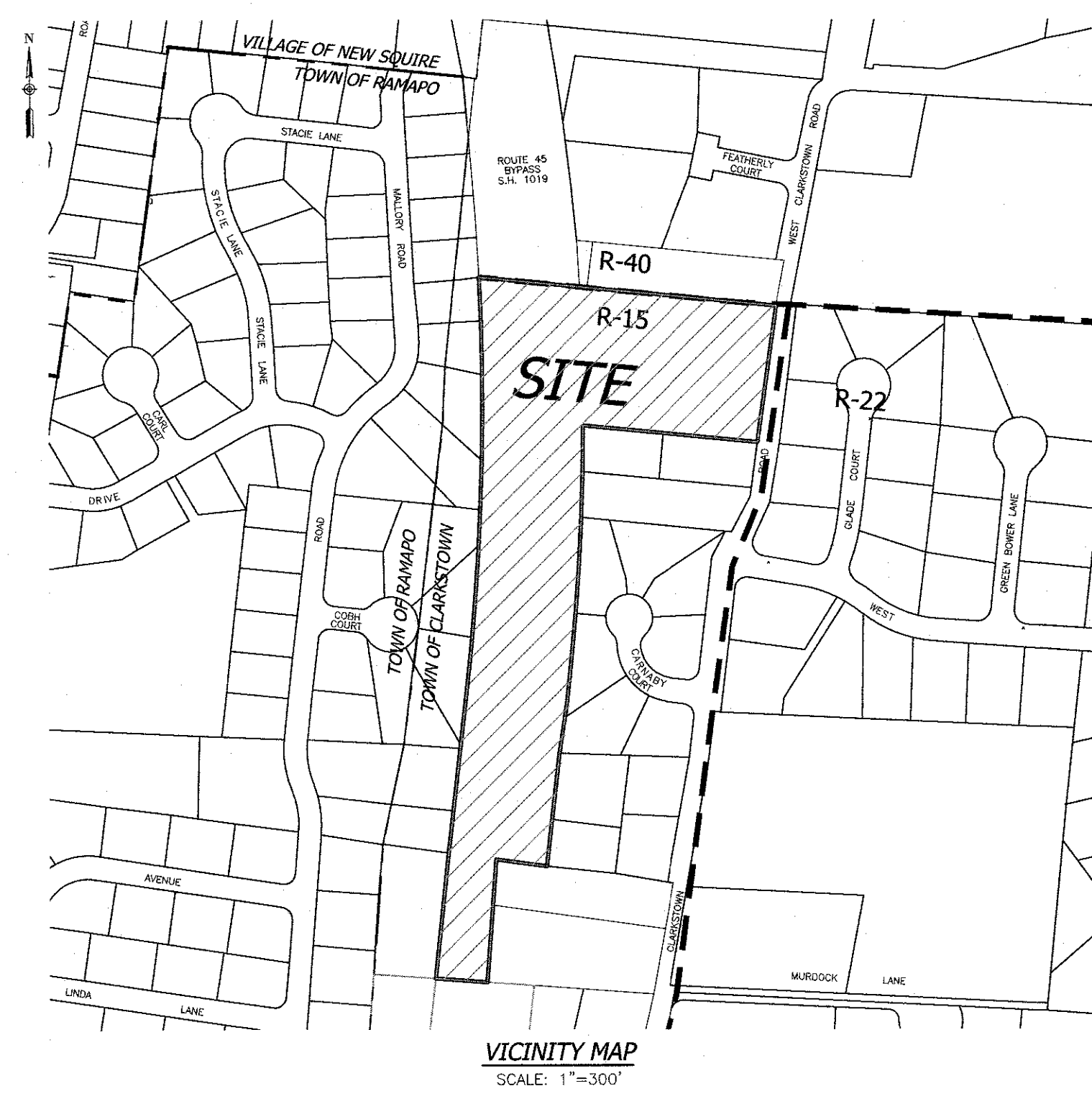
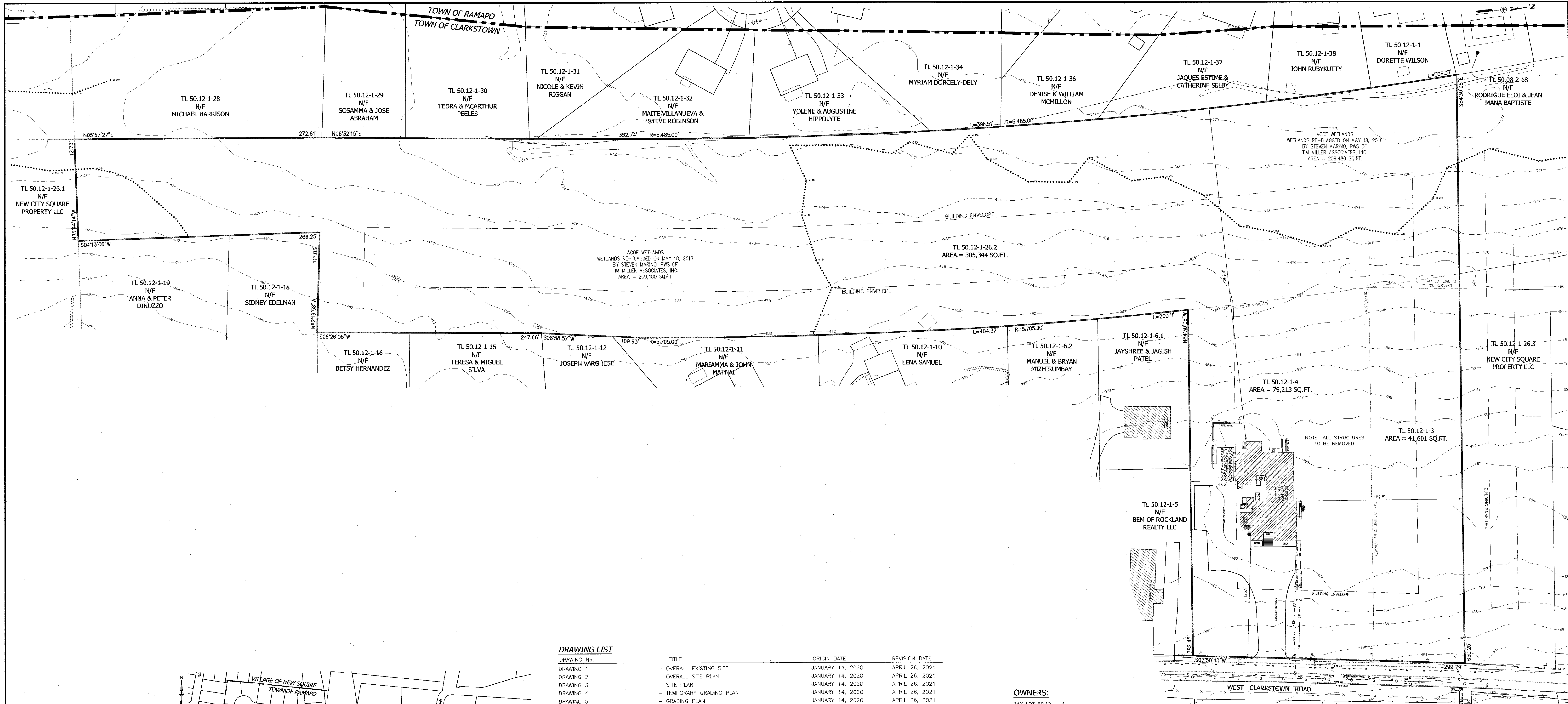




DRAWING No.	TITLE	ORIGIN DATE	REVISION DATE
DRAWING 1	OVERALL EXISTING SITE	JANUARY 14, 2020	APRIL 26, 2021
DRAWING 2	OVERALL SITE PLAN	JANUARY 14, 2020	APRIL 26, 2021
DRAWING 3	SITE PLAN	JANUARY 14, 2020	APRIL 26, 2021
DRAWING 4	TEMPORARY GRADING PLAN	JANUARY 14, 2020	APRIL 26, 2021
DRAWING 5	GRADING PLAN	JANUARY 14, 2020	APRIL 26, 2021
DRAWING 6	DRAINAGE DETAIL	JANUARY 14, 2020	APRIL 26, 2021
DRAWING 7	DETAILS (CONTINUED)	JANUARY 14, 2020	APRIL 26, 2021
DRAWING 8	SOIL EROSION & SEDIMENT CONTROL PLAN	JANUARY 14, 2020	APRIL 26, 2021
DRAWING 9	LIGHTING PLAN	JANUARY 14, 2020	APRIL 26, 2021
DRAWING 10	FIRE & GARBAGE TRUCK TURNING PLAN	JANUARY 14, 2020	APRIL 26, 2021
DRAWING 11	LANDSCAPE & TREE PRESERVATION PLAN	FEBRUARY 10, 2020	MAY 04, 2021
DRAWING L-1, L-2 & L-3			

FLOOR AREA COMPUTATION:	
EXISTING BUILDING TO BE REMOVED:	
BASEMENT	= 1,315 SQ.FT.
FIRST FLOOR	= 2,492 SQ.FT.
SECOND FLOOR	= 1,315 SQ.FT.
TOTAL	= 5,122 SQ.FT.

BULK REQUIREMENTS:		
ZONE R-15 SENIOR CITIZEN HOUSING	REQUIRED	EXISTING
MAX. FLOOR AREA RATIO	0.50	0.02
MINIMUM LOT AREA	180,000 SQ.FT.	323,894 SQ.FT. (NET)
MINIMUM FRONT LOT LINE	300 FT.	300 FT.
MINIMUM FRONT YARD	75 FT.	123.1 FT.
MINIMUM SIDE YARD	50 FT.	47.5 FT.
MINIMUM TOTAL SIDE YARD	100 FT.	230.3 FT.
MIN. REAR YARD	100 FT.	369.4 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	30 FT.
MAX. PRINCIPAL BUILDING COVERAGE	33%	<1%
MAX. DEVELOPMENT COVERAGE	50%	5%

PER S290-17 (A) SPECIAL PERMIT REQUIRED BY PLANNING BOARD

OWNERS:
TAX LOT 50.12-1-4
ELLIOT MARKOWITZ
P.O. BOX 397
NEW CITY, NY 10956

TAX LOT 50.12-1-3 & 26.2
ROCKLAND ALP REALTY LLC
C/O PAZ MANAGEMENT, INC
32 PINE TREE DRIVE
POUGHKEEPSIE, NY 12603

APPLICANT:
L'DOR
156 WEST CLARKSTOWN ROAD
NEW CITY, NY 10956

TAX MAP REFERENCE:
TOWN OF CLARKSTOWN TAX MAP
SECTION 50.12, BLOCK 1, LOT 3, 4 & 26.2

TOTAL AREA:
426,158 SQ.FT.

DISTRICTS
SCHOOL DISTRICT - EAST RAMAPO CENTRAL SCHOOL DISTRICT
FIRE DISTRICT - MOLESTON
LIGHT DISTRICT - CLARKSTOWN
WATER DISTRICT - SUEZ
SEWER DISTRICT - CLARKSTOWN MBSIA #1

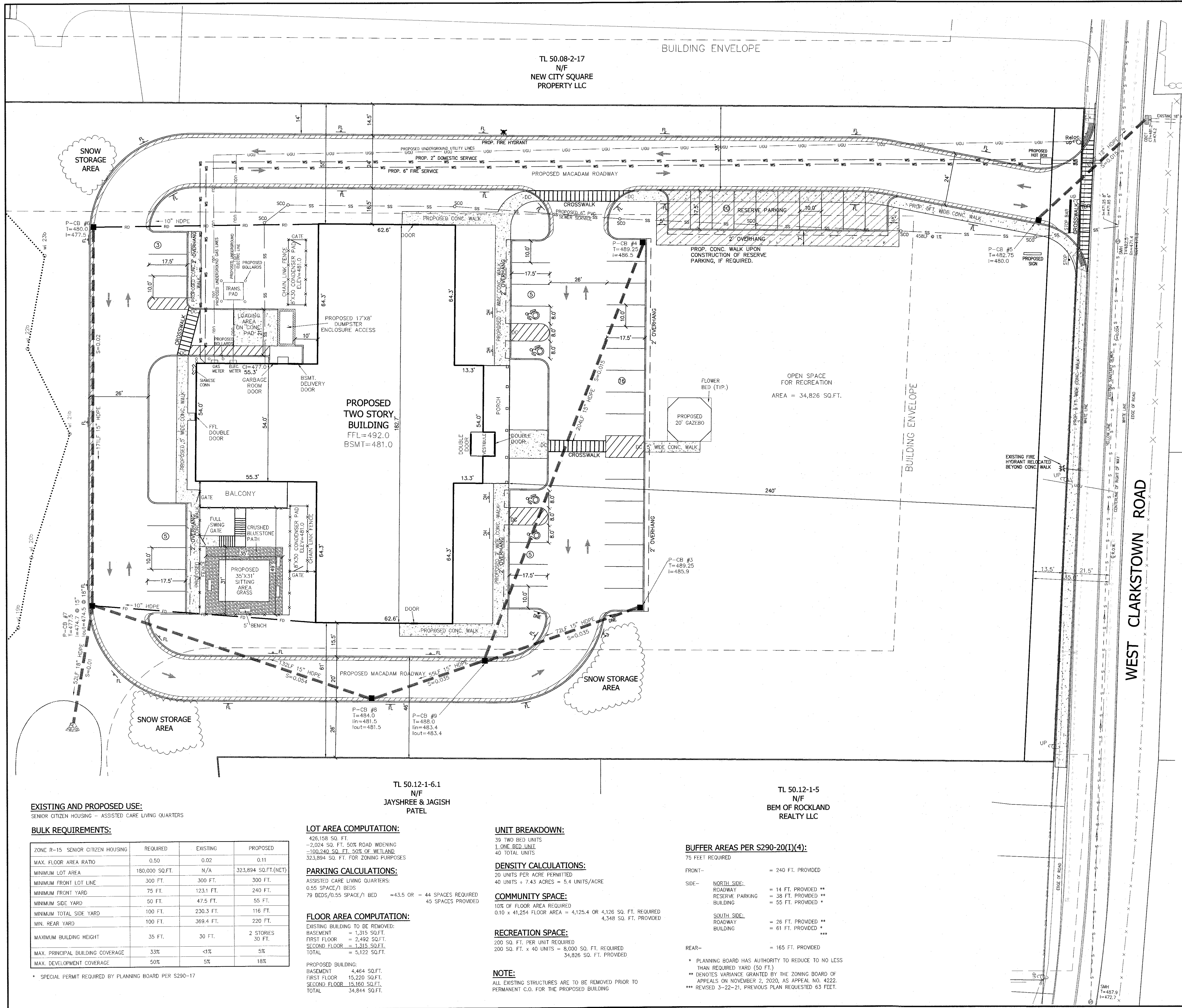
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.
THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LAND SURVEYOR AND/OR LANDSCAPE ARCHITECT, WHO HAS A SIGNATURE AND DATE AND RECAPTURE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

STATE OF NEW YORK
RYAN A. NASH, P.E.
N.Y.S. P.E. LIC. NO. 89066
STATE OF NEW YORK
JOHN R. ATZL, P.E.
N.Y.S. P.E. LIC. NO. 80228

REVISION	DATE	DESCRIPTION
5	4-26-21	PER TAC 4-14-21
4	3-22-21	PER PB MTG 8-12-20 & ZBA MTG 11-2-20
3	9-2-20	ADD SITTING AREA
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20

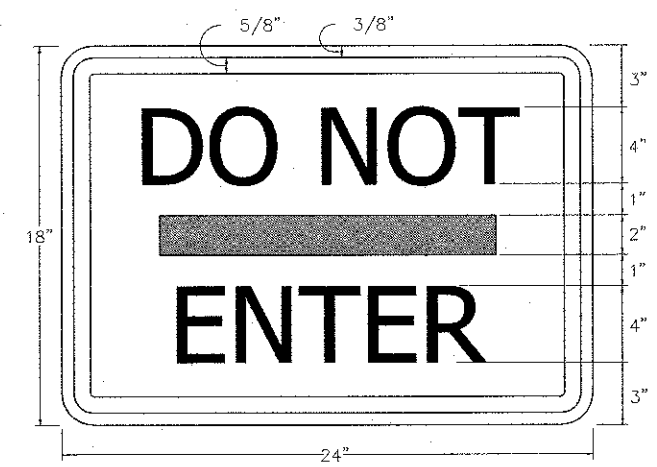
ATZL, NASH & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT:	
L'DOR	
TOWN OF CLARKSTOWN ROCKLAND COUNTY, NEW YORK	
PRELIMINARY OVERALL EXISTING SITE	
DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 50 FT.
PROJECT NO: 2861	DRAWING NO: 1

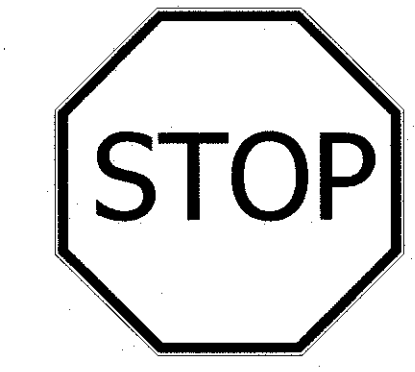
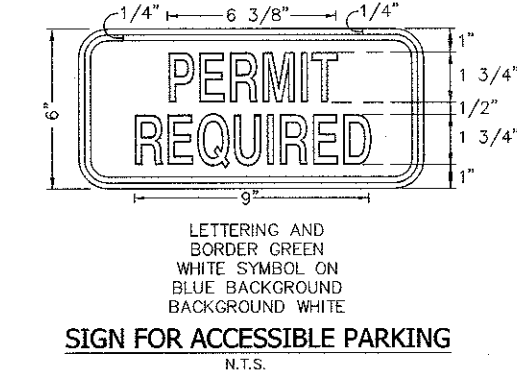
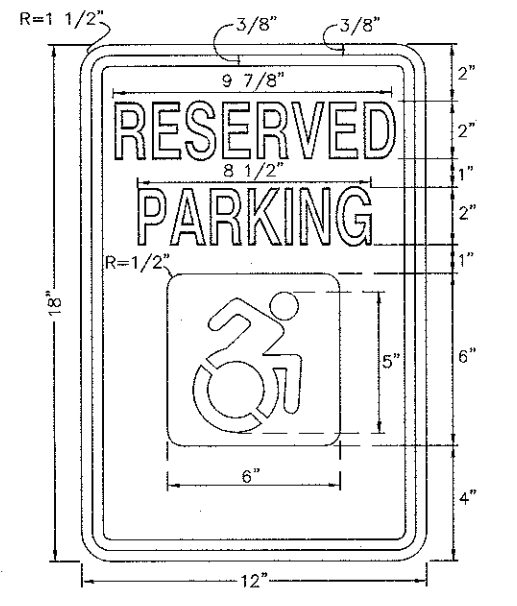


LEGEND

- | | |
|---------------------------|----------------------------|
| EXISTING 2' CONTOUR | PROPOSED 2' CONTOUR |
| EXISTING 10' CONTOUR | PROPOSED 10' CONTOUR |
| EXISTING WATERLINE | PROPOSED WATER SERVICE |
| EXISTING WATER VALVE | PROPOSED WATER VALVE |
| EXISTING FIRE HYDRANT | PROPOSED FIRE HYDRANT |
| EXISTING GAS LINE | PROPOSED GAS SERVICE |
| EXISTING GAS VALVE | PROPOSED GAS VALVE |
| EXISTING CATCH BASIN | PROPOSED CATCH BASIN |
| EXISTING STORM DRAIN LINE | PROPOSED STORM DRAIN LINE |
| EXISTING SINK MANHOLE | PROPOSED SINK MANHOLE |
| EXISTING SINK LINE | PROPOSED SINK LINE |
| EXISTING SPOT ELEVATION | PROPOSED SPOT ELEVATION |
| EXISTING STONEWALL | PROPOSED STONEWALL |
| EXISTING UTILITY POLE | PROPOSED UTILITY POLE |
| EXISTING SIGN | PROPOSED SIGN |
| | PROPOSED SALT ELEVATION |
| | PROPOSED FORCE MAIN |
| | PROPOSED FIRE LANE SIGN |
| | PROPOSED HANDICAP SIGN |
| | PROPOSED DO NOT ENTER SIGN |



LETTERING AND BORDER BLACK
BACKGROUND WHITE
DO NOT ENTER SIGN
N.T.S.



