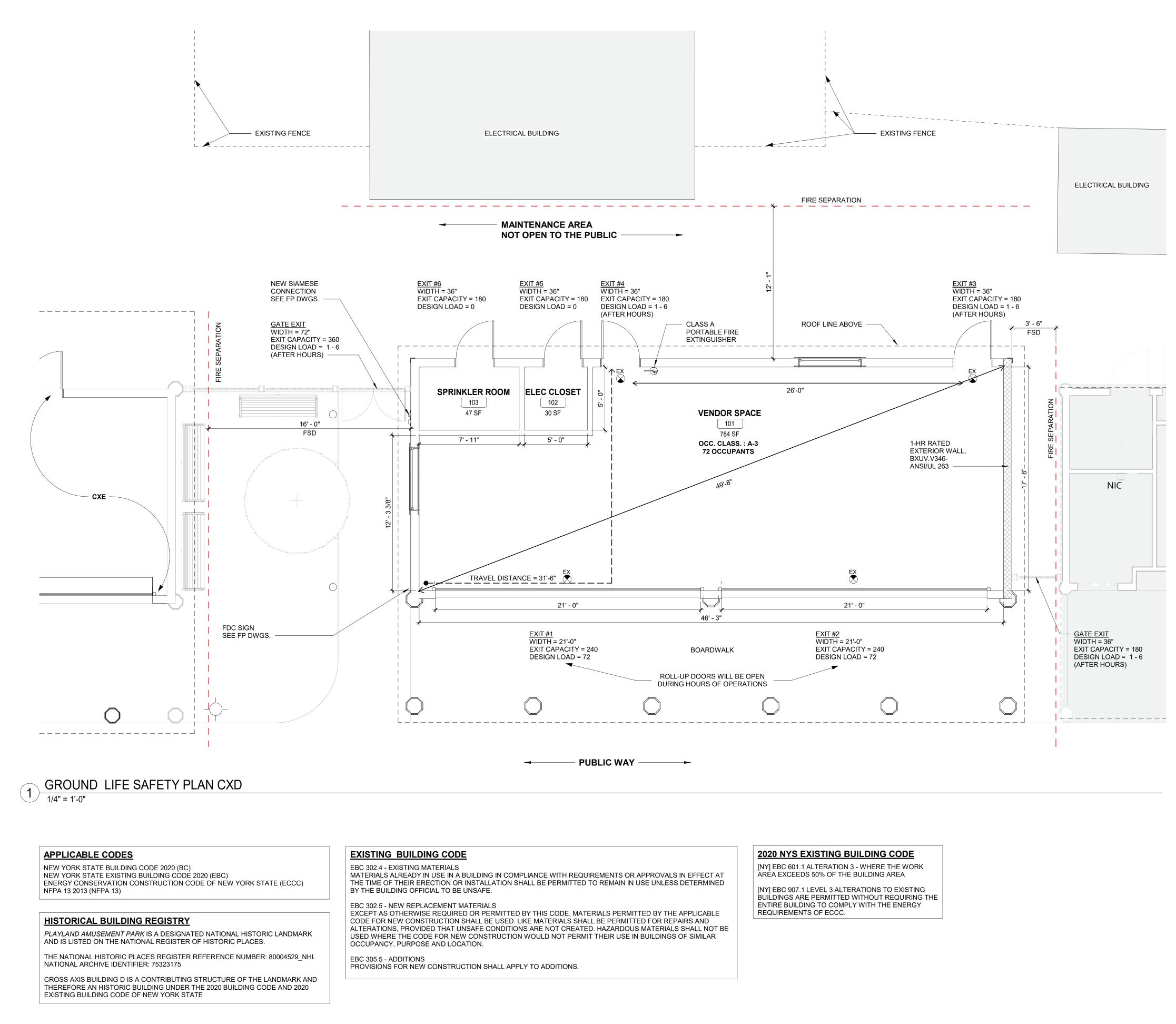






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	CONTRACTOR	PROJECT COORDINATOR	
REVISION	SIGNATURE DATE	SIGNATURE DATE	



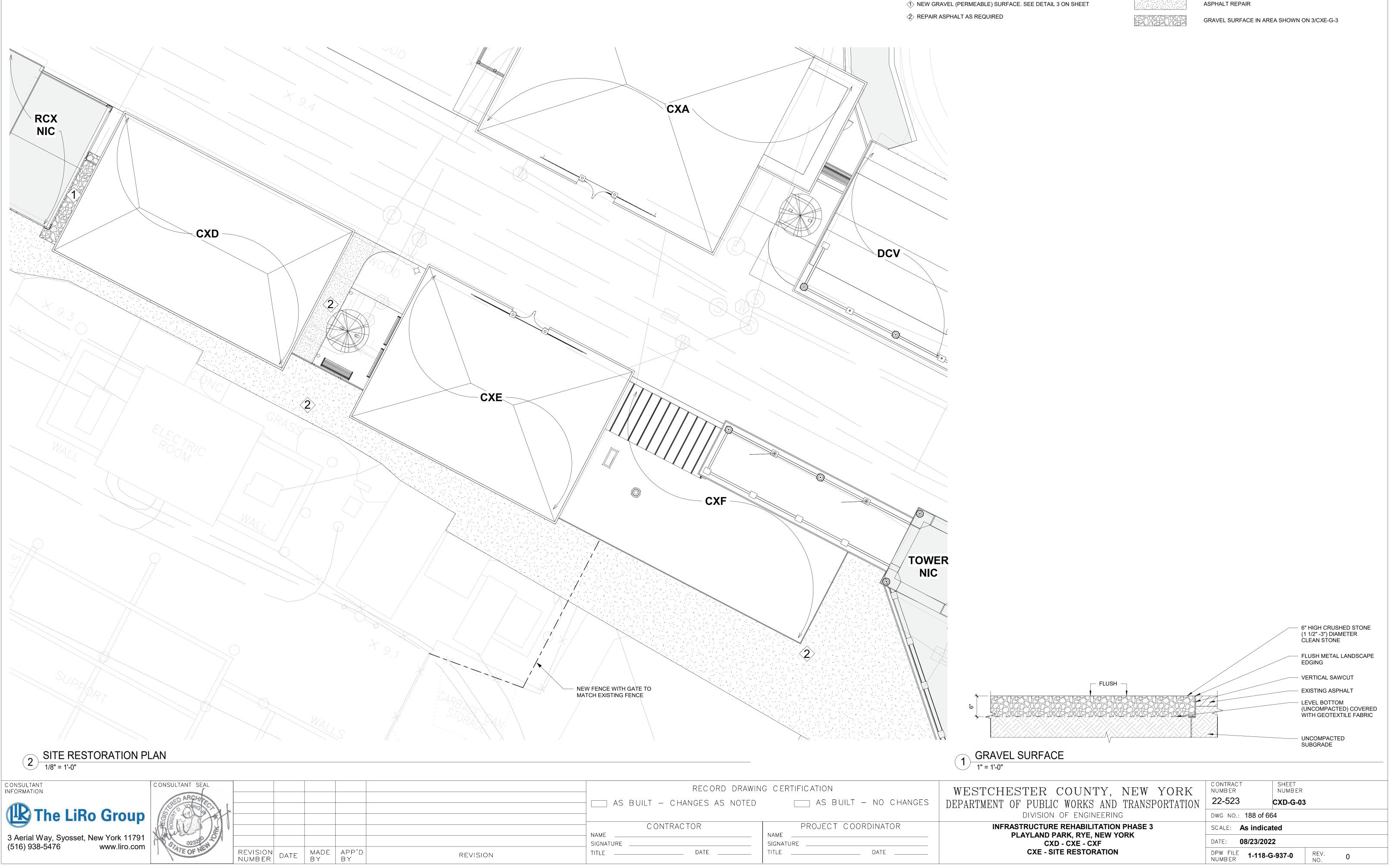


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2P'N	REVISION	CONTRACTOR NAME SIGNATURE DATE	PROJECT COORDINATOR NAME SIGNATURE DATE DATE	_
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CODE, MATERIALS PERMITTED BY THE APPLICABLE	
ERIALS SHALL BE PERMITTED FOR REPAIRS AND	
NOT CREATED. HAZARDOUS MATERIALS SHALL NOT BE	
) NOT PERMIT THEIR USE IN BUILDINGS OF SIMILAR	

2020 Building Code of New York State		
Construction Type (Tbl 601)	V B	(Fully Sprinklered)
Occupancy Classification	A-3	Arcade
Number of Stories (Tbl 504.4)	1	< 2 (max. allowable)
Height (ft) (Tbl 504.3)	20.5'	< 60 (max. allowable)
Building Area (sf) (Tbl 506.2)	860	< 24,000 (max. allowable)
Fire-Resistance Rating Requirements (Tbl 601)	Required	Proposed
Primary Structure Frame	0	0
(including Columns, Girders, Trusses)		
Bearing Walls Exterior (Tbl 602)		
Fire separation distance > = 10 ft	0	0
Interior	0	0
Nonbearing Walls and Partitions Exterior (Tbl 602)		
Fire separation distance < 5 ft	1	1
Fire separation distance > = 10 ft Interior	0	0
Floor Construction	U U	0
Including supporting beam and joists	0	0
Roof Construction Including supporting beam and joists	0	0
mendaning supporting beam and joists	Ŭ	Ŭ
Allowable Area of Openings (BC 705.8)		
Fire separation distance 5 > 3 ft (Unprotected, Sprinklered) Fire separation distance 10 > 5 ft (Unprotected, Sprinklered)	15% 25%	0% N/A
Fire separation distance 15 > 10 ft (Unprotected, Sprinklered)	45%	18%
Fire separation distance 15 ft > 20 ft (Unprotected, Sprinklered)	No limit	
Wall and Ceiling Floors - Radiant Flux	C Class II	C Class II
nterior Finishes Class (BC 803)		
Wall and Ceiling Floors - Radiant Flux	C Class II	C Class II
Portable Fire Extinguishers (BC 906)		
Fire Hazard Hazard Occupancy	Class A Ordinary	Class A Ordinary
	or annar y	
Vinimum rated single extinguisher	2-A	Class A
Vaximum floor area per unit of A Vaximum floor area for extinguisher	1,500 sf 11,250 sf	784 sf 784 sf
Maximum distance of travel to extinguisher	75'	35'
	<b>n</b>	B
Number of Type 2-A extinguishers required First Floor	Required	Provided 1
Means of Egress Max. Floor Area Allowances per Occupant (Tbl 1004.1.2) (sf)		
Amusement arcades	11	
Occupant Load Vendor (784 sf)	72	
Elec. Room (30 sf)	0	
Sprinkler Room (47 sf)	0	
Egress Width per Occupant (BC 1005)		
Other Egress Components	0.15	
Egress Width Required (inches) Vendor Space	10.8	36 provided
Note: Roll-up doors will be open during business hours	10.8	So provided
Vinimum number of Exits	Minimum	Provided
Occupant Load : 1 - 500	2	4
Discours! Distance (ft)		40.67
Diagonal Distance (ft)		49.67
Exit Configuration		
Distance between two exits > = 1/2 of the diagonal dimension (BC 1007.1.1) (ft)	24.84	26
Maximum Common Path of Egress Travel (Tbl 1006.2.1)	Permitted	Proposed
A Occupancy with Sprinkler System	75'	0'
Maximum Travel Distance (BC 1017)		
A Occupancy with Sprinkler System	250'	13'
CHESTER COUNTY, NEW YORK		SHEET IUMBER
ENT OF PUBLIC WORKS AND TRANSPORTATION	22-523 c)	(D-G-02
DIVISION OF ENGINEERING	DWG NO.: 187 of 664	
INFRASTRUCTURE REHABILITATION PHASE 3	SCALE: 1/4" = 1'-0"	
PLAYLAND PARK, RYE, NEW YORK		
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D CXD - LIFE SAFETY PLANS	DATE: 08/23/2022	36-0 REV. 0



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# SHEET NOTES

PROVIDE PROTECTION PLAN FOR APPROVAL

# **RESTORATION KEY NOTES**

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REVISION	CONTRACTOR NAME SIGNATURE TITLE DATE	PROJECT COORDINATOR NAME	

-PROVIDE PROTECTION FOR EXISTING FEATURES TO REMAIN.

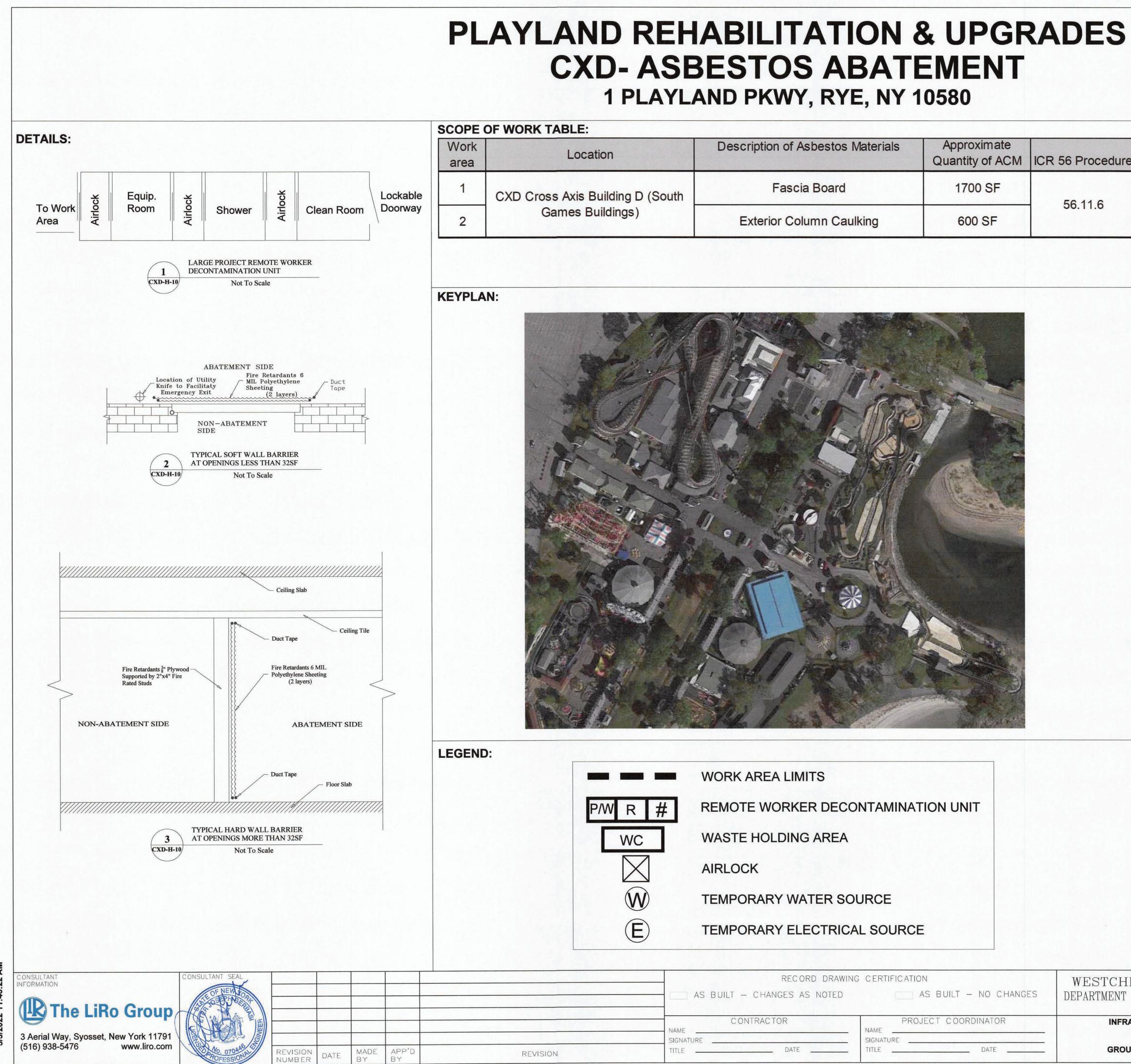
-SCHEDULE AND COMPLETE WORK AS REQUIRED TO GIVE THE SITE IMPROVEMENT CONTRACTORS ACCESS TO THEIR JOBSITE

(1) NEW GRAVEL (PERMEABLE) SURFACE. SEE DETAIL 3 ON SHEET

# **CONSTRUCTION NOTES**

-REPLACE ALL PLANTED MATTER DISTURBED DURING CONSTRUCTION UNLESS STATED OTHERWISE. -REPAIR ALL DAMAGED PARK PROPERTY INCURRED DURING CONSTRUCTION. -REPAIR ASPHALT AS REQUIRED -REPAIR SOD AS REQUIRED

# **RESTORATION LEGEND**



WORK TABLE:				
Location	Description of Asbestos Materials	Approximate Quantity of ACM	ICR 56 Prod	
CXD Cross Axis Building D (South	Fascia Board	1700 SF	EC 11	
Games Buildings)	Exterior Column Caulking	600 SF	56.11.	
		and the second	A condition of the product of the second	

	RECORD DRAWIN	RECORD DRAWING CERTIFICATION		
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	C ONTRAC TOR	PROJECT COORDINATOR		
REVISION	SIGNATURE DATE	SIGNATURE DATE		

	PROJECT NOTES:	
1.6	performed. Failure to do so shal	all conditions of the Project and is s and locations of all Work to be I not relieve the Contractor of its materials necessary to perform the
	<ol> <li>All Work shall be performed in Documents and all governing con conflicts occur between the Project rules, and regulations, the more struct</li> </ol>	des, rules, and regulations. Where the total codes, the total codes,
	<ol> <li>All abatement work shall be coordin Abatement may be phased with other</li> </ol>	
	preparation, gross removal act removal, etc. may need to be per nights and weekends). In addition required to perform the work ident	ired and approved by the Owner. uding, but not limited to, work area ivities, cleaning activities, waste formed during 'off-hours' (including on, multiple mobilizations may be tified in this project. The Contractor Work with the facility and Owner's
	<ol> <li>The Contractor shall prepare and c the posting of appropriate signage park occupants away from the area</li> </ol>	e at the entranceway that redirects
	<ol> <li>The Contractor shall use barrier ta regulated work areas closed to th trades.</li> </ol>	pe to extend the limits of the active, ne public and other non-abatement
		le for defining and coordinating the acility and DPW, as well as securing hits, and any necessary NYS DOL
		ector shall coordinate locations of egress, temporary water and power locations with the Owner and the
	<ol><li>The Contractor may need to supply they cannot be provided by facility.</li></ol>	
		oply any and all scaffolding for the tract. Scaffolding structure and ordance with local, state and federal
	11. The Contractor is to protect any ar for abatement.	nd all exposed surfaces not targeted
	12. The Contractor shall request and with any work info from the owner require protection.	receive in writing prior to preceding er regarding surfaces/materials that
	13. Regular waste generated by the a be stored securely using a closed v	batement work of this contract shall waste container.
	STER COUNTY, NEW YORK PUBLIC WORKS AND TRANSPORTATION Division of engineering	CONTRACT SI IEET NUMBER NUMBER 22-523 CXD-H-10 DWG NO.:
INFRAST	RUCTURE REHABILITATION - PHASE 3	SCALE: 189 of NOT TO SCALE

08/23/2022

REV.

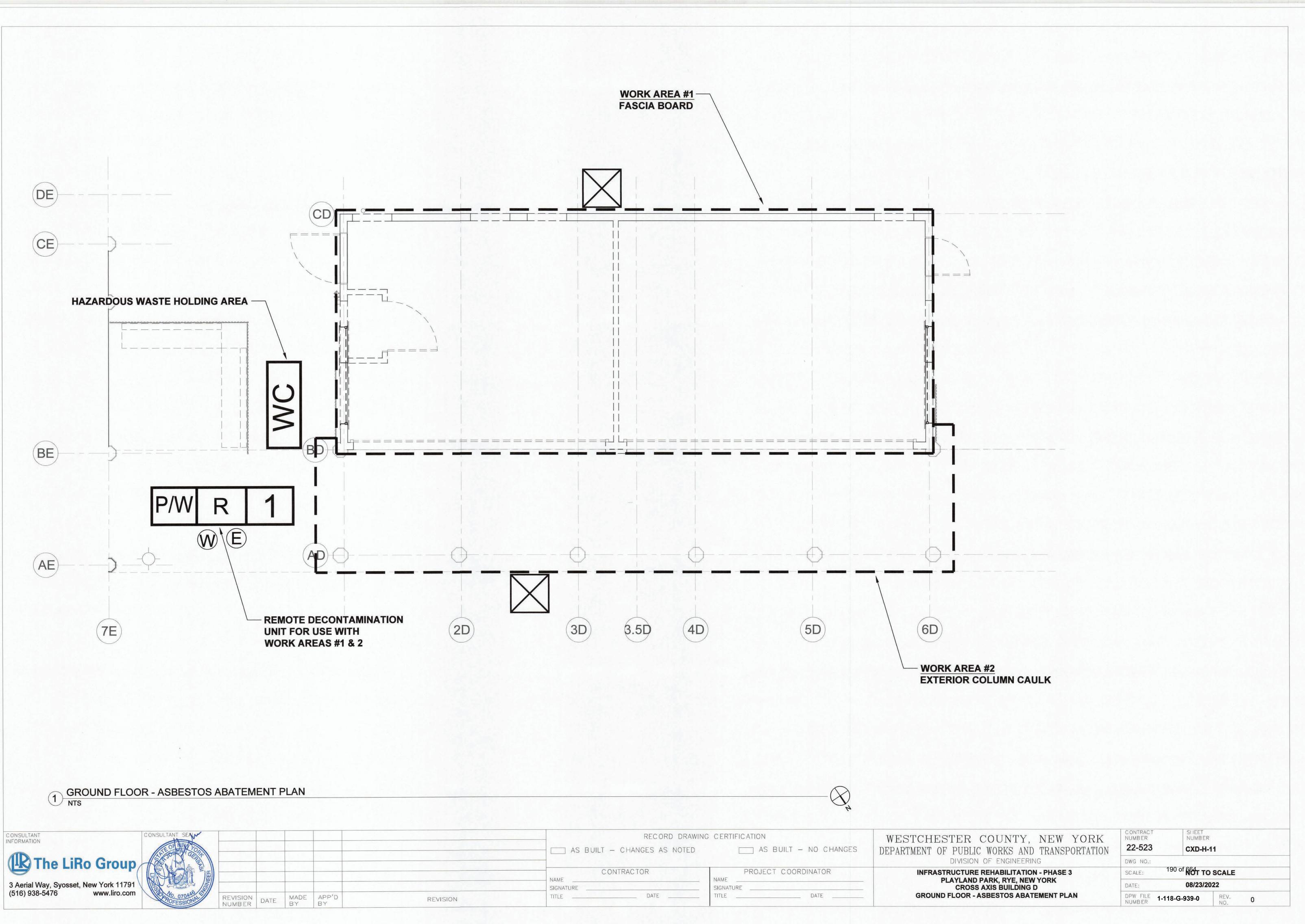
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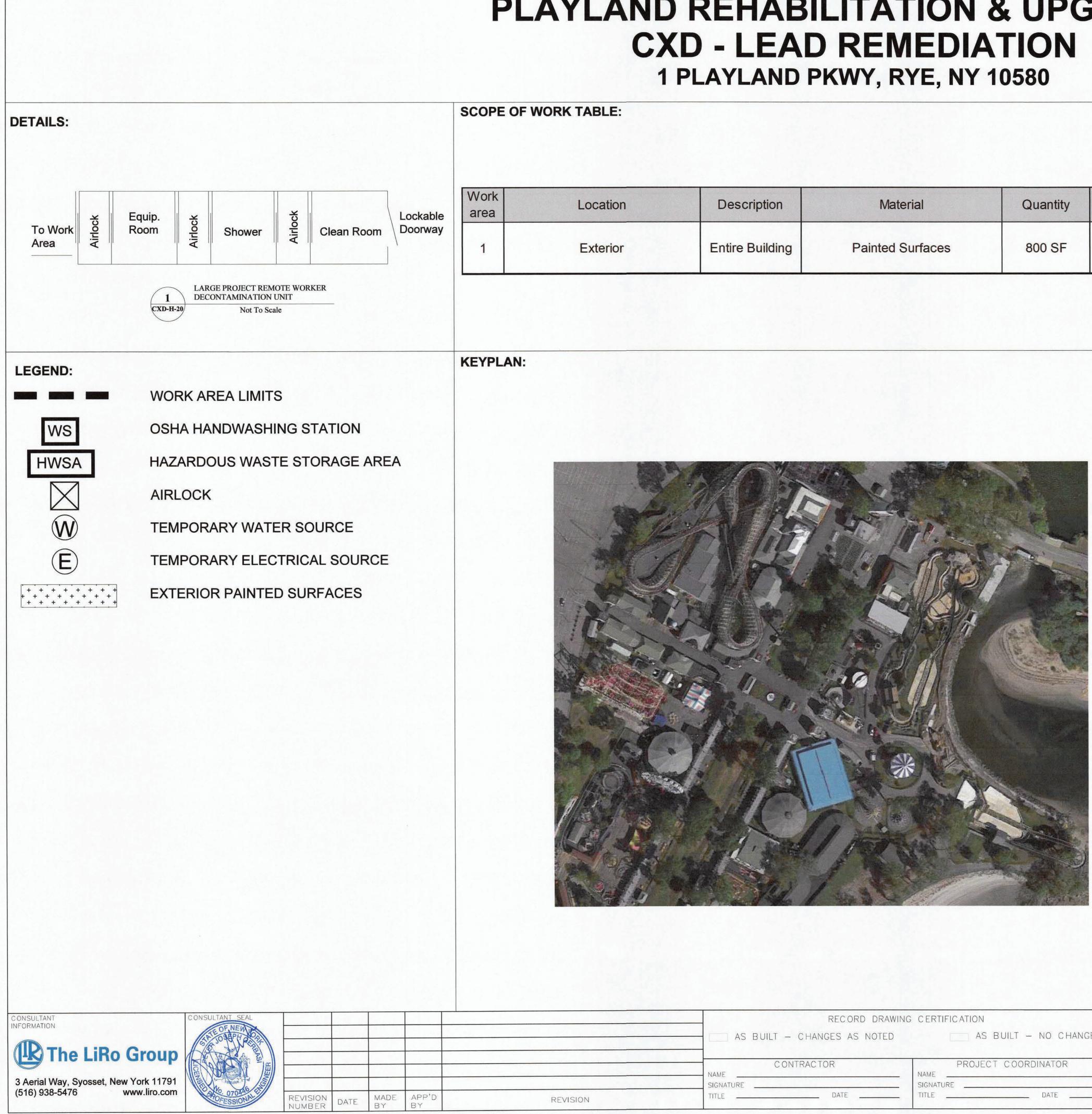
DATE:

DPW FILE 1-118-G-938-0

PLAYLAND PARK, RYE, NEW YORK

**CROSS AXIS BUILDING D GROUND FLOOR - ASBESTOS ABATEMENT PLAN** 





# **PLAYLAND REHABILITATION & UPGRADES**

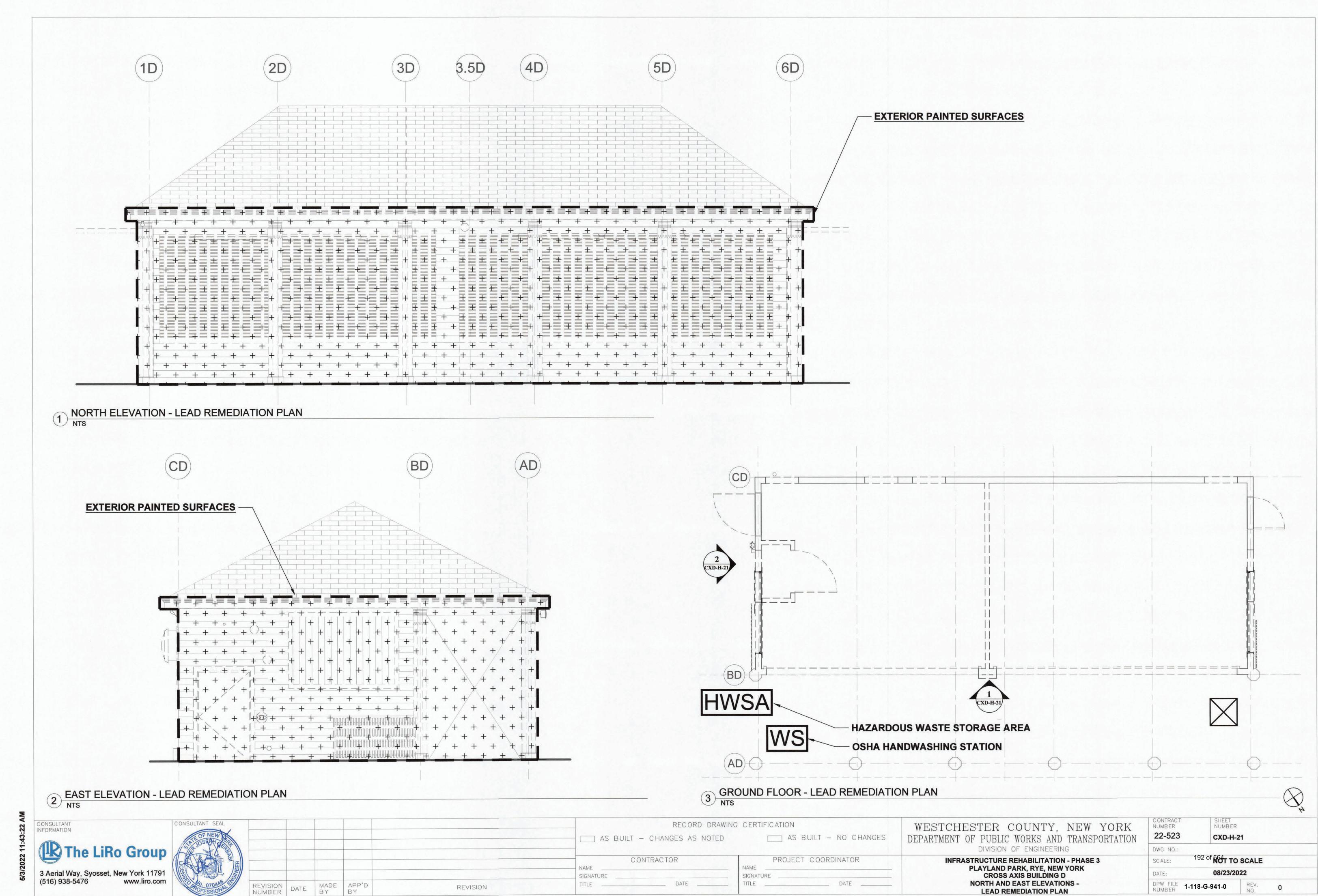
Location	Description	Material	Quantity	Procedure
Exterior	Entire Building	Painted Surfaces	800 SF	Manual Wet Scraping/Chemic Strip

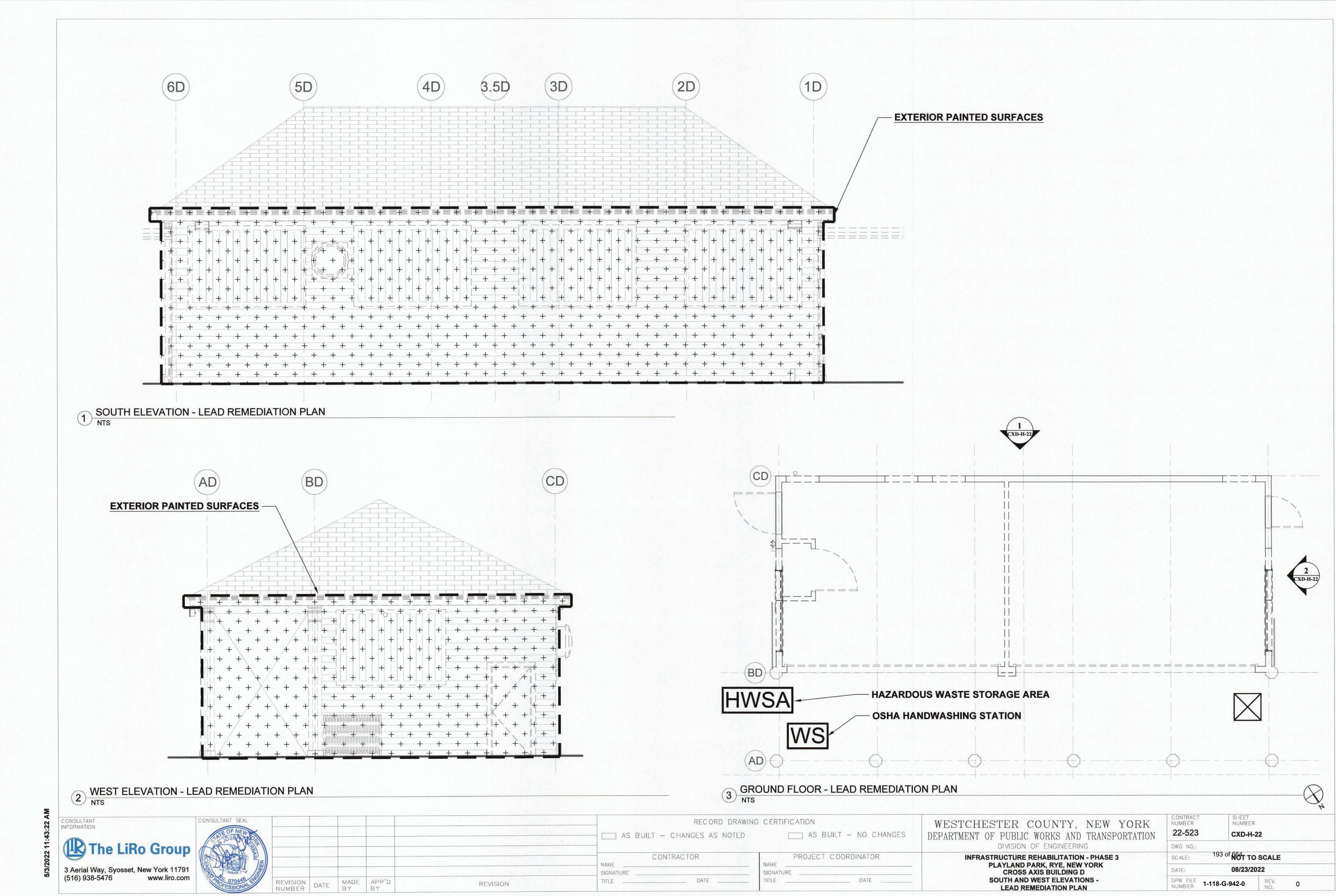
	RECORD DRAW	ING CERTIFICATION	WES
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	CONTRACTOR	PROJECT COORDINATOR	
	SIGNATURE	SIGNATURE	
REVISION	TITLE DATE	DATE	

PROJECT	NOTES:
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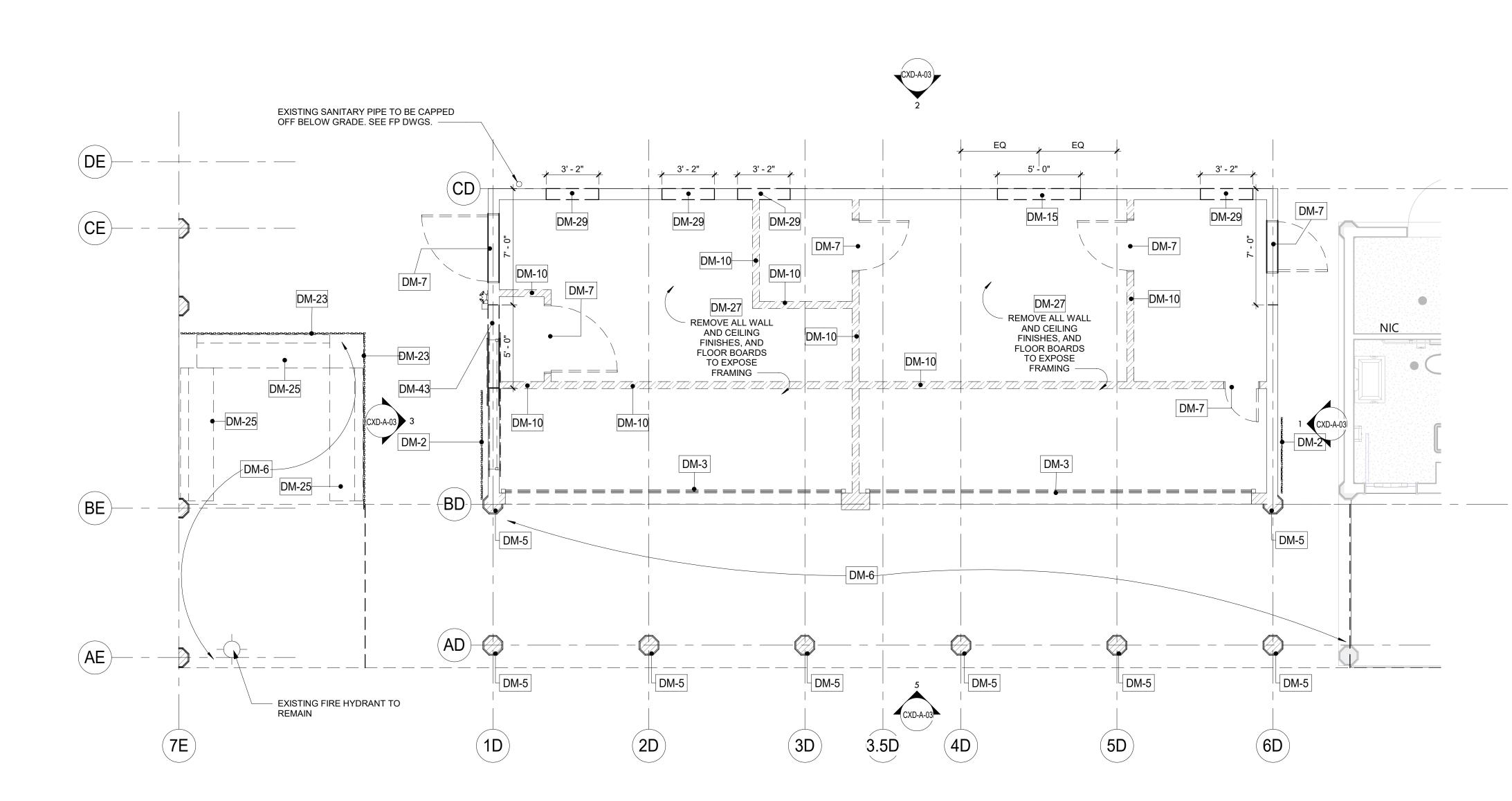
- All layers of coating shall be considered as LBP and removed down to the substrates. Substrates coated with LBP and targeted for demolition may be removed and disposed of solid structure waste following TCLP testing.
- Substrates coated with LBP and targeted for refurbish and recoating shall be abated using manual wet scraping or chemical stripping procedures, localized testing of chemical strapping products shall proceed broader use and only after approval by the DPW Environmental Consultant.
- 3. The abatement contractor shall separate paint chips and contaminated dust/particulate generated by the abatement from other project waste streams including worker personal protective equipment and plastic sheeting. All waste other than lead paint chips and contaminated dust/particulate shall be TCLP tested prior to disposal.
- Waste generated by the work of this method shall be stored on site in a NYSDEC compliant Hazardous and Waste Storage Area and transported under manifest to the disposal site.
- 5. The contractor shall prepare a project specific work plan and project specific HASP for the work of this contract.
- LBP remediation shall be consistent with guidelines from SSPC and work shall comply with the OSHA regulations including using of decontamination units and hand wash stations.
- 7. The contractor may propose alternate LBP removal procedures however, use of alternate procedures will require approval by DPW Environmental Consultant; the abatement contractor is responsible with maintaining the physical conditions and integrity of the targeted substrates, and the surrounding structures during abatement work.
- 8. The Contractor shall request and receive in writing prior to preceding with any work info from the owner regarding surfaces/materials that require protection.

