Rye City School District

555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

SED #: 66180001-0005-032

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AVE2-202

AUDIOVISUAL KEYS, NOTES AND SCHEDULES

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AUDIOVISUAL RCP - THIRD FLOOR

ELECTRICAL DETAILS

ELECTRICAL DETAILS

AUDIOVISUAL PLAN - iLAB

AUDIOVISUAL RCP - iLAB

HIGH SCHOOL & MIDDLE SCHOOL PART ELECTRICAL RISER

HIGH SCHOOL & MIDDLE SCHOOL FIRE ALARM AND PA RISER

HIGH SCHOOL & MIDDLE SCHOOL ELECTRICAL SCHEDULES

HIGH SCHOOL & MIDDLE SCHOOL ELECTRICAL SCHEDULES

HEARING LOOP SYSTEM LOOP WIRE LAYOUTS AND DIAGRAMS - ILAB

HEARING LOOP SYSTEM LOOP WIRE LAYOUTS AND DIAGRAMS - THIRD FLOOR

INTERIOR ELEVATION TAG

CALL OUT SYMBOL

SECTION SYMBOL

LEVEL TAG

\A-1.1 *─*

NAME ELEVATION

UNIFORM SAFETY STANDARDS COMMISIONER'S REGULATIONS 155.5 Statement: "The occupied portion of any school building shall always comply with the minimum requirements necessary to maintain a certificate of occupancy.' 2. Indication that all school areas to be disturbed during renovation or demolition have been or C2-002 will be tested for lead and asbestos. Note, the project folder should contain a letter regarding the presence of asbestos. Statement: "General safety and security standards for construction projects All construction materials shall be stored in a safe and secure manner. Fences around construction supplies or debris shall be maintained. 3. Gates shall always be locked unless a worker is in attendance to prevent unauthorized 4. During exterior renovation work, overhead protection shall be provided for any sidewalks or areas immediately beneath the work site or such areas shall be fenced off and provided with warning signs to prevent entry. Workers shall be required to wear photo-identification badges at all times for identification and security purposes while working at occupied sites.' Statement "Separation of construction areas from occupied spaces. Construction areas which are under the control of a contractor and therefore not occupied by district staff or students shall be separated from occupied areas. Provisions shall be made to prevent the passage of dust and contaminants into occupied parts of the building. Periodic inspection and repairs of the containment barriers must be made to prevent exposure to dust or contaminants. Gypsum board must be used in exit ways or other areas that require fire rated separation. Heavy duty plastic sheeting may be used only for a vapor, fine dust or air infiltration barrier, and shall not be used to separate occupied spaces from construction areas. A specific stairwell and/or elevator should be assigned for construction worker use during work hours. In general, workers may not use corridors, stairs or elevators designated for students or school staff. 2. Large amounts of debris must be removed by using enclosed chutes or a similar sealed system. There shall be no movement of debris through halls of occupied spaces of the building. No material shall be dropped or thrown outside the walls of the building. A2-115 3. All occupied parts of the building affected by renovation activity shall be cleaned at the close of each workday. School buildings occupied during a construction project shall A2-202 A2-203 maintain required health, safety and educational capabilities at all times that classes A2-300 are in session." 4. A plan detailing how exiting required by the applicable building code will be A plan detailing how adequate ventilation will be maintained during construction. 5. Statement: A2-314 "Construction and maintenance operations shall not produce noise in excess of 60 dba in occupied spaces or shall be scheduled for times when the building or affected building spaces

are not occupied or acoustical abatement measures shall be taken.

6. Statement: "The contractor shall be responsible for the control of chemical fumes, gases, and other

to ensure they do not enter occupied portions of the building or air intakes.'

contaminates produced by welding, gasoline or diesel engines, roofing, paving, painting, etc.

7. Statement:

"The contractor shall be responsible to ensure that activities and materials which result in "off-gassing" of volatile organic compounds such as glues, paints, furniture, carpeting, wall covering, drapery, etc. are scheduled, cured or ventilated in accordance with manufacturers recommendations before a space can be occupied."

8. Statement:

"Large and small asbestos abatement projects as defined by 12NYCRR56 shall not be performed while the building is occupied". Note, It is our interpretation that the term "building", as referenced in this section, means a wing or major section of a building that can be completely isolated from the rest of the building with sealed non combustible construction. The isolated portion of the building must contain exits that do not pass through the occupied portion and ventilation systems must be physically separated and sealed at the isolation

Exterior work such as roofing, flashing, siding, or soffit work may be performed on occupied buildings provided proper variances are in place as required, and complete isolation of ventilation systems and at windows is provided. Care must be taken to schedule work so that classes are not disrupted by noise or visual distraction.

9. Surfaces that will be disturbed by reconstruction must have a determination made as to the presence of lead. Projects which disturb surfaces that contain lead shall have in the specifications a plan prepared by a certified Lead Risk Assessor or Supervisor which details provisions for occupant protection, worksite preparation, work methods, cleaning and clearance testing which are in general accordance with the HUD Guidelines.

NUMBER

NOMINAL

NOT TO SCALE

ON CENTER

OVERHEAD

PAINTED

QUANTITY

THICK THRESHOLD

TYPICAL

VERTICAL

WOOD

REINFORCED

PLAM

PREFAB

VCT

NOT IN CONTRACT

PLASTIC LAMINATE

PREFABRICATED PRESSURE TREATED

STAINLESS STEEL

TOP AND BOTTOM

WATER CLOSET

UNLESS NOTED OTHERWISE

VINYL COMPOSITION TILE

WELDED WIRE FABRIC

000X

DOOR TAG

WALL TYPE

WINDOW TYPE

DRAWING TITLE

DETAIL NUMBER

1/8" = 1'-0" —— SCALE OF DRAWING

SPECIALITY EQUIPMENT

TYPICAL ARCHITECTURAL ABBREVIATIONS

AIR CONDITIONING

ALUMINUM

CONTINUOUS

ELEVATION

EACH WAY

FQUAL

EXISTING

GALVANIZED

HANDICAPPED

HOLLOW METAI

HORIZONTAL

LAVATORY

MAXIMUM

CONTROL JOINT

BETWEEN

CEILING

ELEV

ETR

EXIST

FIN

FEC

HORIZ

ABOVE FINISH FLOOR

CERAMIC MOSAIC TILE

EXISTING TO REMAIN

FIRE EXTINGUISHER

GENERAL CONTRACTOR

GYPSUM WALLBOARD

ELECTRIC WATER COOLER

FIRE ALARM CONTROL PANEL

FIRE EXTINGUISHER CABINET

INTERNATIONAL SYMBOL OF ACCESSIBILITY

DRAWINGS INDEX Current Description Date Number Name TITLE SHEET - PHASE 2 A2-605 **EXISTING CONDITIONS AND DEMO** ISSUED FOR BID 01/19/2021 CONSTRUCTION DETAILS ISSUED FOR BID 01/19/2021 CONSTRUCTION DETAILS **─**{C2-005 MIDDLE SCHOOL ENTRANCE SITEPLAN SSUED FOR BID 01/19/2021 CONSTRUCTION IMPLEMENTATION PLAN - SITE PLAN & FIRST FLOOR PLAN CONSTRUCTION IMPLEMENTATION PLAN - SECOND PLAN & PARTIAL THIRD FLOOR PLAN CONSTRUCTION IMPLEMENTATION PLAN - STRUCTURAL PLAN & ARCHITECTURE ROOF PLAN CIP-005 CIP-006 CONSTRUCTION IMPLEMENTATION PLAN - BOILER PIPING & PARTIAL BASEMENT PLAN FIRST FLOOR CODE COMPLIANCE PLAN SSUED FOR BID 01/19/2021 SECOND FLOOR CODE COMPLIANCE PLAN THIRD FLOOR CODE COMPLIANCE PLAN SSUED FOR BID 01/19/2021 HIGH SCHOOL ENTRY and MS ILAB CODE COMPLIANCE PLAN THIRD FLOOR LEARNING COMMUNITY CODE COMPLIANCE PLAN HSMS-ASB-101 FIRST FLOOR ASBESTOS ABATEMENT HSMS-ASB-102 SECOND FLOOR ASBESTOS ABATEMEN ISSUED FOR BID 01/19/2021 HSMS-ASB-103 THIRD FLOOR ASBESTOS ABATEMENT ISSUED FOR BID 01/19/2021 HSMS-ASB-104 ROOF ASBESTOS ABATEMENT FIRST FLOOR DEMOLITION PLAN BID ADDENDUM 01/29/2021 EXTERIOR DEMOLITION ELEVATIONS SSUED FOR BID 01/19/2021 EXTERIOR DEMOLITION ELEVATIONS ISSUED FOR BID 01/19/2021 SSUED FOR BID 01/19/2021 HIGH SCHOOL & MIDDLE SCHOOL FIRST FLOOR PLAN ISSUED FOR BID 01/19/2021 HIGH SCHOOL & MIDDLE SCHOOL SECOND FLOOR PLAN HIGH SCHOOL & MIDDLE SCHOOL THIRD FLOOR PLAN ISSUED FOR BID 01/19/2021 **ROOF PLAN** ISSUED FOR BID 01/19/2021 ISSUED FOR BID 01/19/2021 PARTIAL ROOF PLAN S2-100 **ROOF DETAILS** SSUED FOR BID 01/19/2021 **ROOF DETAILS** ISSUED FOR BID 01/19/2021 ISSUED FOR BID 01/19/2021 **ROOF DETAILS** S2-103 **ROOF DETAILS** SSUED FOR BID 01/19/2021 S2-110 **EXTERIOR ELEVATIONS** ISSUED FOR BID 01/19/2021 EXTERIOR ELEVATIONS SSUED FOR BID 01/19/2021 **EXTERIOR ELEVATIONS** SSUED FOR BID 01/19/2021 S2-140 SSUED FOR BID 01/19/2021 WALL TYPES ISSUED FOR BID 01/19/2021 MIDDLE SCHOOL ENTRANCE SECTIONS S2-200 ISSUED FOR BID 01/19/2021 MIDDLE SCHOOL 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FT NOT APPLICABLE 00 A-1.1 00 E2-304

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FURNITURE SCHEDULE THIRD FLOOR	3
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SCOPE OF WORK	3
SCOPE OF WORK	3
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HIGH SCHOOL & MIDDLE SCHOOL PART FIRST FLOOR REMOVAL PLAN	3
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HIGH SCHOOL & MIDDLE SCHOOL PART SECOND FLOOR LIGHTING PLAN	3
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LIST OF DRAWINGS TO BE PRINTED IN COLOR

Description Date

ISSUED FOR BID 01/19/2021

ISSUED FOR BID 01/19/2021 ISSUED FOR BID 01/19/2021

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ISSUED FOR BID 01/19/2021

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AVE2-202 - HEARING LOOP SYSTEM LOOP WIRE LAYOUTS AND DIAGRAMS - ILAB

AVE2-212 - HEARINGLOOP SYSTEM LOOP WIRE LAYOUTS AND DIAGRAMS - THIRD FLOOR

BID PROJECTS

A2-700 - FINISH SCHEDULE & LEGEND

PROJECT 1: ALL WORK NOT INCLUDED IN PROJECTS 2, 3 & 4 LISTED BELOW

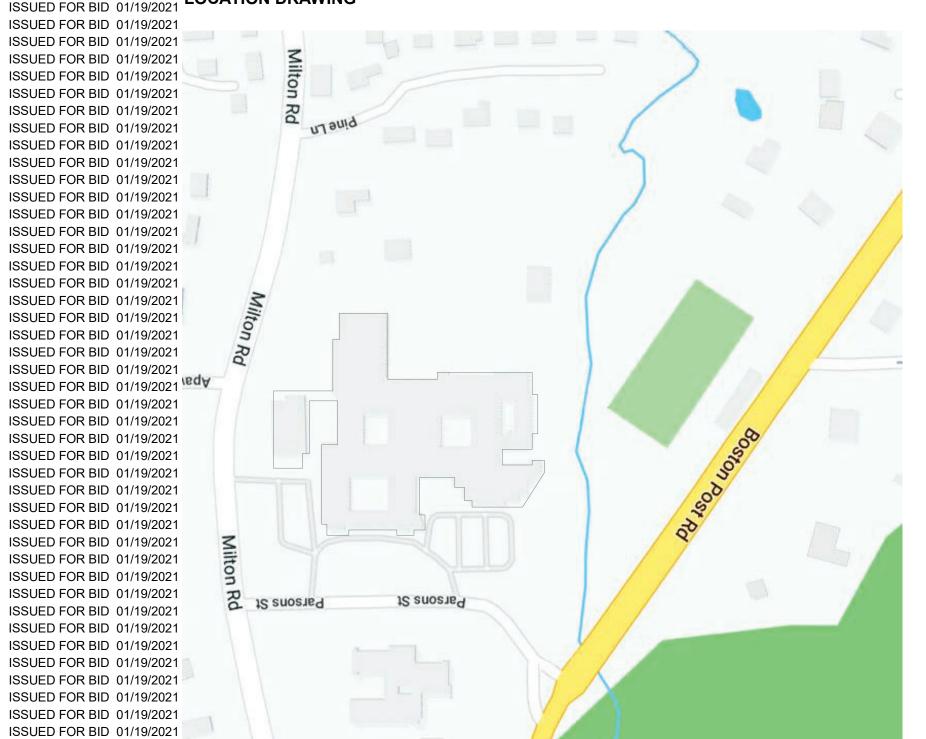
PROJECT 2: MIDDLE SCHOOL I-LAB & UPGRADE TO 2ND FLOOR MECHANICAL ROOM INCLUDING 1ST FLOOR GUIDANCE CEILING WORK

ROOF REPLACEMENT

PROJECT 3: NEW ELEVATOR & 3RD FLOOR LEARNING COMMONS PROJECT 4: MIDDLE SCHOOL MASONRY RESTORATION AND

> ALTERNATE 4A: MIDDLE SCHOOL MASONRY **RESTORATION - TOWER VENEER** REPLACEMENT & NEW WINDOWS

ISSUED FOR BID 01/19/2021 LOCATION DRAWING



Geddis **Architects**

Revision Schedule

Description

SED SUBMISSION ISSUED FOR BID

BID ADDENDUM #1

Date

09/15/2020

01/19/2021 01/29/202

Architecture. Planning. Interiors

71 Old Post Road P.O. Box 1020 Southport, CT 06890 (203) 256-8700



Transforming Education by Design

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Roof Consultant WATSKY ASSOCIATES INC 20 Madison Ave

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Providence, RI

401-861-3218 CAVANAUGH TOCCI 327 F Boston Post Road Sudbury, MA 01776-3027

SED #: 6618-0001-0005-032

978-443-7871

PROJECT

Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

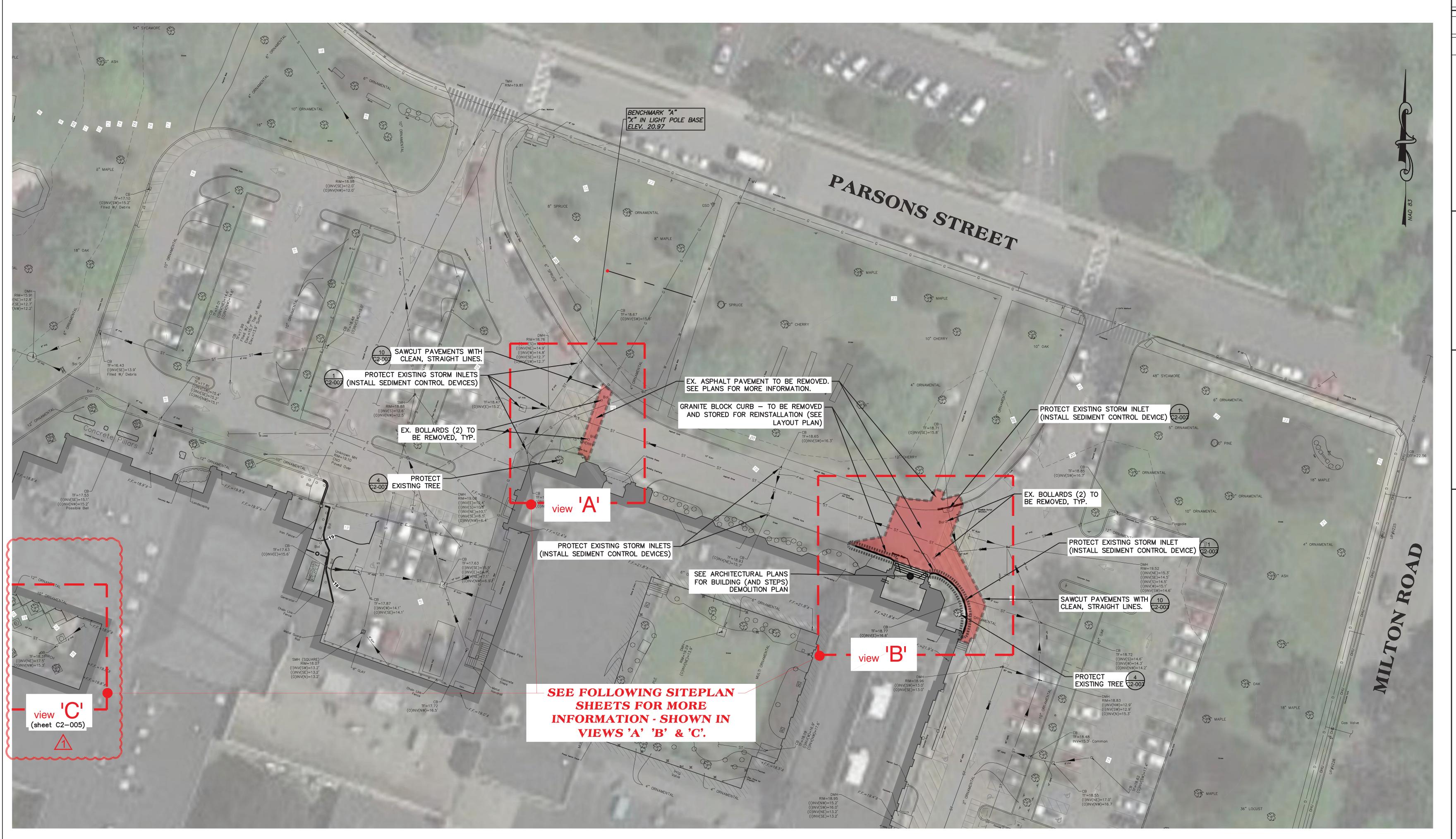
Rye High School & Middle

1 Parsons Street, Rye, New York 10580

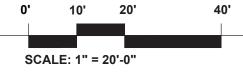
TITLE SHEET - PHASE 2

PROJECTS 1, 2, 3 & 4

SEAL & SIGNATURE | DATE: PROJECT No: 9200 DRAWING BY: Author CHK BY: Checker DWG No: T2-001



1 EXISTING CONDITIONS AND DEMOLITION PLAN
SCALE: BAR SCALE



NOTES:

- THE CONTRACTOR SHALL CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION AND COORDINATE WITH OTHERS AS REQUIRED, INCLUDING DAILY OPERATIONS OF SCHOOL CAMPUS.
- 2. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY, AND ALL UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL CONTACT U.F.P.O. (1-800-962-7962) AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANY HAVING JURISDICTION TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO THE POSSIBLE EXISTENCE OF UNRECORDED UTILITIES. ANY COSTS INCURRED BY THE CONTRACTOR DUE TO FAILURE TO CONTACT THE PROPER AUTHORITIES SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.
- 3. THE CONTRACTOR SHALL VERIFY ALL EXISTING INFORMATION ON SITE. ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS SHALL BE IMMEDIATELY COMMUNICATED TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING GRADES IN THE FIELD PRIOR TO THE COMMENCEMENT OF ANY WORK. FIELD VERIFICATIONS SHALL BE PERFORMED THROUGHOUT ALL AREAS OF NEW CONSTRUCTION. THIS FIELD VERIFICATION IS IMPERATIVE TO ENSURE THAT THERE ARE NO DISCREPANCIES BETWEEN THE SITE SURVEY AND WHAT HAS BEEN VERIFIED. IF DISCREPANCIES DO EXIST, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT/OWNER'S REPRESENTATIVE, IMMEDIATELY, AND PRIOR TO ANY CONSTRUCTION, SO NECESSARY ADJUSTMENTS AND/OR MODIFICATIONS CAN BE MADE TO ACCOMMODATE THESE DISCREPANCIES. ANY FAILURE TO VERIFY THE GRADES PRIOR TO CONSTRUCTION SHALL BE AT THE RISK AND COST OF THE CONTRACTOR.
- 4. THE CONTRACTOR SHALL PROVIDE STAKED LAYOUT OF PROPOSED IMPROVEMENTS FOR THE ARCHITECT/OWNER'S REPRESENTATIVE REVIEW AND APPROVAL BEFORE COMMENCING WITH ANY GROUND DISTURBANCE.
- 5. THE CONTRACTOR SHALL VERIFY PROPOSED GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS FOR THE WORK FROM ANY UTILITY COMPANIES OR OTHER GOVERNING BODIES HAVING JURISDICTION OVER THE WORK OUTLINED IN THESE DRAWINGS.
- 7. THE CONTRACTOR SHALL ESTABLISH PERMANENT SECONDARY BENCHMARKS, IF NEEDED, PRIOR TO THE START OF CONSTRUCTION. ALL SECONDARY BENCHMARKS SHALL BE SO LOCATED THAT THEY WILL NOT BE DISTURBED BY CONSTRUCTION.
- 8. THE CONTRACTOR SHALL MAINTAIN ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT TRACKING OR MOVEMENT OF SEDIMENT OR DEBRIS ONTO PUBLIC ROADS.

- 9. THE CONTRACTOR SHALL PROVIDE DUST AND EROSION/SEDIMENT CONTROL AS PER SPECIFICATIONS AND/OR AS APPROVED BY THE ARCHITECT/OWNER'S REPRESENTATIVE.
- 10. THE CONTRACTOR SHALL INSTALL SILT FENCE(S) PRIOR TO ANY SOIL DISTURBANCE. THE CONTRACTOR SHALL INSTALL AND REGULARLY MAINTAIN, AS REQUIRED, ANY AND ALL SILTATION CONTROL MEASURES AND MONITOR THE CONTROL DEVICES AT LEAST ONCE A WEEK TO ENSURE THEIR EFFECTIVENESS.
- 11. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH AND LENGTH AS APPLICABLE. REMOVE TREE ROOTS TO 24" DEPTH BELOW FINISHED GRADE (MINIMUM). ITEMS NOT SPECIFICALLY IDENTIFIED THAT INTERFERE WITH NEW CONSTRUCTION MUST ALSO BE REMOVED. ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- 12. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL AREAS DISTURBED AND/OR DAMAGED FROM CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, LAWNS, WALKS, PAVEMENTS, ETC.. IT IS EXPECTED THAT THE CONTRACTOR SHALL MAKE PHOTO LOGS OF ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION FOR HIS/HER RECORDS.
- 14. FIND/PROTECT EXISTING UNDERGROUND UTILITIES THAT CROSS THROUGH PROJECT AREA. NOTIFY OWNER AND ENGINEER IMMEDIATELY UPON FINDING ANY DISCREPANCIES WITH SURVEY.
- 15. SAWCUT/DEMOLISH EXISTING PAVEMENTS AS SHOWN. DISPOSE OF MATERIALS OFF-SITE IN ACCORDANCE WITH ALL REGULATIONS.
- 16. DEMOLISH AND REMOVE (OR ABANDON IN-PLACE IF ACCEPTABLE TO ENGINEER) EXISTING UTILITIES (ABOVE AND BELOW GRADE) IN ACCORDANCE WITH ALL REGULATIONS.
- 17. DEMOLISH ALL EXISTING SITE IMPROVEMENTS AS REQUIRED TO ALLOW PROJECT CONSTRUCTION. DISPOSE OF MATERIALS OFF-SITE IN ACCORDANCE WITH ALL REGULATIONS.
- 18. PROVIDE ALL REQUIRED EROSION CONTROL MEASURES / PROTECT ALL STORM INLETS FROM SEDIMENT DEPOSITION DURING CONSTRUCTION, AS SHOWN ON GRADING & EROSION & SEDIMENT CONTROL PLAN.
- 19. CONTRACTOR SHALL COORDINATE WITH OWNER AND CONSTRUCTION MANAGER ON LIMITS OF WORK AND CONTRACTOR ACCESS AND USE AREAS, SUCH AS MATERIAL STORAGE, TEMPORARY PARKING, ETC.
 CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL SITE USERS FROM CONSTRUCTION OPERATIONS / HAZARDS. PROVIDE SAFE AND EMERGENCY ACCESS TO THE PROJECT SITE AT ALL TIMES.

	Revision Schedule	
No.	Description	Date
	ISSUED FOR BID	2021/01/19
1	MS COURTYARD STEPS / BID ADDENDUM #1	2021/01/28

Geddis Architects

Architecture. Planning. Interiors

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PROJECT

Rye City School District
555 Theodore Fremd Ave, Rye, NY 10580

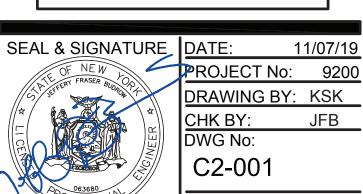
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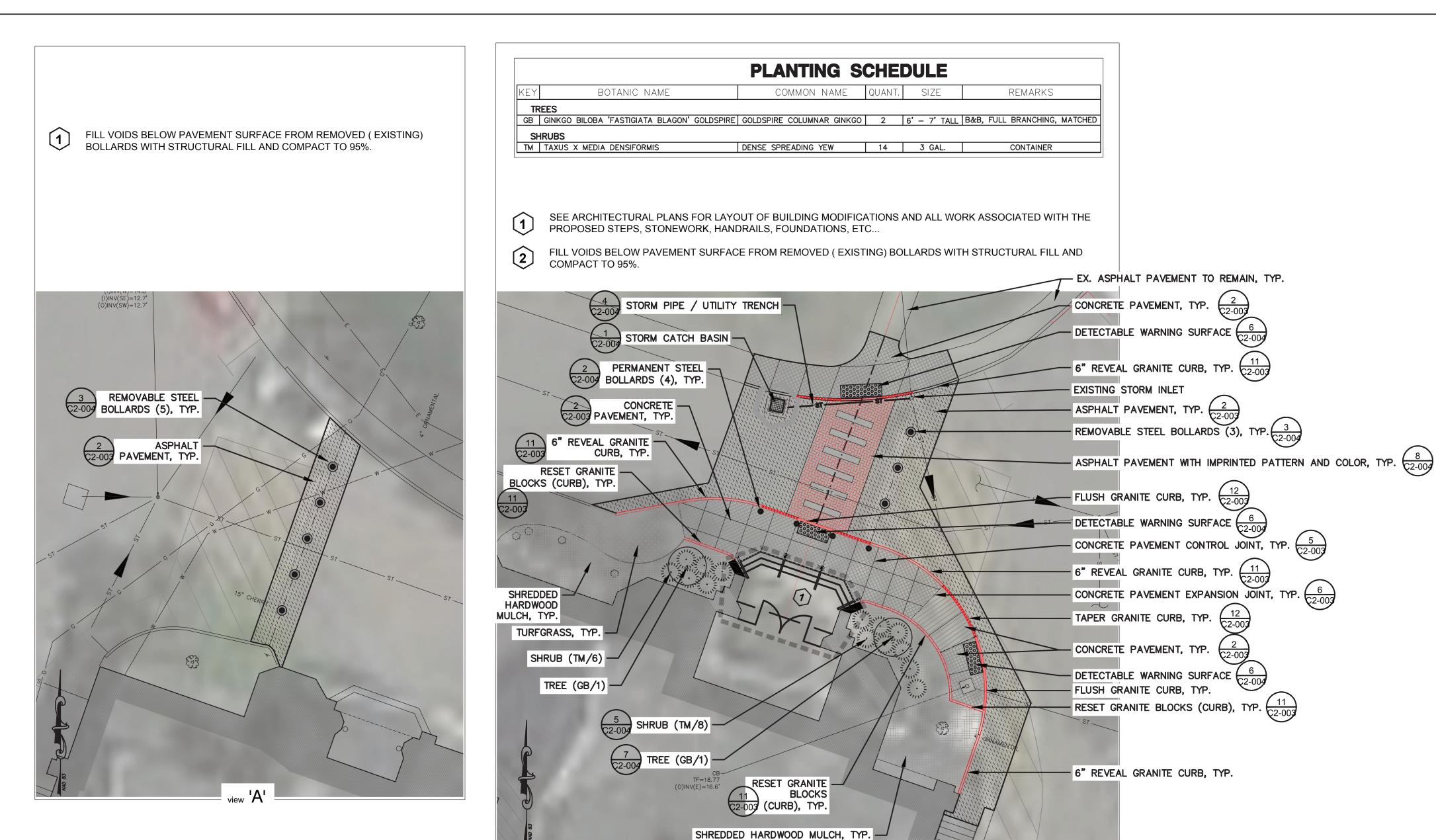
1 Parsons Street, Rye, New York 10580

HIGH SCHOOL ENTRANCE

EXISTING CONDITIONS & DEMOLITION SITEPLAN

PROJECT 1





view 'B'

BUILDING FACADE - TO THE PROPOSED CURB FACE.

PATCH ASPHALT -

—, REMOVABLE

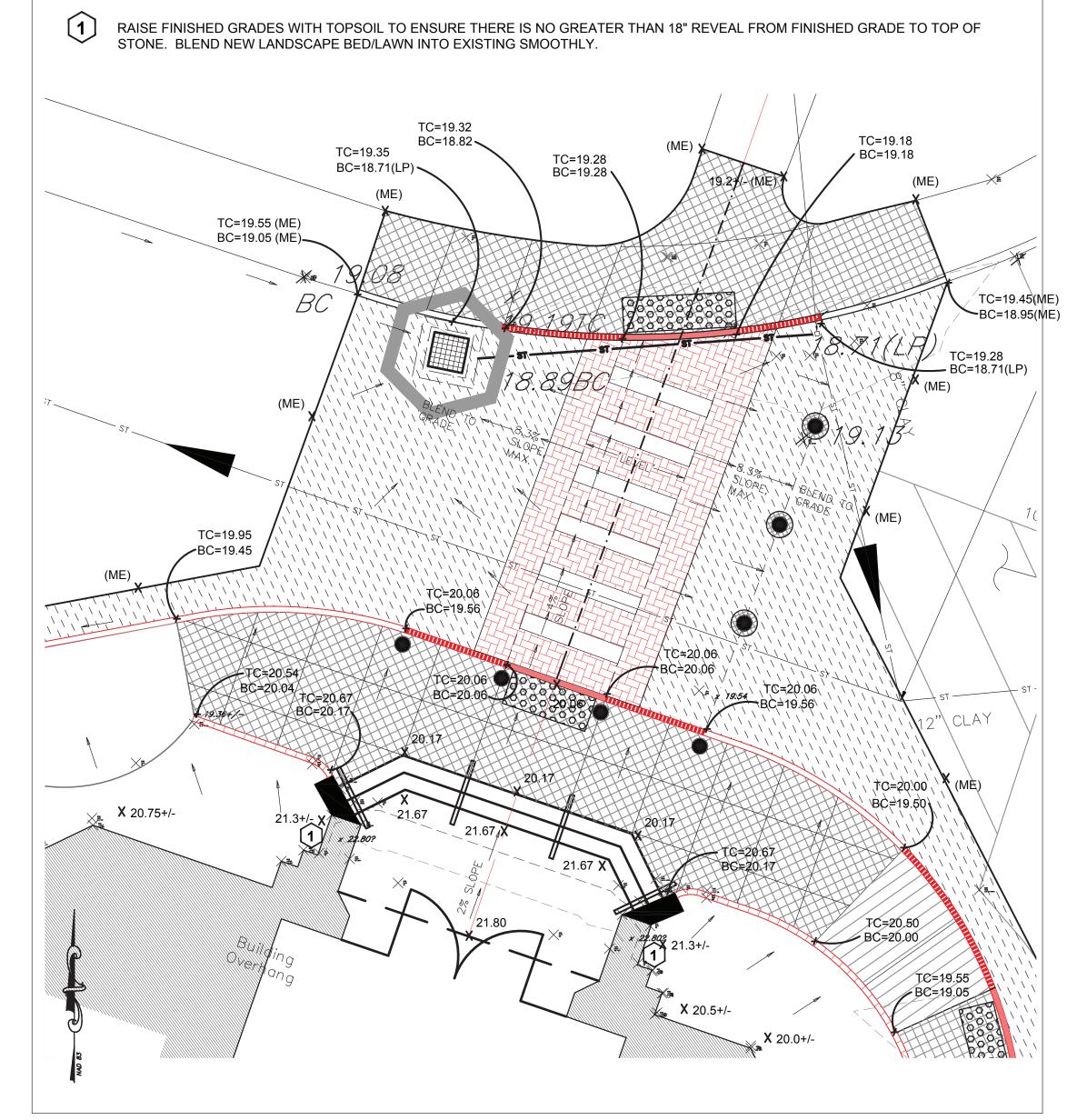
(1)

BOLLARD, TYP

NEAT, STRAIGHT, FLUSH JOINTS

LAYOUT LINE 1 - CENTERLINE OF PROPOSED DOORS EXTENDED OUTWARD AT 90 DEGREES FROM THE FRONT

PERPENDICULAR TO PROPOSED CURBFACE. PROPOSED REMOVABLE BOLLARDS ARE PARALLEL TO THIS



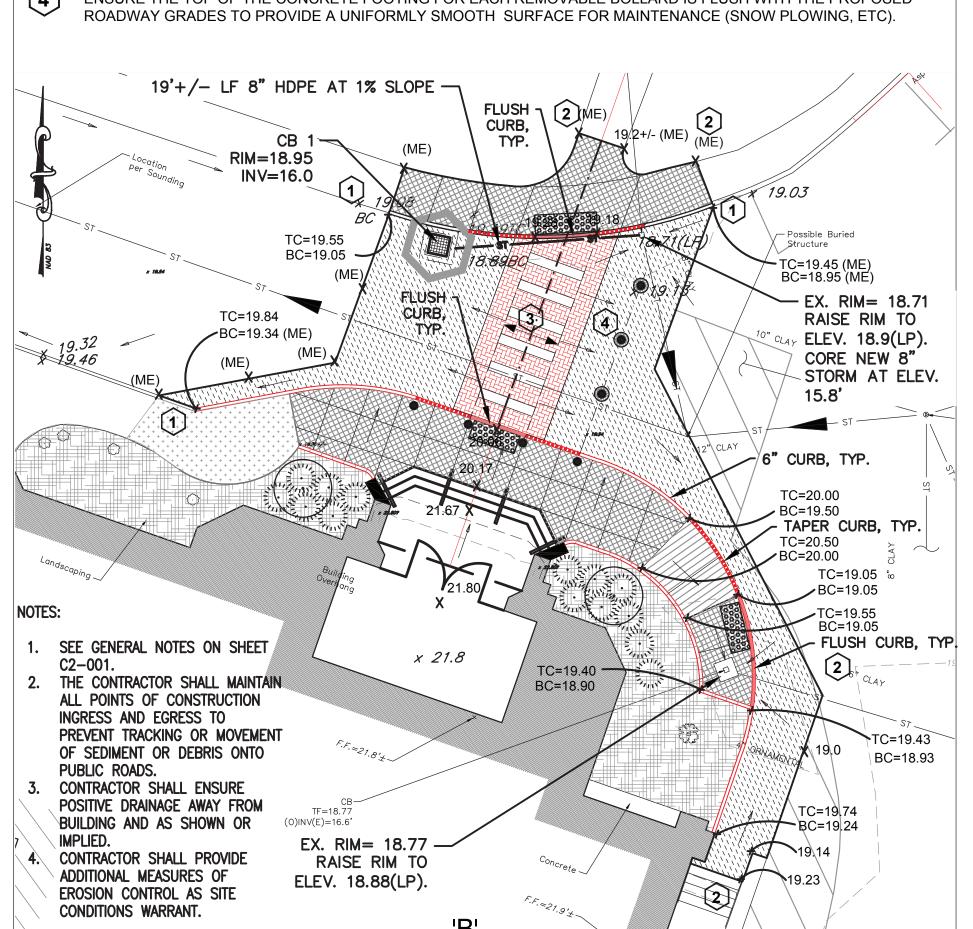
SITE PLAN - GRADING ENLARGEMENT AT HIGH SCHOOL ENTRANCE OF SCALE: BAR SCALE SCALE: 1" = 5'-0"

LAYOUT LINE 2 - CENTERLINE OF EXISTING ASPHALT PATH FROM PARSONS STREET TOWARD BUILDING ENTRANCE. LAYOUT LINE 3 - CENTERLINE OF CROSSWALK (CONNECTS CENTERLINE 1 AND 2 LISTED ABOVE) AND IS NOT SEE ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING MODIFICATIONS AND ALL WORK ASSOCIATED WITH THE PROPOSED STEPS, STONEWORK, HANDRAILS, ETC... 10" PVC — PATCH ASPHALT – NEAT, STRAIGHT, FLUSH JOINTS — ALIGN CURB WITH

TRANSITION FROM PROPOSED GRANITE CURB TO EXISTING CONDITION IN LINE AND GRADE, IN A SMOOTH SMOOTH TRANSITION TO MEET EXISTING GRADE (ME). NO ABRUPT CHANGES - GRADUAL, SMOOTH TRANSITIONS, AS REQUIRED (MEETING ADA REQUIREMENTS WHEN ALONG AN 'ACCESSIBLE ROUTE'. THE CROSSWALK AREA IS PROPOSED TO BE RAISED ABOVE EXISTING GRADE (UP TO 6"+/-) AND MATCH THE

WALKWAY ON EITHER END, FLUSH WITH PROPOSED GRADES - PROVIDING AN ADA COMPLIANT ACCESIBLE ROUTE FOR PEDESTRIANS. ALONG ITS CENTERLINE, IT SLOPES AWAY FROM THE SCHOOL BUILDING AT A UNIFORM SLOPE AND IS 'LEVEL' IN CROSS-SLOPE FOR A MINIMUM OF 6' WIDTH (CENTERED ON CENTERLINE). AT THE EDGE OF THIS LEVEL PATH, THE GRADES TRANSITION DOWN TO THE PROPOSED ROAD SURFACE AT 1:12, MAX., UNTIL THEY MATCH THE EXISTING GRADES OF THE UNDISTURBED ROADWAY. (APPROXIMATE LIMITS SHOWN)

ENSURE THE TOP OF THE CONCRETE FOOTING FOR EACH REMOVABLE BOLLARD IS FLUSH WITH THE PROPOSED



SITE PLAN - GRADING & EROSION CONTROL & UTILITY PLAN SCALE: BAR SCALE

Revision Schedule Date Description 2021/01/19 ISSUED FOR BID MS COURTYARD STEPS / 2021/01/28 BID ADDENDUM #1

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SED #: 6618-0001-0005-032

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SCALE: 1" = 10'-0"

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Rye High School & Middle School

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HIGH SCHOOL ENTRANCE

SITEPLAN

PROJECT 1

SEAL & SIGNATURE_ DATE: PROJECT No: 9200 DRAWING BY: KSK CHK BY: DWG No: C2-002



SITE PLAN - MATERIALS AND PLANTING
SCALE: BAR SCALE

VEHICULAR ACCESS. SPACE ACCORDINGLY.