R1-1

Sign No. Size Border Letter Size and Series
30" x 30" 3/4" 10"-C

STOP SIGN DETAIL
N.T.S.

EXISTING AND PROPOSED USE:
SENIOR CITIZEN HOUSING - ASSISTED CARE LIVING QUARTERS

BULK REQUIREMENTS:

ZONE R-15 SENIOR CITIZEN HOUSING	REQUIRED	EXISTING	PROPOSED
MAX. FLOOR AREA RATIO	0.50	0.02	0.11
MINIMUM LOT AREA	180,000 SQ.FT.	N/A	323,894 SQ.FT.(NET)
MINIMUM FRONT LOT LINE	300 FT.	300 FT.	300 FT.
MINIMUM FRONT YARD	75 FT.	123.1 FT.	240 FT.
MINIMUM SIDE YARD	50 FT.	47.5 FT.	55 FT.
MINIMUM TOTAL SIDE YARD	100 FT.	230.3 FT.	116 FT.
MIN. REAR YARD	100 FT.	369.4 FT.	220 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	30 FT.	2 STORES 30 FT.
MAX. PRINCIPAL BUILDING COVERAGE	33%	<1%	5%
MAX. DEVELOPMENT COVERAGE	50%	5%	18%

* SPECIAL PERMIT REQUIRED BY PLANNING BOARD PER S290-17

LOT AREA COMPUTATION:

426,158 SQ. FT.
-2,024 SQ. FT. 50% ROAD WIDENING
-160,240 SQ. FT. 50% OF WETLAND
323,894 SQ. FT. FOR ZONING PURPOSES

PARKING CALCULATIONS:

ASSISTED CARE LIVING QUARTERS:
0.55 SPACE/1 BEDS
79 BEDS/0.55 SPACE/1 BED = 43.5 OR = 44 SPACES REQUIRED
45 SPACES PROVIDED

FLOOR AREA COMPUTATION:

EXISTING BUILDING TO BE REMOVED:
BASEMENT = 1,315 SQ.FT.
FIRST FLOOR = 2,492 SQ.FT.
SECOND FLOOR = 1,315 SQ.FT.
TOTAL = 5,122 SQ.FT.

PROPOSED BUILDING:
BASEMENT = 4,464 SQ.FT.
FIRST FLOOR = 15,220 SQ.FT.
SECOND FLOOR = 15,160 SQ.FT.
TOTAL = 34,844 SQ.FT.

UNIT BREAKDOWN:

39 TWO BED UNITS
1 ONE BED UNIT
40 TOTAL UNITS

DENSITY CALCULATIONS:

20 UNITS PER ACRE PERMITTED
40 UNITS ÷ 7.43 ACRES = 5.4 UNITS/ACRE

COMMUNITY SPACE:

10% OF FLOOR AREA REQUIRED
0.10 x 41,254 FLOOR AREA = 4,125.4 OR 4,126 SQ. FT. REQUIRED
4,348 SQ. FT. PROVIDED

RECREATION SPACE:

200 SQ. FT. PER UNIT REQUIRED
200 SQ. FT. x 40 UNITS = 8,000 SQ. FT. REQUIRED
34,826 SQ. FT. PROVIDED

NOTE:

ALL EXISTING STRUCTURES ARE TO BE REMOVED PRIOR TO PERMANENT C.O. FOR THE PROPOSED BUILDING

BUFFER AREAS PER S290-20(1)(4):

FRONT-	= 240 FT. PROVIDED
SIDE-	NORTH SIDE: ROADWAY = 14 FT. PROVIDED ** RESERVE PARKING = 38 FT. PROVIDED ** BUILDING = 55 FT. PROVIDED **
	SOUTH SIDE: ROADWAY = 26 FT. PROVIDED ** BUILDING = 61 FT. PROVIDED ***
REAR-	= 165 FT. PROVIDED

* PLANNING BOARD HAS AUTHORITY TO REDUCE TO NO LESS THAN REQUIRED YARD (50 FT.)
** DENOTES VARIANCE GRANTED BY THE ZONING BOARD OF APPEALS ON NOVEMBER 2, 2020, AS APPEAL NO. 4222
*** REVISED 3-22-21, PREVIOUS PLAN REQUESTED 63 FEET.

TL 50.12-1-5
N/F
BEM OF ROCKLAND
REALTY LLC

TL 50.12-1-6.1
N/F
JAYSHREE & JAGISH
PATEL

TL 50.08-2-17
N/F
NEW CITY SQUARE
PROPERTY LLC

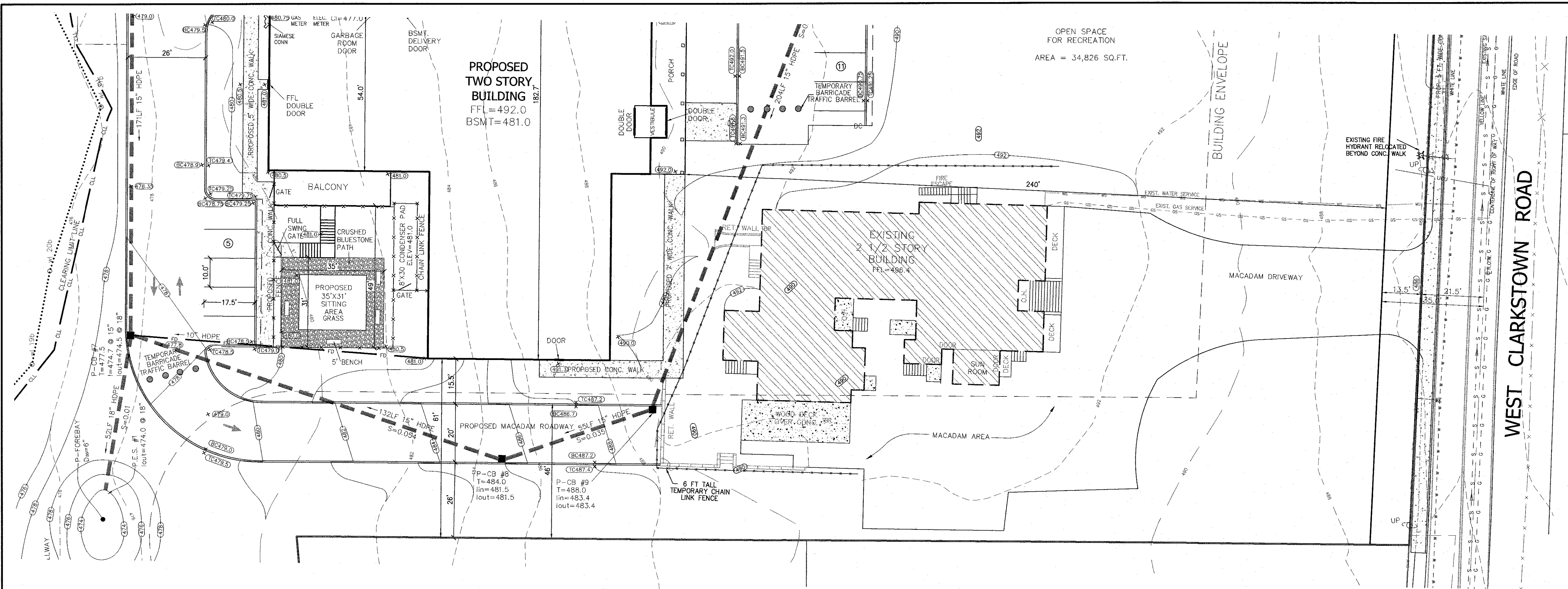
ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
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E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT: L'DOR

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

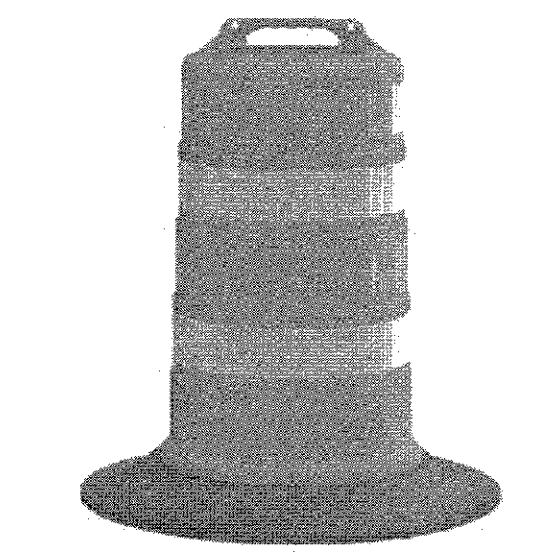
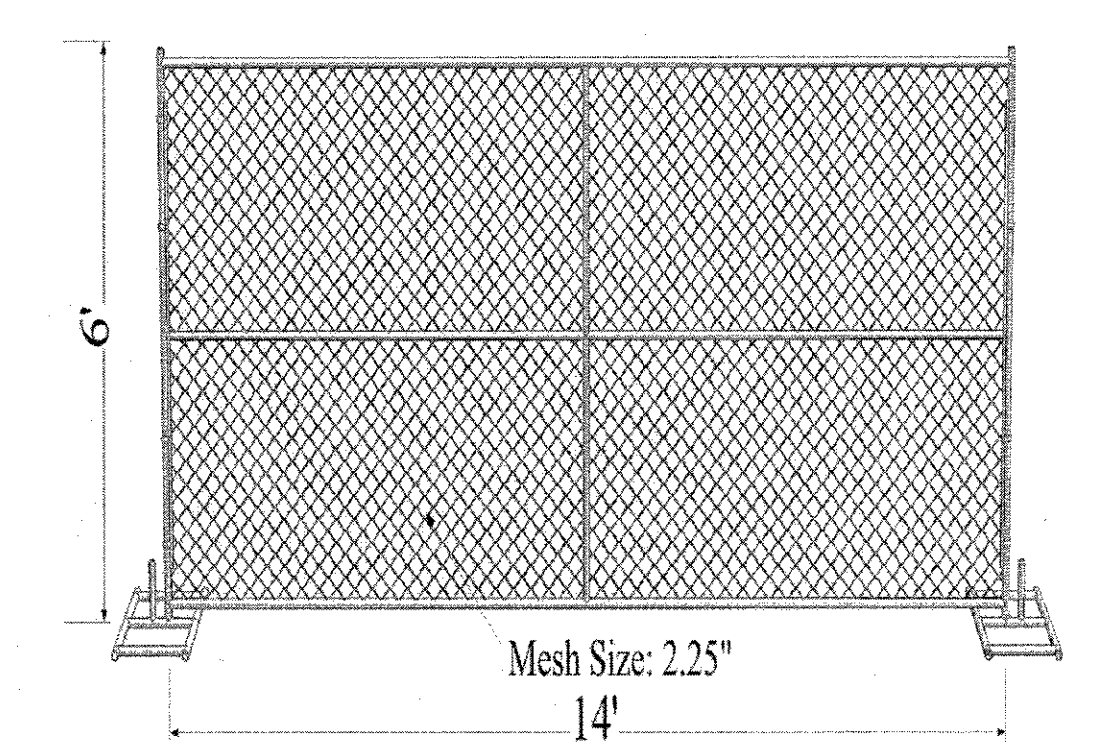
TITLE: PRELIMINARY SITE PLAN

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 3



LEGEND

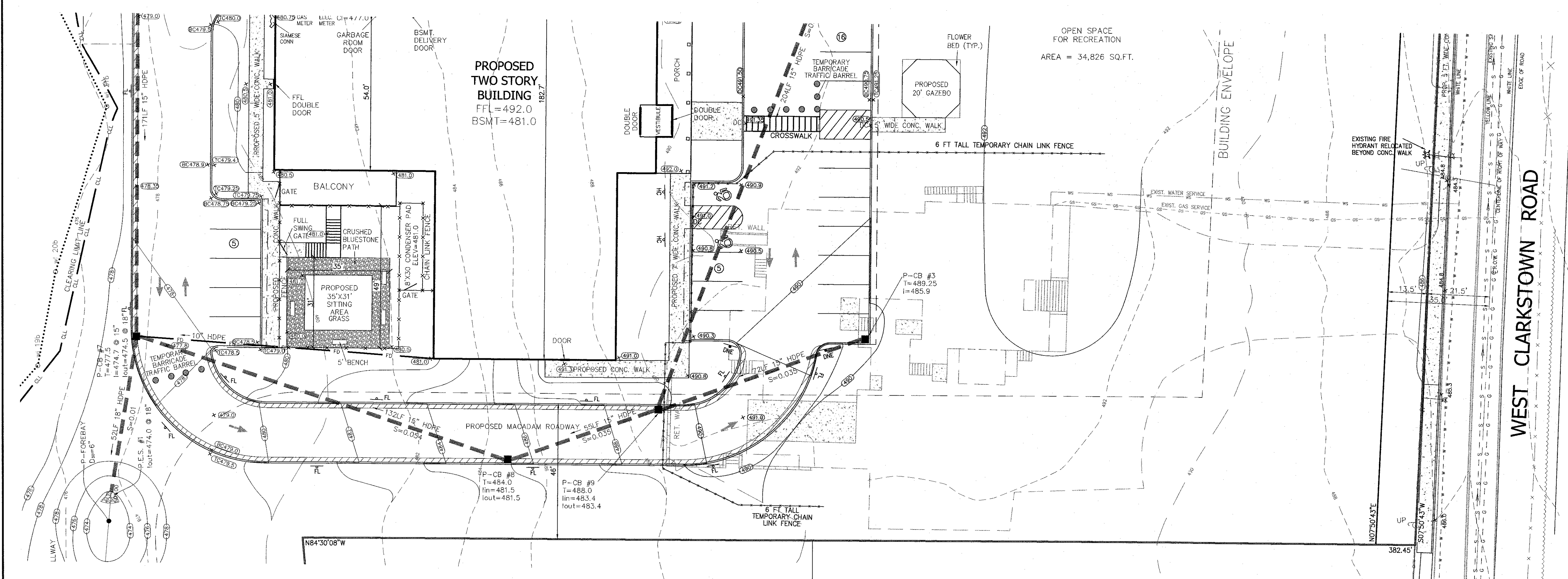
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---	EXISTING 10' CONTOUR	---	PROPOSED 10' CONTOUR
---	EXISTING WATERLINE	---	PROPOSED WATER SERVICE
---	EXISTING WATER VALVE	---	PROPOSED WATER VALVE
---	EXISTING FIRE HYDRANT	---	PROPOSED FIRE HYDRANT
---	EXISTING GAS LINE	---	PROPOSED GAS SERVICE
---	EXISTING GAS VALVE	---	PROPOSED GAS VALVE
---	EXISTING CATCH BASIN	---	PROPOSED CATCH BASIN
---	EXISTING STORM DRAIN LINE	---	PROPOSED STORM DRAIN LINE
---	EXISTING SEWER MANHOLE	---	PROPOSED SEWER CLEANOUT
---	EXISTING SEWER LINE	---	PROPOSED SEWER HOUSE CONNECTION
---	EXISTING SPOT ELEVATION	---	PROPOSED SPOT ELEVATION
---	EXISTING STONEWALL	---	PROPOSED SILT FENCE
---	EXISTING UTILITY POLE	---	PROPOSED FORCE MAIN
---	EXISTING LIGHT POLE	---	FL
---	EXISTING SIGN	---	HC
---		---	DNE



PHASING NOTES

PHASE 1 - TEMPORARY CHAIN LINK FENCE IS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION AND WILL REMAIN UNTIL A TEMPORARY CERTIFICATE OF OCCUPANCY IS ISSUED AND THE RESIDENTS ARE RELOCATED TO THE NEW BUILDING.

PHASE 2 - UPON RELOCATING THE RESIDENTS TO THE NEW BUILDING, THE TEMPORARY CHAIN LINK FENCE WILL BE RELOCATED AND REMAIN UNTIL DEMOLITION OF THE EXISTING FACILITY IS DEMOLISHED AND SITE CONSTRUCTION COMPLETED.