STCHESTER COUNTY, NEW YORK RTMENT OF PUBLIC WORKS AND TRANSPORTATION	CONTRACT NUMBERSLIEET NUMBER22-523CXD-H-20	
DIVISION OF ENGINEERING	DWG NO .:	
INFRASTRUCTURE REHABILITATION - PHASE 3	SCALE: 191 of NOT TO SCALE	
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022	
GENERAL LEAD REMEDIATION NOTES	DPW FILE 1-118-G-940-0 REV. 0	)





	CONTRACTOR	PROJECT COORDINATOR
	NAME	NAME
	SIGNATURE	SIGNATURE
REVISION	TITLE DATE	TITLE DATE



# **GROUND FLOOR DEMOLITION PLAN CXD** 1/4" = 1'-0"



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	REVISION NUMBER	DATE	MADE BY	APP'D BY	

	RECORD DRAWIN	IG CERTIFICATION	WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	C ONTRACT NUMBERSHEET NUMBER22-523CXD-A-01
	CONTRACTOR	PROJECT COORDINATOR	DIVISION OF ENGINEERING INFRASTRUCTURE REHABILITATION PHASE 3	DWG NO.: 194 of 664 SCALE: As indicated
REVISION	- NAME	NAME SIGNATURE DATE	PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D CXD - GROUND FLOOR DEMOLITION PLAN	DATE: 08/23/2022 DPW FILE 1-118-A-943-0 REV. 0 NUMBER 0

# **DEMOLITION LEGEND**

	- INDICATES DEMOLITION
DM - #	DEMOLITION KEY NOTES
	SHINGLES TO BE REMOVE

NIC INDICATES N.I.C.

# **DEMOLITION NOTES:**

1.	THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM/HERSELF WITH EXISTING
	CONDITIONS AND REQUIREMENTS OF THE WORK. THE GENERAL CONTRACTOR SHALL FIELD VERIFY

- EXACT QUANTITIES OF ALL ITEMS TO BE REMOVED. 2. THE CONTRACTOR SHALL PHOTOGRAPH AND DOCUMENT EXISTING HISTORIC DECORATIVE TRIMS
- INCLUDING SIZES AND PROFILES PRIOR TO ENVIRONMENTAL REMEDIATION WORK START.
   ITEMS TO BE REMOVED / DEMOLISHED AS INDICATED ON THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. THE DRAWINGS DO NOT REPRESENT IN DETAIL ALL ITEMS OR SITUATIONS THAT MAY BE ENCOUNTERED DURING THE DEMOLITION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE, PROTECT, AND MAKE CORRECTIONS AS REQUIRED TO ACHIEVE DRAWING INTENT. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY
- STRUCTURAL NONCONFORMITY TO PLANS AND SPECIFICATIONS.
  PLAYLAND RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF PLAYLAND RETAINS ANY MATERIAL THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE PLAYLAND'S SUPERINTENDENT TO HAVE THOSE MATERIALS REMOVED AND STORED OFF SITE AT NO ADDITIONAL COST.
- DEMOLITION OF THE EXISTING BUILDING SHALL INCLUDE REMOVAL OF THE EXISTING FOUNDATIONS FOR THEIR ENTIRE DEPTH TO ACCOMMODATE INSTALLATION OF NEW FOUNDATIONS.
   THE CONTRACTOR SHALL USE EXTREME CAUTION IN AREAS OF DEMOLITION WHICH MAY DISTURB EXISTING STRUCTURES. TEMPORARY SHORING, BARRICADES, DUST PARTITIONS, ETC. SHALL BE
- PROVIDED AS REQUIRED TO PROTECT ALL EXISTING STRUCTURES AND PROPERTY.
  7. SEE STRUCTURAL, ELECTRICAL, SPRINKLER, AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- VERIFY LOCATION OF EXISTING STRUCTURES AND SHORE UP ROOF/FLOOR ABOVE AS REQUIRED BEFORE REMOVING WALL.
   REMOVAL OF ALL CEILINGS AND MOUNTED ITEMS THROUGHOUT THE CONTRACT AREA INCLUDE

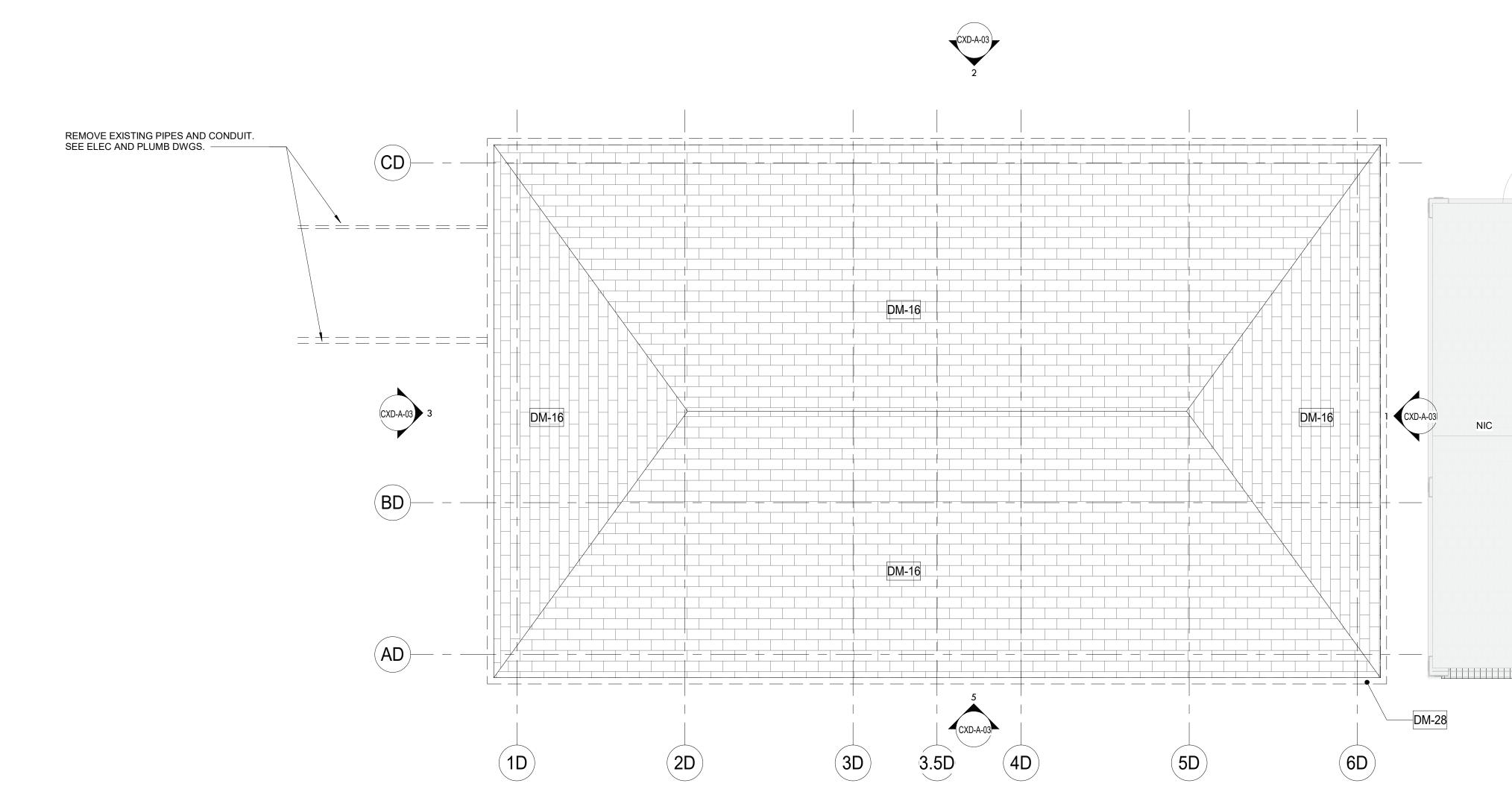
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- REMOVE ALL EXISTING ELECTRICAL AND PLUMBING LINES NOT TO BE RE-USED. CAP PLUMBING LINES AS REQUIRED. ELECTRICAL WIRING SHALL BE DISCONNECTED BACK TO THE NEAREST ACTIVE LOCATION. ALL ABANDONED COMMUNICATION CABLES (DATA, TELEPHONE, FIRE ALARM, AND AUDIO/VIDEO CABLES) SHALL BE REMOVED TO SOURCE IF NOT TAGGED FOR FUTURE USE.
- 12. DEMOLITION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OF THIS CONTRACT. CONTRACTOR TO "CUT OFF" ALL NECESSARY UTILITIES REQUIRED TO OBTAIN DESIRED RESULTS. CONTRACTOR TO OBTAIN "SHUT OFF" APPROVALS FROM PLAYLAND PRIOR TO SCHEDULED DEMOLITION.
- THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING CONSTRUCTION DISTURBED BY THE WORK AND PREPARE FOR NEW FINISH AS SHOWN ON THE INTERIOR ELEVATIONS.
   THE EXISTING WOOD FLOOR SHALL BE CLEANED TO ALLOW FOR THE APPLICATION OF NEW FLOOR COATING.
- 15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING UP AND HAULING AWAY OF ALL TRASH AND DEBRIS ON A REGULAR BASIS DURING THE CONSTRUCTION PERIOD.
- ALL DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A LEGAL MANNER.
   EXISTING EXITS SHALL REMAIN FULLY ACCESSIBLE AND UNOBSTRUCTED DURING THE PROGRESS OF THE WORK.

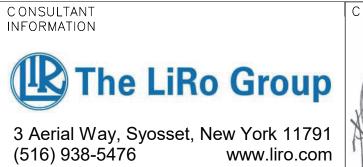
# **DEMO KEYNOTES**

DM-2	REMOVE EXISTING GATE.
DM-3	REMOVE ROLL DOWN DOOR AND ASSOCIATED HARDWARE.
DM-5	REMOVE COLUMN ENCLOSURES. CAREFULLY REMOVE AT LEAST ONE COLUMN ENCLOSURE TO USE AS REFERENCE IN ORDER TO REPLICATE TRIMS TO MATCH LOCATION, SIZE AND SHAPE AS INDICATED. COORDINATE WITH STRUCTURAL DRAWINGS.
DM-6	REMOVE EXISTING WOOD DECKING. (COORDINATE EXTENT OF REMOVAL REQUIRED TO REPAIR FLOOR JOISTS TO REMAIN AS NEEDED - SEE STRUCTURAL DRAWINGS).
DM-7	REMOVE EXISTING DOOR & FRAME.
DM-10	REMOVE INTERIOR PARTITION.
DM-15	REMOVE EXISTING WINDOWS WALL INFILL.
DM-23	REMOVE EXISTING FENCE.
DM-25	REMOVE EXISTING BENCHES.
DM-27	REMOVE EXISTING FLOORING.
DM-29	REMOVE SECTION OF EXISTING WALL. PROVIDE HEADER AS REQUIRED TO CREATE A DOOR OPENING. SEE ELEVATIONS FOR EXTENT.
DM-43	REMOVE SECTION OF EXISTING WALL. PROVIDE HEADER AND SILL AS REQUIRED TO CREATE A WINDOW OPENING. SEE ELEVATIONS.











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	REVISION NUMBER	DATE	MADE BY	APP'D By	

	RECORD DRAWIN	NG CERTIFICATION	WESTCHESTER COUNTY, NEW YORK	CONTRACT SHEET NUMBER NUMBER
	AS BUILT - CHANGES AS NOTED	AS BUILT - NO CHANGES	DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523 схр-а-о2
			DIVISION OF ENGINEERING	DWG NO.: 195 of 664
	CONTRACTOR	PROJECT COORDINATOR	INFRASTRUCTURE REHABILITATION PHASE 3	SCALE: As indicated
	NAME 	NAME	PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022
REVISION	TITLE DATE	TITLE DATE	CXD - ROOF DEMOLITION PLAN	DPW FILE <b>1-118-A-944-0</b> REV. <b>0</b> NO.

# **DEMOLITION LEGEND**

	- INDICATES DEMOLITION
DM - #	DEMOLITION KEY NOTES
	SHINGLES TO BE REMOVED

NIC INDICATES N.I.C.

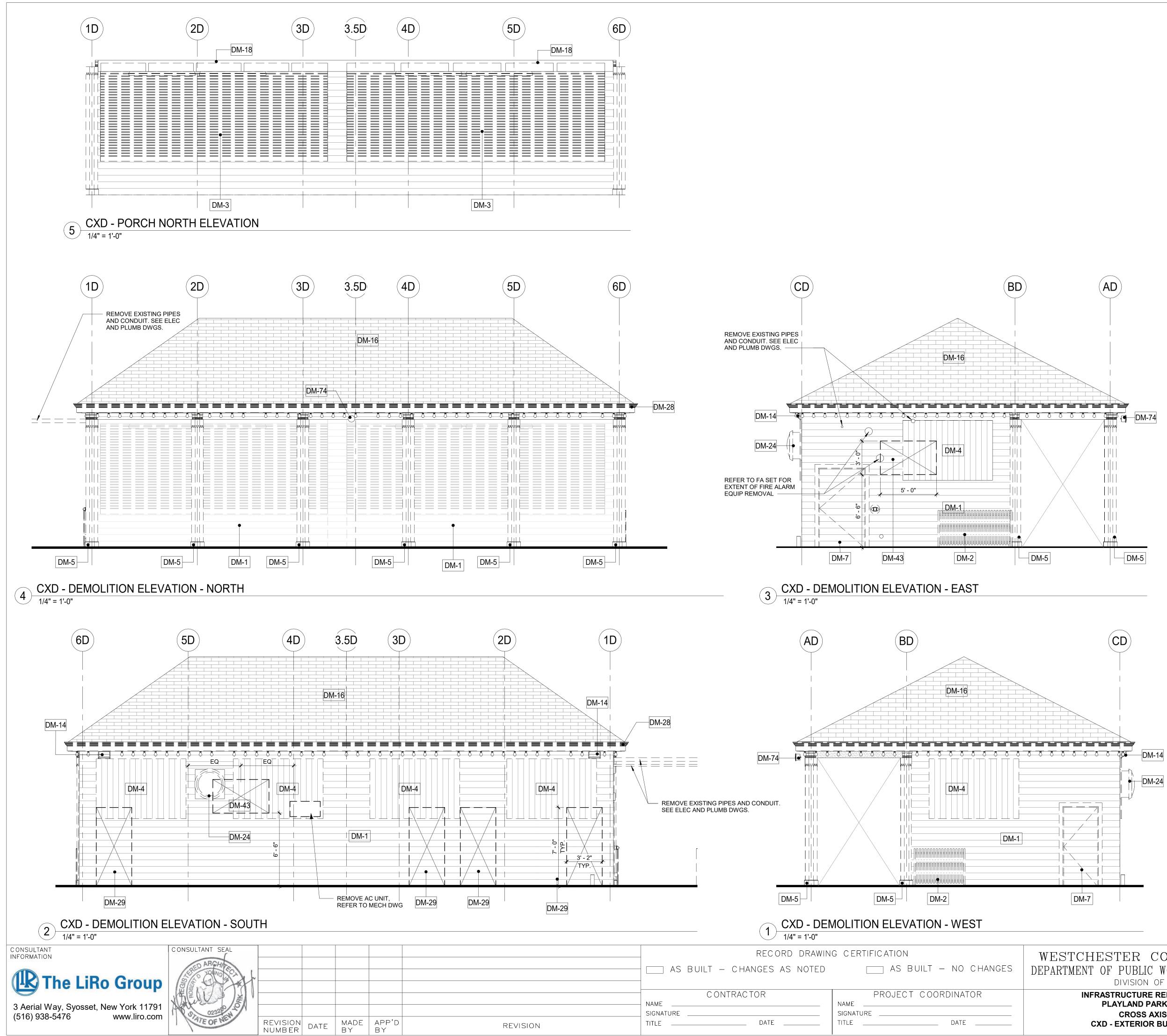
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- 2. THE CONTRACTOR SHALL PHOTOGRAPH AND DOCUMENT EXISTING HISTORIC DECORATIVE TRIMS INCLUDING SIZES AND PROFILES PRIOR TO ENVIRONMENTAL REMEDIATION WORK START. 3. ITEMS TO BE REMOVED / DEMOLISHED AS INDICATED ON THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. THE DRAWINGS DO NOT REPRESENT IN DETAIL ALL ITEMS OR SITUATIONS THAT MAY BE ENCOUNTERED DURING THE DEMOLITION. IT IS THE
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- 6. THE CONTRACTOR SHALL USE EXTREME CAUTION IN AREAS OF DEMOLITION WHICH MAY DISTURB EXISTING STRUCTURES. TEMPORARY SHORING, BARRICADES, DUST PARTITIONS, ETC. SHALL BE PROVIDED AS REQUIRED TO PROTECT ALL EXISTING STRUCTURES AND PROPERTY.
- 7. SEE STRUCTURAL, ELECTRICAL, SPRINKLER, AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK. 8. VERIFY LOCATION OF EXISTING STRUCTURES AND SHORE UP ROOF/FLOOR ABOVE AS REQUIRED
- BEFORE REMOVING WALL. 9. REMOVAL OF ALL CEILINGS AND MOUNTED ITEMS THROUGHOUT THE CONTRACT AREA INCLUDE
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# **CONSTRUCTION KEYNOTES**

	REMOVE EXISTING ROOFING SHINGLES, UNDERLAYMENT AND ANY ROTTED WOOD SHEATHING. REPLACE DAMAGED SHEATHING TO MATCH EXISTING. COORDINATE WITH A/E.
DM-28	REMOVE EXISTING GUTTER, FASCIA, AND SOFFITS.





# **DEMOLITION LEGEND**

- INDICATES DEMOLITION
DEMOLITION KEY NOTES
SHINGLES TO BE REMOVED
INDICATES N.I.C.

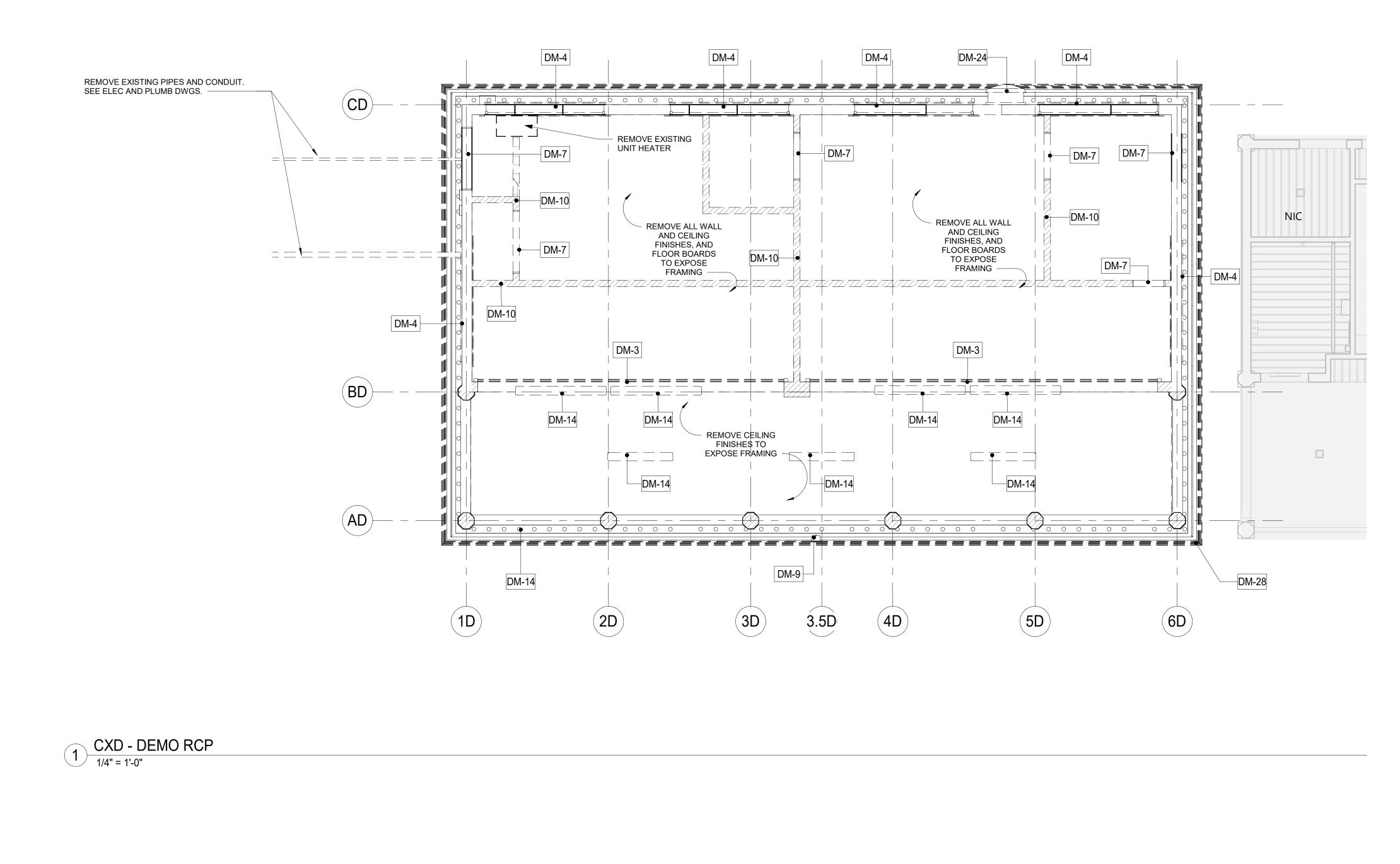
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- 9. REMOVAL OF ALL CEILINGS AND MOUNTED ITEMS THROUGHOUT THE CONTRACT AREA INCLUDE ANCHORING HARDWARE, AND MISCELLANEOUS FASTENINGS, ETC. 10. WALLS SHALL BE REMOVED AS INDICATED ON DEMOLITION PLANS. ALL UTILITIES IN WALL SHALL BE
- CUT TO BELOW SLAB OR ABOVE THE CEILING. 11. REMOVE ALL EXISTING ELECTRICAL AND PLUMBING LINES NOT TO BE RE-USED. CAP PLUMBING LINES AS REQUIRED. ELECTRICAL WIRING SHALL BE DISCONNECTED BACK TO THE NEAREST ACTIVE LOCATION. ALL ABANDONED COMMUNICATION CABLES (DATA, TELEPHONE, FIRE ALARM, AND
- AUDIO/VIDEO CABLES) SHALL BE REMOVED TO SOURCE IF NOT TAGGED FOR FUTURE USE. 12. DEMOLITION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OF THIS CONTRACT. CONTRACTOR TO "CUT OFF" ALL NECESSARY UTILITIES REQUIRED TO OBTAIN DESIRED RESULTS. CONTRACTOR TO OBTAIN "SHUT OFF" APPROVALS FROM PLAYLAND PRIOR TO SCHEDULED DEMOLITION.
- 13. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING CONSTRUCTION DISTURBED BY THE WORK AND PREPARE FOR NEW FINISH AS SHOWN ON THE INTERIOR ELEVATIONS. 14. THE EXISTING WOOD FLOOR SHALL BE CLEANED TO ALLOW FOR THE APPLICATION OF NEW FLOOR
- COATING. 15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING UP AND HAULING AWAY OF ALL TRASH AND DEBRIS ON A REGULAR BASIS DURING THE CONSTRUCTION PERIOD.
- 16. ALL DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A LEGAL MANNER. 17. EXISTING EXITS SHALL REMAIN FULLY ACCESSIBLE AND UNOBSTRUCTED DURING THE PROGRESS OF THE WORK.

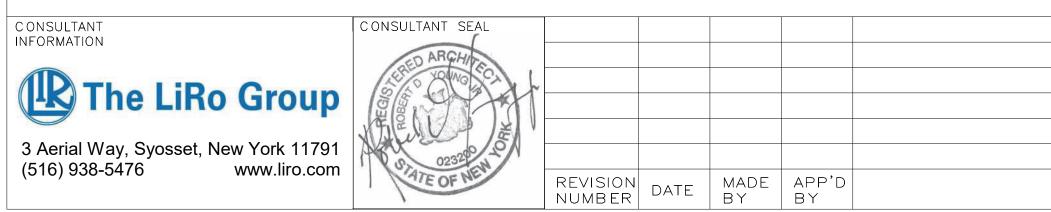


- DM-2 REMOVE EXISTING GATE.
- DM-3 REMOVE ROLL DOWN DOOR AND ASSOCIATED HARDWARE DM-4 REMOVE EXISTING WINDOW & FRAME
- DM-5 REMOVE COLUMN ENCLOSURES. CAREFULLY REMOVE AT LEAST ONE COLUMN ENCLOSURE TO USE AS REFERENCE IN ORDER TO REPLICATE TRIMS TO MATCH LOCATION, SIZE AND SHAPE AS INDICATED. COORDINATE WITH STRUCTURAL DRAWINGS.
- DM-7 REMOVE EXISTING DOOR & FRAME. DM-14 REMOVE EXISTING LIGHTING FIXTURES AND ELECTRICAL WIRING CONNECTED TO THESE FIXTURES. SEE ELECTRICAL FOR DETAILS. DM-16 REMOVE EXISTING ROOFING SHINGLES, UNDERLAYMENT AND ANY ROTTED WOOD SHEATHING. REPLACE DAMAGED SHEATHING TO MATCH EXISTING. COORDINATE WITH A/E.
- DM-18 REMOVE EXISTING PANELS & TRIMS DM-24 REMOVE EXISTING EXHAUST. SEE MECHANICAL DRAWINGS
- DM-28 REMOVE EXISTING GUTTER, FASCIA, AND SOFFITS. DM-29 REMOVE SECTION OF EXISTING WALL. PROVIDE HEADER AS REQUIRED TO CREATE A DOOR OPENING. SEE ELEVATIONS FOR EXTENT.
- DM-43 REMOVE SECTION OF EXISTING WALL. PROVIDE HEADER AND SILL AS REQUIRED TO CREATE A WINDOW OPENING. SEE ELEVATIONS.
- DM-74 REMOVE SPEAKER AND ASSOCIATED HARDWARE AND ELECTRICAL WIRES. COORDINATE WITH ELEC DRAWINGS.

ESTCHESTER COUNTY, NEW YORK ARTMENT OF PUBLIC WORKS AND TRANSPORTATION	CONTRACT SHEET NUMBER NUMBER 22-523 CXD-A-03
DIVISION OF ENGINEERING INFRASTRUCTURE REHABILITATION PHASE 3 PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DWG NO.:       196 of 664         SCALE:       As indicated         DATE:       08/23/2022
CXD - EXTERIOR BUILDING ELEVATIONS	DPW FILE <b>1-118-A-945-0</b> REV. <b>0</b> NO.







	RECORD DRAWIN	G CERTIFICATION	WESTCHESTER COUNT DEPARTMENT OF PUBLIC WORKS		CONTRACT SHEET NUMBER NUMBER 22-523 CXD-A-04	
			DIVISION OF ENGIN	IEERING	DWG NO.: 197 of 664	
	CONTRACTOR NAME	PROJECT COORDINATOR NAME	INFRASTRUCTURE REHABILI PLAYLAND PARK, RYE, CROSS AXIS BUILD	NEW YORK	SCALE:         As indicated           DATE:         08/23/2022	
REVISION	TITLE DATE	TITLE DATE	CXD - RCP DEMO		DPW FILE <b>1-118-A-946-0</b> NUMBER	REV. <b>0</b> NO. <b>0</b>

# **DEMOLITION LEGEND**

	INDICATES DEMOLITION
DM - #	DEMOLITION KEY NOTES
	SHINGLES TO BE REMOVED
NIC	INDICATES N.I.C.