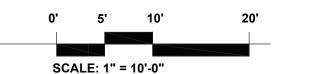
PATCH ASPHALT - NEAT, -

STRAIGHT, FLUSH JOINTS

LAYOUT LINE 1 - CENTERLINE OF EXISTING DOORS/STEPS EXTENDED

OUTWARD AT 90 DEGREES FROM THE FRONT BUILDING FACADE.

BOLLARD PLACEMENT NEAR EXISTING CURBS SHOULD PRECLUDE



BUILDING FACE

SCALE: 1" = 10'-0"

ENSURE THE TOP OF THE CONCRETE FOOTING FOR EACH REMOVABLE

BOLLARD IS FLUSH WITH THE PROPOSED ROADWAY GRADES TO PROVIDE A UNIFORMLY SMOOTH SURFACE FOR MAINTENANCE (SNOW PLOWING, ETC).

ENSURE BOLLARD GRADE IS NOT IN A LOW POINT, PROVIDE SLOPE AWAY

ENSURE SMOOTH TRANSITIONS BETWEEN EXISTING AND PROPOSED

PAVEMENT GRADES - "MATCH EXISTING" (ME). NO ABRUPT CHANGES -

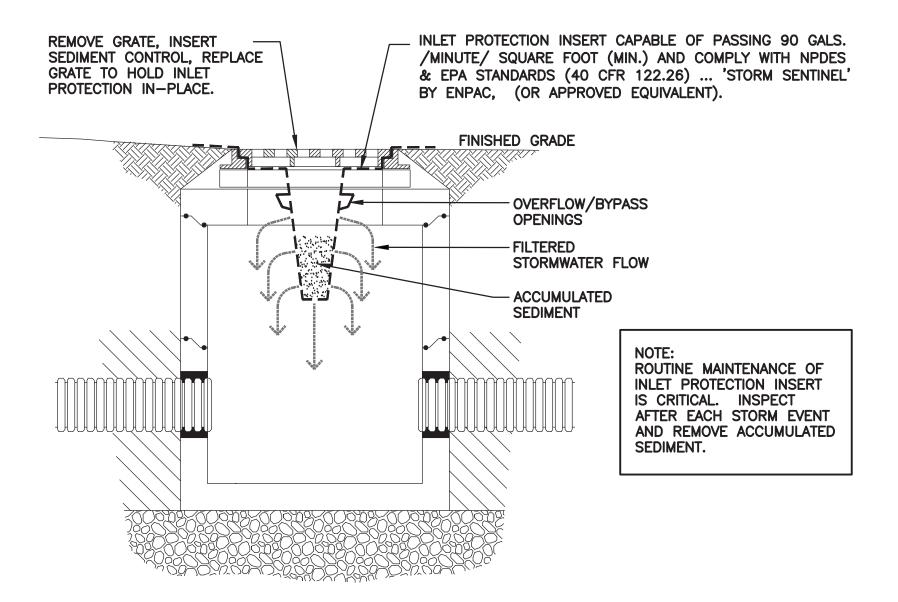
TOWARD STORM INLETS OR DRAINAGE PATTERNS.

GRADUAL, SMOOTH TRANSITIONS, AS REQUIRED.

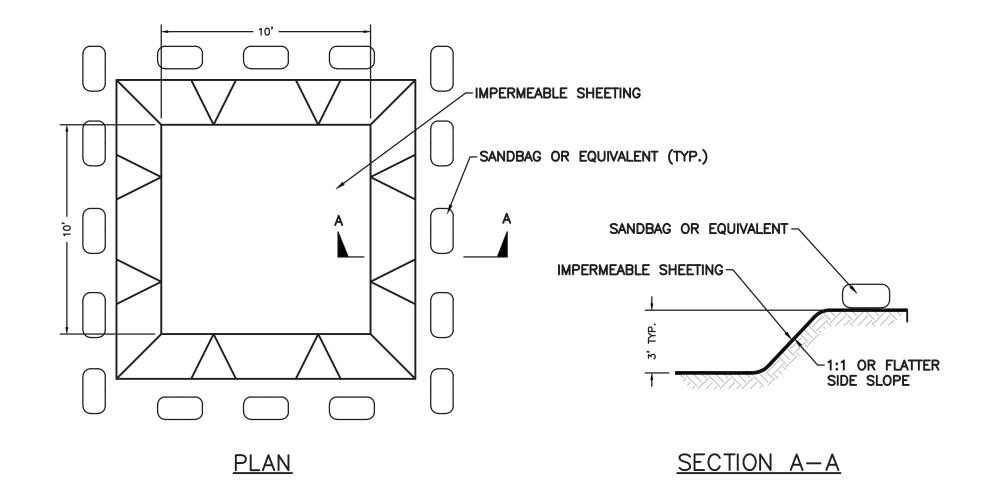
DMH RIM=18.76 (I)INV(S)=15.0' (I)INV(NE)=14.9'

(I)INV(W)=14.8' (I)INV(SE)=12.7' (O)INV(SW)=12.7'

CB TF=18.78 (I)INV(SE)=16.9' (Roof Drain) (O)INV(N)=15.3'



STORM INLET PROTECTION DETAIL SCALE: N.T.S



GENERAL MAINTENANCE PLAN:

CONCRETE WASH OUT DETAIL

SCALE: N.T.S

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF PRODUCING RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK, IN ACCORDANCE WITH THE SWPPP AND NYSDEC SPDES GENERAL PERMIT NO. GP-0-15-002. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- 2. SEDIMENT WILL BE REMOVED FROM BEHIND STRAW BALE DIKES AND BEHIND SILT FENCES WHEN IT BECOMES 6" DEEP AT THE DIKE/FENCE OR WHEN ACCUMULATIONS HAVE ADVERSELY AFFECTED IT'S FUNCTION. STRAW BALE DIKES AND SITE FENCES WILL BE REPAIRED BY REMOVING SILT AND SEDIMENTS AND THEN TAMPING LOOSE SOIL ALONG BASE, REPLACING DAMAGED OR WEAKENED POSTS AND STAKES, OR AS NECESSARY TO MAINTAIN A BARRIER.
- 3. SEDIMENT WILL BE REMOVED AND FILTER DEVICES CLEANED OR REPLACED AT CATCH BASINS WHEN THE SEDIMENT POOL NO LONGER DRAINS FREELY. SEDIMENT ACCUMULATIONS WITHIN DRAINAGE STRUCTURES AND PIPING SHALL BE CLEANED OUT AT THE PROJECT COMPLETION AND AS ORDERED BY ENGINEER WHEN DETERMINED THAT PRE-COMPLETION INSTALLATIONS NO LONGER FUNCTION PROPERLY DUE TO SEDIMENT OR DEBRIS. EVENTUAL SYSTEM CLEANING IS NOT AN EXCUSE TO NOT IMPLEMENT APPROPRIATE CONTROLS UPSTREAM. THE ENGINEER SHALL BE THE FINAL JUDGE REGARDING WHETHER THE PIPING SYSTEM REQUIRES CLEANING. THE CONTRACTOR CAN MINIMIZE THE NECESSITY OF EXTENSIVE SILT AND SEDIMENT ACCUMULATION REMOVALS BY EFFECTIVE IMPLEMENTATION OF THE SWPPP.
- 4. ALL DISTURBED AREAS WILL BE FERTILIZED. SEEDED AND MULCHED ACCORDING TO LANDSCAPE RESTORATION SPECIFICATIONS TO MAINTAIN VIGOROUS, DENSE VEGETATION. REPAIR ANY ERODED SLOPES, REAPPLY TOPSOIL, RESEED AND STABILIZE REPAIR AREA AS REQUIRED FOR PERMANENT OR TEMPORARY MEANS. REPAIR SOIL AREAS DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
- IMMEDIATELY REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION EQUIPMENT. MAINTENANCE OR OTHER ACTIVITY TO ANY EROSION CONTROL MEASURE, OR BEST MANAGEMENT PRACTICE OR DEVICE.
- 6. THE PRIME CONTRACTOR(S) ARE RESPONSIBLE FOR THE PERFORMANCE AND COMPLIANCE OF THEIR SUB-CONTRACTOR'S ACTIVITIES RELATING TO THE SWPPP. THEY SHALL MAKE FREQUENT INSPECTIONS OF THEIR WORK AND COORDINATE APPROPRIATE INSTALLATION AND MAINTENANCE OF EROSION CONTROL AND WATER QUALITY DEVICES.
- 7. EMPLOY POLLUTION PREVENTION MEASURES TO CONTROL LITTER. CONSTRUCTION CHEMICALS, SEDIMENT AND CONSTRUCTION DEBRIS INCLUDING. BUT NOT LIMITED. TO THE FOLLOWING: SALVAGE AND REUSE OF MATERIALS, MINIMIZING PACKAGING WASTE, RECYCLING, PROPER DISPOSAL AT FREQUENT INTERVALS IN ACCORDANCE WITH PREVAILING LAWS, ONSITE INSTRUCTION REGARDING APPROPRIATE SEPARATION/HANDLING/RECYCLING, PERIODIC DEBRIS REMOVAL AT DRAINAGE STRUCTURES (GRATES AND SUMPS)/SEDIMENT TRAPS/FOREBAY AND OTHER BMP'S, PROPER MAINTENANCE OF SEDIMENT/EROSION CONTROL SYSTEMS, ROUTINE AND EVENT RELATED INSPECTIONS OF DRAINAGE AND BMP SYSTEMS PER PERMIT REQUIREMENTS, PROVIDE APPROPRIATE SANITARY FACILITIES FOR ONSITE PERSONNEL. PICK UP TRASH AND DEBRIS FREQUENTLY AND USE WATER MIST, CALCIUM CHLORIDE OR OTHER LEGAL MEANS TO LIMIT THE SPREAD OF DUST AND SOIL PARTICLES.

MAINTENANCE PLAN - EROSION & SEDIMENT CONTROL SCALE: N.T.S.

PAVING SCHEDULE KEY TYPE SECTION: N.T.S. STIFF BROOM FINISH ~ W2.9XW2.9 6X6 W.W.M. MIN. 2" COVER CONCRETE CONCRETE NYSDOT 304 TYPE 2 SUBBASE → GEOTEXTILE MIRAFI 500X OR EQUIVALENT COMPACTED SUBGRADE NYSDOT ITEM 402.127303 TOPCOURSE TACK COAT LIGHT DUTY ∽NYSDOT ITEM 402.257903 DENSE BINDER **ASPHALTIC** NYSDOT ITEM 304.12 SUBBASE CONCRETE (SIDEWALK) -GEOTEXTILE MIRAFI 500X OR EQUIVALENT COMPACTED SUBGRADE MIN. CBR=10 NYSDOT ITEM 402.127303 TOPCOURSE TACK COAT HEAVY DUTY NYSDOT ITEM 402.257903 DENSE BINDER **ASPHALTIC** CONCRETE NYSDOT ITEM 304.12 SUBBASE (ROADWAY) -GEOTEXTILE MIRAFI 500X OR EQUIVALENT COMPACTED SUBGRADE MIN. CBR=10

NOTES:

- EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORM WORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS. EXCAVATE TRENCHES TO INDICATED GRADIENTS, LINES, DEPTHS, AND ELEVATIONS TO ALLOW INSTALLATION OF PIPE TO THE DEPTHS INDICATED
- PROOF ROLL SUBGRADE WITH A 10-TON VIBRATORY ROLLER TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. SOFT POCKETS SHOULD BE EXCAVATED AND BACKFILLED WITH CONTROLLED FILL MATERIAL. DO NOT PROOF ROLL WET OR SATURATED SUBGRADES. CONTRACTOR SHALL RECONSTRUCT SUBGRADES DAMAGED BY FREEZING TEMPERATURES, FROST, RAIN, ACCUMULATED WATER, OR CONSTRUCTION ACTIVITIES, AS DIRECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR ESTABLISHING THE GRADES INDICATED WITHIN THE TOLERANCE INDICATED FOR THE ESTABLISHMENT OF SUBGRADE. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. DO NOT PLACE BACKFILL OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE. REMOVE AND REPLACE, OR SCARIFY AND AIR-DRY. OTHERWISE SATISFACTORY SOIL MATERIAL THAT EXCEEDS OPTIMUM MOISTURE CONTENT BY 2 PERCENT AND IS TOO WET TO COMPACT TO SPECIFIED DRY UNIT
- WEIGHT. 6. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 12 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TEMPERS. PLACE BACKFILL AND FILL MATERIALS EVENLY ON ALL SIDES OF
- STRUCTURES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE. COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D-1557. UNDER STRUCTURES, BUILDING SLABS, STEPS, AND PAVEMENTS, SCARIFY AND RECOMPACT TOP 12 INCHES OF EXISTING SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT. UNDER WALKWAYS, SCARIFY AND RECOMPACT TOP 6 INCHES BELOW SUBGRADE AND COMPACT EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT. UNDER LAWN OR UNPAVED AREAS, SCARIFY AND RECOMPACT TOP 6 INCHES BELOW SUBGRADE AND COMPACT EACH LATER OF BACKFILL OR FILL MATERIAL AT A MINIMUM OF 85 PERCENT AND MAXIMUM OF 90 PERCENT
- GENERAL GRADING: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES AND ELEVATIONS INDICATED, PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES, CUT OUT SOFT SPOTS, FILL LOW SPOTS. AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
- DRAINAGE: PLACE A LAYER OF DRAINAGE FABRIC AROUND PERIMETER OF DRAINAGE TRENCH AS INDICATED. PLACE A 6-INCH COURSE OF FILTER MATERIAL ON DRAINAGE FABRIC TO SUPPORT DRAINAGE PIPE. ENCASE DRAINAGE PIPE IN A MINIMUM OF 12 INCHES OF FILTER MATERIAL AND WRAP IN DRAINAGE FABRIC, OVERLAPPING SIDES AND ENDS AT LEAST 6 INCHES. (PERIMETER DRAIN SHALL BE AS INDICATED ON PLANS.) COMPACT EACH COURSE OF FILTER MATERIAL TO 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTMD 698.
- 10. DRAINAGE BACKFILL: PLACE AND COMPACT FILTER MATERIAL OVER SUBSURFACE DRAIN. TO WIDTH INDICATED, TO WITHIN 12 INCHES OF FINAL SUBGRADE, OVERLAY DRAINAGE BACKFILL WITH ONE LAYER OF DRAINAGE FABRIC, OVERLAPPING SIDES AND ENDS AT LEAST 6 INCHES. COMPACT EACH COURSE OF FILTER MATERIAL TO 95
- PERCENT OF MAXIMUM DRY DENSITY ACCORDING TO ASTM 698. PLACE AND COMPACT IMPERVIOUS FILL MATERIAL OVER DRAINAGE BACKFILL TO FINAL SUBGRADE. 11. NYSDOT SPECIFICATION 610.10000015 LANDSCAPE DEVELOPMENT SHALL BE USED FOR CONSTRUCTION WITHIN STATE HIGHWAY BOUNDARY AND WITHIN 20' OF DRIVEWAY OPENINGS.

PAVING SCHEDULE

PROTECTION OF TREES:

PROTECT EXISTING TREES WHICH ARE TO REMAIN AND WHICH MAY BE INJURED, BRUISED, DEFACED, OR OTHERWISE DAMAGED BY CONSTRUCTION OPERATIONS, UTILIZING STANDARD TREE PROTECTION CRITERIA INCLUDING:

- 1. INSTALLATION OF SAFETY ORANGE PLASTIC FENCING (MINIMUM4' IN HEIGHT) AROUND INDIVIDUAL TREES DESIGNATED FOR PROTECTION. FENCING SHALL BE INSTALLED AT THE OUTWARD LIMIT OF THE TREE'S DRIPLINE OR EXTENT OF CANOPY COVER.
- 2. INSTALLATION OF SAFETY ORANGE PLASTIC FENCING (MINIMUM 4' IN HEIGHT) AROUND GROUPS OF TREES DESIGNATED FOR PROTECTION.
- 3. TREE AND/OR SHRUB BRANCHES IN THE WAY OF EQUIPMENT SHALL BE TRIMMED ACCORDING TO PROFESSIONAL HORTICULTURAL STANDARDS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR AND SUB-CONTRACTORS USE EQUIPMENT TO DEMOLISH BRANCHES AS WORK PROCEEDS.

REQUIRED FENCING SHALL BE INSTALLED PRIOR TO THE INITIATION OF LAND DISTURBING ACTIVITIES AND SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION. REMOVE DISPLACED ROCKS FROM UNCLEARED AREAS. BY APPROVED EXCAVATION. REMOVE TREES WITH 30 PERCENT OR MORE OF THEIR ROOT SYSTEMS DESTROYED. REMOVAL OF TREES AND THE PROCEDURE FOR REMOVAL REQUIRES APPROVAL OF THE OWNER OR LANDSCAPE ARCHITECT. TREES DESIGNATED FOR REMOVAL SHALL BE REMOVED IN A MANNER THAT WILL NOT IMPACT ADJACENT TREES.

LANDSCAPE REPLACEMENT:

REMOVE TREES AND OTHER LANDSCAPE FEATURES SCARRED OR DAMAGED BY EQUIPMENT OPERATIONS, AND REPLACE WITH EQUIVALENT, UNDAMAGED TREES AND LANDSCAPE FEATURES. OBTAIN OWNER'S OR LANDSCAPE ARCHITECT'S APPROVAL BEFORE REPLACEMENT. REPLACEMENT OF TREES SHALL OCCUR ON A ONE-TO-ONE BASIS, UNLESS OTHERWISE NOTED.

PROTECTION OF TREES PLAN

TOOLED JOINT, 2" EDGE EACH SIDE, DEPTH = 1 SLAB THICKNESS SLAB REINFORCING-4. . . -INTERRUPT REINFORCING AT JOINT

CAULK JOINT -CAST & DIA. PVC SLEEVE INTO ADJACENT SLAB TO ACCEPT 3" DIA. X 10" DOWELS AT 18" O.C. PREMOLDED EXPANSION JOINT MATERIAL -COMPACTED TYPE 4 PROCESSED GRAVEL BASE -COMPACTED SUBBASE TYPICAL EXPANSION JOINT IN WALKS AND SLABS (ONLY WHERE IDENTIFIED ON PLANS)

-CONCRETE PAVEMENT

CONCRETE PAVEMENT -CAULK JOINT PREMOLDED EXPANSION JOINT MATERIAL -COMPACTED TYPE 4 PROCESSED GRAVEL BASE -COMPACTED SUBBASE

TYPICAL EXPANSION JOINT IN WALKS AND SLABS

CONCRETE CONTROL JOINTS

CONCRETE EXPANSION JOINTS

CONTRACT LIMIT -

SURFACE

ASPHALT KEYWAY DETAIL

" MINIMUM DEPTH

SAW CUT AND TACK COAT-

- TAPER CURB

-FINISHED

(SEE PLAN)

GRADE

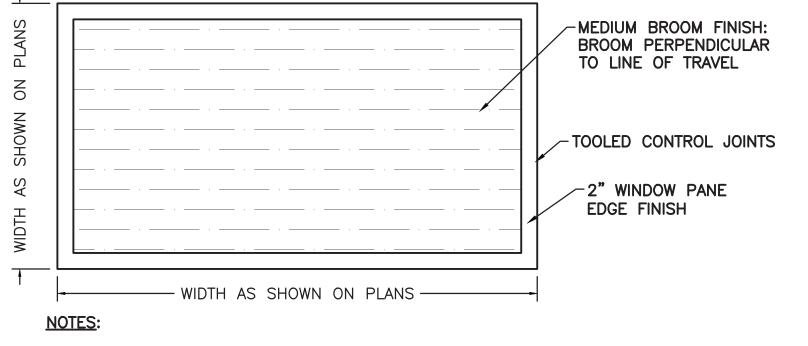
EXISTING ROADWAY

SCALE: N.T.S.

" PREMOLDED

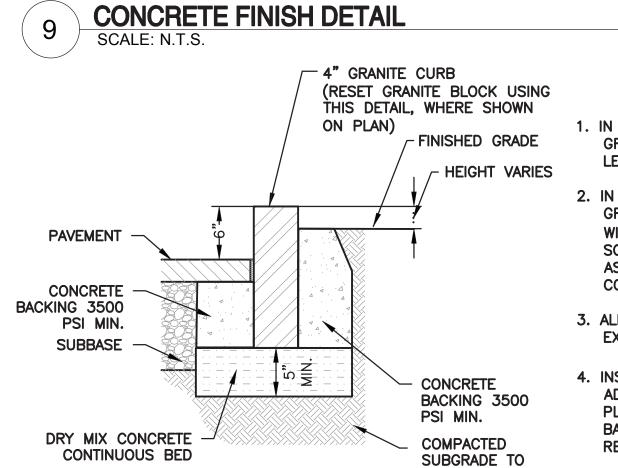
EXPANSION JOINT

6" REVEAL CURB-



1. SEE PLANS FOR LOCATION AND TYPE OF SCORE JOINTS. 2. BROOM PERPENDICULAR TO LINE OF TRAVEL. 3. 2" WINDOW PANE EDGE FINISH.

4. DOUBLE COAT OF PENTRA-SIL 244" SEALER TO BE APPLIED TO ALL NEW CONCRETE SURFACES.



1. IN PLANTED AREAS, BACKFILL NEW GRANITE CURB WITH TOPSOIL TO LEVEL OF EXISTING GRADE.

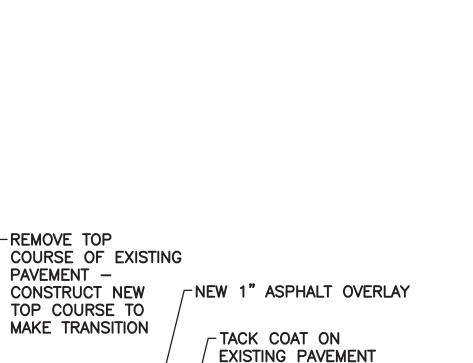
2. IN LAWN AREAS, BACKFILL NEW GRANITE CURBS WITH TOPSOIL TO WITHIN 1" OF TOP OF CURB AND SOD. EXTEND PLACEMENT OF TOPSOIL AS DIRECTED TO FORM SMOOTH CONTOUR WITH EXISTING LAWN.

3. ALIGN NEW GRANITE CURBING WITH EXISTING CURBING AS DIRECTED.

4. INSTALL GRANITE CURB FLUSH WITH ADJACENT GRADE AS INDICATED ON PLANS. DIMENSIONS OF CONCRETE BASE & COMPACTED SUBGRADE TO REMAIN UNCHANGED.

BOTTOM OF PAVEMENT BASE COURSE.

TAPERED CURB DETAIL SCALE: N.T.S.



-EXISTING PAVEMENT

FULL DEPTH-

FLUSH CURB

-USE SAME SUBBASE

PREPARATION AS TYPICAL CURB

FLUSH-

AV Consultant CAVANAUGH TOCC 327 F Boston Post Road Sudbury, MA 01776-3027 978-443-7871

Revision Schedule

Description

MS COURTYARD STEPS / 2021/01/28

ISSUED FOR BID

BID ADDENDUM #1

Geddis

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914-328-6060

Acoustic Consultant DP DESIGN

12 Cold Spring Street

Providence, RI

401-861-3218

Fielding

International

Date

2021/01/19

SED #: 6618-0001-0005-032

PROJECT

Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

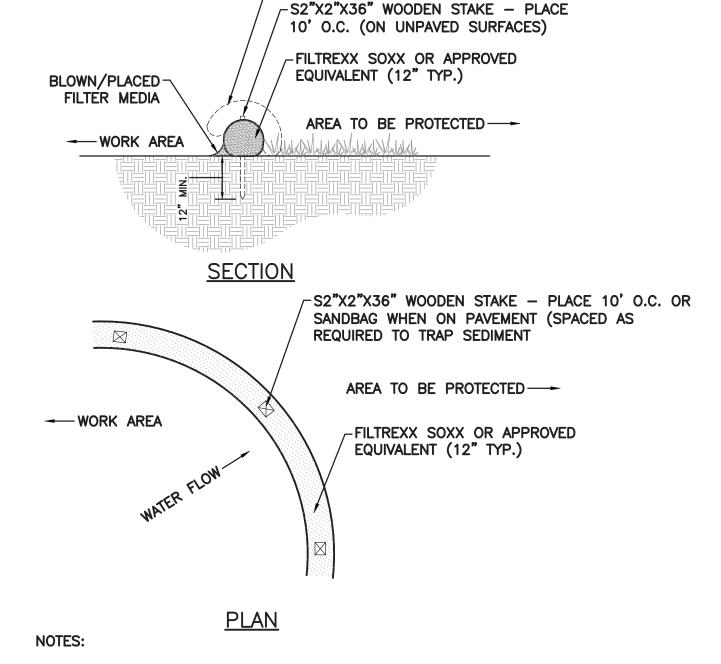
HIGH SCHOOL ENTRANCE

SITE CONSTRUCTION DETAILS

PROJECT

SEAL & SIGNATURE DATE: CHK BY: DWG No:

PROJECT No: 9200 DRAWING BY: KSK JFB C2-003

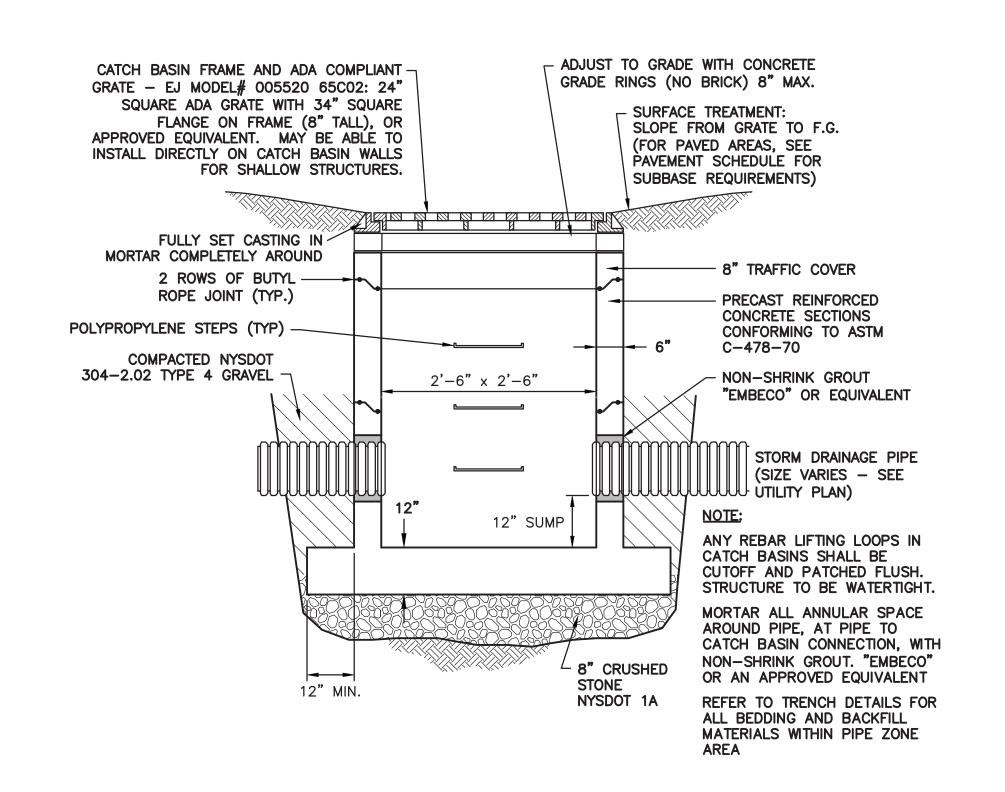


SANDBAG (ON PAVED SURFACES)

1. ALL MATERIALS TO MEET SPECIFICATIONS. 2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS. 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY LANDSCAPE ARCHITECT.

SILT SOCK DETAIL SCALE: N.T.S.

95% STANDARD 5. CONCRETE BACKING TO EXTEND TO PROCTOR GRANITE CURB DETAIL (AND RESET GRANITE BLOCK IN LANDSCAPE) SCALE: N.T.S.



DECORATIVE ALUMINUM

DECORATIVE ALUMINUM

BOTTOM CASTING

MAGLIN[®]

TOP CASTING

- ENSURE TOP OF FOOTING IS NEATLY FINISHED AND

ASPHALT PAVEMENT - SEE PAVEMENT SCHEDULE

THREADED ANCHOR CAST INTO CONCRETE FOOTING

MAGLIN MODEL NO. MTB 100-B3 OR APPROVED

REINFORCED CONCRETE - 4000 PSI MINIMUM

TRUNCATED DOME DIMENSIONS

50%-65% OF D DIM.

NOTE:

STANDARDS.

MAX. (IN)

2.40"

1.50"

1.40"

DETECTABLE WARNING

TO CURRENT ADAAG

SURFACE SHALL CONFORM

MIN. (IN)

0.90"

HOOP REINFORCEMENT #2 BARS @ 8" E.W., 2" CLEAR

SHALL BE FLUSH WITH PROPOSED GRADES

LEVEL - TO RECEIVE BOLLARD WITHOUT GAPS. TOP

5" HS STEEL TUBE

SURROUNDING IT.

(CENTERED)

EQUIVALENT.

HEIGHT - 35"

COLOR - GLOSS BLACK

REMOVABLE STEEL BOLLARD -

(0.25" WALL

THICKNESS)

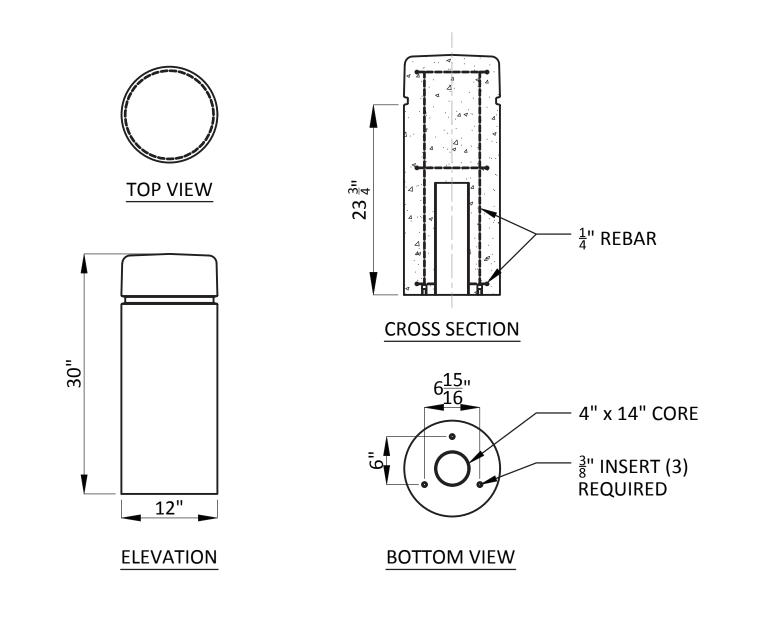
CATCH BASIN - SQUARE

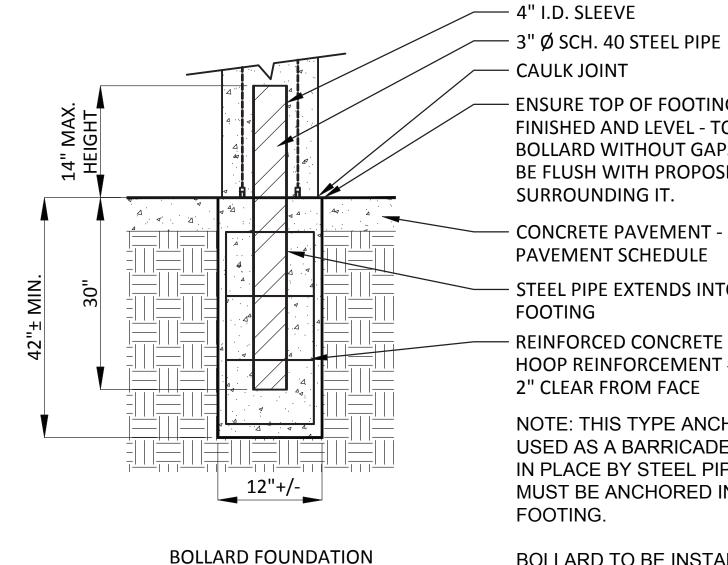
18"+/-

BOLLARD - REMOVABLE

3 BOLLARD SCALE: N.T.S.

SCALE: N.T.S.





— CAULK JOINT - ENSURE TOP OF FOOTING IS NEATLY FINISHED AND LEVEL - TO RECEIVE BOLLARD WITHOUT GAPS. TOP SHALL BE FLUSH WITH PROPOSED GRADES SURROUNDING IT. **CONCRETE PAVEMENT - SEE** PAVEMENT SCHEDULE

STEEL PIPE EXTENDS INTO CONCRETE REINFORCED CONCRETE - 4000 PSI MINIMUM HOOP REINFORCEMENT #2 BARS @ 8" E.W.,

NOTE: THIS TYPE ANCHORING IS ALSO USED AS A BARRICADE. BOLLARD HELD IN PLACE BY STEEL PIPE. STEEL PIPE MUST BE ANCHORED IN CONCRETE FOOTING.

BOLLARD TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

PERMANENT CONCRETE BOLLARD WITH

- REVEAL LINE -1. WAUSAU TILE MODEL NO. TF6010, OR APPROVED EQUIVALENT
- 2. COLOR: A20 WHITE OR A 21 BUFF
- 3. FINISH: ACID WASH
- 4. CONTRACTOR TO SUBMIT COLOR AND FINISH SAMPLES TO OWNER AND ARCHITECT FOR FINAL APPROVAL.
- 5. HEIGHT 30"

PRUNE ALL DEAD OR BROKEN
BRANCHES ACCORDING TO ACCEPTED

SET CROWN OR ROOT BALL 6"

MAXIMUM ABOVE SURROUNDING

- BACKFILL SOIL TO BE PLANTING MIX. MIXTURE

TO BE DONE OUTSIDE

PLANTING PIT.

HORTICULTURAL PRACTICE.

✓ 3" MINIMUM STONE

FINISHED GRADE.

FOLD BACK BURLAP

FROM TOP OF BALL.

Geddis Architects

Revision Schedule

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MS COURTYARD STEPS / 2021/01/28

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> > 914-769-3200

Structural Engineer ODEH ENGINEERS 1223 Mineral Spring Ave North Providence, RI 02904 401-724-1771

<u>Civil Engineer</u> WESTON & SAMPSON 1 Winners Circle, Suite 130 Albany, NY 12205

MEP Engineer
BARILE GALLAGHER & ASSOCIATES **CONSULTING ENGINEERS** 39 Marble Avenue, 2nd Floor Pleasantville, NY 10570 914-328-6060

518-463-4400

Acoustic Consultant DP DESIGN 12 Cold Spring Street Providence, RI 401-861-3218

AV Consultant CAVANAUGH TOCCI 327 F Boston Post Road Sudbury, MA 01776-3027

978-443-7871

SED #: 6618-0001-0005-032

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HIGH SCHOOL ENTRANCE

SITE CONSTRUCTION

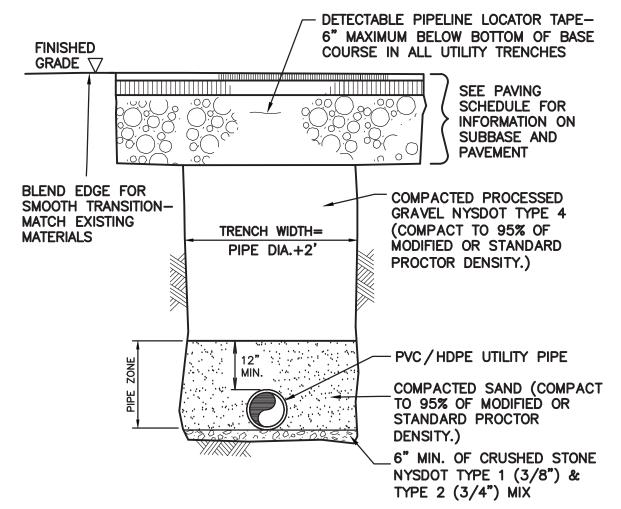
DETAILS

PROJECT '

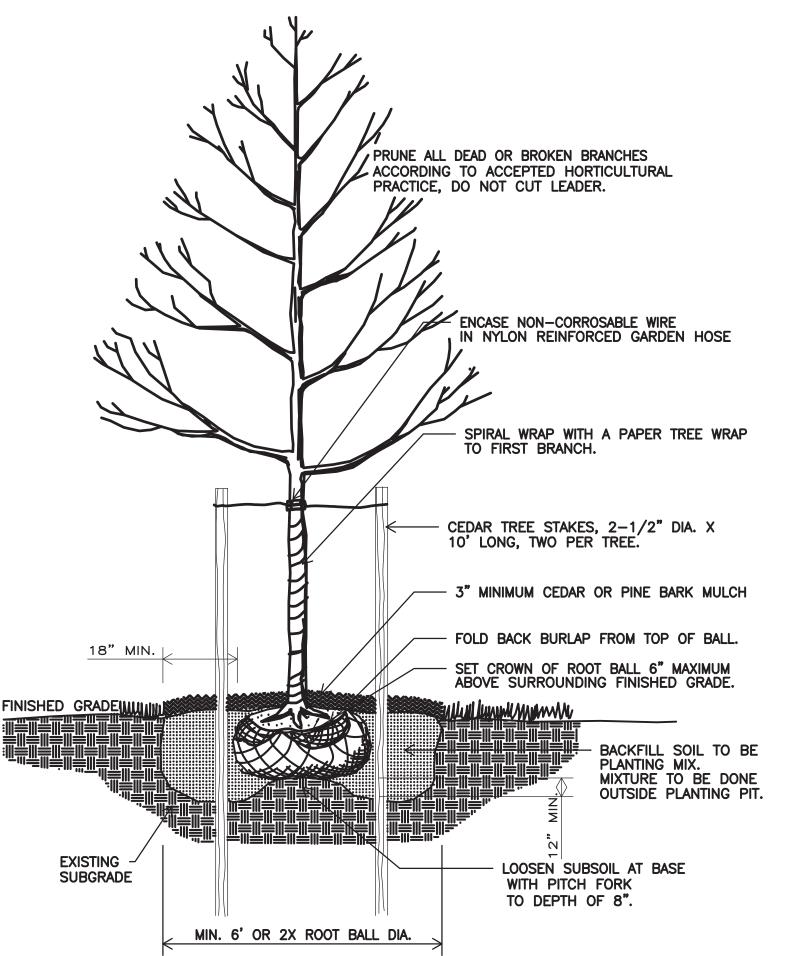
SEAL & SIGNATURE DATE:

PROJECT No: 9200 DRAWING BY: KSK CHK BY: DWG No: C2-004

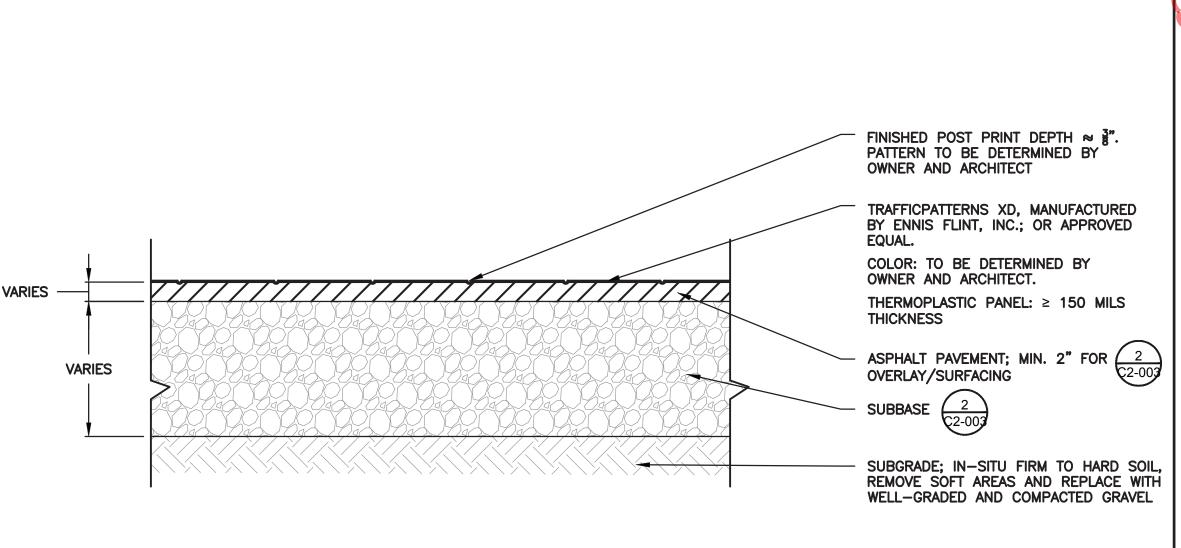
BOLLARD - PERMANENT SCALE: N.T.S.