5	4-26-21	PER TAC 4-14-21
4	3-22-21	PER PB MTG 8-12-20 & ZBA MTG 11-2-20
3	9-2-20	ADD SITTING AREA
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20
REVISION	DATE	DESCRIPTION

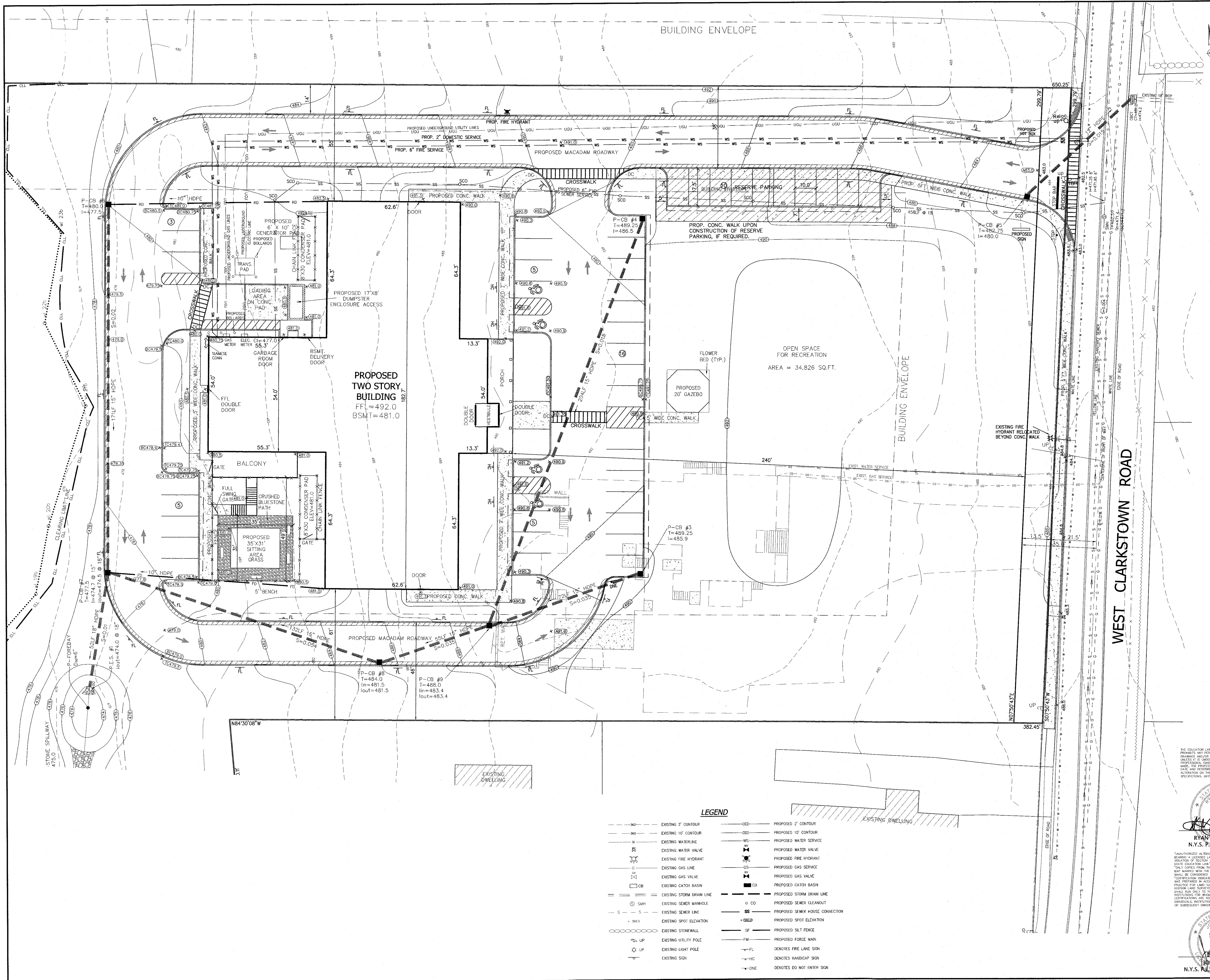
ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

L'DOR

**TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK**

**PRELIMINARY TEMPORARY
GRADING PLAN & SITE
PHASING PLAN**

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1" IN. = 20' FT.
PROJECT NO: 2861	DRAWING NO: 4



LEGEND

--- 2' ---	EXISTING 2' CONTOUR	--- 2' ---	PROPOSED 2' CONTOUR
--- 10' ---	EXISTING 10' CONTOUR	--- 10' ---	PROPOSED 10' CONTOUR
---	EXISTING WATERLINE	---	PROPOSED WATER SERVICE
	EXISTING WATER VALVE		PROPOSED WATER VALVE
	EXISTING FIRE HYDRANT		PROPOSED FIRE HYDRANT
---	EXISTING GAS LINE	---	PROPOSED GAS SERVICE
---	EXISTING GAS VALVE	---	PROPOSED GAS VALVE
	EXISTING CATCH BASIN		PROPOSED CATCH BASIN
---	EXISTING STORM DRAIN LINE	---	PROPOSED STORM DRAIN LINE
	EXISTING SEWER MANHOLE		PROPOSED SEWER CLEANOUT
--- S --- S ---	EXISTING SEWER LINE	--- SS ---	PROPOSED SEWER HOUSE CONNECTION
+ 340.0	EXISTING SPOT ELEVATION	+ 360.0	PROPOSED SPOT ELEVATION
	EXISTING STONEWALL	---	PROPOSED SBT FENCE
	EXISTING UTILITY POLE	---	PROPOSED FORCE MAIN
	EXISTING LIGHT POLE	---	DENOTES FIRE LANE SIGN
	EXISTING SIGN	---	DENOTES HANDICAP SIGN
		---	DNE
			DENOTES DO NOT ENTER SIGN

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ATTEMPTING TO PREPARE OR PREPARED THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LAND SURVEYOR, OR LANDSCAPE ARCHITECT. ANY PERSON WHO VIOLATES THIS LAW SHALL BE CONSIDERED TO BE IN VIOLATION OF THE EDUCATION LAW OF THE STATE OF NEW YORK.

RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

JOHN R. ATZL, P.E.
N.Y.S. P.E. LIC. NO. 50228

5	4-26-21	PER TAC 4-14-21
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3	9-2-20	ADD SITTING AREA
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20
REVISION	DATE	DESCRIPTION

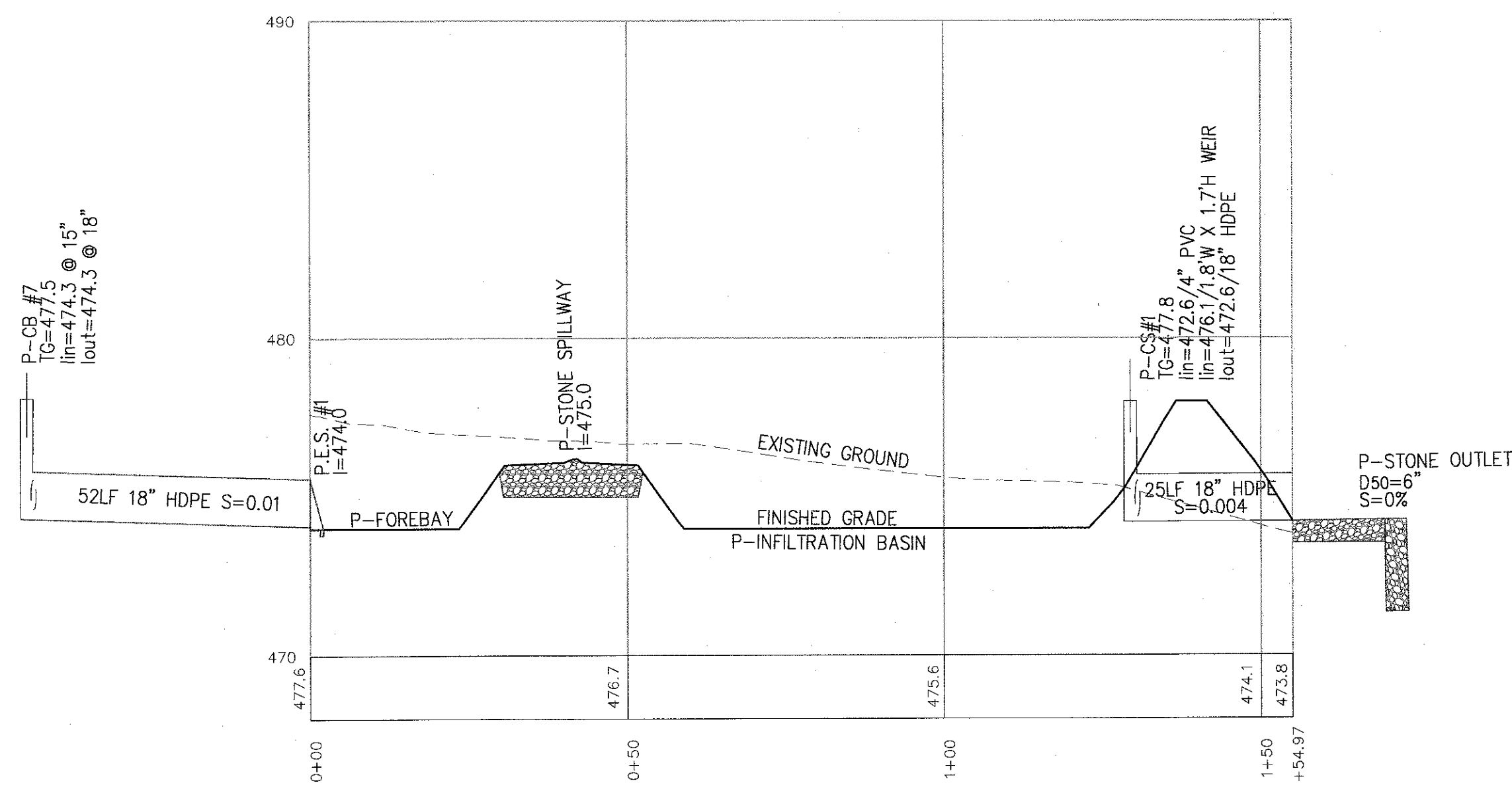
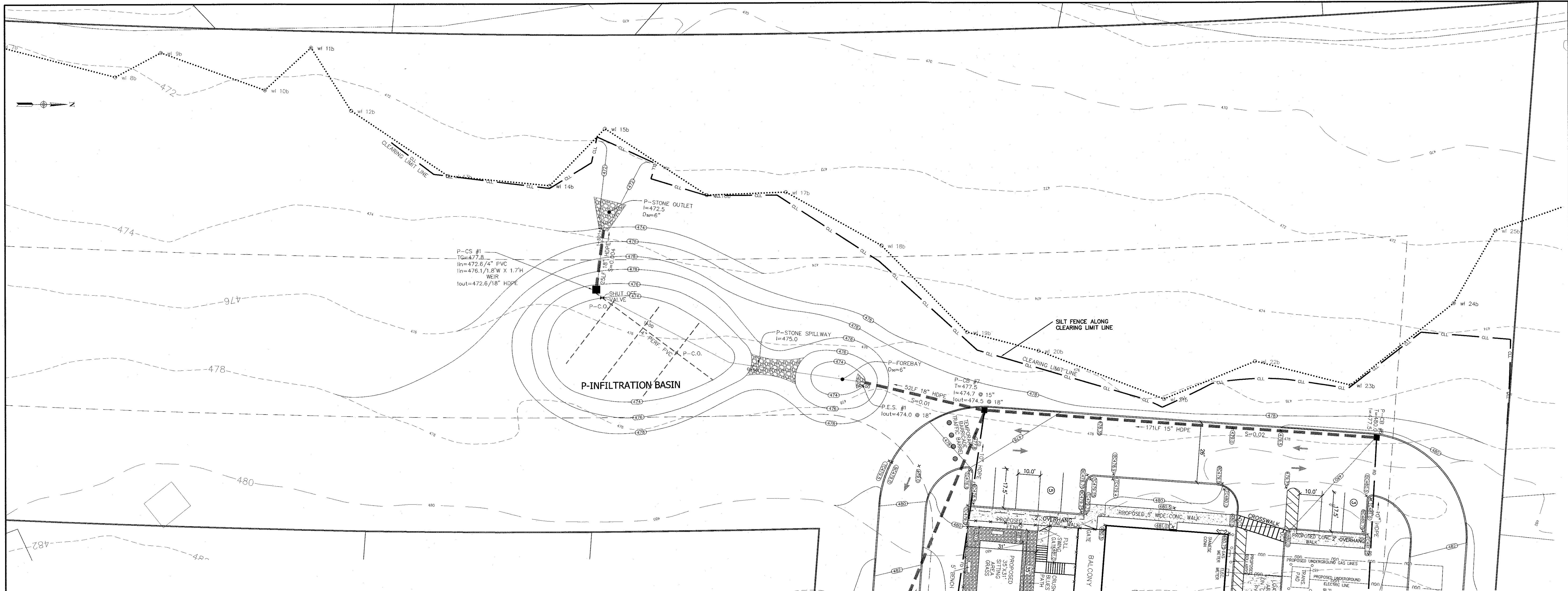
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PROJECT: **L'DOR**

**TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK**

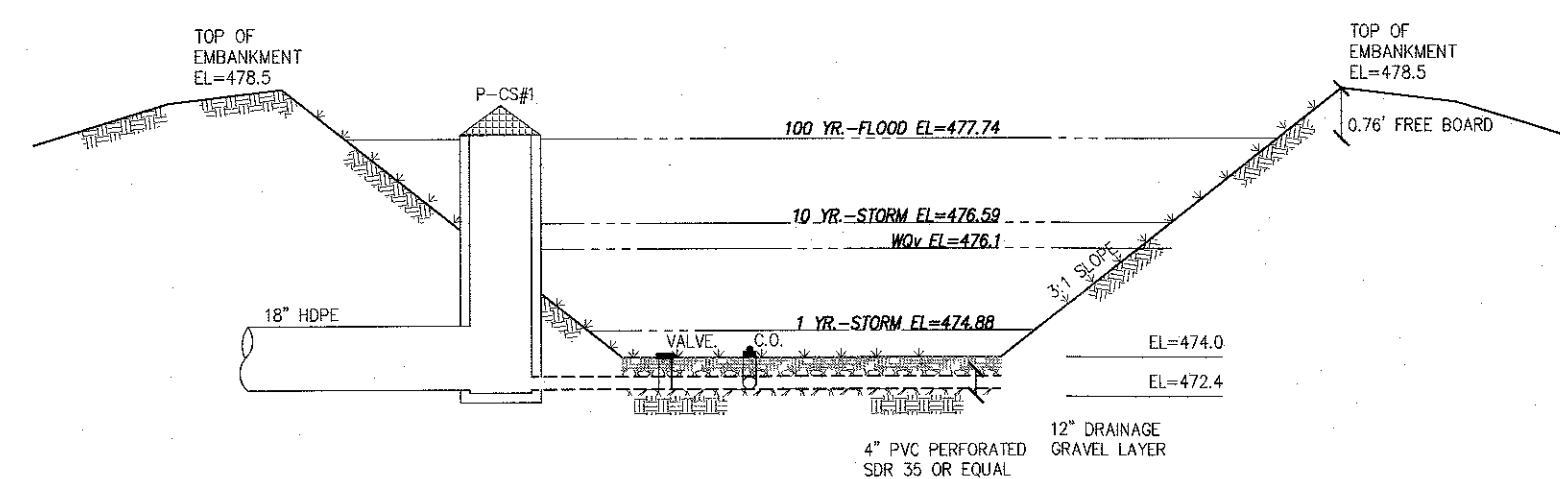
TITLE: **PRELIMINARY
GRADING PLAN**

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 5



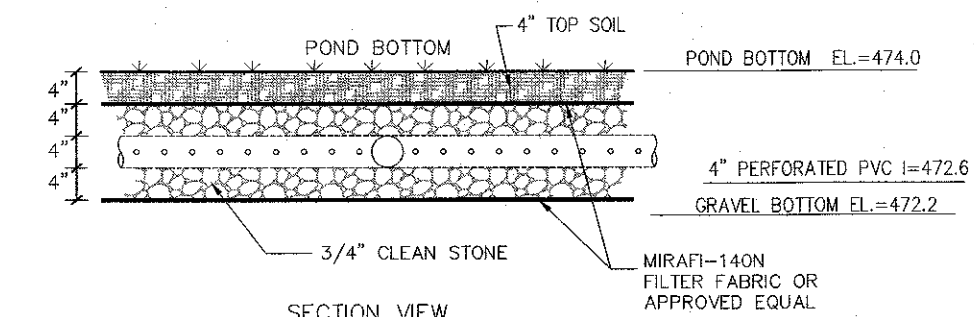
P-INFILTRATION BASIN PROFILE VIEW

SCALE: H/1\"/>



P-INFILTRATION BASIN SECTION

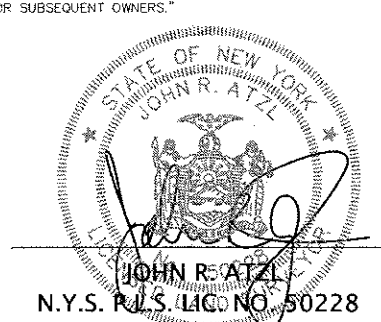
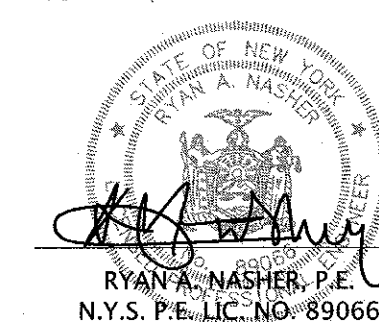
SCALE: N.T.S.



UNDER DRAIN PIPE SECTION

SCALE: N.T.S.