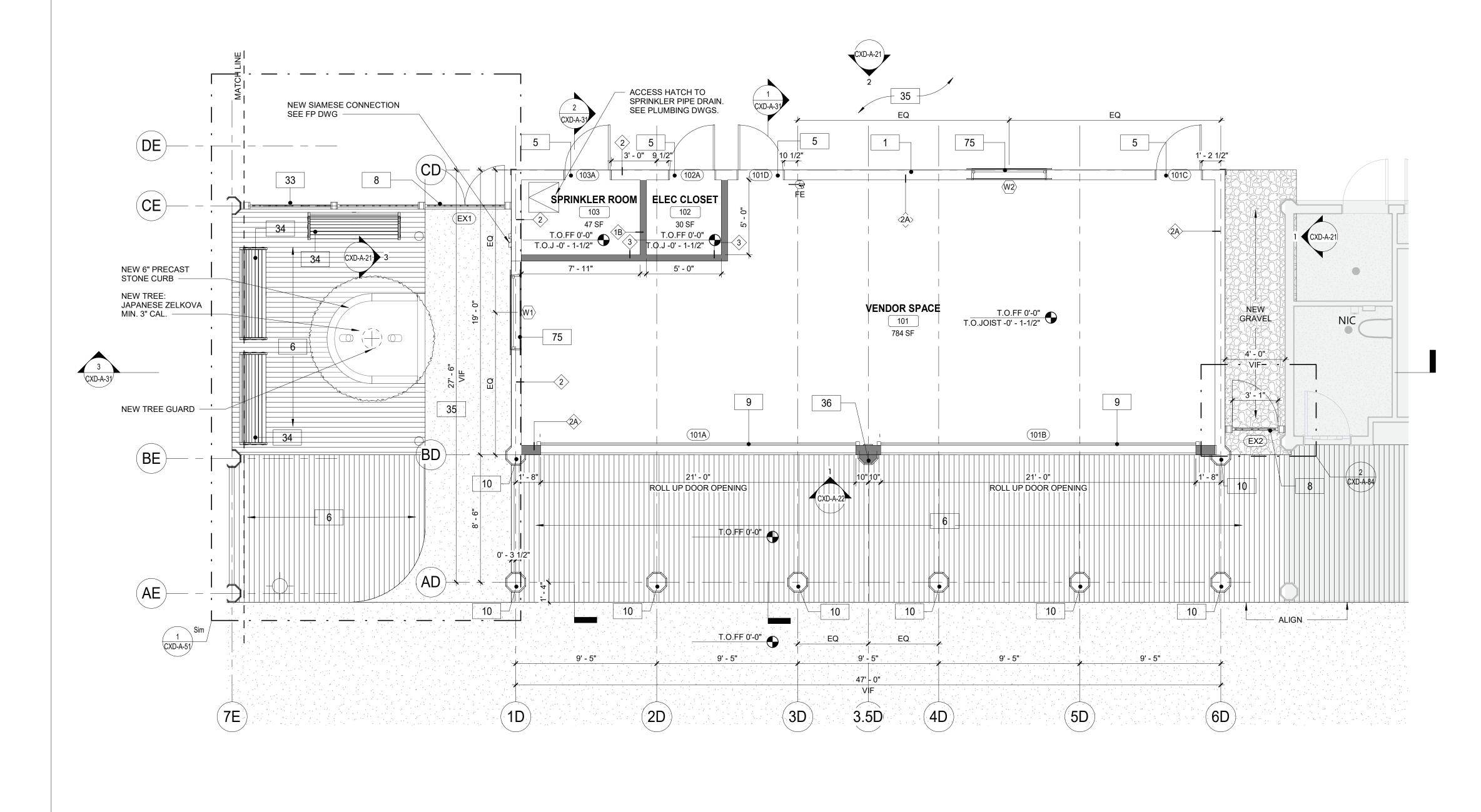
# **DEMOLITION NOTES:**

1.	THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM/HERSELF WITH EXISTING
	CONDITIONS AND REQUIREMENTS OF THE WORK. THE GENERAL CONTRACTOR SHALL FIELD VERIFY
	EXACT QUANTITIES OF ALL ITEMS TO BE REMOVED.

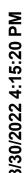
- 2. THE CONTRACTOR SHALL PHOTOGRAPH AND DOCUMENT EXISTING HISTORIC DECORATIVE TRIMS
- INCLUDING SIZES AND PROFILES PRIOR TO ENVIRONMENTAL REMEDIATION WORK START.
  ITEMS TO BE REMOVED / DEMOLISHED AS INDICATED ON THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. THE DRAWINGS DO NOT REPRESENT IN DETAIL ALL ITEMS OR SITUATIONS THAT MAY BE ENCOUNTERED DURING THE DEMOLITION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE, PROTECT, AND MAKE CORRECTIONS AS REQUIRED TO ACHIEVE DRAWING INTENT. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY
- STRUCTURAL NONCONFORMITY TO PLANS AND SPECIFICATIONS.
  PLAYLAND RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF PLAYLAND RETAINS ANY MATERIAL THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE PLAYLAND'S SUPERINTENDENT TO HAVE THOSE MATERIALS REMOVED AND STORED OFF SITE AT NO ADDITIONAL COST.
- 5. DEMOLITION OF THE EXISTING BUILDING SHALL INCLUDE REMOVAL OF THE EXISTING FOUNDATIONS FOR THEIR ENTIRE DEPTH TO ACCOMMODATE INSTALLATION OF NEW FOUNDATIONS.
- THE CONTRACTOR SHALL USE EXTREME CAUTION IN AREAS OF DEMOLITION WHICH MAY DISTURB EXISTING STRUCTURES. TEMPORARY SHORING, BARRICADES, DUST PARTITIONS, ETC. SHALL BE PROVIDED AS REQUIRED TO PROTECT ALL EXISTING STRUCTURES AND PROPERTY.
   SEE STRUCTURAL ELECTRICAL SPRINKLER AND RULEMENC DRAWINGS FOR RELATED DEMOLITION
- SEE STRUCTURAL, ELECTRICAL, SPRINKLER, AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
   VERIFY LOCATION OF EXISTING STRUCTURES AND SHORE UP ROOF/FLOOR ABOVE AS REQUIRED
- 9. REMOVAL OF ALL CEILINGS AND MOUNTED ITEMS THROUGHOUT THE CONTRACT AREA INCLUDE
- ANCHORING HARDWARE, AND MISCELLANEOUS FASTENINGS, ETC. 10. WALLS SHALL BE REMOVED AS INDICATED ON DEMOLITION PLANS. ALL UTILITIES IN WALL SHALL BE CUT TO BELOW SLAB OR ABOVE THE CEILING.
- 11. REMOVE ALL EXISTING ELECTRICAL AND PLUMBING LINES NOT TO BE RE-USED. CAP PLUMBING LINES AS REQUIRED. ELECTRICAL WIRING SHALL BE DISCONNECTED BACK TO THE NEAREST ACTIVE LOCATION. ALL ABANDONED COMMUNICATION CABLES (DATA, TELEPHONE, FIRE ALARM, AND AUDIO/VIDEO CABLES) SHALL BE REMOVED TO SOURCE IF NOT TAGGED FOR FUTURE USE.
- DEMOLITION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OF THIS CONTRACT. CONTRACTOR TO "CUT OFF" ALL NECESSARY UTILITIES REQUIRED TO OBTAIN DESIRED RESULTS. CONTRACTOR TO OBTAIN "SHUT OFF" APPROVALS FROM PLAYLAND PRIOR TO SCHEDULED DEMOLITION.
- THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING CONSTRUCTION DISTURBED BY THE WORK AND PREPARE FOR NEW FINISH AS SHOWN ON THE INTERIOR ELEVATIONS.
   THE EXISTING WOOD FLOOR SHALL BE CLEANED TO ALLOW FOR THE APPLICATION OF NEW FLOOR COATING.
- 15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING UP AND HAULING AWAY OF ALL TRASH AND DEBRIS ON A REGULAR BASIS DURING THE CONSTRUCTION PERIOD.
- ALL DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A LEGAL MANNER.
   EXISTING EXITS SHALL REMAIN FULLY ACCESSIBLE AND UNOBSTRUCTED DURING THE PROGRESS OF THE WORK.

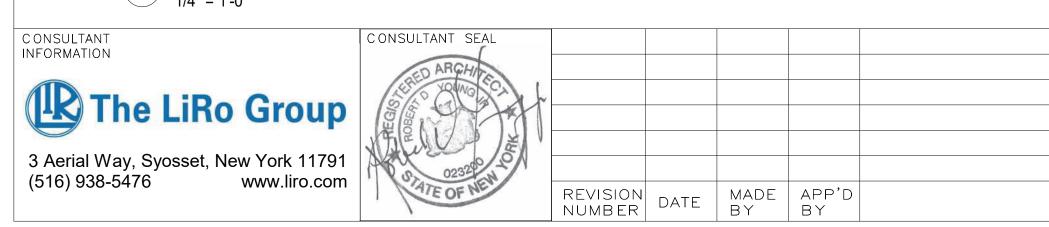
# DEMO KEYNOTES

DM-3	REMOVE ROLL DOWN DOOR AND	DASSOCIATED HARDWAI	RE.
DM-4	<b>REMOVE EXISTING WINDOW &amp; F</b>	RAME.	
DM-7	<b>REMOVE EXISTING DOOR &amp; FRA</b>	ME.	
DM-9			AND BUILDING CONTENT. CONTENT MAY E, RACKS, AC UNITS, GAMES ETC.
DM-10	REMOVE INTERIOR PARTITION.		
DM-14	REMOVE EXISTING LIGHTING FIX FIXTURES. SEE ELECTRICAL FOR		L WIRING CONNECTED TO THESE
DM-24	REMOVE EXISTING EXHAUST. SE	E MECHANICAL DRAWIN	IGS.
DM-28	REMOVE EXISTING GUTTER, FAS	SCIA, AND SOFFITS.	
. ,	NEW YORK	CONTRACT NUMBER <b>22-523</b>	SHEET NUMBER



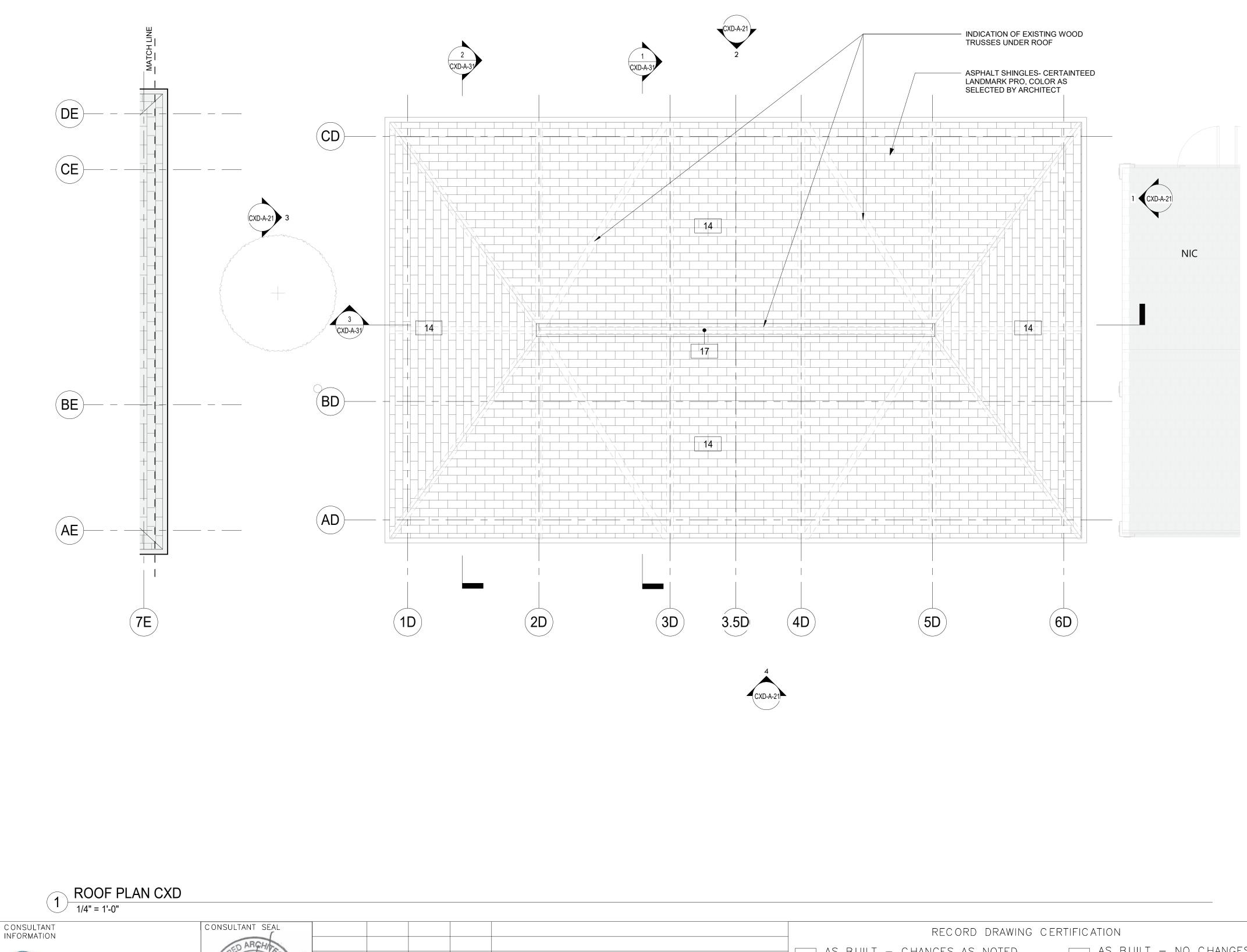






	RECORD DRAWIN	IG CERTIFICATION	WESTCHESTER COUNTY, NEW YORK	CONTRACT SHEET NUMBER NUMBER	
	AS BUILT - CHANGES AS NOTED	AS BUILT – NO CHANGES	DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523 CXD-A-11	
			DIVISION OF ENGINEERING	DWG NO.: 198 of 664	
	CONTRACTOR	PROJECT COORDINATOR	INFRASTRUCTURE REHABILITATION PHASE 3	SCALE: As indicated	
	NAME	NAME	PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022	
REVISION	TITLE DATE	TITLE DATE	CXD - GROUND FLOOR PLAN	DPW FILE         1-118-A-947-0         REV.         0           NUMBER         1-118-A-947-0         NO.         0	

PLAN LEGE	ND.			
				DOOR TAG
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NIC	NOT IN CONTRACT	FE		FIRE EXTINGUISHER
#	KEY NOTES		FD 🗭	FLOOR DRAIN
	WALL TAG			
FLOOR PLA	N NOTES:			
<ol> <li>DIMENSION ELEVATION</li> <li>PROVIDE D</li> <li>MINIMUM D</li> <li>SHALL BE 4</li> <li>PROVIDE F ACCESSOF</li> <li>THE CONTI CONSTRUC MEASUREN IMMEDIATE DISCREPAI OWNER.</li> <li>THE GC SH</li> <li>THE GC SH</li> <li>THE GC SH</li> <li>THE GC SH</li> <li>THE CONTI ACTUALLY MEETING T</li> <li>THE CONTI DIMENSION</li> <li>THE CONTI AND MECH</li> <li>THE CONTI AND MECH</li> <li>FLOOR SUI INSTALLAT</li> <li>THE CONTI AND MECH</li> <li>FLOOR SUI INSTALLAT</li> <li>PROVIDE F ONTROLS,</li> </ol>	NS ARE TO FACE OF GY NS ARE NOTED FROM F ORYWALL TRIM AT ALL I DIMENSION FROM ANY 9 4" U.N.O. FIRE RETARDANT WOOD RIES. COORDINATE ALL RACTOR SHALL VERIFY CTION TO REMAIN BY A MENTS DIFFER FROM D ELY. THE CONTRACTOR NCIES FOUND AFTER T IALL PROVIDE CAULK J IALL BE RESPONSIBLE ED BY THE OWNER. AN RACTORS MUST BE DO INCURRED FOR IT TO I THE SCHEDULE AS OUT RACTOR SHALL SUPPL LATION OF ALL OWNEI RACTOR IS RESPONSIE IANICAL WORK. ALL SU RFACES SHALL BE LEV ION. RACTOR. TO COORDIN. INSTALLING ANY ONE I	FINISH FLOOR ELEVA EXPOSED EDGES AN CORNER OR WALL TO D BLOCKING FOR AN BLOCKING REQUIRE Y DIMENSIONS OF TH CTUAL MEASUREME DIMENSIONS SHOWN R SHALL BE RESPONT HE WORK IS PERFONT HE WORK IS PERFONT FOR COORDINATING Y POTENTIAL CONFLE COMENTED IN WRITI BE CONSIDERED. OT FLINED IN THE CONTE LINED IN	TIONS. D CORNEF O FRAMING Y WALL MG EMENTS NE IE EXISTING IE EXISTING IE EXISTING ON PLAN, NSIBLE FOI RMED, AT 1 BD MEETS WITH OW ICTS OR D NG TO THE HERWISE RACT. ONS. FIELE ION OF TH 30R, AND G S DESCRIE AND WALL BE FRAME MOOTH SU IB-UPS ANIE	G STUD AT DOOR JAMB OPENING OUNTED EQUIPMENT OR ECESSARY WITH OTHER TRADES. G SPACE AND OF ANY EXISTING E ANY WORK IS PERFORMED. IF ANY GC IS TO NOTIFY THE ARCHITECT R CORRECTING ANY AND ALL NO ADDITIONAL EXPENSE TO THE THE FLOOR OR ROOF DECK. NER ON ALL WORK TO BE ELAYS CAUSED BY THE OWNER'S E OWNER BEFORE THE DELAY IS THE GC WILL BE RESPONSIBLE FOR O CONDITIONS ALTERING ANY IE OWNER AND ARCHITECT. COORDINATION REQUIRED FOR BED IN THE DOCUMENTS, U.N.O. PENETRATIONS FOR ELECTRICAL
	ΊΟΝ ΚΕΥΝΟΤΕΣ			
1 PROVID 5 PROVID	E AND INSTALL NEW 1x E AND INSTALL DOOR II			JE AND GROOVE - NO BEVEL AND ANY ASSOCIATE HARDWARE. SEE
1 PROVID 5 PROVID DOOR S	E AND INSTALL NEW 1x	NCLUDING FRAME, SI	LL, LINTEL	
1 PROVID 5 PROVID DOOR S 6 INSTALL 8 PROVID	E AND INSTALL NEW 1x E AND INSTALL DOOR II CHEDULE. . NEW IPE DECKING. SE E AND INSTALL GATE. S	NCLUDING FRAME, SI EE STRUCTURAL FOR SEE DETAILS.	LL, LINTEL DETAILS.	AND ANY ASSOCIATE HARDWARE. SEE
1 PROVID 5 PROVID DOOR S 6 INSTALL 8 PROVID 9 PROVID	E AND INSTALL NEW 1x E AND INSTALL DOOR II CHEDULE. . NEW IPE DECKING. SE	NCLUDING FRAME, SI EE STRUCTURAL FOR SEE DETAILS. OWN DOOR. SEE DET	LL, LINTEL DETAILS. TAILS AND S	AND ANY ASSOCIATE HARDWARE. SEE
1 PROVID 5 PROVID DOOR S 6 INSTALL 8 PROVID 9 PROVID 10 PROVID 33 NEW W	E AND INSTALL NEW 1x E AND INSTALL DOOR II CHEDULE. . NEW IPE DECKING. SE E AND INSTALL GATE. S E AND INSTALL ROLL DO E AND INSTALL COLUMI DOD FENCE. SEE DETAI	NCLUDING FRAME, SI E STRUCTURAL FOR SEE DETAILS. OWN DOOR. SEE DET N ENCLOSURES. SEE	LL, LINTEL DETAILS. TAILS AND S	AND ANY ASSOCIATE HARDWARE. SEE
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MADE APP'D By By

REVISION NUMBER DATE

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The LiRo Group

3 Aerial Way, Syosset, New York 11791 (516) 938-5476 www.liro.com

		RECORD DRAWING CERTIFICATION					WE
	AS BUI	LT – CHANGES	S AS NOTED		AS BUILT	– NO CHANGES	DEPAF
		CONTRACTOR			DJECT COO	RDINATOR	
	NAME SIGNATURE			NAME SIGNATURE			
REVISION	TITLE	DATE	<u> </u>	TITLE		DATE	

# PLAN LEGEND:

	NEW IPE WOOD DECK	(101)	DOOR TAG
	NEW CONSTRUCTION	$\langle 1i \rangle$	WINDOW TAG
NIC	NOT IN CONTRACT	FE 🕳	FIRE EXTINGUISHER
#	KEY NOTES	FD 🔯	FLOOR DRAIN
<b>(1i)</b>	WALL TAG		

# FLOOR PLAN NOTES:

- 1. DIMENSIONS ARE TO FACE OF GYPSUM WALL BOARD, GRID LINES, OR CENTERLINE OF COLUMN. ALL ELEVATIONS ARE NOTED FROM FINISH FLOOR ELEVATIONS.
- PROVIDE DRYWALL TRIM AT ALL EXPOSED EDGES AND CORNERS.
   MINIMUM DIMENSION FROM ANY CORNER OR WALL TO FRAMING STUD AT DOOR JAMB OPENING SHALL BE 4" U.N.O.
- PROVIDE FIRE RETARDANT WOOD BLOCKING FOR ANY WALL MOUNTED EQUIPMENT OR ACCESSORIES. COORDINATE ALL BLOCKING REQUIREMENTS NECESSARY WITH OTHER TRADES.
- 5. THE CONTRACTOR SHALL VERIFY DIMENSIONS OF THE EXISTING SPACE AND OF ANY EXISTING CONSTRUCTION TO REMAIN BY ACTUAL MEASUREMENT BEFORE ANY WORK IS PERFORMED. IF ANY MEASUREMENTS DIFFER FROM DIMENSIONS SHOWN ON PLAN, GC IS TO NOTIFY THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY AND ALL DISCREPANCIES FOUND AFTER THE WORK IS PERFORMED, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE GC SHALL PROVIDE CAULK JOINTS WHERE GYP BD MEETS THE FLOOR OR ROOF DECK.
   THE GC SHALL BE RESPONSIBLE FOR COORDINATING WITH OWNER ON ALL WORK TO BE PERFORMED BY THE OWNER. ANY POTENTIAL CONFLICTS OR DELAYS CAUSED BY THE OWNER'S SUBCONTRACTORS MUST BE DOCUMENTED IN WRITING TO THE OWNER BEFORE THE DELAY IS ACTUALLY INCURRED FOR IT TO BE CONSIDERED. OTHERWISE THE GC WILL BE RESPONSIBLE FOR MEETING THE SCHEDULE AS OUTLINED IN THE CONTRACT.
- 8. THE CONTRACTOR TO VERIFY ALL FINISHED DIMENSIONS. FIELD CONDITIONS ALTERING ANY DIMENSIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.
- 9. THE CONTRACTOR SHALL SUPPLY ALL MATERIAL, LABOR, AND COORDINATION REQUIRED FOR
- THEINSTALLATION OF ALL OWNER-SUPPLIED ITEMS AS DESCRIBED IN THE DOCUMENTS, U.N.O. 10. THE CONTRACTOR IS RESPONSIBLE FOR ALL FLOOR AND WALL PENETRATIONS FOR ELECTRICAL
- AND MECHANICAL WORK. ALL SUCH OPENING SHALL BE FRAMED AND REINFORCED. 11. FLOOR SURFACES SHALL BE LEVELED TO ASSURE SMOOTH SURFACE FOR FINISH FLOOR
- INSTALLATION. 12. THE CONTRACTOR. TO COORDINATE ALL UTILITY STUB-UPS AND LOCATION OF ALL EQUIPMENT

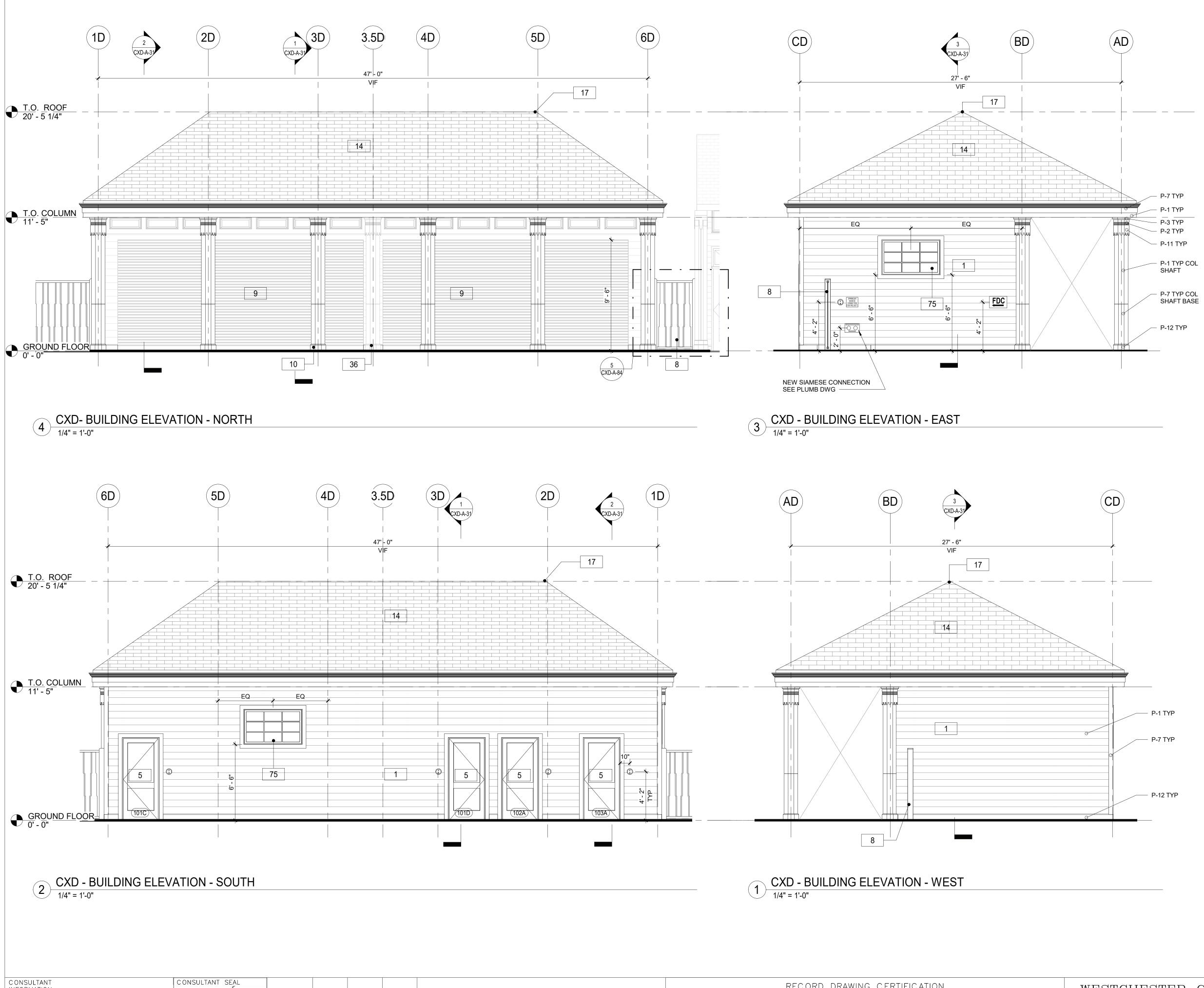
ANEL LOCATION W/ ARCHITECT PRIOR TO INSTALLATION.

 THE CONTRACTOR. TO COORDINATE ALL UTILITY STOB-UPS AND LOCATION OF ALL EQUIPMENT PRIOR TO INSTALLING ANY ONE ITEM.
 PROVIDE PAINTED ACCESS PANELS IN WALLS & CEILING AT CONCEALED ITEMS SUCH AS VALVES, ONTROLS, SWITCHES OR ANY OTHER ITEMS THAT REQUIRES ACCESS. GC O DETERMINE ACCESS

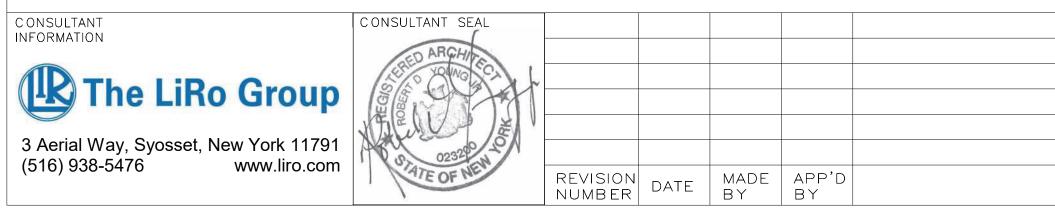
**CONSTRUCTION KEYNOTES** 



STCHESTER COUNTY, NEW YORK RTMENT OF PUBLIC WORKS AND TRANSPORTATION	CONTRACTSHEETNUMBERNUMBER22-523CXD-A-12
DIVISION OF ENGINEERING	DWG NO.: 199 of 664
INFRASTRUCTURE REHABILITATION PHASE 3	SCALE: As indicated
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022
CXD - ROOF PLAN	DPW FILE <b>1-118-A-948-0</b> REV. 0



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	RECORD DRAWIN	IG CERTIFICATION	<b>T</b> A7 <b>T</b>
		AS BUILT - NO CHANGES	WH DEPA
	CONTRACTOR NAME	PROJECT COORDINATOR	
REVISION	TITLE DATE	TITLE DATE	

# FLOOR PLAN GENERAL NOTES

- 1. DIMENSIONS ARE TO FACE OF GYPSUM WALL BOARD, GRID LINES, OR CENTERLINE OF COLUMN. ALL ELEVATIONS ARE NOTED FROM FINISH FLOOR ELEVATIONS.
- PROVIDE DRYWALL TRIM AT ALL EXPOSED EDGES AND CORNERS.
- MINIMUM DIMENSION FROM ANY CORNER OR WALL TO FRAMING STUD AT DOOR JAMB OPENING SHALL BE 4" (U.N.O.).
   PROVIDE METAL BLOCKING FOR ANY WALL MOUNTED EQUIPMENT OR ACCESSORIES. COORDINATE
- ALL BLOCKING REQUIREMENTS NECESSARY WITH OTHER TRADES.
  5. THE GC SHALL VERIFY DIMENSIONS OF THE EXISTING SPACE AND OF ANY EXISTING
- CONSTRUCTION TO REMAIN BY ACTUAL MEASUREMENT BEFORE ANY WORK IS PERFORMED. IF ANY MEASUREMENTS DIFFER FROM DIMENSIONS SHOWN ON PLAN, GC IS TO NOTIFY THE ARCHITECT IMMEDIATELY. THE GC SHALL BE RESPONSIBLE FOR CORRECTING ANY AND ALL DISCREPANCIES FOUND AFTER THE WORK IS PERFORMED, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 6. GC TO VERIFY ALL FINISHED DIMENSIONS. FIELD CONDITIONS ALTERING ANY DIMENSIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.
   7. THE GC SHALL PROVIDE CAULK JOINTS WHERE GYP. BD. MEETS THE FLOOR OR ROOF DECK.
- THE GC SHALL PROVIDE CAULK JOINTS WHERE GTP. BD. MEETS THE FLOOK OR ROOF DECK.
   THE GC SHALL BE RESPONSIBLE FOR COORDINATING WITH OWNER ON ALL WORK TO BE PERFORMED BY THE OWNER. ANY POTENTIAL CONFLICTS OR DELAYS CAUSED BY THE OWNER'S SUBCONTRACTORS MUST BE DOCUMENTED IN WRITING TO THE OWNER BEFORE THE DELAY IS ACTUALLY INCURRED FOR IT TO BE CONSIDERED. OTHERWISE THE GC WILL BE RESPONSIBLE FOR MEETING THE SCHEDULE AS OUTLINED IN THE CONTRACT.
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   THE GC IS RESPONSIBLE FOR ALL FLOOR AND WALL PENETRATIONS FOR ELECTRICAL AND
- MECHANICAL WORK. ALL SUCH OPENING SHALL BE FRAMED AND REINFORCED. 11. FLOOR SURFACES SHALL BE LEVELED TO ASSURE SMOOTH SURFACE FOR FINISH FLOOR INSTALLATION. GC SHALL ALSO PAY SPECIAL ATTENTION THAT ALL WALL SURFACES ARE SMOOTH
- WHERE MURALS WILL BE DIRECTLY APPLIED TO WALL.
  12. GC TO COORDINATE ALL UTILITY STUB-UPS AND LOCATION OF ALL EQUIPMENT PRIOR TO INSTALLING ANY ONE ITEM.
- REFER TO SHEET CXD-A-80 FOR PARTITION TYPE INFORMATION.
   PROVIDE PAINTED ACCESS PANELS IN WALLS & CEILING AT CONCEALED ITEMS SUCH AS VALVES, CONTROLS, SWITCHES OR ANY OTHER ITEMS THAT REQUIRES ACCESS. GC TO DETERMINE ACCESS PANEL LOCATION W/ ARCHITECT PRIOR TO INSTALLATION.

# PAINTING SCHEDULE

KEY	COLOR	MANUFACTURER	REMARKS
P- 1	MYSTICAL POWERS #901	BENJAMIN MOORE	
P- 2	HERITAGE RED #HC-181	BENJAMIN MOORE	
P- 3	NEW YORK STATE OF MIND #805	BENJAMIN MOORE	
P- 4	LAZY SUNDAY #803	BENJAMIN MOORE	
P- 5	DEEP JUNGLE #595	BENJAMIN MOORE	
P- 6	LUCK OF THE IRISH #588	BENJAMIN MOORE	
P- 7	MAJOLICA GREEN #0013	SHERWIN WILLIAMS	
P- 8	ANTELOPE CANYON #125	BENJAMIN MOORE	
P- 9	FORSYTHIA #6907	SHERWIN WILLIAMS	
P- 10	CAPE BLUE #1642	BENJAMIN MOORE	
P- 11	WHITE SNOW #9541	SHERWIN WILLIAMS	
P- 12	TRICORN BLACK #6258	SHERWIN WILLIAMS	
P- 13	READY MIX WHITE	BENJAMIN MOORE	INTERIOR USE ONLY
P- 14	STUCCO PAINT TO MATCH P-1	KEIM	
P- 15	VAN DEUSEN BLUE #HC-156	BENJAMIN MOORE	
P- 16	#RAL9001	-	TYP. ROLL UP DOOR
P- 17	FLORIDA BEACHES #900	BENJAMIN MOORE	
P- 18	PIRATES COVE PEACH #903	BENJAMIN MOORE	
P- 19	JADITE #6459	SHERWIN WILLIAMS	
P- 20	DECISIVE YELLOW #6902	SHERWIN WILLIAMS	

## **CONSTRUCTION KEYNOTES**

1	PROVIDE AND INSTALL NEW 1x8 MILLED YELLOW PINE - TONGUE AND GROOVE - NO BEVEL
5	PROVIDE AND INSTALL DOOR INCLUDING FRAME, SILL, LINTEL AND ANY ASSOCIATE HARDWARE. SEE DOOR SCHEDULE.
8	PROVIDE AND INSTALL GATE. SEE DETAILS.
9	PROVIDE AND INSTALL ROLL DOWN DOOR. SEE DETAILS AND SCHEDULE.
10	PROVIDE AND INSTALL COLUMN ENCLOSURES. SEE DETAILS.
14	PROVIDE NEW ASPHALT SHINGLE ROOFING, UNDERLAYMENT, AND REPLACE IN KIND EXISTING DECKING AS REQUIRED (COORDINATE WITH STRUCTURAL).
17	PROVIDE AND INSTALL RIDGE VENT AT ROOF HIPS.
36	NEW PILASTER TO MATCH COLUMN ENCLOSURE AS INDICATED
75	REINSTALL SALVAGED WINDOWS FROM CXF (SEE CXF-A-01).