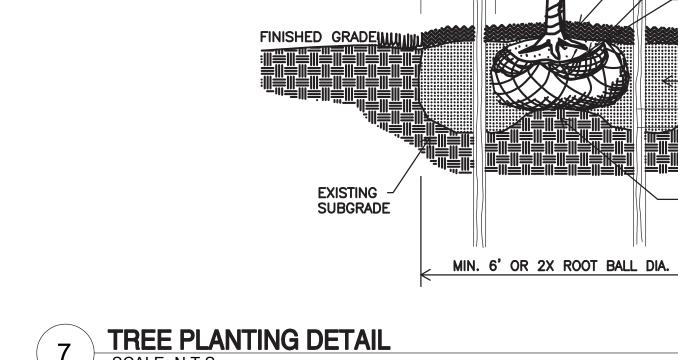












DETECTABLE WARNING SURFACE DETAIL 6 SCALE: N.T.S.

→D**→**

SECTION E-E

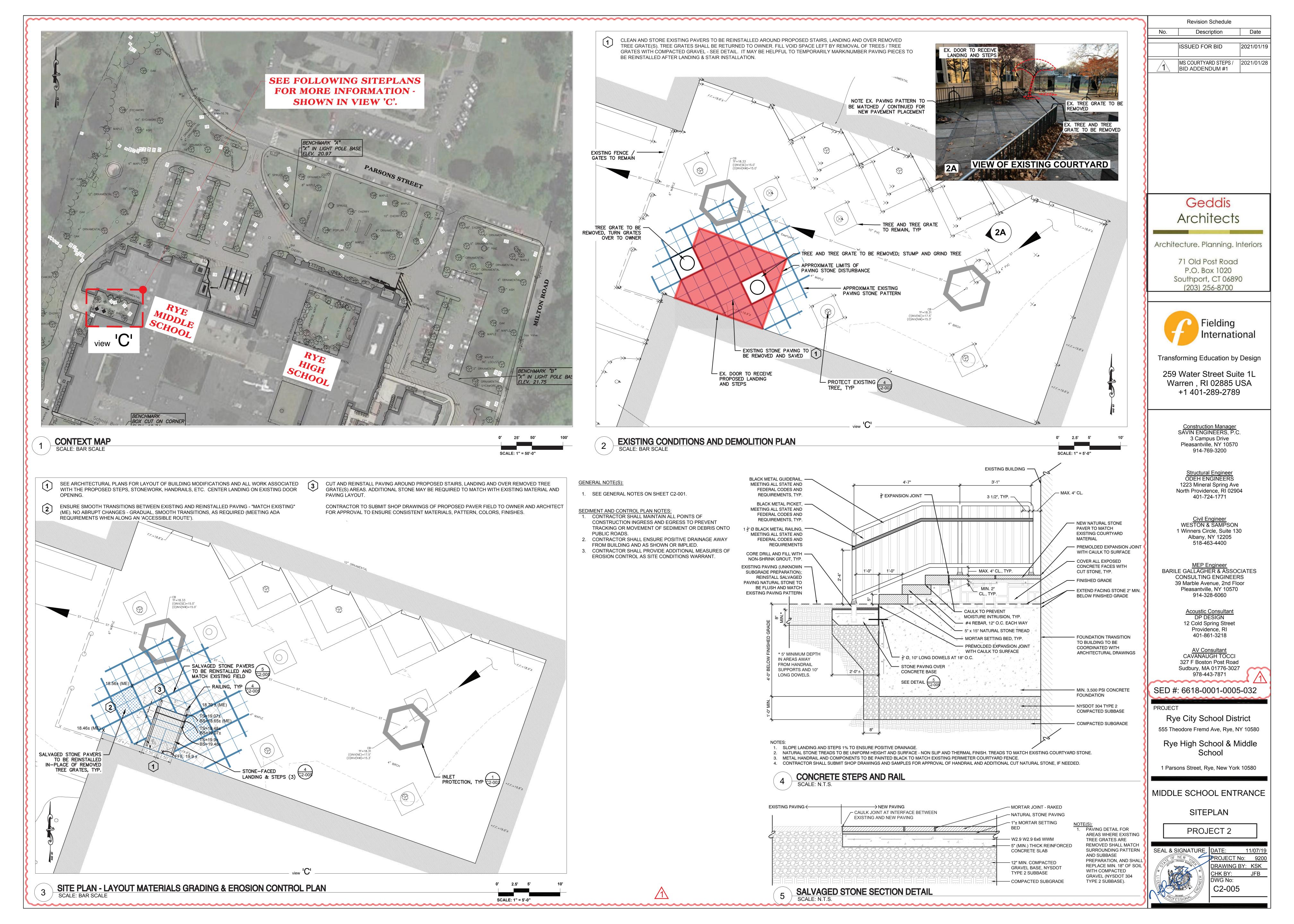
EXISTING — SUBGRADE LOOSEN SUBSOIL AT BASE WITH PITCH FORK MIN. 2X ROOT BALL DIA. TO DEPTH OF 8". SHRUB PLANTING DETAIL SCALE: N.T.S.

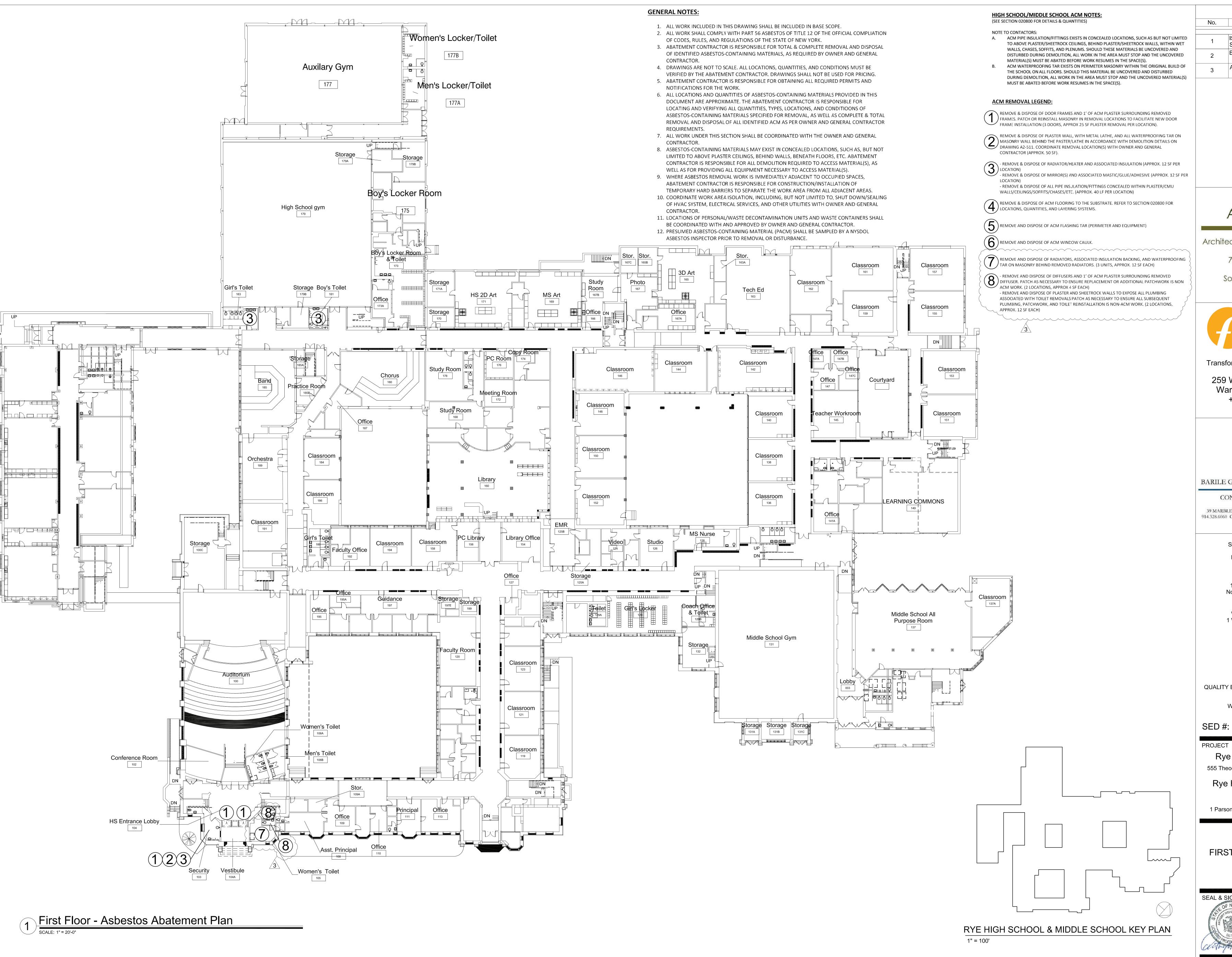
MHN// VIS

FINISHED GRADE

VARIES

STAMPED ASPHALT DETAIL





Description ISSUED FOR SED 09/15/2020 SUBMISSION 01/19/2021 BID ISSUE ADDENDUM 1 01/29/2021

Revision Schedule

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Civil Engineer WESTON & SAMPSON 1 Winners Circle, Suite 130 Albany, NY 12205 518-463-4400

Acoustic Consultant DP DESIGN 12 Cold Spring Street Providence, RI 401-861-3218

Environmental Consultant QUALITY ENVIRONMENTAL SOLUTIONS & TECHNOLOGIES, INC. 1376 Route 9 Wappingers Falls, NY 12590

845-298-6251

SED #: 66180001-0005-032

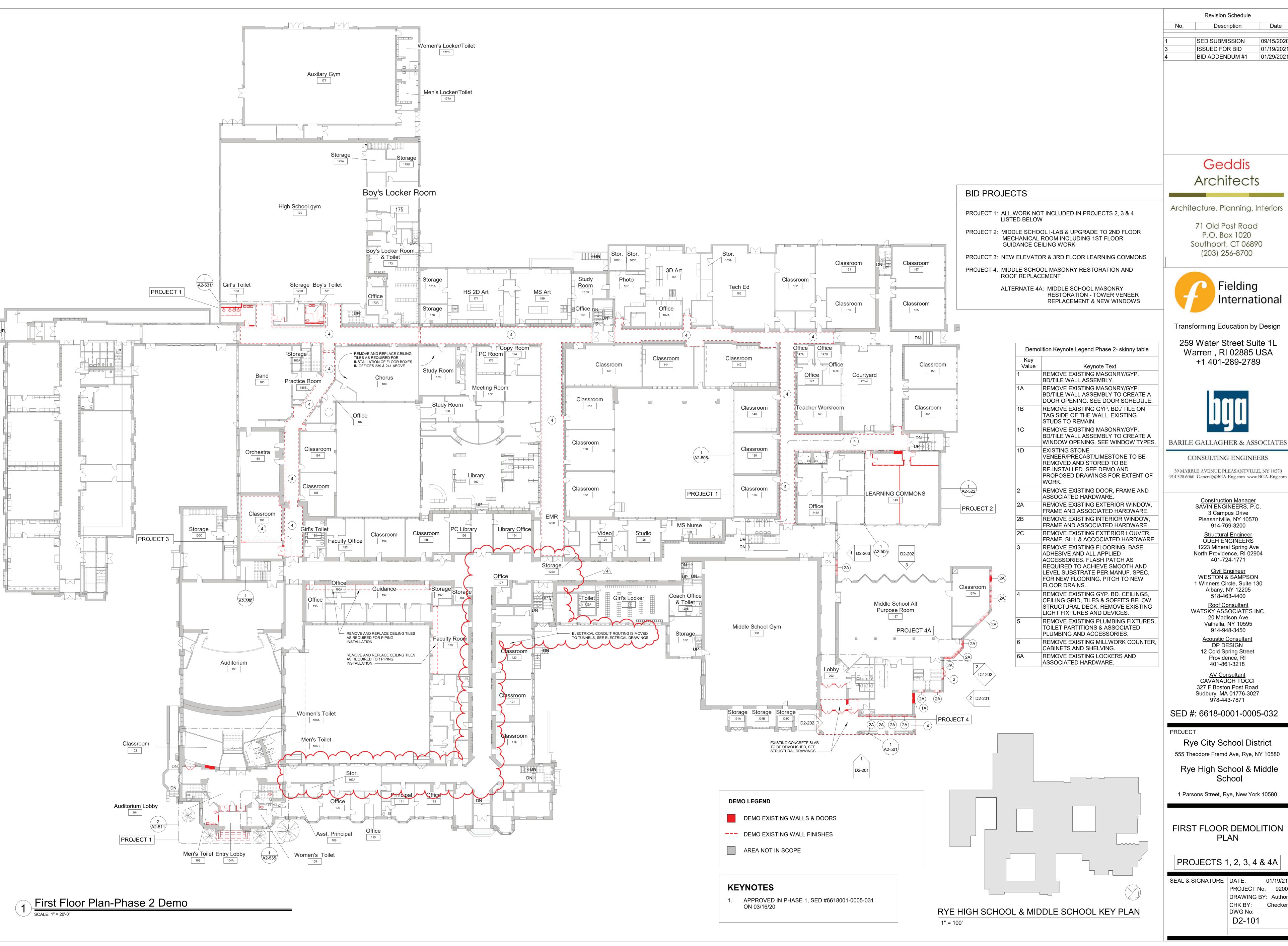
Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

FIRST FLOOR ASBESTOS **ABATMENT**





Geddis Architects

Description

Date

09/15/2020

01/19/2021

01/29/2021

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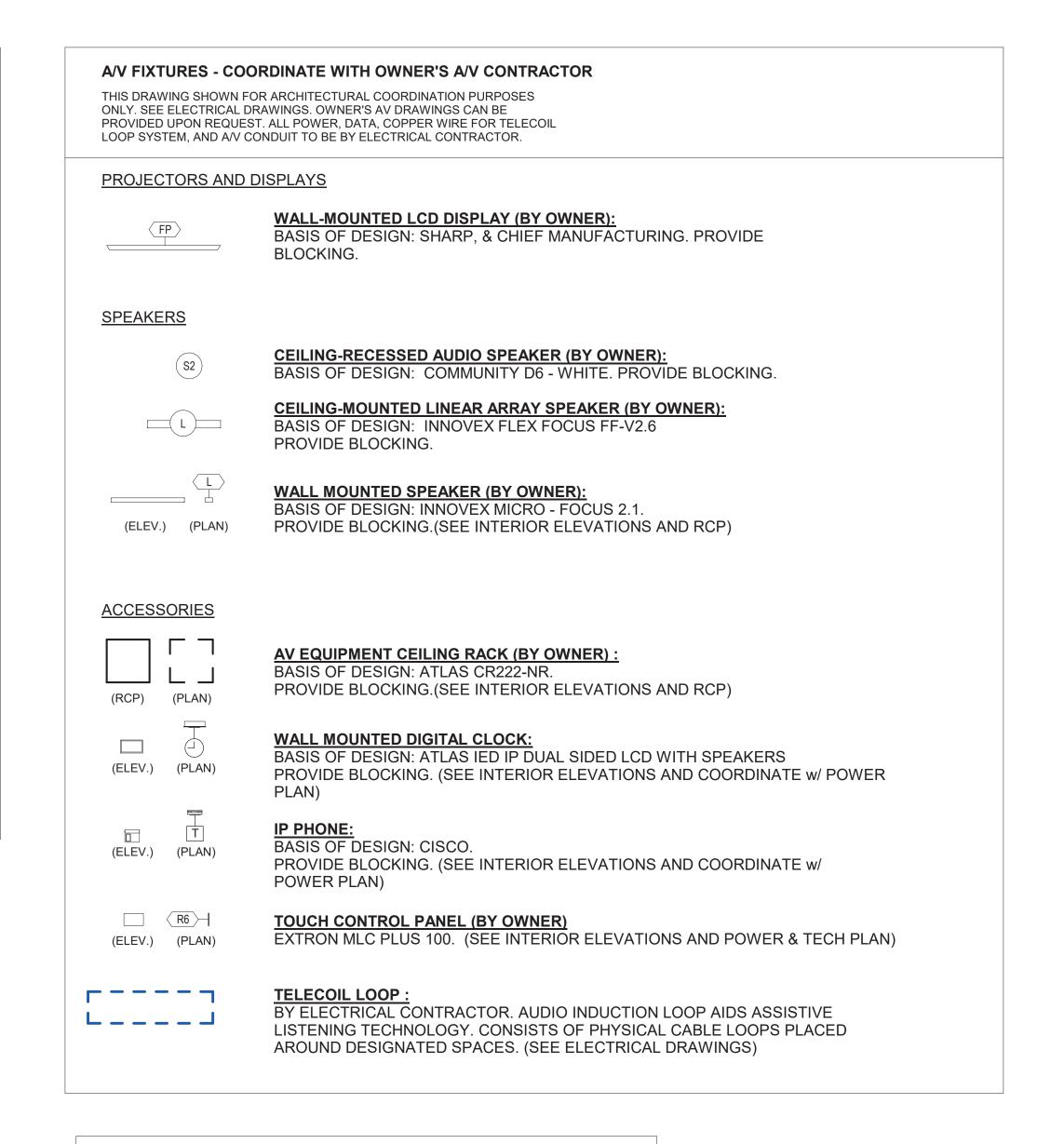
FIRST FLOOR DEMOLITION PLAN

PROJECTS 1, 2, 3, 4 & 4A

SEAL & SIGNATURE DATE: 01/19/21 PROJECT No: 9200 DRAWING BY: Author CHK BY:____Checker DWG No: D2-101

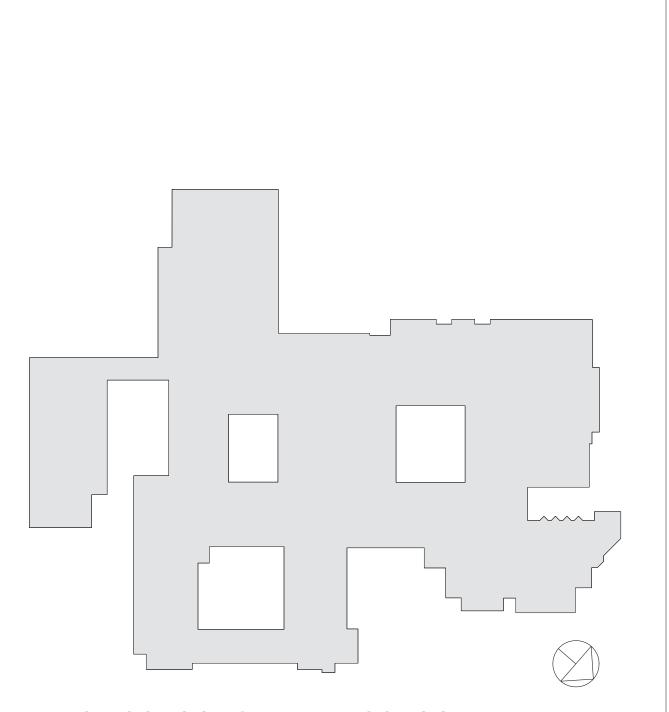
R1	RECESSED 2'X2' LIGHT: BASIS OF DESIGN: LITHONIA LIGHTING EPANL LED FLAT PA EPANL 2X2 4000LM 80CRI 35K MIN1 ZT MVOLT WITH DGA22	
R2	RECESSED 2'X2' LIGHT: BASIS OF DESIGN: MARK ARCHITECTURAL LIGHTING WHSF WHSPR 2X2 4800LM 35K 90CRI MIN1 MVOLT	PR LED TOFFER
☐ R4	RECESSED 6" SQUARE LIGHT: BASIS OF DESIGN: PATHWAY LIGHTING CALIBER PLUS 6" L 6SQLBV-10-35K-EX-W50-DA-6SQLBVSCL	ED SQUARE SERIES
☐ R4B	RECESSED 6" SQUARE LIGHT: BASIS OF DESIGN: PATHWAY LIGHTING CALIBER PLUS 6" L 6SQLBV-20-35K-EX-W50-DA-6SQLBVSCL	ED SQUARE SERIES
□ R5	RECESSED 6" SQUARE IMPACT RESISTANT LIGHT: BASIS OF DESIGN: PATHWAY LIGHTING CALIBER PLUS 6" L 6SQLBV-10-35K-E-X-L-DA-6SQLBVL8SCLPF WITH IMPACT RE	
© R8	RECESSED DIRECTIONAL LIGHT: BASIS OF DESIGN: LUMENWERX - VOILA 4" ROUND DOWNL VO4RR-OF-ADJ-UNV-14W-D1-VO4-SW-60-2-80-35-LS-VO4RR-	
R9	CEILING GRID RECESSED LINEAR LIGHT: BASIS OF DESIGN: T-BAR FLEX 15/16" BLOCK CLEAR DIFFUS TBFL MW 22 24 D A W	SING LENS
R10	RECESSED STAIR LIGHTING: BASIS OF DESIGN: KELVIX - SIGNWAVE 1 (INDOOR/OUTDOOSW1-see plan-35K-as needed; SEE DETAILS FOR HS ENTRY S	
P1	8' DIRECT/INDIRECT LINEAR PENDANT WITH LOUVERS: BASIS OF DESIGN: AXIS STENCIL D/I PENDANT AXIS STLDI-SLI-500-DML-600-8-80-35-W-UNV	ALTERNATE: MARK ARCHITECTURAL LIGHTING SLOT 1 S4LID LCB 6FT MSL8 80CRI 35K 800LMF I80CRI I35K I800LMI BW MIN1 SCT LVRRA SLV F1 36A RDCY SLVCY WCRD
P2	6' DIRECT/INDIRECT LINEAR PENDANT WITH LOUVERS: BASIS OF DESIGN: AXIS STENCIL D/I PENDANT AXIS STLDI-SLI-500-DML-600-6-80-35-W-UNV	ALTERNATE: MARK ARCHITECTURAL LIGHTING SLOT 1 S4LID LCB 4FT MSL8 80CRI 35K 800LMF I80CRI I35K I800LMI BW MIN1 SCT LVRRA SLV F1 36A RDCY SLVCY WCRD
P3	4' DIRECT/INDIRECT LINEAR PENDANT WITH LOUVERS: BASIS OF DESIGN: AXIS STENCIL D/I PENDANT AXIS STLDI-SLI-500-DML-600-4-80-35-W-UNV	ALTERNATE: MARK ARCHITECTURAL LIGHTING SLOT 1 S1LI LLP 12FT MSL12 I90CRI I35K I1200LMF BW MIN1 MVOLT WHT WEC ZT F1/36A RDCY WHTCY WCRD
P4	CONTINUOUS INDIRECT/DIRECT LINEAR PENDANT WITH ACT BASIS OF DESIGN: MARK ARCHITECTURAL LIGHTING SLOT S1LIDP-OPP-see plan-90CRI-35K-200LMF-I90CRI-I35K-I400LMI WHTCY-WCRD	1 LED - DIRECT/INDIRECT PENDANT PATTERNS
P5-W	ACCENT PENDANT WHITE: BROWNLEE LIGHTING - INNIE LED. 2680-20-tbd-45W-tbd-SSM-NT-35K	
P5-B	ACCENT PENDANT BLUE: BROWNLEE LIGHTING - INNIE LED. 2680-20-tbd-45W-tbd-SSM-NT-35K	
P5-G	ACCENT PENDANT GREEN: BROWNLEE LIGHTING - INNIE LED. 2680-20-tbd-45W-tbd-SSM-NT-35K	
© P6	GLASS CYLINDER PENDANT: ACUITY BRANDS - HEALTHCARE LIGHTING - POPS SINGLE FHPP1-9ST-MVOLT-CYL-LRG-35K-ZT-MIN5-INT-BA	PENDANT
WM1	WALL MOUNTED INDIRECT LED COVE LIGHT: (LENGTHS PE BASIS OF DESIGN: MARK ARCHITECTURAL LIGHTING SLOT S1Wi-LLP-8FT-MSL8-I90CRI-I35K-I400LMF-MIN1-MVOLT-BLKT	1 LED - INDIRÉCT WALL
WM2	LED SURFACE LIGHTING: BASIS OF DESIGN: LLI ARCHITECTURAL LIGHTING ANGLED LLI-ANG-S-F-4.4W35K-24V-see plans and details for dimensio	EXTRUSION + LED TAPELIGHT
WM3	EXTERIOR OVER DOOR EMERGENCY LIGHT: BASIS OF DESIGN: LUMINAIRE LED - BLADE BLD - VANDAL F BLD-48IN-MIN1800LM-35KDP-BRZ	RESISTENT MULLION-MOUNT LED
WM4	WALL MOUNTED UP-DOWN SCONCE: BASIS OF DESIGN: BROWNLEE LIGHTING - BOW 1572 - BL B12 - MG - 35K	
WM5	WALL MOUNTED DIRECT INDIRECT COVE LIGHT: BASIS OF DESIGN: KELVIX LED TAPE LIGHTING WITH EXTRI	UDED ALUMINUM MOUNTING

CEILING FINISHES LEGEND	
CEILING MATERIAL	
CLG-1	2X2 ACOUSTIC CEILING TILE ARMSTRONG OPTIMA 2x2 CEILING TILE WITH PRELUDE 15/16" SUSPENSION SYSTEM - WHITE
CLG-2	PAINTED GYP BOARD
CLG-3	2X2 METAL CEILING TILE ARMSTRONG METALWORKS TEGULAR 2x2 CEILING TILE WITH PRELUDE 15/16" SUSPENSION SYSTEM WHITE WITH MICRO PERFORATIONS AND BLACK ACOUSTIC BACKER
CLG-4	USG SHEETROCK BRAND EXTERIOR GYPSUM CEILING BOARD
	K-13 ACOUSTICAL SPRAY 2" THICK ON ALL STRUCTURE & UNDERSIDE OF FLOOR/ROOF DECK
	EXTRUDED ALUMINUM TRIM ARMSTRONG 8" AXIOM TRIM
ACOUSTIC CEILING FIXTURES	<u>S</u>
C-1	RECTANGULAR ACOUSTIC CLOUD: BASIS OF DESIGN: ARMSTRONG SOUNDSCAPE SHAPES SMALL RECTANGLE 48" x 72" x 2" COLOR: PURE WHITE
C-2	SQUARE ACOUSTIC CLOUD: BASIS OF DESIGN: ARMSTRONG SOUNDSCAPE SHAPES SQUARE 48" x 48" x 2" COLOR: PURE WHITE



GENERAL NOTE:

CEILING CONTRACTOR TO OWN CEILING CUT OUTS FOR A/V CEILING RECESSED SPEAKERS. COORDINATE WITH OWNER'S AV CONTRACTOR AND DO NOT CUT HOLES UNTIL THE SPEAKERS ARE ON SITE AND COORDINATION DRAWING AND DOCUMENTS ARE APPROVED.



RYE HIGH SCHOOL & MIDDLE SCHOOL KEY PLAN

1" = 100'

No. Description Date

SED SUBMISSION 09/15/2020

ISSUED FOR BID 01/19/2021

BID ADDENDUM #1 01/29/2021

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Providence, RI 401-861-3218 AV Consultant CAVANAUGH TOCCI 327 F Boston Post Road Sudbury, MA 01776-3027 978-443-7871

SED #: 6618-0001-0005-032

PROJECT

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Rye High School & Middle School

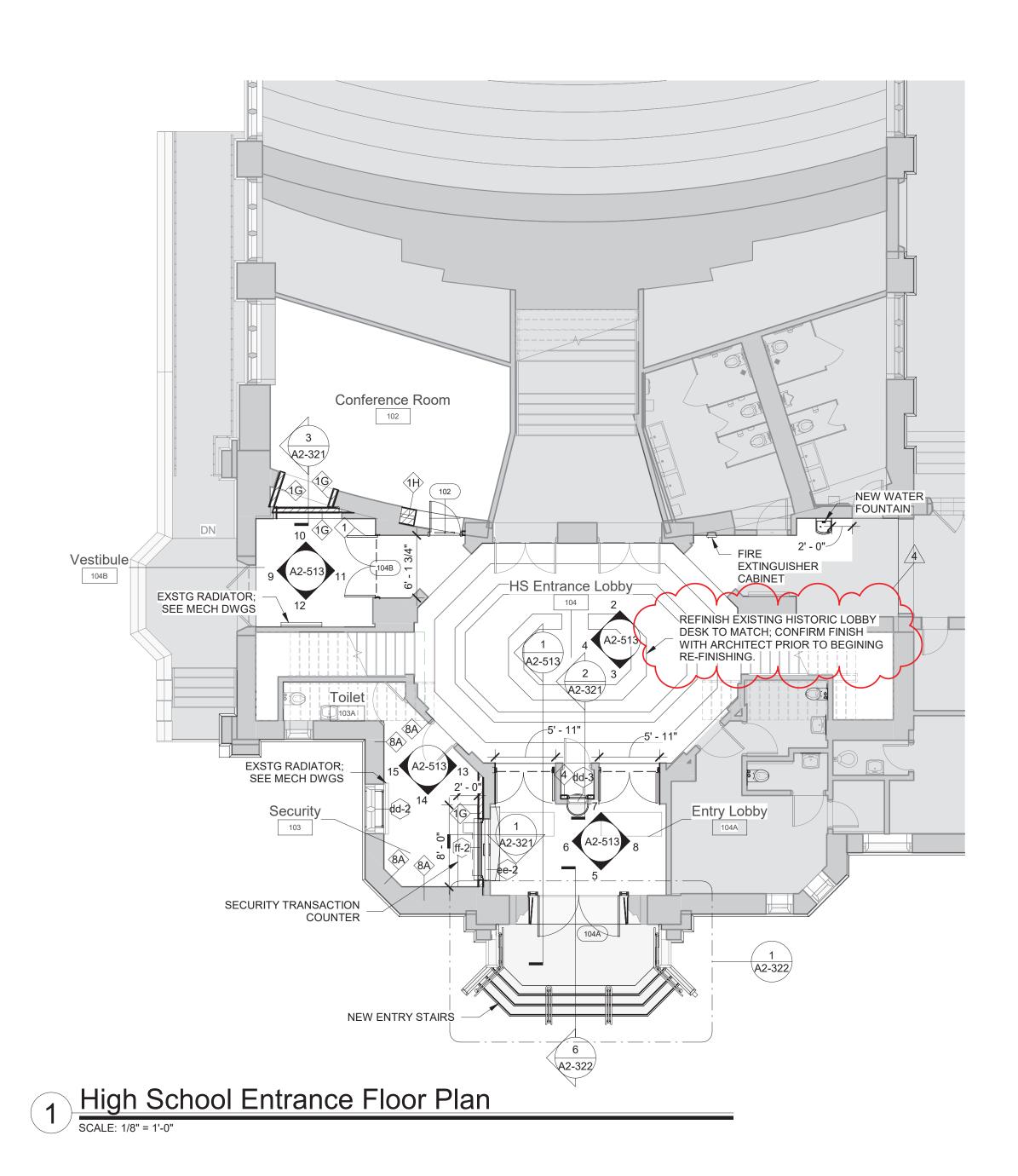
1 Parsons Street, Rye, New York 10580

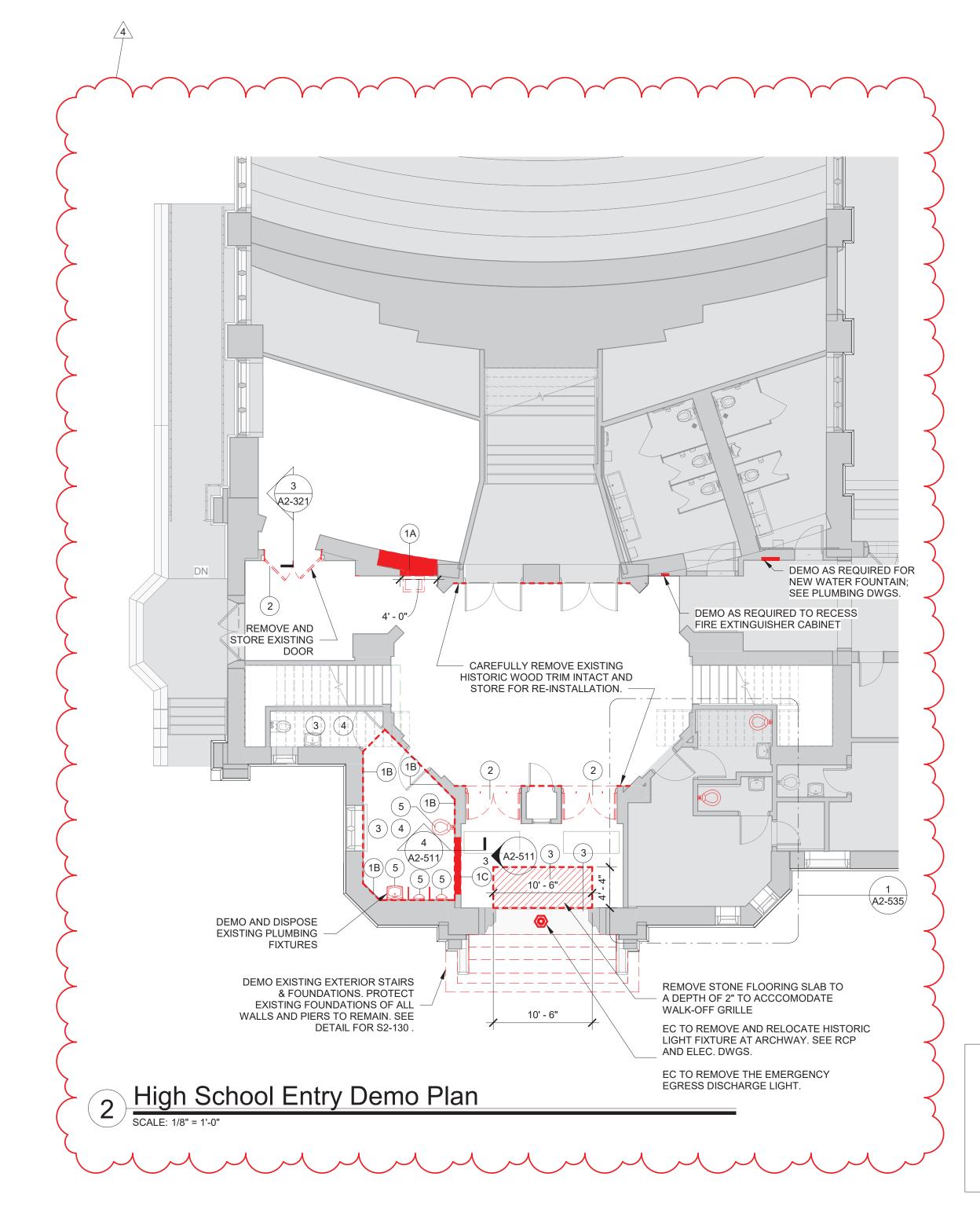
CEILING FIXTURE AND MATERIAL LEGENDS

PROJECTS 1, 2, & 3

SEAL & SIGNATURE DATE: 01/19/21
PROJECT No: 9200
DRAWING BY: Author
CHK BY: Checker

DRAWING BY: _Author CHK BY: _ Checker DWG No: A2-400





	Demolition Keynote Legend Phase 2
Key Value	Keynote Text
1	REMOVE EXISTING MASONRY/GYP. BD/TILE WALL ASSEMBLY.
1A	REMOVE EXISTING MASONRY/GYP. BD/TILE WALL ASSEMBLY TO CREATE A DOOR OPENING. SEE DOOF SCHEDULE.
1B	REMOVE EXISTING GYP. BD./ TILE ON TAG SIDE OF THE WALL. EXISTING STUDS TO REMAIN.
1C	REMOVE EXISTING MASONRY/GYP. BD/TILE WALL ASSEMBLY TO CREATE A WINDOW OPENING. SEE WINDOW TYPES.
1D	EXISTING STONE VENEER/PRECAST/LIMESTONE TO BE REMOVED AND STORED TO BE RE-INSTALLED. SEE DEMO AND PROPOSED DRAWINGS FOR EXTENT OF WORK.
2	REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
2A	REMOVE EXISTING EXTERIOR WINDOW, FRAME AND ASSOCIATED HARDWARE.
2B	REMOVE EXISTING INTERIOR WINDOW, FRAME AND ASSOCIATED HARDWARE.
2C	REMOVE EXISTING EXTERIOR LOUVER, FRAME, SILL & ACCOCIATED HARDWARE
3	REMOVE EXISTING FLOORING, BASE, ADHESIVE AND ALL APPLIED ACCESSORIES. FLASH PATCH AS REQUIRED TO ACHIEVE SMOOTH AND LEVEL SUBSTRATE PER MANUF. SPEC. FOR NEW FLOORING. PITCH TO NEW FLOOR DRAINS.
4	REMOVE EXISTING GYP. BD. CEILINGS, CEILING GRID, TILES & SOFFITS BELOW STRUCTURAL DECK. REMOVE EXISTING LIGHT FIXTURES AND DEVICES.
5	REMOVE EXISTING PLUMBING FIXTURES, TOILET PARTITIONS & ASSOCIATED PLUMBING AND ACCESSORIES.
6	REMOVE EXISTING MILLWORK COUNTER, CABINETS AND SHELVING.
6A	REMOVE EXISTING LOCKERS AND ASSOCIATED HARDWARE.