THE ENGINEERING LAW OF THE STATE OF NEW YORK
PROHIBITS ANY PERSON ALLEGING ANYTHING ON THESE
DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS
UNLESS IT IS UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT,
SURVEYOR, OR PROFESSIONAL ENGINEER IN THE FIELD OF
ELECTRICAL ENGINEERING. ANY PERSON WHOSE NAME
IS PLACED ON THESE DRAWINGS AND/OR SPECIFICATIONS
FOR ANY PROJECT FOR WHICH THE SURVEY WAS PREPARED
OR FOR WHICH THE SURVEYOR IS RESPONSIBLE, IS DEEMED
TO HAVE ACCEPTED THE RESPONSIBILITY FOR THE
ACCURACY OF THE DRAWINGS AND/OR SPECIFICATIONS.
SPECIFICATIONS (NYS EDUCATION LAW SECTION 7909-2)



5	4-26-21	PER TAC 4-14-21
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3	9-2-20	ADD SITTING AREA
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REVISION	DATE	DESCRIPTION

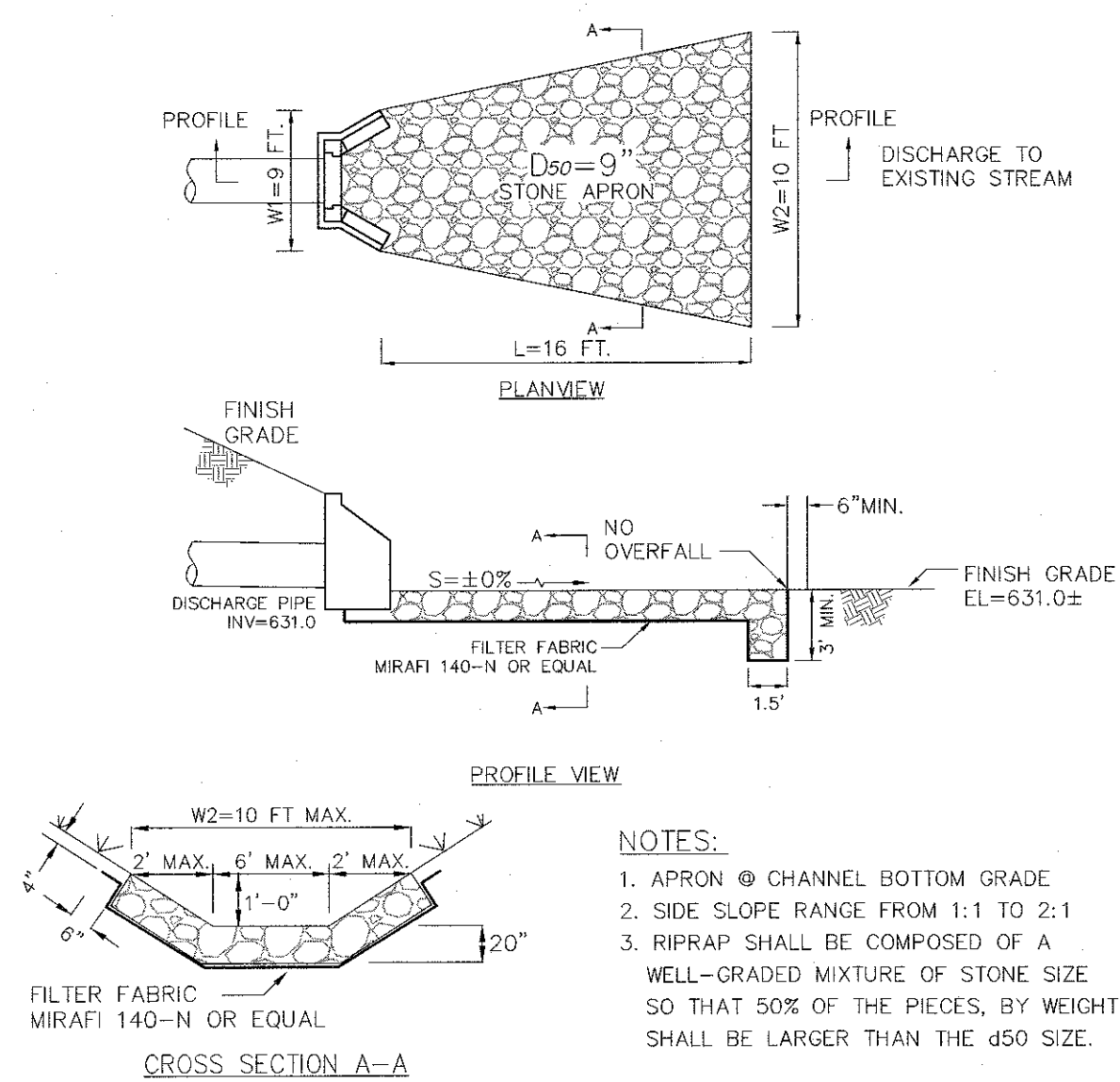
AN&Z
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PROJECT: **L'DOR**

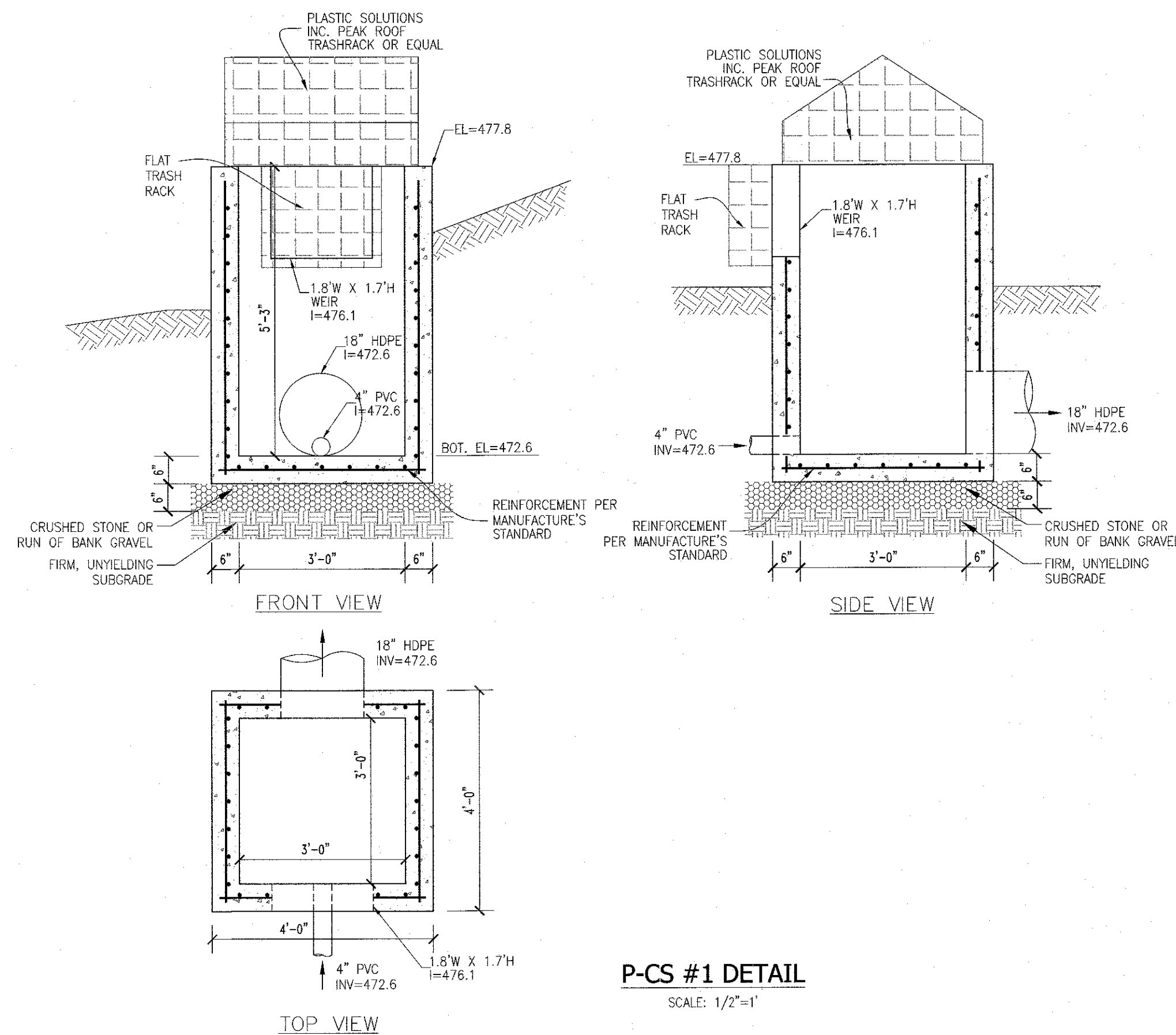
TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE: **PRELIMINARY
DRAINAGE DETAILS**

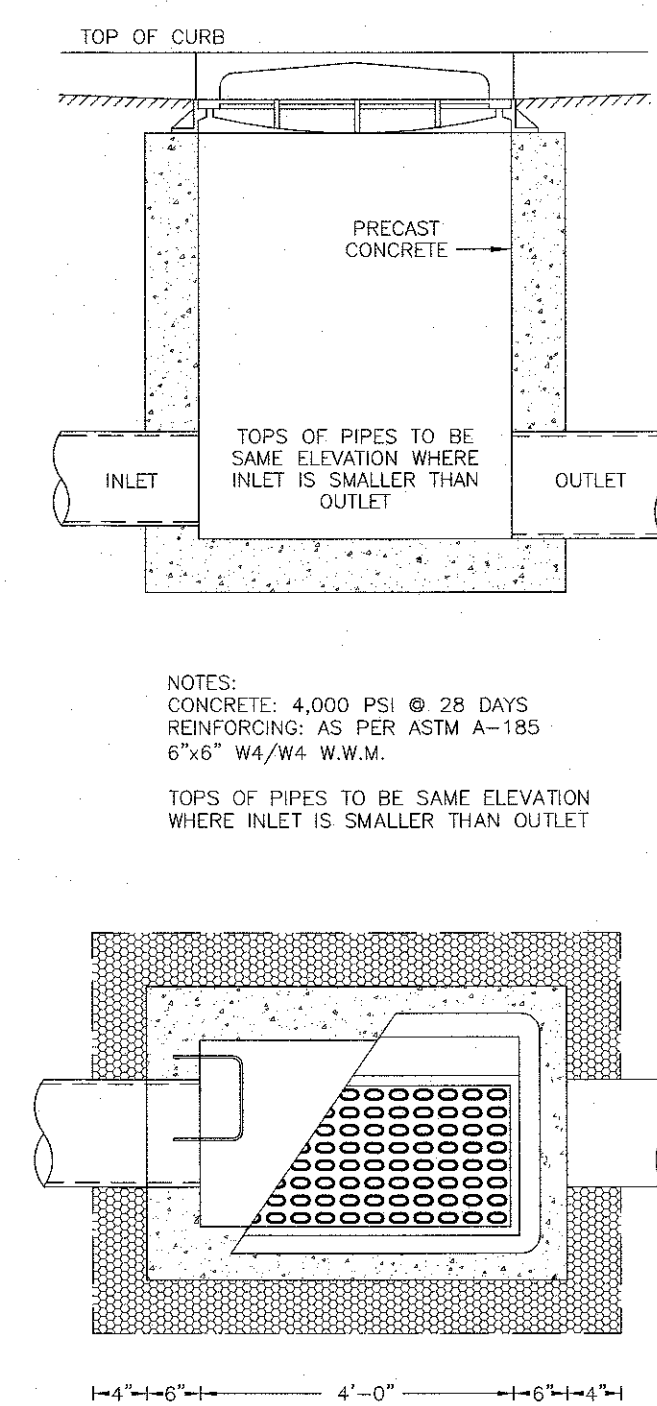
DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 6



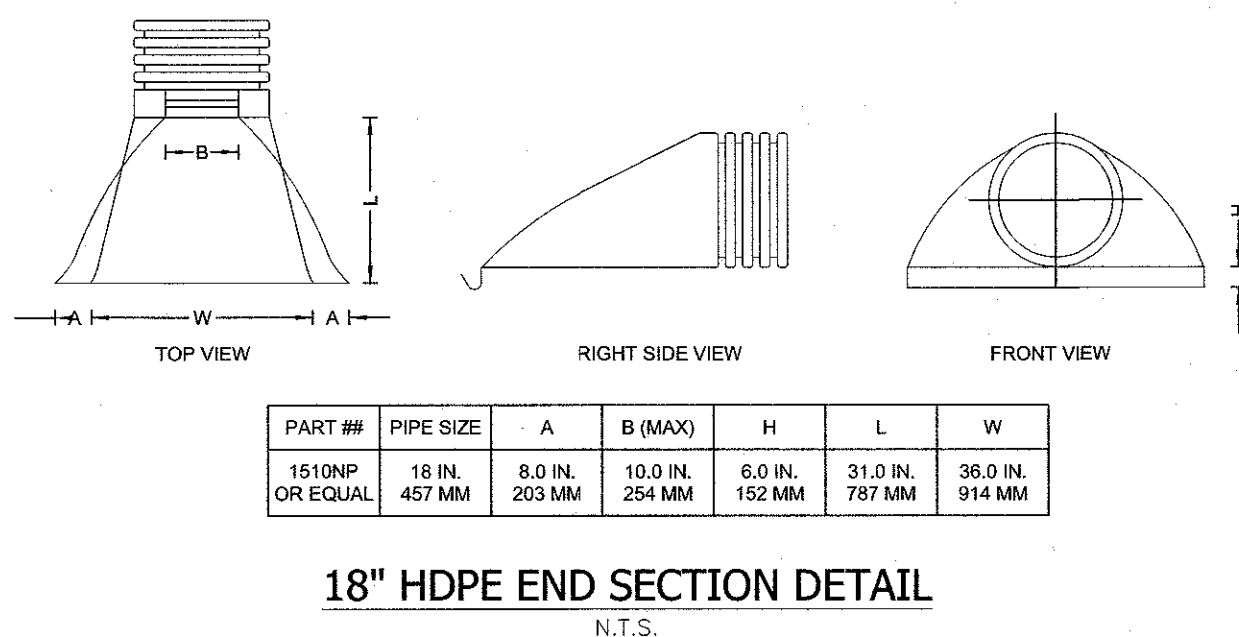
STONE OUTLET PROTECTION DETAIL
N.T.S.



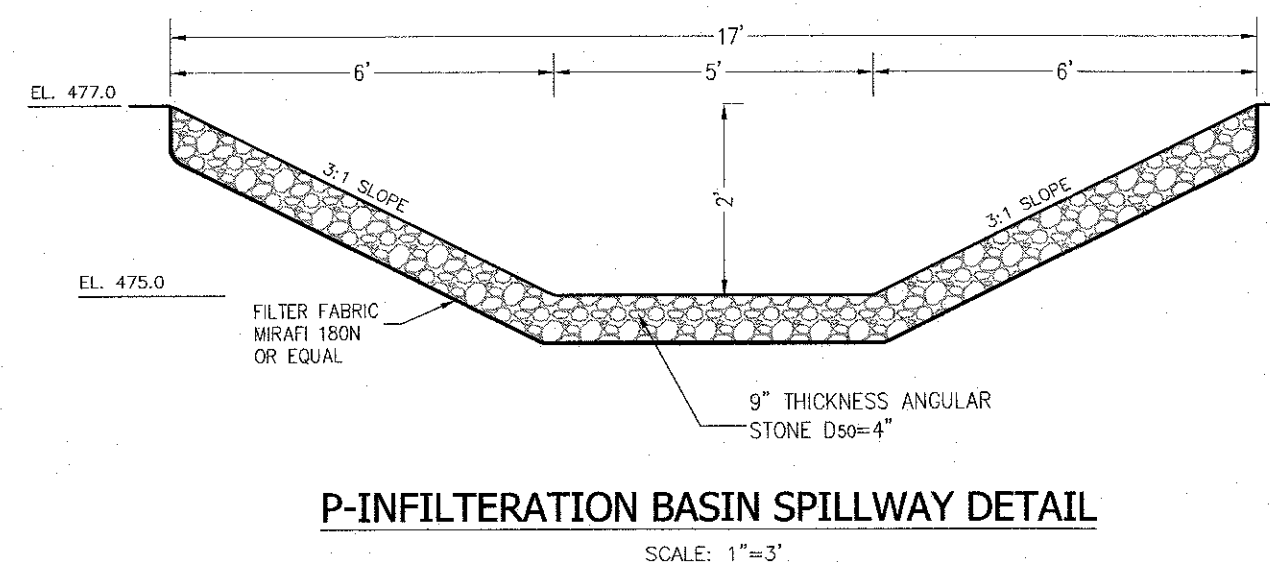
P-CS #1 DETAIL
SCALE: 1/2"=1'



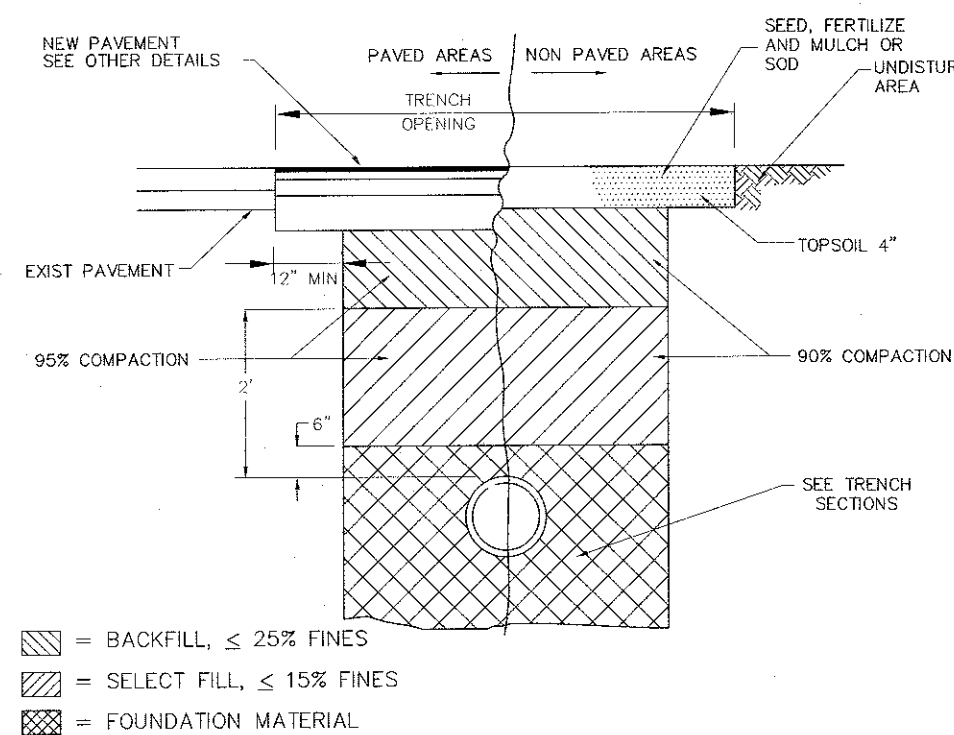
PRECAST CATCH BASIN DETAIL
(NOT TO SCALE)



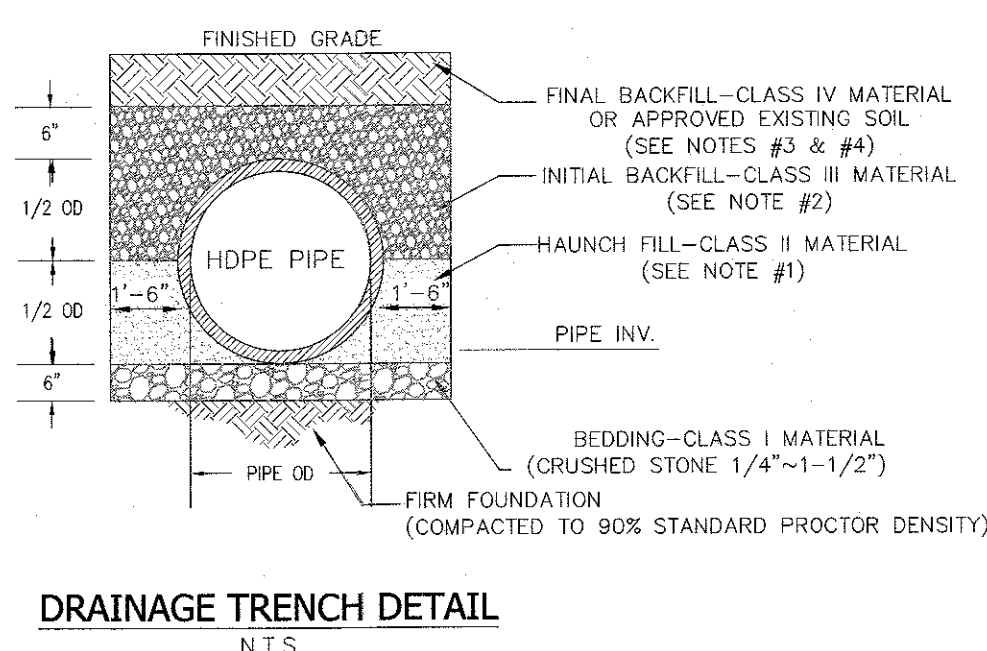
18" HDPE END SECTION DETAIL
N.T.S.