CONTRAC

NUMBER **22-523** 

# ESTCHESTER COUNTY, NEW YORK ARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING INFRASTRUCTURE REHABILITATION PHASE 3

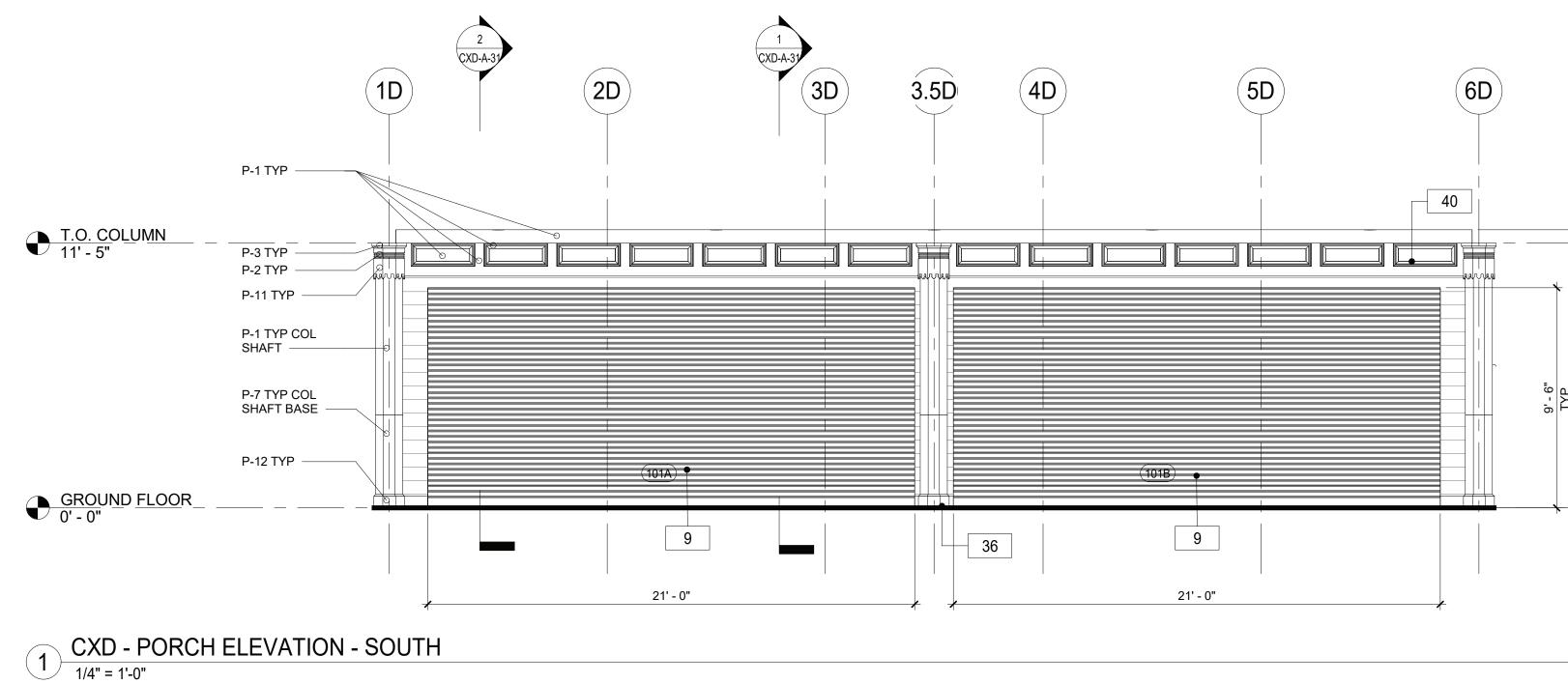
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D CXD - EXTERIOR BUILDING ELEVATIONS

# DWG NO.: 200 of 664 SCALE: As indicated DATE: 08/23/2022 DPW FILE NUMBER 1-118-A-949-0 REV. NO.

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CXD-A-21

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REVISION	TITLE DATE	TITLE          DATE	<b>CXD - EXTERIOR BUILDING PORCH ELEVATIONS</b>	DPW FILE <b>1-118-A-950-0</b> REV. <b>0</b>	
	SIGNATURE	SIGNATURE	CROSS AXIS BUILDING D	DATE: 08/23/2022	
	CONTRACTOR	PROJECT COORDINATOR	INFRASTRUCTURE REHABILITATION PHASE 3 PLAYLAND PARK, RYE, NEW YORK	SCALE: As indicate	ed
			DIVISION OF ENGINEERING	DWG NO.: 201 of 664	1
	AS BUILT - CHANGES AS NOTED	AS BUILT - NO CHANGES	DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523 <b>c</b>	CXD-A-22
	RECORD DRAWIN	IG CERTIFICATION	WESTCHESTER COUNTY, NEW YORK		SHEET NUMBER

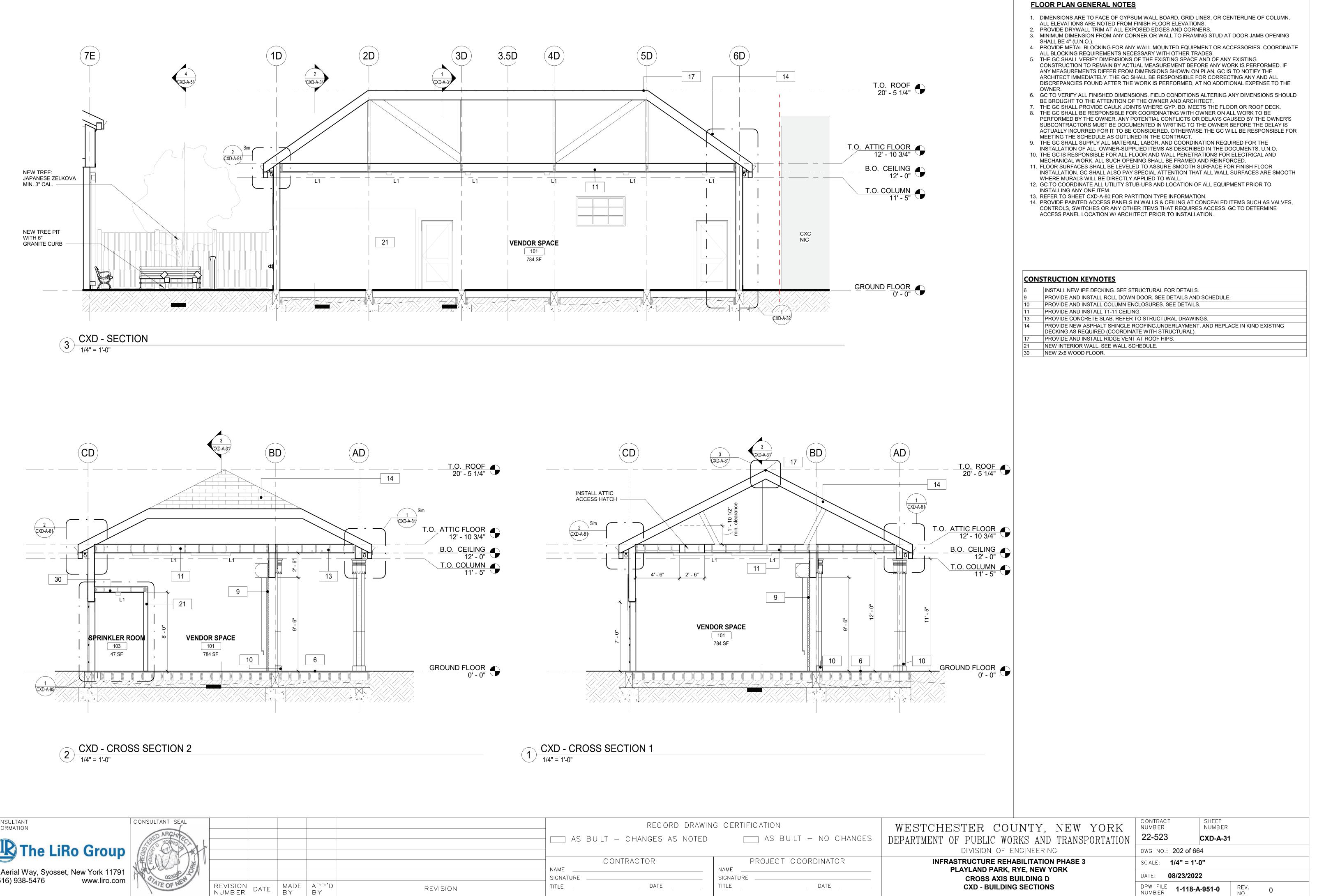
# FLOOR PLAN GENERAL NOTES

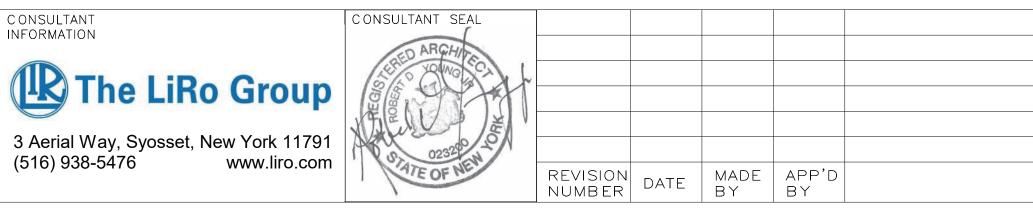
- 1. DIMENSIONS ARE TO FACE OF GYPSUM WALL BOARD, GRID LINES, OR CENTERLINE OF COLUMN.
- ALL ELEVATIONS ARE NOTED FROM FINISH FLOOR ELEVATIONS. 2. PROVIDE DRYWALL TRIM AT ALL EXPOSED EDGES AND CORNERS.
- 3. MINIMUM DIMENSION FROM ANY CORNER OR WALL TO FRAMING STUD AT DOOR JAMB OPENING SHALL BE 4" (U.N.O.). 4. PROVIDE METAL BLOCKING FOR ANY WALL MOUNTED EQUIPMENT OR ACCESSORIES. COORDINATE
- ALL BLOCKING REQUIREMENTS NECESSARY WITH OTHER TRADES. 5. THE GC SHALL VERIFY DIMENSIONS OF THE EXISTING SPACE AND OF ANY EXISTING CONSTRUCTION TO REMAIN BY ACTUAL MEASUREMENT BEFORE ANY WORK IS PERFORMED. IF
- ANY MEASUREMENTS DIFFER FROM DIMENSIONS SHOWN ON PLAN, GC IS TO NOTIFY THE ARCHITECT IMMEDIATELY. THE GC SHALL BE RESPONSIBLE FOR CORRECTING ANY AND ALL DISCREPANCIES FOUND AFTER THE WORK IS PERFORMED, AT NO ADDITIONAL EXPENSE TO THE OWNER. 6. GC TO VERIFY ALL FINISHED DIMENSIONS. FIELD CONDITIONS ALTERING ANY DIMENSIONS SHOULD
- BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.
- 7. THE GC SHALL PROVIDE CAULK JOINTS WHERE GYP. BD. MEETS THE FLOOR OR ROOF DECK. 8. THE GC SHALL BE RESPONSIBLE FOR COORDINATING WITH OWNER ON ALL WORK TO BE PERFORMED BY THE OWNER. ANY POTENTIAL CONFLICTS OR DELAYS CAUSED BY THE OWNER'S SUBCONTRACTORS MUST BE DOCUMENTED IN WRITING TO THE OWNER BEFORE THE DELAY IS ACTUALLY INCURRED FOR IT TO BE CONSIDERED. OTHERWISE THE GC WILL BE RESPONSIBLE FOR MEETING THE SCHEDULE AS OUTLINED IN THE CONTRACT.
- 9. THE GC SHALL SUPPLY ALL MATERIAL, LABOR, AND COORDINATION REQUIRED FOR THE INSTALLATION OF ALL OWNER-SUPPLIED ITEMS AS DESCRIBED IN THE DOCUMENTS, U.N.O. 10. THE GC IS RESPONSIBLE FOR ALL FLOOR AND WALL PENETRATIONS FOR ELECTRICAL AND
- MECHANICAL WORK. ALL SUCH OPENING SHALL BE FRAMED AND REINFORCED. 11. FLOOR SURFACES SHALL BE LEVELED TO ASSURE SMOOTH SURFACE FOR FINISH FLOOR
- INSTALLATION. GC SHALL ALSO PAY SPECIAL ATTENTION THAT ALL WALL SURFACES ARE SMOOTH WHERE MURALS WILL BE DIRECTLY APPLIED TO WALL. 12. GC TO COORDINATE ALL UTILITY STUB-UPS AND LOCATION OF ALL EQUIPMENT PRIOR TO
- INSTALLING ANY ONE ITEM. 13. REFER TO SHEET CXD-A-80 FOR PARTITION TYPE INFORMATION. 14. PROVIDE PAINTED ACCESS PANELS IN WALLS & CEILING AT CONCEALED ITEMS SUCH AS VALVES,
- CONTROLS, SWITCHES OR ANY OTHER ITEMS THAT REQUIRES ACCESS. GC TO DETERMINE ACCESS PANEL LOCATION W/ ARCHITECT PRIOR TO INSTALLATION.

PAINTIN	<u>G SCHEDULE</u>		
KEY	COLOR	MANUFACTURER	REMARKS
P- 1	MYSTICAL POWERS #901	BENJAMIN MOORE	
P- 2	HERITAGE RED #HC-181	<b>BENJAMIN MOORE</b>	
P- 3	NEW YORK STATE OF MIND #805	<b>BENJAMIN MOORE</b>	
P- 4	LAZY SUNDAY #803	<b>BENJAMIN MOORE</b>	
P- 5	DEEP JUNGLE #595	<b>BENJAMIN MOORE</b>	
P- 6	LUCK OF THE IRISH #588	<b>BENJAMIN MOORE</b>	
P- 7	MAJOLICA GREEN #0013	SHERWIN WILLIAMS	
P- 8	ANTELOPE CANYON #125	<b>BENJAMIN MOORE</b>	
P- 9	FORSYTHIA #6907	SHERWIN WILLIAMS	
P- 10	CAPE BLUE #1642	BENJAMIN MOORE	
P- 11	WHITE SNOW #9541	SHERWIN WILLIAMS	
P- 12	TRICORN BLACK #6258	SHERWIN WILLIAMS	
P- 13	READY MIX WHITE	<b>BENJAMIN MOORE</b>	INTERIOR USE ONLY
P- 14	STUCCO PAINT TO MATCH P-1	KEIM	
P- 15	VAN DEUSEN BLUE #HC-156	BENJAMIN MOORE	
P- 16	#RAL9001	-	TYP. ROLL UP DOOR
P- 17	FLORIDA BEACHES #900	BENJAMIN MOORE	
P- 18	PIRATES COVE PEACH #903	BENJAMIN MOORE	
P- 19	JADITE #6459	SHERWIN WILLIAMS	
P- 20	DECISIVE YELLOW #6902	SHERWIN WILLIAMS	

# **CONSTRUCTION KEYNOTES**

PROVIDE AND INSTALL ROLL DOWN DOOR. SEE DETAILS AND SCHEDULE. 36 NEW PILASTER TO MATCH COLUMN ENCLOSURE AS INDICATED 40 NEW WOOD DETAIL PANELS ON EXTERIOR WALL





REVISION

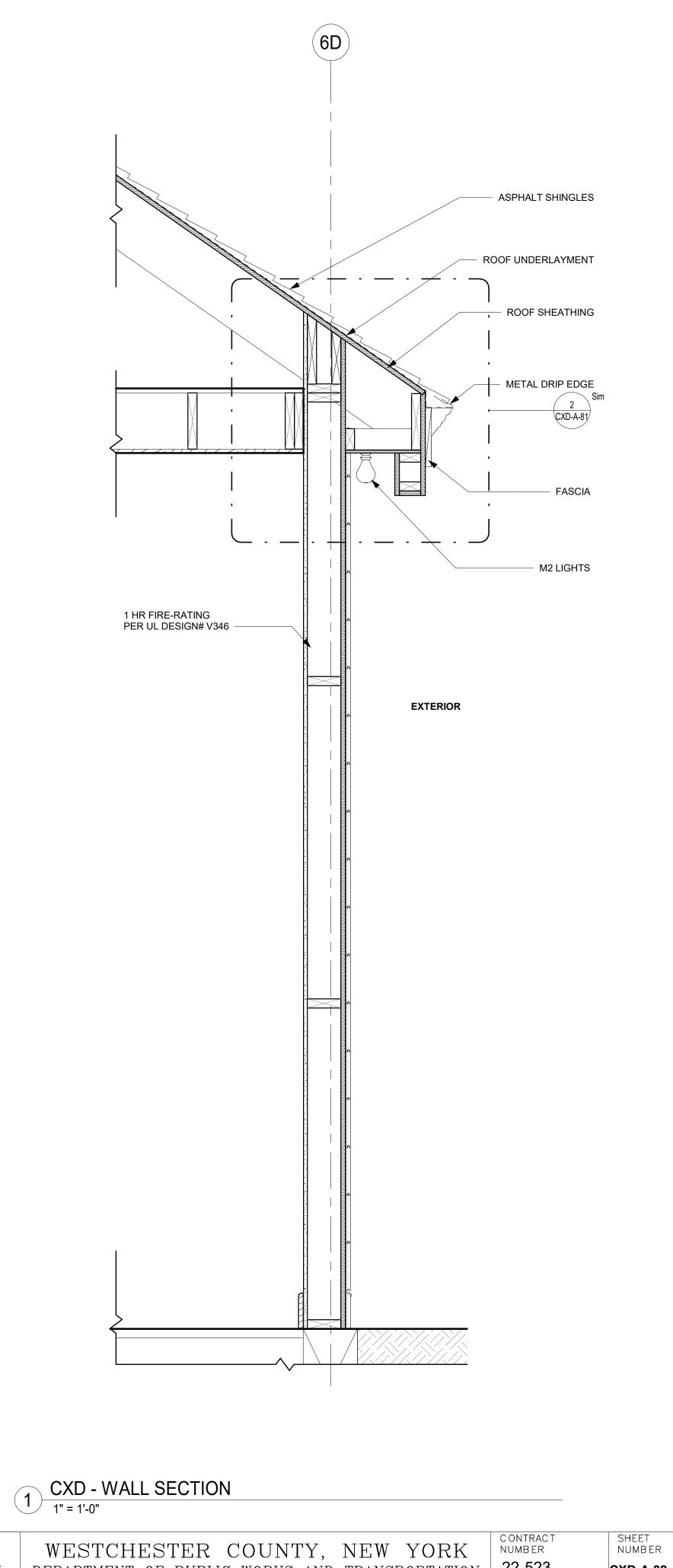
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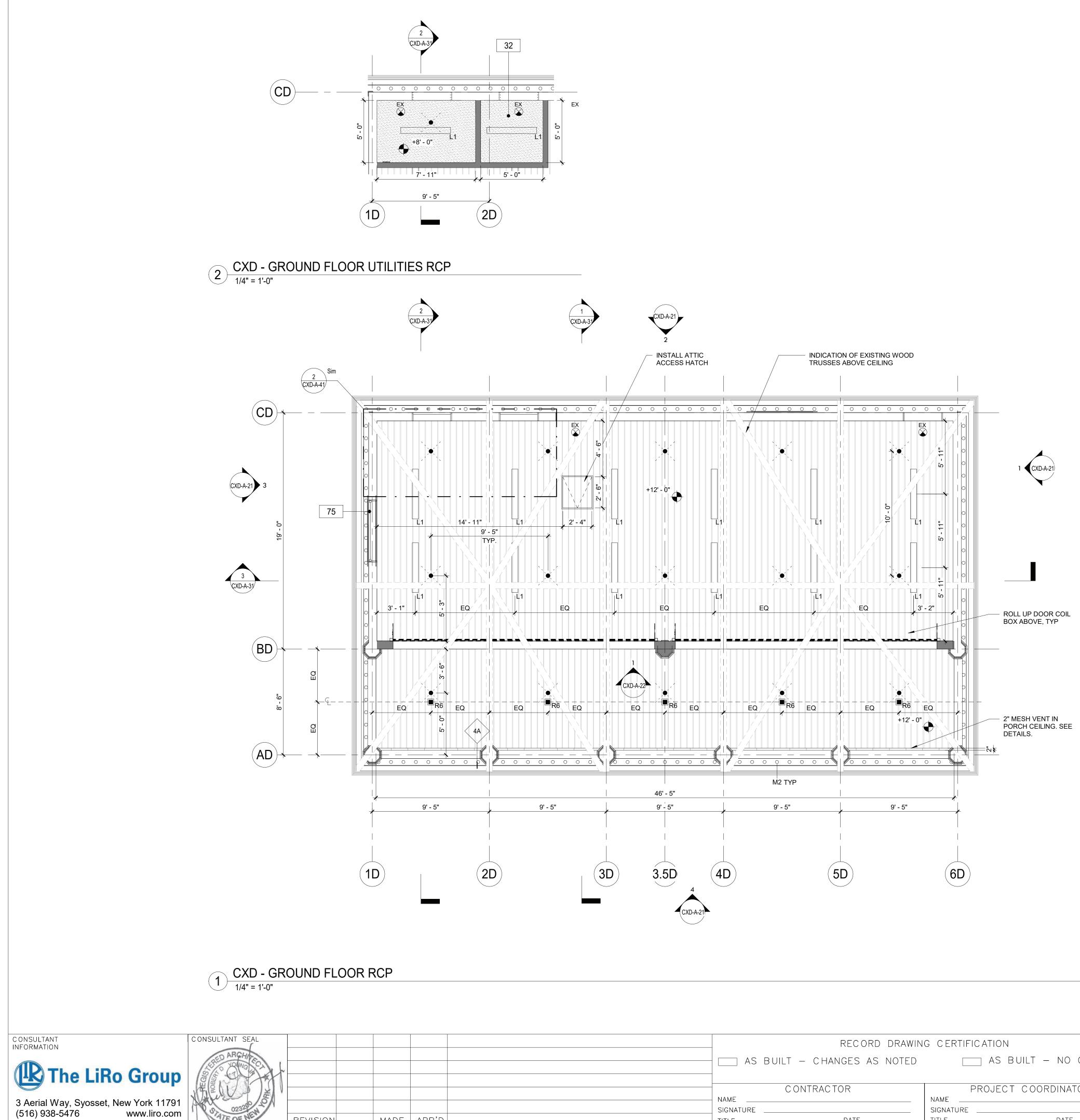
 ESTCHESTER COUNTY, NEW YORK
 SHEET NUMBER

 DARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING
 22-523
 CXD-A-32

 INFRASTRUCTURE REHABILITATION PHASE 3
 DWG NO.: 203 of 664
 SCALE: 1" = 1'-0"

 PLAYLAND PARK, RYE, NEW YORK
 DATE: 08/23/2022
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			DIVISION OF ENGINEERING	DWG NO.: 204 of 664
	CONTRACTOR	PROJECT COORDINATOR	INFRASTRUCTURE REHABILITATION PHASE 3	SCALE: As indicated
	NAME	NAME	PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022
REVISION	TITLE DATE	_ TITLE DATE	CXD - GROUND FLOOR REFLECTED CEILING PLAN	DPW FILE         1-118-A-953-0         REV.         0           NUMBER         NO.         0         0

RCP LEGEND
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EX

R-2 EXTERIOR RECESSED CAN IN SOFFIT (SEE ELEC. DWGS) © R2

 $\square_{R6}$ R-6: 4" SQUARE RECESSED LIGHT FIXTURE (SEE ELEC. DWGS)



- SPRINKLER (SEE FIRE PROTECTION DWGS) ×
- SUPPLY DIFFUSER. SEE MECHANICAL DRAWINGS  $\square$
- EXHAUST GRILL. SEE MECHANICAL DRAWINGS
- EX- EXIT SIGN
- NEW CONSTRUCTION
- T1-11 CEILING BOARD
- GYP. BOARD CEILING

INDICATES SCOPE NOT IN CONTRACT

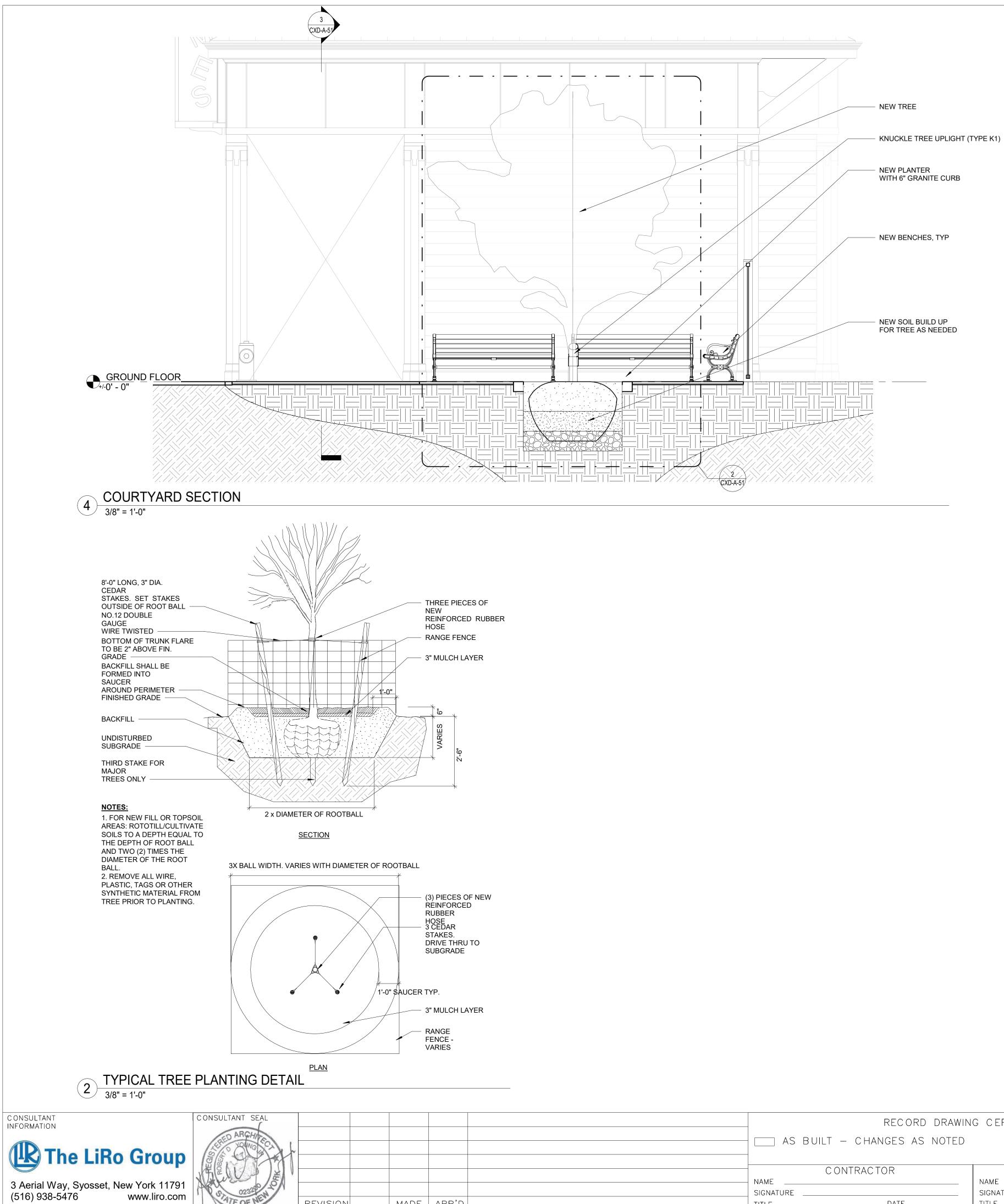
# **GENERAL REFLECTED CEILING PLAN NOTES**

- 1. CONTRACTOR SHALL PROVIDE THE NECESSARY FRAMING OR BRIDGING FOR ALL LIGHT FIXTURES,
- DIFFUSERS, RETURNS, ETC., AS WELL AS REQUIRED CUTOUTS. 2. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY POSSIBLE INTERFERENCES BEFORE
- PROCEEDING WITH CEILING INSTALLATION. 3. CEILING CONSTRUCTION SHALL NOT BE CLOSED IN UNTIL THE CONSTRUCTION MANAGER AND AUTHORITIES HAVING JURISDICTION HAVE HAD AN OPPORTUNITY TO INSPECT THE AREA AND ASCERTAIN THAT ALL DUCTWORK, PLUMBING, ELECTRICAL CONDUITS AND LINES HAVE BEEN INSTALLED PROPERLY.
- 4. FASCIAS OR ANY BREAK IN THE CEILING HEIGHTS CREATED BY THE INSTALLATION AND/OR ALTERATION OF HEATING, VENTILATING, A/C OR MECHANICAL DUCTS, PIPING OR OTHER EQUIPMENT SHALL BE FORMED OF GYPSUM WALLBOARD ON FURRING CHANNELS.
- 5. THE CEILING PANEL JOINTS SHALL BE ALIGNED PERFECTLY WITH LIGHTING FIXTURES. 6. ALL JOINTS IN THE PANEL SHALL BE SQUARE, LEVEL AND PERFECTLY ALIGNED WITH EACH OTHER AND WITH BUILDING FIXTURES. 7. CONTRACTOR SHALL PROVIDE CUTOUTS AND OTHER SPECIAL PROVISIONS IN ACOUSTICAL WORK
- AS REQUIRED FOR LIGHTING FIXTURES, REGISTERS, DIFFUSERS AND OTHER INSERTED ITEMS. GENERAL CONSTRUCTION CONTRACTOR SHALL INSTALL ACCESS PANELS IN GYPSUM DRYWALL CEILINGS FOR ACCESS TO AIR CONDITIONING, PLUMBING, TELEPHONE & ELECTRICAL CONTROL EQUIPMENT REQUIRING ACCESS.
- 8. IN GENERAL, WITHIN EACH AREA, CEILING WORK REQUIREMENTS SHALL BE EXECUTED IN SUCH A MANNER AS TO PROVIDE CONTINUOUS MATCHED AND ALIGNED CEILINGS. THE FINAL CEILING INSTALLATION SHALL BE FREE OF ALL VISUAL DEFECTS.

# **CONSTRUCTION KEYNOTES**

NEW 3/4" FIRE RETARDENT PLYWOOD FLOOR ABOVE ELECTRICAL ROOM. REINSTALL SALVAGED WINDOWS FROM CXF (SEE CXF-A-01).