GENERAL NOTE:

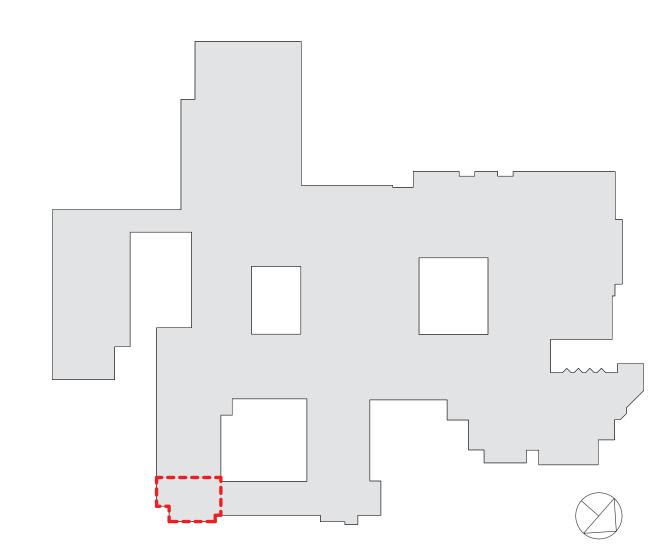
DIMENSIONS ARE SHOWN CENTERLINE TO CENTERLINE FOR NEW WALLS AND FACE OF EXISTING FINISH FOR EXTERIOR WALLS OR EXISTING WALLS TO REMAIN (UNLESS NOTED OTHERWISE)

DEMO LEGEND

DEMO EXISTING WALLS & DOORS

--- DEMO EXISTING WALL FINISHES

AREA NOT IN SCOPE



RYE HIGH SCHOOL & MIDDLE SCHOOL KEY PLAN

1" = 100'

 Revision Schedule

 No.
 Description
 Date

 1
 SED SUBMISSION
 09/15/2020

 2
 SED SUBMISSION:
 01/11/2021

 Addendum #1
 01/19/2021

 4
 BID ADDENDUM #1
 01/29/2021

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> Construction Manager SAVIN ENGINEERS, P.C. 3 Campus Drive Pleasantville, NY 10570

914-769-3200

Structural Engineer

ODEH ENGINEERS

1223 Mineral Spring Ave

North Providence, RI 02904 401-724-1771 <u>Civil Engineer</u> WESTON & SAMPSON

WESTON & SAMPSON 1 Winners Circle, Suite 130 Albany, NY 12205 518-463-4400

Roof Consultant
WATSKY ASSOCIATES INC.

20 Madison Ave Valhalla, NY 10595 914-948-3450 <u>Acoustic Consultant</u>

DP DESIGN
12 Cold Spring Street
Providence, RI
401-861-3218

AV Consultant CAVANAUGH TOCCI 327 F Boston Post Road Sudbury, MA 01776-3027 978-443-7871

SED #: 6618-0001-0005-032

PROJECT

Rye City School District
555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

HIGH SCHOOL ENTRANCE PLANS

PROJECT 1

SEAL & SIGNATURE

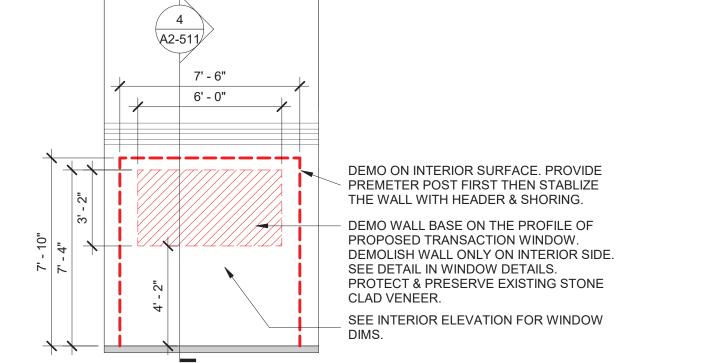
PROJECT No: 9200

DRAWING BY: Author

CHK BY: Checker

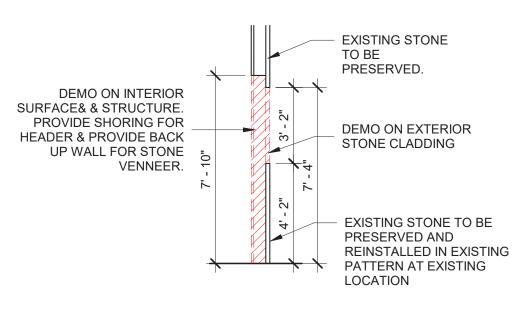
DWG No:

A2-511

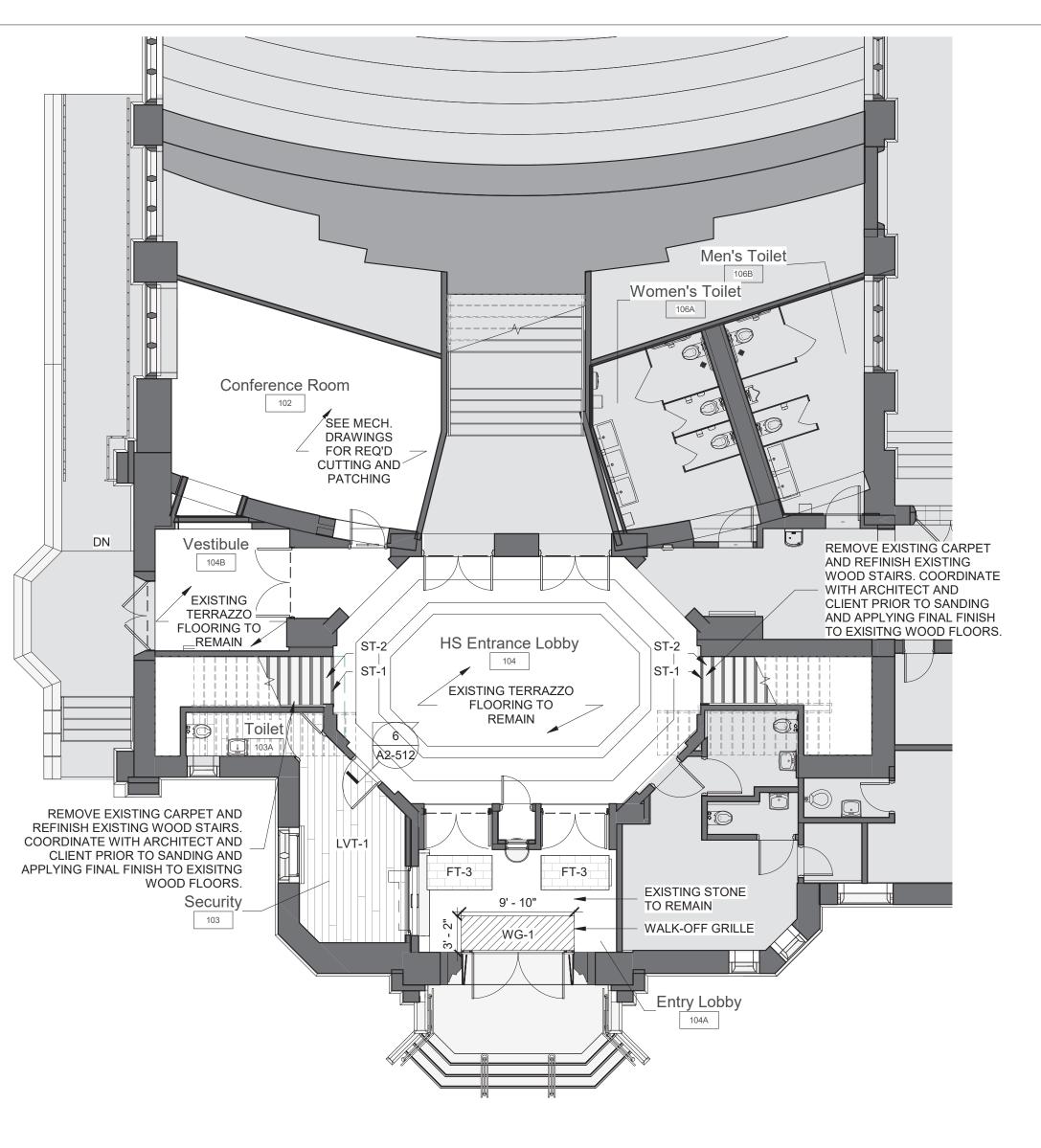


3 HS Security Window Demo Elevation

SCALE: 1/4" = 1'-0"



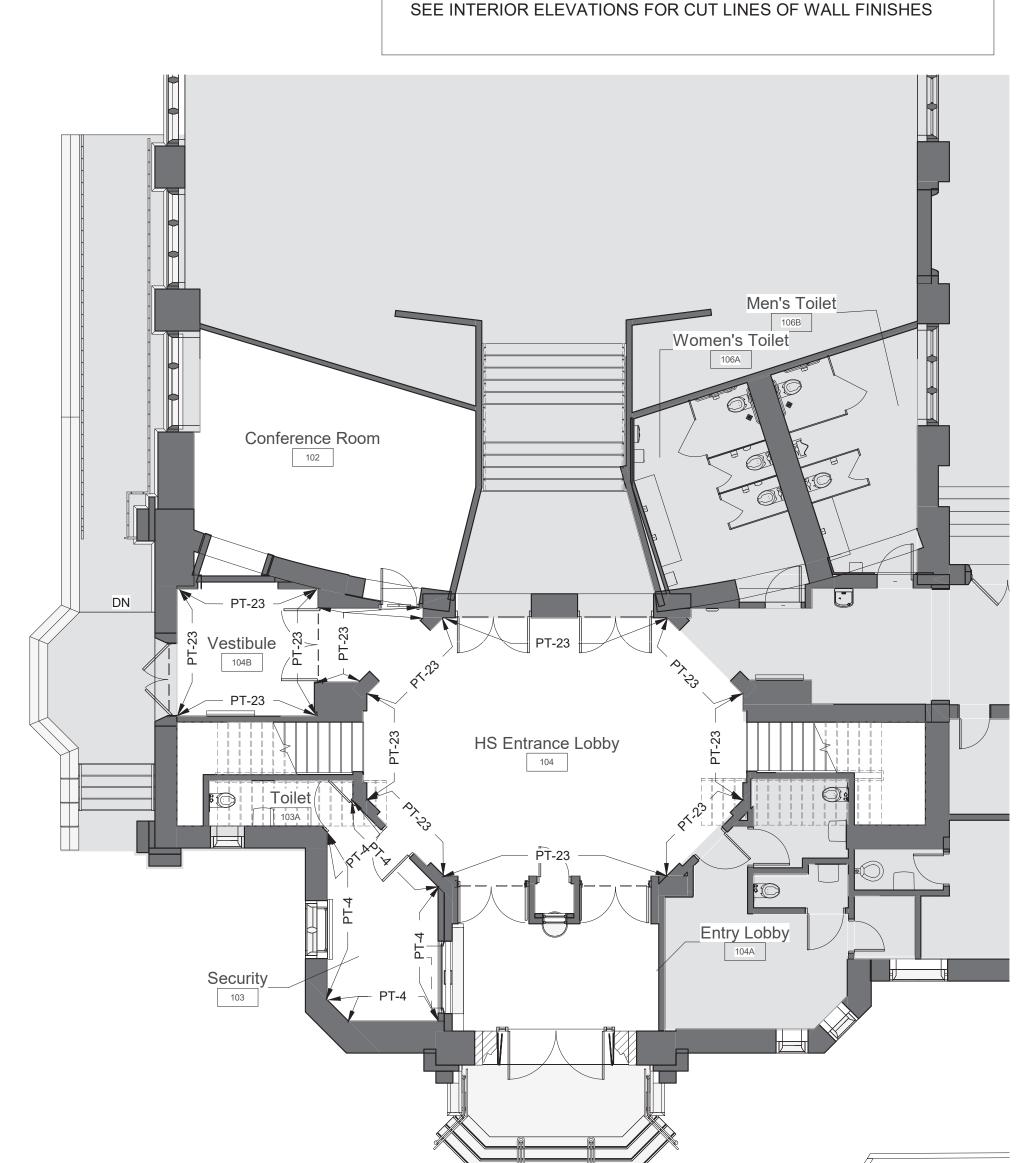
4 HS Security Window Demo Section Scale: 1/4" = 1'-0"



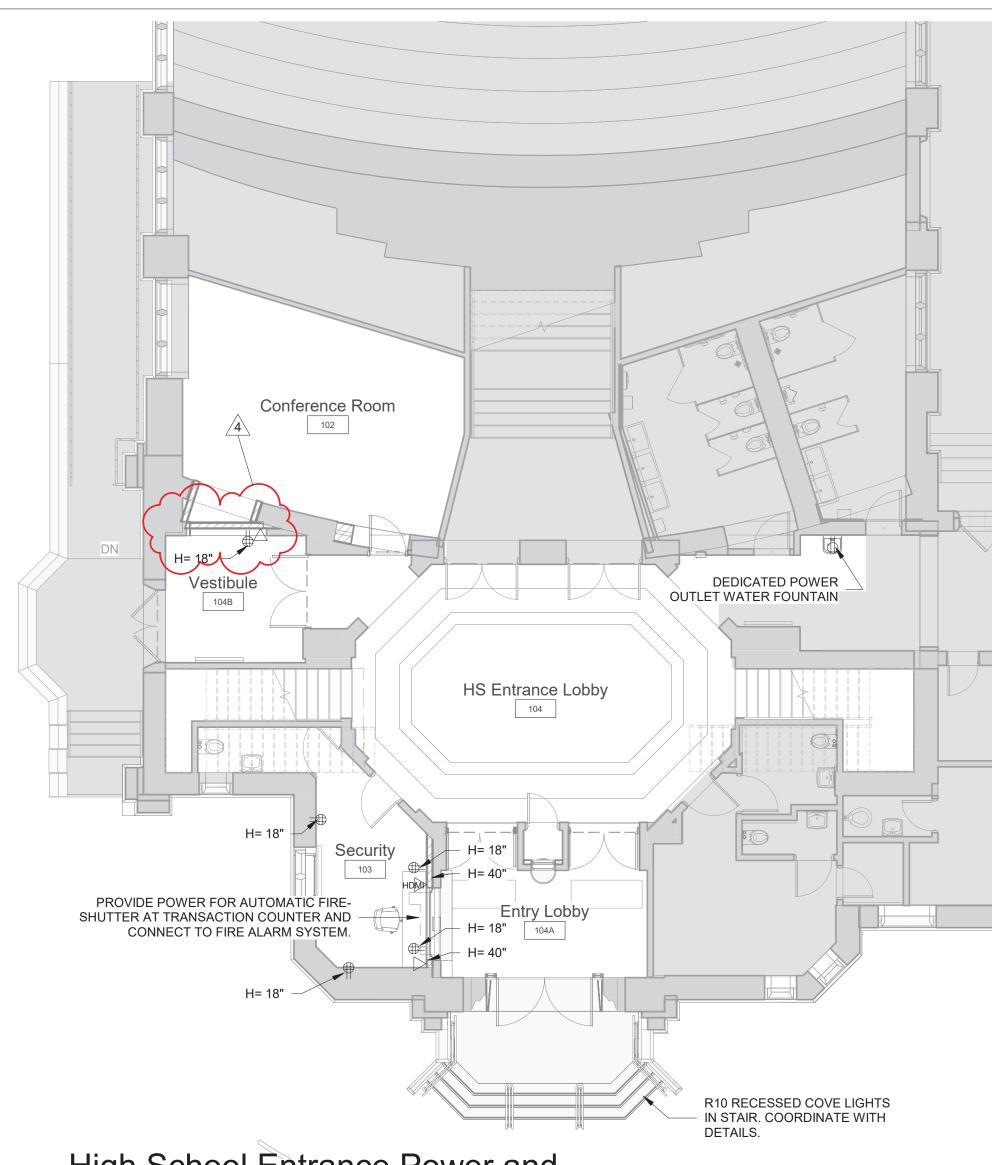
1 High School Entrance Flooring Plan

GENERAL NOTE: 1. ALL AREAS WITH NEW FLOORING TO RECEIVE SELF-LEVELING UNDERLAYMENT SO THAT SUBSTRATE IS SMOOTH AND LEVEL PER FLOORING MFG'S INSTRUCTIONS.

GENERAL NOTE:



4 High School Entry Wall Paint Plan



High School Entrance Power and

2 Technology Plan

A/V FIXTURES - COORDINATE WITH OWNER'S A/V CONTRACTOR

THIS DRAWING SHOWN FOR ARCHITECTURAL COORDINATION PURPOSES ONLY. SEE ELECTRICAL DRAWINGS. OWNER'S AV DRAWINGS CAN BE PROVIDED UPON REQUEST. ALL POWER, DATA, COPPER WIRE FOR TELECOIL LOOP SYSTEM, AND A/V CONDUIT TO BE BY ELECTRICAL CONTRACTOR.

PROJECTORS AND DISPLAYS

WALL-MOUNTED LCD DISPLAY (BY OWNER):
BASIS OF DESIGN: SHARP, & CHIEF MANUFACTURING. PROVIDE

<u>SPEAKERS</u>

CEILING-RECESSED AUDIO SPEAKER (BY OWNER):
BASIS OF DESIGN: COMMUNITY D6 - WHITE. PROVIDE BLOCKING.

CEILING-MOUNTED LINEAR ARRAY SPEAKER (BY OWNER): BASIS OF DESIGN: INNOVEX FLEX FOCUS FF-V2.6

PROVIDE BLOCKING.

WALL MOUNTED SPEAKER (BY OWNER): BASIS OF DESIGN: INNOVEX MICRO - FOCUS 2.1. PROVIDE BLOCKING. (SEE INTERIOR ELEVATIONS AND RCP) (ELEV.) (PLAN)

ACCESSORIES

AV EQUIPMENT CEILING RACK (BY OWNER) :

BASIS OF DESIGN: ATLAS CR222-NR. PROVIDE BLOCKING. (SEE INTERIOR ELEVATIONS AND RCP)

(ELEV.) (PLAN)

(RCP) (PLAN)

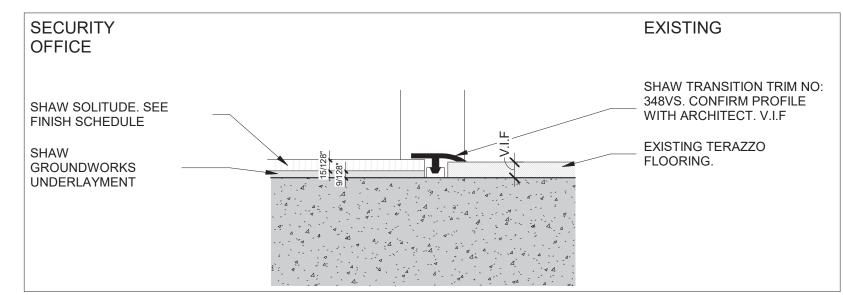
WALL MOUNTED DIGITAL CLOCK: BASIS OF DESIGN: ATLAS IED IP DUAL SIDED LCD WITH SPEAKERS PROVIDE BLOCKING. (SEE INTERIOR ELEVATIONS AND COORDINATE w/ POWER PLAN)

(ELEV.) (PLAN)

BASIS OF DESIGN: CISCO. PROVIDE BLOCKING. (SEE INTERIOR ELEVATIONS AND COORDINATE w/ POWER PLAN)

____ \(R6 \) TOUCH CONTROL PANEL (BY OWNER)
EXTRON MLC PLUS 100. (SEE INTERIOR ELEVATIONS AND POWER & TECH PLAN) (ELEV.) (PLAN)

BY ELECTRICAL CONTRACTOR. AUDIO INDUCTION LOOP AIDS ASSISTIVE LISTENING TECHNOLOGY. CONSISTS OF PHYSICAL CABLE LOOPS PLACED AROUND DESIGNATED SPACES. (SEE ELECTRICAL DRAWINGS)



HS ENTRY - FLOOR TRANSITION DETAIL





EXISTING DOOR BEYOND; PAINT TRIM PER

ELEVATIONS

Conference Room HISTORIC TRIM. RE-INSTALL TRIM AROUND FIXTURE TO HIDE FIXTURE. PROVIDE COORDINATION DRAWINGS TO ARCHITECT AND ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. TYPICAL FOR ALL WM5 FIXTURES. PROVIDE MOCKUP TO ARCHITECT AND OWNER USING AT LEAST 3 DIFFERENT FIXTURES PRIOR TO INSTALL. Vestibule EXISTING VAULTED PLASTER CEILING TO REMAIN, TYP. EC TO REFURBISH AND REINSTALL EXISTING HISTORIC CHANDELIER AT EXISTING LOCATION. HS Entrance Lobby SEE ELECTRICAL DRAWINGS CLG HVAC EQUIP; A2-321/ SEE MECH DWGS FIXTURE WM4 TO REPLACE EXISTING WALL-MOUNTED FIXTURE AT THIS LOCATION. EC TO REFURBISH AND REWIRE EXISTING HISTORIC FIXTURE. RELOCATE FIXTURE TO BE MOUNTED ON PROPOSED BRACKET. SEE ARCH. DETAIL DRAWINGS AND ELECTRICAL DRAWINGS.

3 High School Entry RCP

AREA NOT IN SCOPE

POWER OUTLETS & DEVICES LEGEND: THIS DRAWING SHOWN FOR ARCHITECTURAL COORDINATION PURPOSES ONLY. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS.

BY ELECTRICAL CONTRACTOR. **USB AND POWER OUTLET**

OWNER'S AV DRAWINGS CAN BE PROVIDED UPON REQUEST. ALL POWER, DATA, COPPER WIRE FOR TELECOIL LOOP SYSTEM, AND A/V CONDUIT TO BE

> DOUBLE POWER OUTLET QUAD POWER OUTLET

INTEGRATED FLOOR OUTLET AND AV INPUT; 4 INTEGRATED POWER OUTLETS BASIS OF DESIGN: FSR FL-500P-4-B

HARDWIRED POWER LOCATION: *NOTE ELECTRICAL CONTRACTOR TO SCHEDULE COORDINATION MEETING WITH ARCHITECT TO VERIFY HARDWIRE LOCATION FOR POWER INTEGRATED CASEWORK/FURNITURE

LED TAPE LIGHTING IN EXTRUDED

LIGHTING CONTROL PANEL LIGHTING SWITCH

ETHERNET DATA OUTLET HDMI DATA OUTLET

WALL MOUNTED DIGITAL CLOCK: (ELEV.) (PLAN)

IP PHONE: (ELEV.) (PLAN)

ALUMINUM MOUNTING CHANNEL; ALUMINUM MOUNTING CHANNEL; BASIS OF DESIGN: KELVIX CH-241-M BASIS OF DESIGN: KELVIX CH-076 CHANNEL **OPTION 2** REINSTALL EXISTING HISTORIC TRIM WITH APPROPRIATE CONSTRUCTION ADHESIVE; WRAP 1x BLOCKING AS NECESSARY; CORNER OF NEW LIGHT FIXTURE TO TRIM OF

HIGH SCHOOL ENTRY LOBBY - COVE

RYE HIGH SCHOOL & MIDDLE SCHOOL KEY PLAN 1" = 100'

Geddis **Architects**

Revision Schedule

Description

SED SUBMISSION

ISSUED FOR BID

BID ADDENDUM #1

Date

09/15/2020

01/19/2021

01/29/2021

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Roof Consultant WATSKY ASSOCIATES INC 20 Madison Ave

Valhalla, NY 10595 914-948-3450 **Acoustic Consultant** DP DESIGN

> Providence, RI 401-861-3218 AV Consultant **CAVANAUGH TOCCI** 327 F Boston Post Road

12 Cold Spring Street

Sudbury, MA 01776-3027 978-443-7871 SED #: 6618-0001-0005-032

PROJECT

Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

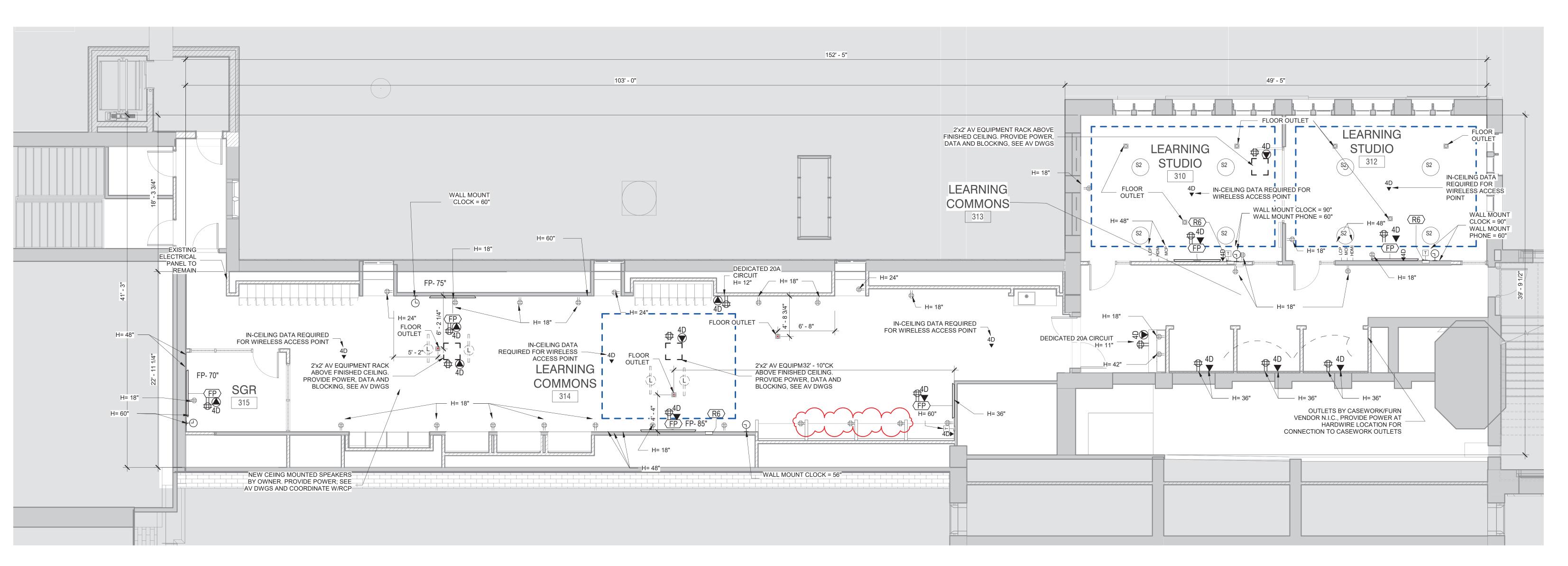
1 Parsons Street, Rye, New York 10580

HIGH SCHOOL ENTRANCE **PLANS**

PROJECT 1

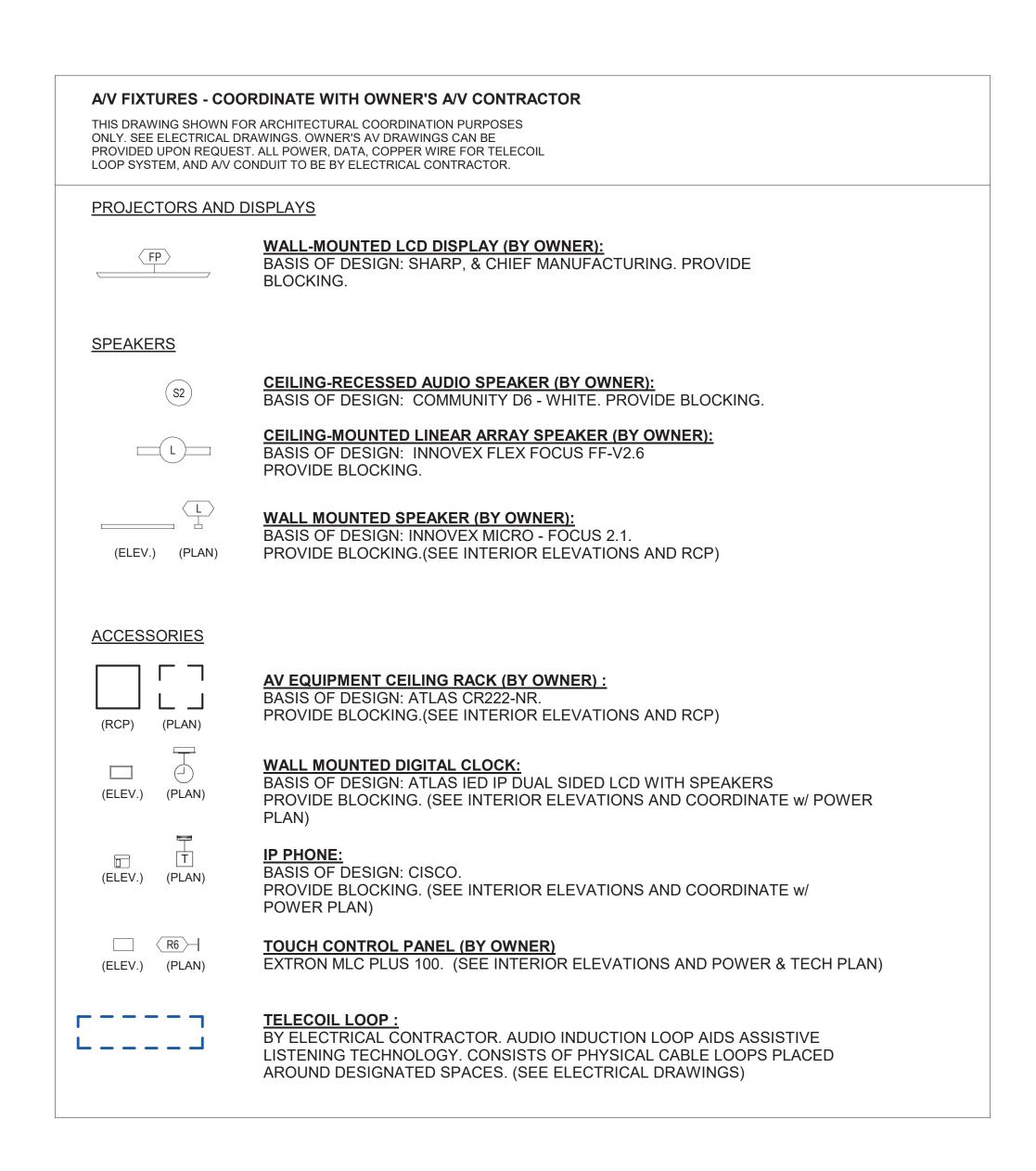
SEAL & SIGNATURE DATE:

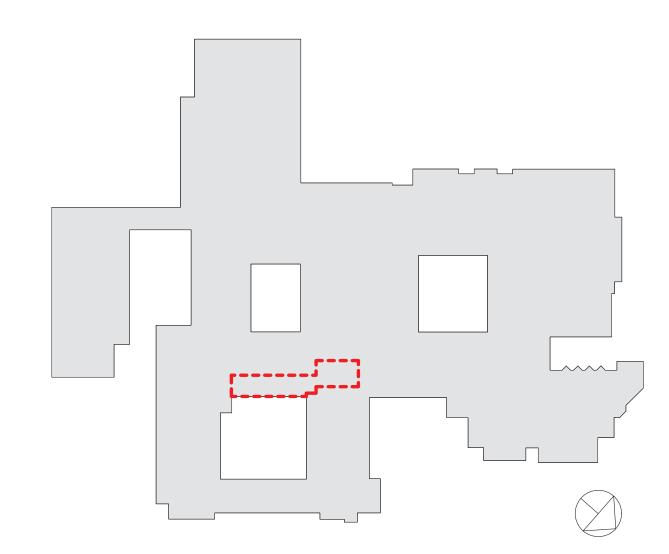
PROJECT No: 9200 DRAWING BY: Author CHK BY: Checker DWG No: A2-512



Third Floor Power and Technology Plan

POWER OUTLETS & DEVICES LEGEND: THIS DRAWING SHOWN FOR ARCHITECTURAL COORDINATION PURPOSES ONLY. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS. OWNER'S AV DRAWINGS CAN BE PROVIDED UPON REQUEST. ALL POWER, DATA, COPPER WIRE FOR TELECOIL LOOP SYSTEM, AND A/V CONDUIT TO BE BY ELECTRICAL CONTRACTOR. USB AND POWER OUTLET DOUBLE POWER OUTLET QUAD POWER OUTLET INTEGRATED FLOOR OUTLET AND AV INPUT; 4 INTEGRATED POWER OUTLETS BASIS OF DESIGN: FSR FL-500P-4-B HARDWIRED POWER LOCATION: *NOTE ELECTRICAL CONTRACTOR TO SCHEDULE COORDINATION MEETING WITH ARCHITECT TO VERIFY HARDWIRE LOCATION FOR POWER INTEGRATED CASEWORK/FURNITURE LIGHTING CONTROL PANEL LIGHTING SWITCH ETHERNET DATA OUTLET HDMI DATA OUTLET WALL MOUNTED DIGITAL CLOCK: (ELEV.) (PLAN) (ELEV.) (PLAN)





RYE HIGH SCHOOL & MIDDLE SCHOOL KEY PLAN

1" = 100'

	Revision Schedule	
No.	Description	Date
1	SED SUBMISSION	09/15/2020
3	ISSUED FOR BID	01/19/2021
4	BID ADDENDUM #1	01/29/2021

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<u>Civil Engineer</u>
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Providence, RI
401-861-3218

AV Consultant CAVANAUGH TOCCI 327 F Boston Post Road Sudbury, MA 01776-3027 978-443-7871

SED #: 6618-0001-0005-032

PROJECT

Rye City School District
555 Theodore Fremd Ave, Rye, NY 10580

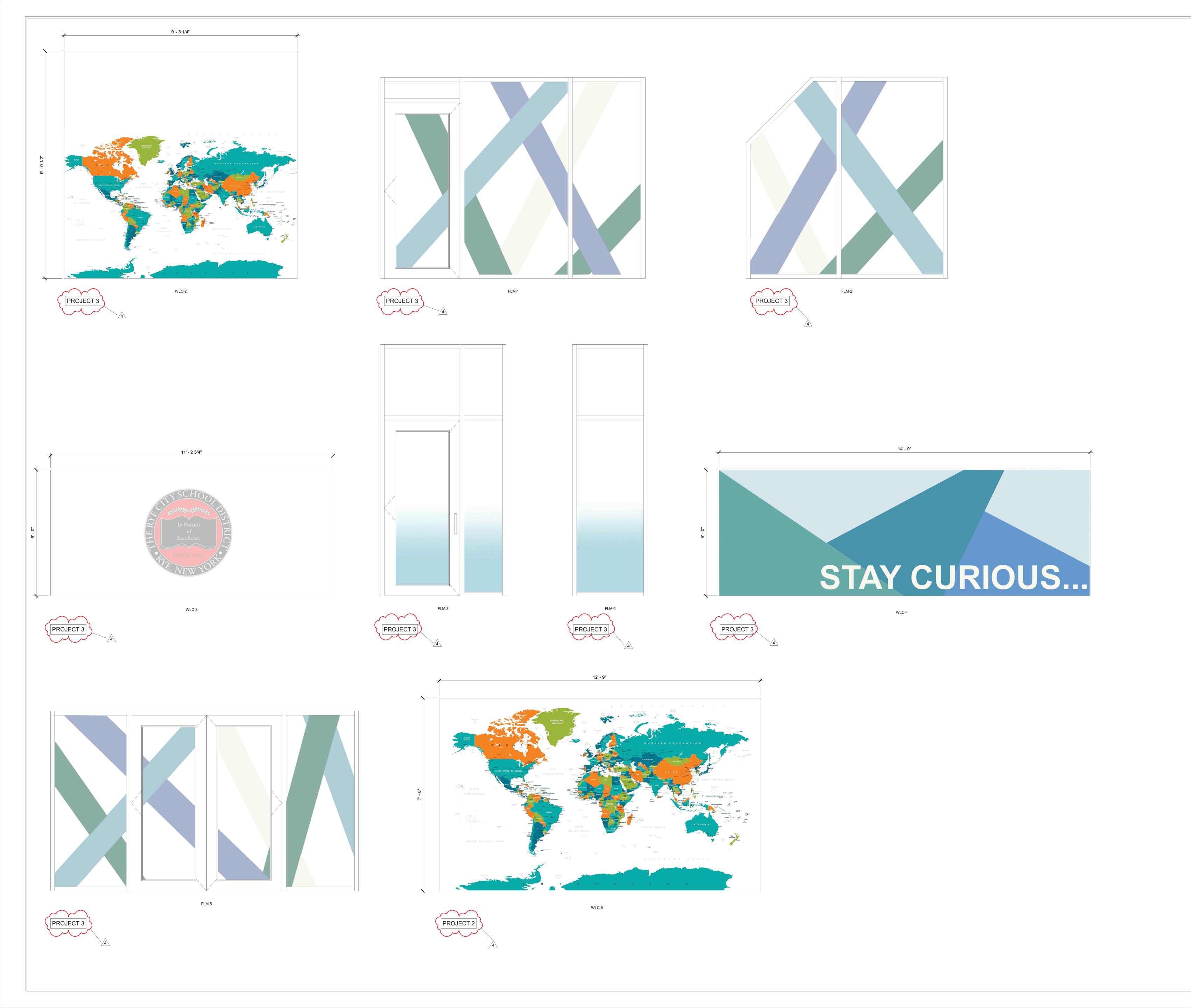
Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

THIRD FLOOR LEARNING COMMUNITY POWER AND TECHNOLOGY PLAN

PROJECT 3

SEAL & SIGNATURE DATE: 09/02/20
PROJECT No: 9200
DRAWING BY: Author
CHK BY: Checker
DWG No:
A2-517



ISSUED FOR BID 01/19/2021

BID ADDENDUM #1

01/29/2021

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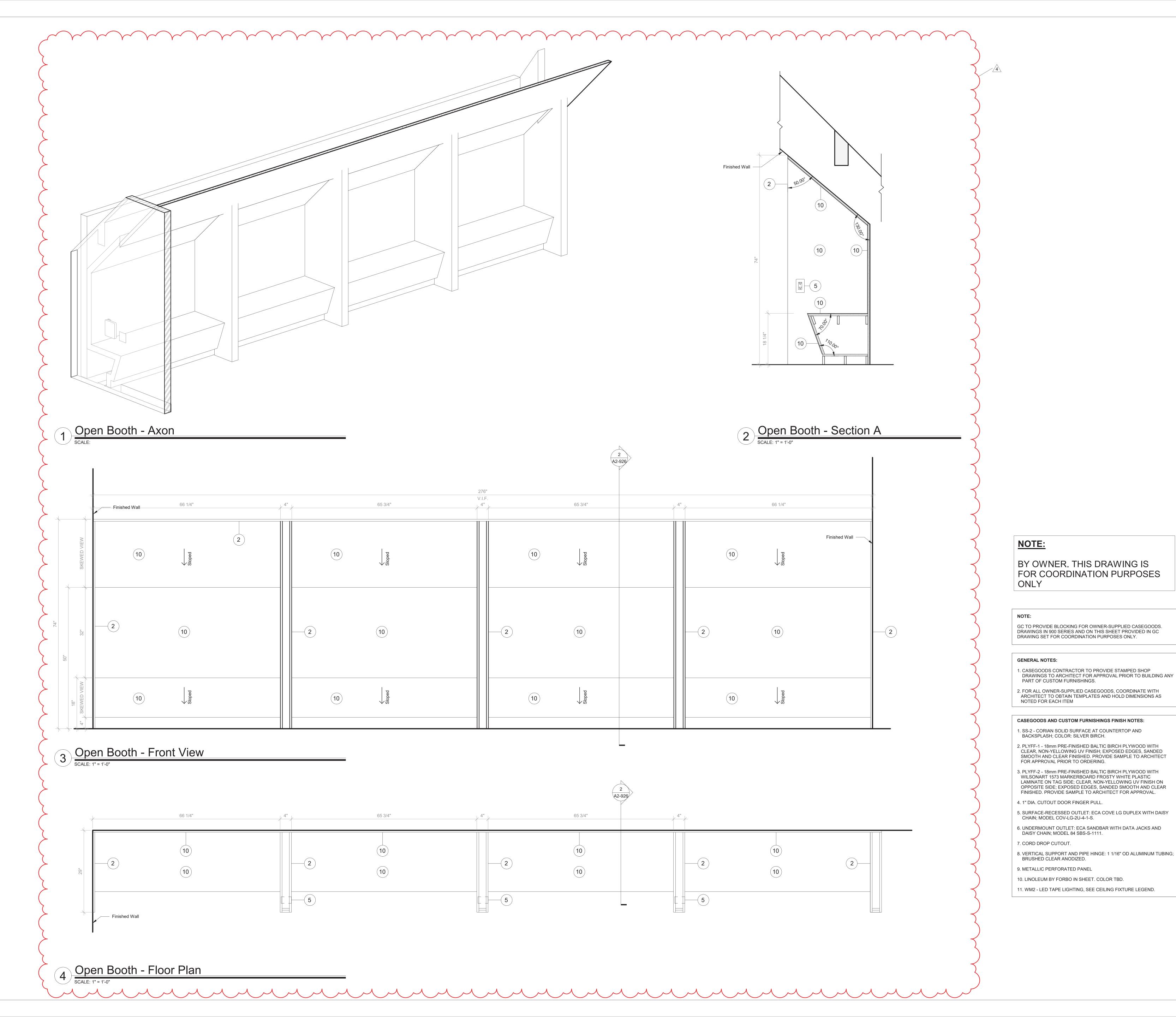
Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