P-INFILTRATION BASIN SPILLWAY DETAIL
SCALE: 1"=3'



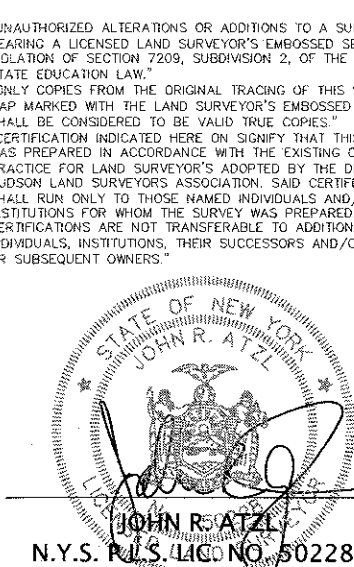
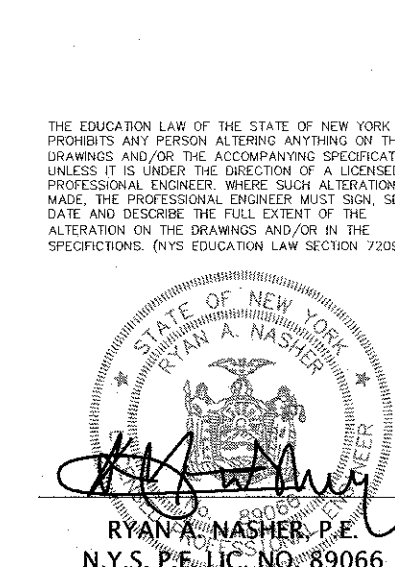
ROCKLAND COUNTY SEWER DISTRICT NO. 1
PIPE TRENCH BACKFILL DETAIL
N.T.S.



DRAINAGE TRENCH DETAIL
N.T.S.

PIPE STORAGE SYSTEM NOTES:

1. CLASS II MATERIAL CONSISTS OF CLEAN, COARSE GRAINED MATERIALS, SUCH AS GRAVEL, COARS SANDS AND GRAVEL/SAND MIXTURES (1-1/2 INCH IN SIZE). (AASHTO CLASSIFICATION A1 & A3)
2. CLASS III MATERIAL CONSISTS OF COARSE GRAINED MATERIALS WITH FINES INCLUDING SILTY OR CLAYEY GRAVELS OR SANDS. GRAVEL OR SAND MUST COMPRISE MORE THAN 50 PERCENT OF CLASS III MATERIALS.
3. CLASS IV MATERIAL CONSISTS OF FINE GRAINED MATERIALS, SUCH AS FINE SAND AND SOILS CONTAINING 50 PERCENT OR MORE CLAY OR SILT. SOILS CLASSIFIED AS IV6 OR IV8 WHICH HAVE PLASTICITY ARE NOT RECOMMENDED FOR EMBEDMENT ZONE.
4. USING EXISTING SOIL FOR FINAL BACKFILL IS ALLOWED ONLY IF IT IS FREE OF ORGANIC OR RECYCLED MATERIALS.



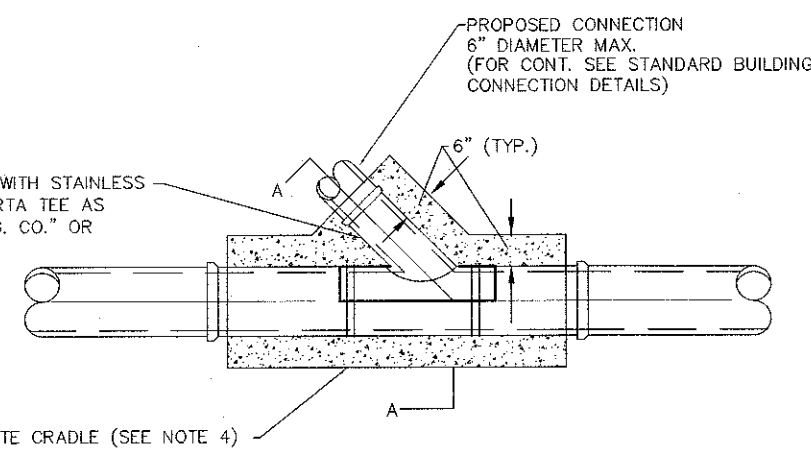
5	4-26-21	PER TAC 4-14-21
4	3-22-21	PER PB MTG 8-12-20 & ZBA MTG 11-2-20
3	9-2-20	ADD SITTING AREA
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20
REVISION	DATE	DESCRIPTION

ATZL, NASHER & ZIGLER P.C. ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.ANZNY.com	
PROJECT:	
L'DOR	
TOWN OF CLARKSTOWN ROCKLAND COUNTY, NEW YORK	
TITLE:	
PRELIMINARY DETAILS	
DRAWN BY: EP	CHECKED BY: JRA
DATE: JUNE 27, 2018	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 7

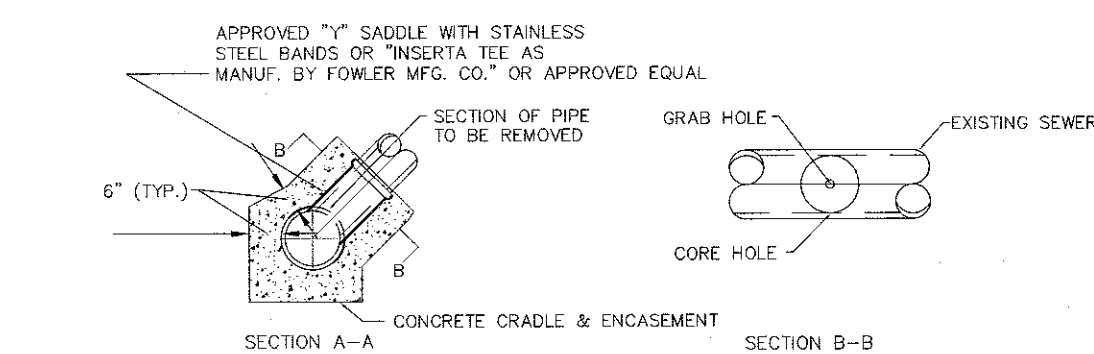
NOTES:

- 1) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT DETAILS AND SPECIFICATIONS OF THE SADDLE THAT IS TO BE USED, FOR THE ROCKLAND COUNTY SEWER DISTRICT OR REVIEWING AGENCY TO REVIEW AND APPROVE.
- 2) ENCASE ENTIRE SADDLE IN CONCRETE. THE NEW SERVICE PIPE SHALL NOT PROTRUDE INTO THE EXISTING INTERCEPTOR PIPE.
- 3) WHERE SADDLE IS 24" DIA OR LARGER, CONTRACTOR MAY USE "INSERTA TEE" AND ENCASE TEE AND TOP OF PIPE WITH 6" OF QUICKSETTING WATERPROOF CEMENT WITHIN 12" OF THE TEE RATHER THAN CONCRETE ENCASMENT ALL AROUND PIPE.

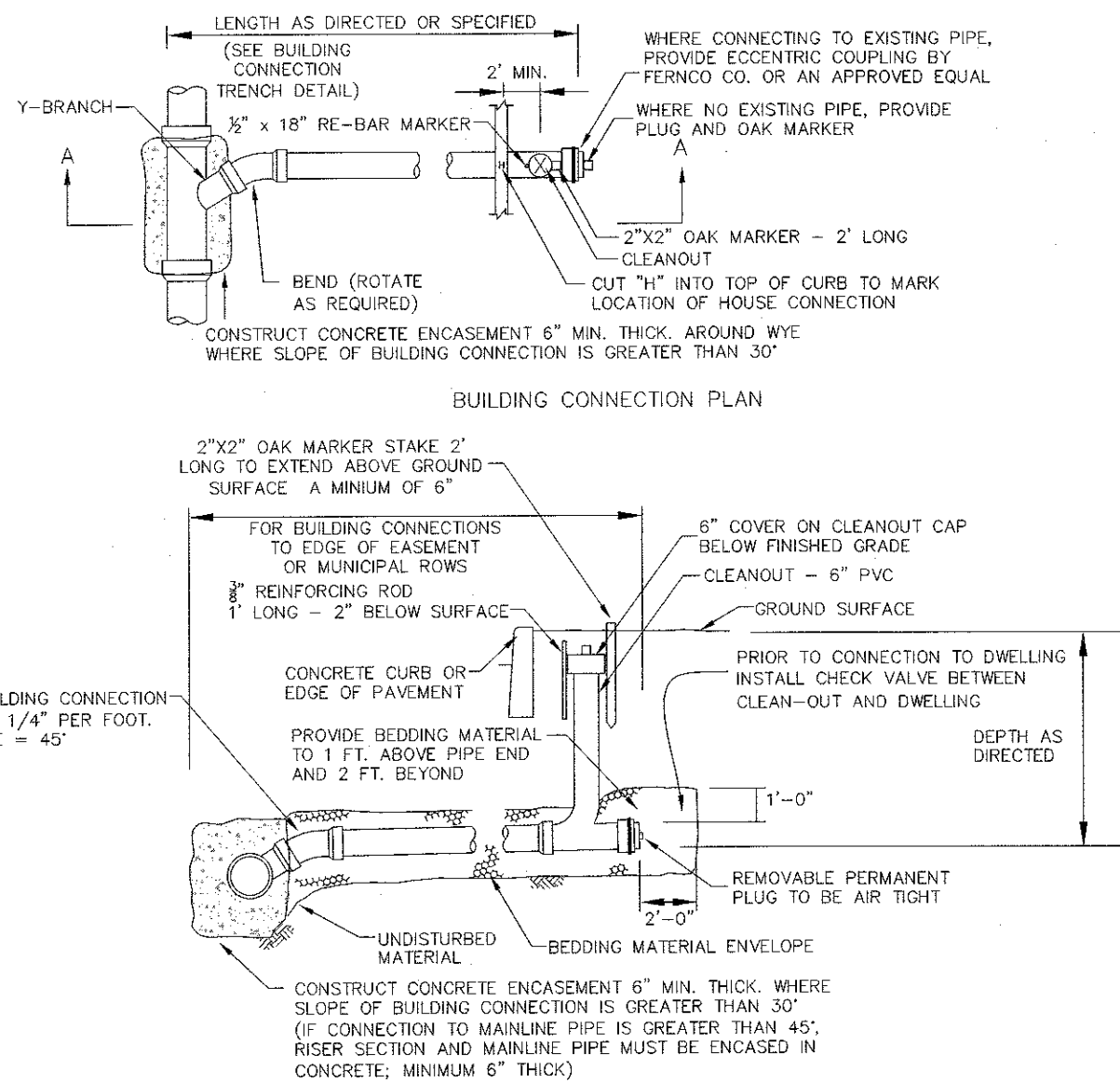
PLAN - ALTERNATIVE "B"



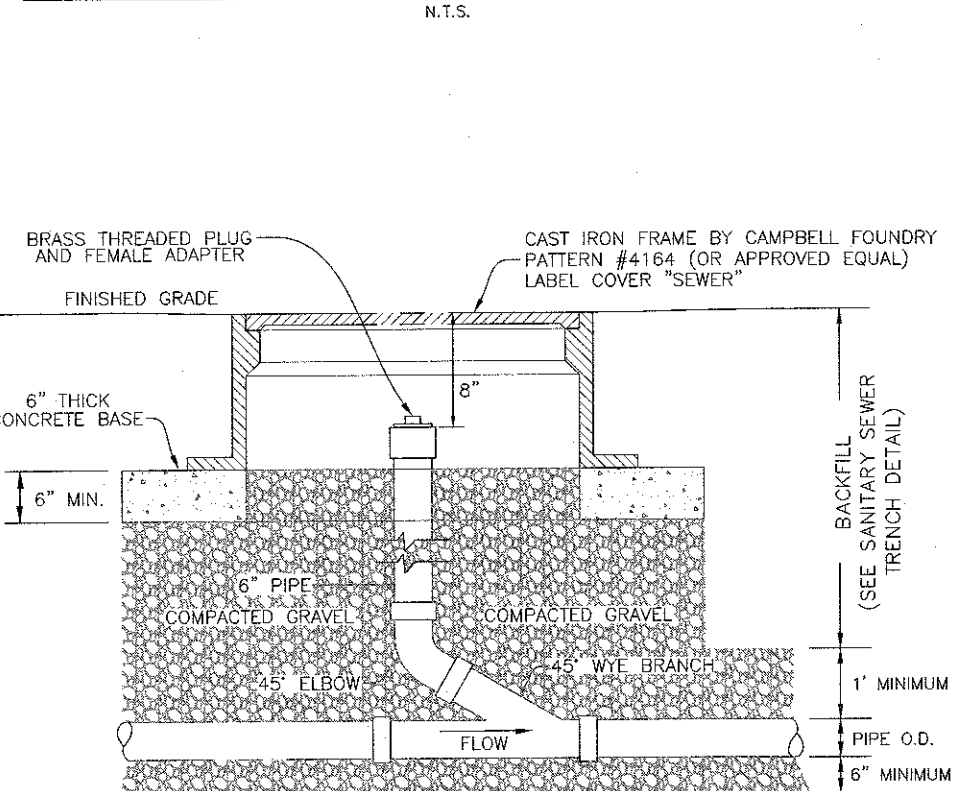
PLAN - ALTERNATIVE "A"



ROCKLAND COUNTY SEWER DISTRICT NO. 1 BUILDING CONNECTION TO EXISTING SEWER DETAIL



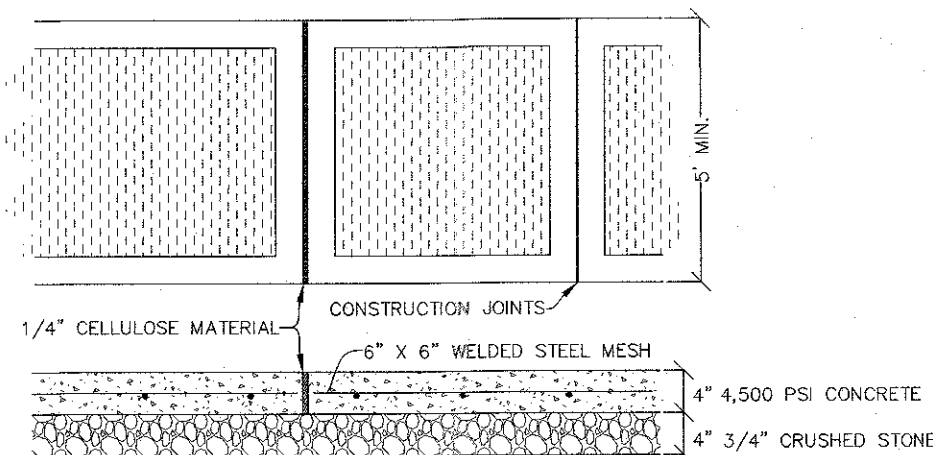
BUILDING CONNECTION ELEVATION SANITARY SEWER BUILDING CONNECTION DETAIL



CLEAN OUT DETAIL

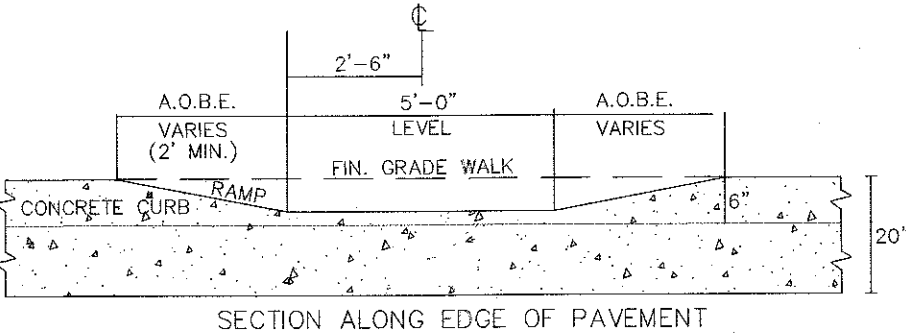
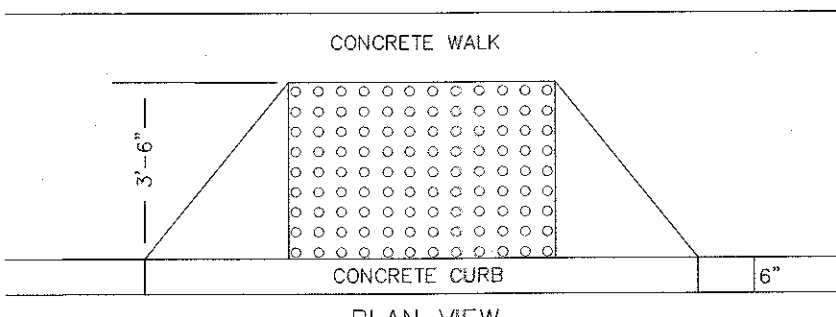
N.T.S.

NOTE: EACH BUILDING SEWER SHALL HAVE A CLEANOUT INSTALLED APPROXIMATELY 2' DOWNSTREAM OF THE BUILDING PIPE TO BUILDING SEWER CONNECTION. THEREAFTER, CLEANOUTS SHALL BE INSTALLED ALONG THE BUILDING SEWER APPROXIMATELY EVERY 75' (MAXIMUM), FOR THE PURPOSE OF CLEANOUT LOCATIONS. DISTANCE SHALL BE MEASURED FROM THE FIRST CLEANOUT LOCATED DOWNSTREAM OF THE HOUSE PIPE TO BUILDING SEWER CONNECTION. HENCE, DOWNSTREAM ALONG THE BUILDING SEWER TO THE CENTER OF THE SEWER MAIN LINE (GENERALLY LOCATED IN THE CENTER OF THE STREET).



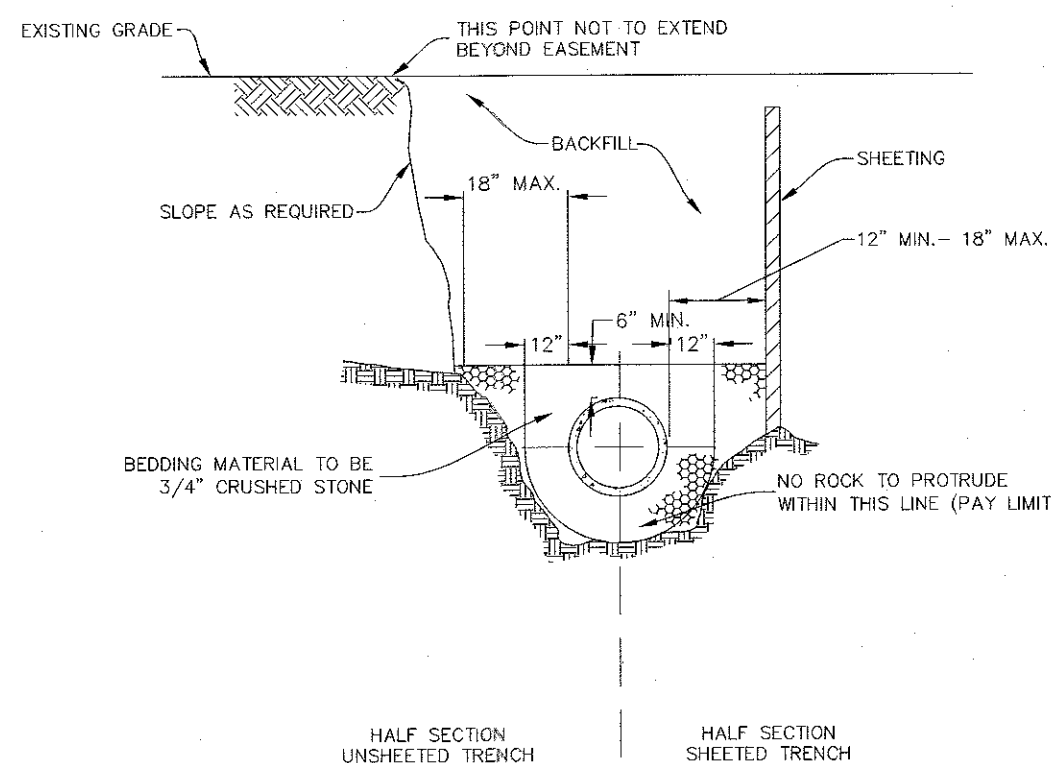
CONCRETE SIDEWALK

N.T.S.

