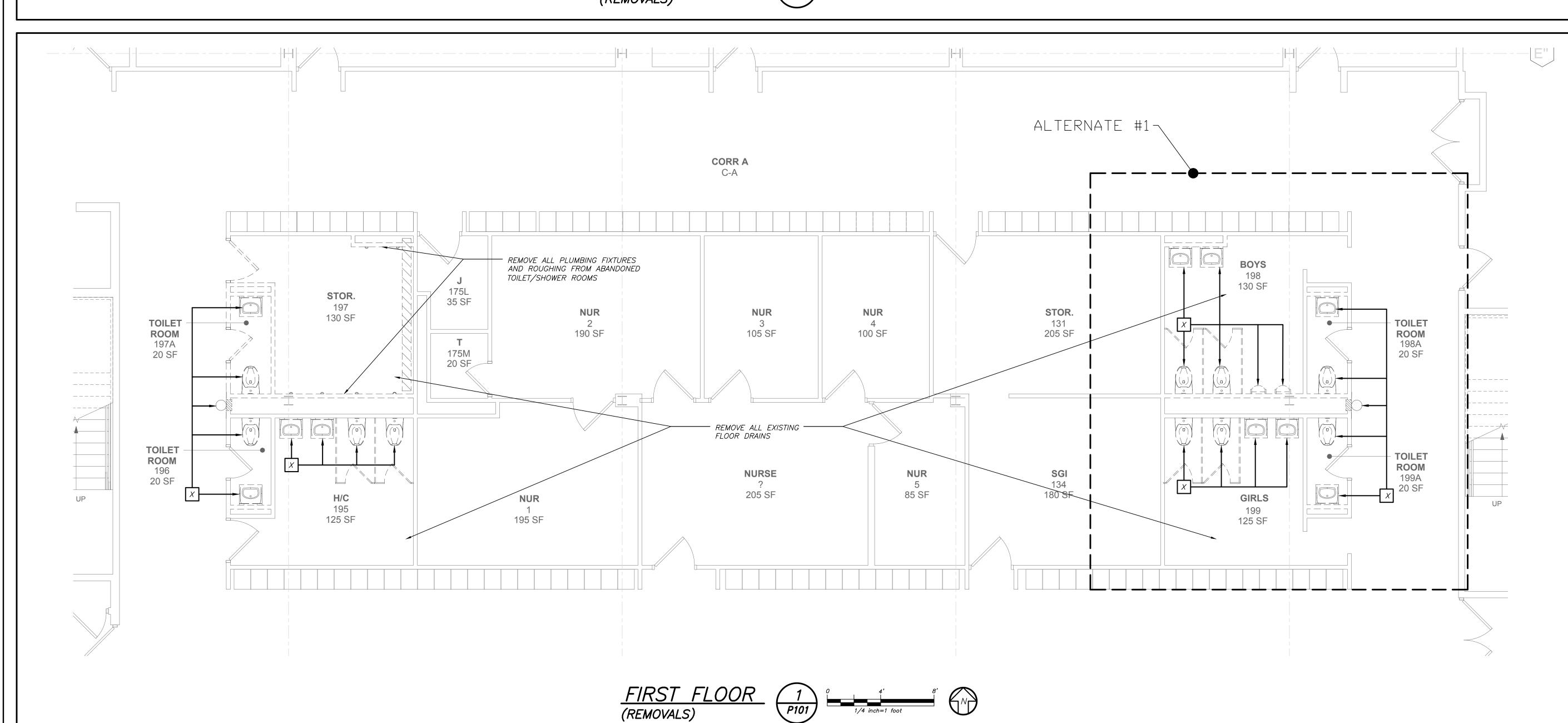
INTERIOR **ELEVATIONS**

2020-1051 01/18/2021 Drawn / Checked AS NOTED Sheet Number

A402









PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION		BRANCH	l SIZE	
MANN	BESONII HOIV	W	V	Н	
A1	WALL MOUNTED WATER CLOSET	4"	2"	_	1
A2	WALL MOUNTED WATER CLOSET (HANDICAPPED)	4"	2"	-	1
B1	WALL MOUNTED LAVATORY (HANDICAPPED)	1-1/2"	1-1/2"	1/2"	1/
С	URINAL — WALL MOUNTED	3"	2"	-	1/
D1	WATER COOLER - RECESSED	2"	1-1/2"	-	1/
D2	WATER COOLER	2"	1-1/2"	-	1/
R	EXISTING FIXTURE TO REMAIN	_	_	_	-
X	EXISTING FIXTURE TO BE REMOVED	-	_	_	_

REMOVAL NOTES

- 1) THE SCOPE OF REMOVAL SHOWN IS DIAGRAMMATIC ONLY AND INDICATES THE INTENT OF THE WORK TO BE PERFORMED AND NOT THE COMPLETE SCOPE OF DEMOLITION AND/OR REMOVAL WORK. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO REMOVE ANY RELATED MECHANICAL DEVICES EVEN IF NOT SPECIFICALLY INDICATED TO BE REMOVED IN ORDER TO ACCOMMODATE NEW WORK.
- REMOVE ALL PLUMBING EQUIPMENT, SPECIALTIES, DRAINS, CONTROLS, HANGERS, BASES, SUPPORTS, PIPING, VALVES, TUBING AND PLUMBING ACCESSORIES THAT ARE NOT INCORPORATED IN THE NEW LAYOUT.
- 3) WHERE REMOVAL IS INDICATED OR IMPLIED OR NOT INCORPORATED IN THE NEW LAYOUT, THE ITEM ITSELF IS TO BE REMOVED COMPLETELY TOGETHER WITH ALL CONNECTING PIPING, SPECIALTIES, SUPPORTS, CONTROLS, ETC. CONNECTING PIPING IS TO BE REMOVED BACK TO MAINS WHERE THE ARE TO BE CAPPED OR DISCONNECTED. THIS INCLUDES ALL GAS, SANITARY, VENT, WATER, AND PUMP DISCHARGE PIPING. REFER TO DIVISION I OF SPECIFICATION FOR CUTTING AND PATCHING REQUIREMENTS.
- 4) WHERE EXISTING PIPING ENTERS INACCESSIBLE TRENCHES, TUNNELS, SHAFTS, WALLS AND CEILINGS INSIDE THE EXISTING BUILDING, IT SHALL BE CUT BACK AT LEAST 2" INTO SUCH INACCESSIBLE SPACES AND SHALL BE SUITABLY CAPPED AND SEALED BY THE CONTRACTOR.
-) THE CONTRACTOR SHALL EXERCISE NORMAL CAUTION TO PREVENT UNNECESSARY CUTTING AND DAMAGE TO THE EXISTING BUILDING. ANY EXCESSIVE DAMAGE AS DETERMINED BY THE OWNER SHALL BE REPAIRED AND PAID FOR BY THE CONTRACTOR CAUSING THE DAMAGE.
- (6) ALL DEMOLISHED EQUIPMENT ETC. EXCEPT THOSE ITEMS SPECIFICALLY REQUESTED BY THE OWNER SHALL BECOME THE CONTRACTORS PROPERTY, SHALL BE REMOVED FROM THE

PREMISES, AND DISPOSED OF LEGALLY.

PVMS TOILET ROOM ALTERATIONS CAPITAL PROJECTS PHASE 2

142 PEEKSKILL HOLLOW RD PUTNAM VALLEY, NY 10579



285 MAIN STREET MOUNT KISCO . NEW YORK . 10549

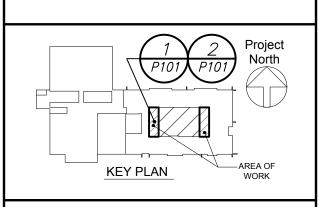
BARILE GALLAGHER & ASSOCIATES

CONSULTING ENGINEERS

39 MARBLE AVE PLEASANTVILLE, NY 10570 4.328.6060 GENERAL@BGA-ENG.com www.BGA-ENG.c NY SED PROJECT CONTROL NO.

48-05-03-04-0-004-016 CONSTRUCTION

DOCUMENTS



NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF (KG&D). WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER

SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC ALL RIGHTS RESERVED.

Professional Seal

3	03/15/21	CONSTRUCTION DOCUMENTS
1	02/01/21	SED SUBMISSION
lo.	Date	Issue
Sho	ot Titlo	

FIRST AND SECOND FLOOR REMOVAL PLANS

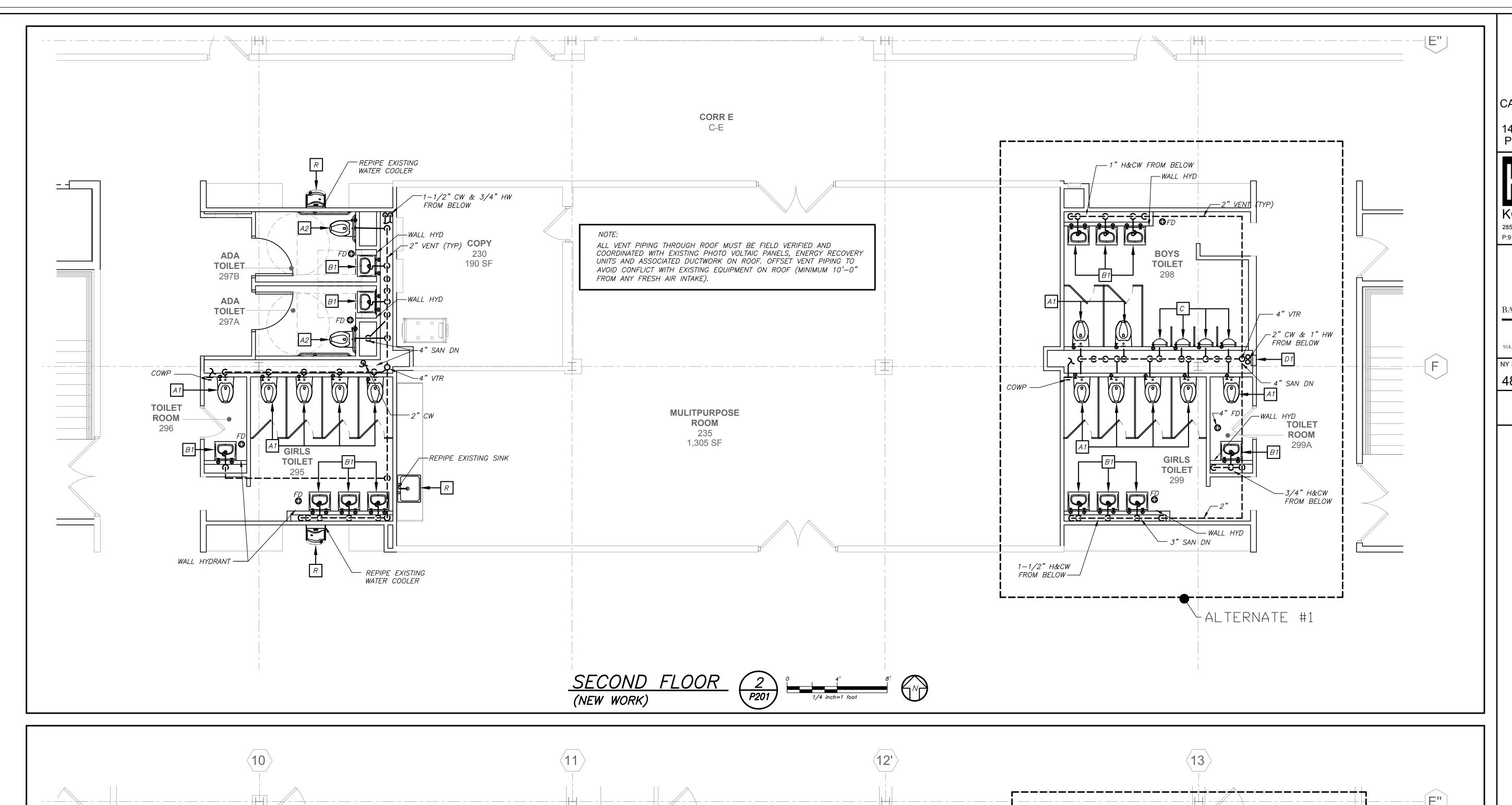
2020-1051 01/14/2021 Drawn / Checked AS NOTED BGA/BGA

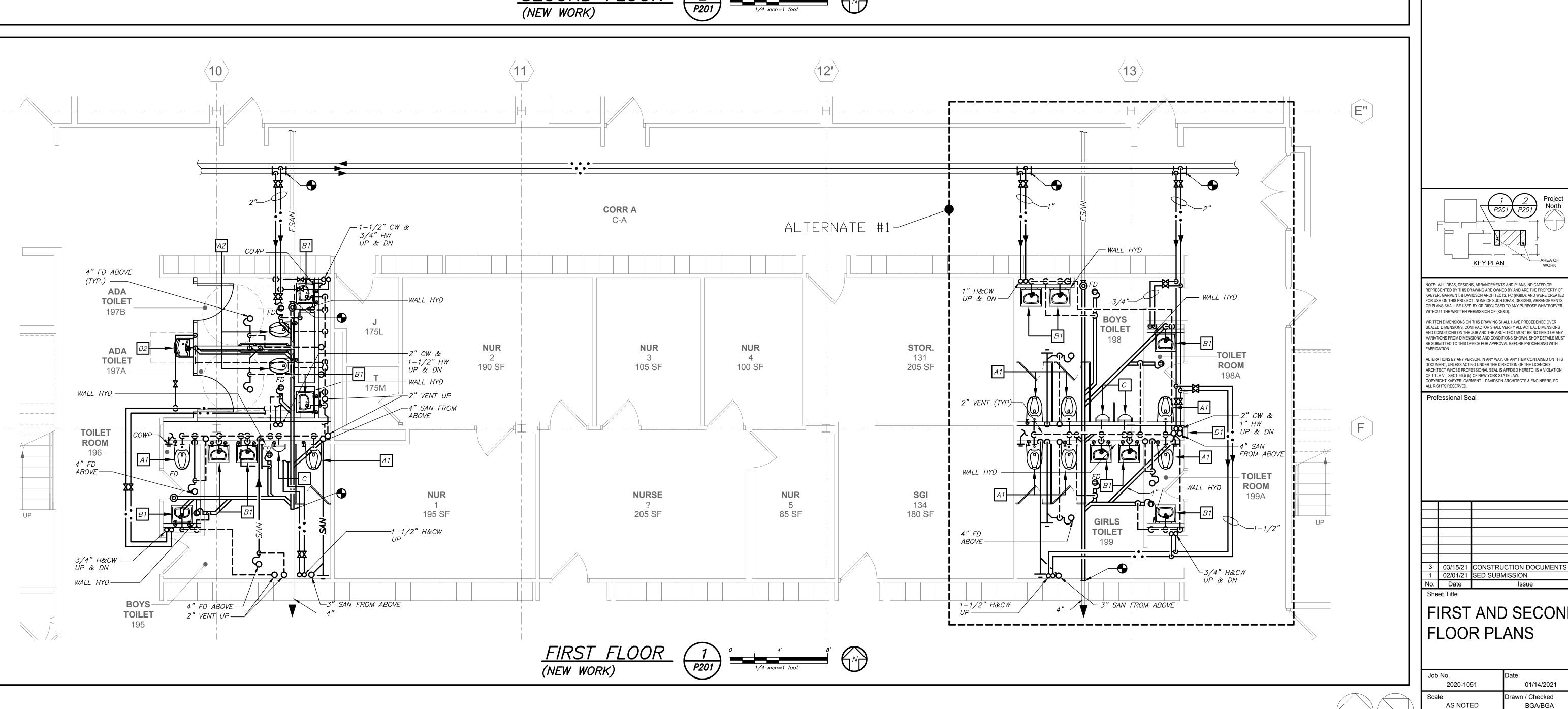
PROJECT TRUE NORTH

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON

OF ALL OTHER CONTRACTORS

JOB AND COORDINATE HIS WORK WITH THE WORK





PVMS TOILET ALTERATIONS

CAPITAL PROJECTS PHASE 2

142 PEEKSKILL HOLLOW RD PUTNAM VALLEY, NY 10579



285 MAIN STREET MOUNT KISCO . NEW YORK . 10549 P:914.666.5900 KGDARCHITECTS.COM

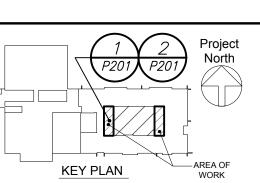


BARILE GALLAGHER & ASSOCIATES

CONSULTING ENGINEERS 39 MARBLE AVE PLEASANTVILLE, NY 10570 914.328.6060 GENERAL@BGA-ENG.com www.BGA-ENG.com

NY SED PROJECT CONTROL NO. 48-05-03-04-0-004-016

CONSTRUCTION **DOCUMENTS**



NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF (KG&D). WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC ALL RIGHTS RESERVED.