WALL GRAPHICS AND **GLAZING TYPES**

SEAL & SIGNATURE | DATE: CHK BY:___ DWG No: Checker



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 09/15/2020

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Rye High School & Middle

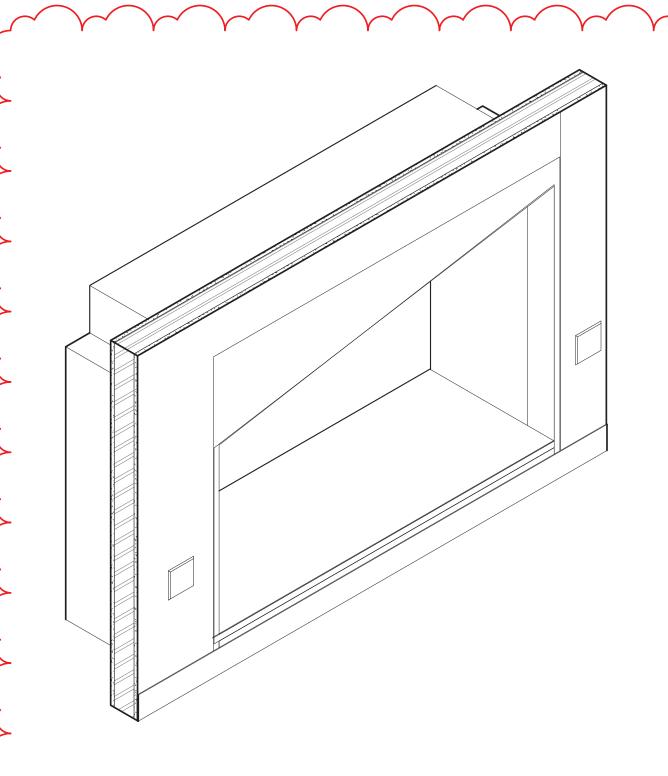
School

1 Parsons Street, Rye, New York 10580

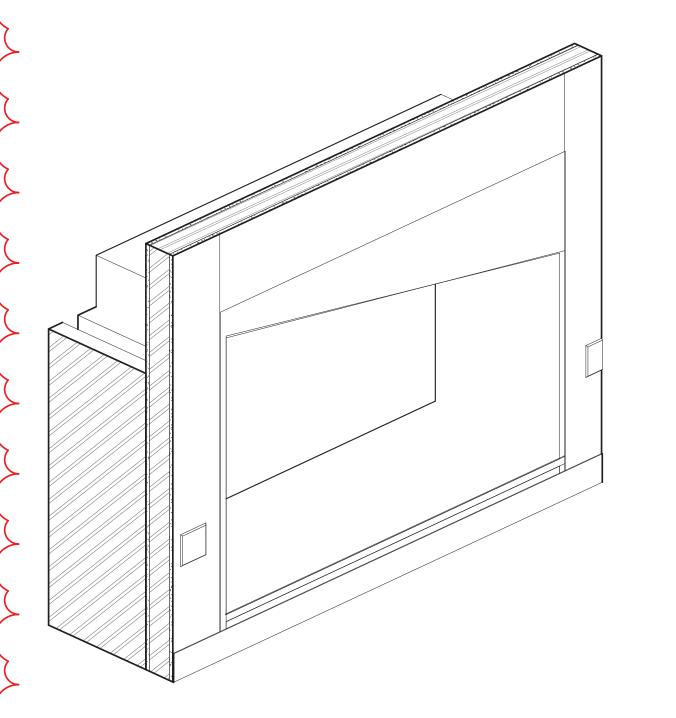
FURNITURE DETAIL - THIRD FLOOR - OPEN BOOTH SEATING

PROJECT 3

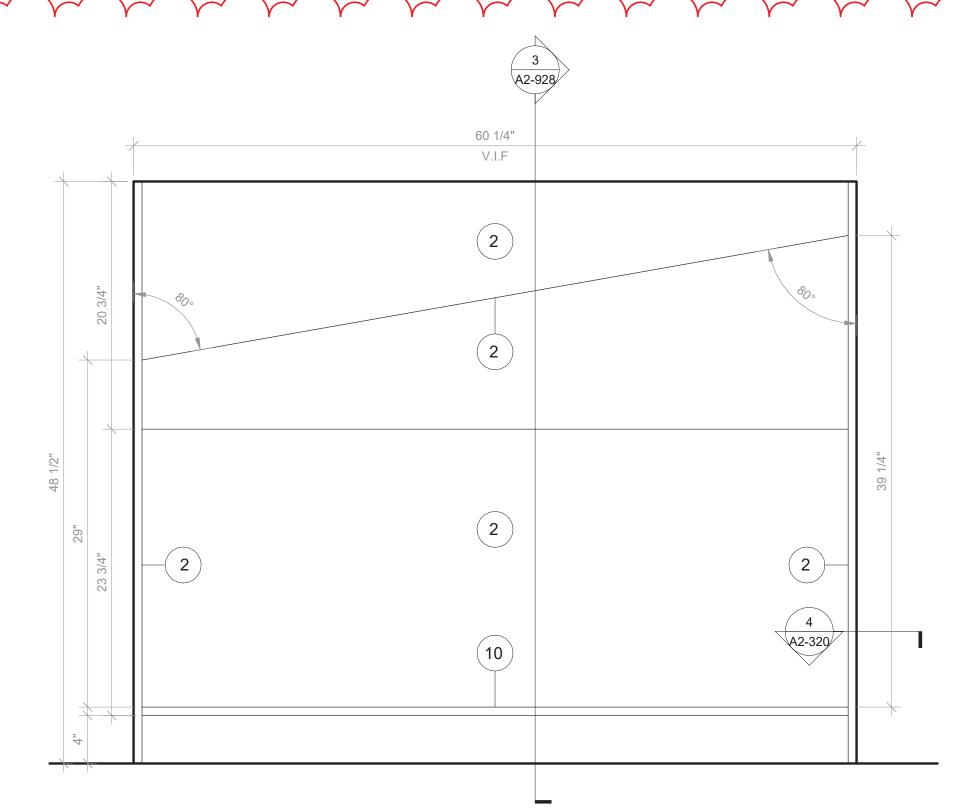
SEAL & SIGNATURE DATE: 05/06/20
PROJECT No: 9200
DRAWING BY: Author
CHK BY: Checker
DWG No:
A2-926



2 Cave Space Type A - Axon scale:

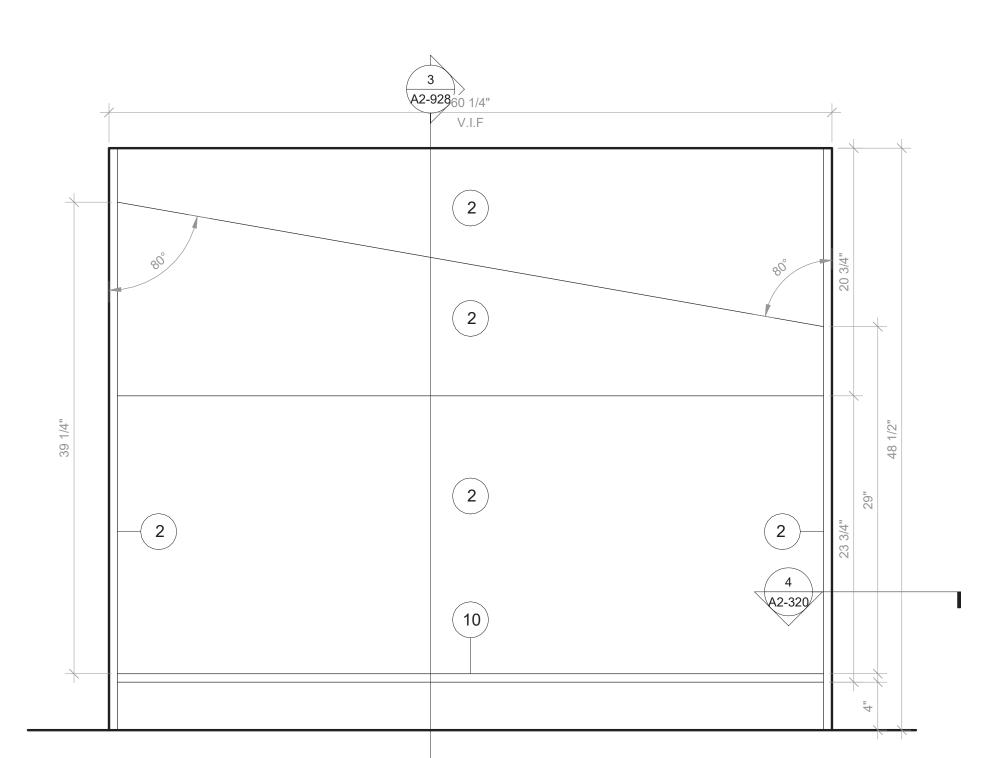


6 Cave Space Type B - Axon



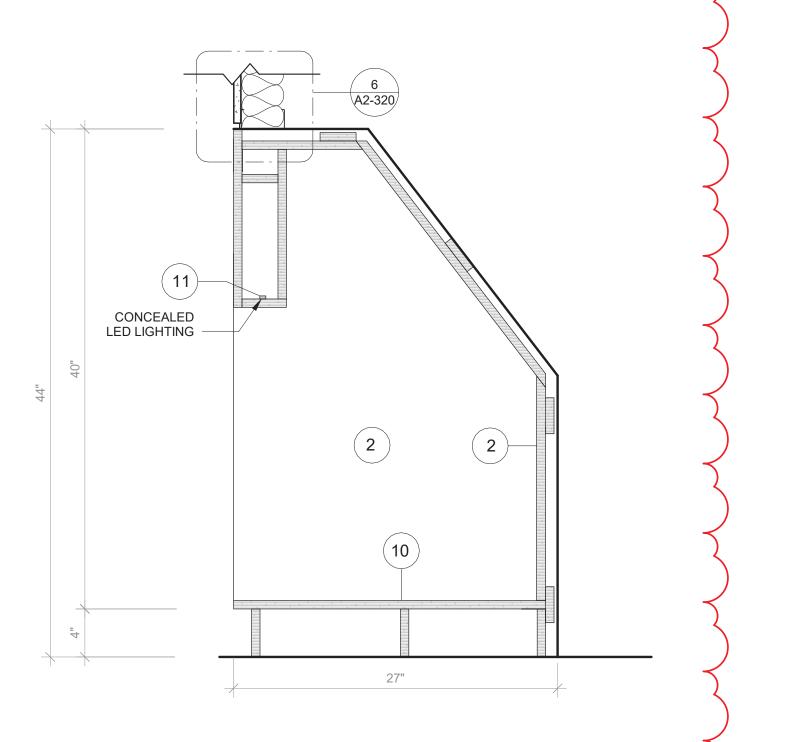
1 Cave Space Type A - Front View

SCALE: 1 1/2" = 1'-0"



7 Cave Space Type B - Front View

SCALE: 1 1/2" = 1'-0"



3 Cave Space - Typ. Section

SCALE: 1 1/2" = 1'-0"

NOTE:

GC TO PROVIDE BLOCKING FOR OWNER-SUPPLIED CASEGOODS. DRAWINGS IN 900 SERIES AND ON THIS SHEET PROVIDED IN GC DRAWING SET FOR COORDINATION PURPOSES ONLY.

GENERAL NOTES: 1. CASEGOODS CONTRACTOR TO PROVIDE STAMPED SHOP

DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO BUILDING ANY PART OF CUSTOM FURNISHINGS.

2. FOR ALL OWNER-SUPPLIED CASEGOODS, COORDINATE WITH ARCHITECT TO OBTAIN TEMPLATES AND HOLD DIMENSIONS AS NOTED FOR EACH ITEM

CASEGOODS AND CUSTOM FURNISHINGS FINISH NOTES:

1. SS-2 - CORIAN SOLID SURFACE AT COUNTERTOP AND BACKSPLASH; COLOR: SILVER BIRCH.

2. PLYFF-1 - 18mm PRE-FINISHED BALTIC BIRCH PLYWOOD WITH CLEAR, NON-YELLOWING UV FINISH; EXPOSED EDGES, SANDED SMOOTH AND CLEAR FINISHED. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING.

3. PLYFF-2 - 18mm PRE-FINISHED BALTIC BIRCH PLYWOOD WITH WILSONART 1573 MARKERBOARD FROSTY WHITE PLASTIC LAMINATE ON TAG SIDE; CLEAR, NON-YELLOWING UV FINISH ON OPPOSITE SIDE; EXPOSED EDGES, SANDED SMOOTH AND CLEAR FINISHED. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL.

4. 1" DIA. CUTOUT DOOR FINGER PULL.

5. SURFACE-RECESSED OUTLET: ECA COVE LG DUPLEX WITH DAISY CHAIN; MODEL COV-LG-2U-4-1-S.

6. UNDERMOUNT OUTLET: ECA SANDBAR WITH DATA JACKS AND DAISY CHAIN; MODEL 84 SBS-S-1111.

7. CORD DROP CUTOUT.

8. VERTICAL SUPPORT AND PIPE HINGE: 1 1/16" OD ALUMINUM TUBING; BRUSHED CLEAR ANODIZED.

9. METALLIC PERFORATED PANEL

10. LINOLEUM BY FORBO IN SHEET. COLOR TBD.

11. WM2 - LED TAPE LIGHTING, SEE CEILING FIXTURE LEGEND.

NOTE:

BY OWNER. THIS DRAWING IS FOR COORDINATION PURPOSES ONLY

1	SED SUBMISSION	09/15/2020
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SED #: 6618-0001-0005-032

PROJECT

Rye City School District
555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

FURNITURE DETAIL- CAVE SPACE

PROJECT 3

SEAL & SIGNATURE DATE: 05/06/20
PROJECT No: 9200
DRAWING BY: Author
CHK BY: Checker
DWG No:
A2-928

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GENER.	RAL DATA	TA			SU	IPPLY I	FAN DATA		RETU	JRN-E	XHAUST F	AN		HEAT	TRA	NSFER			COOLI	'NG COIL	DATA	24		_		COIL DAT	TA (34	/	PRE & ,	AFTER-FI	ILTER DATA	ELEC	TRICAL L	DATA	ERU [)IMENSIC	DN & WTS.		GENERAL
K SERVICE	E LOCAT	ATION A	OUTSIDE IR CFM MIN/MAX	MODEL No.	CFM	EXT. S.P. IN WG	TYPE	MOTOR HP	CFM MIN/MAX	EXT. S.P. IN WG	TYPE	MOTOR HP	SIZE	SUN LA DB 'F	MMER AT WB 'F	WINTEI LAT DB °F WE	MOTO	OR H.P.	CONDENSING UNIT	TOTAL/SEN MBH	No. OF ROWS	FACE VEL. F.P.M.	ENT. AIR TEMP. D.B./W.B.	MARK	TOT. CAP. MBH	MIN. COIL FACE AREA	ENT. AIR TEMP. °F	LVG. AIR TEMP. *F	G.P.M.	NO.	SIZE	TYPE	MCA MC	OCP EL SE	ECTRIC RVICE	L И	/ H	WTS-#		REMARKS
HS GYM	ROC	00F 3.	300/6600	O ERP-E-07	6600	2.0	PLENUM	10	3300/6600	2.0	PLENUM	7.5	03	80.1	67.2	53.4 4	3.0 0	0.25	SEE CU	-	-	-	-	SEE HC	360	-	40	90	40	-	- :	2" MERV 10 4" MERV 13	<i>32</i> 3	5 46	0/3/60	216 93	3 86	5500	,	REFER TO
HS GYM	ROC	00F 33	300/6600	O ERP-E-07	6600	2.0	PLENUM	10	3300/6600	2.0	PLENUM	7.5	03	80.1	67.2	53.4 4	3.0 0	0.25	SEE CU 2	-	_	_	-	SEE HC 2	360	-	40	90	40	-	-	2" MERV 10 4" MERV 13	<i>32</i> 3	5 46	0/3/60	216 93	3 86	5500		REFER TO
CONF. RM TOILET RM	M. CEIL M.	TILING	600	Ø U–ERV600	600	2.0	CENTRIFUGAL	_	600	2.0	CENTRIFUGAL	_	_	79.5	66.9	53.4 4.	2.5		SEE CU 3	_	_	_	_	SEE HC 3	_	_	_	_	_	2 5'	"X40"X2" .	2" MERV 13	10.6	5 20	8/1/60	56 34	34 12	129	/	REFER TO
HS NURSE/OFF	FICE CEILI	ILING	400	(2) U–ERV600	400	2.0	CENTRIFUGAL	_	325	2.0	CENTRIFUGAL	_	-	78.9	66.1	57.4 4	5.3	-	SEE CU 4A	_	_	-	_	SEE HC 4	_	_	_	_	-	2 5'	"X40"X2"		10.6	5 20	8/1/60	56 34	34 12	129		REFER TO 909
HS OFFICES	ROO	OOF	200	(A) U–ERV600	200	2.0	CENTRIFUGAL	-	200	2.0	CENTRIFUGAL	_	_	77.6	65.1	61.8 4	8.1	-		-	_	-	-	SEE HC 5	1	-	_	_	-	2 5'	"X40"X2"	V	10.6	5 20	8/1/60	56 34	34 12	129		REFER TO
MS CLASSROOM	DMS ROC	00F 3.	300/6000	O ERP-E-07	6600	2.0	PLENUM	10	3300/6600	2.0	PLENUM	7.5	03	80.3	67.4	53.3 4.	2.7 0	0.25	SEE CU 6	-	_	_	-	SEE HC 6	360	_	40	90	40	-		2" MERV 10 4" MERV 13	32 3	5 46	0/3/60	216 93	3 86	5500	/	REFER TO
MS SECURITY	CEILI	ILING	50	(1) H150–TRG	50	0.75	CENTRIFUGAL	_	50	0.75	CENTRIFUGAL	-	_	77.6	65.1	61.8 4	8.1	-		_	_	-	-	SEE HC 7	ı	_	-	_	-	2	-	2" MERV 13	1.5	5 12	0/1/60	24 22	22 12	50	,	REFER TO
) HS CLASSROOM	DMS CEILI	ILING	1500	Ø U–ERV1800	1500	2,0	CENTRIFUGAL	-	1500	2.0	CENTRIFUGAL	_	-	79.6	66.5	55.3 4	3.9	-	SEE CU 8	-	_	-	-	SEE HC 8	ı	-	-	_	-	6 5'	"X40"X2"		19.2 2	5 20	8/3/60	56 34	36	387	/	REFER TO
HS TOILET RN	MS ROC	00F	400	Ø U–ERV600	400	2.0	CENTRIFUGAL	_	400	2.0	CENTRIFUGAL	_	_	78.9	66.1	57.4 4	5.3	-		_	_	-	_		_	_	-	_	_	2 5'	"X40"X2"		10.6	5 20	8/1/60	56 34	4 12	129		REFER TO
HS SECURITY	Y CEILI	ILING	50	@ PE7.15ERV	50	0.75	CENTRIFUGAL		50	0.75	CENTRIFUGAL	_	_	77.6	65.1	61.8 4	8.1	-]		_	_	_	-		_	_	-	_	-	2 5'	"X40"X2"	2" MERV 13	1.5	5 12	0/1/60	24 22	22 12	50		REFER TO
MS GYM	ME	1ER	11,000	ERV-E-09	11000	2.0	PLENUM	_	11000	2.0	PLENUM	_	_	_	-	-	-	-	SEE CU 5	_	_	_	-		_	_	-	-	_	-	_			- 20	8/3/60	- -		_	/	REFER TO

AS MANUFACTURED BY "ANNEXAIR." (A) AS MANUFACTURED BY "ENERGY WALL."

AS MANUFACTURED BY "GREENTEK." BASED ON A.R.I. CERTIFIED COIL SELECTIONS. BASED ON HOT WATER SUPPLY TEMPERATURE OF 160°F AND RETURN TEMPERATURE OF 140°F.

4 DESIGN AIR CONDITIONS: SUMMER OA (95°F/75°F) RA (75°F/63°F) WINTER OA (6°F) RA (70°F/53°F) 5 INSTALL IN ACCORDANCE WITH MANUFACTURER'S PROVIDE UNIT WITH ENAMELED FINISH, INTEGRAL DX COIL SECTION, EXHAUST/DEFROST CONTROLS WITH INSULATED MOTORIZED OAI/EXHAUST DAMPERS, INTAKE LOUVER/EXHAUST HOOD. DAMPER POWER TERMINALS, LOW TEMPERATURE LIMIT CONTROLS, 100% ECONOMIZER CONTROLS, DIRTY FILTER CONTACT, DAMPER END SWITCHES, DISCONNECT SWITCHES, VFD'S, MERV 8 INITIAL AND MERV 13 FINAL FILTERS, DUCT MOUNTED HOT WATER COILS. LOCATE UNITS ON VIBRATION TYPE ROOF CURB SUPPORTS WITH ALL MOUNTING HARDWARE.

PROVIDE UNIT WITH ENAMELED FINISH, INTEGRAL DX COIL, RE-CIRCULATION DEFROST CONTROLS, DUCT MOUNTED MOTORIZED OAI/EXHAUST DAMPERS, LOW TEMPERATURE LIMIT CONTROLS, DIRTY FILTER CONTACT, FIELD MOUNTÉD DISCONNECT SWITCH, VARIABLE SPEED CONTROL, MERV 13 FILTERS AND DUCT MOUNTED HOT WATER COILS. SUSPEND UNIT FROM STRUCTURE ABOVE. PROVIDE ALL NECESSARY MOUNTING HARDWARE, SUPPORTS AND SPRING VIBRATION ISOLATORS.

8 PROVIDE UNIT WITH ENAMELED FINISH, DEFROST CONTROLS, DUCT MOUNTED MOTORIZED OAI/EXHAUST DAMPERS, MERV 10 FILTER BOX, DIRTY FILTER CONTACT, FIELD MOUNTED DISCONNECT SWITCH, VARIABLE SPEED CONTROL AND PSC MOTORS. SUSPEND UNIT FROM STRUCTURE ABOVE. PROVIDE ALL NECESSARY MOUNTING HARDWARE, SUPPORTS AND SPRING VIBRATION ISOLATORS.

PROVIDE FLOOR, WALL OR CEILING MOUNTED CONDENSATE PUMP, LITTLE GIANT MODEL VCL-24ULS, 1/18HP, 120V/1PH/60HZ, 148 WATTS, WITH AUTOMATIC HEAT PUMP SHUT DOWN ON OVERFLOW OR

										SCHE	DULE C	OF PAC	CKAGED	ROOF	TOP R1	U UN	1T														
	(GENERAL DATA			FAN D				GAS HE	ATING DATA	3		COOLII	NG DATA	34	COI	NDENSER DATA		СОМР	RESSOF	P DATA	F	ILTER D	DATA	PHYSIC	CAL DATA	El	ECTRI	ICAL DA	ATA	
RK	SERVICE	MODEL NUMBER	OAI CFM MAX./MIN.	CFM	EXT. S.P. IN H ₂ O	FAN I RPM	MOTOR HP	INPUT MBH	OUTPUT MBH	ENT. AIR TEMP DB *F	P. LVG. AIR TEMP. DB °F	TOTAL CAP. MBH	SENSIBLE CAP. MBH	ENT. AIR TEMP. DB/WB °F	LVG. AIR TEMP. DB/WB 'F	REFRIG.	ENT. AIR TEMP. DB	HP	QTY.	R.L.A. (EACH)	L.R.A. (EACH)	QTY.	SIZE (IN.)	TYPE	WEIGHT (LBS.)	LxWxH (IN.)	FLA	MCA	MOP	SERVICE	REMARKS
	CAFETERIA	ZWT15S30L2TCE44PA3	6000 2200	6000	1.6	1149 ((1)5.0	300	240	60	97	188	136	80/67	58/57	R410A	95	(4)1/3	_	_	_	2 4	20X24X4 24X24X4	MERV 8 MERV 13	2,999	181X92X53	_	87	100	230/3/60	REFER TO 25 6
	CAFETERIA	ZWT15S30L2TCE44PA3	6000 2200	6000	1.6	1149 ((1)5.0	300	240	60	97	188	136	80/67	58/57	R410A	95	(4)1/3	_	_	_	2 4	20X24X4 24X24X4	MERV 8 MERV 13	2,999	181X92X53	_	87	100	230/3/60	REFER TO 25 6
																		·										-			

N 1 AS MANUFACTURED BY "TEMPMASTER".

0 (2) INSTALL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.

E (3) DESIGN AIR CONDITIONS: SUMMER: OA (94°F/75°F) RA (77°F/65°F); WINTER: OA (5°F/3°F) RA (70°F/55°F).

BASED ON A.R.I. CERTIFIED COIL SELECTIONS; REFRIGERANT R-410A, EER 12.2,

PROVIDE ROOFTOP UNIT WITH FOUR STAGE COOLING, ENAMELED FINISH (COLOR TO BE DETERMINED BY ARCHITECT), MOTORIZED CONTROL DAMPERS, DAMPER END SWITCHES, 100% ENTHALPY ECONOMIZER CONTROLS, FROST PROTECTION, HOT GAS BY-PASS, DIRTY FILTER CONTACTS, BLOWER SHEAVE AND BELT FOR HIGH STATIC USE, DISCONNECT SWITCH, VFD'S, POWERED CONVENIENCE OUTLET, PHASE MONITOR, LOW AMBIENT CONTROLS, 4" THICK MERV 13 PLEATED FILTERS, STAINLESS STEEL GAS FIRED HEATING SECTION, STAINLESS STEEL DRAIN PAN, HINGED ACCESS PANELS, GAS PIPING KIT WITH VALVES AND FITTINGS FOR BOTTOM CONNECTION AND BACNET COMPARABLE AUTOMATED CONTROLS. PROVIDE FIELD INSTALLED FULL ECONOMIZER/POWER EXHAUST, INTAKE AND EXHAUST HOODS AND DUAL ENTHALPY HUMIDITY SENSORS.

PUMP FAILURE.

6 POWERED EXHAUST TO BE FIELD SUPPLIED BY MECHANICAL CONTRACTOR AND WIRED BY ELECTRICAL CONTRACTOR.

		5	CHED	ULE OF	EXHAL	IST FA	4 <i>NS</i>			
MARK	BUILDING	SERVICE	LOCATION	TYPE	MODEL No. ①	CFM	TOT. S.P. IN H ₂ O	HP AMPS	ELECTRIC SERVICE	REMARKS
EF EF EF 1 2 3	HIGH SCHOOL MIDDLE SCHOOL	ELECTRIC ROOM —	CEILING	CENTRIFUGAL	SP-A510	300	0.25	- 1.40	120/1/60	REFER TO 23
EF 4	HIGH SCHOOL	ELEVATOR SHAFT	WALL	CENTRIFUGAL	CUE-080-VG	300	0.25	1/10 -	120/1/60	REFER TO 24
EF 5	HIGH SCHOOL	TOILET RM —	ROOF	CENTRIFUGAL	G-095-DGEX-QD	250	0.25	1/8 -	120/1/60	REFER TO 24

N (1) AS MANUFACTURED BY "GREENHECK".

MOUNTING HARDWARE.

T 2 INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

PROVIDE FACTORY MOUNTED SPEED CONTROLLER AND DISCONNECT, ALUMINUM GRILLE, BACKDRAFT DAMPER, VIBRATION ISOLATORS AND

PROVIDE FAN WITH VARIABLE SPEED DRIVE ON MOTOR, UL705 RATED, NEMA 3R DISCONNECT SWITCH, GALVANIZED SIDE WALL MOUNTING SUPPORTS, ALUMINUM WALL GRILLE.

	SCHEDULE OF DIRECT EXPANSION COILS														
		GENERAL DATA													
MARK	BUILDING	SERVICE	COOLING TOTAL (MBH)	COOLING SENS. (MBH)	CFM	ENT. AIR TEMP. DB/WB	SUCT. TEMP.*F	REMARKS							
CC CC 1A 1B	HIGH SCHOOL	CU AHT AUXILIARY GYM	192	150	4500	78°F 65°F	45	REFER TO 1234							
CC CC 2A 2B	HIGH SCHOOL	CU AH2 12 EXIST AUXILIARY GYM	192	150	4500	78°F 65°F	45	REFER TO 1234							
CC 7	MIDDLE SCHOOL	CU ERUS MS GYM	233	199	8000	78°F 65°F	45	REFER TO 1234							
						\sqcup									

 $oldsymbol{\mathsf{N}}$ (1) as manufactured by "nationwide coil.".

S (4) BASED ON A.R.I. CERTIFIED COIL SELECTIONS

0 (2) REFRIGERANT R-410A.

3) INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

	SCHEDULE OF DIRECT EXPANSION COILS														
		GENERAL DATA		CAPAC	CITY										
MARK	BUILDING	SERVICE	COOLING TOTAL (MBH)	COOLING SENS. (MBH)	CFM	ENT. AIR TEMP. DB/WB	SUCT. TEMP.*F	REMARKS							
CC CC 1A 1B	HIGH SCHOOL	CU (AH1) AUXILIARY GYM	192	150	4500	78°F 65°F	45	REFER TO 1234							
CC CC $2A$ $2B$	HIGH SCHOOL	CU (AH2) AUXILIARY GYM	192	150	4500	78°F 65°F	45	REFER TO 1234							
$\frac{CC}{7}$	MIDDLE SCHOOL	CU ERUS MS GYM	233	199	8000	78°F 65°F	45	REFER TO 1234							

SCHEDULE OF REGISTERS AND DIFFUSERS FINISH REMARKS No. (1) DISCHARGE \bigcirc REFER TO 234 DOUBLE DEFLECTION OPPOSED PER ARCH. SURFACE DIFFUSER BLADE OPPOSED BLADE REFER TO 235 SURFACE *EXHAUST* PER ARCH. SIDEWALL DOUBLE DEFLECTION OPPOSED BLADE REFER TO 234 SUPPLY LAY—IN PER ARCH. REGISTER OPPOSED BLADE REFER TO 235 SIDEWALL EXHAUST SURFACE 735FF PER ARCH. PECISTER REFER TO 235 *OPPOSED* TRANSFER 735FF PER ARCH. SURFACE GRILLE BLADE

N (1) AS MANUFACTURED BY "PRICE". INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE MOUNTING FRAME COMPATIBLE W/ MOUNTING SURFACE. COORDINATE ALL BORDER TYPES, COLORS, FINISHES AND DIMENSIONS WITH ARCHITECT.

EXISTING REGISTER/GRILLE

SUPPLY NECK SIZE PER CFM RANGE (NOT TO EXCEED 500 fpm)

[5] RETURN NECK SIZE PER CFM RANGE (NOT TO EXCEED 675 fpm)

		GENERAL L	DATA	CAPACITY		PHYSICA	L DATA		ELECTR	ICAL SUP	PLY			
MARK	BUILDING	SERVICE	MODEL ① No.	COOL/HEAT (MBH)	UNIT WEIGHT (POUNDS)	L	W	Н	SERVICE	MCA	MOCP	EER/SEER		REMARKS 1
CU 1	HIGH SCHOOL	ERU GYM	ARUM241DTES	233/243	800	49"	<i>30"</i>	67"	460/3/60	41.4	50	12.4/25.9	REFER 1	o 23457
CU2	HIGH SCHOOL	ERU GYM	ARUM241DTES	233/243	800	49"	<i>30"</i>	67"	460/3/60	41.4	50	12.4/25.9	REFER	2343 0
CU 3	HIGH SCHOOL	ERU 3 CONF.RM.	ARUN038GSS4	38/42	250	<i>38"</i>	16"	55''	208/1/60	25	40	10.7/17.0	REFER T	© 23456 7
(CU 4	HIGH SCHOOL	HP NURSE/OFFICE	ARUN038GSS4	38/42	250	<i>38"</i>	16"	55''	208/1/60	25	40	10.7/17.0	REFER	23456
CU 4A	HIGH SCHOOL	NURSE/OFFICE	ARUN024GSS4	24/27	250	<i>38"</i>	16"	33''	208/1/60	19.6	30	10.7/17.0	REFER T	· 234567
<u>CU</u> 5	MIDDLE SCHOOL	ERUS GYM	ARUM241DTES	233/243	800	49"	<i>30"</i>	67"	460/3/60	41.4	50	12.4/25.9	REFER	03450
(CU 6	MIDDLE SCHOOL	ERÙ CLASSROOMS	ARUM241DTES	233/243	800	49"	<i>30"</i>	67"	460/3/60	41.4	50	12.4/25.9	REFER	03450
CU 7	MIDDLE SCHOOL	HP OFFICES	ARUN048GSS4	48/54	300	38"	16"	55''	208/1/60	30	50	10.7/17.0	REFER	o 23456
(CU 8	HIGH SCHOOL	ERU 8 CLASSROOMS	ARUM096DTES	96/108	600	49"	<i>30"</i>	67"	460/3/60	16.4	25	12.4/25.9	REFER	034567
CU	HIGH SCHOOL	(HP) CLASSROOMS	ARUM096DTES	96/108	600	49"	<i>30"</i>	67"	460/3/60	16.4	25	12.4/25.9	REFER	234567
<u>CU</u>	HIGH SCHOOL	AH1 EXIST AUXILIARY GYM	ARUM192DTES	192/216	800	49"	<i>30"</i>	67''	460/3/60	<i>35.7</i>	50	12.4/25.9	REFER T	© 23456 7
	HIGH SCHOOL	HP SECURITY OFFICE	ARUN024GSS4	24/27	250	<i>38"</i>	16"	33''	208/1/60	19.6	30	10.7/17.0	REFER	8 23436
<u>CU</u> 12	HIGH SCHOOL	AHZ EXIST AUXILIARY GYM	ARUM192DTES	192/216	800	49"	<i>30"</i>	67''	460/3/60	35.7	50	12.4/25.9	REFER]	234567
<u>CU</u> 13	MIDDLE SCHOOL	HP * CLASSROOMS	ARUM168DTES	168/189	700	49"	<i>30"</i>	67"	460/3/60	28.5	35	12.4/25.9	REFER T	o 23456
<u>CU</u> 14	HIGH SCHOOL	HP CLASSROOMS	ARUM072DTES	72/81	500	37"	30"	67"	460/3/60	12.8	20	12.4/25.9	REFER 1	23456
CU 15	MIDDLE SCHOOL	HP SECURITY OFFICE	ARUN024GSS4	24/27	250	38"	16"	33"	208/1/60	19.6	30	10.7/17.0	REFER V	03456

SCHEDULE OF OUTDOOR VRF CONDENSING UNITS

N (1) AS MANUFACTURED BY "LG ELECTRONICS.". 2 BASED ON A.R.I. CERTIFIED COIL SELECTIONS;

REFRIGERANT R-410A. (3) INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS. DC INVERTER COMPRESSOR SPEED CONTROL BASED ON SYSTEM LOAD.

5 UNIT SHALL BE CONTROLLED VIA MANUFACTURER'S DDC NETWORK CONTROLLER TO INDOOR HARDWIRED CONTROLLER. 6 PROVIDE DISCONNECT SWITCH FOR EACH MODULE, ROOF CURB EQUIPMENT SUPPORT RAILS, OIL TRAPS, FRAME CONNECTOR WHERE

7 PROVIDE ELECTRONIC EXPANSION VALVE KIT AND AHU/ERU COMMUNICATION CONTROL KIT (ONE FOR EACH DX COIL PROVIDED). ALL UNITS MUST HAVE BACNET COMMUNICATIONS TIED INTO BMS SYSTÉM CONTROLS. COMMUNICATION CONTROL KIT REQUIRES 208/1/60 POWER REQUIRED, AIR GUIDE, LOW AMBIENT BAFFLE KIT, BASE PAN HEATER, PIPING AND ASSOCIATED APPURTENANCES. UNIT SHALL BE INSTALLED

	S	CHEDU	LE	OF	IND	OOR VRF	- /-	IEA	17	Pl	IMP UNITS
						FORMATION					
GENE	RAL DATA	MODEL	SUPF	PLY FA	N DATA	TOTAL CAPACITY	DIME	NSIOI	N/WEI	IGHT	
MARK	SERVICE	**	CFM LOW	UNIT MCA	ELECTRIC SERVICE	COOLING/HEATING kBTU/HR	W (IN.)	D (IN.)	H (IN.)	LBS	
(HP) A	SEE PLANS	ARNU093TRD4	265	0.2	208/1/60	9.6/10.9	24	24	10	40	REFER TO 234
HP B	SEE PLANS	ARNU123TQD4	300	0.2	208/1/60	12.3/13.6	24	24	10	40	
(HP)	SEE PLANS	ARNU183TQD4	390	0.2	208/1/60	19.1/21.5	24	24	11	70	
	SEE PLANS	ARNU093TUD4	300	0.2	208/1/60	9.6/10.9	34	18	6	50	
HP E	SEE PLANS	ARNU123TUD4	325	0.2	208/1/60	12.3/13.6	34	18	6	50	
HP F	SEE PLANS	ARNU183TTD4	425	0.3	208/1/60	19.1/21.5	47	18	6	60	
(HP)	SEE PLANS	ARNU483NKA4	1400	1.8	208/1/60	48.0/54.0	25	22	55	150	2345

 $N \cap AS$ MANUFACTURED BY "LG ELECTRONICS". T (2) INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

PROVIDE MOUNTING HARDWARE, DISCONNECT SWITCH AND HARDWIRED REMOTE WALL MOUNTED PREMIUM CONTROLLER/THERMOSTAT, DRY CONTACTS FOR BACNet BMS CONTROLS, ULTRA LONG LIFE PLASMA FILTER KIT, VIBRATION ISOLATORS, SPACER FOR CEILING HEIGHT ADJUSTMENT, DECORATIVE CEILING COVER, INLET GRILLE KIT, DRAFT AIR FLOW CONTROLS, INTEGRAL E 3 BASED ON A.R.I. CERTIFIED COIL SELECTIONS;

REFRIGERANT R-410A, EER 12.4/SEER 25.9/HSPF10.3.