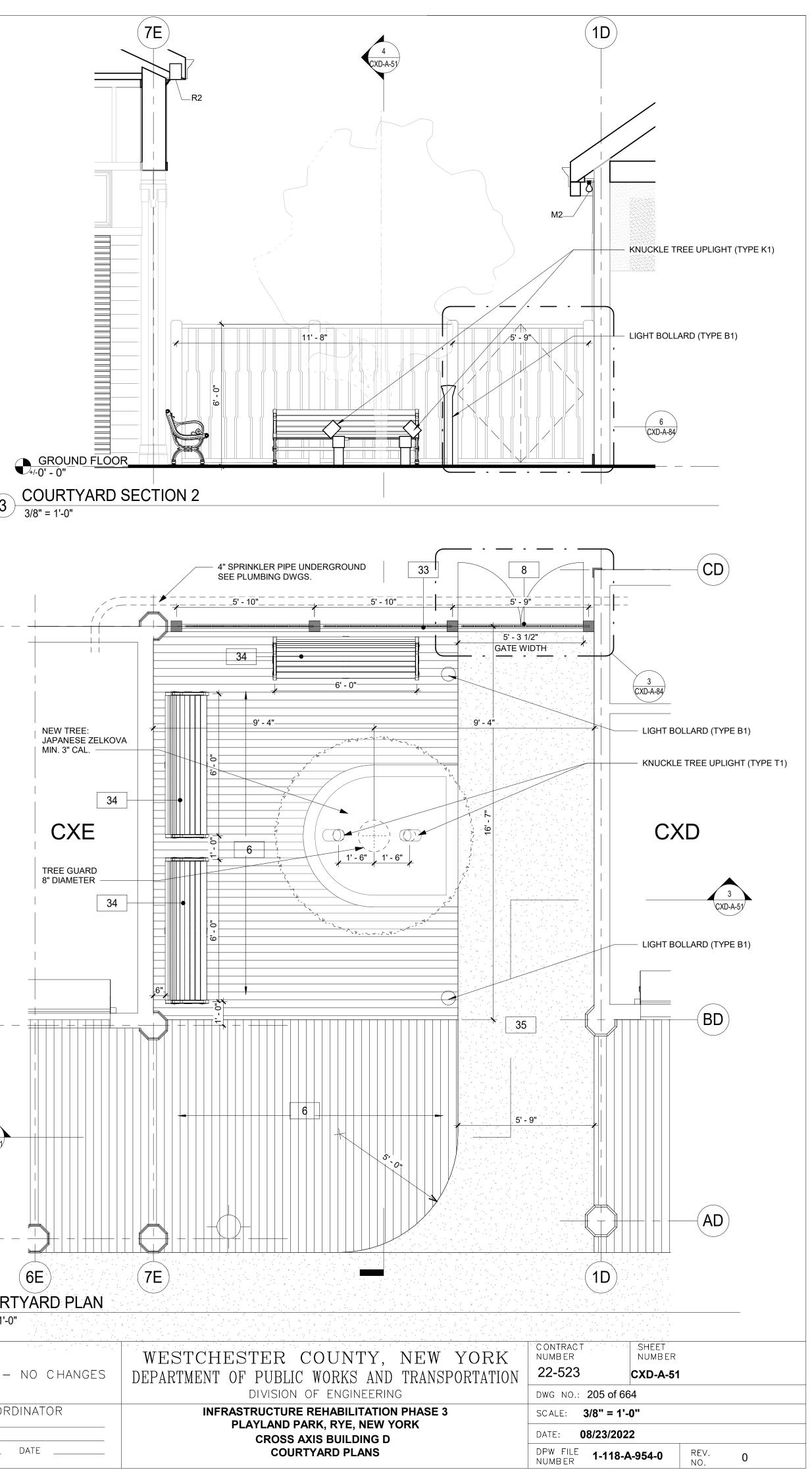
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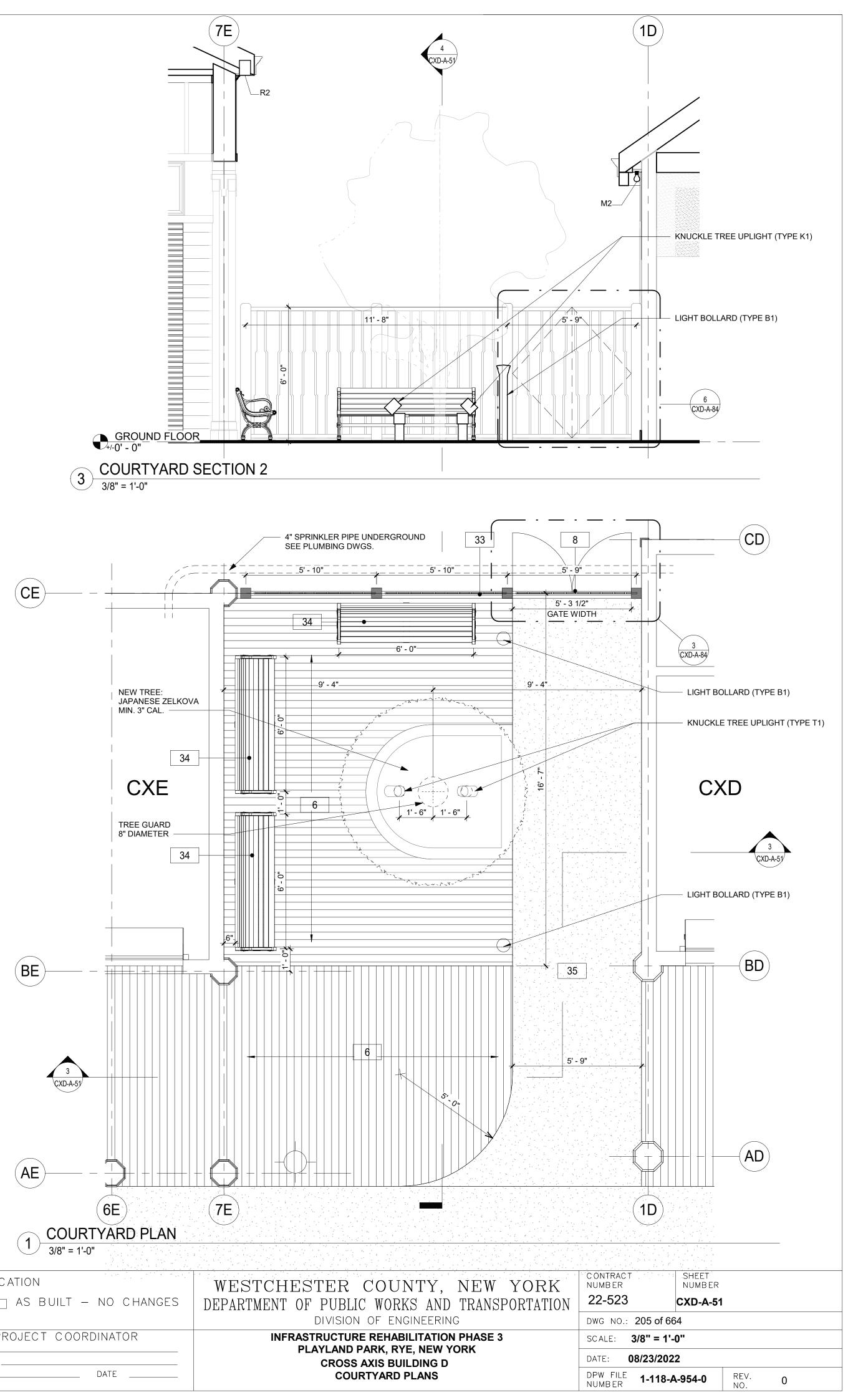


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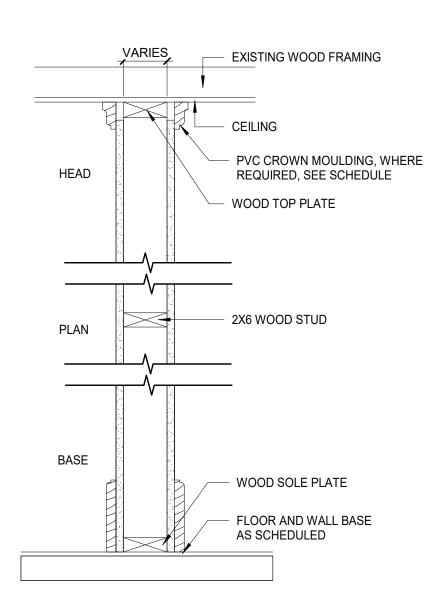
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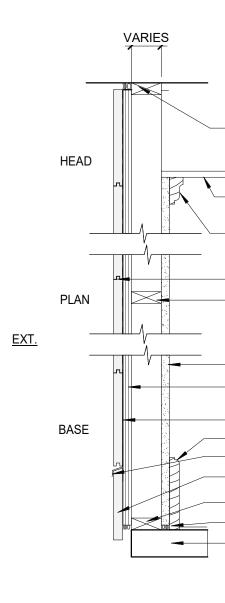


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1B NO RATING 1 LAYER 5/8" IMPACT & MOLD-RESISTANT GYP. BD. TO

CEILING, ON EACH SIDE

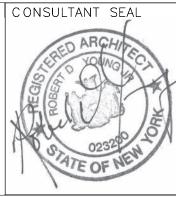


NO RATING

1 LAYER 5/8" IMPACT & MOLD-RESISTANT GYP. BD. UPTO 8' A.F.F. AND 5/8" MOLD-RESISTANT GYP. BD. TO CEILING ON THE INTERIOR SIDE

1HR FIRE RATING- BXUV.V346-ANSI/UL 263 < 2A 🕽 1 LAYER 5/8" GWB-X M-BLOC - MOISTURE-RESISTANT, 2X6 WOOD STUD, 1 LAYER 5/8" GWB-X M-BLOC - MOISTURE-RESISTANT, 3/4" FIRE-RETARDANT SHEATING, 1/8" DRAINAGE TYPE BARRIER, WOOD SIDING





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— EXISTING WOOD TOP PLATE FINISH CEILING WHERE
 REQUIRED, SEE SCHEDULE PVC CROWN MOULDING, WHERE REQUIRED, SEE SCHEDULE - TONGUE AND GROOVE WOOD SIDING - EXISTING WOOD STUD <u>INT.</u> GYPSUM WALLBOARD - EXT. GRADE PLYWOOD SHEATHING (PROVIDE FIRE RETARDENT AT FIRE RATED WALL) - WEATHER BARRIER \_\_\_\_\_ FLOOR AND BASE, AS SCHEDULED METAL FLASHING - 6" EXTERIOR PVC WALL BASE - EXISTING WOOD PLATE

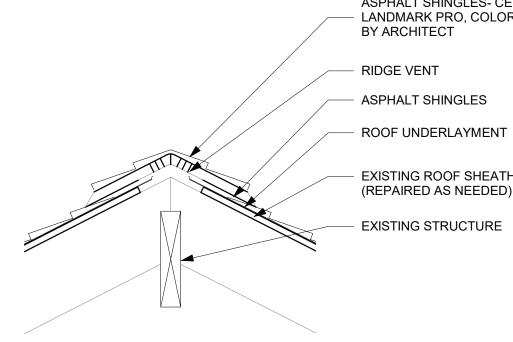
CONTINUOUS SEALANT - EXISTING WOOD FRAMING

VARIES \_\_\_\_\_ EXISTING WOOD FRAMING \_\_\_\_\_ H C F CEILING PVC CROWN MOULDING, WHERE REQUIRED, SEE SCHEDULE HEAD — WOOD TOP PLATE - PVC BEADBOARD CAP — 2x6 WOOD STUD PLAN - 8' HIGH BEADBOARD BASE FLOOR AND WALL BASE AS SCHEDULED - WOOD SOLE PLATE - EXISTING FLOOR FRAME

NO RATING

1 LAYER 5/8" IMPACT & MOLD-RESISTANT GYP. BD. TO CEILING, ON EACH SIDE. 8' HIGH" BEADBOARD ON VENDOR SPACE(S) SIDE WITH PVC BEADBOARD CAP

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	CONTRACTOR NAME SIGNATURE	PROJECT COORDINATOR NAME	INFRASTRUCTURE REHABILITATION PHASE 3 PLAYLAND PARK, RYE, NEW YORK CXD - CXE - CXF	SCALE:       1 1/2" = 1'-0"         DATE:       08/23/2022
REVISION	TITLE DATE	TITLE DATE	PARTITION TYPE DETAILS	DPW FILE <b>1-118-A-955-0</b> REV. 0



3 RIDGE VENT DETAIL 1" = 1'-0"

CONSULTANT INFORMATION CONSULTANT SEAL ARCHI Sho The LiRo Group 3 Aerial Way, Syosset, New York 11791 (516) 938-5476 www.liro.com REVISION NUMBER DATE MADE APP'D BY BY TE OF NE

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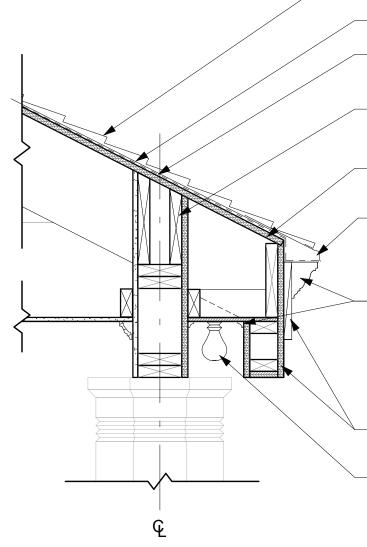
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ICE BARRIER, MIN 4' FROM LP	
ROOF UNDERLAYMENT	
BLOCKING AS REQ'D, TYP	/
ROOF SHEATHING	>
METAL DRIP EDGE	
PVC CORNICE MOLDING	>
MEDIUM-DENSITY OVERLAY (MDO) PLYWOOD	
M2 LIGHTS	
TONGUE AND GROOVE WOOD SIDING	
ା ହ	

EXISTING ROOF SHEATHING (REPAIRED AS NEEDED)

- ROOF UNDERLAYMENT

ASPHALT SHINGLES- CERTAINTEED – LANDMARK PRO, COLOR AS SELECTED BY ARCHITECT

ESTCHESTER COUNTY, NEW YORKCONTRACT NUMBERSHEET NUMBERPARTMENT OF PUBLIC WORKS AND TRANSPORTATION22-523CXD-A-81	
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DIVISION OF ENGINEERING DWG NO.: 207 of 664	DWG NO.: 207 of 664
INFRASTRUCTURE REHABILITATION PHASE 3 PLAYLAND PARK, RYE, NEW YORK SCALE: 1" = 1'-0"	SCALE: <b>1" = 1'-0"</b>
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ROOF DETAILSDPW FILE NUMBER1-118-A-956-0REV. NO.0	

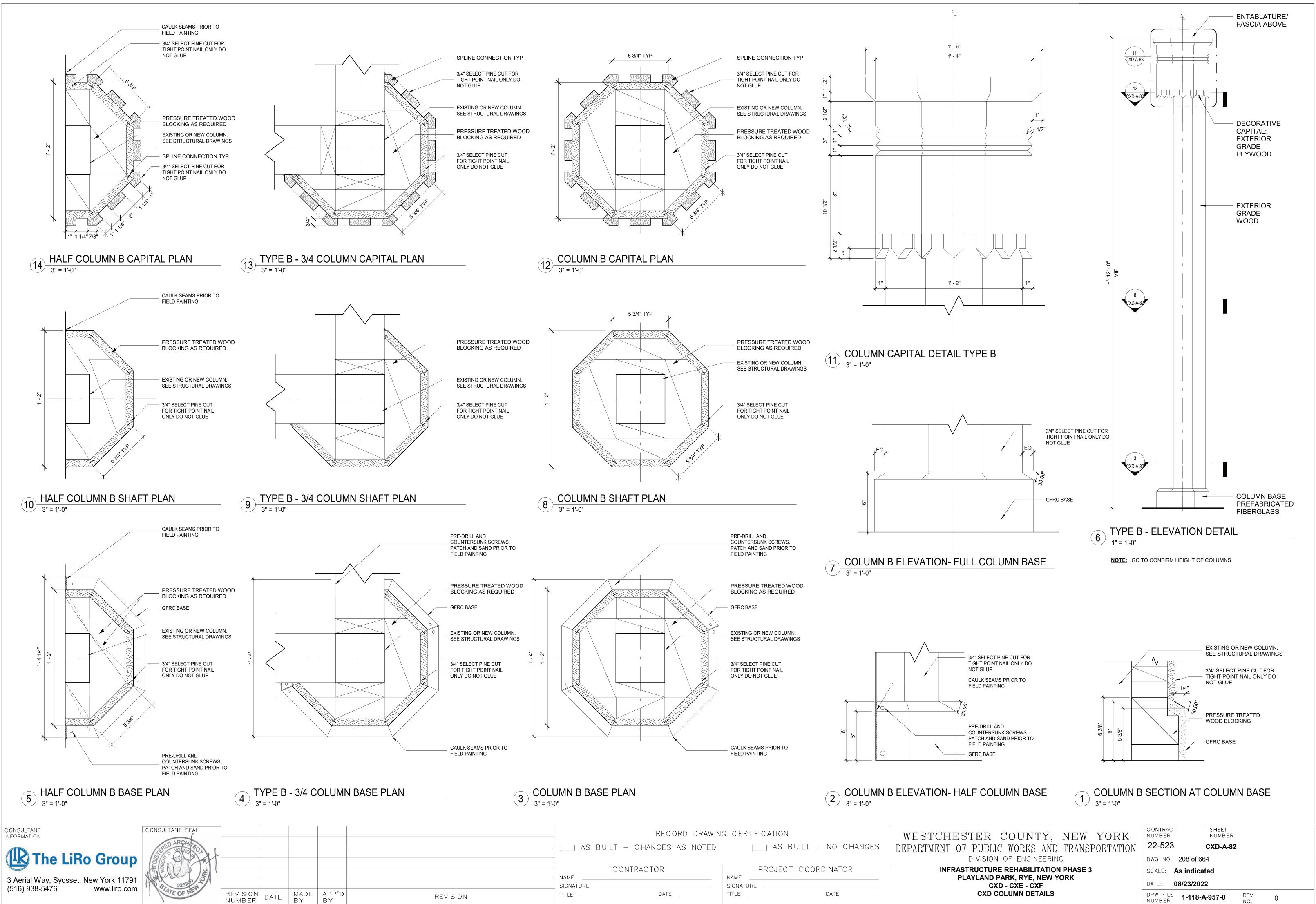


\_\_\_\_ METAL DRIP EDGE

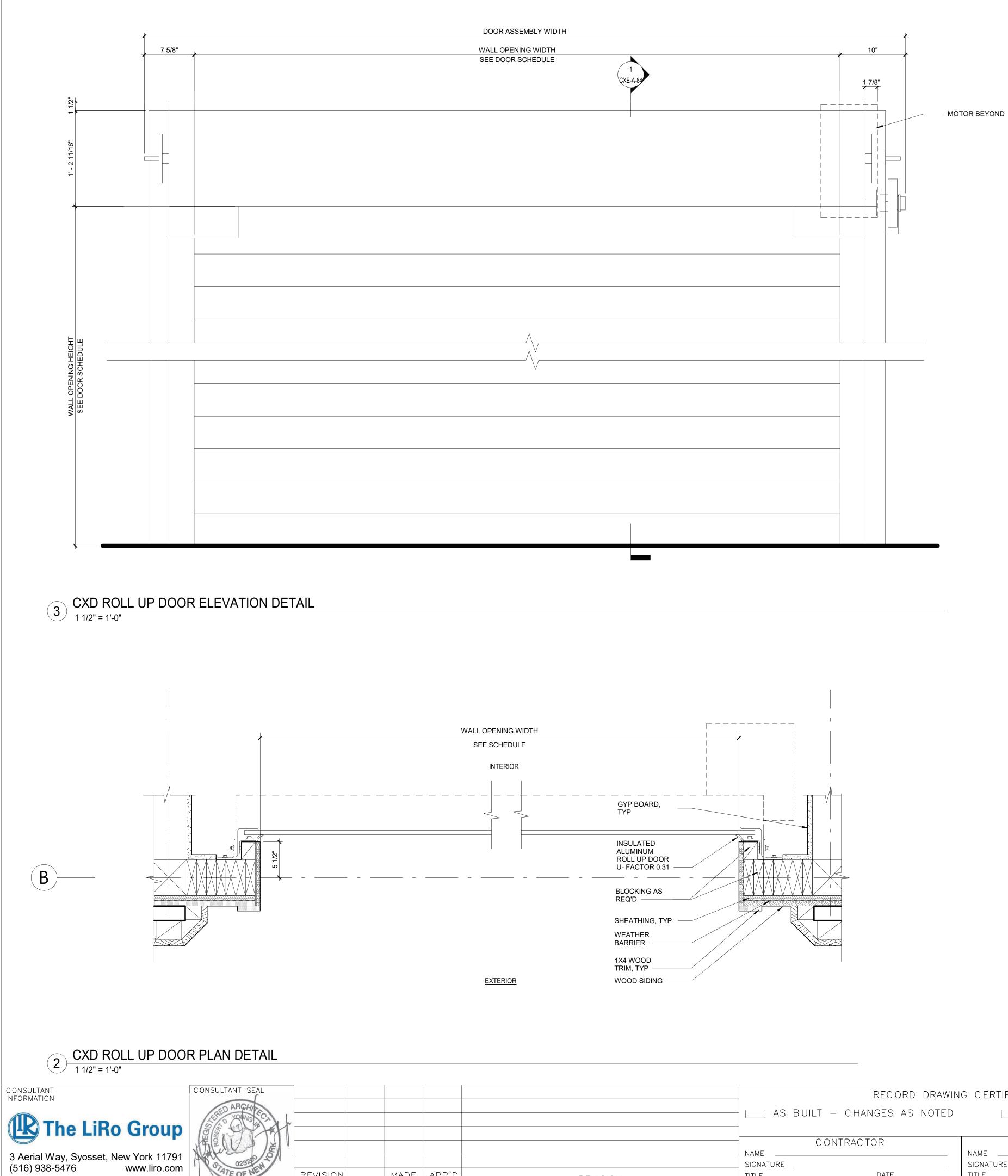
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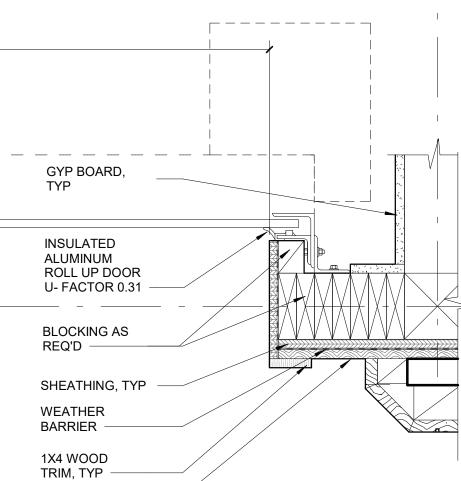
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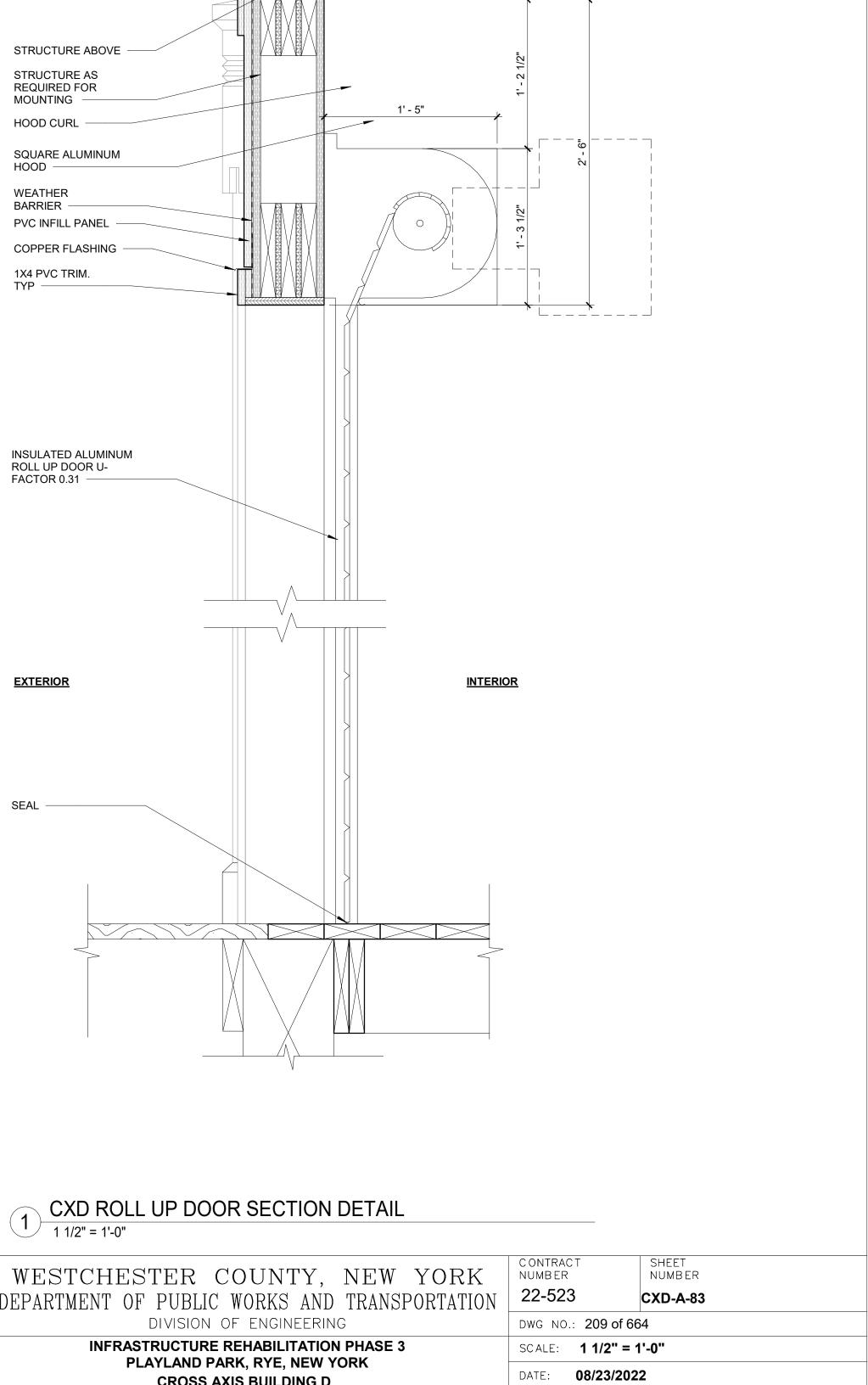
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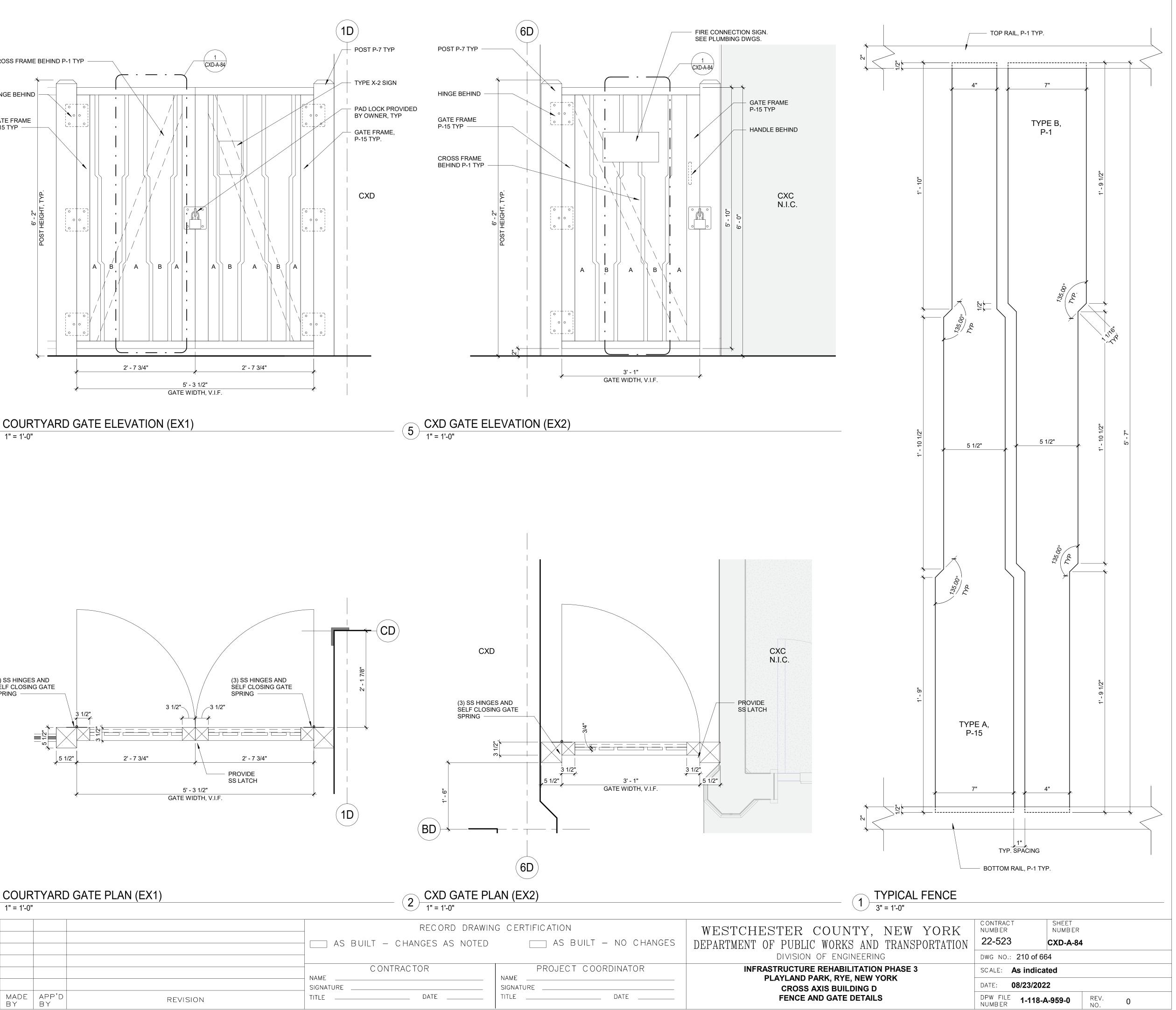
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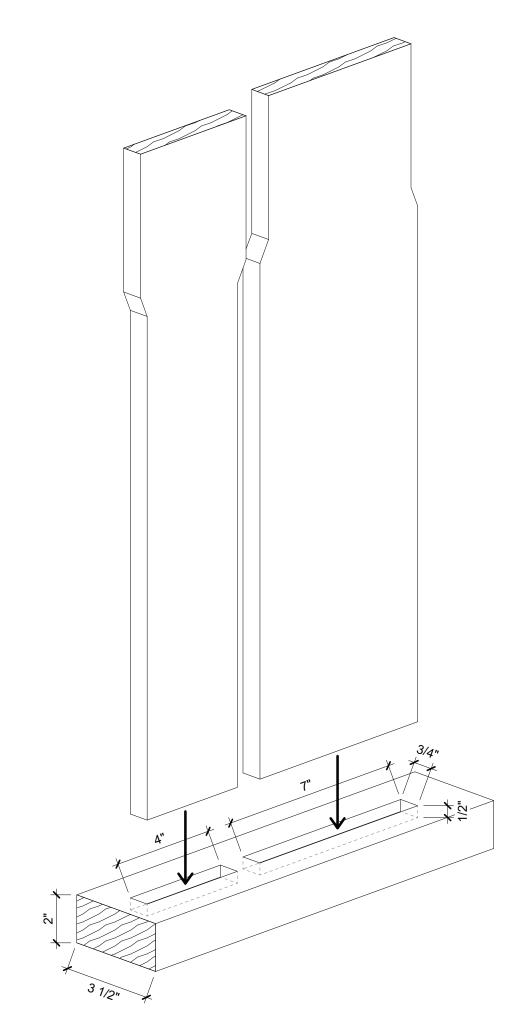
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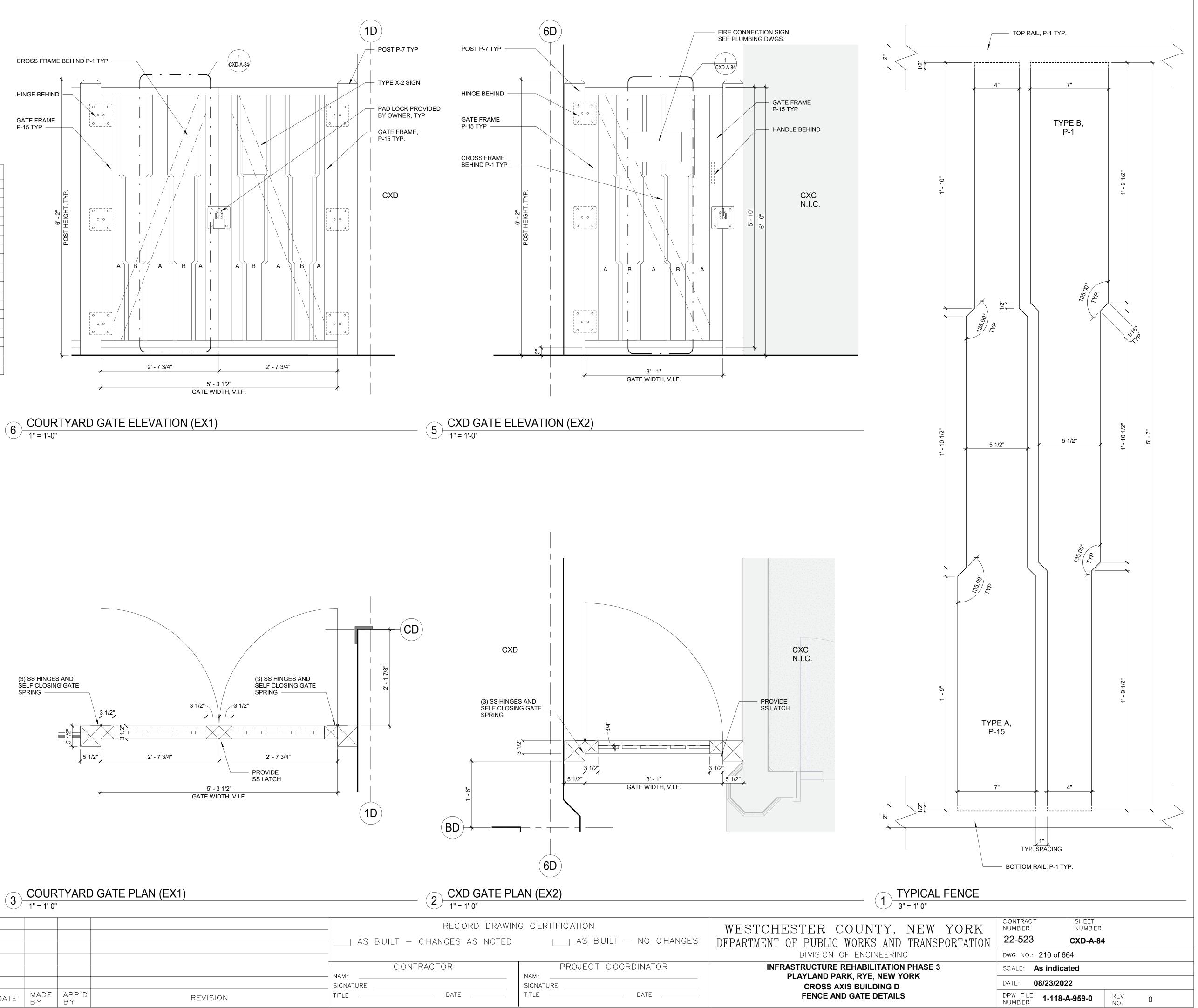
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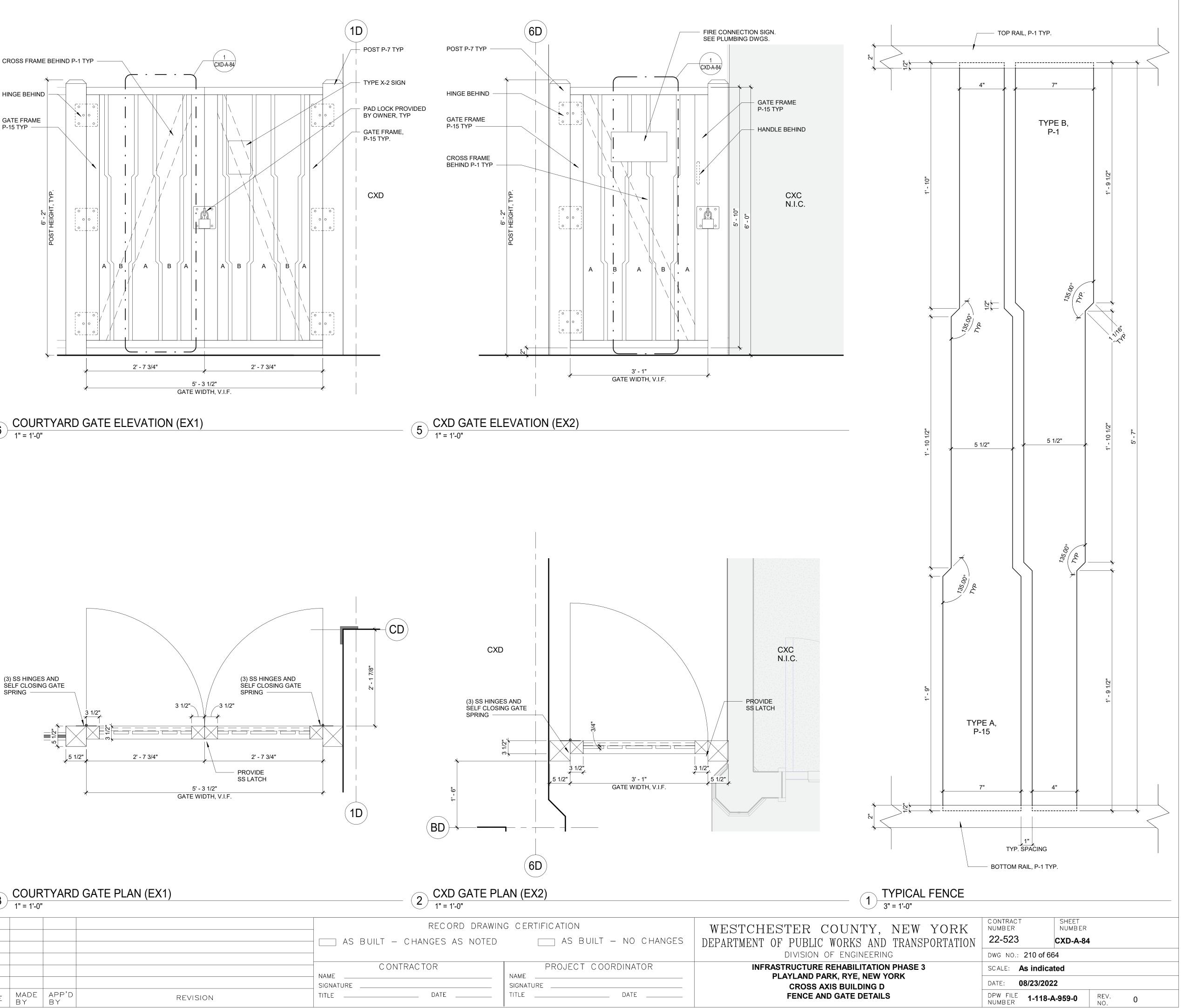
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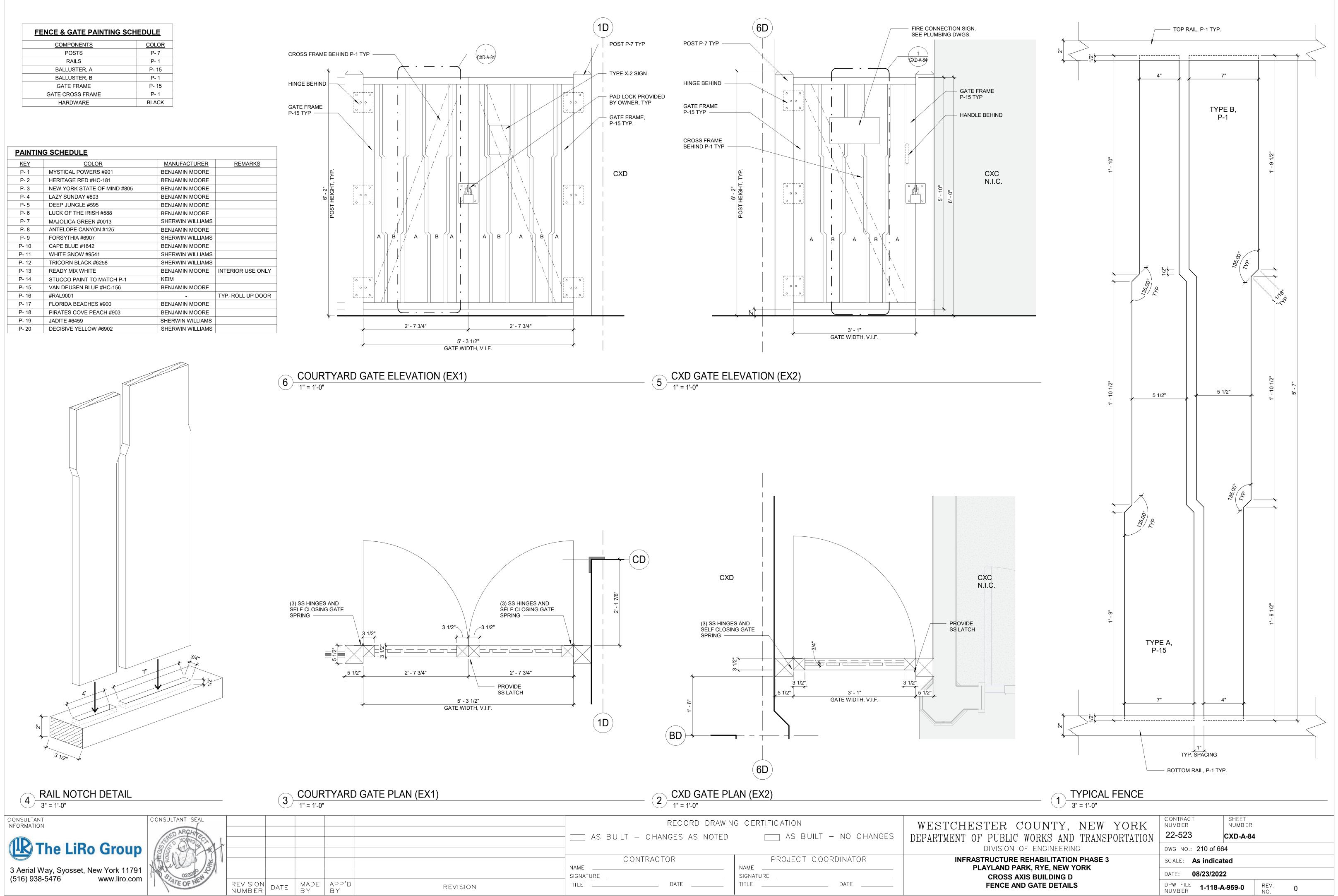
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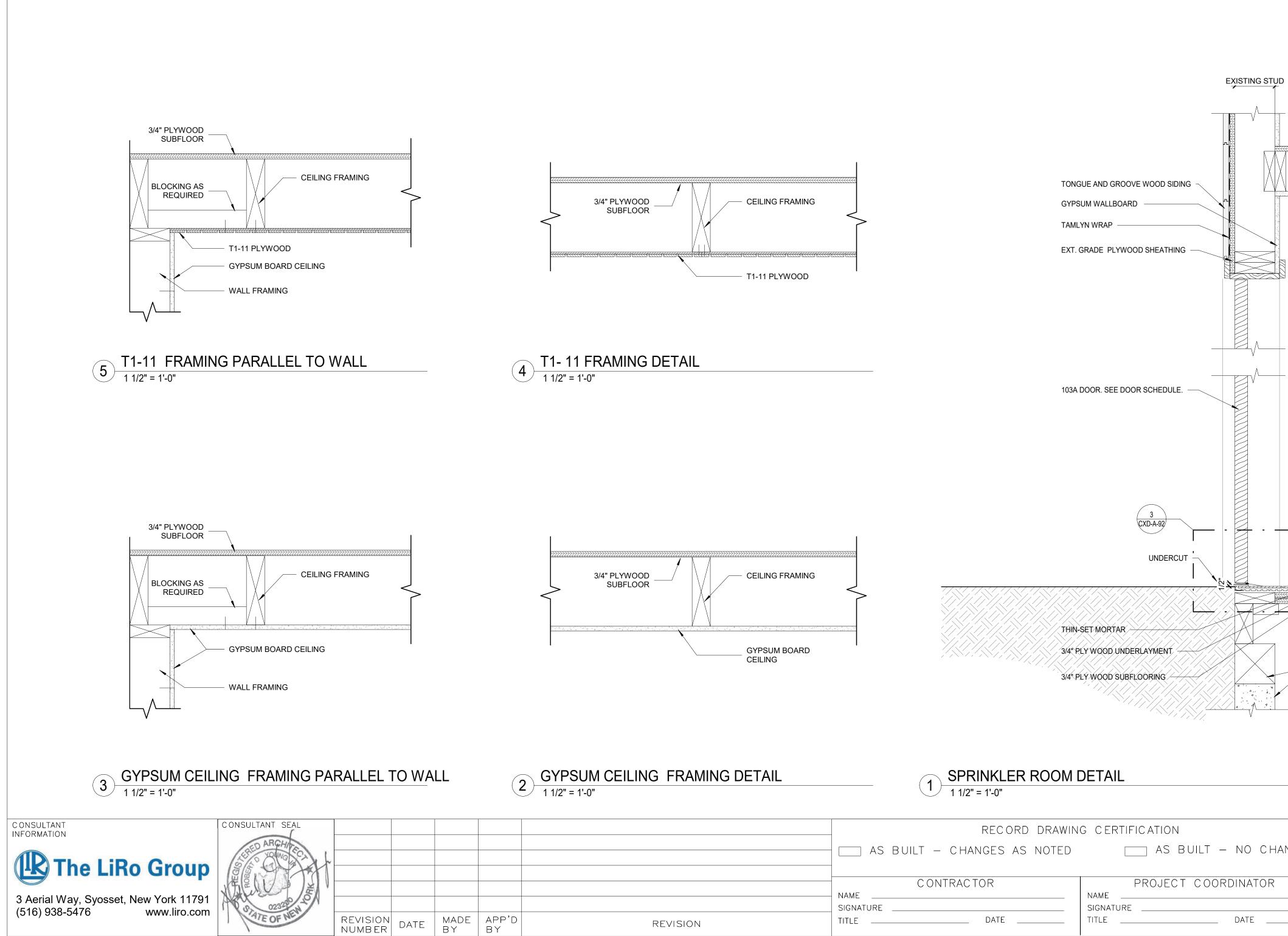