CONSTRUCTION DOCUMENTS 02/01/21 SED SUBMISSION

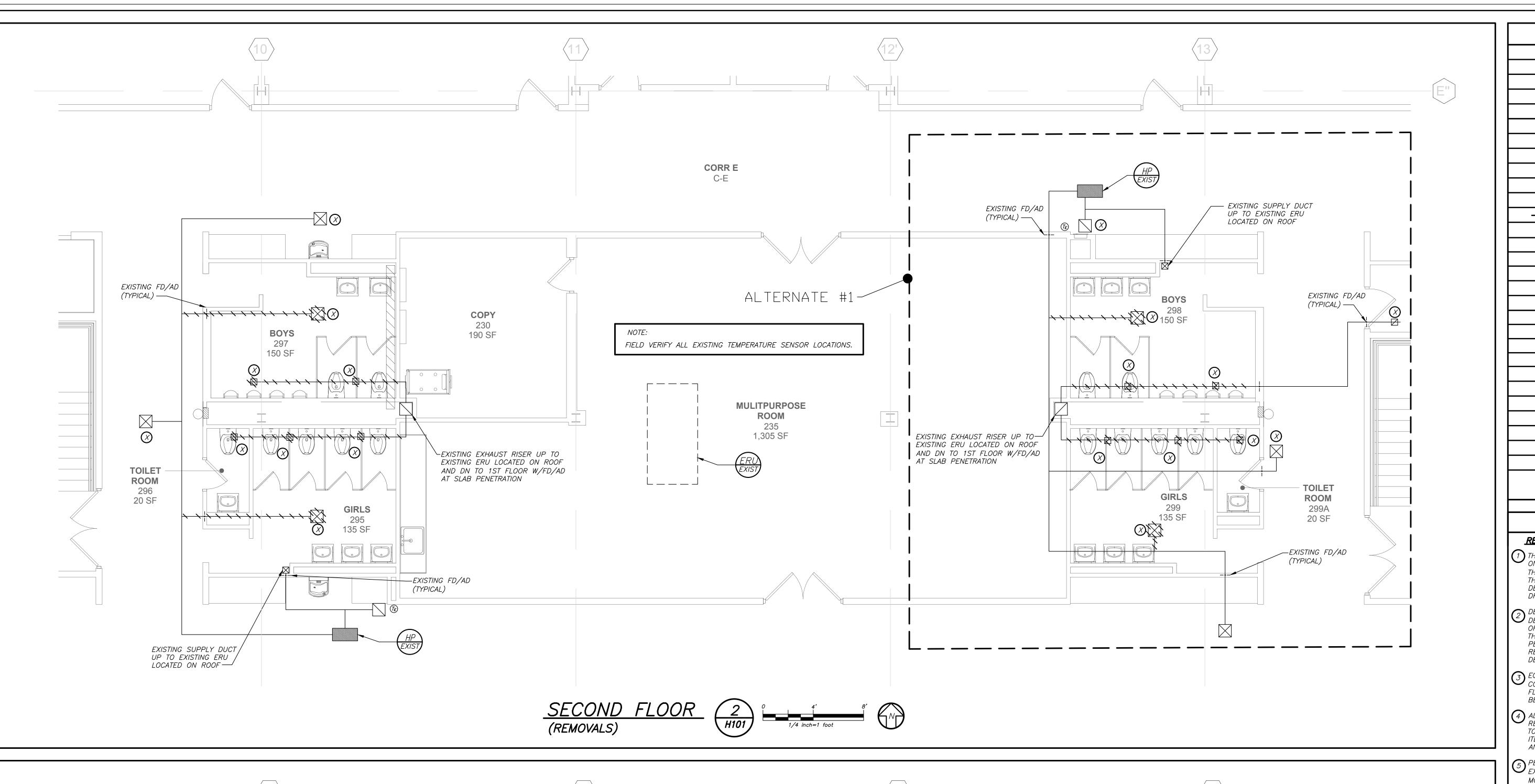
FIRST AND SECOND FLOOR PLANS

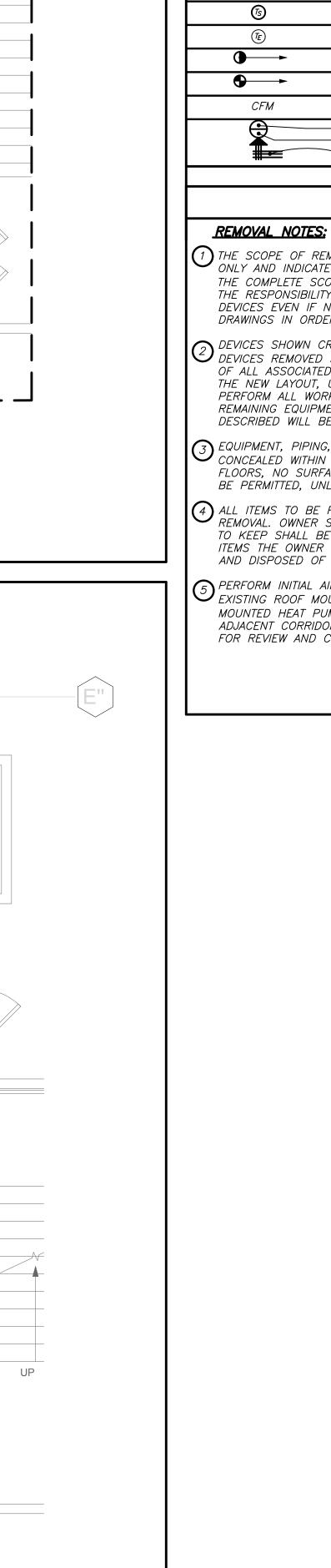
01/14/2021 Drawn / Checked AS NOTED BGA/BGA

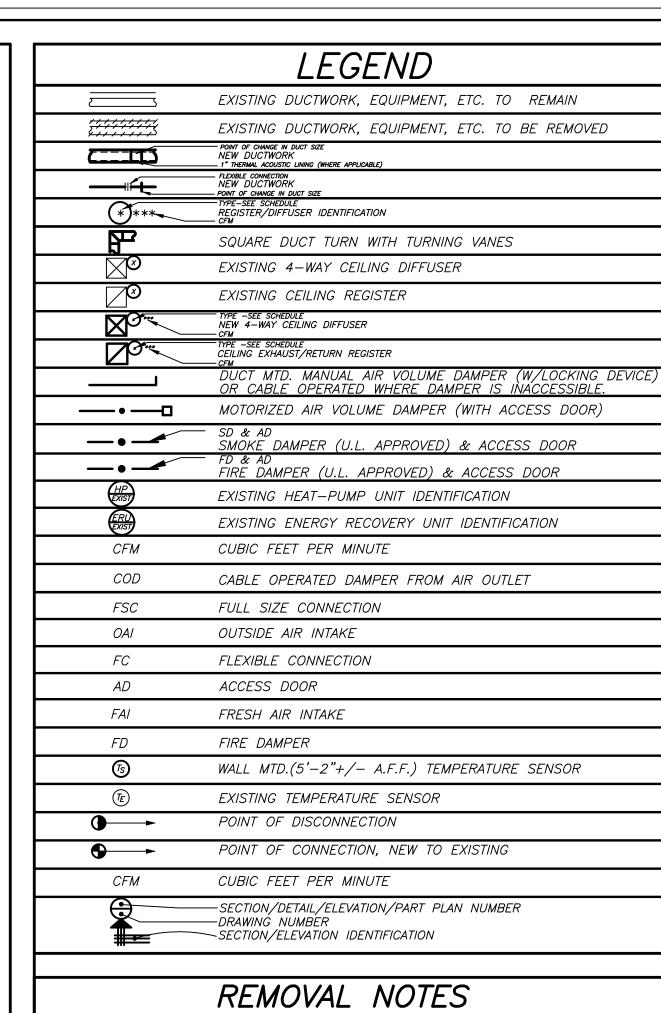
PROJECT TRUE NORTH

Sheet Number P201

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON







(1) THE SCOPE OF REMOVAL SHOWN ON "REMOVALS" DRAWINGS IS DIAGRAMMATIC ONLY AND INDICATES THE INTENT OF THE WORK TO BE PERFORMED AND NOT THE COMPLETE SCOPE OF DEMOLITION AND/OR REMOVAL WORK. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO REMOVE ANY RELATED MECHANICAL DEVICES EVEN IF NOT SPECIFICALLY INDICATED TO BE REMOVED ON THESE DRAWINGS IN ORDER TO ACCOMMODATE NEW WORK.

DEVICES SHOWN CROSS HATCHED ON DRAWINGS ARE ITEMS TO BE REMOVED. ANY DEVICES REMOVED SHALL INCLUDE (BUT SHALL NOT BE LIMITED TO) THE REMOVAL OF ALL ASSOCIATED PIPING, CONTRÒLS, ETC. THAT ARE NOT INCORPORATED IN THE NEW LAYOUT, UNTIL SUCH REMOVAL IS COMPLETE. THIS CONTRACTOR SHALL PERFORM ALL WORK REQUIRED TO INSURE CONTINUITY OF SERVICE TO EXISTING REMAINING EQUIPMENT. NO EXTRAS RELATING TO THE SCOPE OF WORK DESCRIBED WILL BE ALLOWED.

3 EQUIPMENT, PIPING, ETC., REQUIRED TO RECONNECT SHALL BE INSTALLED CONCEALED WITHIN THE NEW SUSPENDED CEILINGS, PARTITIONS AND/OR WALLS, FLOORS, NO SURFACE MOUNTED OR EXPOSED EQUIPMENT, PIPING, ETC., SHALL BE PERMITTED, UNLESS SPECIFICALLY INDICATED.

4 ALL ITEMS TO BE REMOVED SHALL BE REVIEWED WITH THE OWNER PRIOR TO REMOVAL. OWNER SHALL HAVE FIRST SALVAGE RIGHTS. ITEMS THE OWNER WISHES TO KEEP SHALL BE REMOVED WITH CARE AND STORED AS DIRECTED BY OWNER. ITEMS THE OWNER DOES NOT WISH TO KEEP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.

5 PERFORM INITIAL AIR BALANCING REPORT AND UNIT SERVICE REPORT FOR THE EXISTING ROOF MOUNTED ENERGY RECOVERY UNIT (ERU) AND THE CEILING MOUNTED HEAT PUMP UNITS (HP=1&2) SERVING THE TOILET ROOMS AND ADJACENT CORRIDORS. SUBMIT A DETAILED REPORT WITH ANY UNIT DEFICIENCIES FOR REVIEW AND COURSE OF ACTION BY OWNER.

142 PEEKSKILL HOLLOW RD PUTNAM VALLEY, NY 10579



PVMS TOILET

ROOM

ALTERATIONS

CAPITAL PROJECTS PHASE 2

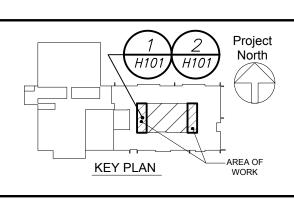


BARILE GALLAGHER & ASSOCIATES

CONSULTING ENGINEERS 39 MARBLE AVE PLEASANTVILLE, NY 10570 14.328.6060 GENERAL@BGA-ENG.com www.BGA-ENG.com

NY SED PROJECT CONTROL NO.

48-05-03-04-0-004-016 CONSTRUCTION **DOCUMENTS**

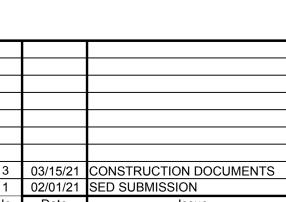


NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF (KG&D). WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY

VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED

ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC ALL RIGHTS RESERVED.

Professional Seal

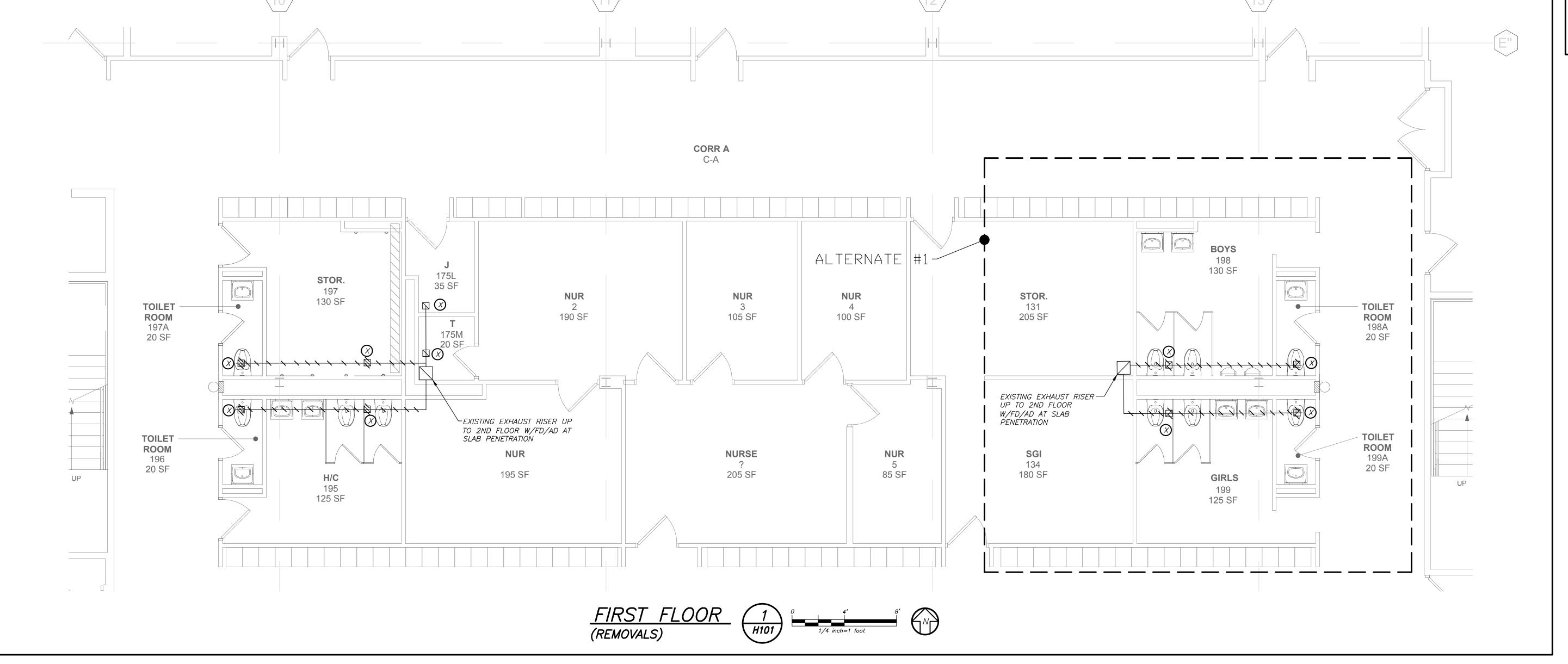


FIRST AND SECOND

FLOOR REMOVAL PLANS

2020-1051 01/14/2021 Drawn / Checked AS NOTED BGA/BGA

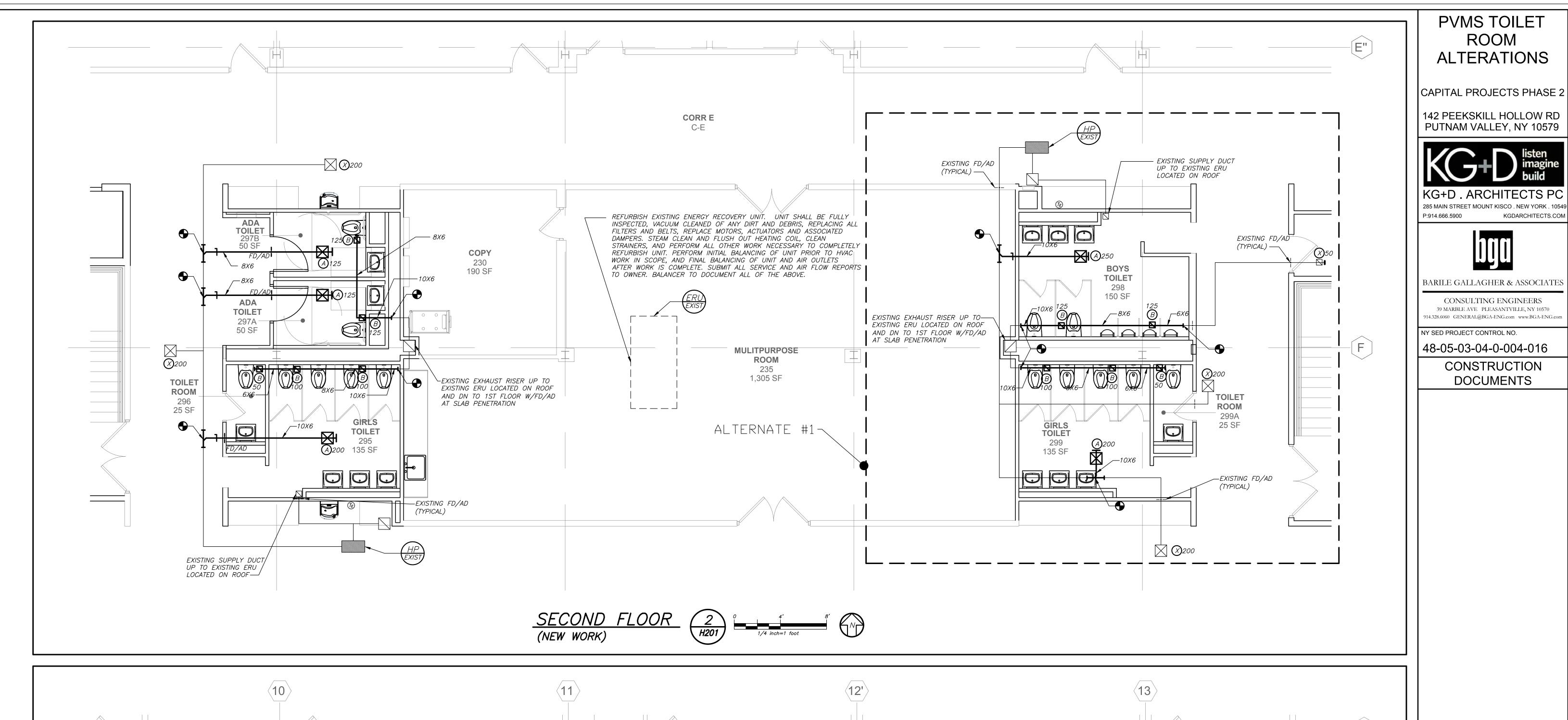
Sheet Number H101 PROJECT TRUE NORTH NORTH