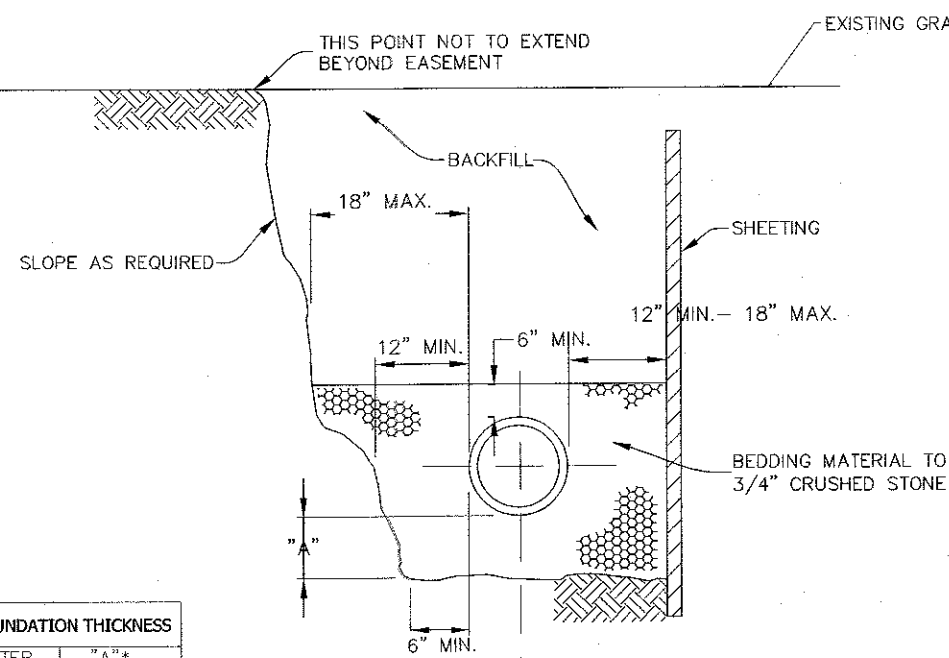


DROP CURB AND SIDEWALK RAMP DETAIL

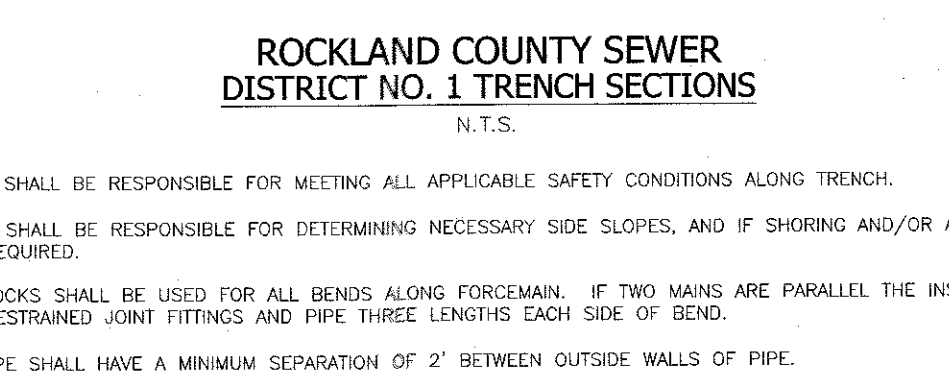
N.T.S.



TRENCH IN ROCK



TRENCH IN EARTH

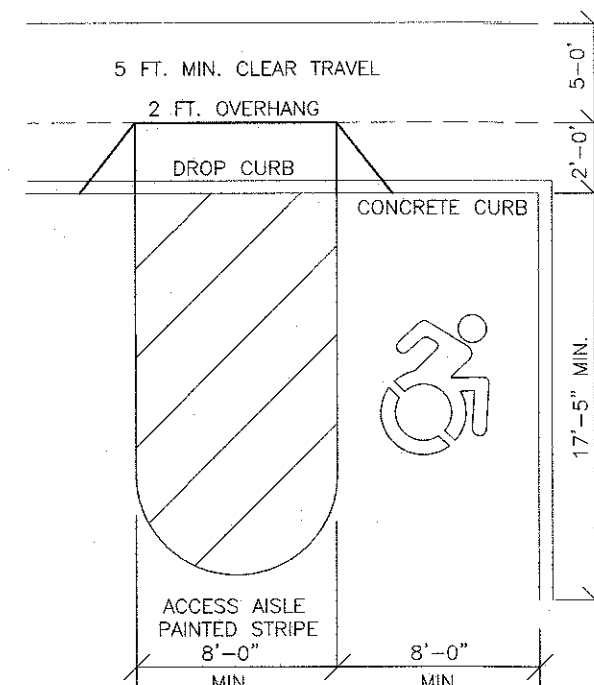


ROCKLAND COUNTY SEWER DISTRICT NO. 1 TRENCH SECTIONS

N.T.S.

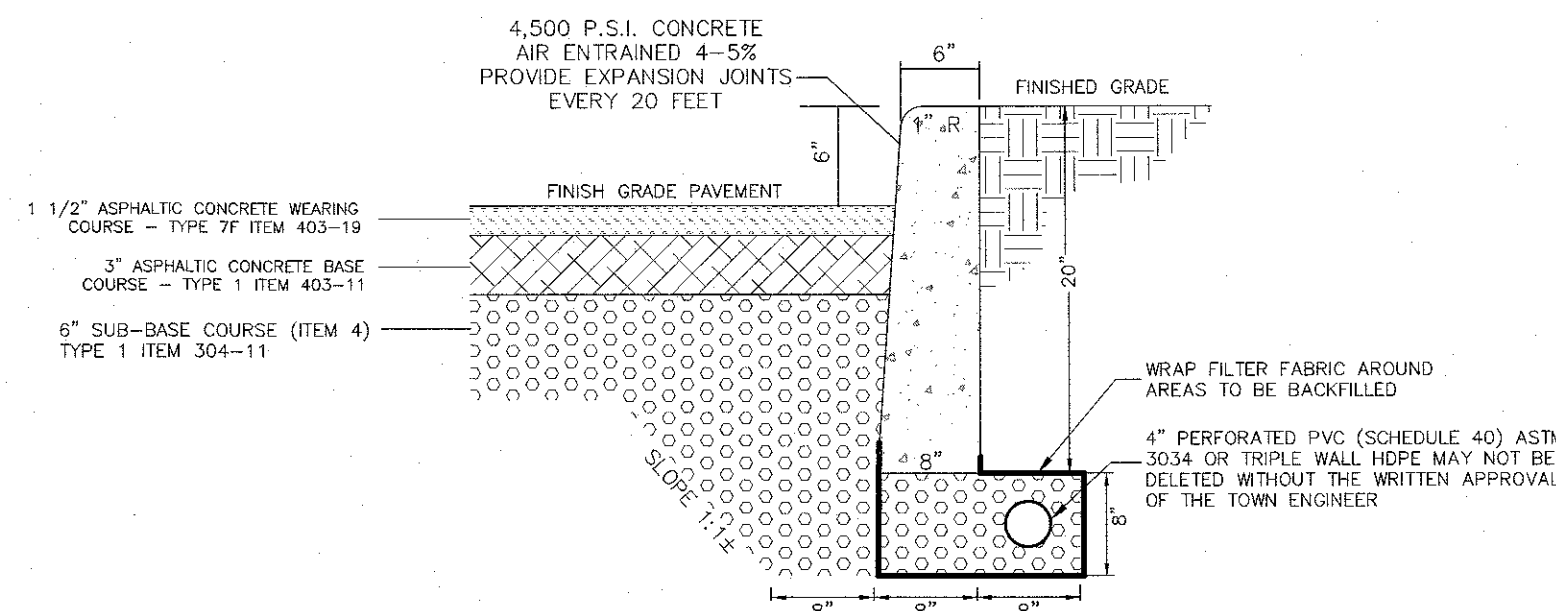
NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL APPLICABLE SAFETY CONDITIONS ALONG TRENCH.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING NECESSARY SIDE SLOPES, AND IF SHORING AND/OR A TRENCH SHIELD IS REQUIRED.
3. THRUSTS BLOCKS SHALL BE USED FOR ALL BENDS ALONG FORECROWN. IF TWO MAINS ARE PARALLEL THE INSIDE PIPE SHALL BE RESTRAINED JOINT FITTINGS AND PIPE THREE LENGTHS EACH SIDE OF BEND.
4. PARALLEL PIPE SHALL HAVE A MINIMUM SEPARATION OF 2' BETWEEN OUTSIDE WALLS OF PIPE.



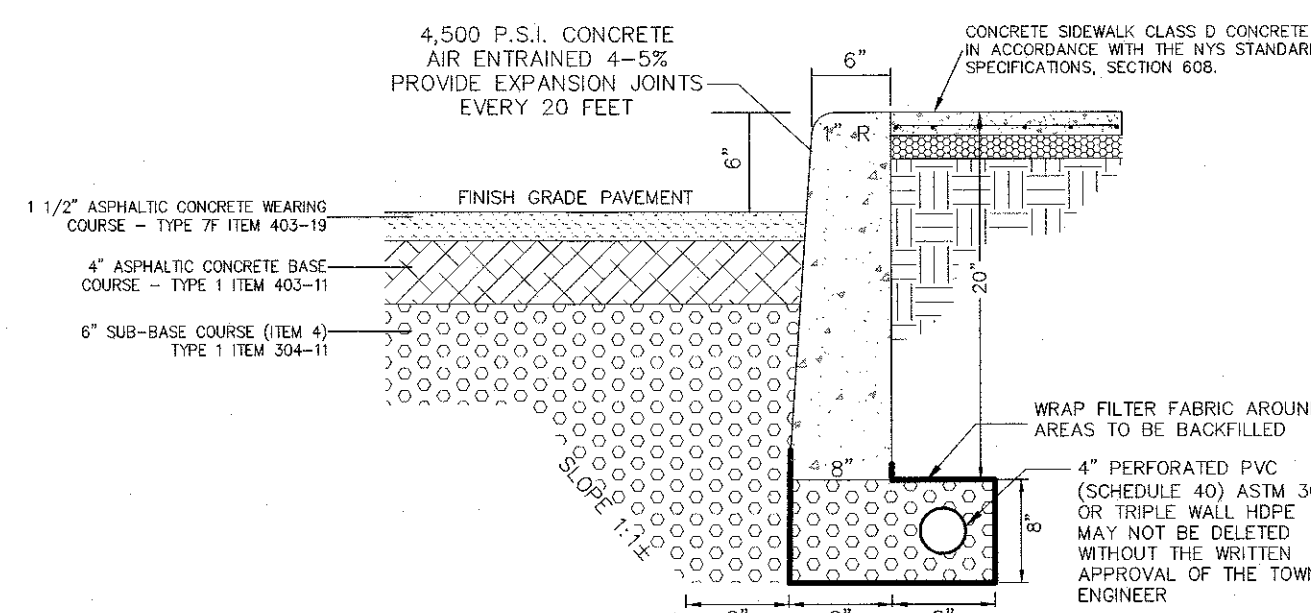
ACCESSIBLE PARKING DETAIL

N.T.S.



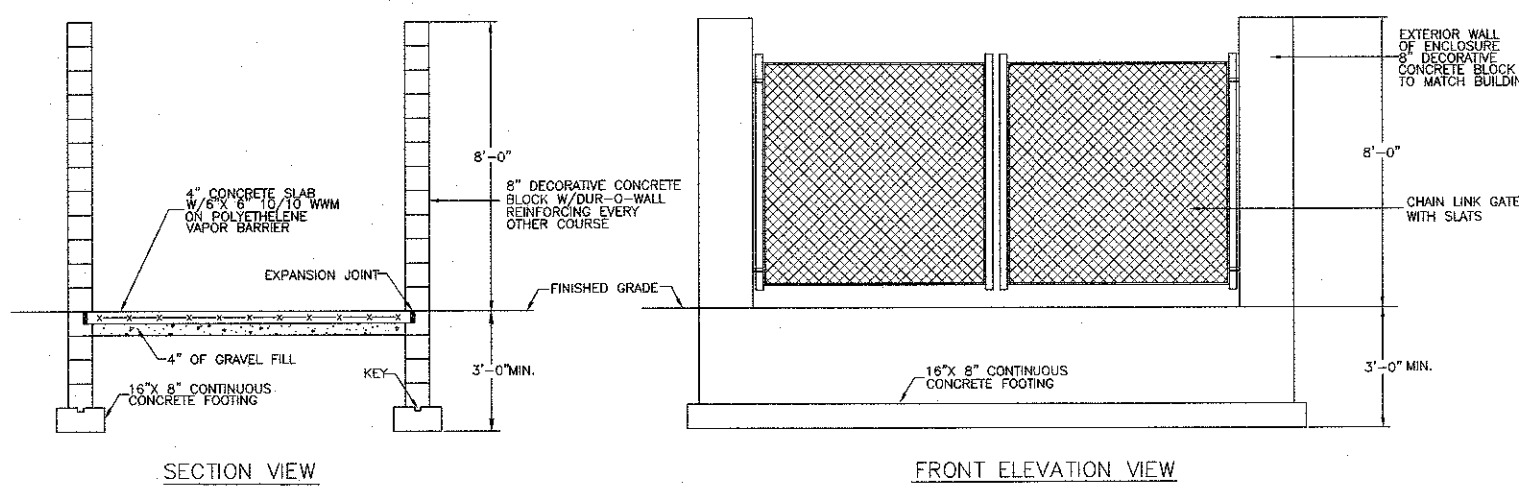
ASPHALTIC CONCRETE PAVEMENT & CONCRETE CURB DETAIL FOR PARKING AREAS

N.T.S.



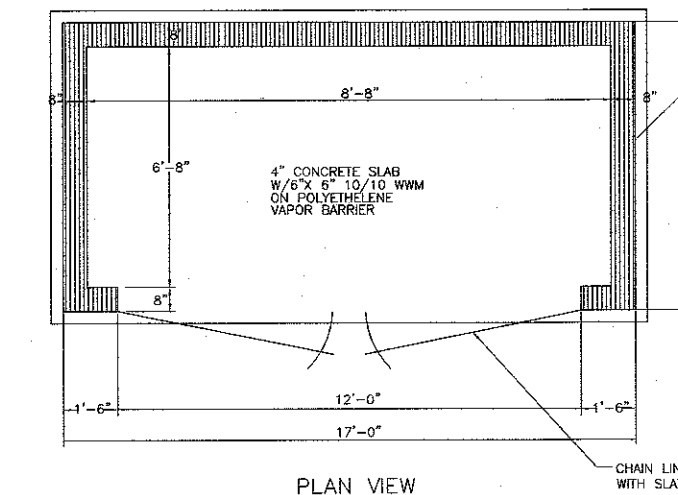
ASPHALTIC CONCRETE PAVEMENT & CONCRETE CURB DETAIL FOR TRAVELLED WAY

N.T.S.



REFUSE DUMPSTER ENCLOSURE DETAIL

N.T.S.



REFUSE DUMPSTER ENCLOSURE DETAIL

N.T.S.