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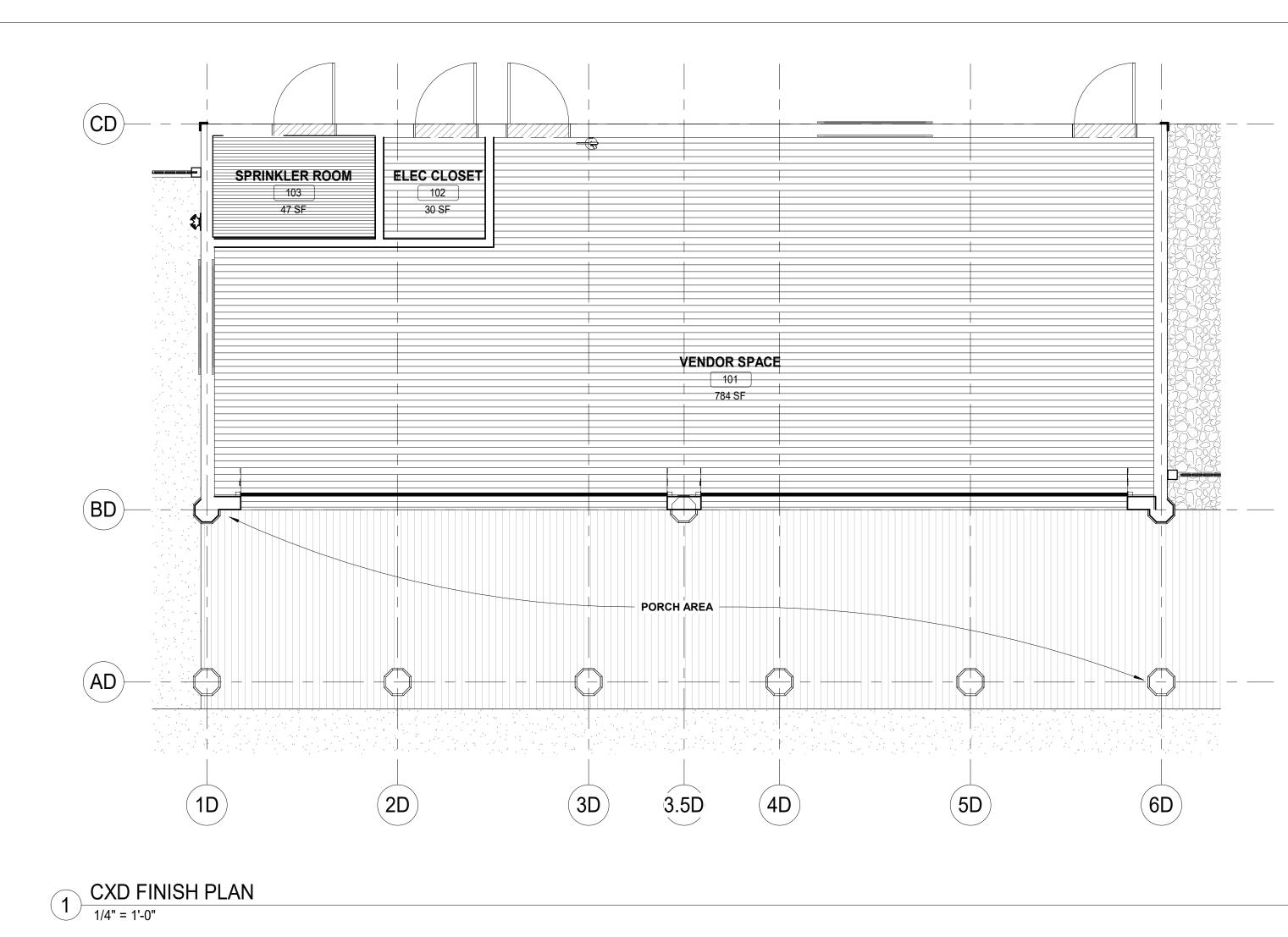
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DIVISION OF ENGINEERING INFRASTRUCTURE REHABILITATION PHASE 3	SCALE: <b>1 1/2" = 1'-0"</b>
	DWG NO.: 211 of 664
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RUCTURE/ FOUNDATION FLOOR JOIST. SEE STRUCTURE DWGS.	
SPRINKLER ROOM 3 1/2" GYPSUM WALLI GYPSUM WALLI BEAD BOARD BEAD BOARD HIN-SET MORTAR UNCOUPLING MEMBRANE FLOOR AND BASE, AS SCHEDULED FLOOR AND BASE,	SE, 2X6 BOARDWALK DECKING 1/8"

- PLYWOOD PANEL

- GYPSUM WALLBOARD CEILING



FINISH SCHEDULE <u>ROOM #</u> ROOM NAME FLOORS WALLS CEILING P-13 101 P-13 VENDOR SPACE WD-1 102 ELECTRICAL ROOM WD-1 P-13 P-13 103 T-1 SPRINKLER ROOM P-13 P-13 WD-2 P-10 PORCH AREA --<u>PAINT</u> (FOR PAINT TYPE AND SYSTEMS, SEE SPECIFICATIONS) MFR: BENJAMIN MOORE - COLOR: READY MIX WHITE P-13 <u>CEILING</u> (FOR CEILING DETAILS, SEE AR-A-XX) P-13 MFR: BENJAMIN MOORE - COLOR: READY MIX WHITE P-10 MFR: BENJAMIN MOORE - COLOR: CAPE BLUE FLOORING 2X6 WOOD BOARD TO MATCH IN KIND WITH EXISTING FLOOR WD-1 WD-2 IPE WOOD DECK T-1 4X4 TILE FLOORING WALL BASE (FOR WALL BASE DETAILS, SEE CXD-A-XX) WB-1 1 x 6 WOOD BASE WB-2 TILE BASE TBD THRESHOLD (FOR THRESHOLD DETAILS, SEE CXD-A-92)

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TR-1 EXTERIOR DOOR SILL

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DOORS AND TRIM	WALL BASE
SEE DOOR SCHEDULE (CXD-A-92)	WB-1
SEE DOOR SCHEDULE (CXD-A-92)	WB-1
SEE DOOR SCHEDULE (CXD-A-92)	WB-2
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# FINISH LEGEND:

NIC	ITEMS NOT IN CONTRACT
	TILE FLOORING
	TIMBER WOOD DECKING
	QUARRY TILE FLOORING

## FINISH PLAN NOTES:

- 1. INDICATES TYPICAL FINISHES WITHIN ROOM, U.O.N. SEE SHEET CXB-A-65 FOR MATERIAL AND
- COLOR SCHEDULE.
  ALL FLOORING COVERING MATERIALS TO BE INSTALLED PER MANUFACTURER'S STANDARD DETAILS AND SPECIFICATIONS. VERIFY WITH MANUFACTURER PRIOR INSTALLATION.
  THE G.C. IS RESPONSIBLE FOR PROVIDING A SMOOTH LEVEL FLOOR SURFACE THAT MEETS
- THE G.C. IS RESPONSIBLE FOR PROVIDING A SMOOTH LEVEL FLOOR SURFACE THAT MEETS MANUFACTURERS INSTALLATION SPECIFICATIONS PRIOR TO THE INSTALLATION OF ALL FLOORING MATERIALS.
   THE FLOORING SUB CONTRACTOR IS RECOMMENDED FOR VERIFICIAL THE CONDITION OF THE
- 4. THE FLOORING SUB-CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT THE CONDITION OF THE BASE FLOOR MEETS THE INSTALLATION SPECIFICATIONS PRIOR TO THE INSTALLATION OF THE NEW FLOORING MATERIAL.
- ALL MATERIAL TRANSITIONS AN DOOR THRESHOLDS TO TAKE PLACE AT DOOR CENTERLINE U.N.O.
   ALL DIMENSIONS ARE TO CENTERLINE OF TRANSITION BETWEEN FLOORING MATERIALS OR FINISH COLOR OF SAME MATERIAL. PLANS DO NOT SHOW ALL TILES OF SAME MATERIALS. CONTRACTOR TO START TILES AT POINT AS INDICATED ON PLANS.
- 7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL NEW AND EXISTING SURFACES IN A SATISFACTORY MANNER TO RECEIVE NEW FINISHES. THIS INCLUDES THE DEMOLITION AND REMOVAL OF NECESSARY ITEMS. TOUCH- UP AND/ OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
- 8. ALL SURFACES WHICH ARE TO RECEIVE A PAINT FINISH SHALL BE PRIMED AND FINISHED IN ACCORDANCE WITH THE WRITTEN SPECIFICATIONS.
- 9. ALL JOINTS IN GYPSUM BOARD WALLS SHALL BE FINISHED WITH PAPER TAPE 2" WIDE AND THREE COATS OF VINYL, DRY OR PREMIXED JOINT COMPOUND. ALL OUTSIDE CORNERS SHALL BE FINISHED WITH METAL CORNER BEADS, TAPED AND SPACKLED. ALL AREAS TO BE PAINTED SHALL BE SANDED SMOOTH. JUST PRIOR TO THE APPLICATION OF THE FIRST COAT OF PAINT, WIPE SANDED SURFACES WITH A DAMP CLOTH IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED IN SANDING.
- THE PAINT CONTRACTOR SHALL REMOVE ALL HARDWARE, SWITCH COVERS, ETC. PRIOR TO PAINTING AND BE RESPONSIBLE FOR THE REINSTALLATION AFTER PAINTING IS COMPLETED.
   FINISH FLOORING INSTALLATION SHALL BE IN CONFORMANCE WITH THE MANUFACTURER'S
- RECOMMENDED INSTALLATION GUIDELINES. COORDINATE THE INSTALLATION WITH OTHER TRADES, SUCH AS ELECTRICAL. 12. ALL JOINTS BETWEEN MATERIALS TO BE TIGHT AND CONSTRUCTED IN A NEAT WORKMANLIKE
- MANNER. 13. ALL FINISHES SHALL BE TOUCHED UP TO CORRECT ANY IMPERFECTIONS AFTER INSTALLATION. FIXTURE CONTRACTOR SHALL PROVIDE TO THE GENERAL CONTRACTOR ALL MATERIALS FOR TOUCH UP WORK.
- THE INTENT OF THE FINISH SPECIFICATIONS IS TO PROVIDE A SATISFACTORY FINISH TO ALL PARTS OF THE WORK. COVER ALL SURFACES THOROUGHLY. IF THE SPECIFIED NUMBER OF COATS DOES NOT ACCOMPLISH THE INTENT, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPLICATION OF ADDITIONAL COATS OF THE SPECIFIED MATERIAL TO GIVE SATISFACTORY COVERAGE, AT NO ADDITIONAL COST TO OWNER.
- 15. CLEAN ALL GLASS SURFACES WITH LIQUID GLASS CLEANER AT PROJECT COMPLETION.
   16. REFERENCE SPECIFICATIONS FOR COMPLETE FINISH DOCUMENTATION AND MANUFACTURER INSTALLATION AND MAINTENANCE DOCUMENTATION.

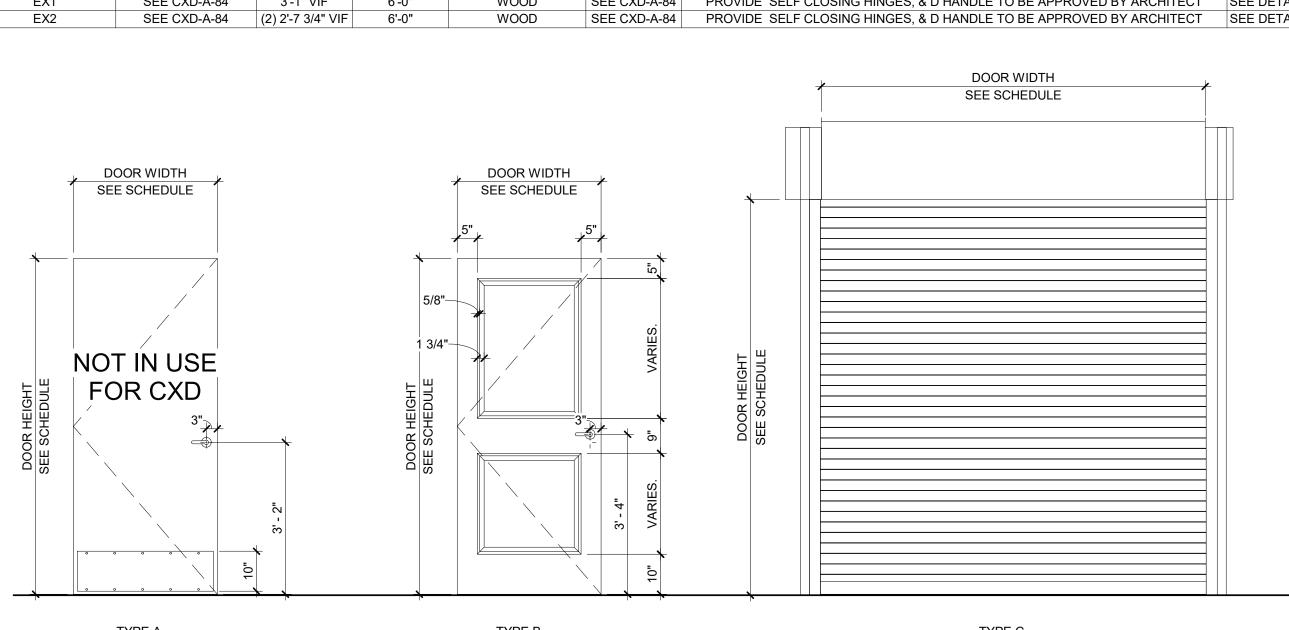
PAINTIN	<u>G SCHEDULE</u>		
<u>KEY</u>	COLOR	MANUFACTURER	REMARKS
P- 1	MYSTICAL POWERS #901	BENJAMIN MOORE	
P- 2	HERITAGE RED #HC-181	BENJAMIN MOORE	
P- 3	NEW YORK STATE OF MIND #805	<b>BENJAMIN MOORE</b>	
P- 4	LAZY SUNDAY #803	<b>BENJAMIN MOORE</b>	
P- 5	DEEP JUNGLE #595	<b>BENJAMIN MOORE</b>	
P- 6	LUCK OF THE IRISH #588	<b>BENJAMIN MOORE</b>	
P- 7	MAJOLICA GREEN #0013	SHERWIN WILLIAMS	
P- 8	ANTELOPE CANYON #125	<b>BENJAMIN MOORE</b>	
P- 9	FORSYTHIA #6907	SHERWIN WILLIAMS	
P- 10	CAPE BLUE #1642	<b>BENJAMIN MOORE</b>	
P- 11	WHITE SNOW #9541	SHERWIN WILLIAMS	
P- 12	TRICORN BLACK #6258	SHERWIN WILLIAMS	
P- 13	READY MIX WHITE	<b>BENJAMIN MOORE</b>	INTERIOR USE ONLY
P- 14	STUCCO PAINT TO MATCH P-1	KEIM	
P- 15	VAN DEUSEN BLUE #HC-156	BENJAMIN MOORE	
P- 16	#RAL9001	-	TYP. ROLL UP DOOR
P- 17	FLORIDA BEACHES #900	BENJAMIN MOORE	
P- 18	PIRATES COVE PEACH #903	BENJAMIN MOORE	
P- 19	JADITE #6459	SHERWIN WILLIAMS	
P- 20	DECISIVE YELLOW #6902	SHERWIN WILLIAMS	

STCHESTER COUNTY, NEW YORK RTMENT OF PUBLIC WORKS AND TRANSPORTATION	CONTRACTSHEETNUMBERNUMBER22-523CXD-A-91
DIVISION OF ENGINEERING	DWG NO.: 212 of 664
INFRASTRUCTURE REHABILITATION PHASE 3	SCALE: As indicated
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022
CXD FINISH PLAN AND FINISH SCHEDULE	DPW FILE <b>1-118-A-961-0</b> REV. <b>0</b> NUMBER <b>0</b>

											DOOR SCH	IEDULE - CXD	<u>)</u>		
			DOOR			DOOR			DOOR			FRAME			
Building	Door Number	DOOR TYPE	WIDTH	HEIGHT	DOOR THICKNESS	DOOR MATERIAL	GLASS	EXTERIOR FINISH	INTERIOR FINISH	FRAME TYPE	MATERIAL	EXTERIOR	INTERIOR	HDWR SET	REMARKS
							-				-				
XD	101A	С	21' - 0"	9' - 6"		ALUM	NO	PAINT, P-16	PAINT, P-16	-	-	-	-	4.0	
XD	101B	С	21' - 0"	9' - 6"		ALUM	NO	PAINT, P-16	PAINT, P-16	-	-	-	-	4.0	
XD	101C	В	3' - 0"	7' - 0"	1 3/4"	WOOD	NO	PAINT, P-1	PAINT, P-13	2	WD.	PAINT, P-7	PAINT, P-13	9.0	EXIT DEVICE REQUIRED, LOCK REQUIRED. TYPE X-3 SIGN ON DOOR
KD (D	101D	В	3' - 0"	7' - 0"	1 3/4"	WOOD	NO	PAINT, P-1	PAINT, P-13	2	WD.	PAINT, P-7	PAINT, P-13	9.0	EXIT DEVICE REQUIRED, LOCK REQUIRED. TYPE X-3 SIGN ON DOOR
(D	102A	В	3' - 0"	7' - 0"	1 3/4"	WOOD	NO	PAINT, P-1	PAINT, P-13	2	WD.	PAINT, P-7	PAINT, P-13	11.0	STOREFRONT LOCK SET. TYPE A-3 SIGN ON DOOR
(D	103A	В	3' - 0"	7' - 0"	1 3/4"	WOOD	NO	PAINT, P-1	PAINT, P-13	2	WD.	PAINT, P-7	PAINT, P-13	9.0	STOREFRONT LOCK SET. TYPE A-2 SIGN ON DOOR

**NOTE:** GC TO CONFIRM DOOR SIZES IN FIELD PRIOR TO ORDERING

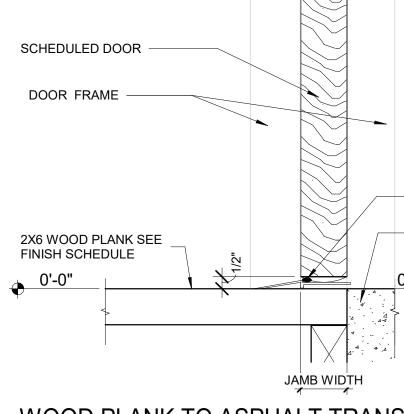
						GATE SCHEDULE	
DOOR NUMBER	DOOR TYPE	WIDTH	HEIGHT	GATE MATERIAL	FINISH	HDWR SET	REMARKS
EX1	SEE CXD-A-84	3'-1" VIF	6'-0"	WOOD	SEE CXD-A-84	PROVIDE SELF CLOSING HINGES, & D HANDLE TO BE APPROVED BY ARCHITECT	SEE DETAILS ON CXD-A-84
EX2	SEE CXD-A-84	(2) 2'-7 3/4" VIF	6'-0"	WOOD	SEE CXD-A-84	PROVIDE SELF CLOSING HINGES, & D HANDLE TO BE APPROVED BY ARCHITECT	SEE DETAILS ON CXD-A-84



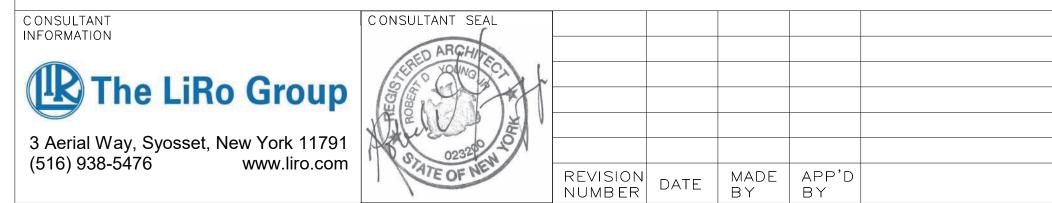
<u>TYPE A</u> SINGLE H.M. DOOR NOT IN USE FOR CXD

6 DOOR TYPES 1/2" = 1'-0"

TYPE B SINGLE WOOD DOOR



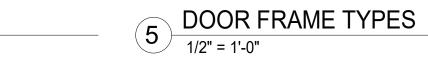
4 WOOD PLANK TO ASPHALT TRANSI 3" = 1'-0"



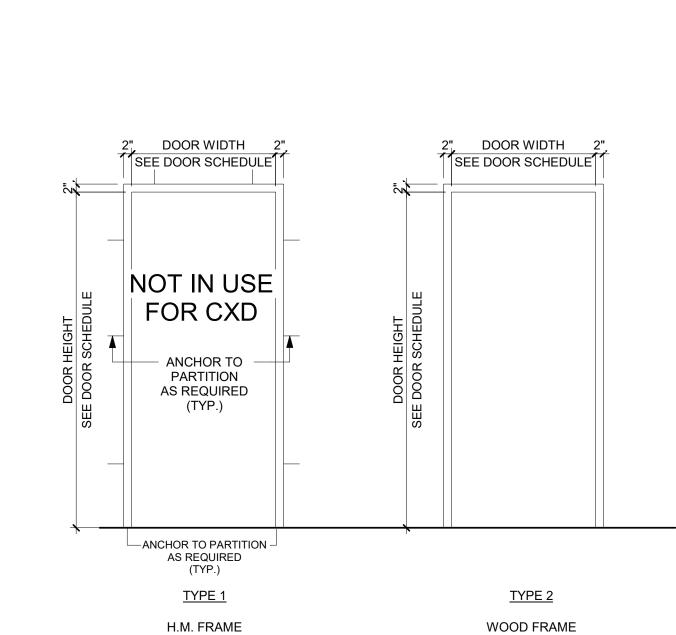
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DOOF QUARE FINISH THIN-S UNCOU MEMBI O'-O" O'-O" O'-O" PLYWO	O" O'-O"	$\qquad \qquad $	/B DET
	RECORD DRAWING		WE DEPA
REVISION	CONTRACTOR NAME SIGNATURE TITLE DATE	PROJECT COORDINATOR NAME	
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NOT IN USE FOR CXD



TYPE C OVERHEAD ROLL-UP DOOR



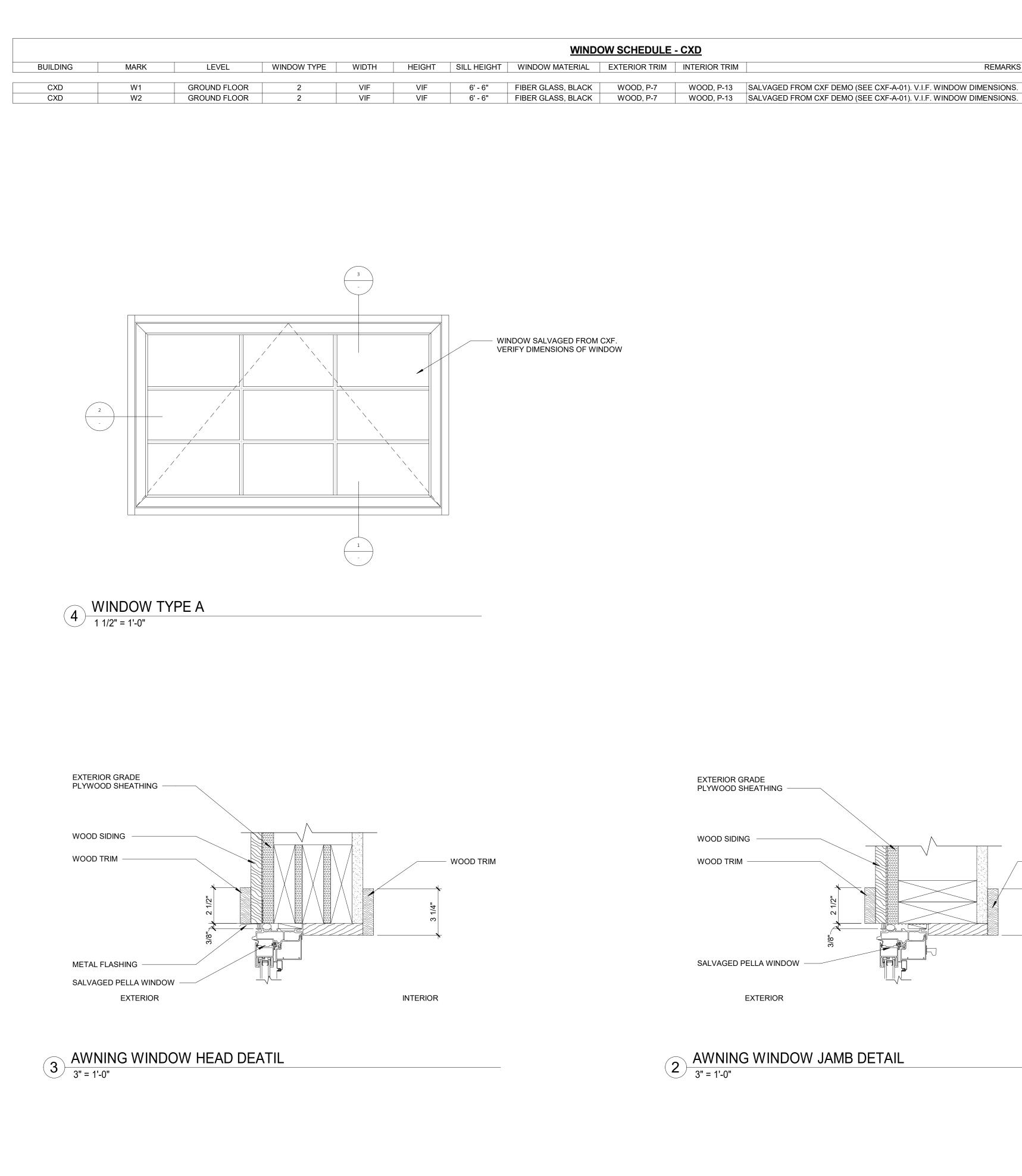
PLYWOOD WOOD SIDING DOOR AS SCHEDULED GYP. BOARD	PLYWOOD SHEATHING GYP. BOARD WOOD TRIM DOOR FRAME, SEE SCHEDULE DOOR STOP DOOR AS SCHEDULED
TAIL 1 WOOD DOOF 3" = 1'-0"	R HEAD DETAIL
ESTCHESTER COUNTY, NEW YORK ARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING	CONTRACT       SHEET         NUMBER       NUMBER         22-523       CXD-A-92         DWG NO.:       213 of 664
INFRASTRUCTURE REHABILITATION PHASE 3 PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D DOOR SCHEDULE AND DOOR DETAILS	SCALE:         As indicated           DATE:         08/23/2022           DPW FILE NUMBER         1-118-A-962-0         REV. NO.         0

VARIES.