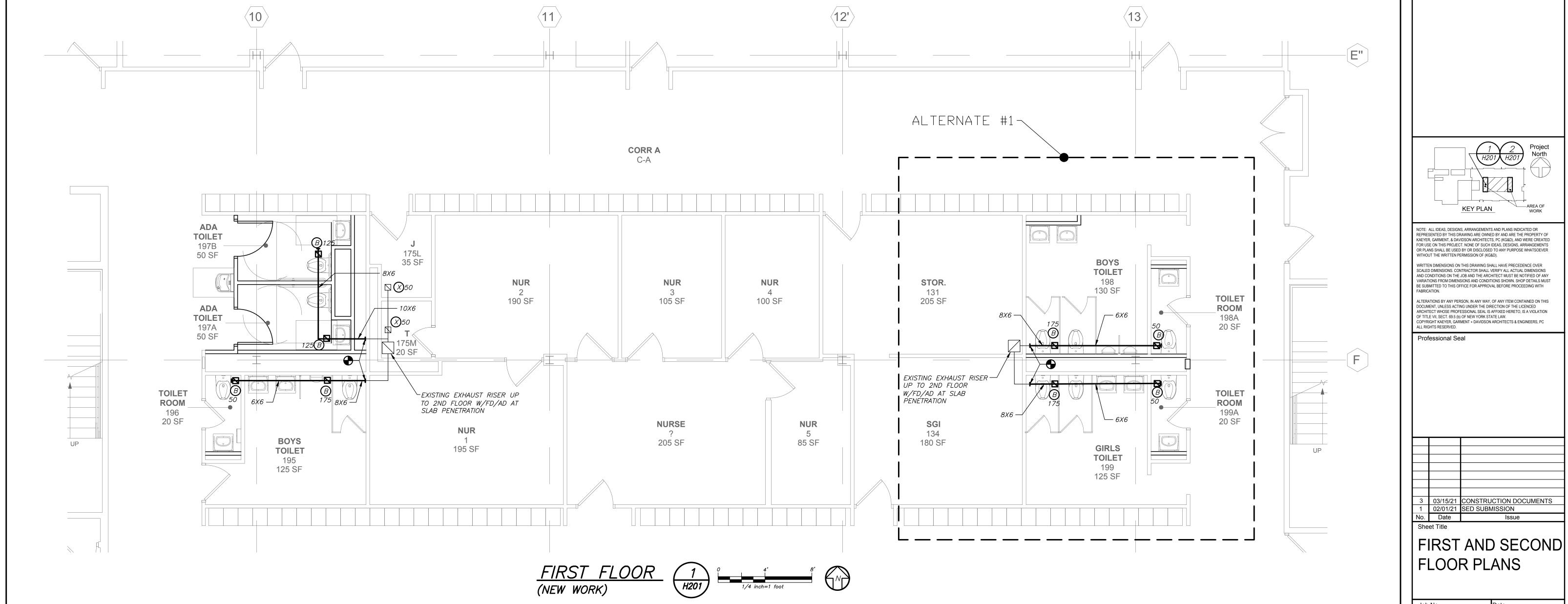


BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON

OF ALL OTHER CONTRACTORS

JOB AND COORDINATE HIS WORK WITH THE WORK





PVMS TOILET ROOM ALTERATIONS

CONSULTING ENGINEERS

39 MARBLE AVE PLEASANTVILLE, NY 10570

CONSTRUCTION

DOCUMENTS

KGDARCHITECTS.COM

02/01/21 SED SUBMISSION

01/14/2021

BGA/BGA

Drawn / Checked

H201

2020-1051

AS NOTED

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON

JOB AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS

	SCHEL	ULE	OF	EXIS	TING	WA	TER	SOL	JRCI	E HEA	TP	UM	P UN	VITS
MARK	MODEL No. 🛈	TYPE	LOCATION	SUPPLY CFM	O.A. CFM	EXT. S.P.	WATER GPM	COOLII TOTAL CAP. (MBH)	NG 2 SENSIBLE (MBH)	HEATING 2 TOTAL CAP. (MBH)	ELEC MCA	CTRICAL MOCP	DATA ELECTRIC SERVICE	REMARKS
HP EXIST	_	HORIZONTAL	CEILING	850	350	0.4	4.5	24.8	18.3	20.0	13.0	20	208/1/60	3

N (1) AS MANUFACTURED BY "WATER FURNACE";

SCHEDULED EER'S AND COP'S ARE AT THE CONDITIONS INDICATED (I.E. 80°F EWT SUMMER AND 30°F EWT WINTER).

3 PERFORMANCE BASED ON 20% ENVIRONOL 200 GLYCOL SOURCE FLUID.

	SCHEDULE OF EXISTING ENERGY RECOVERY UNITS												
	GENERAL	DATA			SUPP	LY FAI	V DATA	RETURN	I–EXHA	AUST FAN	ELECTA	RICAL DATA	
MARK	SERVICE	LOCATION	OUTSIDE AIR CFM MIN/MAX	MODEL No. 🕥	CFM	EXT. S.P. IN WG	MOTOR HP	CFM MIN/MAX	EXT. S.P. IN WG	MOTOR HP	MCA	ELECTRIC SERVICE	REMARKS
ERU EXIST	TOILETS/ CORRIDORS	ROOF	2000	-	2000	0.4	1.5	2000	0.4	1.5	23	208/3/60	34
N (1)	1) AS MANUFACTURED BY "VENMAR" 4) DESIGN AIR CONDITIONS: SUMMER OA (95°F/75°F) RA (75°F/63°F)												

O O BASED ON A.R.I. CERTIFIED COIL SELECTIONS.

WINTER OA (6°F) S BASED ON HOT WATER SUPPLY TEMPERATURE OF 160°F AND RETURN TEMPERATURE OF 140°F. RA (70°F/53°F)

)°F.				`	, ,			
SCH	EDULE	OF	RE	GISTERS	AND	DIFF	USERS	<u> </u>
		MODEL	No.	DIRECTION	DAMPER			

DIRECTION DISCHARGE DAMPER TYPE SERVICE REMARKS CEILING DIFFUSER REFER TO 2456 OPPOSED BLADE SUPPLY EPL/E-1 4-WAYREFER TO 23457 CEILING REGISTER RETURN *30/S/45* EXISTING OUTLE

N (1)AS MANUFACTURED BY "ANEMOSTAT."

O 2 INSTALL PER MANUFACTURERS RECOMMENDATIONS.

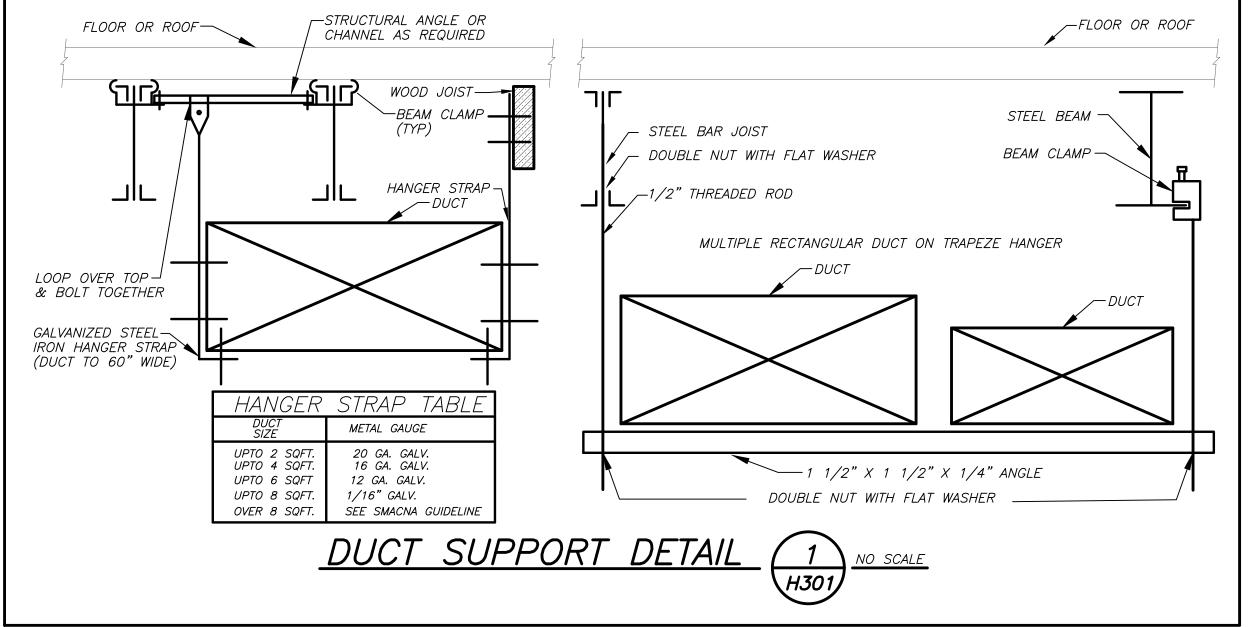
T 3 45 DEGREES DEFLECTION TOWARD WALL/FLOOR.

S 4 PROVIDE CABLE OPERATED DAMPER
WHERE NOT ACCESSIBLE PROVIDE BLANK-OFF BAFFLES, VOLUME DAMPER,
EQUALIZING GRID AND MOLDED INSULATION BLANKET

RETURN NECK SIZE PER CFM RANGE (NOT TO EXCEED 675 fpm) (NOT TO EXCEED 500 fpm)

S	CHEDULE	OF MINIMUN	I VENTILATIO	N ROOM FLOV	V RATES - Mid	dle School	l - First Floor	•
	Δ	D	<u> </u>	D	E	E	6	

		A	В	С	D	E	F	G	Н	I	
ROOM NAME/NUMBER	OCCUPANCY CATEGORY	ROOM AREA (SQ.FT.)	PEOPLE DENSITY (#P/1000 SQ.FT.)	PEOPLE OUTDOOR AIR FLOW RATE (CFM/PERSON)	AREA OUTDOOR AIR FLOW RATE IN BREATHING ZONE (CFM/SQ.FT.)	EXHASUT AIR FLOW RATE (CFM/SQ.FT.)	NUMBER OF PEOPLE (A×B)÷1000=#P	OUTDOOR AIR FLOW RATE WITHOUT ZONE EFFECTIVENESS FACTOR (F×C)+(A×D)=CFM	ZONE AIR DISTRIBUTION EFFECTIVENESS FACTOR	MINIMUM ROOM VENTILATION AIR FLOW RATE G÷H=CFM	MINIMUM EXHAUST AIR FLOW RATE A×E=CFM
Boys Toilet/195	BATHROOM	125	-	-	-	-	-	-	-	-	150
Toilet/196	BATHROOM	20	_	-	-	-	-	-	-	-	50
ADA Toilet/197A	BATHROOM	50	-	-	-	-	-	-	-	-	100
ADA Toilet/197B	BATHROOM	50	-	-	-	-	-	-	_	-	100
Boys Toilet/198	BATHROOM	130	-	-	-	-	-	-	-	-	150
Toilet/198A	BATHROOM	20	-	-	-	-	-	-	-	-	50
Girls Toilet/199	BATHROOM	125	-	-	-	-	-	-	-	-	150
Toilet/199A	BATHROOM	20	-	-	-	-	-	-	-	-	50
Girls Toilet/295	BATHROOM	135	-	-	-	-	-	-	-	-	150
Toilet/296	BATHROOM	20	-	-	-	-	-	-	-	-	50
ADA Toilet/297A	BATHROOM	50	-	-	-	-	-	-	-	-	100
ADA Toilet/297B	BATHROOM	50	-	-	-	-	-	-	-	-	100
Boys Toilet/298	BATHROOM	150	-	-	-	-	-	-	-	-	200
Girls Toilet/299	BATHROOM	135	-	-	-	-	-	-	-	-	150
Toilet/299A	BATHROOM	20	-	-	-	-	-	-	_	-	50



PVMS TOILET ROOM ALTERATIONS

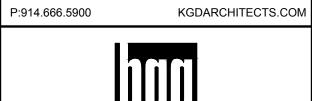
CAPITAL PROJECTS PHASE 2

142 PEEKSKILL HOLLOW RD

PUTNAM VALLEY, NY 10579



285 MAIN STREET MOUNT KISCO . NEW YORK . 10549



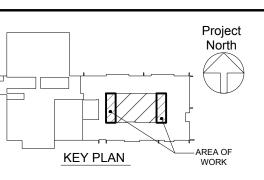
BARILE GALLAGHER & ASSOCIATES

CONSULTING ENGINEERS 39 MARBLE AVE PLEASANTVILLE, NY 10570

914.328.6060 GENERAL@BGA-ENG.com www.BGA-ENG.com NY SED PROJECT CONTROL NO.

48-05-03-04-0-004-016

CONSTRUCTION DOCUMENTS



NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF (KG&D). WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY

VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC ALL RIGHTS RESERVED.