CONDENSATE PUMP (FUK CASSELLE DINTS).

PROVIDE FLOOR MOUNTED CONDENSATE PUMP LITTLE GIANT MODEL VCL-24ULS, 1/18HP,

120V/1PH/60HZ, 148 WATTS, WITH AUTOMATIC AHU SHUT DOWN ON OVERFLOW OR PUMP FAILURE.

Revision Schedule

Description

SED Submission

SED Submission Addendum#1

ISSUED FOR BID

BID ADDENDUM #1

Date

09/15/2020 01/08/2021

01/19/2021

01/29/2021

Geddis Architects

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71 Old Post Road P.O. Box 1020 Southport, CT 06890 (203) 256-8700



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Civil Engineer
WESTON & SAMPSON 1 Winners Circle, Suite 130 Albany, NY 12205 518-463-4400

Acoustic Consultant DP DESIGN 12 Cold Spring Street Providence, RI 401-861-3218

SED #: 6618-0001-0005-031

PROJECT

Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

SCHEDULE

HIGH SCHOOL & MIDDLE SCHOOL

SEAL & SIGNATURE | DATE: PROJECT No: 9200 DRAWING BY: BGA CHK BY: BGA

> DWG No: H2-301

									SCH	EDULE	OF EX	ISTING	AIR H	ANDLING	G UNIT	Τ										
	SERVICE MODEL NUMBER OAI CFM MAX, MIN, CFM IN 1920 RPM																									
MARK	SERVICE	MODEL NUMBER	OAI CFM MAX./MIN.	CFM	EXT. S.F IN H ₂ O	P. FAN RPM	MOTOR HP	TOTAL CAP. MBH	ENT. AIR TEMP. DB °F	.LVG. AIR TEMP. DB °F	TOTAL CAP. MBH	SENSIBLE CAP. MBH	ENT. AIR TEMP. DB/WB *F	. LVG. AIR TEMP. DB/WB °F	MARK	SERVICE	QTY.	SIZE (IN.)	TYPE	WEIGHT (LBS.)	LxWxH (IN.)	FLA	MCA	МОР	SERVICE	REMARKS
AHU1 EXIST	AUXILIARY GYM - 4500 1800 4500 1.0 205 40 110 170 120 78/65 55/54 CU AUXILIARY GYM - MERV 13 208/3/60															REFER TO ②⑤										
AHUZ EXIST	AUXILIARY GYI	<i>_</i>	4500 1800	4500	1.0	_	_	205	40	110	170	120	78/65	55/54	<u>CU</u> 12	AUXILIARY GYM	-	_	MERV 13	-	_	_		_	208/3/60	2 6

GENERAL DATA

N 1 AS MANUFACTURED BY "CARRIER".

REFURBISH EXISTING UNITS TO INCLUDE STEAM CLEANING OF EXISTING UNIT COILS, REPLACEMENT OF ALL FILTERS WITH MERV 13 FILTERS, AIR BALANCING OF EXISTING FANS AND AIR OUTLETS, PROVIDE NEW DUCT MOUNTED DX COILS IN EACH OF THE FOUR DISTRIBUTION MAINS, INSTALL VRF TYPE CONDENSING UNITS ON ROOF WITH

CONNECTING REFRIGERANT PIPING AND CONTROLS FOR ASSOCIATED DX COILS.

0 (2) REFURBISH IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.

F (3) DESIGN AIR CONDITIONS: SUMMER: OA (94°F/75°F) RA (77°F/65°F); WINTER: OA (5°F/3°F) RA (70°F/55°F).

S 4 BASED ON A.R.I. CERTIFIED COIL SELECTIONS; REFRIGERANT R-410A, SEER 12.0,

			SC	CHED	ULE	OF U	NIT H	<i>IEATER</i>		
MARK	MODEL No. 🕦	BTU/HR	CAPACIT EWT °F		GPM	MOTOR WATTS	ELECTRIC SERVICE		DATA WEIGHT (LBS)	REMARKS
UH A	HS-18	11725	160	140	1.0	9	120/1/60			REFER TO (1)(2)(3)(4)

N (1) AS MANUFACTURED BY "STERLING".

O 2 INSTALL PER MANUFACTURER'S RECOMMENDATIONS

E 3 CAPACITIES BASED ON HIGH SPEED FAN SETTING AND HW 160°F/140°F

QUANTITIES AS IDENTIFIED ON HVAC DRAWINGS.

		SC	HED)UL	Ε	OF	CA	BINE	T HE	EATER	S	
MARK	TYPE UNIT	MODEL N≗	CAP. BTU/HR	ACITY L CFM		2 PD.FT.	MOTOR HP	MOTOR RPM	ELECTRIC SERVICE	PHYSICAL (IN)	DATA WEIGHT (LBS)	REMARKS
CH A	RECESSED CLG. MTD.	RC1200-03	21,900	265	3.0	0.77	1/15	1100	120/1/60	43Wx25Lx10H	125	REFER 10 234
CH B	RECESSED WALL MTD.	RW1120-03	21,900	265	3.0	0.77	1/15	1100	120/1/60	43Wx25Lx10H	125	REFER 10 234

N 0 AS MANUFACTURED BY "STERLING".
2 INSTALL PER MANUFACTURER'S RECOMMENDATIONS

(3) CAPACITIES BASED ON LOW SPEED FAN SETTING AND HW 160°F/140°F

4 PROVIDE THROWAWAY FILTERS, DISCONNECT SWITCH, TWO ROW COIL, REMOTE THERMOSTAT/FAN CONTROLS, ELECTRONICALLY COMMUTATED MOTOR (ECM), OPTIONAL COLOR/FINISH SELECTED BY ARCHITECT, INTEGRAL SPEED CONTROL SWITCH FIELD MOUNTED, RECESSED TRIM

	SCH	HEDU	JLE C	DF (CON	IVE	CTOR	PS							
MARK	NO. U META D L H WEIGHT														
CONV															
CONV	SF-A	8.0	2.0	6"	48"	<i>32"</i>	<i>75</i>	23							
CONV	SF-A	11.0	2.0	6"	64"	32"	100	23							

N (1) AS MANUFACTURED BY "STERLING". 2 INSTALL PER MANUFACTURER'S RECOMMENDATIONS

CAPACITIES BASED ON 150° A.W.T.

SC	HEDULE	OF EX	PANSION	V TANK
MARK	MODEL N≗ ①	TANK VOLUME GALS.	ACCEPTANCE VOLUME GALS.	REMARKS
ET 1	B-400	106	106	REFER TO 23

 $\bigcap_{i=1}^{n} \bigcap_{j=1}^{n} AS$ MANUFACTURED BY "BELL & GOSSETT".

T (2) INSTALL PER MANUFACTURER'S RECOMMENDATIONS. 3 VERTICAL MOUNTING 125PSI ASME TANK, DIMENSIONS 24"x65"H / 1200LBS.

R TO	MARK	BUILDING	SERVICE	WIDTH (IN.)	HEIGHT INCHES	FACE AREA (FT²)	ROWS	FINS PER INCH	CFM	MBH	PRESS DROP ("WC)	VELOCITY FPM	E.A.T. *F	L.A.T. °F	FLOW RATE (GPM)	<i>PRESS DROP</i> ∆ HEAD (FT)	REMARKS
3	HC 1	HIGH SCHOOL	ERU 1	_	_	_	2 MINIMUM	12 MAXIMUM	6600	435	0.2" MAX	600 MAX.	10	70	STEAM	5 FT. MAX	REFER TO 123
3	$\frac{HC}{2}$	HIGH SCHOOL	ERU 2	_	-	-			6600	435					STEAM		
3	$\frac{HC}{3}$	HIGH SCHOOL	ERU 3	_	-	_			600	36					STEAM		
	(HC)	HIGH SCHOOL	ERU 4	_	_	_			400	27					3.0		
	(HC) 5	HIGH SCHOOL	ERU 5	_	_	_			200	14					2.0		
	(HC)	HIGH SCHOOL	ERU 6	_	-	_			6000	396					40.0		
	(HC)	MIDDLE SCHOOL	ERU3 EXIST	-	ı	_			8000	528					53.0		
	HC 8	HIGH SCHOOL	ERU 8	_	_	_			1500	99					10.0		
	HC 9	HIGH SCHOOL	ERU 9	_	ı	-			400	27					3.0		
	(HC)	MIDDLE SCHOOL	ERU 11	_	_	_	V	V	400	27	V	V	V	V	3.0		

SCHEDULE OF DUCT MOUNTED HEATING COILS

AIR SIDE

WATER SIDE

2) PROVIDE INSPECTION AND CLEANING DUCT ACCESS DOOR ON UPSTEAM SIDE OF COIL.

SIZE

THE HOT WATER COIL IS SIZED TO HANDLE OUTDOOR AIR QUANTITIES AT 100 PERCENT OF OCCUPANCY WITHOUT HAVING TO RESORT TO CLOSING OUTDOOR AIR INTAKE DAMPERS ON A "DESIGN HEATING DAY" TO PREVENT FREEZE-UP.

150

ELEVATOR LOBBY 300

			SC	CHEL	DULE	OF	B	OILERS		
В	OILER DATA	4	BURN	VER DAT	Ā	ELECTR	ICAL	PHYSICAL	DATA	
MARK	LOCATION	MODEL Nº ①	INPUT (MBH)	OUTPUT (MBH)	FUEL	SERVICE	МСА	(IN)	WEIGHT (LBS)	REMARKS
B B B B 4 5 6	BOILER ROOM	ENDURA 1000	1000	902	GAS	120/1/60	20	28Wx51Lx68H	2000	REFER TO 23456

 ${\sf N}$ (1) AS MANUFACTURED BY "FULTON".

2 BURNER INTEGRAL TO BOILER.

(3) INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

BOILER INSTALLATION SHALL CONFORM TO ALL REQUIREMENTS OF INSURANCE UNDERWRITER, NFPA AND ALL AUTHORITIES HAVING JURISDICTION. BOILERS SHALL BE FULLY FIELD COMMISSIONED BY AUTHORIZED TECHNICIAN FOR THE TYPE OF GAS FIRED (LPG OR NG). IF THE TYPE OF GAS IS CHANGED AFTER STARTUP 6 HOT WATER BASED ON 140°F E.W.T., 160°F L.W.T.

THE BOILERS SHALL BE FULLY RE-COMMISSIONED BY AUTHORIZED TECHNICIAN.

5 PROVIDE MANUFACTURER RECOMMENDED COMBUSTION AIR INTAKE AND EXHAUST VENT PIPING, VENT PIPE CONDENSATE DRAIN, HIGH/LOW LIMIT CONTROL, DUAL LOW WATER CUT OFFS, OUTDOOR AIR TEMPERATURE SENSOR KIT, MULTIPLE BOILER CONDENSATE NEUTRALIZER PACKAGE. VENT PIPING PER THIS MANUFACTURER AL-29-4C OR 316L, BACNET CONTROLS, DISCONNECT SWITCH, LEAD LAG CONTROLS, MOTORIZED ISOLATION VALVES, BOILER PUMP START/STOP SIGNAL, VENTLESS GAS TRAIN, MODSYNC CONTROL PANEL

							SCI	HEL	DU	LE	. OF	E_{i}	XIS	STIN	٧G	S	TEA	M	BC	VILE	ERS		
BOILER DATA BURNER DATA INDUCED DRAFT FAN DATA																							
MARK	MODEL NUMBER OF MODEL OUTPUT OUTPUT POUER FIRING RATE FIRING RATE BURNER OU PUMP MODEL MOTOR															REMARKS							
BOILER #1	SECTIONS Nº ② (BHP) (MBH/HR) EFFICIENCY OIL (GPH) GAS (MBH) MOTOR HP MOTOR HP Nº ③ HP ORIG.BLDG. 6500 & ADDITION −S−21 21 C7−G0−30 325 8463 83.7% 92 − 7 1/2 (208/3/60) (208/3/60) (208/3/60) 24C30D−3 (208/3/60)																						
BOILER #2																							
BOILER #3			V	V		,	V			V	V	V	1	V		,						•	

 $\stackrel{N}{\sim}$ (7) AS MANUFACTURED BY "H.B. SMITH". (2) AS MANUFACTURED BY "POWERFLAME". 3 AS MANUFACTURED BY "AUBURN".

				S	CHE	DUL	E O	FP	UMPS						
MARK	Nº U ST. FT.H₂U TT M HP/BHP SERVICE (IN) WEIGHT (LBS)														
	HEATING LOOP	MECHANICAL	SERIES E-1510 5GB	800	80	1800	30/21	460/3/6	50 25Wx56Lx30H	1100	REFER TO 23				
HWP 3 4	HEATING LOOP	MECHANICAL	SERIES E-1510 3AD	300	130	1800	25/17.5		21Wx52Lx24H	900	REFER TO 23				
HWP HWP 6	HEATING LOOP	MECHANICAL	SERIES E-1510 3AD	300	130	1800	25/17.5		21Wx52Lx24H	900	REFER TO 23				
HWP HWP HWP 7 8 9	HEATING LOOP	MECHANICAL	SERIES E-80 4x4x9.5B	200	20	1170	2/1.5		12Wx25Lx29H	300	REFER TO 23				
EHWPYEHWP 10 11	HEATING LOOP	MECHANICAL	_ _	200	<i>75</i>	1750	7.5/-	ļ	_	_	REFER TO 4				

AS MANUFACTURED BY "BELL & GOSSETT". (2) Install pumps per manufacturer's recommendations.

EXISTING PUMPS SHALL BE INSPECTED, REFURBISHED TO EXISTING DESIGN CONDITIONS. REPAIR PUMPS AS REQUIRED IF FOUND NOT OPERATING PROPERLY. PROVIDE INITIAL WATER BALANCING REPORT

		•	•	•	•			·	_		v		V		·	•
					SCH	EDU	LE	OF	UNIT	VE	NTIL	AT	OR.	S		
	MODEL MODEL OF TOTAL SENSIBLE FILTER MOTOR ELEC. MOTOR PHYSICAL DATA															
MARK	No.	CFM	O.A. CFM	TOTAL CAPACITY MBH	SENSIBLE CAPACITY MBH	CAPACITY MBH	GPM	ROWS			SERV.		MCA	MOP	DIMENSION / WEIGHT	REMARKS
(UV) A	FRESHMAN ① HNA1000BC	1000	550	-	_	76	5	2	THROWAWAY (2)12"x20"x2"	0.5 EA	208/1/60	4.7	9.5	15	40"Lx35"Wx115"H/600LBS	REFER TO
$\frac{OV}{B}$	FRESHMAN ① HNA1800BC	1750	550	-	-	76	5	2	THROWAWAY (2)12"x20"x2"	0.5 EA	208/1/60	4.7	14.4	20	47"Lx35"Wx115"H/600LBS	34
(UV) C	MAUV1500	1500	1055	_	_	84	9	3	THROWAWAY	0.5	115/1/60	4.7	5.9	15	100"Lx22"Wx30"H/750LBS	33
	·								<u> </u>							<u> </u>

O TO AS MANUFACTURED BY "MAGIC AIRE CORP". T 2 BASED ON 160° F E.W.T., 140° F L.W.T.

N (1) AS MANUFACTURED BY "CHANGEAIR SYSTEMS". 4 UNIT SHALL INCLUDE ERV (ENERGY RECOVERY WHEEL) PACKAGE, SOUND PACKAGE, (5) UNIT SHALL INCLUDE HOT WATER HEATING COIL, FULL ADAPTER HOT WATER HEATING COIL, DX COIL FOR FUTURE CONNECTION, 24" HIGH

HOT WATER HEATING COIL, DX COIL FOR FUTURE CONNECTION, 24" HIGH ACOUSTICALLY LINED SUPPLY PLENUM WITH MULTIPLE REGISTERS, FIELD ERECTED GRILLE WITH SCREEN, INSULATED OUTSIDE AIR DAMPER, FACE TOP EXTENSION SECTIONS TO CEILING, MODULATING ECONOMIZER (100% OA) AND BYPASS DAMPER, 2" MERV 8 FILTERS. E 3 INSTALL PER MANUFACTURER'S RECOMMENDATIONS CONTROLS, POWERED EXHAUST, FIELD ERECTED REAR PLENUM SECTIONS, FULL

SIZE LOUVER, BACNET CONTROLLER, ISOLATION VALVES, STRAINERS, PT PORTS, BRAIDED HOSE-KIT, 2" THICK MERV 13 FILTERS, SIDE PIPE COVERS, FULL HEIGHT SIDE PANELS FROM UNIT TO WALL AND TOP/BOTTOM TRIM/COVE BASE PIECES. (ALL EXTENSIONS, PANELS, PIPE ENCLOSURÉS AND TRIM/COVE BASE PIECES SHALL MATCH UNIT COLOR AND FINISH).

SCHEDULE OF MINIMUM VENTILATION ROOM FLOW RATES											
		Α	В	С	D	E	F	G	Н	1	
ROOM NAME/NUMBER	OCCUPANCY CATEGORY	ROOM AREA (SQ.FT.)	PEOPLE DENSITY (#P/1000 SQ.FT.)	PEOPLE OUTDOOR AIR FLOW RATE (CFM/PERSON)	AREA OUTDOOR AIR FLOW RATE IN BREATHING ZONE (CFM/SQ.FT.)	EXHAUST AIR FLOW RATE (CFM/SQ.FT.)	NUMBER OF PEOPLE (A×B)÷1000=#P	OUTDOOR AIR FLOW RATE WITHOUT ZONE EFFECTIVENESS FACTOR (F×C)+(A×D)=CFM	ZONE AIR DISTRIBUTION EFFECTIVENESS FACTOR	MINIMUM ROOM VENTILATION AIR FLOW RATE G÷H=CFM	MINIMUM EXHAUST AIR FLOW RATE A×E=CFM
H203											
CLASSROOM 191	CLASSROOM (AGES 9+)	743	35	10	0.12	0	27	359	0.8	449	О
CONFERENCE ROOM 102	CONFERENCE/MEETING	377	50	5	0.06	o	19	118	0.8	147	О
OFFICE 112	OFFICE SPACE	99	5	5	0.06	0	1	11	0.8	14	О
OFFICE 116	OFFICE SPACE	105	5	5	0.06	0	1	11	0.8	14	0
NURSE 118	OFFICE SPACE	115	5	5	0.06	0	1	12	0.8	15	0
TOILET 118A	TOILETS - PUBLIC	53	2 FIXTURES	-	-	50 CFM/ FIXTURE	-	-	-	-	100
ROOM 143I	BREAK ROOMS	50	50	5	0.12	0	3	21	0.8	26	0
H204											
MIDDLE SCHOOL GYM 131	GYM, SPORTS ARENA (PLAY AREA)	6287	7	20	0.18	0.5	45	2032	0.8	2540	3144
H205											
LEARNING COMMONS 143	MEDIA CENTER	1996	25	10	0.12	О	50	740	0.8	924	o
OFFICE 141A	OFFICE SPACE	253	5	5	0.06	0	2	25	0.8	31	0
CLASSROOM 136	CLASSROOM (AGES 9+)	677	35	10	0.12	0	24	321	0.8	402	0
GLASSROOM 138	CLASSROOM (AGES 9+)	677	35	10	0.12	0	24	321	0.8	402	0
CLASSROOM 140	CLASSROOM (AGES 9+)	677	35	10	0.12	0	24	321	0.8	402	0
TEACHER WORKROOM 145	CLASSROOM (AGES 9+)	756	35	10	0.12	О	27	361	0.8	451	0
H206	OVAL OBODIC ADENA										
HIGH SCHOOL GYM 179	GYM, SPORTS ARENA (PLAY AREA)	8987	7	20	0.18	0.5	63	2878	0.8	3597	4494
AUXILARY GYM 177	GYM, SPORTS ARENA (PLAY AREA)	5507	7	20	0.18	0.5	39	1771	0.8	2214	2754
H207	OAFETERIA/FACT FOOD										
CAFETERIA	CAFETERIA/FAST-FOOD DINING	4488	100	7.5	0.18	О	449	4175	0.8	5219	0
H209	0/ 4000000// (40500)	004	0.5	40	0.40		0.5	200	0.0	440	
CLASSROOM 221	CLASSROOM (AGES 9+)	691	35	10	0.12	0	25	333	0.8	416	0
CLASSROOM 223 CLASSROOM 225	CLASSROOM (AGES 9+)	691 691	35	10	0.12	0	25	333	0.8	416 416	0
CLASSROOM 224	CLASSROOM (AGES 9+) CLASSROOM (AGES 9+)	920	35 35	10	0.12 0.12	0	25 33	333 440	0.8	551	0
CLASSROOM 226	CLASSROOM (AGES 9+)	716	35	10	0.12	0	26	346	0.8	432	0
CLASSROOM 218	CLASSROOM (AGES 9+)	1040	35	10	0.12	0	37	495	0.8	619	0
CLASSROOM 220	CLASSROOM (AGES 9+)	1030	35	10	0.12	0	37	494	0.8	617	0
CLASSROOM 222	CLASSROOM (AGES 9+)	908	35	10	0.12	0	32	429	0.8	536	0
H210	TE TOUR (MOLO 51)			,,,		<u> </u>	<u> </u>	720	0.0		
OFFICE 239	OFFICE SPACE	870	5	5	0.06	0	5	77	0.8	97	0
OFFICE 240	OFFICE SPACE	870	5	5	0.06	0	5	77	0.8	97	0
H211		-	<u> </u>	-				<u> </u>		-	
LEARNING STUDIO 310	CLASSROOM (AGES 9+)	402	35	10	0.12	О	15	198	0.8	248	o
LEARNING STUDIO 312	CLASSROOM (AGES 9+)	402	35	10	0.12	o	15	198	0.8	248	0
LEARNING COMMONS	CLASSROOM (AGES 9+)	2240	35	10	0.12	0	79	1059	0.8	1324	0
SGR 315	CLASSROOM (AGES 9+)	105	35	10	0.12	0	4	53	0.8	66	0

12

ISSUED FOR BID 01/19/2021 BID ADDENDUM #1 01/29/2021

Revision Schedule

Description

SED Submission

SED Submission Addendum#1

Date

09/15/2020

01/08/2021

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Acoustic Consultant DP DESIGN 12 Cold Spring Street Providence, RI 401-861-3218

SED #: 6618-0001-0005-031

PROJECT

Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

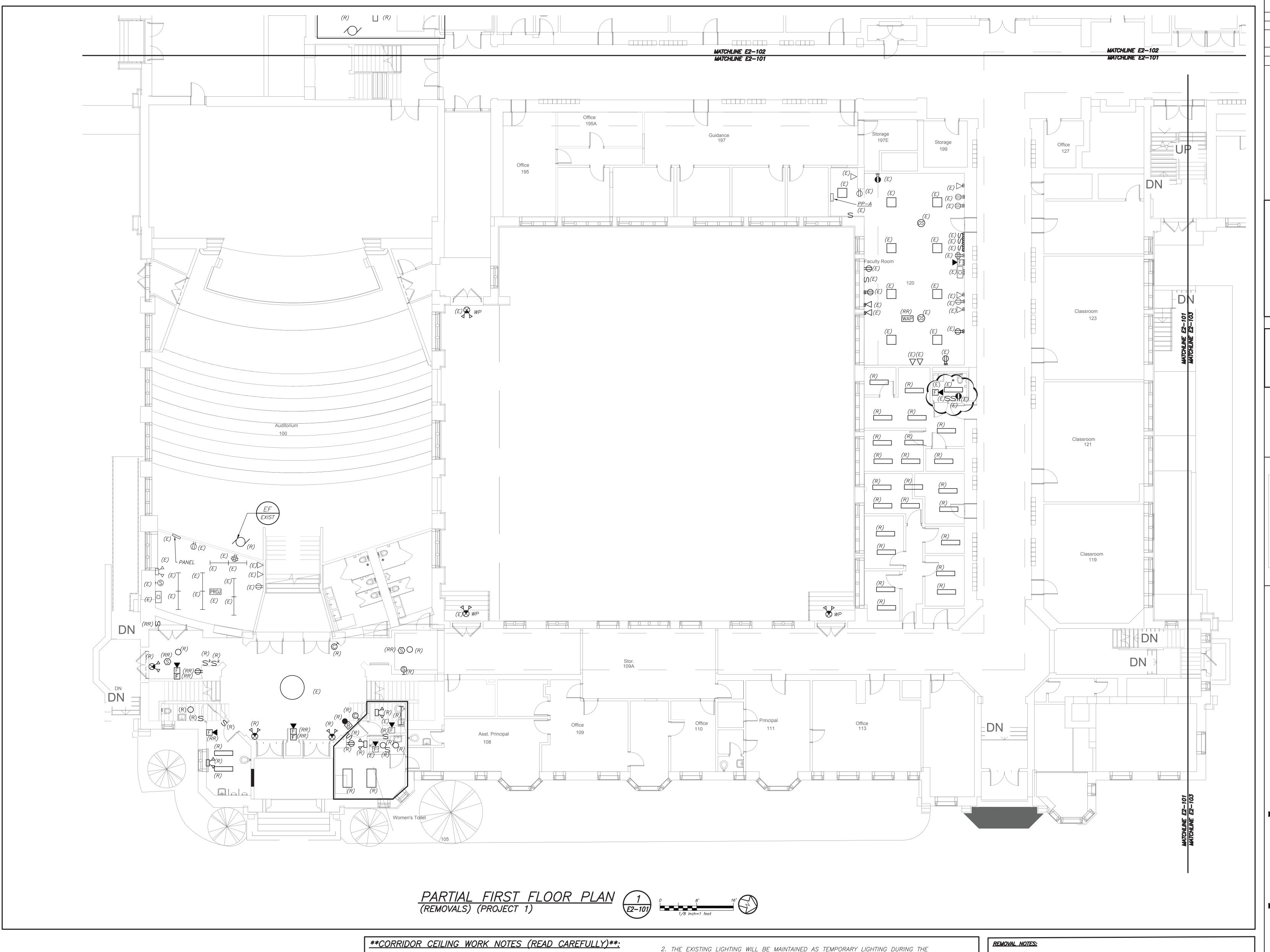
HIGH SCHOOL & MIDDLE SCHOOL SCHEDULE

SEAL & SIGNATURE | DATE: PROJECT No: 9200

DRAWING BY: BGA CHK BY: BGA DWG No: H2-302

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON JOB AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS

DBE: TAB: Layout1 - Y:\RYE CITY SD\Rye CSD - 2019 Bond - Phase 2 (1937.00)\Drawings\HVAC\a193700H-302-MHS.dwg - DATE: Jan 28, 2021 - 2:31pm



CORRIDOR CEILING SHALL BE REMOVED BY OTHER CONTRACTORS, THIS ELECTRICAL

CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE TO RE-SUPPORT ALL LOW

VOLTAGE WIRING AND MC LINE VOLTAGE CABLE LYING ON THE CEILING TILE, GRID

AND NOT PROPERLY SUPPORTED WITH J-HOOKS BEFORE THE START OF THE

BOTH SIDES OF THE CORRIDOR. THE CENTER OF THE CORRIDOR HAS

CEILING REMOVAL. THIS CONTRACTOR SHOULD ANTICIPATE THAT THERE WILL BE

APPROXIMATELY 2-20 CABLES ALONG THE WALL AGAINST THE CLASSROOMS ON

VOLTAGE CABLES. INCLUDE THE REWIRING OF APPROXIMATELY 36 - 200'-0"

ALARM, SECURITY, CAMERAS, AND MECHANICAL EQUIPMENT CONTROL WIRING.

LENGTH LOW VOLTAGE CABLES TO ALLOW CLEARANCE FOR HVAC DUCTWORK AND

PIPING. THE LOW VOLTAGE CABLE TYPE CONSISTS OF DATA, TELEPHONE, PA, FIRE

APPROXIMATELY 30 TO 50 LOW VOLTAGE CABLES AND 5 TO 10 MC ARMORED LINE

DURATION OF ABOVE CEILING WORK. ONCE NEW LIGHTING FIXTURES ARE INSTALLED ALL EXISTING LIGHTING SHALL BE REMOVED IN ITS ENTIRETY INCLUDING BRANCH CIRCUITRY BACK TO SOURCE.

3. ALL CEILING MOUNTED SPEAKERS, FIRE ALARM DEVICES (SMOKE DETECTORS, CARBON DETECTORS, ETC.) ANY SECURITY DEVICES (MOTION SENSORS, ETC. EXCLUDING CAMERAS) SHALL BE RE-SUPPORTED AND MAINTAINED DURING THE DURATION OF ABOVE CEILING WORK. ONCE NEW CEILING INSTALLATION WORK START THIS CONTRACTOR SHALL REINSTALL AND REMOUNT ALL DEVICES IN NEW CEILING TILES IN A NEAT AND CLEAN MANNER. ALL CEILING MOUNTED CAMERAS AND WAP'S WILL BE THE RESPONSIBILITY OF THE SCHOOL DISTRICT TO REMOVE AND REINSTALL.

4. THE CORRIDOR CEILING SEQUENCE OF THE WORK SHALL BE COORDINATED WITH CONSTRUCTION MANAGER, SCHOOL DISTRICT AND OTHER CONTRACTORS BEFORE THE START OF ANY WORK.

REMOVE AND REINSTALL SMOKE DETECTORS IN ANY CLASSROOM, OFFICES ETC. WHERE CEILING IS BEING REPLACED. MAINTAIN THE EXISTING FIRE ALARM LOOP CONTINUITY FOR ALL EXISTING DEVICES REMAINING.

2. REMOVAL AND RELOCATING OF ALL SECURITY CAMERAS AND WIRELESS ACCESS POINTS IN CLASSROOM, OFFICES, ETC. SHALL BE DONE BY SCHOOL DISTRICT. COORDINATE WITH CONSTRUCTION MANAGER AND SCHOOL DISTRICT BEFORE THE START OF ANY WORK.

3. REFER TO CORRIDOR CEILING WORK NOTES FOR ADDITIONAL SCOPE.

WORK NOTES:

1) PROJECTORS SHALL BE REMOVED, BUBBLED WRAP FOR PROTECTION, STORED AND REINSTALLED BY ELECTRICAL CONTRACTOR.

ISSUED FOR BID 01/19/2021 4 BID ADDENDUM #1

Revision Schedule

Description

SED Submission

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Date

09/15/2020

01/08/2021

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SED #: 6618-0001-0005-031

Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

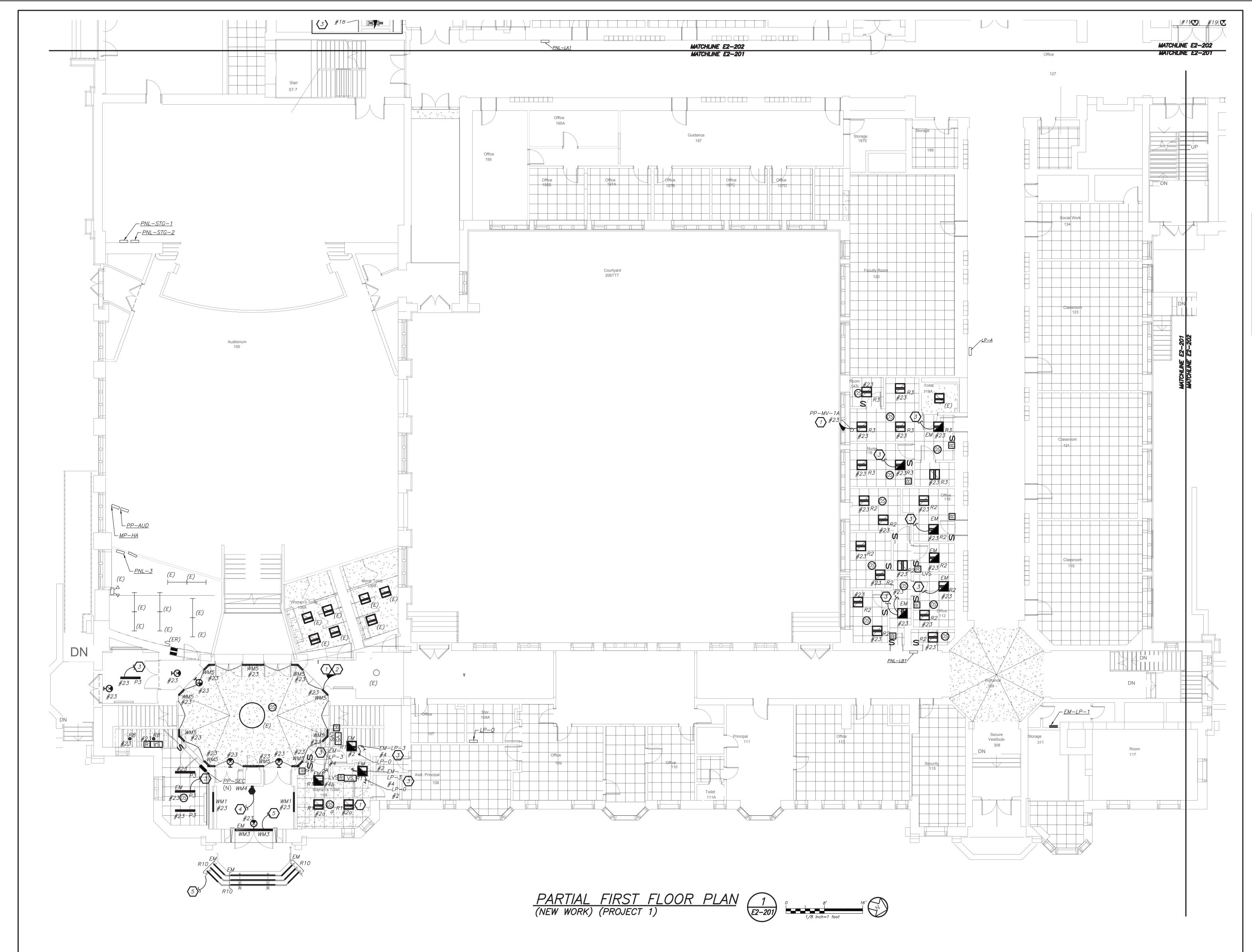
HIGH SCHOOL & MIDDLE SCHOOL PART FIRST FLOOR REMOVAL PLAN

PROJECT 1

SEAL & SIGNATURE DATE: 11/07/19

PROJECT No: 9200 DRAWING BY: BGA CHK BY: BGA DWG No: E2-101

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON JOB AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS



LIGHTING CONTROL AND SEQUENCE OF OPERATION:

1. ALL RENOVATED LOBBY AREAS SHALL BE CONTROLLED VIA TWO SEPARATE EXISTING MANUAL WALL MOUNTED KEY SWITCHES AND OCCUPANCY SENSORS. THE OCCUPANCY SENSORS SHALL HAVE AUTO ON—AUTO OFF FEATURE WHICH SHALL TURN ALL LIGHTS IN THE DESIGNATED ZONE OFF AFTER 20 MINUTES WHEN CORRIDOR IS VACANT. THE OCCUPANCY SENSOR SHALL CONTROL ONLY NORMAL/NON—EMERGENCY LIGHTING. THE LIGHTING FIXTURE DESIGNATED WITH EMERGENCY FEATURE SHALL BE CONTROLLED VIA WALL MOUNTED KEY SWITCH. UL 924 EMERGENCY LIGHTING RELAY (R) ARE INCLUDED TO OVERRIDE SWITCH AND FORCE EMERGENCY LIGHTS ON IN THE EVENT OF LOSS OF POWER.

WORK NOTES

(1) CIRCUIT NUMBERS FOR CONTRACTOR GUIDANCE ONLY. WIRE LIGHTING TO CIRCUIT MADE SPARE BY DEMO WORK.

MADE SPARE BY DEMO WORK.

(2) WIRE NEW CORRIDOR LIGHTING TO CIRCUIT MADE SPARE BY DEMO WORK.

WIRE EMERGENCY LIGHTING TO EMERGENCY LIGHTING CIRCUIT IN AREA.

ELECTRICAL CONTRACTOR TO REFURBISH AND REWIRE EXISTING HISTORIC FIXTURE. RELOCATE FIXTURE TO BE MOUNTED ON PROPOSED BRACKET.

WIRE LIGHTING FIXTURE TO EMERGENCY LIGHTING CIRCUIT IN AREA REFER TO E2-207

PHASE 1 NOTES:

(A) APPROVED IN PHASE 1, SED #6618001-0003-024 ON 3/16/20

 Revision Schedule

 No.
 Description
 Date

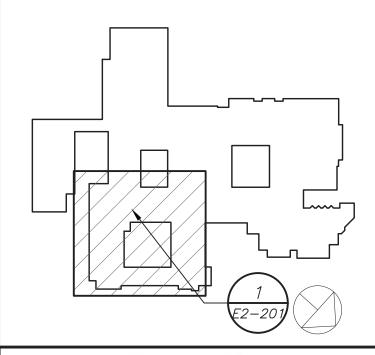
 1
 SED Submission
 09/15/2020

 2
 SED Submission
 01/08/2021

 Addendum#1
 01/19/2021

 3
 ISSUED FOR BID
 01/19/2021

 4
 BID ADDENDUM #1
 01/29/2021



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SED #: 6618-0001-0005-031

PROJEC

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555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

HIGH SCHOOL & MIDDLE SCHOOL PART FIRST FLOOR LIGHTING PLAN

PROJECT 1

SEAL & SIGNATURE DATE: 11/07/19
PROJECT No: 9200
DRAWING BY: BGA
CHK BY: BGA

DWG No: **E2-201**

WORK NOTES:

1 NOT USED

CIRCUIT NEW EMERGENCY LIGHTING TO EXISTING EMERGENCY CIRCUIT SERVING CORRIDOR. EC TO CONFIRM CIRCUIT IN FIELD. PROVIDE 2#12+1#12G IN 3/4"C FROM NEW LIGHTS TO EXISTING LIGHT FIXTURES.

CIRCUIT NEW NORMAL LIGHTING ON EXISTING LIGHTING CIRCUIT IN THIS AREA. CIRCUIT NUMBER ARE FOR REFERENCE ONLY. EC TO CONFIRM CIRCUIT # IN FIELD. PROVIDE 2#12+1#12G IN 3/4"C FROM SOURCE PANELBOARD TO FEED NEW LIGHT FIXTURES. PROVIDE NEW KEY SWITCH AS SHOWN.