REVISION	DATE	DESCRIPTION
5	4-26-21	PER TAC 4-14-21
4	3-22-21	PER PB MTG 8-12-20 & ZBA MTG 11-2-20
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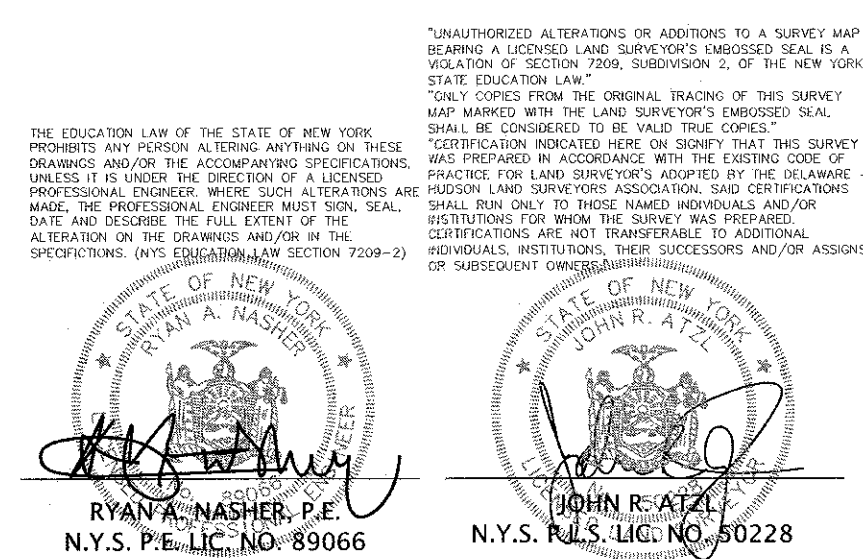
ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
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Tel: (845) 634-4894
Fax: (845) 634-5543
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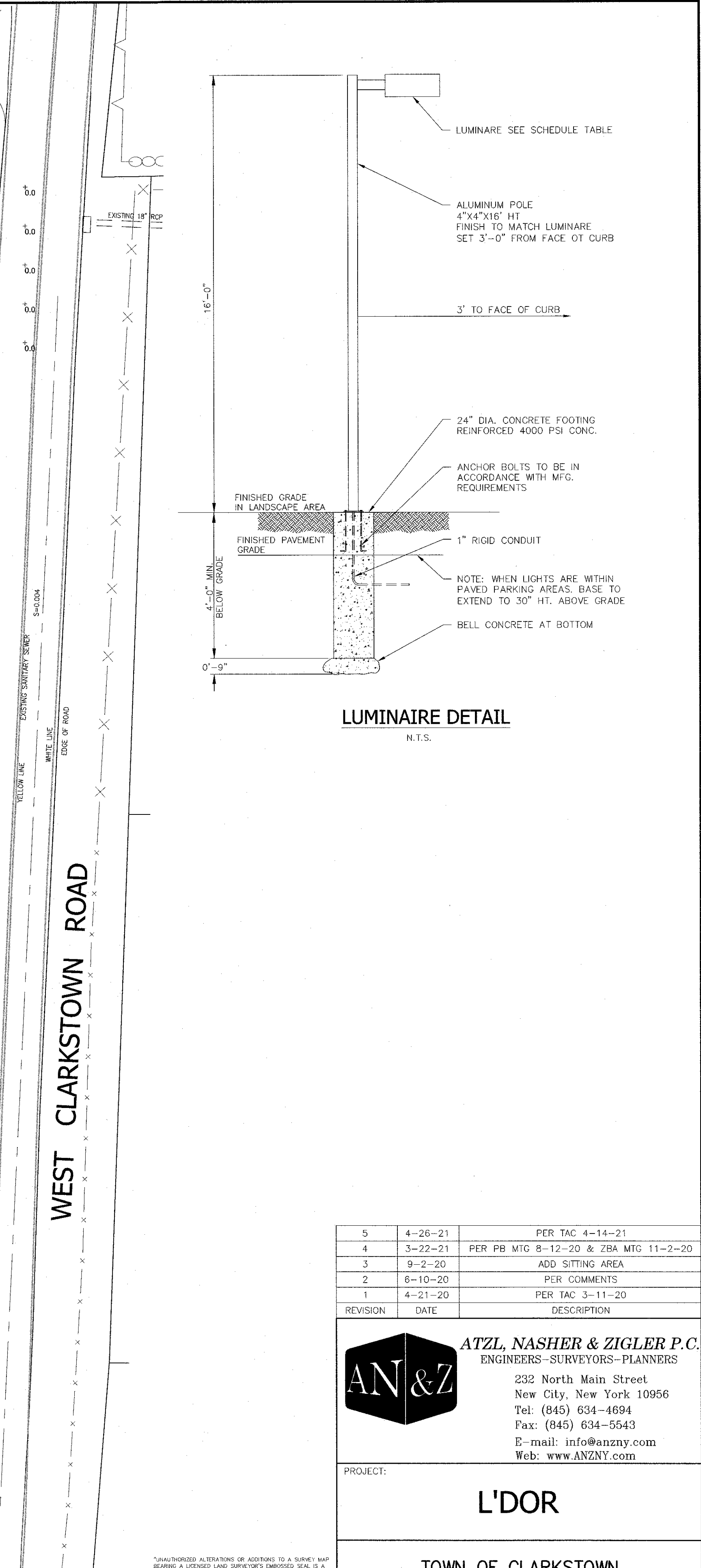
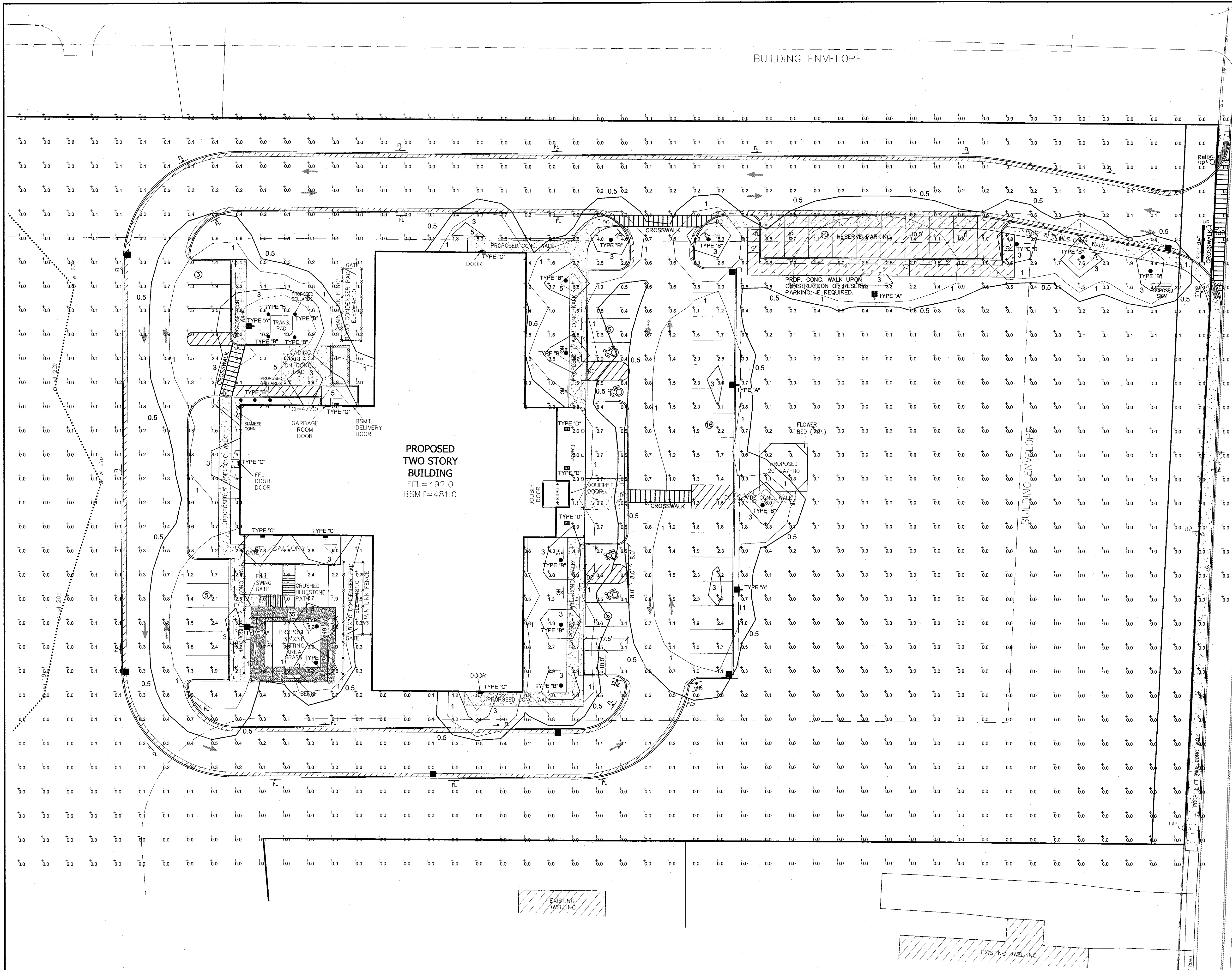
PROJECT: **L'DOR**

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE: **PRELIMINARY DETAILS**

DRAWN BY: EP	CHECKED BY: JRA
DATE: JUNE 27, 2018	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 8





Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
A	5	ALED3T50Y	SINGLE	N.A.	1.000	Pole Mount
B	20	BDLED24Y	SINGLE	N.A.	1.000	Boilard
C	6	SLIM12Y	SINGLE	N.A.	1.000	Wall Mount
D	3	VANILED6YW	SINGLE	N.A.	1.000	Ceiling Mount

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcPts Ground	Illuminance	Fc	0.55	21.6	0.0	N.A.
StatArea Back Parking	Illuminance	Fc	1.54	2.6	0.6	2.57
StatArea Parking	Illuminance	Fc	1.21	5.3	0.3	4.03

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A SURVEYOR'S LAND SURVEYOR'S PROFESSIONAL SEAL, N.Y.S. EDUCATION LAW § 2201(2)(b), ARE PROHIBITED.

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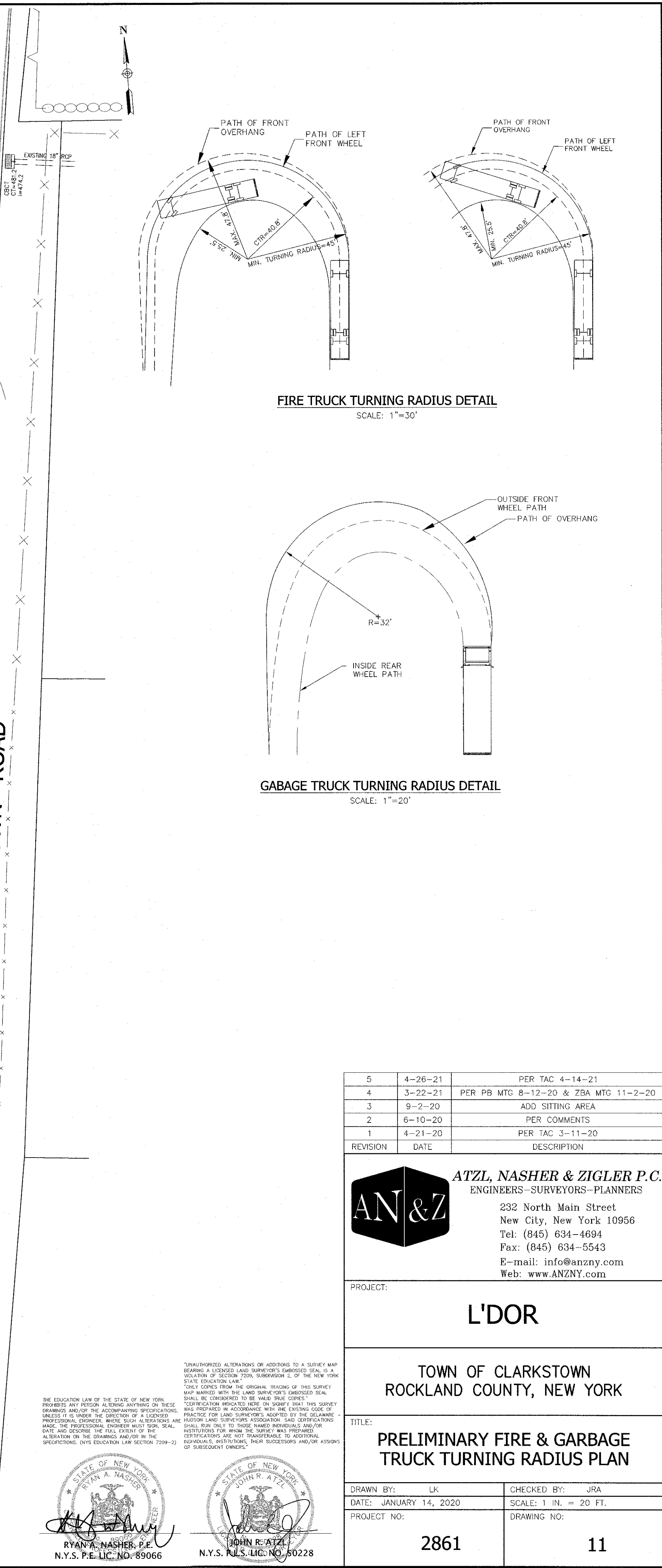
ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
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New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.anzny.com

PROJECT: L'DOR

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE: PRELIMINARY LIGHTING PLAN

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1" IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 10



DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 11

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UNLESS IT IS UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER OR ARCHITECT. IF ANY
ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL,
DATE AND SIGNATURE THE FULL TITLE OF THE
ALTERATION ON THE DRAWINGS AND/OR IN
THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

STATE OF NEW YORK
RYAN A. NASHER

[Signature]

RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

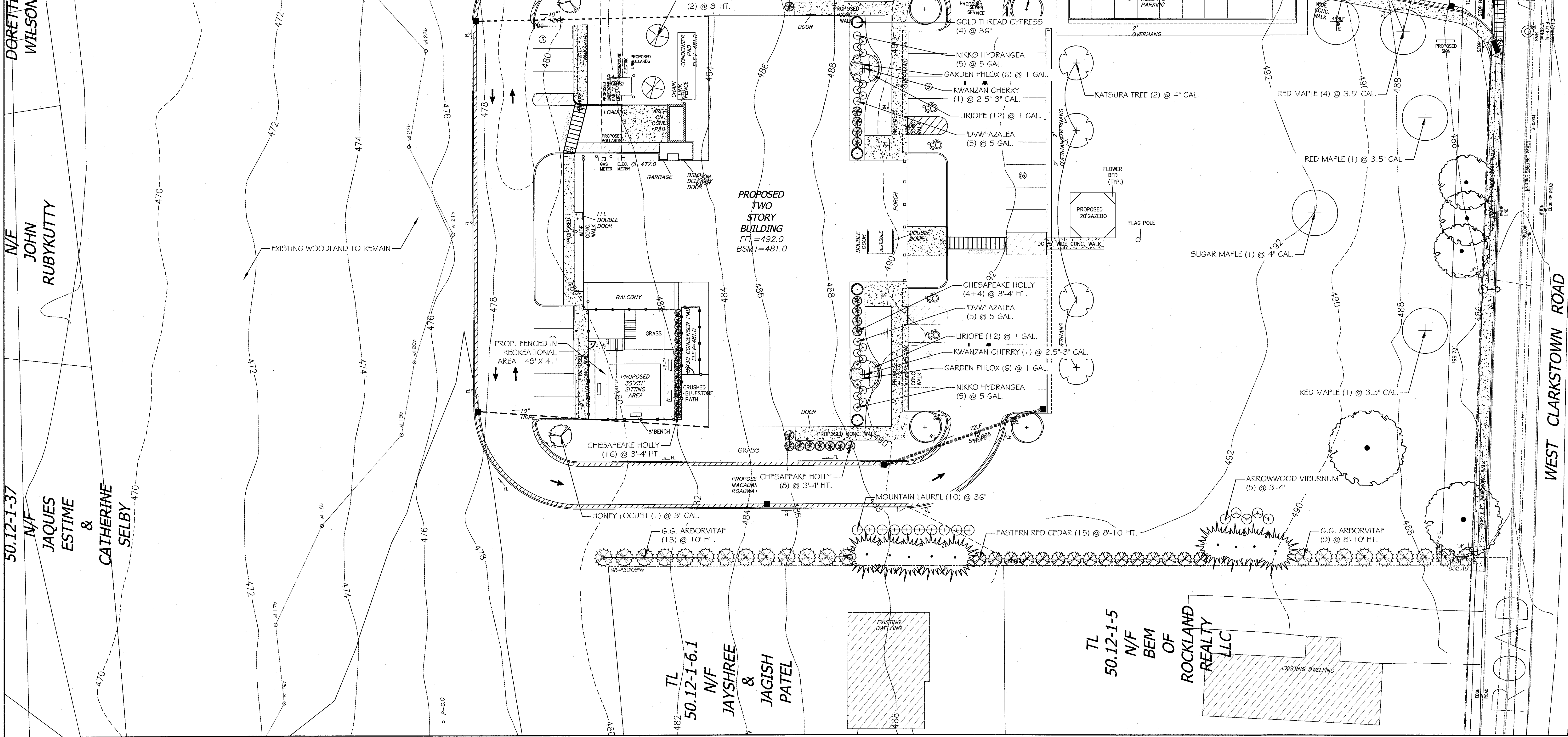
STATE OF NEW YORK
JOHN R. ATZL

[Signature]

JOHN R. ATZL
N.Y.S. P.E. LIC. NO. 50228



Site Planting	Scientific Name	Common Name	Size	Quantity
Trees				
	<i>Juniperus virginiana</i>	Eastern Red Cedar	8'-10' Ht.	22
	<i>Picea abies</i>	Norway Spruce	8'-10' Ht.	12
	<i>Prunus serotina</i> 'Kwanzan'	Kwanzan Cherry	2'-3'-3" cal.	2
	<i>Thuja plicata</i> 'Green Giant'	Green Giant Arborvitae	8'-10' Ht.	22
Shrubs				
	<i>Azalea</i> spp. 'Del. Valley White'	Delaware White Azalea	5 gal.	10
	<i>Chamaecyparis</i> sp. 'Fallen Arrow'	Gold Thread Cypress	36"	4
	<i>Hydrangea macro</i> 'Nikko Blue'	Nikko Blue Hydrangea	5 gal.	10
	<i>Ilex crenata</i> 'Chesapeake'	Chesapeake Holly	3'-4" Ht.	40
	<i>Kalmia latifolia</i>	Mountain Laurel	36"	10
	<i>Viburnum dentatum</i>	Arrowwood Viburnum	3'-4"	5
Perennials				
	<i>Linum catharticum</i>	Lin. Turt.	1 gal.	24
	<i>Phlox paniculata</i>	Summer Phlox	1 gal.	12
Mitigation Planting				
Trees				
	<i>Acer rubrum</i>	Red Maple	3.5" cal.	6
	<i>Acer saccharum</i>	Sugar Maple	4" cal.	1
	<i>Ambrosia artemisiifolia</i>	Shadblow Serviceberry	3.5" cal.	8
	<i>Cercidiphyllum japonicum</i>	Katsura Tree	4" cal.	4
	<i>Cladonia incantans</i>	Thunberg Common Honeylocust	3" cal.	2
	<i>Juniperus virginiana</i>	Eastern Red Cedar	10' Ht.	12
	<i>Magnolia tomentosa</i>	Merrill Magnolia	8" Ht.	2
	<i>Quercus alba</i>	Swamp White Oak	3.5" cal.	3
	<i>Quercus palustris</i>	Pin Oak	4" cal.	4
	<i>Salix nigra</i>	Black Willow	3" cal.	6
	<i>Thuja plicata</i> 'Green Giant'	Green Giant Arborvitae	10' Ht.	14
	Total Mitigation Trees			62



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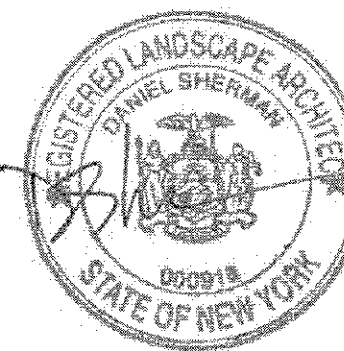
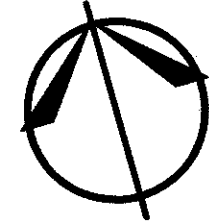
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P.O. Box 636
Chester, New York 10916
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Fax: (914) 489-1016



DANIEL SHERMAN
LANDSCAPE ARCHITECT, P.C.