Professional Seal

3	03/15/21	CONSTRUCTION DOCUMENTS
1	02/01/21	SED SUBMISSION
No.	Date	Issue

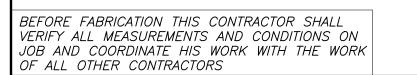
SCHEDULES AND DETAILS

2020-1051 Drawn / Checked

AS NOTED BGA/BGA Sheet Number H301

01/14/2021

PROJECT TRUE NORTH NORTH



GENERAL NOTES

- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES, REGULATIONS, BUILDING STANDARDS AND THE BEST PRACTICES OF THE TRADE FOR FIRST CLASS ELECTRICAL INSTALLATION.
- 2. THE DRAWINGS INDICATE SIZE AND GENERAL LOCATION OF WORK. SCALED DIMENSIONS SHALL NOT BE USED. THE EXACT LOCATION AND ELEVATION OF ALL ELECTRICAL EQUIPMENT SHALL BE COORDINATED IN FIELD WITH RESPECTIVE CONTRACTOR/OWNER.
- WHERE PANELBOARDS, SWITCHES, CIRCUIT BREAKERS, ETC. ARE EXISTING AND TO BE REUSED THE CONTRACTOR SHALL CLEAN AND REFURBISH THE EQUIPMENT. THIS SHALL INCLUDE TIGHTENING ALL CONNECTIONS, REPLACING DEFECTIVE MECHANISMS AND PROVIDING ALL REQUIRED AND NECESSARY MISCELLANEOUS COMPONENTS SO THAT THE EQUIPMENT SHALL BE IN PERFECT WORKING ORDER.
- 4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO SUBMISSION OF BID TO DETERMINE WHAT WORK MUST BE PERFORMED AFTER NORMAL BUSINESS HOURS. UNLESS OTHERWISE DIRECTED ANY NOISY WORK (CHOPPING, CORE DRILLING, HAMMERING, ETC.) AND BUILDING POWER INTERRUPTIONS SHALL BE PERFORMED OUTSIDE OF NORMAL BUSINESS HOURS. CONFIRM NORMAL BUSINESS HOURS WITH BUILDING OWNER. NO ADDITIONAL COST WILL BE CHARGED TO OWNER FOR WORK PERFORMED OUTSIDE NORMAL BUSINESS HOURS.
- 5. ALL WORK WHERE SHOWN WITH DARK/SOLID LINES ON THE DRAWINGS IS NEW UNLESS OTHERWISE NOTED. WHERE SHOWN WITH DASHED LINES WITH LETTER (E) IS EXISTING TO REMAIN, WITH LETTER (R) IS EXISTING TO BE REMOVED, WITH LETTER (ER) IS EXISTING RELOCATED, WITH LETTER (RN) IS EXISTING TO BE REPLACED WITH NEW AND WITH LETTER (RR) IS EXISTING TO BE REMOVED AND RELOCATED.
- 6. CIRCUIT NUMBERS TO EXISTING PANELS ARE SHOWN FOR INTENT ONLY. ACTUAL CIRCUIT NUMBERS TO BE USED SHALL BE AS PER FIELD CONDITIONS BY UTILIZING SPARE CIRCUITS, BREAKERS OR SPACES IN EXISTING PANEL, SIZE AS INDICATED ON THE PLANS. THE ELECTRICAL CONTRACTOR SHALL BALANCE LOAD OF CIRCUITS EVENLY ON ALL PHASES.
- FEEDERS AND BRANCH CIRCUITRY SHALL BE RUN IN MINIMUM "/4" CONDUIT UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO MOTORS MAY BE MADE WITH FLEXIBLE METALLIC CONDUIT (NO LONGER THAN 18"). IN UNFINISHED AREAS CONDUIT SHALL BE RUN EXPOSED AND IN FINISHED AREAS CONDUIT SHALL BE RUN CONCEALED.
- 8. PROVIDE PANEL NAME PLATE MADE OF BLACK LAMINATED PLASTIC WITH WHITE ENGRAVED LETTERING AND TYPE WRITTEN DIRECTORY FOR ALL NEW AND EXISTING PANELS BEING USED FOR THIS PROJECT.
- 9. ALL CONDUCTORS SHALL BE COPPER, TYPE THHN/THWN INSULATED. ALL CONDUCTORS SHALL HAVE 600 VOLT RATED INSULATION UNLESS OTHERWISE NOTED.
- 10. REFER TO ARCHITECT'S REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL CEILING MOUNTED LIGHTING FIXTURES AND OTHER CEILING INSTALLED ITEMS.
- 11. THE USE OF FLEXIBLE CONDUIT FROM LIGHTING FIXTURES TO JUNCTION BOX IS PERMITTED ONLY WHEN A SEPARATE GROUND WIRE IS INSTALLED WITH THE CONDUCTORS INSIDE FLEXIBLE CONDUIT. THE GROUND WIRE MUST BOND THE FIXTURE HOUSING TO THE JUNCTION BOX. MAXIMUM LENGTH 6'-0".
- 12. EXACT LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO THE INSTALLATION.
- WALL MOUNTED EQUIPMENT (SWITCHES, RECEPTACLES, ETC.,) SHALL BE SURFACE MOUNTED IN UNFINISHED AREAS AND ON EXISTING CONCRETE BLOCK WALLS AND FLUSH MOUNTED IN NEW WALLS/PARTITIONS.
- 14. CONDUIT RUNS SHALL BE PARALLEL WITH OR AT RIGHT ANGLES TO WALLS AND CEILINGS. CONDUIT SHALL BE SUPPORTED BY APPROVED MEANS. SUPPORTS FOR HORIZONTAL RUNS OF CONDUIT SHALL NOT EXCEED SEVEN FEET ON CENTERS.
- 15. PROVIDE PULL BOXES, JUNCTION BOXES, CONDUIT ELBOWS AND OFFSETS TO SUIT FIELD CONDITIONS AND THE NATIONAL ELECTRICAL CODE.
- 16. CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT AND F.A. VENDOR BEFORE PROCEEDING WITH WORK INVOLVING FIRE ALARM SYSTEM.
- 17. THE MINIMUM WIRE SIZE FOR 120 VOLT BRANCH CIRCUITS SHALL BE NO. 12 AWG, EXCEPT OVER 100' IN LENGTH SHALL BE NO. 10 AWG.
- 18. PROVIDE ALL REQUIRED AND NECESSARY ACCESSORIES (EX. CONNECTORS, ADAPTERS, BUSHINGS, CLAMPS, ETC.) TO FACILITATE COMPLETE INSTALLATION.
- 19. ALL JUNCTION OR OUTLET BOXES SHALL BE INSTALLED SO AS TO ALLOW ACCESS TO COVER. PROVIDE ARCHITECT APPROVED ACCESS DOORS OR PLATES AS REQUIRED IN AREAS WHERE UNOBSTRUCTED ACCESS TO BOX OR OUTLET IS NOT POSSIBLE.
- 20. PRIOR TO ORDERING LIGHTING FIXTURES, COORDINATE WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. IF DISCREPANCIES EXIST BETWEEN ARCHITECTURAL AND ENGINEERING INFORMATION OBTAIN CLARIFICATION PRIOR TO PROCEEDING.
- 21. MULTIPLE SWITCHES SHOWN IN SAME LOCATION SHALL BE GANGED TOGETHER WITH A COMMON FACEPLATE.
- 22. ALL LIGHTING FIXTURES CONTROLLED BY DIMMER SWITCHES SHALL BE PROVIDED WITH A DEDICATED NEUTRAL CONDUCTOR.
- 23. ALL EMERGENCY LIGHT FIXTURES DESIGNATED 'EM' SHALL BE SWITCHED UNLESS DESIGNATED WITH 'EM/NL' WHICH INDICATES FIXTURE TO SERVE AS NITE LIGHT AND SHALL NOT BE SWITCHED. PROVIDE UNSWITCHED HOT LEG FOR BATTERY CHARGER REGARDLESS OF FUNCTION. ALL EMERGENCY AND EMERGENCY/NITE LIGHT FIXTURES SHALL REVERT TO BATTERY OPERATION UPON INTERRUPTION OF NORMAL POWER AND ILLUMINATE
- 24. WIRING FOR P.A. SYSTEMS SHALL BE IN ACCORDANCE WITH APPROVED MANUFACTURER'S REQUIREMENTS, WIRING INDICATED ON DRAWINGS IS FOR REFERENCE ONLY. WIRING FOR P.A. SYSTEM AND CLOCKS SHALL BE PLENUM RATED AND RUN EXPOSED ABOVE ACCESSIBLE CEILINGS. IT SHALL BE RUN IN EMT CONDUIT WHERE EXPOSED, EXCEPT FOR CORRIDORS, CLASSROOMS AND OFFICES IT SHALL BE RUN IN STEEL SURFACE RACEWAY (SIMILAR TO WIREMOLD V-500 AND/OR V-700).
- 25. PRIOR TO ANY CHASING, CHOPPING OR CORE DRILLING BEING PERFORMED, THE CONTRACTOR SHALL FIELD INVESTIGATE CONDITIONS AND COORDINATE ALL WORK TO
- (NO LESS THAN 3" THICK BACKED UP WITH MINERAL WOOL).
- DAYS WORK.
- DEVIATIONS FROM DESIGN DRAWINGS.
- 29. LIGHT FIXTURES SHALL BE CONSTRUCTED TO SUIT PARTICULAR TYPE OF CEILING AND WALL CONSTRUCTION AND SHALL BE PROVIDED WITH APPROPRIATE TRIMS. MOUNTING FRAMES AND ADAPTERS AS REQUIRED.
- 30. ALL NEW CIRCUIT BREAKERS INSTALLED INTO EXISTING PANELBOARDS SHALL BE UL LISTED FOR USE IN THE PANEL.

GENERAL REMOVAL NOTES

- BEFORE COMMENCING WORK, EXAMINE ALL ADJOINING AREAS THAT MAY BE AFFECTED BY REMOVAL. REPORT TO THE CONSTRUCTION MANAGER ANY CONDITION THAT PREVENTS PERFORMANCE OF THE WORK.
- P. BECOME THOROUGHLY FAMILIAR WITH EXISTING CONDITIONS WHERE CONNECTIONS MUST BE MADE, CHANGED OR ALTERED. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER AND NO CONSIDERATION WILL BE GRANTED BY REASON OF LACK OF FAMILIARITY ON THE PART OF THE CONTRACTOR WITH ACTUAL PHYSICAL CONDITIONS AT THE SITE. INSPECT EACH AND EVERY AREA AFFECTED BY THE ALTERATION OF THE SPACE BEFORE SUBMITTAL OF BID.
- 3. ALL ELECTRICAL EQUIPMENT DESIGNATED WITH (R) IS EXISTING TO BE REMOVED UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - LIGHTING FIXTURES AND SWITCHES. CIRCUIT BREAKERS AND DISCONNECT SWITCHES.
 - RECEPTACLES, OUTLETS AND DEVICES. FIRE ALARM EQUIPMENT AND DEVICES.

PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

- PANELBOARDS. PUBLIC ADDRESS DEVICES.
- 4. ALL CONDUCTORS AND CONDUIT ASSOCIATED WITH THE ELECTRICAL EQUIPMENT SHALL BE REMOVED COMPLETELY BACK TO ITS SOURCE OF POWER AND DISCONNECTED UNLESS OTHERWISE NOTED.
- ALL POWER CONDUCTORS, CONTROL WIRING AND CONDUIT ASSOCIATED WITH MECHANICAL EQUIPMENT SUCH AS FANS, AIR CONDITIONING UNITS, PUMPS, ETC. DESIGNATED FOR REMOVAL ON THE HVAC AND PLUMBING REMOVAL DRAWINGS SHALL BE REMOVED CLEAR BACK TO THE SOURCE OF POWER AND DISCONNECTED. ALL MOTOR STARTERS, DISCONNECT SWITCHES, CONTROL DEVICES, ETC. SHALL BE REMOVED. REFER TO MECHANICAL AND
- 6. CIRCUIT BREAKERS AND/OR SWITCHES IN PANELBOARD(S) OR DISTRIBUTION BOARD(S) MADE SPARE DUE TO REMOVAL SHALL BE DESIGNATED AS SUCH ON THE EQUIPMENT SCHEDULE.
- . THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO TRACE AND RELOCATE ALL EXISTING FEEDERS AND BRANCH CIRCUIT WIRING WHICH PASSES THROUGH THE REMOVAL AREA THAT SERVE EXISTING OCCUPIED SPACES TO REMAIN. COORDINATE WITH CONSTRUCTION MANAGER PRIOR TO ANY SHUTDOWNS OR DISRUPTIONS THAT MAY BE REQUIRED TO ACCOMPLISH THIS WORK.
- 8. DISPOSE OF ALL REMOVED EQUIPMENT, WHICH IS NOT INTENDED TO BE REUSED. PRIOR TO DISPOSAL, CONTACT CONSTRUCTION MANAGER TO DETERMINE IF ANY REMOVED EQUIPMENT IS DESIRED FOR STOCK.
- 9. ELECTRICAL CONTRACTOR SHALL MAINTAIN CONTINUITY OF CIRCUIT FOR EXISTING EQUIPMENT AND DEVICES THAT ARE TO REMAIN. WHERE OUTLETS ARE REMOVED AND NOT AT THE CIRCUIT END, EXTEND CIRCUITRY AS REQUIRED TO MAINTAIN INTEGRITY OF ORIGINAL CIRCUIT. WHERE A WIRING DEVICE IS TO BE REMOVED AND WALL OR CEILING IS TO REMAIN, THE ELECTRICAL CONTRACTOR SHALL REMOVE BRANCH CIRCUITRY FROM ITS SOURCE AND FILL IN OUTLET BOX. BLANK PLATES WILL BE PERMITTED.
- 10. EXISTING CIRCUIT BREAKERS IN PANEL(S) ARE TO BE RE-USED. ELECTRICAL CONTRACTOR TO DISCONNECT PANEL AND CIRCUIT BREAKERS WITH GREAT CARE TO ENSURE AGAINST DAMAGE. THIS CONTRACTOR SHALL PROVIDE NEW CIRCUIT BREAKERS AS REQUIRED.
- . CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ADDITIONAL DEVICES NOT IDENTIFIED ON THIS DRAWING DUE TO FURNITURE AND/OR EQUIPMENT CONCEALMENT.
- 12. EXTEND EXISTING CIRCUITRY TO THOSE DEVICES THAT ARE TO BE RELOCATED. MATCH EXISTING TYPE AND SIZE. RELOCATION OF EXISTING EQUIPMENT SHALL BE PERFORMED ONLY UPON CONSTRUCTION MANAGERS ACCEPTANCE OF EXISTING EQUIPMENT.
- 1.3. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL EXISTING DATA WIRING AS CEILINGS AND WALLS ARE BEING REMOVED. ANY DAMAGED WIRING IS TO BE REPLACED IN KIND.
- 14. FOR ALL LOCATIONS WHERE DEVICES (RECEPTACLES, SWITCHES, FIRE ALARM DEVICES, P.A. DEVICES, CLOCKS, ETC.) ARE REMOVED AND EXISTING BACKBOXES AND JUNCTION BOXES ARE REQUIRED TO REMAIN ON WALL AND CAN NOT BE PATCHED, PROVIDE BLANK STAINLESS STEEL COVER PLATE SIZED AS REQUIRED TO PROPERLY COVER OPENING

ABBREVIATIONS DESCRIPTION AMP/AMPERE A.F.F.ABOVE FINISHED FLOOR CIRCUIT BREAKER CIRCUIT CKTFXISTING TO REMAIN LECTRICAL CONTRACTOR EM *EMERGENCY* FIRE ALARM FIRE ALARM CONTROL PANEL GROUND GROUND FAULT INTERRUPTER KILOVOLT AMPERE KW KILOWATT JGHTING MAIN CIRCUIT BREAKER MDPMAIN DISTRIBUTION PANEL MTDMOUNTED NEUTRAL NOT TO SCALE PUBLIC ADDRESS P.A. PNLPANEL REMOVE EXISTING RECPT RECEPTACLE $W \qquad WATT$

	LEGEND
□ A a	2'x4' CEILING MOUNTED LIGHT FIXTURE. UPPER CASE LETTER DENOTES TYPE, LOWER CASE LETTER DENOTES SWITCH CONTROL. FIXTURE SCHEDULE DENOTES TYPE.
EMÁNL	2'x4' CEILING LIGHT FIXTURE FOR EMERGENCY OPERATION. 'EM' INDICATES SWITCHED EMERGENCY FIXTURE, 'EM/NL'—UNSWITCHED EMERGENCY/NIGHT FIXTURE (TYP.).
∞ /♀	CEILING/WALL MOUNTED EXIT LIGHT WITH OUTLET BOX, DIRECTIONAL ARROWS SHADED PORTION INDICATES ILLUMINATED FACE. SCHEDULE DENOTES TYPE.
S_a^K	FLUSH WALL MOUNTED LIGHTING CONTROL SWITCH CONTROLLING OUTLET "a". 'K' WHERE USED INDICATES KEY SWITCH.
VS	WALL RECESS MOUNTED DUAL TECHNOLOGY VACANCY SENSOR, SIMILAR TO WATTSTOPPER MODEL#DSW-100. MANUAL ON, AUTO OFF.
(OS)	CEILING MOUNTED LOW VOLTAGE, DUAL TECHNOLOGY SENSOR, SIMILAR TO WATTSTOPPER MODEL# DT-300, MANUAL ON, AUTO OFF, WORK WITH LOCAL LOW VOLTAGE MOMENTARY CONTACT WALL SWITCH (LVSW-100). INCLUDE POWER PACKS.
	CONDUCTORS IN CONDUIT CONCEALED BY WALL OR CEILING.
3	HOMERUN TO DESIGNATED PANEL, ARROWHEAD INDICATES SINGLE POLE CIRCUIT. HOMERUN SHALL CONSIST OF $2\#12-3/4$ "C U.O.N.
2,(4,6)	HOMERUN TO DESIGNATED PANEL, NUMBERS IN PARENTHESIS INDICATE MULTIPLE CIRCUIT, I.E. 3—HOTS AND 1—GROUND U.O.N.
	EXISTING TO REMAIN
* – *	EXISTING TO BE REMOVED
	NEW
Φ	125V-2P-3W-20A GROUNDED TYPE, SPECIFICATION GRADE WALL MOUNTED DUPLEX RECEPTACLE HUBBELL #5362.
O	20A FLUSH WALL MOUNTED GROUND FAULT INTERRUPTING TYPE DUPLEX RECEPTACLE HUBBELL #GF5362.
	SURFACE MOUNTED NEW ELECTRICAL PANELBOARD.
F	WALL MOUNTED COMBINATION FIRE ALARM HORN/STROBE DEVICE.
<u>(S)</u>	CEILING MOUNTED IONIZATION TYPE SMOKE DETECTOR
ST	WALL MOUNTED FIRE ALARM STROBE LIGHT.
<u>s</u>	CEILING MOUNTED PA SPEAKERS. PROVIDE CAT6 CABLE FROM DEVICE TO NEAREST IDF CLOSET AND TERMINATE INTO PATCH PANEL

TAG SYMBOL. NUMERAL DENOTES REFERENCE TO A WORK NOTE.

WIRING. REFER TO DRAWINGS FOR ADDITIONAL INFORMATION.

MECHANICAL EQUIPMENT IDENTIFICATION:

----- EQUIPMENT NUMBER

- DRAWING NUMBER

DETAIL/PART PLAN NUMBER IDENTIFICATION:

— DETAIL/PART PLAN NUMBER

SURFACE MOUNTED WIREMOLD V700 FOR RECEPTACLE AND/OR COMMUNICATION

— EQUIPMENT ABBREVIATION (FE, SF, HV, ETC. SEE ABBREVIATIONS ON THIS DWG.)