WOOD SIDING

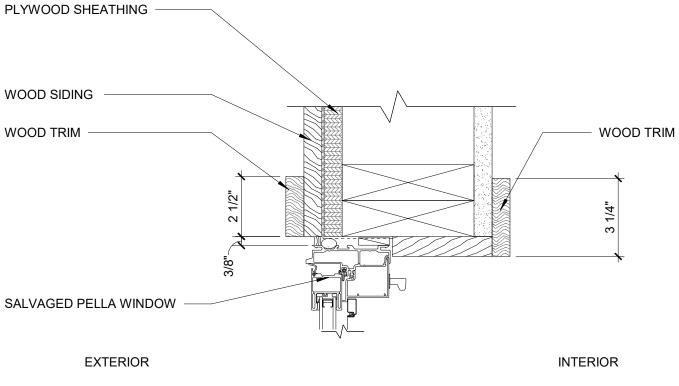
GENERAL DOOR SCHEDULE NOTES:
1. REFER TO CXD-A-92 SHEET FOR D

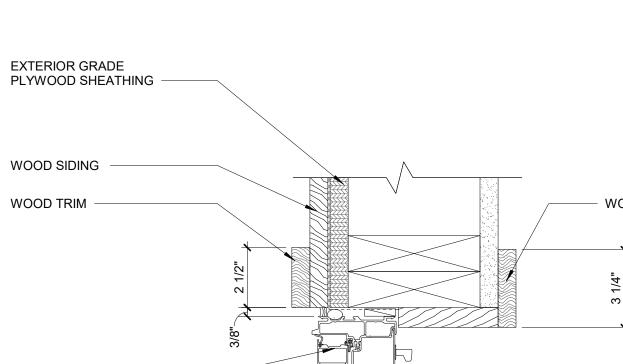
- XD-A-92 SHEET FOR DOOR SILL & TRANSITION DETAILS. SILL TRANSITION INFORMATION IS INDICATED ON FINISH PLAN UNLESS OTHERWISE NOTED.
- REFER TO SHEET CXD-A-91 FOR FINISH SCHEDULE AND LEGEND.
   THE CONTRACTOR SHALL EXAMINE THE DRAWINGS, SCHEDULE AND
- SPECIFICATIONS AND FURNISH PROPER HARDWARE FOR ALL OPENINGS WHETHER LISTED OR NOT. COMPLETE SHOP DRAWINGS SHALL BE PROVIDED FOR APPROVAL PRIOR TO PURCHASE.
- 4. ALL EXIT DOORS SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- 5. VERIFY DIMENSIONS OF EXISTING OPENINGS AND DOORS BEFORE ORDERING.
- 6. THE CONTRACTOR SHALL COORDINATE & VERIFY LOCATION OF RECESSED FLOOR CLOSERS, PIVOTS, ETC. WITH EXISTING FLOOR SLABS AND OTHER FIELD CONDITIONS PRIOR TO ORDERING TO ENSURE PROPER CLEARANCES & DEPTHS ARE ALLOWED.



CONSULTANT INFORMATION	CONSULTANT SEAL	~			RECORD DRA	AWING CERTIFICATION	W E DEPA
3 Aerial Way, Syosset, New York 11 (516) 938-5476 www.liro.c	791	REVISION NUMBER DATE	MADE APP'D BY BY	REVISION	CONTRACTOR NAME SIGNATURE DATE DATE	PROJECT COORDINATOR NAME SIGNATURE DATE DATE	

# 2 AWNING WINDOW JAMB DETAIL 3" = 1'-0"

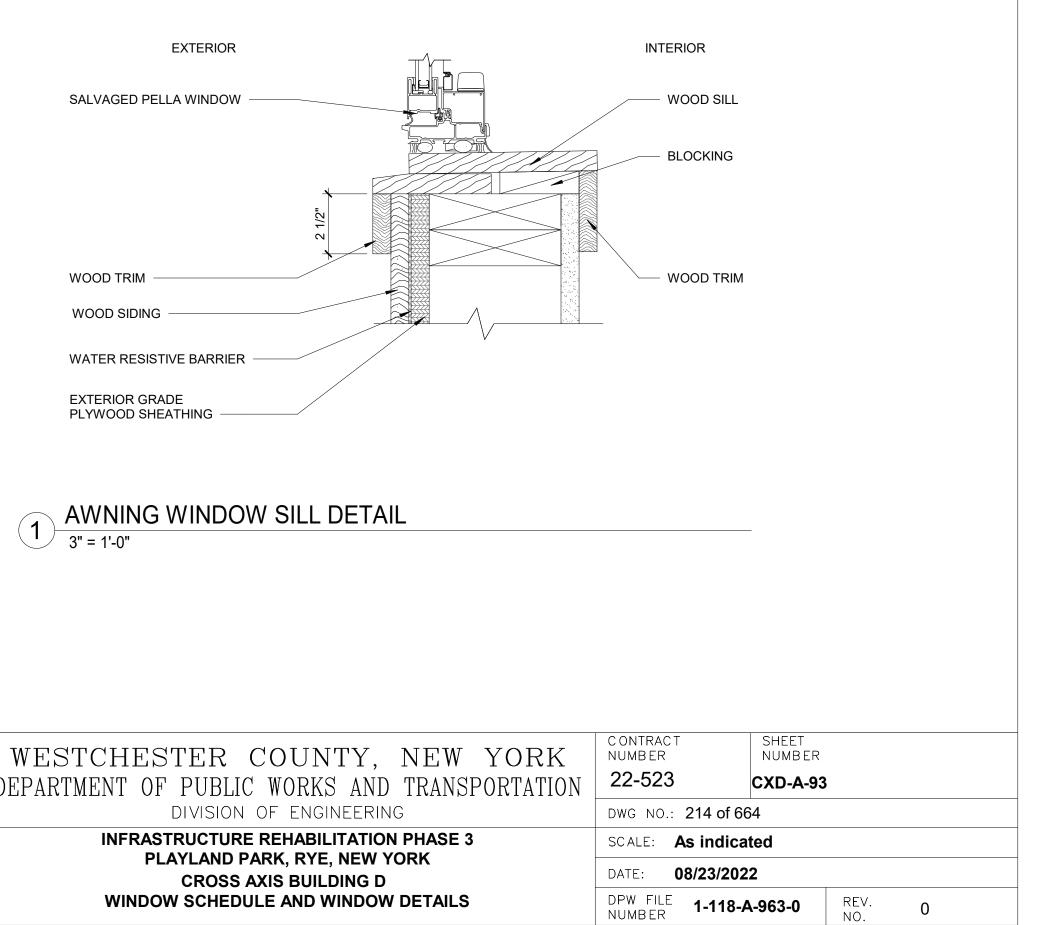


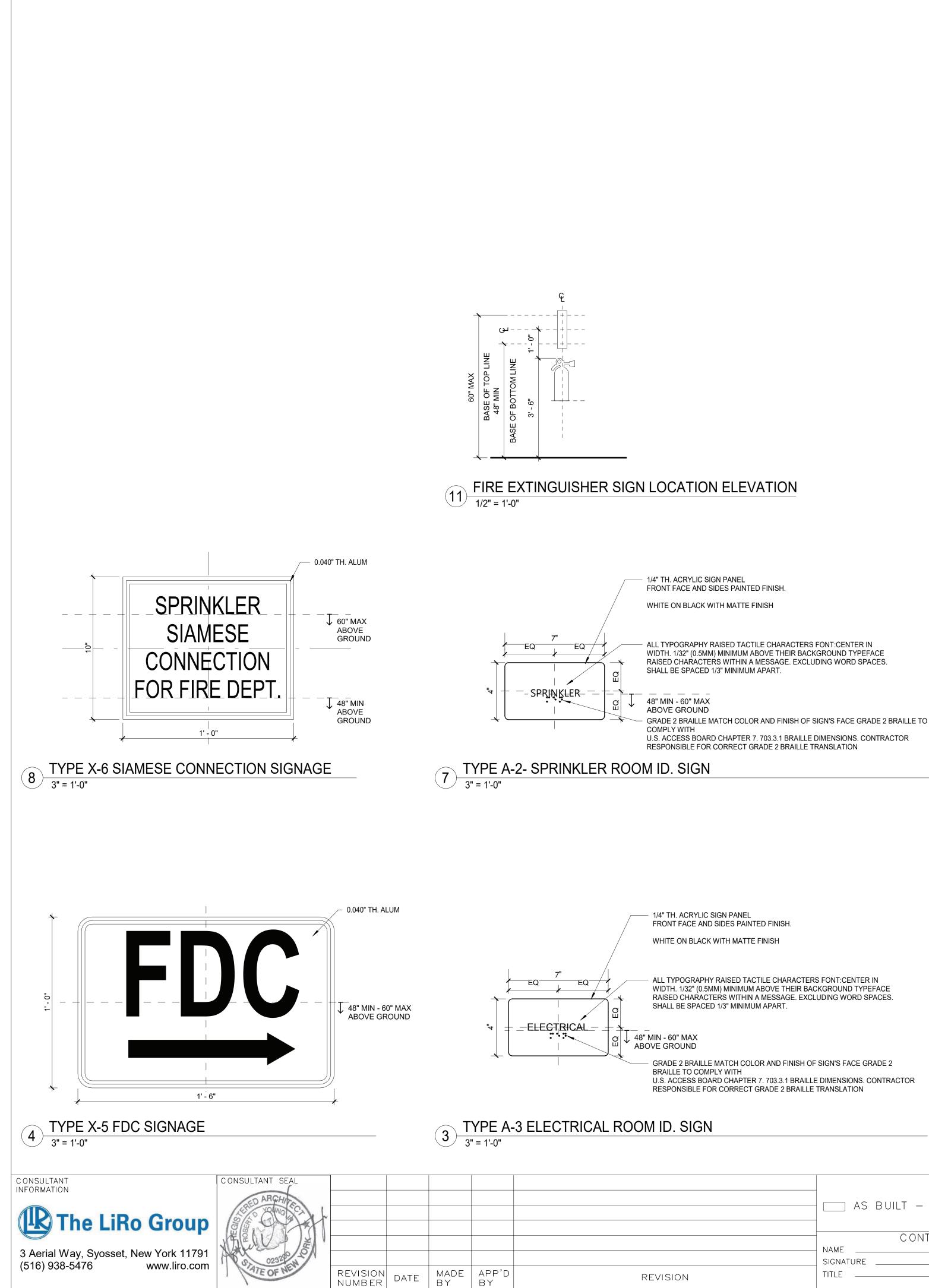


WOOD, P-13 SALVAGED FROM CXF DEMO (SEE CXF-A-01). V.I.F. WINDOW DIMENSIONS.

REMARKS

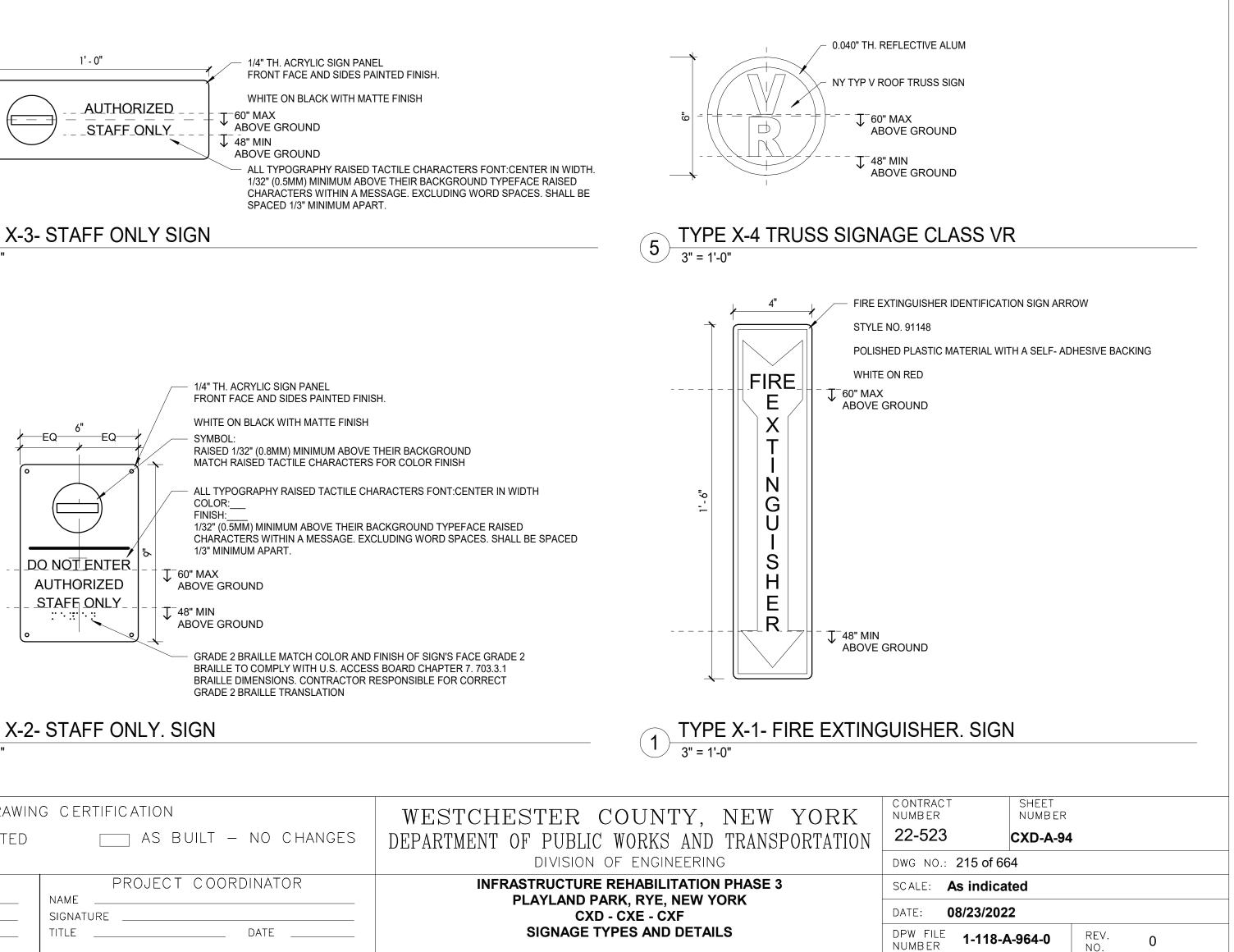
PAINTIN	<u>G SCHEDULE</u>		
KEY	COLOR	MANUFACTURER	REMARKS
P- 1	MYSTICAL POWERS #901	BENJAMIN MOORE	
P- 2	HERITAGE RED #HC-181	BENJAMIN MOORE	
P- 3	NEW YORK STATE OF MIND #805	<b>BENJAMIN MOORE</b>	
P- 4	LAZY SUNDAY #803	<b>BENJAMIN MOORE</b>	
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P- 7	MAJOLICA GREEN #0013	SHERWIN WILLIAMS	
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P- 20	DECISIVE YELLOW #6902	SHERWIN WILLIAMS	

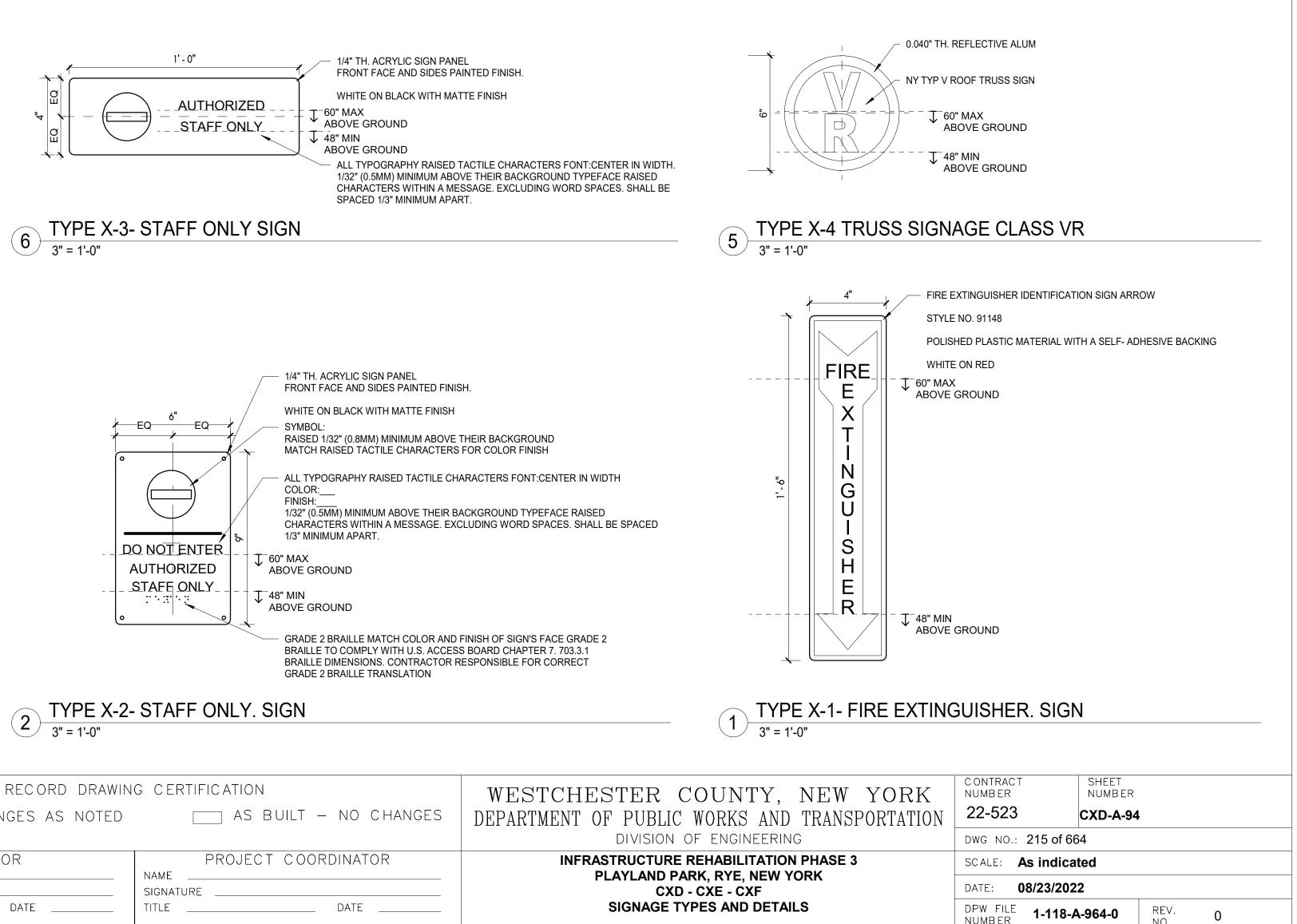


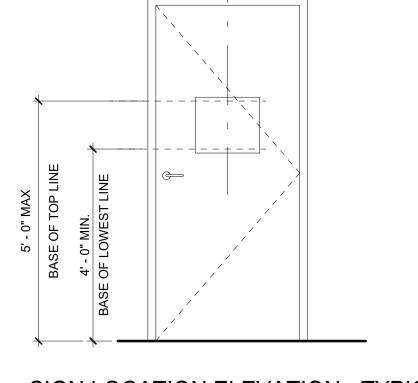


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		G CERTIFICATION	W] DEP
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	CONTRACTOR NAME	PROJECT COORDINATOR NAME	
REVISION	TITLE DATE	TITLE DATE	

U.S. ACCESS BOARD CHAPTER 7. 703.3.1 BRAILLE DIMENSIONS. CONTRACTOR







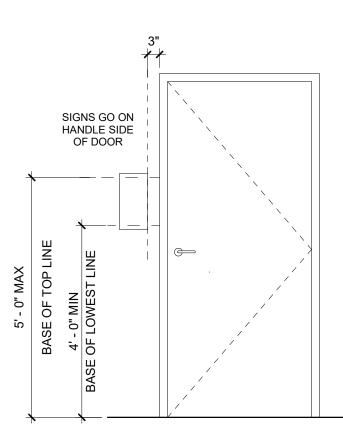
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# SIGN LOCATION ELEVATION - TYPICAL DOOR CONDITION 2 (10)1/2" = 1'-0"

# **SIGNAGE GENERAL NOTES**

- 1. ALL PANEL SIGNAGE SHALL BE WALL MOUNTED AT 48" MIN AND 60" MAX ABOVE THE ADJACENT FINISHED FLOOR MEASURED FROM THE BASELINE OF THE CHARACTERS AND IN COMPLIANCE WITH THE LATEST ADOPTED VERSION OF ICC/ANSI-A117.1 REQUIREMENTS.
- 2. SIGNAGE SHOWN HERE MAY NOT BE INCLUSIVE OF ALL TYPES OF SIGNAGE REQUIRED FOR THIS PROJECT. REFER TO DRAWINGS AND SPECIFICATIONS FOR ALL ADDITIONAL SIGNAGE REQUIREMENTS NOT SHOWN HERE.
- . MOUNT SIGN SO THAT A PERSON CAN APPROACH WITHIN 3" AND AVOID DOOR SWING AND
- PROTRUDING OBJECTS 4. SIGNS SHALL BE LOCATED ON THE WALL ADJACENT TO THE LATCH SIDE OF DOOR, UON.



# 9 SIGN LOCATION ELEVATION - TYPICAL DOOR CONDITION 1/2" = 1'-0"

<u>GENE</u> G–1	THESE NOTES ARE GENERAL AND SUPPLEMENTAL TO THE SPECIFICATIONS. THESE NOTES APPLY TO THE ENTIRE PROJECT UNLESS MODIFIED OR NOTED
G-2	WHEN REFERRED TO OR WHEN NO MORE RESTRICTIVE OR DIFFERENT DETAILS
G-3	THE PROVISIONS OF THE NEW YORK STATE BUILDING CODE (NYSBC). THE DESIGN LOADS AND OTHER DESIGN VALUES GIVEN BELOW WERE USED FOR
G-4	LIVE LOADS: CROSS AXIS BUILDING:
FLOOR:	BUILDING D:60 PSFSNOW LOADS: GROUND SNOW LOAD,Pg = 30 PSF Pf= 21 PSF SNOW EXPOSURE FACTOR,SNOW EXPOSURE FACTOR, SNOW LOAD IMPORTANCE FACTOR, THERMAL FACTOR,Pg = 30 PSF Pf= 21 PSF Ce = 0.9 Load Load 
	WIND DESIGN: BASIC WIND SPEED, $V = 126$ MPH BUILDING CATEGORY:WIND EXPOSURE CATEGORY:D INTERNAL PRESSURE COEFFICIENT,GCpi = $\pm 0.18$
	SEISMIC DESIGN:SPECTRAL RESPONSE COEFFICIENTS:SDS =0.296SD1 =0.096SITE CLASS:BSEISMIC DESIGN CATEGORY:CSEISMIC IMPORTANCE FACTOR:I = 1.25BASIC SEISMIC FORCE RESISTING SYSTEM ISAS SHOWN ON DRAWINGSDESIGN BASE SHEAR,V = AS SHOWN ON DRAWINGSANALYSIS PROCEDURE IS EQUIVALENT LATERAL FORCEMETHOD, UON.RESPONSE MODIFICATION FACTOR, R:CROSS AXIS BUILDING D:R = 7
	LOADS INDICATED ABOVE REFLECT DESIGN LOADS FOR ANY NEW OR REHABILITATED STRUCTURAL ELEMENTS. THEY SHOULD NOT BE TAKEN AS DESIGN LOADS FOR THE STRUCTURE AS A WHOLE.
G-5	ALL DIMENSIONS INDICATED (*) ARE TO BE VERIFIED EITHER BY FIELD MEASUREMENTS FOR EXISTING STRUCTURES OR BY SHOP DRAWINGS FOR EQUIPMENT FURNISHED. STRUCTURAL DIMENSIONS NOT SHOWN BUT CONTROLLED BY OR RELATED TO EQUIPMENT SHALL BE VERIFIED BY THE CONTRACTOR WITH THE MANUFACTURER PRIOR TO CONSTRUCTION.
G-6	STRUCTURAL DRAWINGS SHALL BE USED IN COORDINATION WITH THE DRAWINGS OF ALL OTHER DISCIPLINES AND MANUFACTURER'S SHOP DRAWINGS.
G-7	IF A CONFLICT IS FOUND BETWEEN DIFFERENT PORTIONS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. CONTINUED CONSTRUCTION OF THE AREA IN CONFLICT SHALL BE AT THE CONTRACTOR'S OWN RISK UNTIL THE CONFLICT IS RESOLVED BY THE ENGINEER.
G-8	WHENEVER ONE MEMBER IS FASTENED TO ANOTHER WITH FASTENINGS (BOLTS, WELDS, ETC.) SET AT A UNIFORM SPACING, THERE SHALL BE A MINIMUM OF TWO FASTENINGS PER PIECE CONNECTED AND THE FIRST AND LAST FASTENINGS SHALL BE LOCATED NOT TO EXCEED 0.25 OF FASTENER SPACING FROM EACH END.
G-9	STRUCTURES HAVE BEEN DESIGNED FOR OPERATIONAL LOADS ON THE COMPLETED STRUCTURE. DURING CONSTRUCTION, THE STRUCTURES SHALL BE PROTECTED BY BRACING AND TEMPORARY SUPPORTS WHEREVER EXCESSIVE CONSTRUCTION LOADS MAY OCCUR. OVERSTRESSING OF ANY STRUCTURAL ELEMENT IS PROHIBITED.
G-10	NO BACKFILL SHALL BE PLACED AGAINST ANY WALL UNLESS ALL SUPPORTING ELEMENTS OF THE STRUCTURE HAVE BEEN CONSTRUCTED AND HAVE REACHED THE SPECIFIED MINIMUM CONCRETE STRENGTH.
G-11	THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION IN THE FIELD AS REQUIRED FOR NEW WORK.
<u>Foun</u>	DATIONS
F-1	DESIGN ASSUMPTIONS: A) ALLOWABLE BEARING PRESSURE: 1. SOUND ROCK – 8 TSF, 2. OVERBURDEN – 1 TSF.
	B) GROUNDWATER: EXISTING GROUNDWATER ELEVATIONS VARY ACROSS SITE.
F-2	GRAVITY UNDER DRAINS SHALL BE PROVIDED TO PERMANENTLY LOWER GROUNDWATER.
F-3 F-4	CONCRETE GENERAL NOTES APPLY TO FOUNDATIONS. MINIMUM DEPTH FROM ADJACENT FINISHED GRADE TO BOTTOM OF FOUNDATION, 4'-0"
F-5	FOUNDATIONS BEARING ON ROCK SHALL BE CONSTRUCTED SUCH THAT ROCH SURFACE IS LEVEL, UNLESS APPROVED BY ENGINEER.
F-6	COMPACTED SELECT GRANULAR FILL 12 INCHES THICK MINIMUM, SHALL BE PLACED BELOW ALL CONCRETE FOUNDATIONS UNLESS DIRECTLY BEARING ON SOUND ROCK.

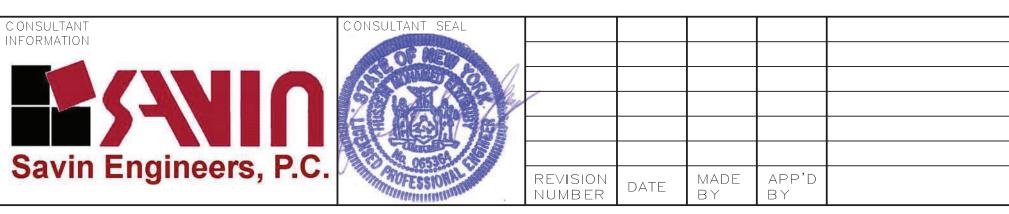
S-1 DETAIL, FABRICATE, AND ERECT STRUCTURA AISC SPECIFICATION FOR STRUCTURAL STEE DESIGN AND LRFD DESIGN (LRFD MANUAL C CURRENT EDITION). S-2 STEEL MATERIAL: A) STRUCTURAL TUBING, ASTM A 500 B) STRUCTURAL PIPE, ASTM A 53, GR C) PLATES AND ANGLES, ASTM A 36 D) STRUCTURAL W SHAPES, ASTM A 50 KSI). E) STRUCTURAL S, M, & H SHAPES A S-3 PROVIDE MIN 3/4" DIAMETER ASTM A 325 FULLY TIGHTENED TYPE N CONNECTIONS FO S-4 PROVIDE TYPICAL STEEL BEAM CONNECTION THAN THE TOTAL UNIFORM LOAD CAPACITY FOR ALLOWABLE LOADS OF BEAMS UNLESS S-5 CAST IN PLACE ANCHOR BOLTS FOR STRUC TO ASTM A307 UON. S-6 DO NOT PAINT STEEL SURFACES WHICH ARE ENCASED IN CONCRETE. S–7 STAINLESS STEEL SHALL BE TYPE 316 FOR 316L FOR WELDED CONSTRUCTIONS. S-8 ALUMINUM SHALL BE ALLOY 6061-T6. S-9 ALL GROOVE AND BUTT WELDS SHALL BE F S-10 FILLET WELD SIZES SHALL BE THE MINIMUM FOR PLATE SIZES TO BE CONNECTED AND ENTIRE JOINT CONTACT LENGTH, BUT NOT S-11 DETAIL, FABRICATE, AND ERECT ALUMINUM ALUMINUM ASSOCIATION CONSTRUCTION MAN S-12 ALL BOLTS, ANCHOR BOLTS, AND CONCRETE ALUMINUM SHALL BE TYPE 316 STAINLESS S-13 ALUMINUM SHALL BE ISOLATED FROM CONTA DISSIMILAR METALS. EXCAVATION E-1 CONTRACTOR SHALL PERFORM ALL EXCAVA STATE, LOCAL AND FEDERAL REQUIREMENTS EXCAVATION REQUIREMENTS. E-2 TEMPORARY SHEETING AND BRACING IS NOT DRAWINGS. ALL EXCAVATIONS WITH A POTEN PROVIDED WITH EXCAVATION PROTECTION S OSHA 1926. SLOPING AND BENCHING WHICH SLATED TO REMAIN ACCESSIBLE OR THAT M FOOTINGS AND STRUCTURES SHALL NOT BE E-3 CONTRACTOR SHALL ENGAGE THE SERVICES ENGINEER REGISTERED IN THE STATE OF NE TEMPORARY SHEETING AND BRACING AND R CONTRACTOR TO SUBMIT SUCH PLANS TO E

STRUCTURAL METALS

- E-4 CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATIONS.
- E-5 ALL EXCAVATED MATERIALS SHALL BE REMO AS REQUIRED BY STATE, LOCAL FEDERAL LA

# <u>MASONRY</u>

- M-1 CONCRETE MASONRY UNITS SHALL CONFORM MASONRY ASSEMBLAGE SHALL HAVE A COM 1500 PSI AT 28 DAYS.
- M-2 MASONRY MORTAR SHALL CONFORM TO AST M-3 ALL BOND BEAMS AND ANY BLOCK CELLS REINFORCING STEEL, ANCHORS, ETC., SHALL
- MEETING THE REQUIREMENTS OF ASTM C476 M-4 BOND BEAM REINF. SHALL BE CONTINUOUS INTERSECTIONS.



AL STEEL IN ACCORDANCE WITH EL BUILDINGS, ALLOWABLE STRESS OF STEEL CONSTRUCTION,
0, GRADE B. RADE B. UNO. 992 (MIN. YIELD STRENGTH OF
ASTM A572 GRADE 50.
HIGH STRENGTH BOLTS WITH DR STRUCTURAL STEEL UON.
NS FOR A CAPACITY NOT LESS ( TABULATED IN THE AISC TABLES 3 NOTED OTHERWISE.
CTURAL STEEL SHALL CONFORM
RE TO BE WELDED OR ARE TO BE
R BOLTED CONSTRUCTIONS AND
FULL PENETRATION.
1 SIZE REQUIRED BY AISC CODE ) SHALL BE APPLIED TO THE LESS THAN 3/16".
IN ACCORDANCE WITH THE NUAL CURRENT EDITION.
TE ANCHORS CONNECTING STEEL UON.
TACT WITH CONCRETE OR
ATION IN ACCORDANCE WITH S INCLUDING OSHA BRACING AND
DT SHOWN ON CONTRACT ENTIAL FOR CAVE-IN SHALL BE SYSTEMS IN ACCORDANCE WITH H WILL ENCROACH ON AREAS MAY ENCROACH ON EXISTING E PERMITTED.
S OF A LICENSED PROFESSIONAL EW YORK TO DESIGN ALL RELATED APPURTENANCES. ENGINEER FOR INFORMATION.
DEWATERING OF OPEN
IOVED FROM SITE TO A FACILITY _AW.
M TO ASTM C90. THE TOTAL MPRESSIVE STRENGTH EQUAL TO
STM C270, TYPE S.
CONTAINING EMBEDMENTS, L BE FILLED WITH GROUT FILL 76.
AT CORNERS AND

# <u>TIMBER</u>

- T-1 ALL WOOD FRAMING MEMBERS INCLUDING, BUT NOT LIMITED TO, WALL STUDS AND JOISTS, ARE INTENDED TO ACT AS A SYSTEM AS DETAILED IN THE STRUCTURAL DRAWINGS AND ONCE CONSTRUCTION IS COMPLETE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE SAFETY AND STABILITY OF WOOD FRAMING SYSTEMS (I.E. TEMPORARY BRACING IF REQUIRED) DURING CONSRTUCTION AS A RESULT OF CONSTRUCTION METHODS AND SEQUENCES.
- T-2 ALL TIMBER BELOW FLOOR DECKING SHALL BE PRESSURE-TREATED SOUTHERN PINE LUMBER.
- T-3 STORAGE OF ALL LUMBER AND TIMBER ON SITE SHALL BE KEPT OFF GROUND, UNDER COVER AND PROTECTED FROM DAMAGE.
- T–4 ALL DIMENSIONAL LUMBER SHALL BE CERTIFIED BY THE SUPPLIER IN WRITING TO BE KILN DRIED.
- T-5 STRUCTURE SHALL NOT BE ENCLOSED UNLESS LUMBER MOISTURE CONTENT HAS BEEN VERIFIED TO BE AT OR BELOW 15%. ANY SIGNS OF MOLD SHALL BE REMOVED AND TREATED IN ACCORDANCE WITH PROJECT SPECIFICATIONS OR INDUSTRY STANDARDS.
- T-6 ALL LUMBER IN CONTACT WITH THE GROUND OR CONCRETE SHALL BE PRESSURE TREATED.
- T–7 FASTENERS FOR PRESERVATIVE TREATED AND FIRE RETARDANT TREATED WOOD SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL AND SHALL FOLLOW CURRENT SIMPSON GUIDELINES BASED ON WEATHER EXPOSURE. WHERE STAINLESS STEEL CONNECTORS OR HOT DIPPED GALVANIZED CONNECTORS ARE SPECIFIED IN THE DRAWINGS, STAINLESS STEEL OR HOT DIPPED GALVANIZED FASTENERS SHALL BE USED TO MATCH CONNECTOR TYPE.
- T–8 ALL PLATES AND LEDGERS SHALL BE FASTENED WITH A MINIMUM (3) ANCHORS PER PIECE UNLESS NOTED OTHERWISE.
- T-9 ALL METAL HARDWARE AND FRAMING ACCESSORIES SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY. ALL ITEMS SHALL BE INSTALLED PER THE SIMPSON'S INSTALLATION REQUIREMENTS. ALL NAIL HOLES SHALL BE FILLED WITH THE RECOMMENDED FASTENER UNLESS NOTED OTHERWISE ON THE DRAWING.
- T-10 HOLES FOR BOLTS SHALL BE DRILLED WITH A BIT OF THE SAME NOMIMAL DIAMETER AS THE BOLT + 1/16". LEAD HOLES FOR LAG SCREWS SHALL BE BORED PER NDS 11.1.3.
- T-11 ALL BOLTS, CARRIAGE BOLTS, LAG SCREWS, EXPANSION BOLTS AND EPOXY BOLTS SHALL BE INSTALLED WITH STANDARD CUT WASHERS UNDER THE BOLT HEAD AND NUTS THAT BEAR DIRECTLY ON THE WOOD. ALL NUTS SHALL BE TIGHTENED AT THE TIME OF INSTALLATION AND RE-TIGHTENED IF NECESSARY, DUE TO WOOD SHRINKAGE, PRIOR TO CLOSE OUT OR COMPLETION OF THE PROJECT. BOLTS AND LAG SCREWS SHALL CONFORM TO ANSI/ASME STANDARD B18.2.1. WOOD SCREWS SHALL CONFORM TO B18.6.1. ALL BOLTS SHALL CONFORM TO ASTM A307 GRADE A UNLESS NOTED OTHERWISE.
- T-12 CUTTING AND NOTCHING OF SAWN LUMBER RAFTERS AND STUDS SHALL BE IN CONFORMANCE WITH THE FOLLOWING CRITERIA:
  - A. JOISTS NOTCHES AT THE ENDS OF JOISTS SHALL NOT EXCEED 1/5 OF THE JOIST DEPTH. HOLES IN JOISTS SHALL NOT BE WITHIN 21/3 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED 1/4 THE DEPTH OF THE JOIST. NOTCHES IN THE TOP OR BOTTOM OF THE JOISTS SHALL NOT EXCEED 1/6 THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE OF THE THIRD SPAN.
  - B. RAFTERS NOTCHES AT THE ENDS OF RAFTERS OR CEILING JOISTS SHALL NOT EXCEED 1/5 OF THE DEPTH. NOTCHES IN THE TOP OR BOTTOM OF THE RAFTER OR CEILING JOIST SHALL NOT EXCEED 1/6 THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. EXCEPT THAT A NOTCH NOT EXCEEDING 1/3 OF THE DEPTH IS PERMITTED IN THE TOP OF THE RAFTERS OR CEILING JOIST NOT FURTHER FROM THE FACE OF THE SUPPORT THAN THE DEPTH OF THE MEMBER. HOLES BORED IN RAFTERS OR CEILING JOISTS SHALL NOT BE WITHIN 21/3" INCHES OF THE TOP AND BOTTOM AND THEIR DIAMETER SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER.
  - C. WALL STUDS A MAXIMUM OF  $2\frac{1}{4}$ " DIAMETER NEATLY BORED HOLE MAY BE PLACED IN THE CENTER OF ALL BEARING 2x6 STUDS WITH NO ADDITIONAL REINFORCEMENT REQUIRED.