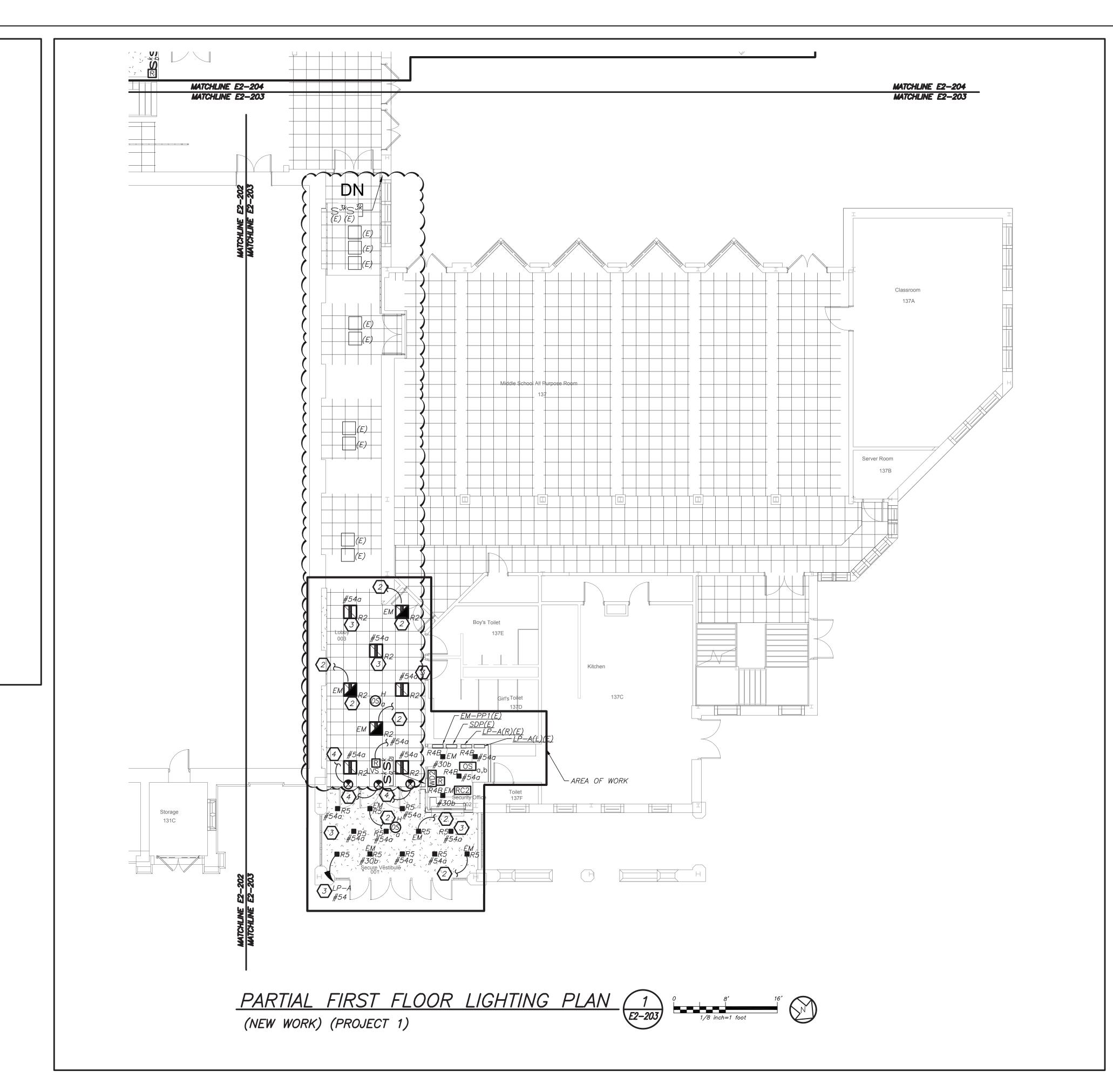
4 CIRCUIT EXIT LIGHTS TO THE EM LIGHTING CIRCUIT IN THIS AREA, AHEAD OF ANY SWITCHING.

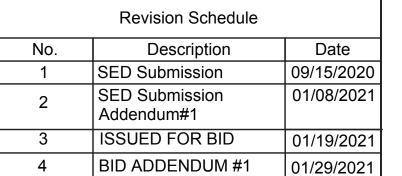
LIGHTING CONTROL AND SEQUENCE OF OPERATION:

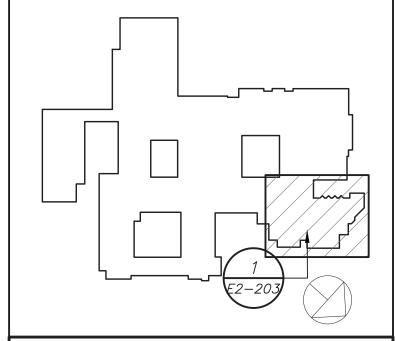
- 1. NEW LEARNING COMMONS ILAB ARE CONTROLLED VIA MANUAL ON DIMMABLE WALL SWITCH AND OCCUPANCY SENSORS. IT CONSISTS OF FULL DIMMING CAPABILITY OF THREE ZONES. WALL SWITCHES CONSISTS OF 'A', 'B', 'C' 'OFF', 'RAISE', AND 'LOWER' BUTTONS. THE OCCUPANCY SENSORS SHALL HAVE THE AUTO OFF FEATURE WHICH SHALL TURN ALL LIGHTS OFF AFTER 20 MINUTES WHEN THE ROOM IS VACANT. UL 924 EMERGENCY LIGHTING RELAY ARE INCLUDED TO OVERRIDE SWITCH AND FORCE EMERGENCY LIGHTS ON 100% IN THE EVENT OF EMERGENCY.
- 2. SMALL GROUP ROOMS ARE CONTROLLED VIA DIMMER SWITCH WITH FULL DIMMING CAPABILITY. THE OCCUPANCY SENSORS SHALL HAVE THE AUTO OFF FEATURE WHICH SHALL TURN ALL LIGHTS OFF AFTER 20 MINUTES WHEN THE ROOM IS VACANT. EMERGENCY LIGHTING RELAY ARE INCLUDED TO OVERRIDE SWITCH AND FORCE EMERGENCY LIGHTS ON 100% IN THE EVENT OF EMERGENCY.
- 3. OFFICES AND SEMINAR ROOMS ARE CONTROLLED VIA MANUAL ON DIMMABLE WALL SWITCH AND OCCUPANCY SENSORS. EACH OFFICE CONSISTS OF FULL DIMMING CAPABILITY. WALL SWITCHES CONSISTS OF 'ON', 'RAISE', 'LOWER', AND 'OFF' BUTTONS. THE OCCUPANCY SENSORS SHALL HAVE THE AUTO OFF FEATURE WHICH SHALL TURN ALL LIGHTS OFF AFTER 20 MINUTES WHEN THE ROOM IS VACANT. UL 924 EMERGENCY LIGHTING RELAY ARE INCLUDED TO OVERRIDE SWITCH AND FORCE EMERGENCY LIGHTS ON IN THE EVENT OF EMERGENCY.
- 4. ALL RENOVATED LOBBY AREAS SHALL BE CONTROLLED VIA EXISTING LOCAL WALL SWITCHES. OVER LAPPED LONG RANGE OCCUPANCY SENSORS (AUTO ON, AUTO OFF) IN EACH CORRIDOR WILL FUNCTION INDEPENDENTLY AS LOCAL ZONES.
- 5. ALL RENOVATED LOBBY AREAS SHALL BE CONTROLLED VIA TWO SEPARATE EXISTING MANUAL WALL MOUNTED KEY SWITCHES AND OCCUPANCY SENSORS. THE OCCUPANCY SENSORS SHALL HAVE AUTO ON—AUTO OFF FEATURE WHICH SHALL TURN ALL LIGHTS IN THE DESIGNATED ZONE OFF AFTER 20 MINUTES WHEN CORRIDOR IS VACANT. THE OCCUPANCY SENSOR SHALL CONTROL ONLY NORMAL/NON—EMERGENCY LIGHTING. THE LIGHTING FIXTURE DESIGNATED WITH EMERGENCY FEATURE SHALL BE CONTROLLED VIA WALL MOUNTED KEY SWITCH. UL 924 EMERGENCY LIGHTING RELAY (R) ARE INCLUDED TO OVERRIDE SWITCH AND FORCE EMERGENCY LIGHTS ON IN THE EVENT OF LOSS OF POWER.

GENERAL NOTES:

- 1. REFER TO DRAWING E2-001 FOR LEGEND AND LIGHTING CONTROL AND E2-601 FOR LIGHTING FIXTURE SCHEDULF.
- 2. REFER TO DRAWING E2-600 SERIES FOR PANELBOARD SCHEDULES.
- 3. REFER TO DRAWING E2-701 AND E2-702 FOR LIGHTING CONTROL WIRING DIAGRAMS AND DETAILS.
- 4. NORMAL SIDE SENSING LINE ON ALL EMERGENCY LIGHTING RELAY SHALL BE CIRCUITED TO THE NORMAL LIGHTING CIRCUIT IN THE ROOM/AREA IT SERVES.
- 5. FOR ALL AREAS CONTROLLED BY ROOM CONTROLLER "RC", ELECTRICAL CONTRACTOR IS TO CIRCUIT ROOM CONTROLLER, THEN EXTEND LINE VOLTAGE CIRCUITRY TO EACH OF THE LIGHT FIXTURES DEPENDING ON CONTROL ZONES. REFER TO ROOM CONTROLLER WIRING DIAGRAM DETAILS ON DRAWING E2-702.
- 6. ALL EXIT LIGHTS SHALL BE CIRCUITED TO NORMAL LIGHTING CIRCUIT IN THE AREA, AHEAD OF ANY SWITCHING.
- 7. SET LIGHTING CONTROL SENSORS TO HIGHEST SENSITIVITY AVAILABLE PRIOR TO INSTALLATION.







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518-463-4400

Acoustic Consultant
DP DESIGN
12 Cold Spring Street
Providence, RI
401-861-3218

SED #: 6618-0001-0005-031

PROJECT

Rye City School District
555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

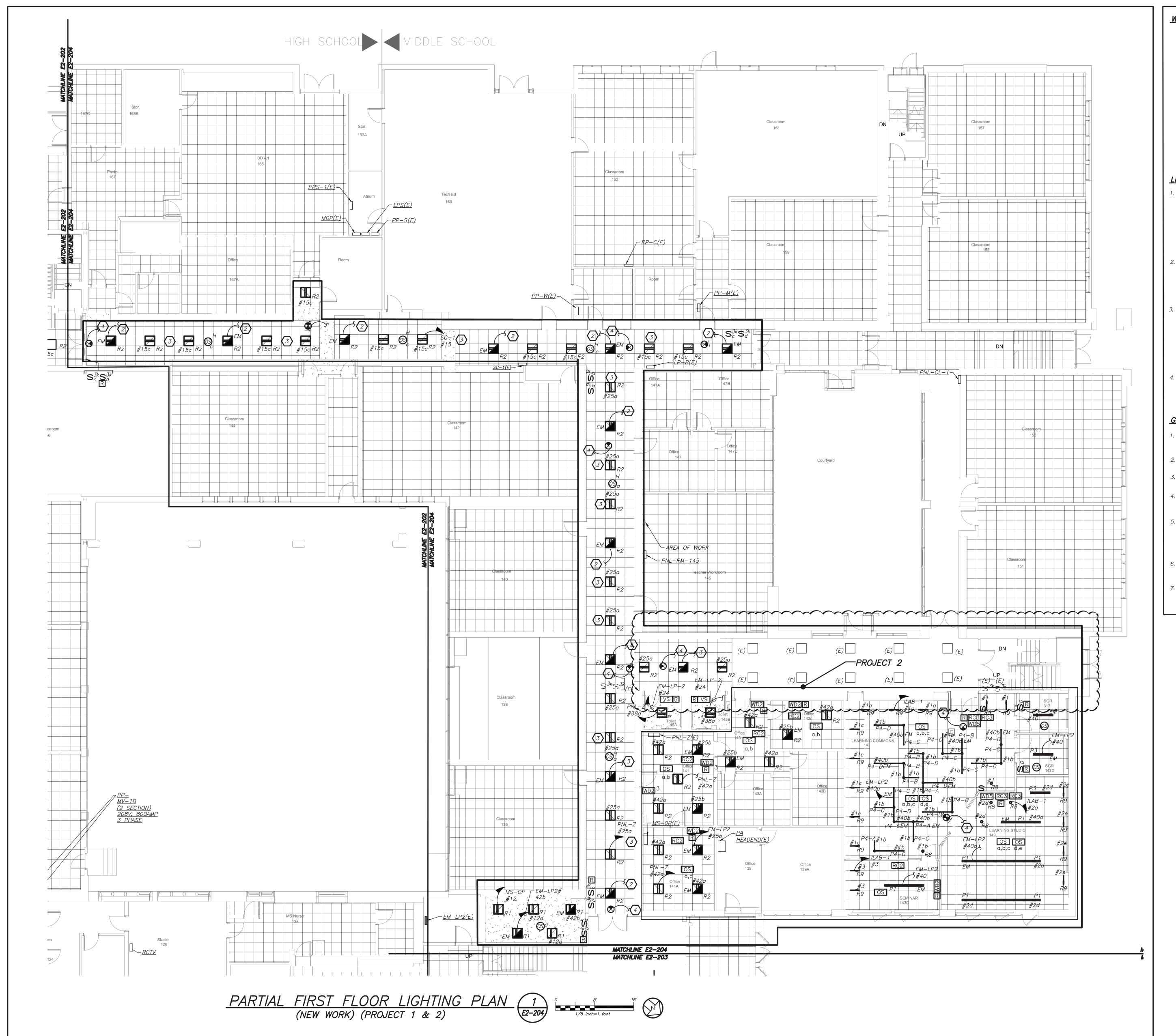
HIGH SCHOOL & MIDDLE SCHOOL PART FIRST FLOOR LIGHTING PLAN

PROJECT 1

SEAL & SIGNATURE DATE: 11/07/19
PROJECT No: 9200
DRAWING BY: BGA
CHK BY: BGA
DWG No:

E2-203

OF ALL OTHER CONTRACTORS



WORK NOTES:

- 2) CIRCUIT NEW EMERGENCY LIGHTING TO EMERGENCY
- (3) CIRCUIT NEW NORMAL LIGHTING ON EXISTING LIGHTING CIRCUIT IN THIS AREA. CIRCUIT NUMBER ARE FOR REFERENCE ONLY. EC TO CONFIRM CIRCUIT # IN FIELD. PROVIDE 2#12+1#12G IN 3/4"C FROM SOURCE PANELBOARD TO FEED NEW LIGHT FIXTURES.
- CIRCUIT EXIT LIGHTS TO THE EM LIGHTING CIRCUIT IN THIS AREA, AHEAD OF ANY SWITCHING.

- ON DIMMABLE WALL SWITCH AND OCCUPANCY SENSORS. IT CONSISTS OF FULL DIMMING CAPABILITY OF THREE ZONES. WALL SWITCHES CONSISTS OF 'A', 'B', 'C' 'OFF', 'RAISE', AND 'LOWER' BUTTONS. THE OCCUPANCY SENSORS SHALL HAVE THE AUTO OFF FEATURE WHICH SHALL TURN ALL LIGHTS OFF AFTER 20 MINUTES WHEN THE ROOM IS VACANT. UL 924 EMERGENCY LIGHTING RELAY ARE INCLUDED TO OVERRIDE SWITCH AND FORCE EMERGENCY LIGHTS ON 100% IN THE EVENT OF EMERGENCY.
- WITH FULL DIMMING CAPABILITY. THE OCCUPANCY SENSORS SHALL HAVE THE AUTO OFF FEATURE WHICH SHALL TURN ALL LIGHTS OFF AFTER 20 MINUTES WHEN THE ROOM IS VACANT. EMERGENCY LIGHTING RELAY ARE INCLUDED TO OVERRIDE SWITCH AND FORCE EMERGENCY LIGHTS ON 100% IN THE EVENT OF EMERGENCY.
- OFFICES AND SEMINAR ROOMS ARE CONTROLLED VIA MANUAL ON DIMMABLE WALL SWITCH AND OCCUPANCY SENSORS. EACH OFFICE CONSISTS OF FULL DIMMING CAPABILITY. WALL SWITCHES CONSISTS OF 'ON', 'RAISE', 'LOWER', AND 'OFF' BUTTONS. THE OCCUPANCY SENSORS SHALL HAVE THE AUTO OFF FEATURE WHICH SHALL TURN ALL LIGHTS OFF AFTER 20 MINUTES WHEN THE ROOM IS VACANT. UL 924 EMERGENCY LIGHTING RELAY ARE INCLUDED TO OVERRIDE SWITCH AND FORCE EMERGENCY LIGHTS ON IN THE EVENT OF EMERGENCY.
- OCCUPANCY SENSORS (AUTO ON, AUTO OFF) IN EACH

- REFER TO DRAWING E2-001 FOR LEGEND AND LIGHTING CONTROL AND E2-601 FOR LIGHTING FIXTURE SCHEDULE.
- 2. REFER TO DRAWING E2-600 SERIES FOR PANELBOARD
- REFER TO DRAWING E2-701 AND E2-702 FOR LIGHTING
- . NORMAL SIDE SENSING LINE ON ALL EMERGENCY LIGHTING RELAY SHALL BE CIRCUITED TO THE NORMAL
- ELECTRICAL CONTRACTOR IS TO CIRCUIT ROOM EACH OF THE LIGHT FIXTURES DEPENDING ON CONTROL

- 1) APPROVED IN PHASE 1, SED #6618001-0005-031 ON 03/16/20.
- PANELBOARD CIRCUIT MADE SPARE BY DEMO WORK. EC TO CONFIRM CIRCUIT IN FIELD. PROVIDE 2#12+1#12G IN 3/4"C FROM SOURCE PANELBOARD TO FEED NEW LIGHT

LIGHTING CONTROL AND SEQUENCE OF OPERATION:

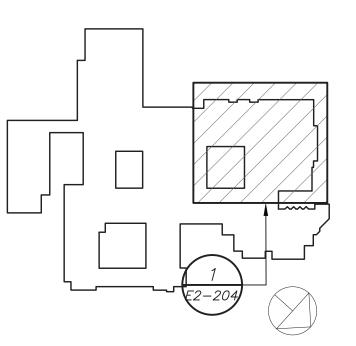
- NEW LEARNING COMMONS ILAB ARE CONTROLLED VIA MANUAL
- 2. SMALL GROUP ROOMS ARE CONTROLLED VIA DIMMER SWITCH
- 4. ALL RENOVATED LOBBY AREAS SHALL BE CONTROLLED VIA EXISTING LOCAL WALL SWITCHES. OVER LAPPED LONG RANGE CORRIDOR WILL FUNCTION INDEPENDENTLY ÁS LOCAL ZONES.

GENERAL NOTES:

- CONTROL WIRING DIAGRAMS AND DETAILS.
- LIGHTING CIRCUIT IN THE ROOM/AREA IT SERVES.
- CONTROLLER, THEN EXTEND LINE VOLTAGE CIRCUITRY TO ZONES. REFER TO ROOM CONTROLLER WIRING DIAGRAM DETAILS ON DRAWING E2-702.
- ALL EXIT LIGHTS SHALL BE CIRCUITED TO NORMAL LIGHTING CIRCUIT IN THE AREA, AHEAD OF ANY
- SET LIGHTING CONTROL SENSORS TO HIGHEST SENSITIVITY AVAILABLE PRIOR TO INSTALLATION.

Revision Schedule Date Description SED Submission 09/15/2020

01/08/2021 **SED Submission** Addendum#1 ISSUED FOR BID 01/19/2021 4 BID ADDENDUM #1 01/29/2021



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Acoustic Consultant DP DESIGN 12 Cold Spring Street Providence, RI

401-861-3218

SED #: 6618-0001-0005-031

PROJECT

Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

HIGH SCHOOL & MIDDLE SCHOOL PART FIRST FLOOR LIGHTING PLAN

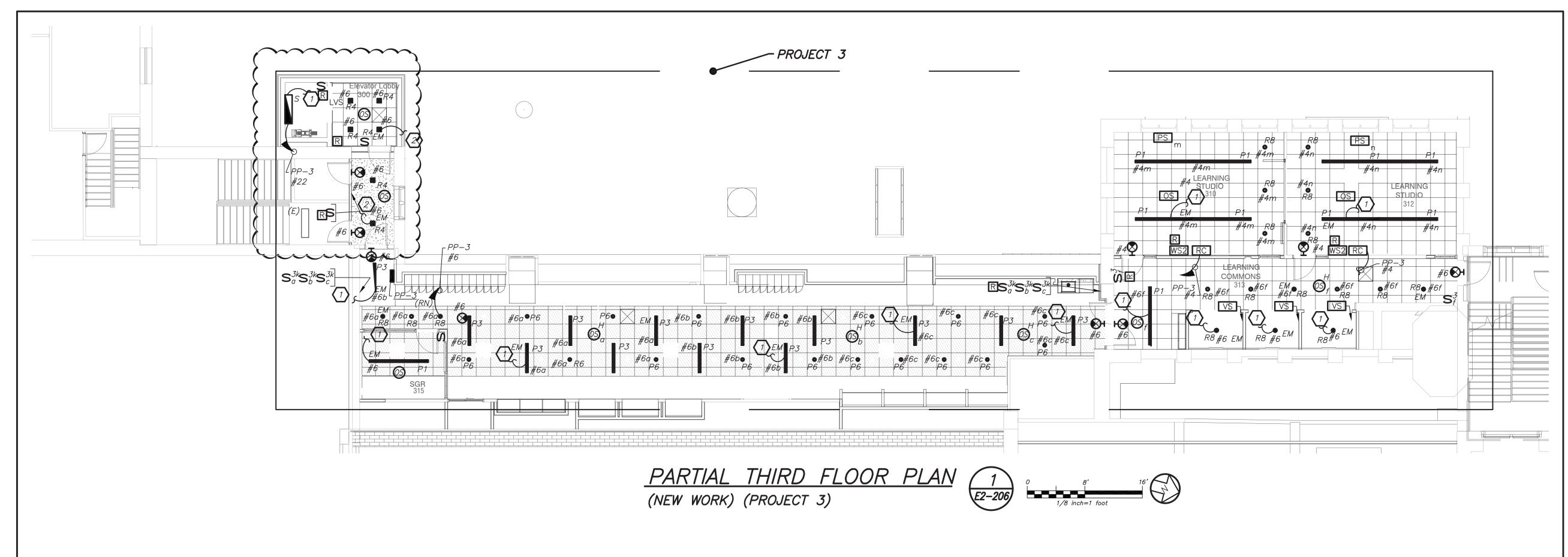
PROJECT 1 & 2

SEAL & SIGNATURE DATE: DRAWING BY: BGA

DWG No:

E2-204

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON JOB AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS



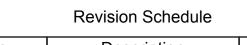
LIGHTING CONTROL AND SEQUENCE OF OPERATION:

1. ALL RENOVATED LOBBY AREAS SHALL BE CONTROLLED VIA TWO SEPARATE EXISTING MANUAL WALL MOUNTED KEY SWITCHES AND OCCUPANCY SENSORS. THE OCCUPANCY SENSORS SHALL HAVE AUTO ON—AUTO OFF FEATURE WHICH SHALL TURN ALL LIGHTS IN THE DESIGNATED ZONE OFF AFTER 20 MINUTES WHEN CORRIDOR IS VACANT. THE OCCUPANCY SENSOR SHALL CONTROL ONLY NORMAL/NON—EMERGENCY LIGHTING. THE LIGHTING FIXTURE DESIGNATED WITH EMERGENCY FEATURE SHALL BE CONTROLLED VIA WALL MOUNTED KEY SWITCH. UL 924 EMERGENCY LIGHTING RELAY (R) ARE INCLUDED TO OVERRIDE SWITCH AND FORCE EMERGENCY LIGHTS ON IN THE EVENT OF LOSS OF POWER.

WORK NOTES:

CIRCUIT FIXTURE TO EMERGENCY LIGHTING CIRCUIT IN THE AREA.

CIRCUIT FIXTURE TO STAIRWAY EMERGENCY LIGHTING CIRCUIT AND CONTROLS.



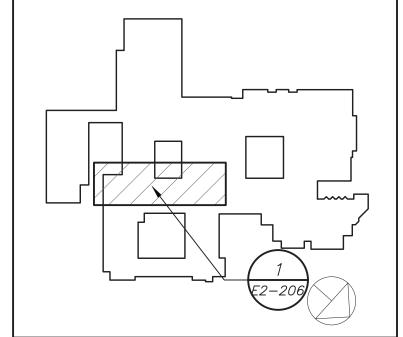
 No.
 Description
 Date

 1
 SED Submission
 09/15/2020

 2
 SED Submission Addendum#1
 01/08/2021

 3
 ISSUED FOR BID
 01/19/2021

 4
 BID ADDENDUM #1
 01/29/2021



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401-861-3218

SED #: 6618-0001-0005-031

PROJECT

Rye City School District
555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

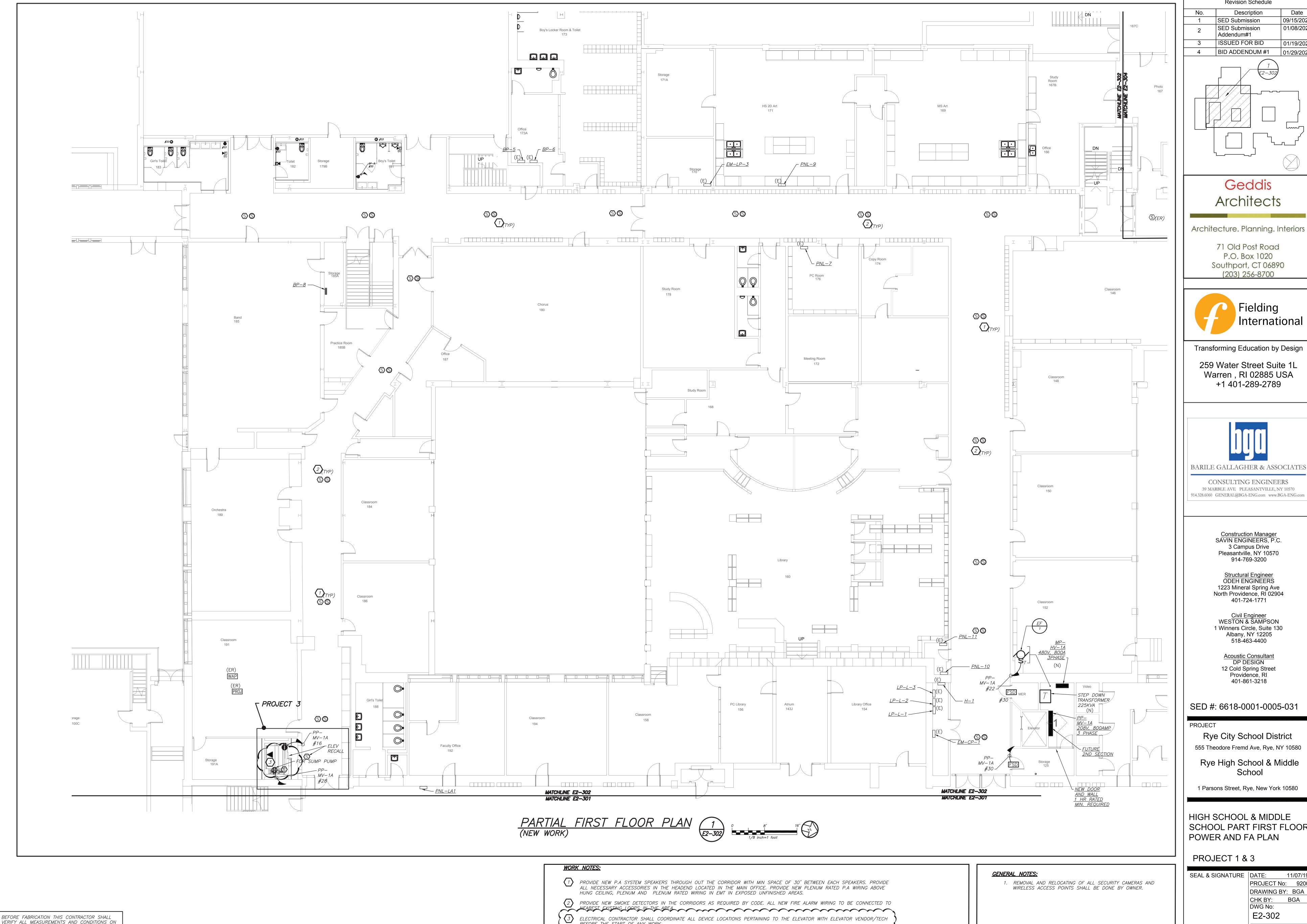
HIGH SCHOOL & MIDDLE SCHOOL PART THIRD FLOOR LIGHTING PLAN

PROJECT 3

SEAL & SIGNATURE DATE: 11/07/19
PROJECT No: 9200
DRAWING BY: BGA
CHK BY: BGA
DWG No:
E2-206

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON JOB AND COORDINATE HIS WORK WITH THE WORK

OF ALL OTHER CONTRACTORS



BEFORE THE START OF ANY WORK.

VERIFY ALL MEASUREMENTS AND CONDITIONS ON JOB AND COORDINATE HIS WORK WITH THE WORK

OF ALL OTHER CONTRACTORS

Revision Schedule

Description

Date

09/15/2020

01/08/2021

01/19/2021

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Civil Engineer WESTON & SAMPSON 1 Winners Circle, Suite 130 Albany, NY 12205 518-463-4400

Acoustic Consultant DP DESIGN 12 Cold Spring Street Providence, RI 401-861-3218

SED #: 6618-0001-0005-031

Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

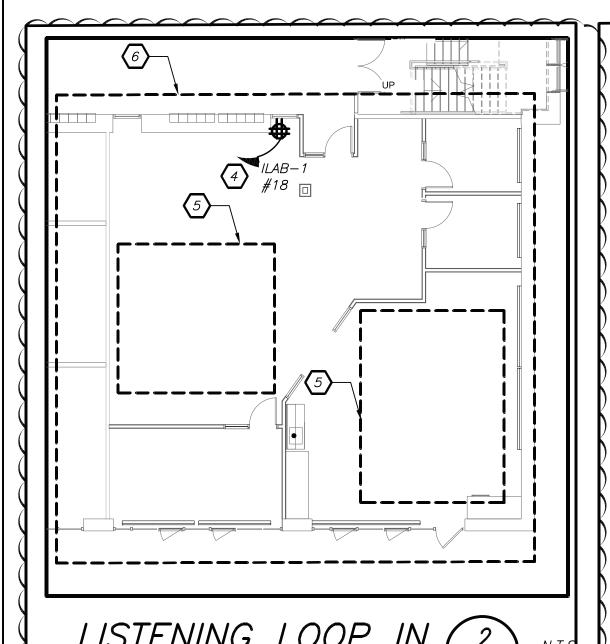
Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

HIGH SCHOOL & MIDDLE SCHOOL PART FIRST FLOOR POWER AND FA PLAN

PROJECT 1 & 3

SEAL & SIGNATURE DATE: PROJECT No: 9200 DRAWING BY: BGA DWG No: E2-302



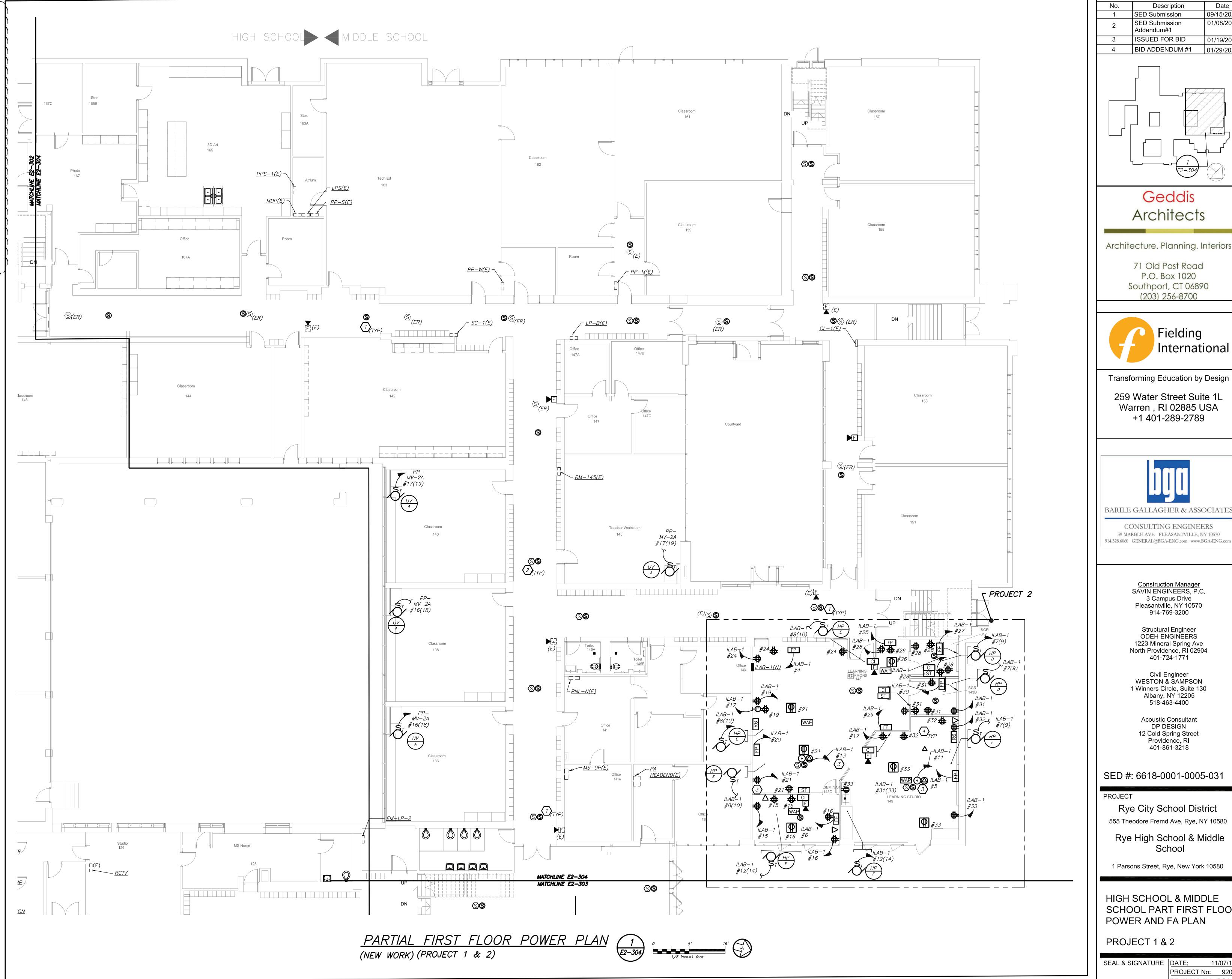
LISTENING LOOP IN (ILAB (PROJECT 2)

GENERAL NOTES:

- 1. REFER TO ELECTRICAL RISER DIAGRAMS ON DRAWING E2-501 FOR SCOPE OF WORK.
- 2. REFER TO PANELBOARD SCHEDULES ON DRAWINGS E2-601 FOR BRANCH CIRCUITING INFORMATION.
- 3. REFER TO DRAWINGS E700 SERIES FOR DETAILS.
- EXISTING BUILDING HAS FULL FIRE ALARM COVERAGE CONSISTING OF MANUAL PULL STATIONS, SMOKE DETECTORS, HEAT DETECTORS,, HORN/STROBES, STROBES, MAGNETIC DOOR HOLDERS ETC. AREAS OF WORK ONLY SHOWN WITH NECESSARY MODIFICATIONS.
- REMOVAL AND RELOCATING OF ALL SECURITY CAMERAS AND WIRELESS ACCESS POINTS SHALL BE DONE BY OWNER. COORDINATE WITH SCHOOL DISTRICT AND CONSTRUCTION MANAGER BEFORE THE START OF ANY WORK.

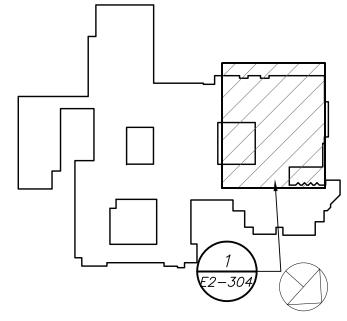
- PROVIDE NEW PUBLIC ADDRESS SYSTEM SPEAKERS THROUGH OUT THE CORRIDOR WITH MIN SPACE OF 30' BETWEEN EACH SPEAKERS. PROVIDE ALL NECESSARY ACCESSORIES IN THE HEADEND LOCATED IN THE MAIN OFFICE. PROVIDE NEW PLENUM RATED P.A WIRING ABOVE HUNG CEILING AND PLENUM RATED WIRING IN EMT IN EXPOSED UNFINISHED AREAS AND PLENUM RATED IN WIREMOLD IN EXPOSED FINISHED AREAS.
- PROVIDE NEW SMOKE DETECTORS IN THE CORRIDORS AS REQUIRED BY CODE. ALL NEW FIRE ALARM WIRING TO BE CONNECTED TO NEAREST EXISTING LOOPS IN THE AREA.
- CIRCUIT FOR CEILING MOUNTED POWER OUTLET FOR AV RACK.
 REFER TO AUDIO VISUAL DRAWINGS AVE SERIES FOR ADDITIONAL REFER TO AUDIO VISUAL DRAWINGS AVE SERIES FOR ADDITIONAL
- 4 PROVIDE POWER FOR TELE-COIL LOOP AMPLIFIER.
- ELECTRICAL CONTRACTOR SHALL SCORE THE FLOOR AND FURNISH AND INSTALL TELECOIL LOOP. REFER TO AVE2 DRAWINGS FOR MORE DETAILS ON THE TOTAL SCOPE OF WORK INCLUDING 27000 SECTION OF SPECIFICATION.
- COORDINATE EXACT FINAL MOUNTING LOCATION OF ALL AV RELATED BOXES AND EQUIPMENT WITH AV2 DRAWING AND VENDOR BEFORE THE START OF ANY WORK. DO NOT START INSTALLATION UNTIL YOU HAVE A SIGN OFF FROM SCHOOL DISTRICT AND CONSTRUCTION MANAGER.

SPECIAL NOTE: THIS CONTRACTOR SHALL RECEIVE SIGN—OFF FROM AV CONSULTANT AND ARCHITECT BEFORE THE START OF ANYWORK OF THE EXACT LOCATION OF ALL DEVICES, RECEPTACLES, JUNCTION BOXES, FLOOR BOXES, ETC SHALL BE MOUNTED WITHIN ILAB. IF ELECTRICAL CONTRACTOR DOES NOT RECEIVE WRITTEN CONFIRMATION IT WILL BE HIS RESPONSIBILITY TO RELOCATE ALL ITEMS AT NO ADDITIONAL COST TO OWNER.