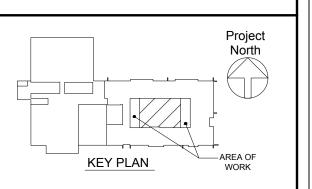
BARILE GALLAGHER & ASSOCIATES

CONSULTING ENGINEERS 39 MARBLE AVE PLEASANTVILLE, NY 10570 914.328.6060 GENERAL@BGA-ENG.com www.BGA-ENG.com

NY SED PROJECT CONTROL NO.

| 48-05-03-04-0-004-016 CONSTRUCTION

DOCUMENTS



NOTE: ALL IDEAS DESIGNS ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED FOR USE ON THIS PROJECT, NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF (KG&D). WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS, CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS

BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO. IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

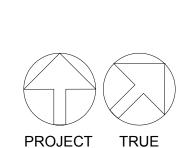
COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC

AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY

ALL RIGHTS RESERVED. Professional Seal

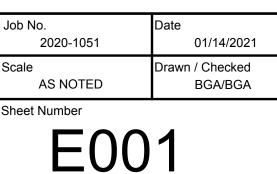
3	03/15/21	CONSTRUCTION DOCUMENTS
1	02/01/21	SED SUBMISSION
No.	Date	Issue

LEGEND, NOTES & **ABBREVIATIONS**



NORTH

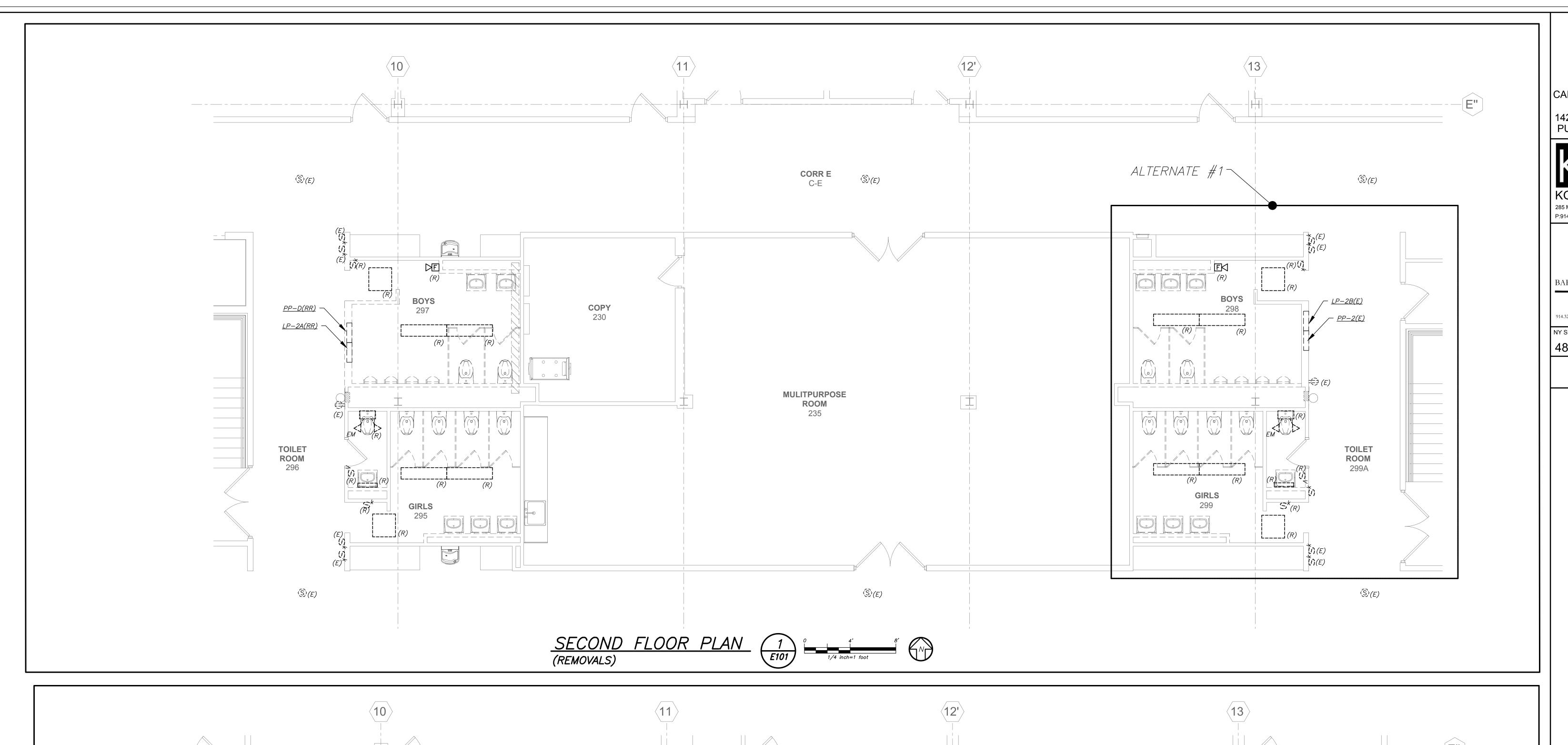
NORTH

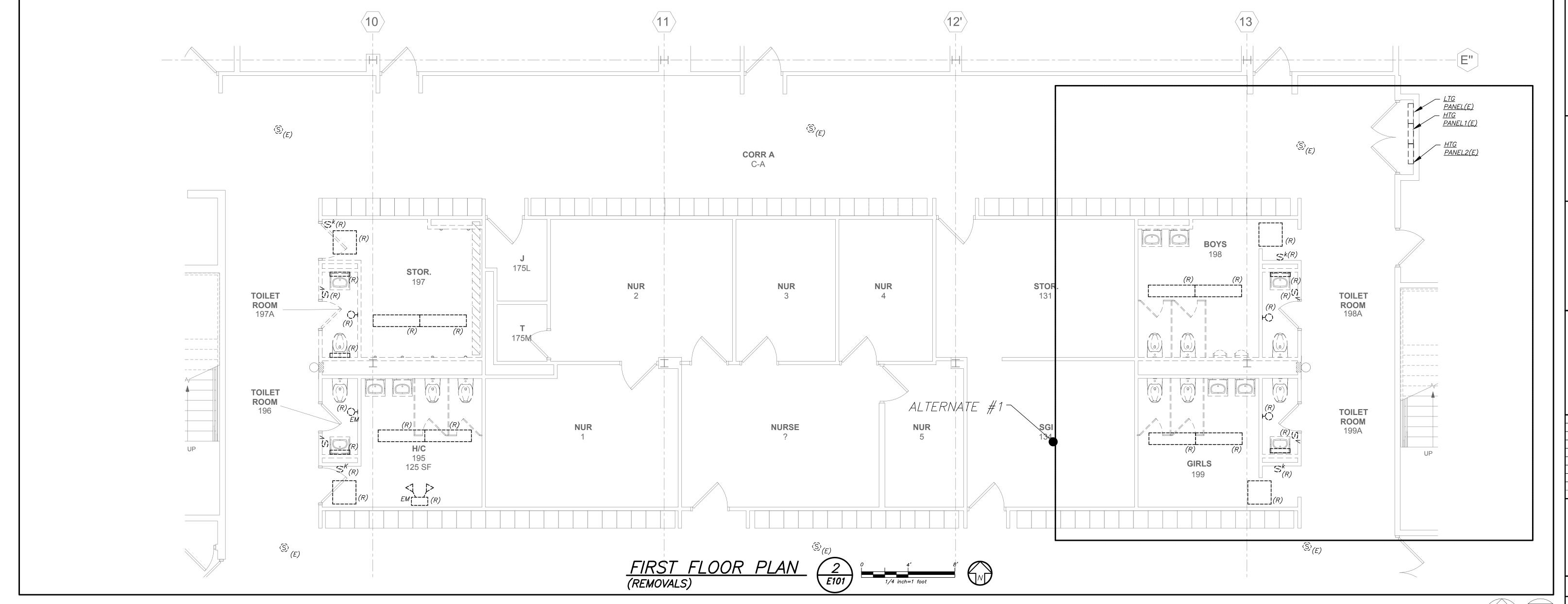


- REGARDLESS OF LIGHT SWITCH POSITION.
- ENSURE THAT IT WILL BE IN HARMONY AND NOT AFFECT ANY EXISTING BUILDING SYSTEMS. THIS WORK MUST BE APPROVED BY BUILDING OWNER PRIOR TO PROCEEDING.
- 26. OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANCE RATED WALLS, PARTITIONS, FLOORS OR CEILINGS SHALL BE FIRE STOPPED USING APPROVED METHODS. ALL SLEEVES MUST HAVE BUSHINGS. SEALANT SHALL BE 3 HOUR FIRE BARRIER #CP-25
- 27. ALL PANELBOARD COVERS SHALL BE INSTALLED IN PLACE AT THE COMPLETION OF EACH
- 28. PREPARE 'AS-BUILT' DRAWINGS THAT REFLECT ACTUAL CONSTRUCTION AND SHOW

DISPOSAL OF MERCURY CONTAINING LAMPS

- ALL FLUORESCENT AND HID LAMPS WITHIN REMOVED LIGHT FIXTURES ARE CONSIDERED MERCURY CONTAINING AND SHALL BE TREATED AS HAZARDOUS MATERIAL.
- 2. FLUORESCENT AND HID LAMPS SHALL BE REMOVED FROM DEMOLISHED LIGHT FIXTURES AND DISPOSED OF AS PER NEW YORK STATE DEC REGULATIONS AND METHODS
- $^{\it 3.}$ LAMPS MUST BE BAGGED IN NON-LEACHING PLASTIC BAGS AND SEALED TO PREVENT LEAKING. 4. EACH LAMP OR BAGGED CONTAINER IN WHICH THESE LAMPS ARE CONTAINED MUST BE LABELED OR MARKED CLEARLY WITH ONE OF THE FOLLOWING PHRASES; UNIVERSAL WASTE LAMPS, OR WASTE LAMPS,
- 5. THESE MARKED BAGS MUST BE DELIVERED TO THE PROPER NEW YORK STATE D.E.C. AUTHORIZED LANDFILL OR RECYCLE CENTERS.





PVMS TOILET ROOM ALTERATIONS

CAPITAL PROJECTS PHASE 2

142 PEEKSKILL HOLLOW RD PUTNAM VALLEY, NY 10579



KG+D. ARCHITECTS PC
285 MAIN STREET MOUNT KISCO. NEW YORK. 10549
P:914.666.5900 KGDARCHITECTS.COM



BARILE GALLAGHER & ASSOCIATES

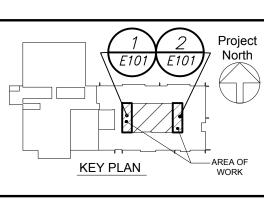
CONSULTING ENGINEERS
39 MARBLE AVE PLEASANTVILLE, NY 10570
914.328.6060 GENERAL@BGA-ENG.com www.BGA-ENG.co

NY SED PROJECT CONTROL NO.

48-05-03-04-0-004-016

CONSTRUCTION

DOCUMENTS



NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEVER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF (KG&D).

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

FABRICATION.

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC ALL RIGHTS RESERVED.

Professional Seal

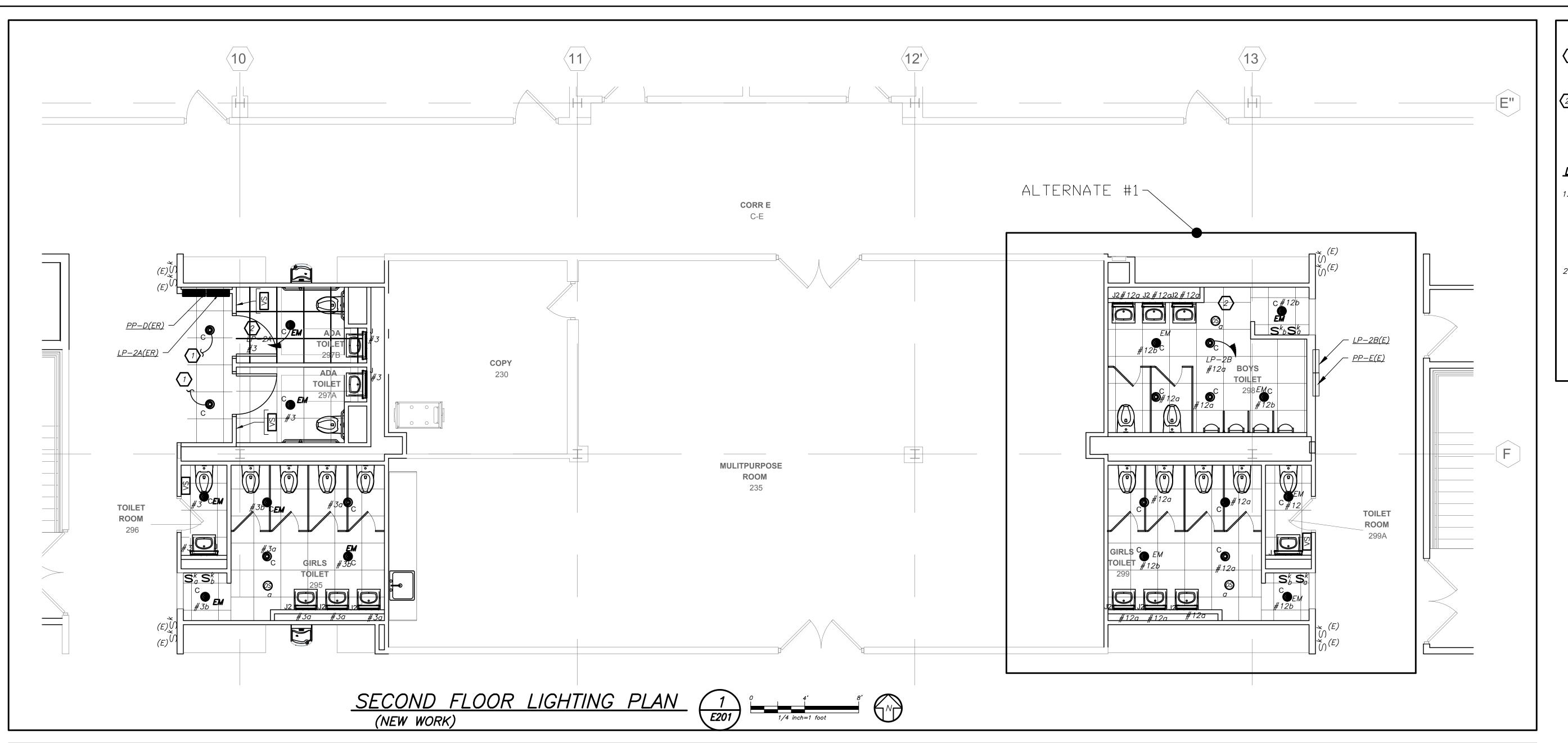
3 03/15/21 CONSTRUCTION DOCUMENTS

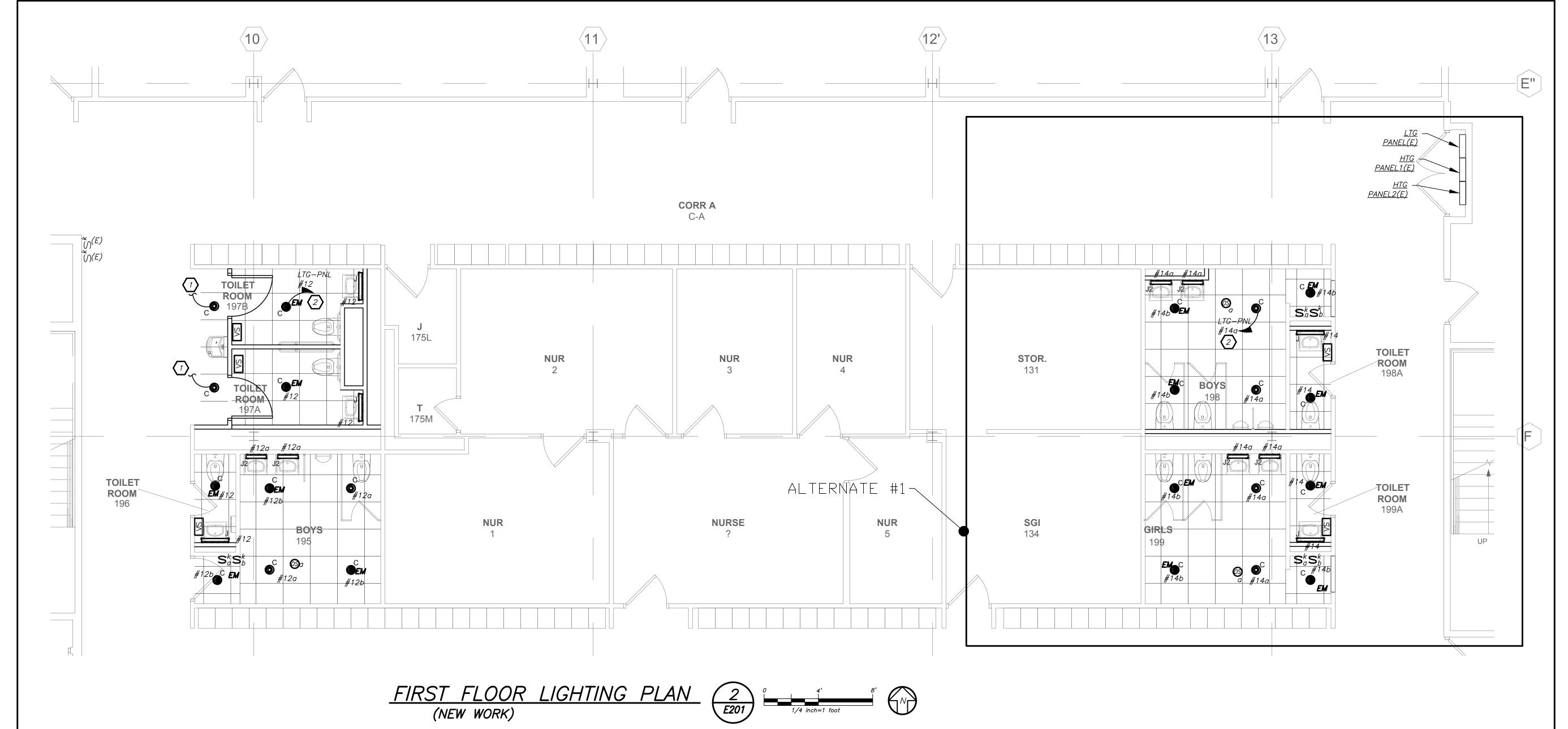
1 02/01/21 SED SUBMISSION
No. Date Issue
Sheet Title
FIRST AND SECOND
DEMOLITION DLANG

DEMOLITION PLANS

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON JOB AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS

PROJECT TRUE NORTH NORTH





<u>WORK NOTES:</u>

- CIRCUIT NEW CORRIDOR LIGHTING ON EXISTING LIGHTING
 CIRCUIT IN THIS AREA PROVIDE 2#12+1#12G IN 3/4"C AS
 NEEDED. FIXTURES SHALL BE CONTROLLED VIA EXISTING
 LOCAL SWITCHES.
- CIRCUIT NEW BATHROOM LIGHTING TO CIRCUIT BREAKER MADE AVAILABLE AFTER DEMO WORK. PROVIDE 2#12+1#12G TO THE INDICATED PANELBOARD. CIRCUIT NUMBERS ARE FOR REFERENCE ONLY. EC TO CONFORM CIRCUIT NUMBERS IN FIELD.