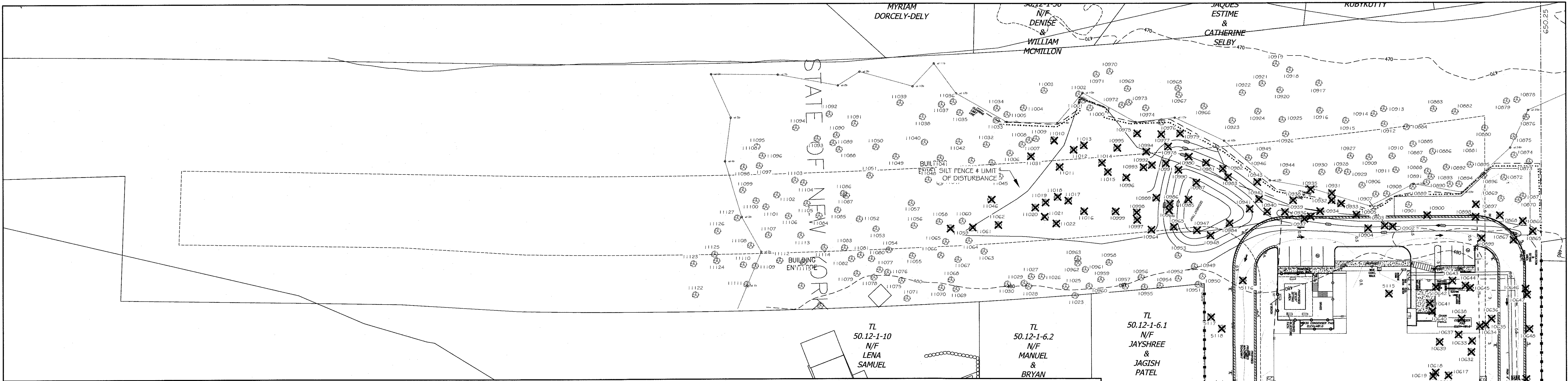
4 Broadway, Suite 9
Valhalla, NY 10595
T: 914-824-0999
F: 914-824-0251

PLANTING PLAN (FRONT)

DRAWN BY: AL DATE: 02/10/20 REV: 05/04/21
SCALE: 1" = 20' - 0" SHEET: L - 1

L'DOR
156 W CLARKSTOWN RD
NEW CITY, NY 10956

2860



NOTES

- EXISTING TREES SHOWN TO REMAIN ON THE PLAN ARE TO REMAIN UNDISTURBED. EXISTING TREES SHOWN TO REMAIN ON THE PLAN ARE TO BE PROTECTED WITH A 4 FOOT HIGH ORANGE SNOW FENCE PLACED AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER. ANY EXISTING TREE SHOWN TO REMAIN, WHICH IS REMOVED OR DAMAGED SUFFICIENTLY TO REQUIRE REPLACEMENT DURING CONSTRUCTION, SHALL BE REPLACED BY A 2 1/2" - 3" CALIPER SHADE TREE AS DETERMINED BY THE TOWN OF CLARKSTOWN DEPARTMENT OF ENVIRONMENTAL CONTROL. WHEN AN AREA OF EXISTING TREES IS SHOWN TO BE SAVED, AND SUCH AREA OF TREES HAS BEEN REMOVED, A 2 1/2" - 3" CALIPER SHADE TREE SHALL BE PLACED FOR EACH 50 SQ FT OF AREA DISTURBED.
- NECESSARY CARE SHALL BE TAKEN TO INSURE SURVIVAL AND APPEARANCE OF EXISTING TREES TO BE SAVED WITH BARRIER FENCING TO RESTRICT CONSTRUCTION TRAFFIC AND PERSONNEL WITHIN THE CONSTRUCTION AREA. FORM A COMPLETE ENCLOSURE ALONG DRIP LINE OF TREE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER. INSTALL ORANGE CONSTRUCTION SAFETY FENCE WITH 1" POST 6" O/C. PULL FENCING TAUT AND SECURE WITH WIRE TIES TO PREVENT SAGGING. MAINTAIN BARRICADES UNTIL THEIR REMOVAL IS APPROVED BY THE TOWN OF CLARKSTOWN DEPARTMENT OF ENVIRONMENTAL CONTROL.
- THE LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ANY EXISTING TREES TO REMAIN. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY TREES REMOVED BY THEM WITHOUT PRIOR AUTHORIZATION FROM THE TOWN OF CLARKSTOWN DEPARTMENT OF ENVIRONMENTAL CONTROL.

TREE MITIGATION AS PER CODE

TOTAL SITE ACREAGE 9.77 ACRES
EXISTING TREES ON SITE (8" OR LARGER) = 355 TREES
TOTAL TREES TO BE REMOVED = 131 TREES
TREES REQUIRED 17/ACRE = 167 TREES
EXISTING TREES ON SITE TO REMAIN = 225 TREES
ADDITIONAL TREES REQUIRED = 0 TREES
ADDITIONAL TREES PROVIDED = 0 TREES
TOTAL TREES ON SITE = 225 TREES

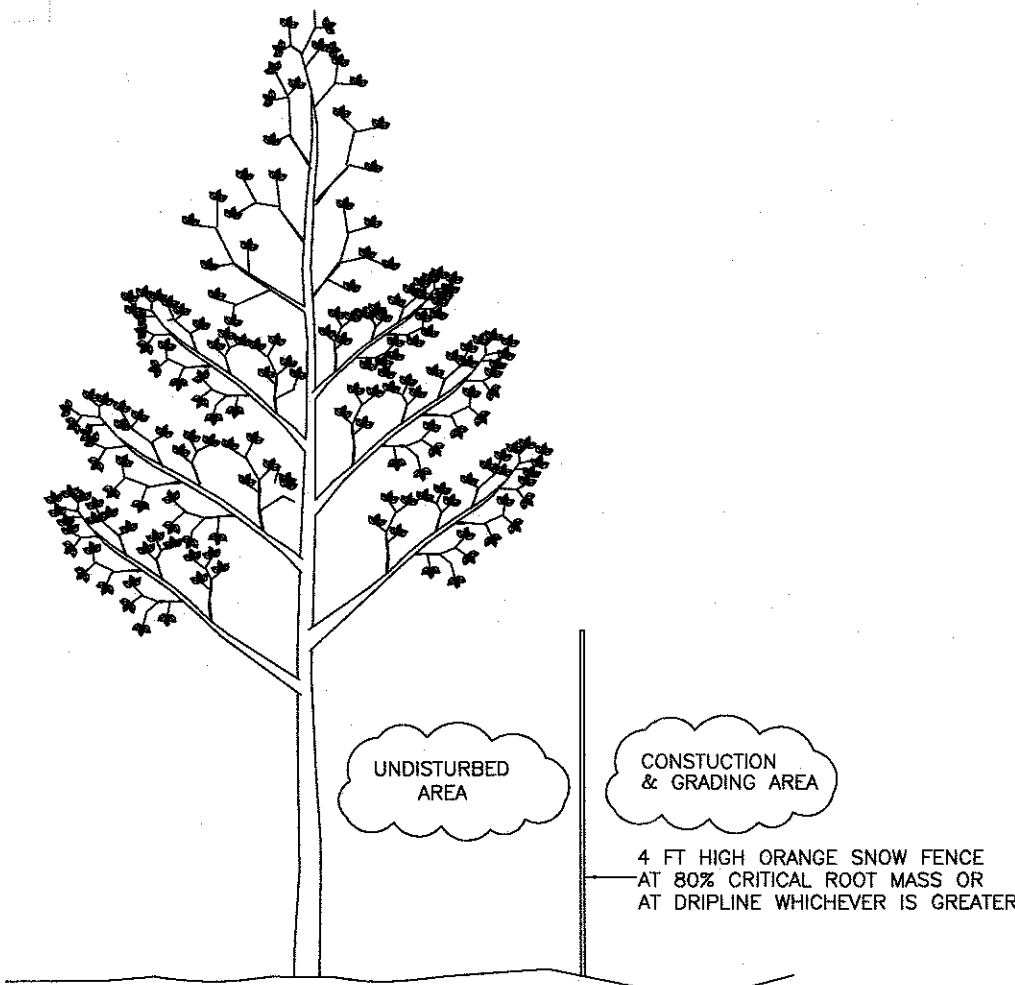
TREE MITIGATION AS PER DISTURBANCE AREA

TOTAL SITE ACREAGE 9.77 ACRES
TOTAL AREA OF DISTURBANCE = 3.53 ACRES
EXISTING TREES ON SITE (8" OR LARGER) = 355
TOTAL TREES TO BE REMOVED = 131 TREES
TREES REQUIRED 17/ACRE (IN DISTURBANCE AREA) = 61 TREES
ADDITIONAL TREES REQUIRED = 61 TREES
ADDITIONAL TREES PROVIDED = 62 TREES
TOTAL TREES ON SITE W/ PROP. PLANTINGS = 287 TREES

Tree Removed (Inches) Sizes	Tree Removed by Inches	Required Trees by Size	Required Size of Replacement
8" to less than 16"	79 trees	10 trees	3" cal. / 8' ht.
16" to less than 28"	43 trees	43 trees	3.5" cal. / 10' ht.
28" and greater	8 trees	8 trees	4" cal. / 12' ht.
Total Tree Removals = 130		Total Trees Required = 61	

TREE LIST

NUMBER	SIZE (IN)	TYPE	NUMBER	SIZE (IN)	TYPE	NUMBER	SIZE (IN)	TYPE	NUMBER	SIZE (IN)	TYPE	NUMBER	SIZE (IN)	TYPE
10418	24	MAPLE	10646	20	OAK	10999	18	MAPLE	11067	15	OAK	5114	12	TWIN BIRCH
10419	42	OAK	10665	12	HICKORY	11000	12	MAPLE	11068	15	OAK	5115	40	PINE
10420	12	TWIN MAPLE	10666	18	OAK	11001	12	MAPLE	11069	18	MAPLE	5116	30	PINE
10422	18	MAPLE	10667	16	TRIPLE MAPLE	11002	12	MAPLE	11070	20	ASH	5117	14	MAPLE
10423	24	BIRCH	10668	15	MAPLE	11003	30	OAK	11071	10	MAPLE	5118	22	TWIN PINE
10424	15	HICKORY	10669	18	OAK	11004	24	MAPLE	11072	12	ASH	5119	32	PINE
10425	12	MAPLE	10670	10	TWIN MAPLE	11005	10	ASH	11073	12	MAPLE	5120	15	BIRCH
10426	15	MAPLE	10671	15	MAPLE	11006	12	MAPLE	11074	12	TWIN MAPLE	5121	15	BIRCH
10427	24	OAK	10672	10	TRIPLE MAPLE	11007	12	MAPLE	11075	15	MAPLE	5122	15	BIRCH
10436	15	MAPLE	10673	20	OAK	11008	15	MAPLE	11076	12	MAPLE	5123	15	BIRCH
10437	15	BIRCH	10674	20	OAK	11009	12	MAPLE	11077	12	MAPLE	5124	10	QUAC CEDAR
10438	15	MAPLE	10675	12	MAPLE	11010	12	MAPLE	11078	15	MAPLE	5125	10	QUAC CEDAR
10439	20	MAPLE	10676	18	MAPLE	11011	12	MAPLE	11079	8	MAPLE	5126	5	QUAC CEDAR
10440	24	OAK	10677	15	MAPLE	11012	12	MAPLE	11080	10	MAPLE	5127	14	TWIN CEDAR
10441	10	MAPLE	10678	24	MAPLE	11013	12	MAPLE	11081	10	BIRCH	5128	12	TRIPLE CEDAR
10442	12	TWIN BIRCH	10679	10	TRIPLE MAPLE	11014	8	ASH	11082	8	ASH			
10443	12	ASH	10680	10	TWIN MAPLE	11015	15	TWIN MAPLE	11083	18	MAPLE			
10577	18	PINE	10681	10	OAK	11016	15	MAPLE	11084	12	TWIN MAPLE			
10578	8	TWIN CHERRY	10682	18	OAK	11017	12	MAPLE	11085	12	MAPLE			
10579	15	PINE	10683	18	OAK	11018	12	MAPLE	11086	18	MAPLE			
10580	12	MAPLE	10684	18	OAK	11019	12	MAPLE	11087	12	BIRCH			
10581	18	TWIN MAPLE	10685	18	OAK	11020	12	MAPLE	11088	15	OAK			
10582	12	TWIN MAPLE	10686	12	TWIN MAPLE	11021	12	MAPLE	11089	15	MAPLE			
10583	10	TWIN CEDAR	10687	12	TWIN MAPLE	11022	12	MAPLE	11090	18	MAPLE			
10584	42	SPRUCE	10688	12	MAPLE	11023	10	MAPLE	11091	12	MAPLE			
10585	15	TWIN CEDAR	10689	15	OAK	11024	15	MAPLE	11092	12	TWIN MAPLE			
10586	36	MAPLE	10690	18	OAK	11025	15	MAPLE	11093	12	MAPLE			
10587	15	CEDAR	10691	18	OAK	11026	18	MAPLE	11094	12	MAPLE			
10588	12	MAPLE	10692	12	MAPLE	11027	12	MAPLE	11095	15	BIRCH			
10589	18	MAPLE	10693	12	MAPLE	11028	15	MAPLE	11096	15	MAPLE			
10590	24	MAPLE	10694	12	MAPLE	11029	12	MAPLE	11097	15	MAPLE			
10591	18	MAPLE	10695	18	MAPLE	11030	10	MAPLE	11098	18	MAPLE			
10592	18	OAK	10696	18	OAK	11031	10	MAPLE	11099	15	MAPLE			
10593	20	HICKORY	10697	18	OAK	11032	24	OAK	11100	12	MAPLE			
10594	10	ASH	10698	15	TWIN MAPLE	11033	10	OAK	11101	15	MAPLE			
10595	15	TWIN CEDAR	10699	15	TWIN MAPLE	11034	30	OAK	11102	18	MAPLE			
10596	12	MAPLE	10700	12	MAPLE	11035	15	BIRCH	11103	12	TWIN MAPLE			
10597	10	MAPLE	10701	12	MAPLE	11036	15	MAPLE	11104	10	ASH			
10598	15	MAPLE	10702	12	MAPLE	11037	15	MAPLE	11105	8	BIRCH			
10599	18	MAPLE	10703	12	MAPLE	11038	10	ASH	11106	10	ASH			
10600	12	MAPLE	10704	12	MAPLE	11039	36	OAK	11107	12	TWIN MAPLE			
10601	15	MAPLE	10705	15	MAPLE	11040	18	MAPLE	11108	12	OAK			
10602	12	TWIN MAPLE	10706	10	MAPLE	11041	12	MAPLE	11109	15	MAPLE			
10603	15	MAPLE	10707	10	MAPLE	11042	30	OAK	11110	8	MAPLE			
10604	15	MAPLE	10708	10	MAPLE	11043	12	MAPLE	11111	12	MAPLE			
10605	12	MAPLE	10709	10	MAPLE	11044	10	MAPLE	11112	15	TWIN MAPLE			
10606	12	MAPLE	10710	10	MAPLE	11045	15	OAK	11113	8	MAPLE			
10607	12	MAPLE	10711	10	MAPLE	11046	18	OAK	11114	18	ASH			
10608	12	MAPLE	10712	10	MAPLE	11047	15	MAPLE	11115	12	MAPLE			
10609	12	MAPLE	10713	10	MAPLE	11048	24	OAK	11116	8	MAPLE			
10610	15	MAPLE	10714	10	MAPLE	11049	12	TWIN MAPLE	11117	15	TWIN MAPLE			
10611	15	MAPLE	10715	10	MAPLE	11050	18	OAK	11118	12	MAPLE			
10612	12	TWIN MAPLE	10716	10	MAPLE	11051	12	MAPLE	11119	12	MAPLE			
10613	15	MAPLE	10717	10	MAPLE	11052	8	HICKORY	11120	12	MAPLE			
10614	15	MAPLE	10718	10	MAPLE	11053	15	MAPLE	11121	12	MAPLE			
10615	15	MAPLE	10719	10	MAPLE	11054	12	MAPLE	11122	12	MAPLE			
10616	12	TRIPLE MAPLE	10720	10	MAPLE	11055	10	MAPLE	11123	12	MAPLE			
10617	12	TRIPLE MAPLE	10721	10	MAPLE	11056	18	TWIN MAPLE	11124	12	MAPLE			
10618	12	TRIPLE MAPLE	10722	10	MAPLE	11057	15	MAPLE	11125	12	MAPLE			
10619	8	ASH	10723	24	OAK	11058	10	BIRCH	11126	12	MAPLE			
10620	12	MAPLE	10724	10	MAPLE	11059	12	MAPLE	11127	10	HICKORY			
10621	12	MAPLE	10725	10	MAPLE	11060	12	MAPLE	11128	10	MAPLE			
10622	15	HICKORY	10726	10	MAPLE	11061	12	MAPLE	11129	10	MAPLE			
10623	24	ASH	10727	10	MAPLE	11062	12	MAPLE	11130	10	MAPLE			
10624	18	TWIN MAPLE	10728	10	MAPLE	11063	15	ASH	11131	10	MAPLE			
10625	24	ASH	10729	10	MAPLE	11064	18	MAPLE	11132	10	MAPLE			
10626	12	HICKORY	10730	10	MAPLE	11065	15	TWIN MAPLE	11133	10	MAPLE			
10627	12	HICKORY	10731	10	MAPLE	11066	15	MAPLE	11134	10	MAPLE			
10628	12	HICKORY	10732	10	MAPLE				11135	10	MAPLE			
10629	12	HICKORY	10733	10	MAPLE				11136	10	MAPLE			
10630	24	OAK	10734	10	MAPLE				11137	10	MAPLE			
10631	24	OAK	10735	10	MAPLE				11138	10	MAPLE			
10632	24	OAK	10736	10	MAPLE				11139	10	MAPLE			
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10634	24	OAK	10738	10	MAPLE				11141	10	MAPLE			
10635	24	OAK	10739	10	MAPLE				11142	10	MAPLE			
10636	24	OAK	10740	10	MAPLE				11143	10	MAPLE			
10637	24	OAK	10741	10	MAPLE				11144	10	MAPLE			
10638	24	OAK	10742	10	MAPLE				11145	10	MAPLE			
10639	24	OAK	10743	10	MAPLE				11146	10	MAPLE			
10640	24	OAK	10744	10	MAPLE				11147	10	MAPLE			
10641	24	OAK	10745	10	MAPLE				11148	10	MAPLE			
10642	24	OAK	10746	10	MAPLE				11149	10	MAPLE			
10643	24	OAK	10747	10	MAPLE				11150	10	MAPLE			
10644	24	OAK	10748	10	MAPLE				11151	10	MAPLE			
10645	24	OAK	10749	10	MAPLE				11152	10	MAPLE			
10646	24	OAK	10750	10	MAPLE				11153	10	MAPLE			
10647	24	OAK	10751	10	MAPLE				11154	10	MAPLE			



A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS WHICH WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES, ARE AS FOLLOWS:

- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
- THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
- TREES TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES.
- TREES TO BE SAVED WILL BE FENCED AT THE OUTER DRIP LINE.
- NO EARTH FILLS GREATER THAN 6" IN DEPTH WILL BE MADE BENEATH TREES TO BE PRESERVED.
- IN FILL AREAS, TREES WILL BE PRESERVED IN TREE WELLS OR THROUGH THE USE OF RETAINING WALLS AT THE DRIP LINE.
- IN CUT AREAS, TREES WILL BE PRESERVED WITH RETAINING WALLS AT THE DRIP LINE.

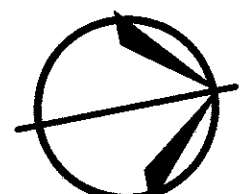
TREE PROTECTION DETAIL N.T.S.

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TREE PRESERVATION PLAN

DRAWN BY: AL DATE: 02/10/20 REV: 05/04/21
SCALE: 1" = 40' - 0" SHEET: L - 3

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