Revision Schedule Description SED Submission 09/15/2020

01/08/2021 SED Submission Addendum#1 ISSUED FOR BID 01/19/2021 4 BID ADDENDUM #1



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Civil Engineer
WESTON & SAMPSON 1 Winners Circle, Suite 130 Albany, NY 12205 518-463-4400

Acoustic Consultant DP DESIGN 12 Cold Spring Street Providence, RI 401-861-3218

SED #: 6618-0001-0005-031

PROJECT

Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

HIGH SCHOOL & MIDDLE SCHOOL PART FIRST FLOOR POWER AND FA PLAN

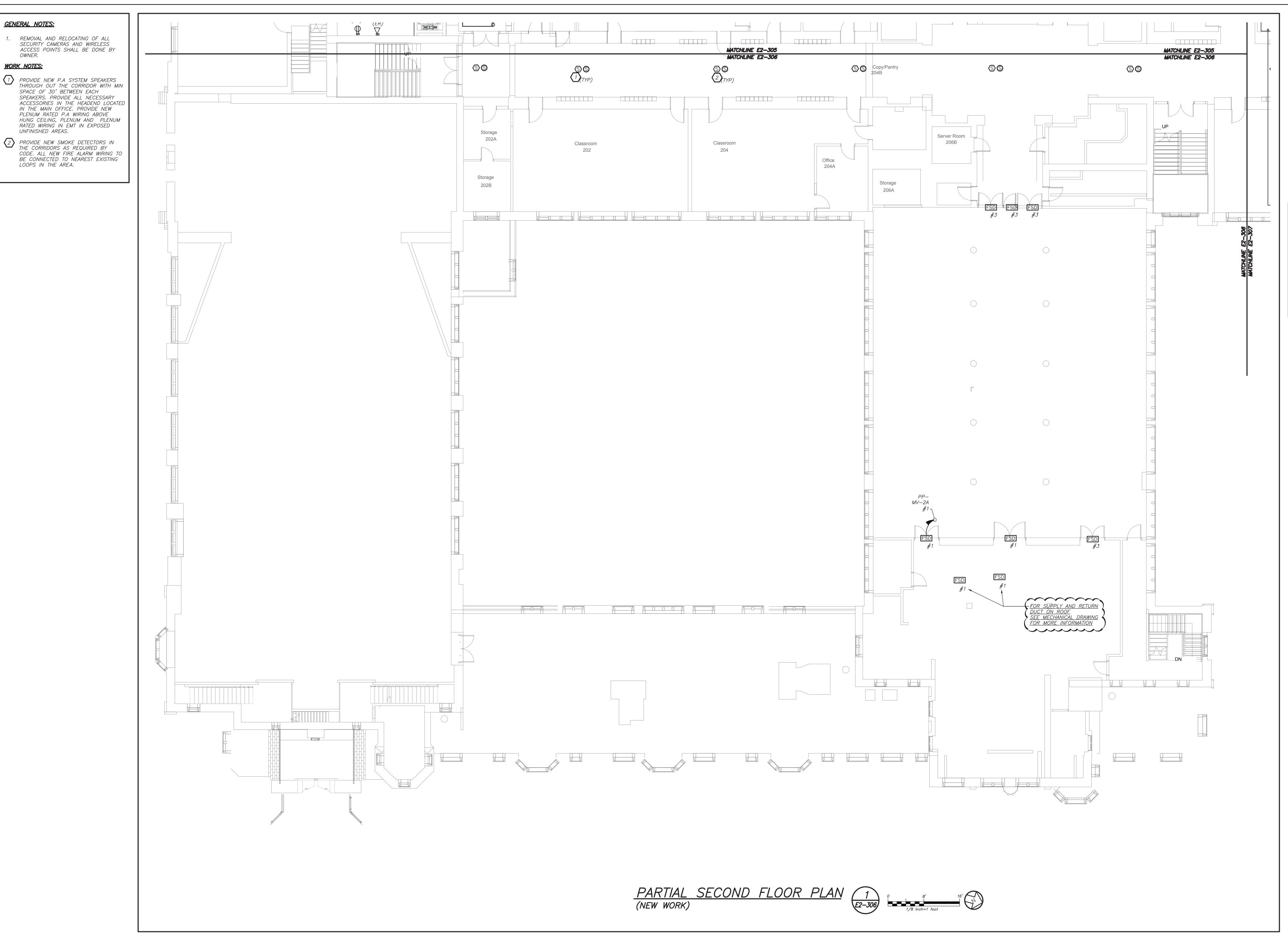
PROJECT 1 & 2

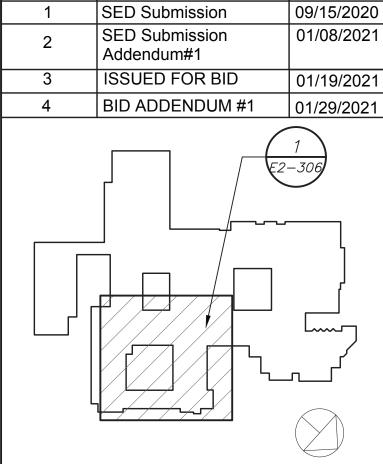
SEAL & SIGNATURE | DATE: 11/07/19

PROJECT No: 9200 DRAWING BY: BGA CHK BY: BGA DWG No: E2-304

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON JOB AND COORDINATE HIS WORK WITH THE WORK

OF ALL OTHER CONTRACTORS





Revision Schedule

Description

Date

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Civil Engineer WESTON & SAMPSON 1 Winners Circle, Suite 130 Albany, NY 12205 518-463-4400

Acoustic Consultant DP DESIGN 12 Cold Spring Street Providence, RI 401-861-3218

SED #: 6618-0001-0005-031

Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

HIGH SCHOOL & MIDDLE SCHOOL PART SECOND FLOOR POWER AND FA PLAN

PROJECT 1

SEAL & SIGNATURE | DATE: 11/07/19 PROJECT No: 9200 DRAWING BY: BGA DWG No: E2-306

OF ALL OTHER CONTRACTORS

GENERAL NOTES:

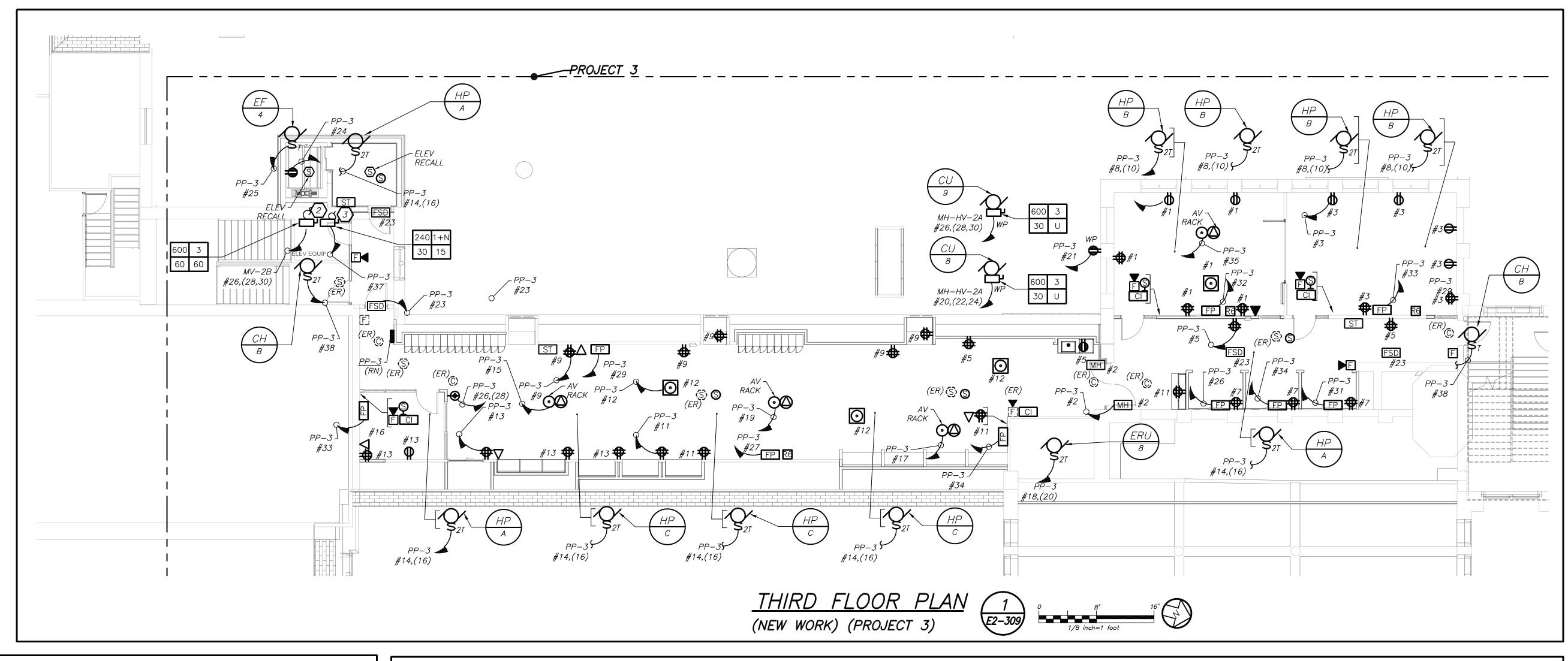
WORK NOTES:

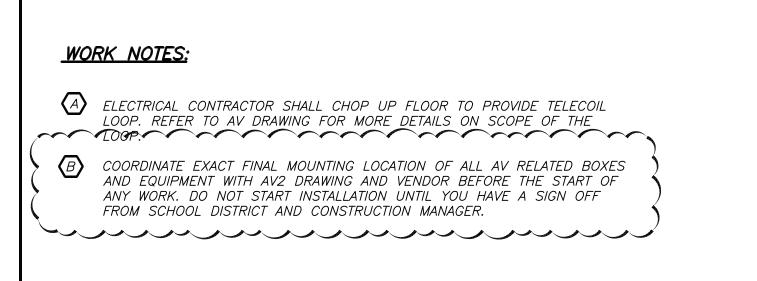
1. REMOVAL AND RELOCATING OF ALL

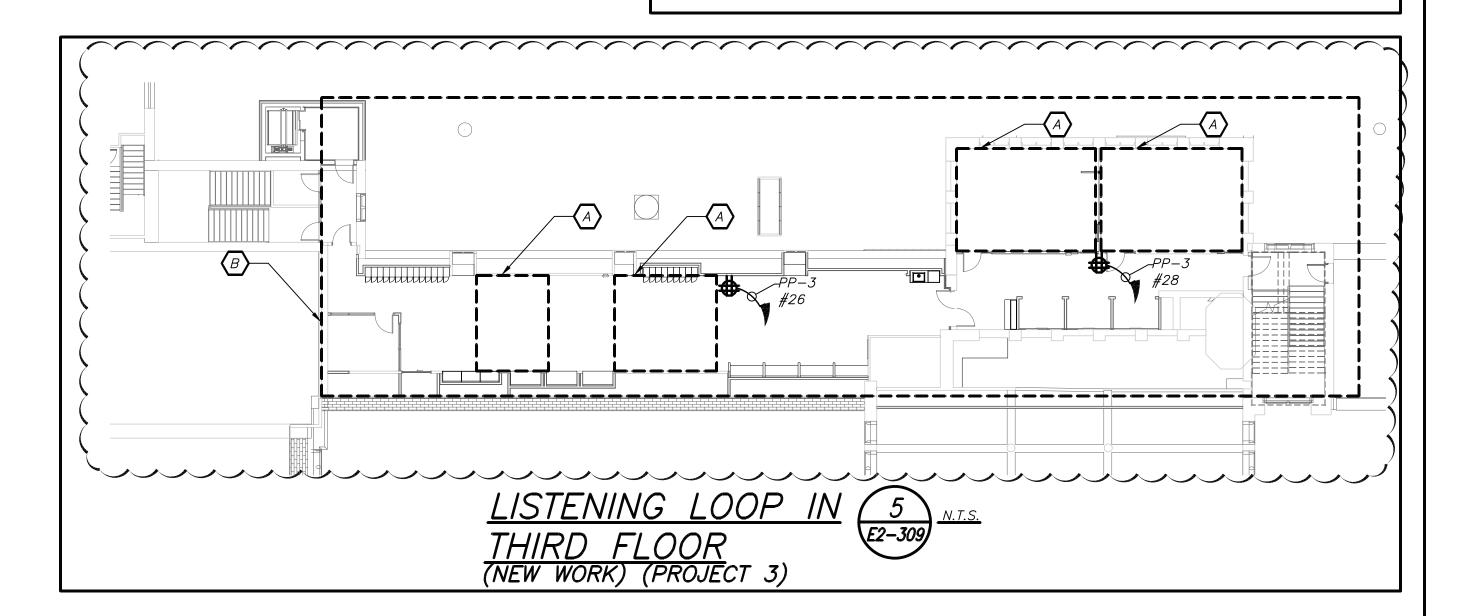
SPACE OF 30' BETWEEN EACH

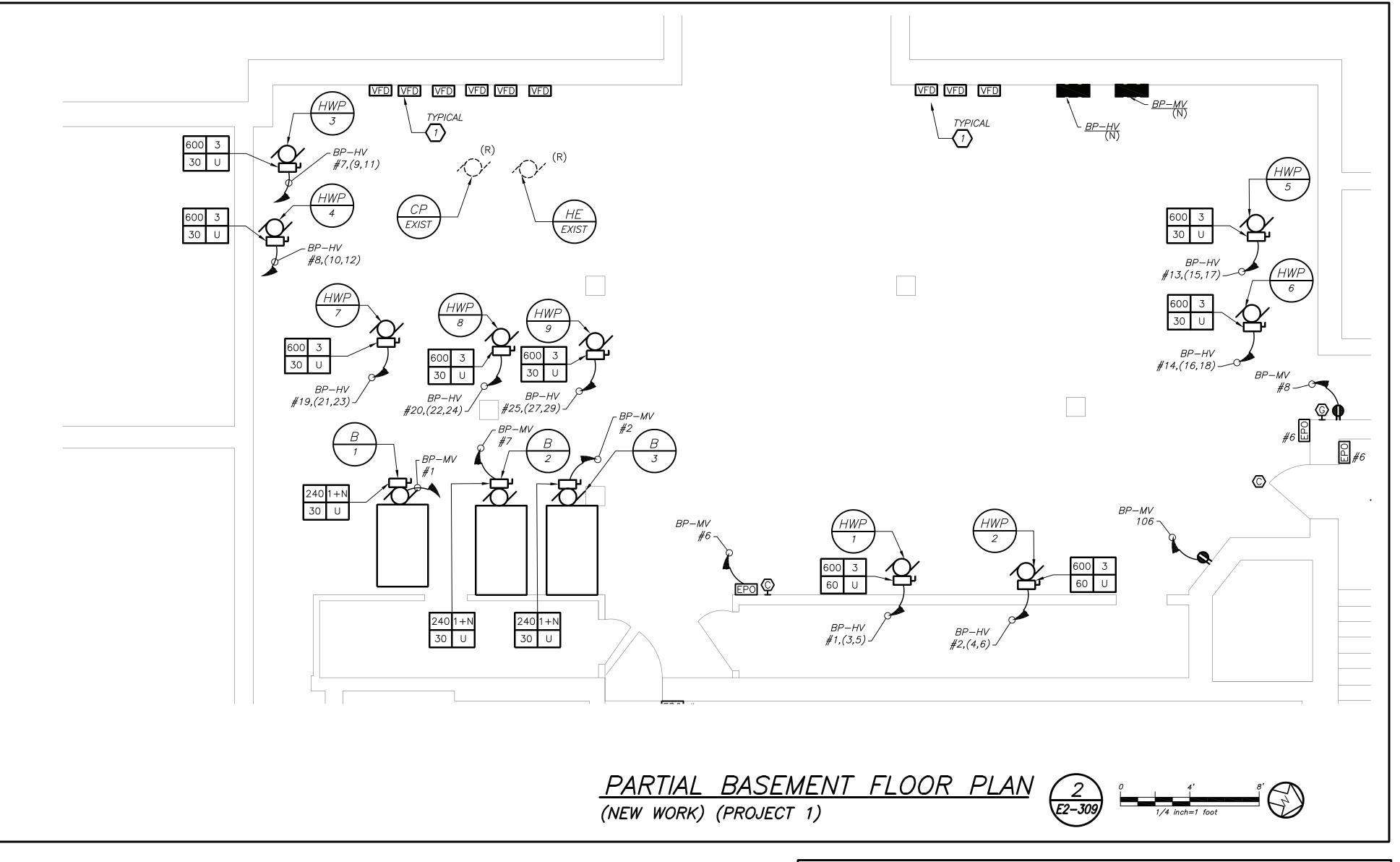
PLENUM RATED P.A WIRING ABOVE

SECURITY CAMERAS AND WIRELESS









GENERAL NOTES:

REMOVAL AND RELOCATING OF ALL SECURITY CAMERAS AND WIRELESS ACCESS POINTS SHALL BE DONE BY OWNER.
 COORDINATE EXACT FINAL LOCATION OF ALL AV RELATED BOXES AND EQUIPMENT WITH AV2 DRAWING AND VENDOR

COORDINATE EXACT FINAL LOCATION OF ALL AV RELATED
BOXES AND EQUIPMENT WITH AV2 DRAWING AND VENDOR
BEFORE THE START OF ANYWORK. ELECTRICAL CONTRACTOR
SHALL NOT START INSTALLATION UNTIL YOU THEY HAVE A SIGN
OF FROM SCHOOL DISTRICT AND CONSTRUCTION MANAGER.

WORK NOTES:

- 1) ELECTRICAL CONTRACTOR SHALL CONNECT VFD TO EACH HOT WATER PUMP.
- 2) PROVIDE 2#18 WITH DRY CONTACTS FROM PANEL MH-HV-2B TO
- 3 PROVIDE 2#18 WITH DRY CONTACTS FROM PANEL PP-3 TO DISCONNECT.
- PROVIDE RECEPTACLE FOR CHEMICAL FEED. COORDINATE EXACT LOCATION OF RECEPTACLE WITH MECHANICAL CONTRACTOR BEFORE THE START OF ANY WORK.

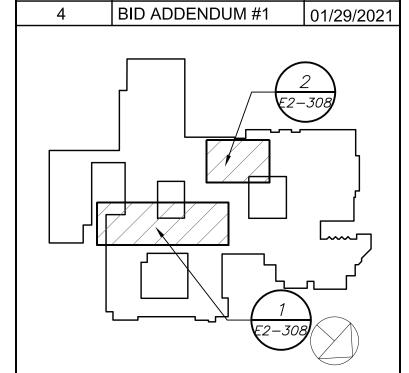
Revision Schedule

No. Description Date

1 SED Submission 09/15/2020

2 SED Submission 01/08/2021
Addendum#1

3 ISSUED FOR BID 01/19/2021



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Structural Engineer
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Acoustic Consultant
DP DESIGN
12 Cold Spring Street
Providence, RI
401-861-3218

SED #: 6618-0001-0005-031

PROJECT

Rye City School District
555 Theodore Fremd Ave, Rye, NY 10580

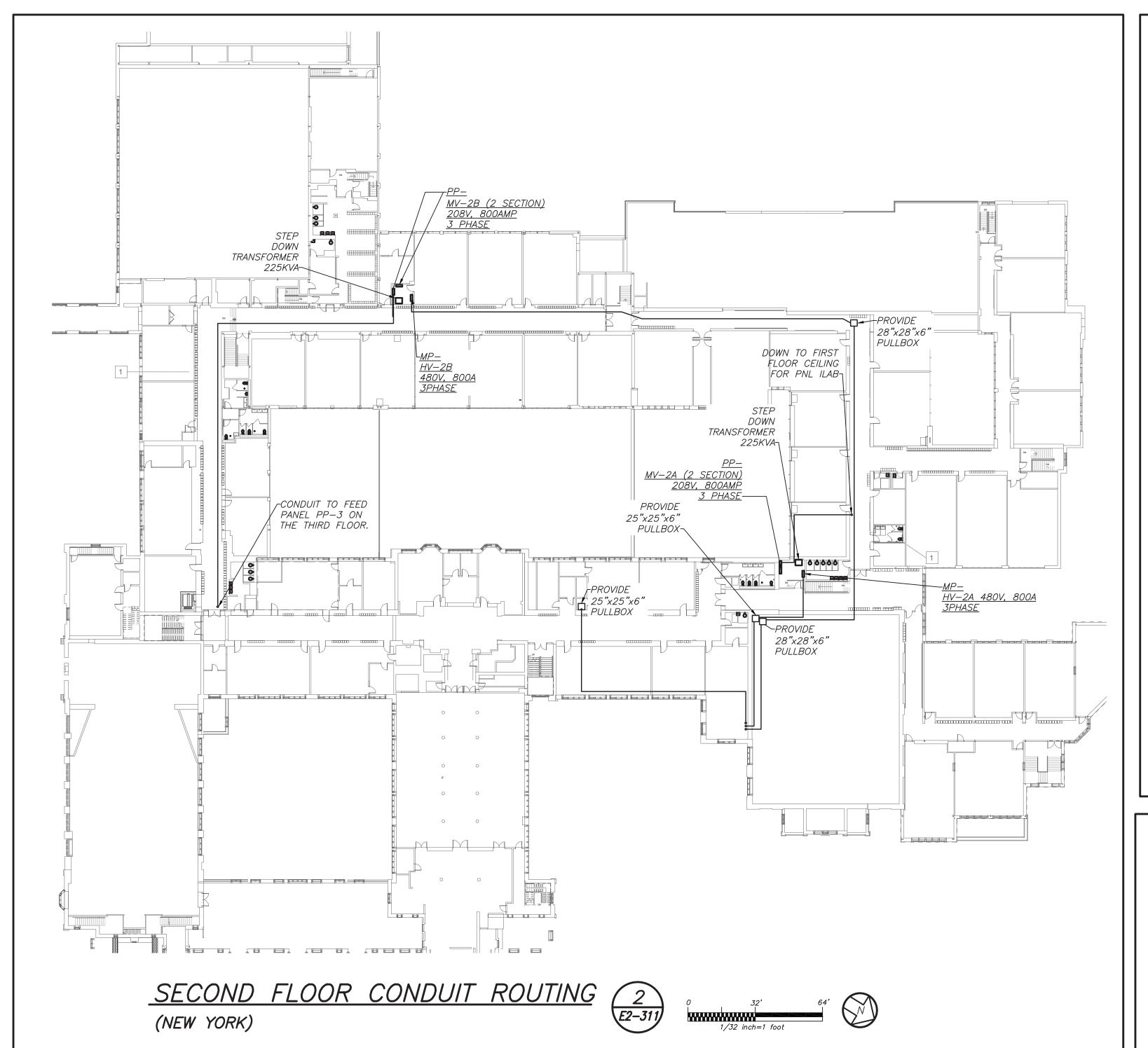
Rye High School & Middle School

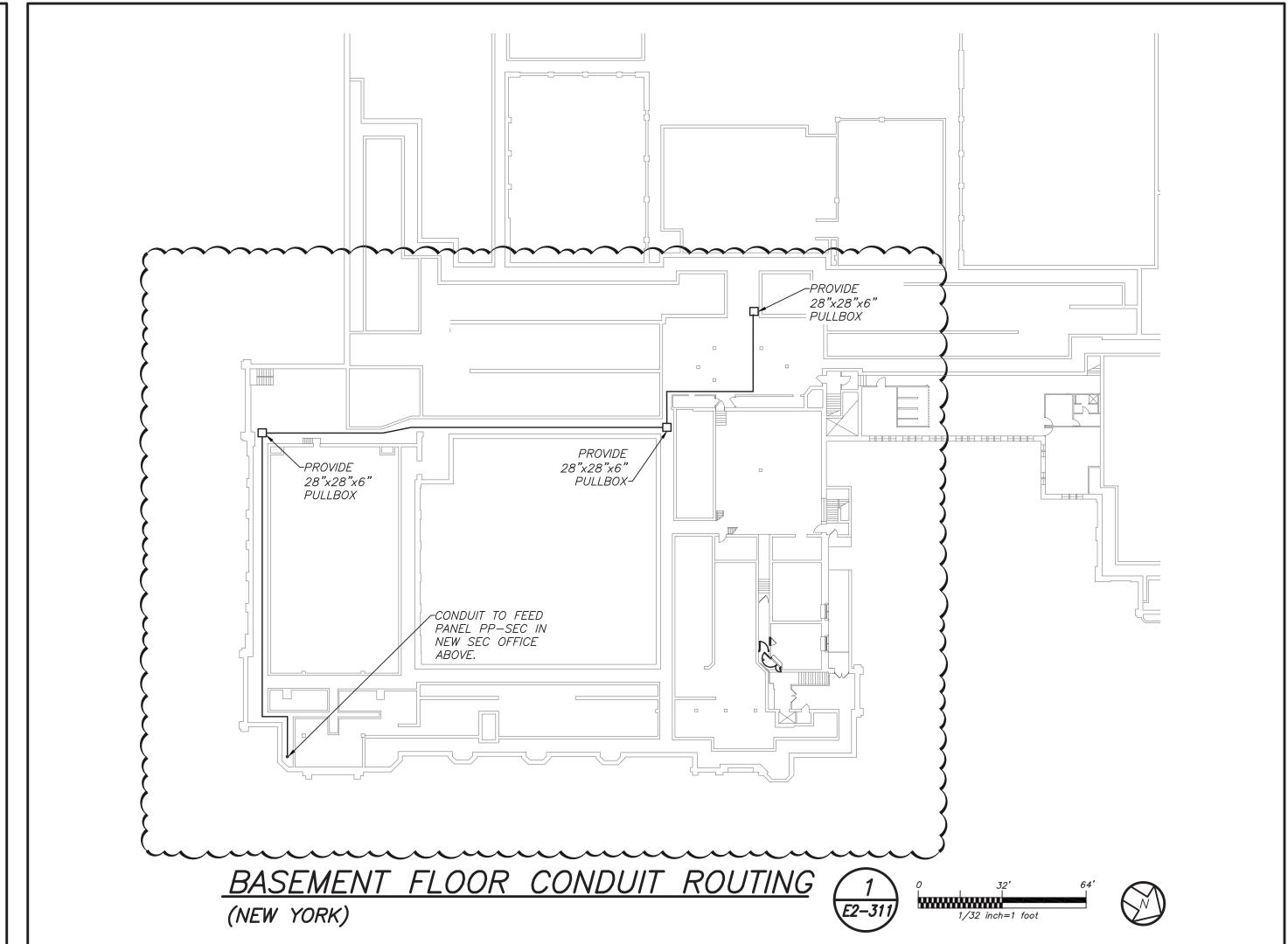
1 Parsons Street, Rye, New York 10580

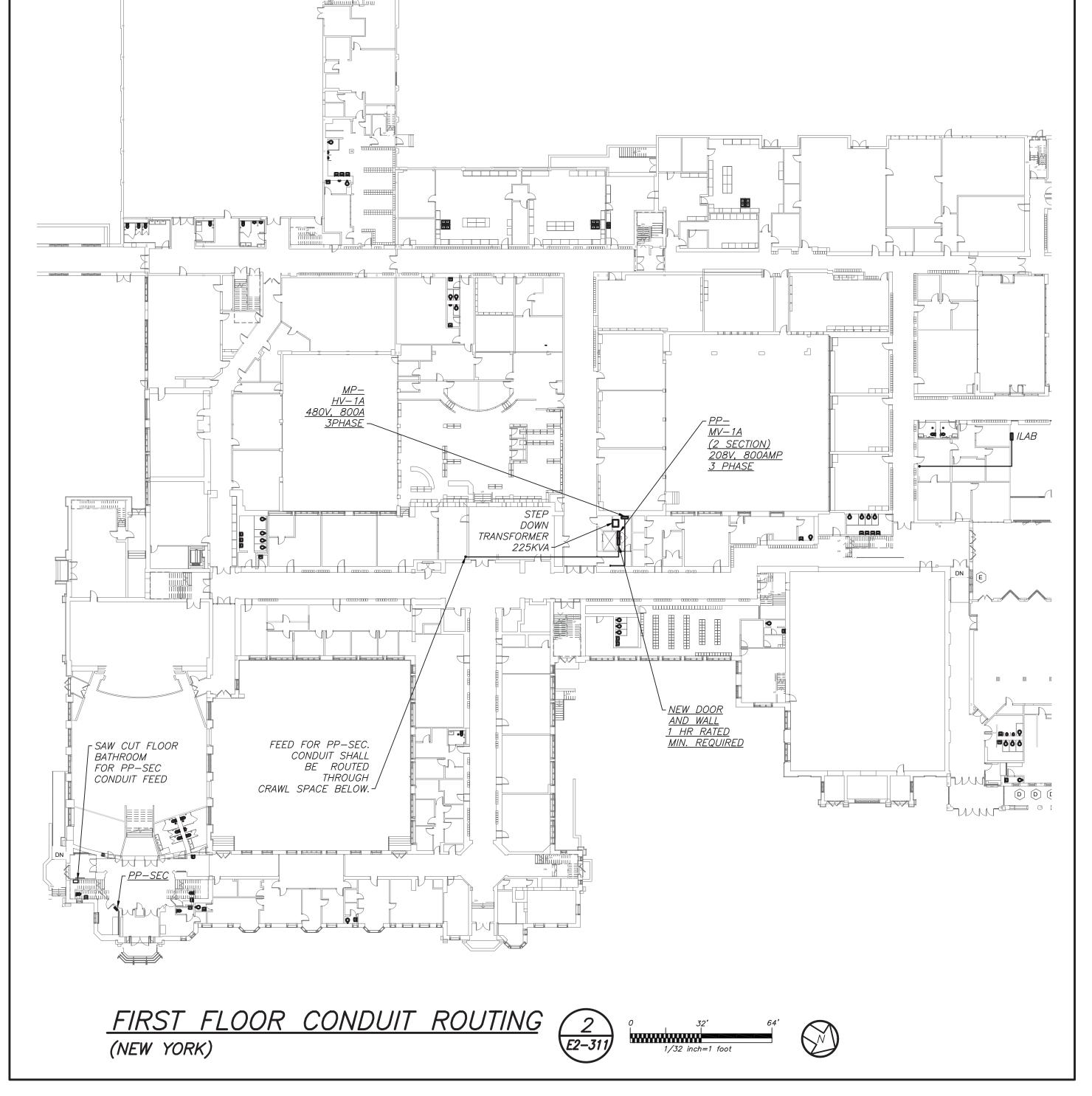
HIGH SCHOOL & MIDDLE SCHOOL PART THIRD FLOOR AND BASEMENT POWER AND FA PLAN

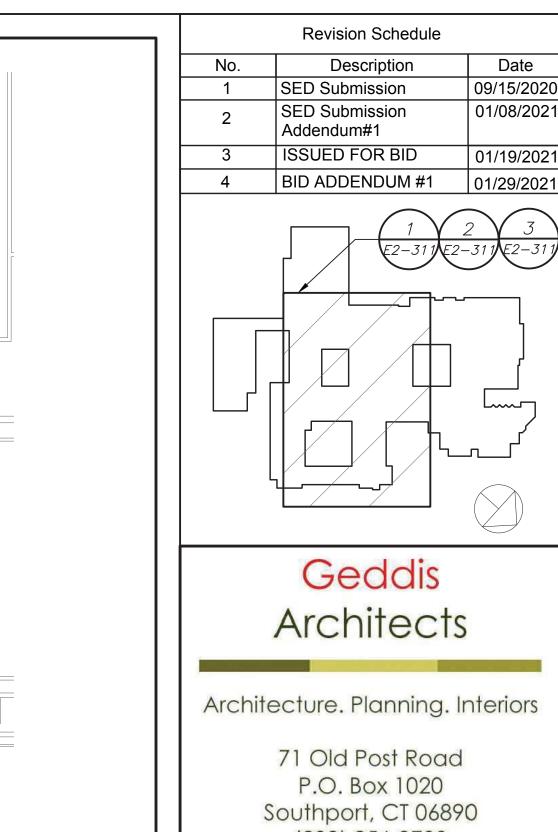
PROJECT 1 & 3

SEAL & SIGNATURE DATE: 11/07/19
PROJECT No: 9200
DRAWING BY: BGA
CHK BY: BGA
DWG No:
E2-309









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SED #: 6618-0001-0005-031

Rye City School District 555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

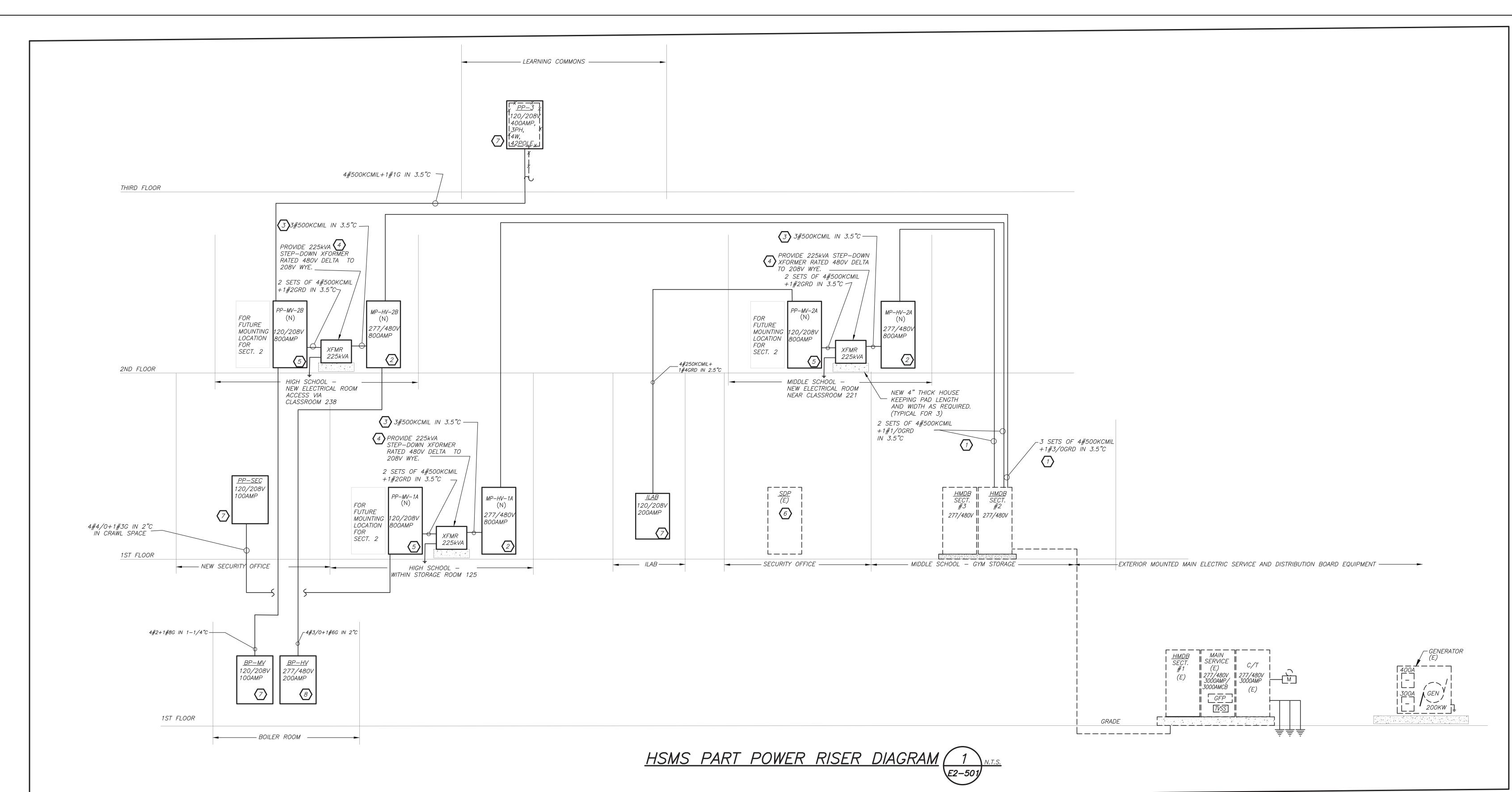
1 Parsons Street, Rye, New York 10580

HIGH SCHOOL & MIDDLE SCHOOL ELECTRICAL CONDUIT ROUTING

SEAL & SIGNATURE DATE: 11/07/19 PROJECT No: 9200

DRAWING BY: BGA DWG No: E2-311

OF ALL OTHER CONTRACTORS



WORK NOTES:

- UTILIZE THE AVAILABLE 3P-800AMP SPARE BREAKER AND PROVIDE CONDUIT AND WIRE SIZED AS INDICATED. REFER TO FLOOR PLANS FOR CONDUIT RUN.
- 2) PROVIDE NEW 277/480V DISTRIBUTION BOARD. FOR PANEL SIZE, TYPE AND CIRCUIT BREAKER ARRANGEMENT REFER TO PANEL SCHEDULE FOR ADDITIONAL INFORMATION. PROVIDE ALL REQUIRED AND NECESSARY ACCESSORIES.
- REFER TO PANEL SCHEDULE FOR BREAKER SIZE AND PROVIDE CONDUIT AND FEEDER AS INDICATED TO SERVE NEW STEP-DOWN TRANSFORMER.

 4 PROVIDE NEW PAD MOUNTED STEP-DOWN 225KVA TRANSFORMER RATED 480V DELTA TO 208V WYE. POWER SMITHS E-SAVER 2016-HP. MAINTAIN ALL CLEARANCES AND PROVIDE ALL REQUIRED AND NECESSARY ACCESSORIES.
- REFER TO SPECIFICATION FOR ADDITIONAL TRANSFORMER CRITERIA.

 5 PROVIDE NEW 120/208V PANELBOARD AND ALLOW FOR MOUNTING AREA FOR FUTURE SECTION 2. FOR PANEL SIZE, TYPE AND CIRCUIT BREAKER ARRANGEMENT REFER TO PANEL SCHEDULE FOR ADDITIONAL INFORMATION. PROVIDE ALL
- REQUIRED AND NECESSARY ACCESSORIES.

 6 PROVIDE NEW 3P-200AMP REFAKER IN AVAILABLE SPACE PROVIDE CONDUIT AND WIRE SIZED AS INDICATED. REFER TO
- PROVIDE NEW 3P-200AMP BREAKER IN AVAILABLE SPACE. PROVIDE CONDUIT AND WIRE SIZED AS INDICATED. REFER TO FLOOR PLANS FOR CONDUIT RUN.
- PROVIDE NEW 120/208V PANELBOARD. FOR PANEL SIZE, TYPE AND CIRCUIT BREAKER ARRANGEMENT REFER TO PANEL SCHEDULE FOR ADDITIONAL INFORMATION. PROVIDE ALL REQUIRED AND NECESSARY ACCESSORIES.

Revision Schedule

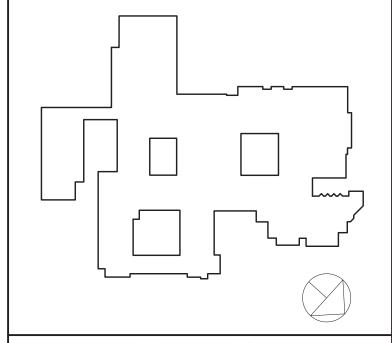
 No.
 Description
 Date

 1
 SED Submission
 09/15/2020

 2
 SED Submission Addendum#1
 01/08/2021

 3
 ISSUED FOR BID
 01/19/2021

 4
 BID ADDENDUM #1
 01/29/2021



Geddis

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PROJECT

Rye City School District
555 Theodore Fremd Ave, Rye, NY 10580

Rye High School & Middle School

1 Parsons Street, Rye, New York 10580

HIGH SCHOOL & MIDDLE SCHOOL PART ELECTRICAL RISER

SIGNATURE	DATE:	11/07/19		
	PROJECT No:	9200		
	DRAWING BY:	BGA		
	CHK BY:	BGA		
	DWG No:			
	E2-501			