LIGHTING CONTROL AND SEQUENCE OF OPERATION

- 1. GANG TOILETS ARE CONTROLLED VIA MANUAL WALL MOUNTED KEY SWITCH AND OCCUPANCY SENSORS. WALL SWITCHES CONSISTS OF 'ON' AND 'OFF'. THE OCCUPANCY SENSORS SHALL HAVE THE AUTO ON AUTO OFF FEATURE WHICH SHALL TURN ALL LIGHTS IN THE DESIGNATED ZONE OFF AFTER 20 MINUTES WHEN THE BATHROOM IS VACANT. SELF CONTAINED BATTERY PACKS TO OVERRIDE ALL CONTROLS IN EVENT OF EMERGENCY.
- 2. SINGLE TOILETS SHALL BE CONTROLLED VIA WALL MOUNTED VACANCY SENSOR. THE VACANCY SENSORS CONSISTS OF MANUAL 'ON' AND AUTO 'OFF'. THE AUTO OFF FEATURE WHICH SHALL TURN ALL LIGHTS OFF AFTER 20 MINUTES WHEN THE THE BATHROOM IS VACANT. SELF CONTAINED BATTERY PACKS TO OVERRIDE ALL CONTROLS IN EVENT OF EMERGENCY.

PVMS TOILET ROOM ALTERATIONS

CAPITAL PROJECTS PHASE 2

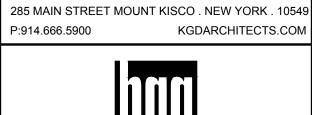
142 PEEKSKILL HOLLOW RD

PUTNAM VALLEY, NY 10579

listen imagine build

KG+D . ARCHITECTS PC

285 MAIN STREET MOUNT KISCO . NEW YORK . 10549



BARILE GALLAGHER & ASSOCIATES

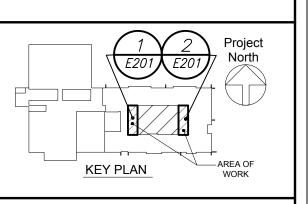
CONSULTING ENGINEERS
39 MARBLE AVE PLEASANTVILLE, NY 10570
914.328.6060 GENERAL@BGA-ENG.com www.BGA-ENG.com

NY SED PROJECT CONTROL NO.

48-05-03-04-0-004-016

CONSTRUCTION

DOCUMENTS



NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF (KG&D).

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY

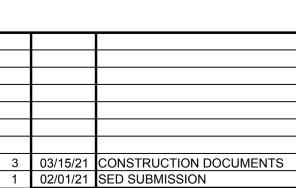
VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF THE LIVESCET & 6.5 (b) OR INVENTED HERETO, IS A VIOLATION

ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC ALL RIGHTS RESERVED.

Professional Seal



No. Date Issue

Sheet Title

FIRST AND SECOND

FLOOR LIGHTING
PLANS

 Job No.
 Date

 2020-1051
 01/14/2021

 Scale
 Drawn / Checked

 AS NOTED
 BGA/BGA

E201

PROJECT TRUE NORTH NORTH

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON

OF ALL OTHER CONTRACTORS

JOB AND COORDINATE HIS WORK WITH THE WORK



CIRCUIT NEW BRANCH POWER TO CIRCUIT BREAKER MADE AVAILABLE AFTER DEMO WORK. PROVIDE 2#12+1#12-3/4" C TO THE INDICATED PANEL BOARD.

RELOCATE EXISTING PANELBOARD TO NEW LOCATION. EC TO UTILIZE EXISTING BREAKERS INTO THE NEW PANELBOARD. EXTEND ALL BRANCH POWER TO NEW LOCATION. PROVIDE ALL REQUIRED ACCESSORIES AS NEEDED FOR COMPLETE OPERATIONAL PANELBOARD.

PVMS TOILET ROOM ALTERATIONS

CAPITAL PROJECTS PHASE 2

142 PEEKSKILL HOLLOW RD PUTNAM VALLEY, NY 10579





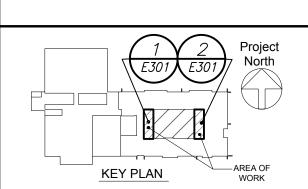


BARILE GALLAGHER & ASSOCIATES

CONSULTING ENGINEERS 39 MARBLE AVE PLEASANTVILLE, NY 10570 914.328.6060 GENERAL@BGA-ENG.com www.BGA-ENG.co

NY SED PROJECT CONTROL NO.

48-05-03-04-0-004-016 CONSTRUCTION **DOCUMENTS**



NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF (KG&D). WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY

VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC ALL RIGHTS RESERVED.

Professional Seal

3	03/15/21	CONSTRUCTION DOCUMENTS

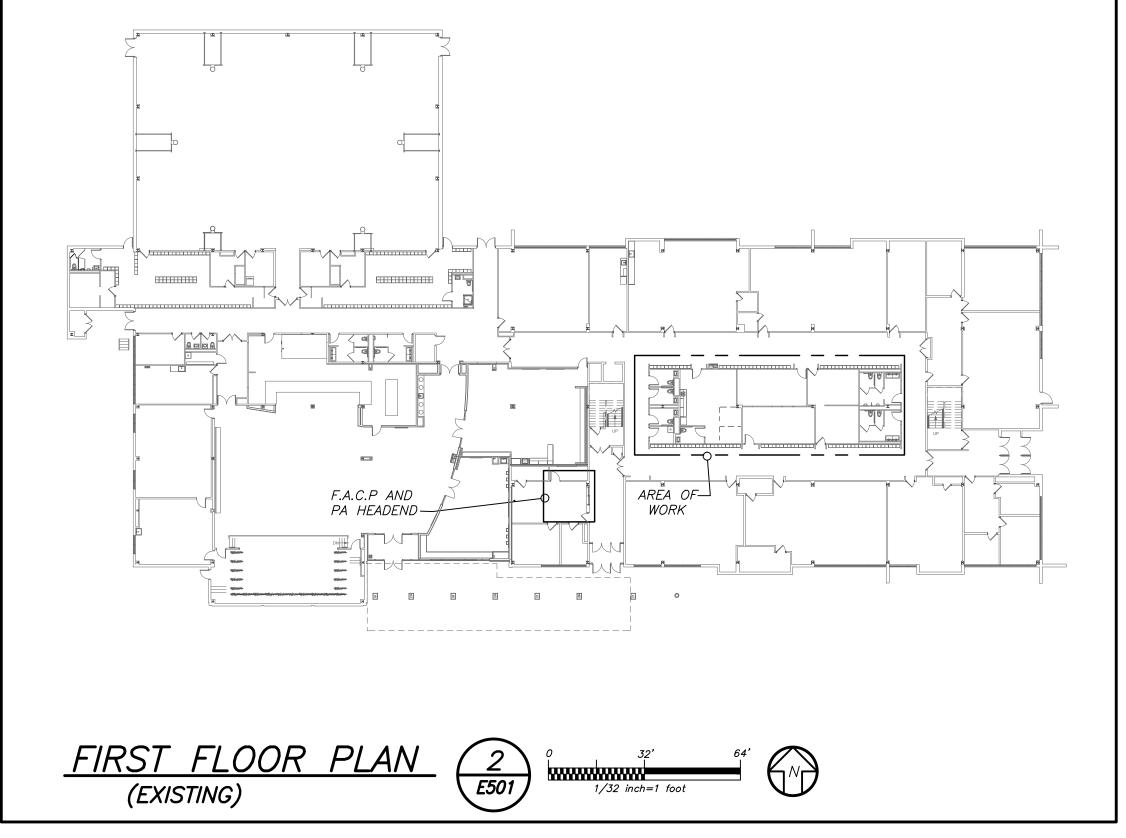
FIRST AND SECOND FLOOR POWER PLANS

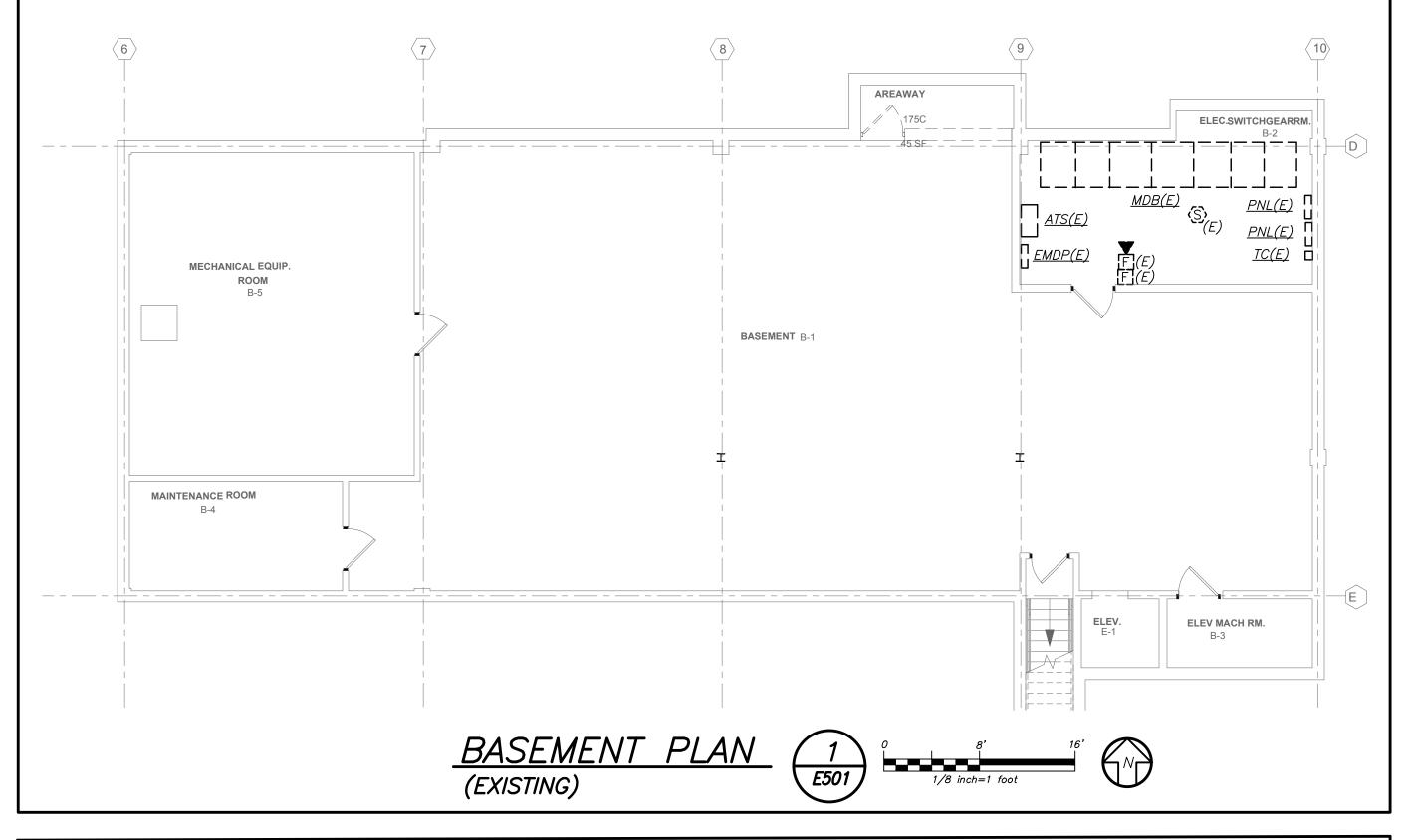
01/14/2021 Drawn / Checked AS NOTED BGA/BGA

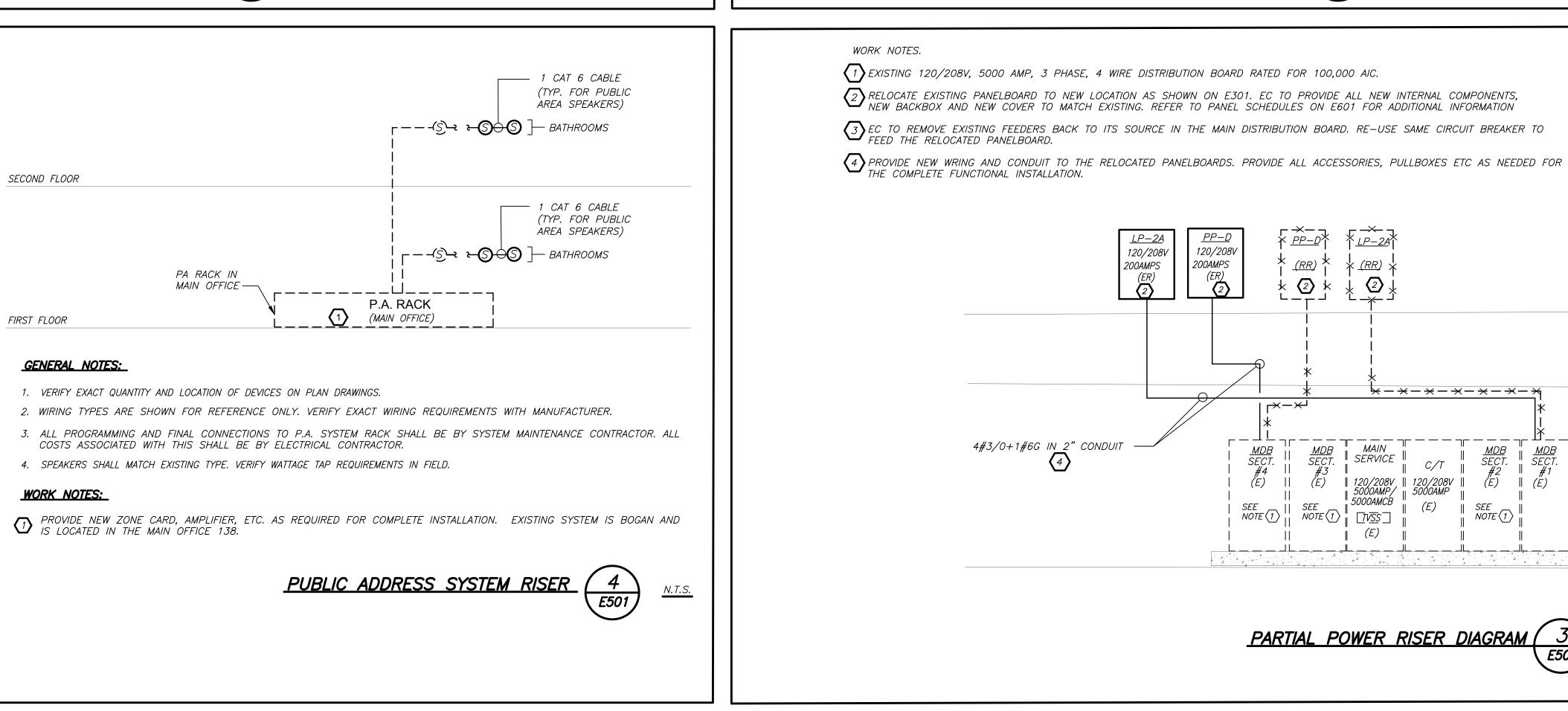
PROJECT TRUE NORTH

E301

LIGHTING FIXTURE SCHEDULE									
TYPE	MOUNTING	LAMPS	DESCRIPTION	MANUFACTURER & CAT.#					
С •	CEILING RECESSED MOUNTED	19 WATTS LED 120V	4" ROUND DOWNLIGHT. 1500 LUMEN OUTPUT,3500K COLOR TEMP WIDE DISTRIBUTION, SEMI SPECULAR FINISH	MANUFACTURER: PRESCOLITE LTR-4RD-H-SL15L-DM1-120 LTR-4RD-T-SL-35K-8-WD-SS-WT					
C ⊕ EM	CEILING RECESSED MOUNTED	19 WATTS LED 120V	SAME AS FIXTURE "C" EXCEPT WITH EMERGENCY BATTERY PACK.	MANUFACTURER: PRESCOLITE LTR-4RD-H-SL15L-DM1-120-EM LTR-4RD-T-SL-35K-8-WD-SS-WT					
J	WALL SURFACE MOUNTED	8.4 WATTS LED 120V	24" HORIZONTAL WALL MOUNTED WET LOCATION LED 1181 LUMENS, 3500K COLOR TEMP OPAL ACRYLIC DIFFUSER WITH SATIN PEWTER FINISH. CUSTOM LENGHT	MANUFACTURER: ULTRALIGHT MOD 9131—24HM—SP—OA—O2—3500K					
J2	WALL SURFACE MOUNTED	8.4 WATTS LED 120V	18" HORIZONTAL WALL MOUNTED WET LOCATION LED 1181 LUMENS, 3500K COLOR TEMP OPAL ACRYLIC DIFFUSER WITH SATIN PEWTER FINISH.	MANUFACTURER: ULTRALIGHT MOD 9131-18HM-SP-OA-02-3500K					







1. FIRE ALARM WIRING DIAGRAMS SHOWN ARE FOR GENERAL ARRANGEMENT ONLY. ELECTRICAL CONTRACTOR SHALL

COMMENCEMENT OF THE WORK. ALL PERMIT COSTS AND INSPECTION FEES SHALL BE INCLUDED AS PART OF

3. IN AREAS WHERE DUST AND DIRT WILL BE AIRBORNE DURING DEMOLITION AND CONSTRUCTION THE CONTRACTOR

VERIFY AND OBTAIN POINT TO POINT WIRING DIAGRAM PRIOR TO INSTALLATION FROM MANUFACTURER.

2. PERMITS AND APPROVALS NECESSARY FOR INSTALLATION OF THE WORK SHALL BE OBTAINED PRIOR TO THE

SHALL PROVIDE PLASTIC WRAP OVER SMOKE DETECTORS AND THEN REMOVE ONCE SPACE IS CLEAN.

4. UNLESS DIRECTED OTHERWISE BY FIRE ALARM SYSTEM MANUFACTURER FIRE ALARM

THE CABLE SHALL BE A TYPE FPLP (PLENUM TYPE) WHEN CONDUIT IS USED.

CONFIRM WIRING TYPE AND QUANTITY WITH FIRE ALARM SYSTEM MANUFACTURER PRIOR

PROVIDE MC FIRE ALARM CABLE WITH RED STRIPE AS MANUFACTURED BY AFC SERIES 1800

WHEN CABLE IS CONCEALED OR ABOVE HUNG CEILING. WHEN FIRE ALARM CABLE IS RUN

EXPOSED IN FINISHED AREAS, CABLE SHALL RUN IN WIREMOLD V-700. WHEN FIRE ALARM

CABLE IS RUN EXPOSED IN UNFINISHED AREAS, PROVIDE PLENUM RATED CABLE IN MIN.

WALL MOUNTED HORN/STROBE UNITS SHALL NOT HAVE ANY OTHER DEVICES OR APPURTENANCES WITHIN 5 FEET OF THE DEVICE. THEY SHALL BE A MAXIMUM OF 80 INCHES ABOVE FLOOR OR 6" BELOW THE CEILING, WHICHEVER IS LOWER. DEVICES SHALL BE FLUSH MOUNTED IN ALL FINISHED AREAS. PROVIDE DOUBLE DEEP DEVICE BOX IN WALL.

FIRE ALARM RESET TO NORMAL MODE. RESTART OF EQUIPMENT SHALL BE SEQUENTIAL.

SHUTDOWN HAS OCCURRED. EQUIPMENT RESTART SHALL BE BY BUILDING 'ATC' SYSTEM UPON

LEXAN COVER. COVER SHALL BE AS MANUFACTURED BY SAFETY TECHNOLOGY INTERNATIONAL

6. STROBES SHALL HAVE A MINIMUM LIGHT OUTPUT OF 75 CANDELA AND A FLASH RATE

8. SHUTDOWN OF HVAC SYSTEM EQUIPMENT WITH SUPPLY AIR OF 2000 CFM OR GREATER, SEND SIGNAL TO BUILDING AUTOMATED TEMPERATURE CONTROL SYSTEM (ATC) INDICATING

9. AFTER THE SYSTEM IS COMPLETE, TEST ALL COMPONENTS IN ACCORDANCE

11. ALL DEVICES SHALL BE SUPERVISED AS PER N.F.P.A. 72. PROVIDE END OF LINE

10. ALL PULL STATIONS SHALL BE MOUNTED 48" AFF AND PROVIDED WITH CLEAR PROTECTIVE

RESISTORS AS REQUIRED PER INDIVIDUAL MANUFACTURER. PROVIDE LOAD RELAYS

12. VERIFY EXACT QUANTITY OF DEVICES WITH PLANS. COORDINATE F.A WORK WITH F.A VENDOR.

WITH SEQUENCE OF OPERATION PRIOR TO FIRE DEPARTMENT INSPECTION.

AS REQUIRED FOR PROPER OPERATION OF EQUIPMENT.

F. THE CABLE SHALL BE VISIBLY MARKED EXTERNALLY THAT IT MEETS THE ABOVE

DEVICE WIRING SHALL BE AS FOLLOWS (FOR BIDDING PURPOSES ONLY):

HORN WIRING - #16 AWG TWISTED

STROBE WIRING - "#14 AWG TWISTED

A. A MINIMUM TEMPERATURE RATING OF 150 C

THE COLOR OF THE CABLE SHALL BE RED

REQUIREMENTS AND IS LISTED BY UL.

TO PURCHASING.

3/4" CONDUIT.

INC. CAT.#STI 1100 STOPPER II.

SEE NOTE 5 FOR ADDITIONAL CLARIFICATION.

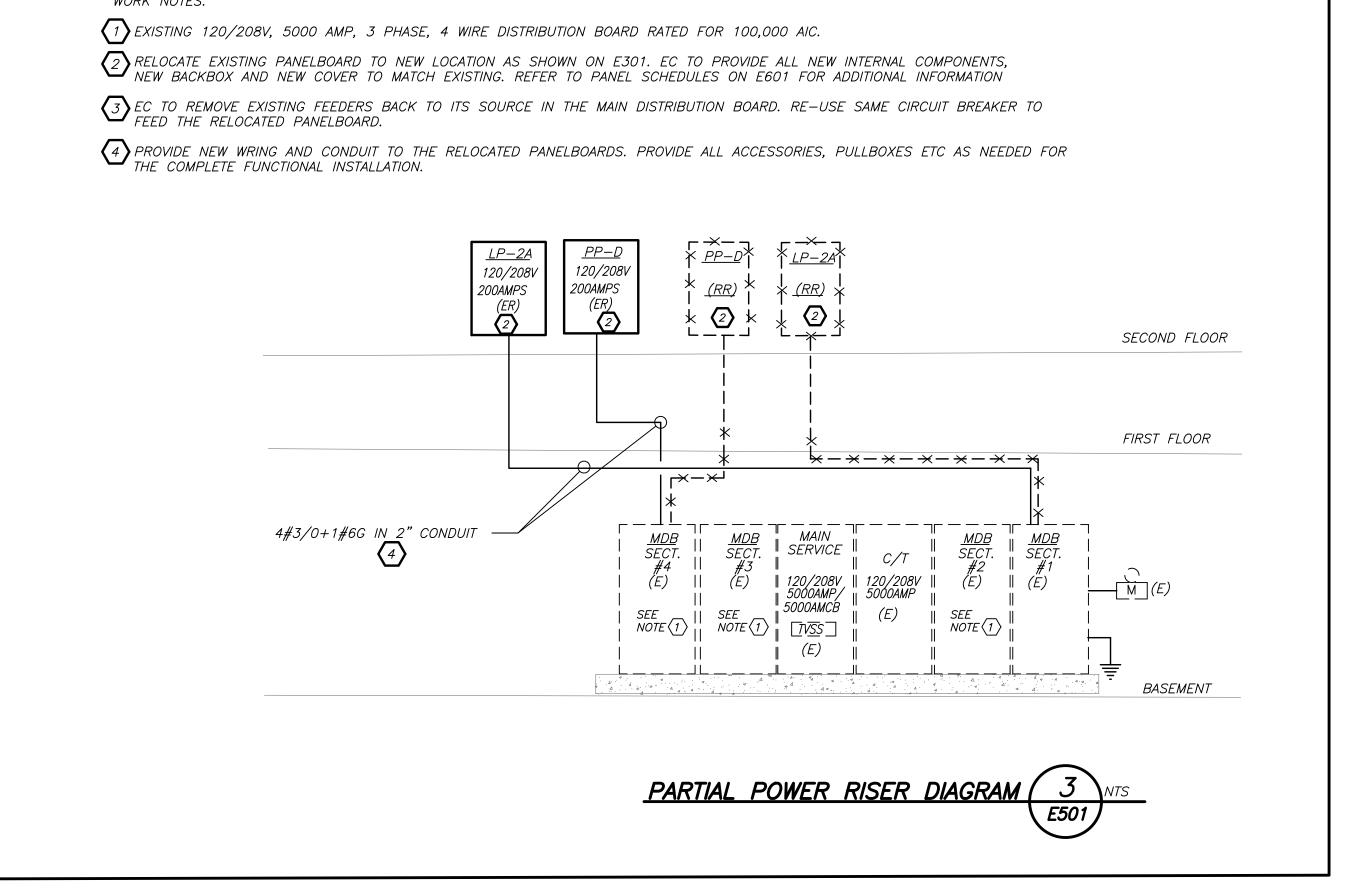
SIGNAL WIRING - #14 AWG TWISTED/SHIELDED

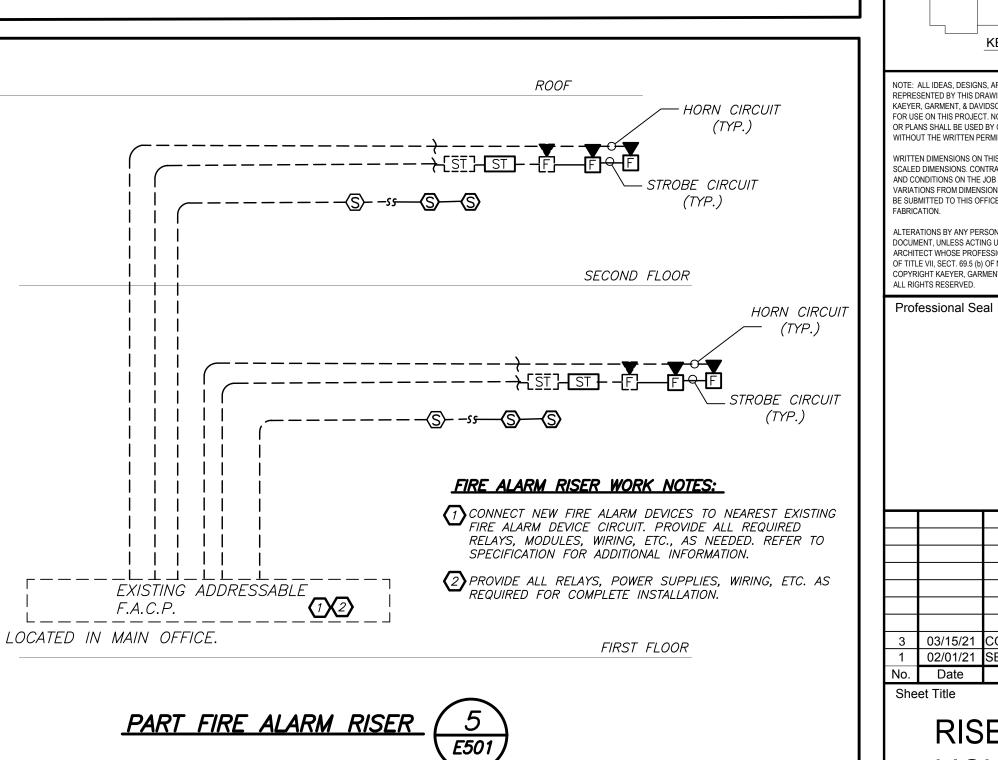
THE WIRING SHALL HAVE THE FOLLOWING CHARACTERISTICS:

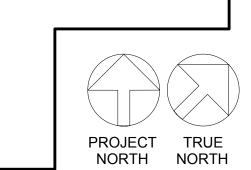
B. A MINIMUM AVERAGE INSULATION THICKNESS OF 15 MILS

A MINIMUM AVERAGE JACKET THICKNESS OF 25 MILS

FIRE ALARM RISER GENERAL NOTES:







PVMS TOILET ROOM **ALTERATIONS**

CAPITAL PROJECTS PHASE 2

142 PEEKSKILL HOLLOW RD PUTNAM VALLEY, NY 10579







BARILE GALLAGHER & ASSOCIATES

CONSULTING ENGINEERS 39 MARBLE AVE PLEASANTVILLE, NY 10570 14.328.6060 GENERAL@BGA-ENG.com www.BGA-ENG.co

NY SED PROJECT CONTROL NO. 48-05-03-04-0-004-016

CONSTRUCTION DOCUMENTS

KEY PLAN

NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER

WITHOUT THE WRITTEN PERMISSION OF (KG&D). SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS

DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW. COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC ALL RIGHTS RESERVED.

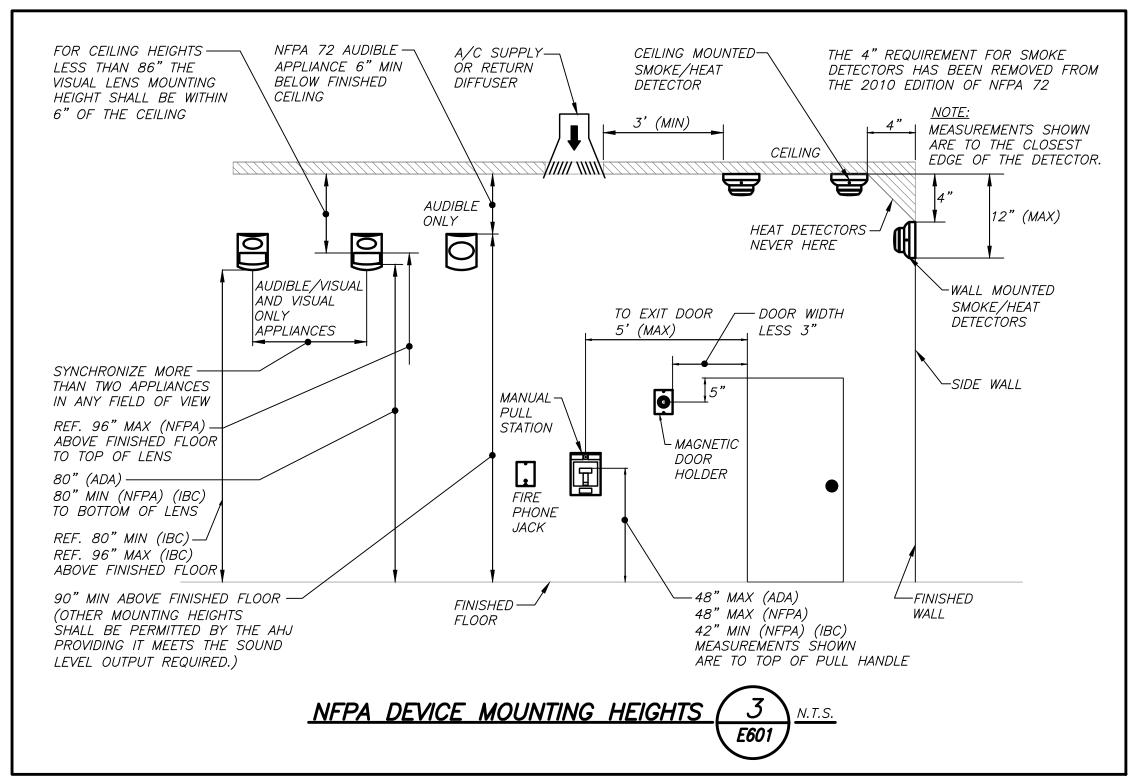
3 03/15/21 CONSTRUCTION DOCUMENTS 02/01/21 SED SUBMISSION

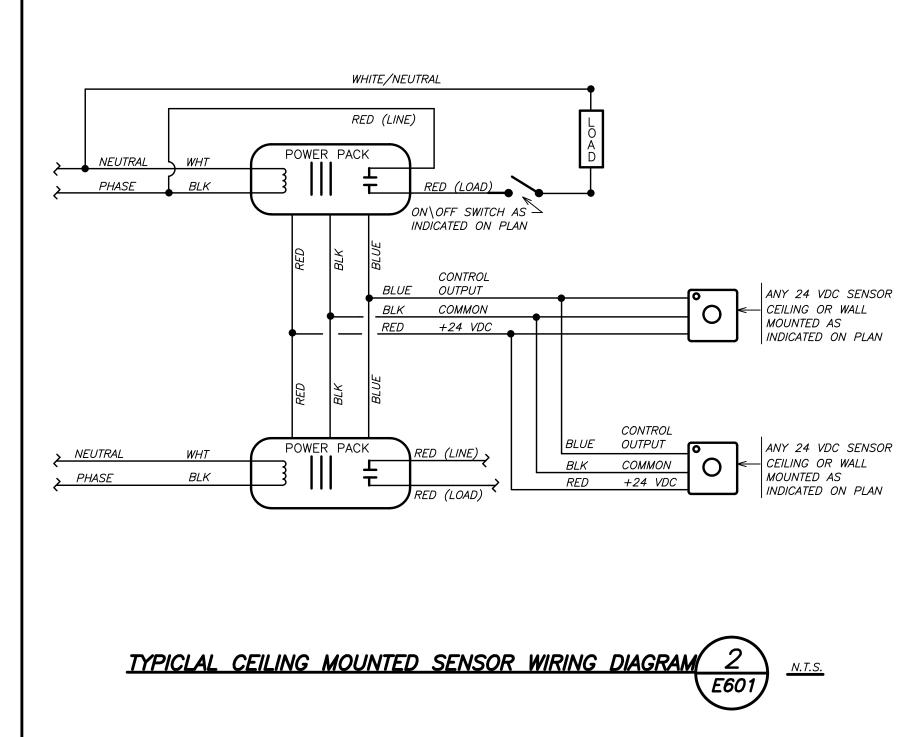
> RISERS AND LIGHTING SCHEDULE

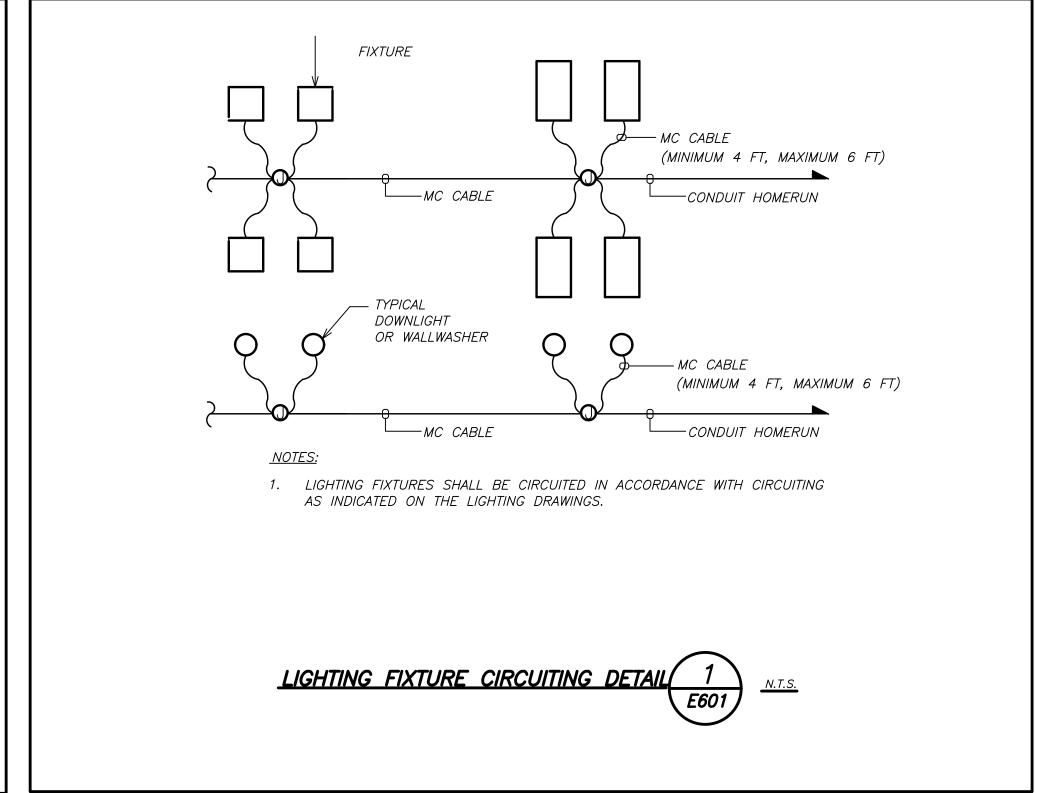
2020-1051 01/14/2021 Orawn / Checked AS NOTED BGA/BGA

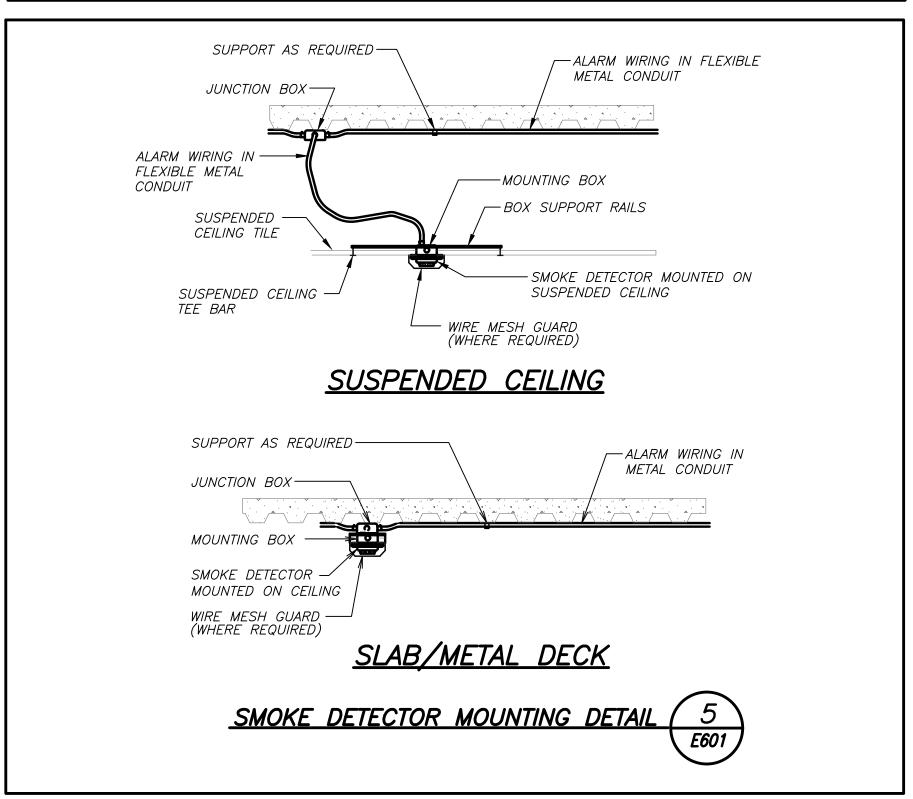
Sheet Number E50²

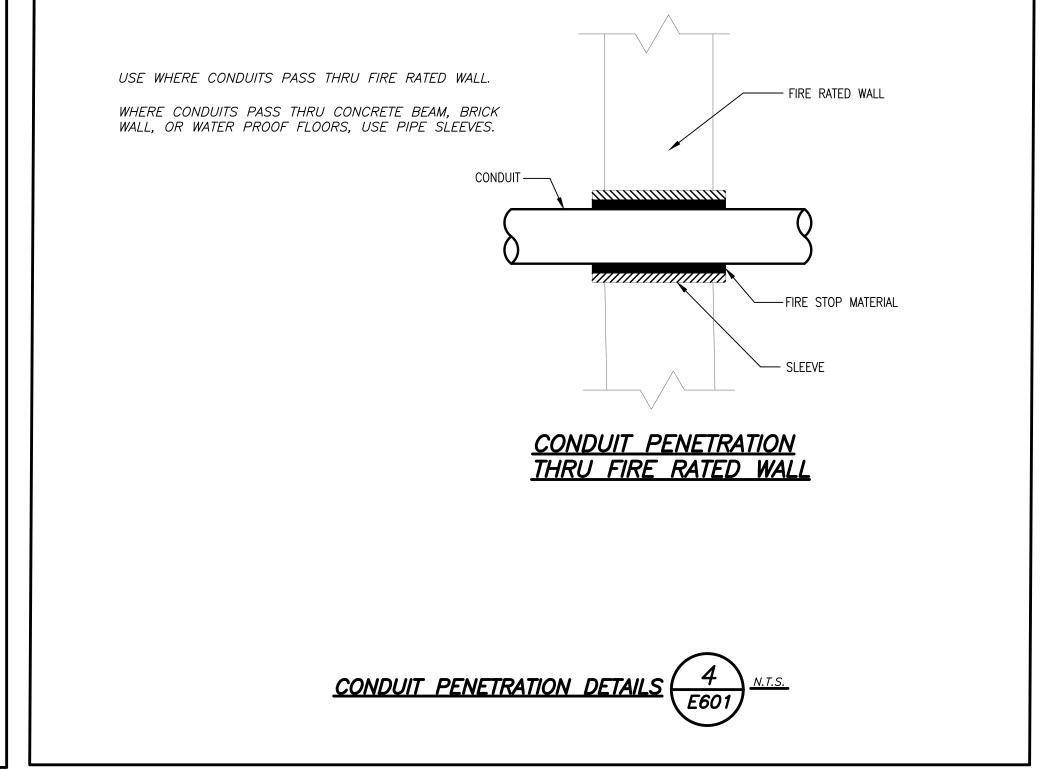
BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON JOB AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS











PNL: PP-D (ER)			MOUNTING:	X	MAIN LUGS ONLY				X	MAIN	C BKR-	GROUND BUS:		<u>X</u>		
208Y/120, 3 PHASE, 4 WIRE		(NEMA 1)		DOUBLE LUGS				1		ISOLATED GROUND	BUS:					
		IIN A.I.C. SYM		IN	мсс			FEED	THRU	LUG	Х	MAIN	BUS -		TVSS:	
NEUTRAL: 100%						SHUNT TRIP MAIN			├ ─	200A		NUMBER OF P	OLES:	54		
	I				1				I					<u> </u>	I	
	TRIP	LOAD	WIRE	CND.		<i>A / PH</i>	Т			A / PH.	1	T	WIRE	LOAD	TRIP	
No.	(AMP)			(IN.)	A	В	С		Α	В	С	(IN.)			(AMP)	No
1	20	GFI	2#12+1#12G	3/4	0.50							-	EXIST	EXISTING LOAD	30	2
3	20	GFI	2#12+1#12G	3/4		0.50						_	-	LXISTING LOAD	2	4
5	20	SPARE	-	-							-	-	EXIST	EXISTING LOAD	30	6
7	20 /			-								-	-	LXISTING LOAD	2	8
9		SPARE	-	-								_	-	EXISTING LOAD	30	10
11	/ 3			•								-	EXIST	EXISTING LOAD	2	12
13	20	EXISTING LOAD	-	-								_	EXIST	EVICTING LOAD	30	14
15		EXISTING LOAD	-	-			13					-	-	EXISTING LOAD	2	16
17	20	EXISTING LOAD	-	-								-	EXIST	EVICTING LOAD	30	18
19	15	EXISTING LOAD	EXIST	-								_		EXISTING LOAD	2	20
21	15	EXISTING LOAD	EXIST	-								-	EXIST	EVICTING LOAD	30	22
23	15	EXISTING LOAD	EXIST	-								_	-	EXISTING LOAD	2	24
25	15	SPARE	~	_								_	EXIST	5,407,104,040	30/	26
27	15	SPARE	~	_								_	-	EXISTING LOAD	2	28
29	15	SPARE	~	_						1		<u>-</u>	EXIST	5.40TM 0 1 0 4 0	30/	30
31	30 /			-								_	-	EXISTING LOAD	2	32
33		EXISTING LOAD	EXIST	_								_	EXIST	5.40 7 1110 1 0 4 0	30/	34
35	/ 3			-								-	-	EXISTING LOAD	2	36
37	20	EXISTING LOAD		-								_	-	00405	30/	38
39	20	SPARE	-	-								_	-	SPARE	2	40
41	20	SPARE	-	-								-	-	SPACE	1 -	42
43	-	SPACE	*	-								_		SPACE	-	44
45	-	SPACE	-	-								_	-	SPACE	-	46
47	-	SPACE	-	-]				-	-	SPACE	_	48
49	-	SPACE	-	-								-	-	SPACE	-	50
51	-	SPACE	-	-								_	-	SPACE	-	52
53	-	SPACE	-	•								-	-	SPACE	-	54
		SUBTOTALS			0.50	0.50	0.00		0.00	0.00	0.00			SUBTOTALS		
		TOTAL LOADS		0.5	KVA	-			J	0.00	0.00		LIGHTING:			
					KVA	ļ						PE	CEPTACLE:			
					KVA	 						KE	KITCHEN:			
		TOTAL CONN. LOAL)		KVA	-							MOTOR:			
	11100	TOTAL CONT. LOAL	•	1.0	AVA	3.0			<u> </u>				WOTOR:	0.00 AVA		

TOTAL DEMAND LOAD

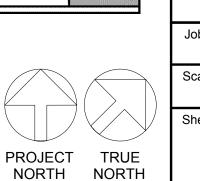
1.0 KVA 3.0 A

POWER:

1.00 KVA

TOTAL: 1.00 KVA

RE	ELC	CATED	ELEC	TR	ICA	AL I	PA	NE	LS	<u>CH</u>	ED	UL	<u>E</u>			
PNL: LP-2A(ER)			MOUNTING: SURFACE X					MAIN LUGS ONLY X			MAIN C BKR-		GROUND BUS:		X	
208 Y	/1 20, 3	3 PHASE, 4 WIRE	(NEMA 1) FLUSH				DOUL			JBLE LUGS				ISOLATED GROUND BUS:		
22	,000N	IIN A.I.C. SYM		IN MCC			FEED THRU LUG			LUG	3 <u>X</u>	MAIN BUS -		TVSS:		
NEU'	TRAL:	100%					SHUNT TRIP MAIN				200A		NUMBER OF POLES:		4	
СКТ	TRIP	LOAD	WIRE	CND.	KV.	A / PH	ASE		KV	4 / PH	ASE	CND.	WIRE	LOAD	TRIP	CH
No.	(AMP)			(IN.)	Α	В	С		Α	В	С	(IN.)			(AMP)	No
1	20	EXIST LOAD	EXIST	-								-	-	SPARE	20	2
3	20	LIGHTING	2#12+1#12G	3/4		0.80						_	EXIST	EXIST LOAD	20	4
5	20	EXIST LOAD	EXIST	-					:			-	EXIST	EXIST LOAD	20	6
7	20	EXIST LOAD	EXIST	_								-	EXIST	EXIST LOAD	20	8
9	20	EXIST LOAD	EXIST	_							ini /	_	EXIST	EXIST LOAD	20	10
11	20	EXIST LOAD	EXIST	_					5/5 s			-	EXIST	EXIST LOAD	20	12
13	20	EXIST LOAD	EXIST	-					<u> </u>	3 de la constante de la consta		_	EXIST	EXIST LOAD	20	14
15	20	EXIST LOAD	EXIST	-					40.2			_	EXIST	EXIST LOAD	20	10
17	20	EXIST LOAD	EXIST	-								-	EXIST	EXIST LOAD	20	18
19	20	EXIST LOAD	EXIST	-								_	EXIST	EXIST LOAD	20	20
21	20	EXIST LOAD	EXIST	-								-	EXIST	EXIST LOAD	20	2:
23	20	EXIST LOAD	EXIST	-								_	EXIST	EXIST LOAD	20	2.
25	20	EXIST LOAD	EXIST	-								-	EXIST	EXIST LOAD	20	2
27	20	EXIST LOAD	EXIST	-								-	EXIST	EXIST LOAD	20	2
29	20	EXIST LOAD	EXIST	-								-	EXIST	EXIST LOAD	20	30
31	20	EXIST LOAD	EXIST	•							15.11	_	EXIST	EXIST LOAD	20	32
33	20	EXIST LOAD	EXIST									_	EXIST	EXIST LOAD	20	34
35	20	EXIST LOAD	EXIST	-								-	EXIST	EXIST LOAD	20	30
37	20	EXIST LOAD	EXIST	-								-	EXIST	EXIST LOAD	20	38
39	20	EXIST LOAD	EXIST	•	5 (1965) 14 (1965)							_	EXIST	EXIST LOAD	20	40
41	20	EXIST LOAD	EXIST	-								-	EXIST	EXIST LOAD	20	4:
		SUBTOTALS			0.00	0.80	0.00		0.00	0.00	0.00			SUBTOTALS		
		TOTAL LOADS		0.0	KVA	PHAS	SE A						LIGHTING:	0.80 KVA		
				0.8	KVA	PHA	SE B					REC	EPTACLE:	0.00 KVA		
				0.0	KVA	PHA:	SE C						KITCHEN:	0.00 KVA		
		TOTAL CONN. LOAD		0.8	KVA	2.0	Α						MOTOR:	0.00 KVA		
		TOTAL DEMAND LO	4 <i>D</i>	0.8	KVA	2.0	Α						POWER:	0.00 KVA		



Job No. 2020-1051 Date 01/14/2021
Scale AS NOTED Drawn / Checked BGA/BGA
Sheet Number

NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 69.5 (b) OF NEW YORK STATE LAW.

COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC ALL RIGHTS RESERVED.

CONSTRUCTION DOCUMENTS

FD SUBMISSION

SCHEDULES AND

DETAILS

WITHOUT THE WRITTEN PERMISSION OF (KG&D).

Professional Seal

BEFORE FABRICATION THIS CONTRACTOR SHALL
VERIFY ALL MEASUREMENTS AND CONDITIONS ON
JOB AND COORDINATE HIS WORK WITH THE WORK
OF ALL OTHER CONTRACTORS

142 PEEKSKILL HOLLOW RD PUTNAM VALLEY, NY 10579

listen imagine

Isten imagine build

KG+D. ARCHITECTS PC

285 MAIN STREET MOUNT KISCO. NEW YORK. 10549

PVMS TOILET

ROOM

ALTERATIONS

CAPITAL PROJECTS PHASE 2

P:914.666.5900 KGDARCHITECTS.COM

BARILE GALLAGHER & ASSOCIATES

CONSULTING ENGINEERS
39 MARBLE AVE PLEASANTVILLE, NY 10570
914.328.6060 GENERAL@BGA-ENG.com www.BGA-ENG.com

NY SED PROJECT CONTROL NO.

48-05-03-04-0-004-016
CONSTRUCTION
DOCUMENTS