SPECIAL INSPECTIONS - CROSS AXIS BUILDING D

- S-1 SPECIAL INSPECTION SHALL COMPLY WITH SPECIFICATIONS.
- S-2 SPECIAL INSPECTION WILL BE PERFORMED IN ACCORDANCE WITH CHAPTER 17 OF THE NYS BUILDING CODE.
- S–3 SPECIAL INSPECTION WILL BE PERFORMED ON THE FOLLOWING STRUCTURAL SYSTEMS:
  - A) WOOD CONSTRUCTION (1705.4).
  - B) CONCRETE CONSTRUCTION (1705.3).

# DEMOLITION

# <u>LEGEND</u>

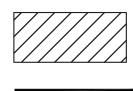
EXISTING REINFORCED CONCRETE WALL OR STRUCTURE TO BE DEMOLISHED

SAW CUT LINE – FULL DEPTH UNLESS NOTED OTHERWISE

# D-1 CONTRACTOR IS ALERTED THAT LIMITS OF DEMOLITION SHOWN IS PROCEDURE PER SPECIFICATIONS. D-2 ALL ITEMS SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE. D-3 FOR ADDITIONAL DEMOLITION REQUIREMENTS SEE SPECIFICATIONS (024116). D-4 ALL EXISTING CONCRETE TO BE DEMOLISHED IS STEEL REINFORCED UNLESS NOTED OTHERWISE. REINFORCING STEEL NOT SHOWN FOR CLARITY.

D-5 FOR ADDITIONAL DEMOLITION NOT SHOWN, SEE G, A, M, E, H, AND P DRAWINGS.

	RECORD DRAWING	RECORD DRAWING CERTIFICATION				
	AS BUILT – CHANGES AS NOTED	AS BUILT – NO CHANGES	WES DEPART			
	CONTRACTOR	PROJECT COORDINATOR				
	NAME	NAME				
REVISION	TITLE DATE	TITLE DATE				



APPROXIMATE. ACTUAL LIMITS SHALL BETHE MINIMUM REQUIRED FOR NEW STRUCTURE. CONTRACTOR TO CO-ORDINATE AND SUBMIT DEMOLITION

STCHESTER COUNTY, NEW YORK	CONTRACT SHEET NUMBER NUMBER 22-523 CXD-S-01
RTMENT OF PUBLIC WORKS AND TRANSPORTATION division of engineering	DWG NO.:
INFRASTRUCTURE REHABILITATION - PHASE 3 PLAYLAND PARK, RYE, NEW YORK	SCALE: AS SHOWN <sup>64</sup>
CROSS AXIS BUILDING D	DATE: 8/23/ 2022
STRUCTURAL NOTES	DPW FILE <b>1-118-S-965-0</b> REV. <b>0</b>

# STRUCTURAL ABBREVIATIONS

GAUGE

GALVANIZE

GRADE BEAM

GA

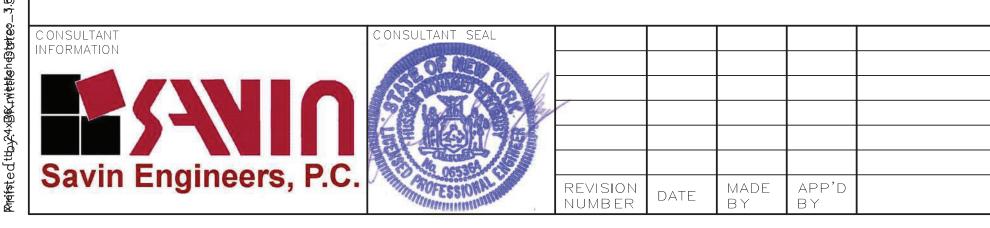
GB

GR

GALV

GRTG

2.dwg ing(s) or project and Construction uyıana-Mega-3/S/CXDS-1002 | inquiries regarding this drawir Bureau of Engineering Design c 10:44 AM Designed by: ----



CANT CJ CL CLR CMU CO COL CONC CONST CONT CONTR	CANTILEVER CONSTRUCTION JOINT CENTER LINE CLEAR CONCRETE MASONRY UNIT CLEAN OUT COLUMN CONCRETE CONSTRUCTION CONTINUOUS CONTRACTOR	L LF LG LL LLH LLV LOC LP LVR LWL
CP CLJ CTR CY	CONCRETE PLANK CONTROL JOINT CENTER CUBIC YARD	MAS MATL MAX MECH MET
DET DIA (Ø) DIAG DIM DIST DN DO DP DWG DWL	DETAIL DIAMETER DIAGONAL DIMENSION DISTANCE DOWN DITTO DEEP DRAWING DOWEL	MFR MG MGD MH MIN MISC MO MOD MTD
E EA EF EL ELEV	EAST EACH EACH FACE ELEVATION ELEVATOR	N NA NIC NO NOM NTS
ENGR EMB ENCL ENT EQ EQPT EW EXIST	ENGINEER EMBEDMENT ENCLOSURE ENTRANCE EQUAL EQUIPMENT EACH WAY EXISTING	OC OD OF OPNG OPP OT OVHD
EXP EXP JT EXT	EXPANSION EXPANSION JOINT EXTERIOR	PAR PC PCO

ANCHOR BOLT

ADJUSTABLE/ADJACENT

ABOVE FINISHED FLOOR

ADDITIONAL

AGGREGATE

ALUMINUM

ALTERNATE

AVERAGE

BUILDING

BOTTOM

BEARING

CHANNEL

BOLT

BORING

APPROXIMATE

ARCHITECTURAL

BEAM/BENCH MARK

BOTTÓM OF FOOTING

BOTTOM OF STEEL

CENTER TO CENTER

ADHESIVE

AB

ADDL

ADH

ADJ AFF

AGG

AL ALT

APPROX

ARCH

AVG

BLDG

BM

BOF BOS BOT

BRG

C TO C

FABRICATE

FLOOR DRAIN

FOUNDATION

FINISH FLOOR

FRAME&COVER FRAME&GRATE

FINISH

FLOOR

FEET

FOOTING

FAB FD FDN FFL

FIN

FLR

FTG F&C F&G

FT

ΒT

HGT HORZ HP HSS ID IN INCL INT INV JB JCT JT PC PCO ΡI ΡL PREFAB PSF PSI PT PTN PVMT QTY

GRADE GRATING HEIGHT HORIZONTAL HIGH POINT HOLLOW STRUCTURAL STEEL INSIDE DIAMETER INSIDE FACE INCH INCLUDE INTERIOR INVERT JOIST JUNCTION BOX JUNCTION JOINT LENGTH/ANGLE LINEAR FEET LONG LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LOCATION LOW POINT LOUVER LOW WATER LEVEL MASONRY MATERIAL MAXIMUM MECHANICAL METAL MANUFACTURER MILLION GALLONS MILLION GALLONS PER DAY MANHOLE MINIMUM MISCELLANEOUS MASONRY OPENING MODIFY/MODIFIED MOUNTÉD NORTH NOT APPLICABLE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE

ON CENTER OUTSIDE DIAMETER OUTSIDE FACE OPENING OPPOSITE OPEN TRUSS OVERHEAD

PARALLEL POINT OF CURVE/PIECE PILE CUT OFF POINT OF INTERSECTION PLATE/PROPERTY LINE PREFABRICATED POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT OF TANGENCY PARTITION PAVEMENT

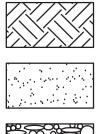
QUANTITY

R

RAD

RCP

# <u>SYMBOLS</u>







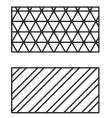








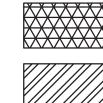




RECORD DRAWING CERTIFICATION WES AS BUILT – CHANGES AS NOTED 🔲 AS BUILT – NO CHANGES DEPAR CONTRACTOR PROJECT COORDINATOR VAME \_\_\_\_ JAME -SIGNATURE \_\_\_\_\_ SIGNATURE \_\_\_\_\_

TITLE \_\_\_\_\_ DATE \_\_\_\_\_

TITLE \_\_\_\_\_ DATE \_\_\_\_\_



WELDED WIRE FABRIC YARD YEAR

RISER

RADIUS

REMOVE

ROOF

SOUTH

SCHEDULE

SECTION

SHEET

SIMILAR

SQUARE

STATION

STAIR

STANDARD

STIFFENER

STRUCTURAL

SUBSTITUTE

SYMMETRICAL

TOP AND BOTTOM

TOUNGE AND GROOVE

TOP OF CURB/CONCRETE

TOP OF MASONRY/MANHOLE

UNLESS NOTED OTHERWISE

WEST/WIDTH/WIDE FLANGE

WATERPROOF/WALL PIPE

WALL PENETRATING TYPE

STIRRUP

STEEL

TREAD

TANGENT

THICK

TEMPERATURE

TOP OF DECK

TOP OF WALL

TYPICAL

VERTICAL

WITHOUT

WEIGHT

REVISION

WATER LEVEL

WATER SURFACE

WITH

TOP OF FOOTING

TOP OF SLAB/STEEL

STEEL JOIST

SPECIFICATION

STAINLESS STEEL

SQUARE FEET

REQUIRED

ROOF DRAIN

REINFORCEMENT

ROUGH OPENING

RECTANGULAR

REINFORCED CONCRETE PIPE

WELDED WIRE FABRIC BLANKET INSULATION STEEL

UNDISTURBED EARTH

COMPACTED BACKFILL

CONCRETE BLOCK

FINISHED WOOD

CONCRETE

BRICK

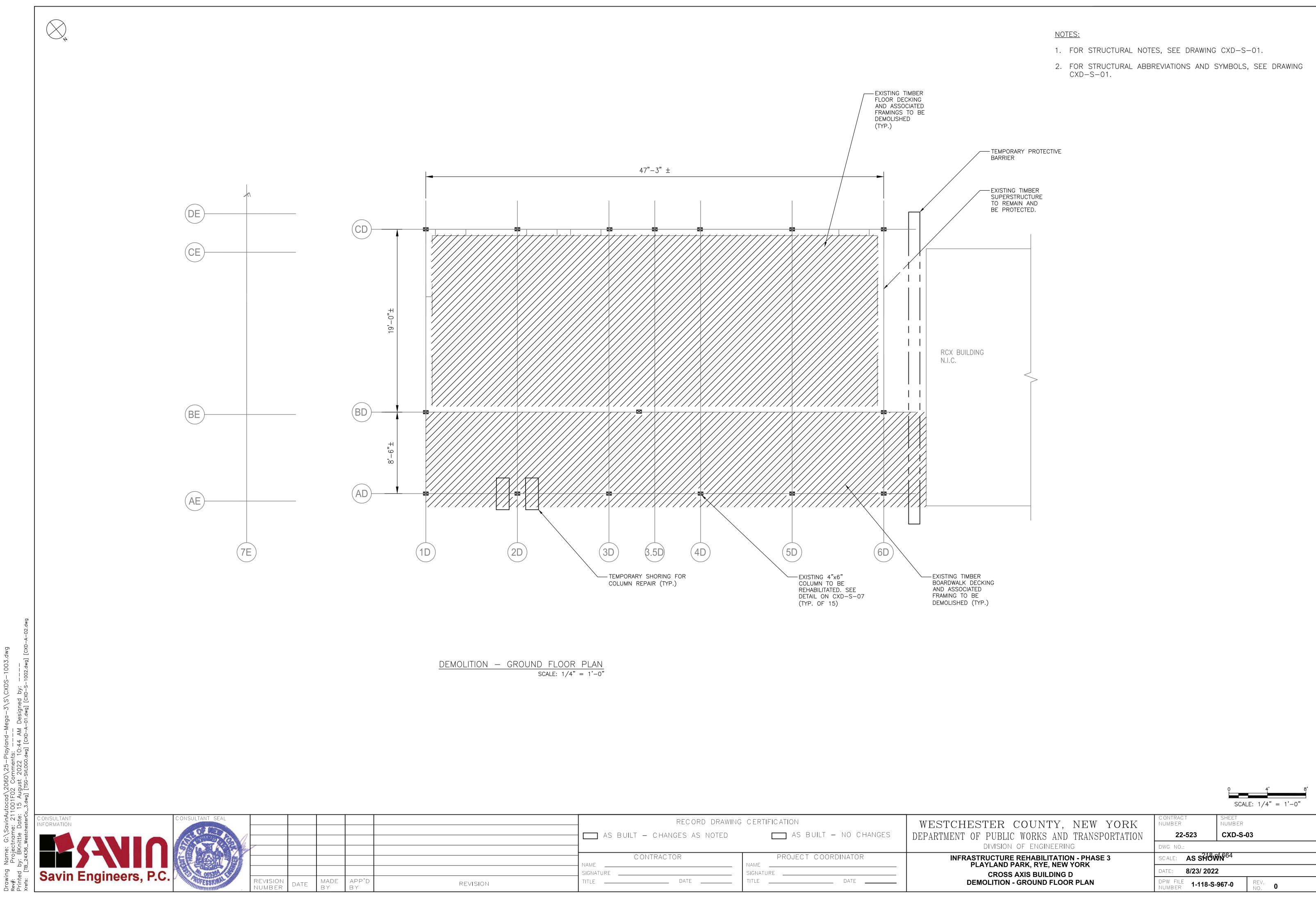
SELECT GRANULAR FILL MATERIAL

DENOTES MOMENT CONNECTION

ROUGH WOOD RIGID INSULATION REINFORCED STEEL IN CONCRETE

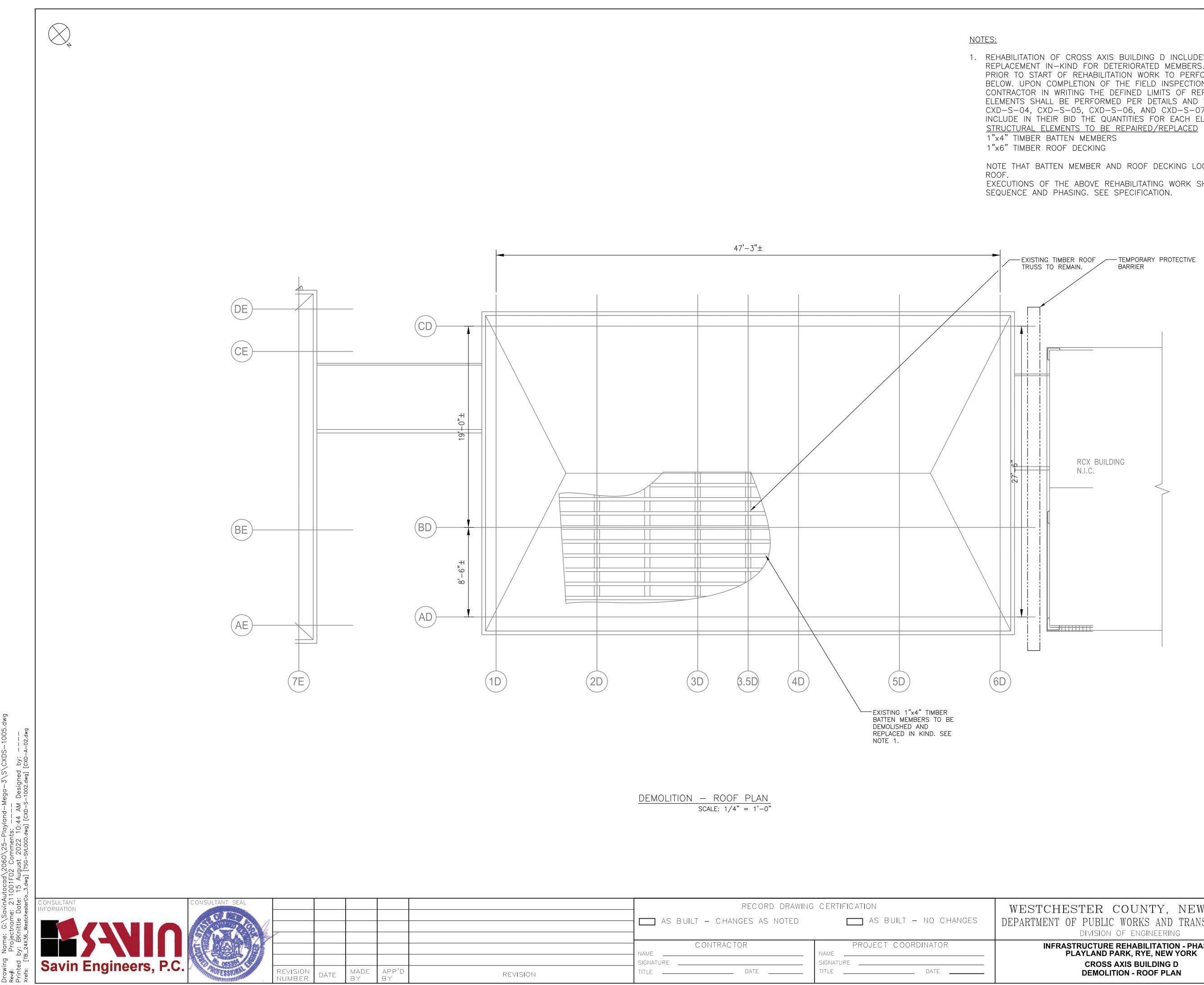
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ESTCHESTER COUNTY, NEW YORK	CONTRACT SHEET NUMBER NUMBER
ARTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523 CXD-S-02
DIVISION OF ENGINEERING	DWG NO.:
INFRASTRUCTURE REHABILITATION - PHASE 3	SCALE: AS SHOWN <sup>64</sup>
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 8/23/ 2022
STRUCTURAL ABBREVIATIONS AND SYMBOLS	DPW FILE <b>1-118-S-966-0</b> REV. NO. <b>0</b>



	RECORD DRAWING	RECORD DRAWING CERTIFICATION				
	AS BUILT – CHANGES AS NOTED	AS BUILT – NO CHANGES	WES DEPART			
	C ONTRAC TOR NAME	PROJECT COORDINATOR				
REVISION	SIGNATURE DATE	SIGNATURE DATE				
	1	1	1			

	SCALE: $1/4" = 1'-0"$
STCHESTER COUNTY, NEW YORK	CONTRACT SHEET NUMBER NUMBER
RTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523 CXD-S-03
DIVISION OF ENGINEERING	DWG NO.:
INFRASTRUCTURE REHABILITATION - PHASE 3 PLAYLAND PARK, RYE, NEW YORK	SCALE: AS SHOWN <sup>64</sup>
CROSS AXIS BUILDING D	DATE: 8/23/ 2022
DEMOLITION - GROUND FLOOR PLAN	DPW FILE 1-118-S-967-0 REV. 0



Drav Rev#:

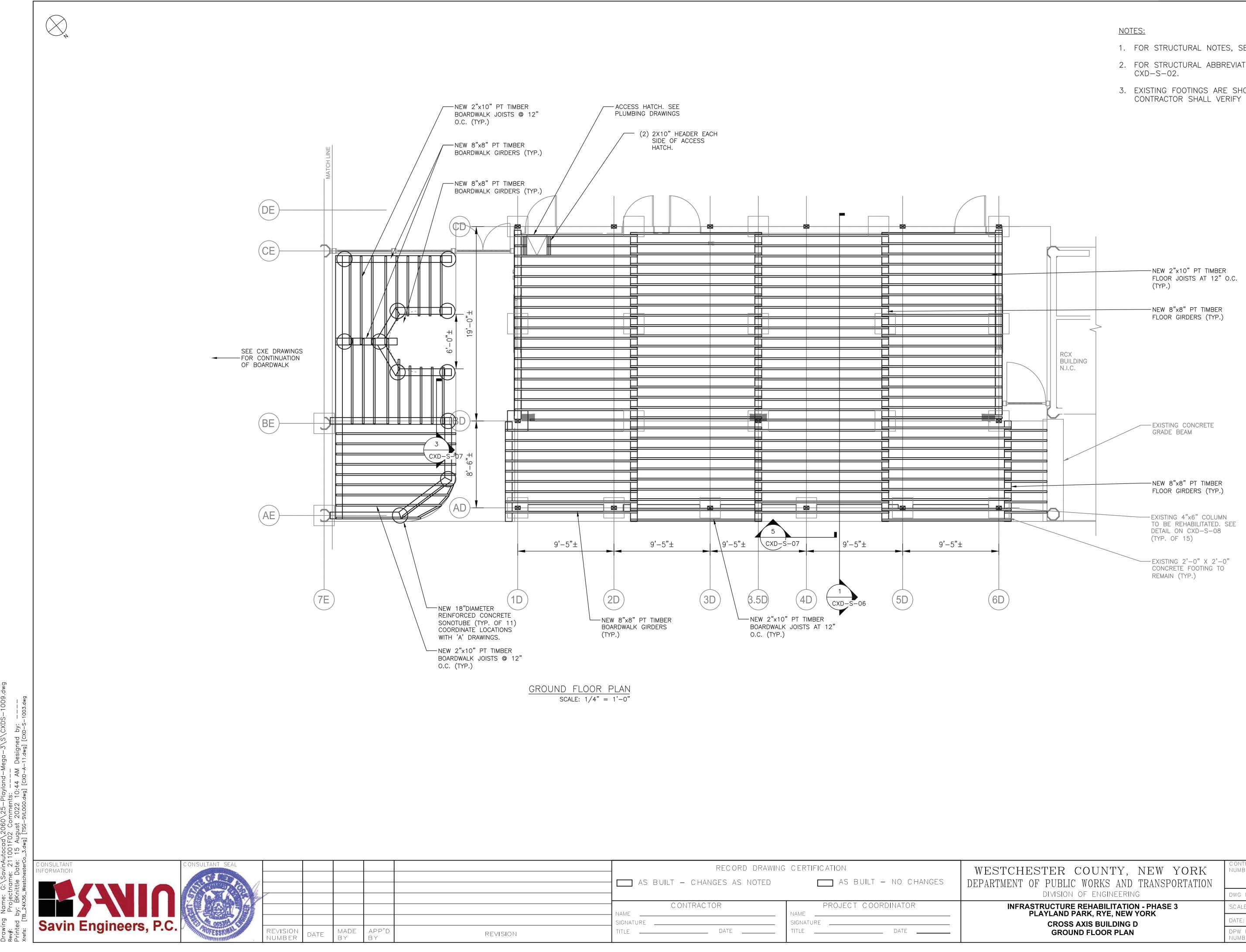
	RECORD DRAWING	RECORD DRAWING CERTIFICATION  AS BUILT – CHANGES AS NOTED  AS BUILT – NO CHANGES			
REVISION	CONTRACTOR NAME	PROJECT COORDINATOR NAME SIGNATURE TITLE DATE			

1. REHABILITATION OF CROSS AXIS BUILDING D INCLUDES VARIOUS ELEMENTS SLATED FOR REMOVAL AND REPLACEMENT IN-KIND FOR DETERIORATED MEMBERS. CONTRACTOR IS TO ALERT THE ENGINEER 6 WEEKS PRIOR TO START OF REHABILITATION WORK TO PERFORM FIELD INSPECTION OF THE REPAIR ITEMS IDENTIFIED BELOW. UPON COMPLETION OF THE FIELD INSPECTION WORK, THE ENGINEER WILL PROVIDE TO THE CONTRACTOR IN WRITING THE DEFINED LIMITS OF REPLACEMENT WORK. REHABILITATION WORK FOR VARIOUS ELEMENTS SHALL BE PERFORMED PER DETAILS AND SEQUENCES AS OUTLINED ON DRAWINGS, CXD-S-03, CXD-S-04, CXD-S-05, CXD-S-06, AND CXD-S-07. FOR THE PURPOSES OF BIDDING, CONTRACTOR SHALL INCLUDE IN THEIR BID THE QUANTITIES FOR EACH ELEMENT AS MENTIONED BELOW. <u>QUANTITY</u><u>UNITS</u> <u>REMARKS</u> 25 ΕA APPROXIMATELY 10 FT EACH 500 SF

NOTE THAT BATTEN MEMBER AND ROOF DECKING LOCATIONS MAY BE ANYWHERE WITHIN THE LIMITS OF THE EXECUTIONS OF THE ABOVE REHABILITATING WORK SHALL BE COORDINATED WITH OVERALL CONSTRUCTION

STCHESTER COUNTY, NEW YORK	C ONTRAC T NUMB ER	SHEET NUMBER	
RTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523	CXD-S-04	
DIVISION OF ENGINEERING	DWG NO.:		
INFRASTRUCTURE REHABILITATION - PHASE 3 PLAYLAND PARK, RYE, NEW YORK	SCALE: AS SHOV	<b>VN</b> <sup>664</sup>	
CROSS AXIS BUILDING D	DATE: 8/23/ 2022	2	
DEMOLITION - ROOF PLAN	DPW FILE NUMBER 1-118-S-	•968-0 REV NO.	0

SCALE: 1/4" = 1'-0"

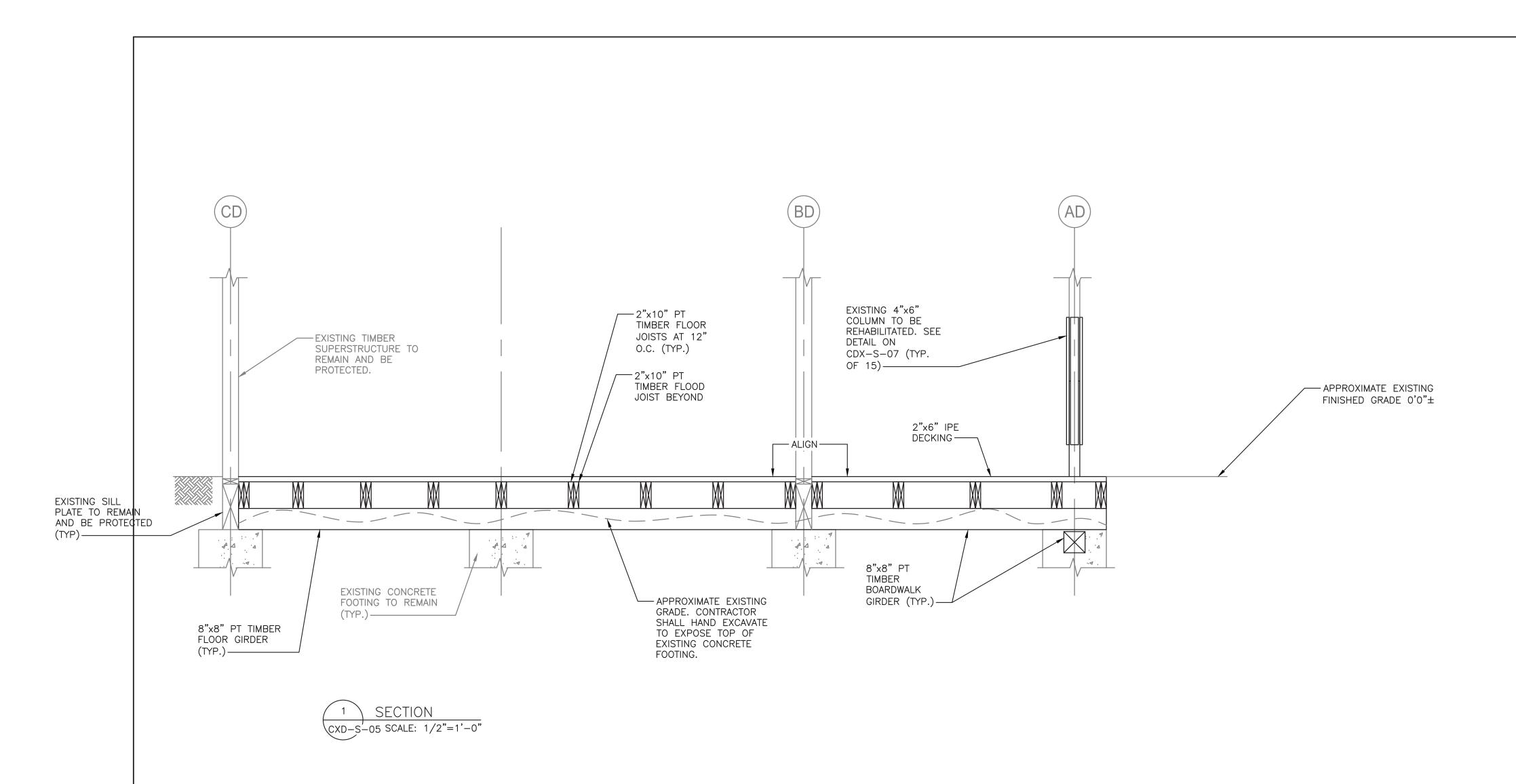


Drav Rev#:

	RECORD DRAWING	G CERTIFICATION	WESTCHESTER COUNTY, NEW YORK	C ONTRAC T NUMBER	SHEET NUMBER
	AS BUILT – CHANGES AS NOTED	AS BUILT – NO CHANGES	DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523	CXD-S-05
			DIVISION OF ENGINEERING	DWG NO.:	
	CONTRACTOR	PROJECT COORDINATOR	INFRASTRUCTURE REHABILITATION - PHASE 3	SCALE: AS SHO	Wn <sup>64</sup>
		SIGNATURE	PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 8/23/ 20	22
ON	TITLE DATE	TITLE DATE	GROUND FLOOR PLAN	DPW FILE NUMBER 1-118-	S-969-0 REV. 0

- 1. FOR STRUCTURAL NOTES, SEE DRAWING CXD-S-01.
- 2. FOR STRUCTURAL ABBREVIATIONS AND SYMBOLS, SEE DRAWING

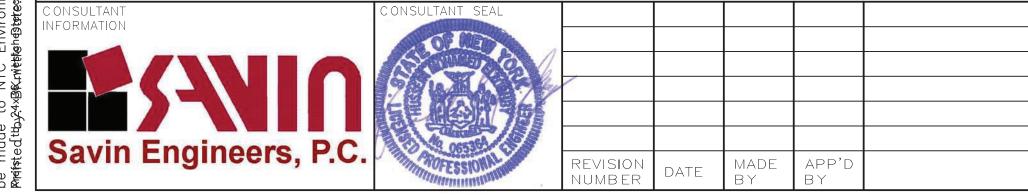
3. EXISTING FOOTINGS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY IN FIELD SIZE AND LOCATION.



			F	OR BARS IN TENSIO	N	
= 60,000 psi					= 4000 psi OR GR	EATER, NORMAL
	BASIC DEVELOPME	NT LENGTH ** I d				CLASS B
CLEAR SP	ACING > 3"	CLEAR SP	ACING < 3"	BAR SIZE	CLEAR SI	PACING > 3"
BASIC	TOP *	BASIC	TOP *		BASIC	TOP *
1'-0"	1'-4"	1'-9"	2'-2"	#3	1'-4"	1'-9"
1'-4"	1'-8"	2'-2"	2'-9"	#4	1'-8"	2'-2"
1'-8"	2'-2"	2'-10"	3'-7"	#5	2'-2"	2'-10"
2'-0"	2'-6"	3'-3"	4'-2"	#6	2'-6"	3'-3"
3'-6"	4'-7"	5'–11"	7'-7"	#7	4'-7"	5'-11"
4'-0"	5'-2"	6 <b>'</b> -9"	8'-8"	#8	5'-2"	6'-9"
4'-6"	5'-10"	7'-7"	9'-10"	#9	5'-10"	7'-7"
5'-0"	6'-5"	8'-6"	11'-10"	#10	6'-5"	8'-6"
5'-7"	7'-4"	9'-5"	12'-6"	#11	7'-4"	9'-5"
TES:						

\* TOP REINFORCEMENT IS HORIZONTAL REINFORCEMENT SO PLACED THAT MORE THAN 12 INCHES OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE REINFORCEMENT \*\* LENGTHS SHOWN IN CHART SHALL BE MODIFIED WHERE REQUIRED TO CONFORM TO THE PROVISIONS OF ACI 318, SECTION 12.2

\*\*\* UNCOATED REINFORCEMENT



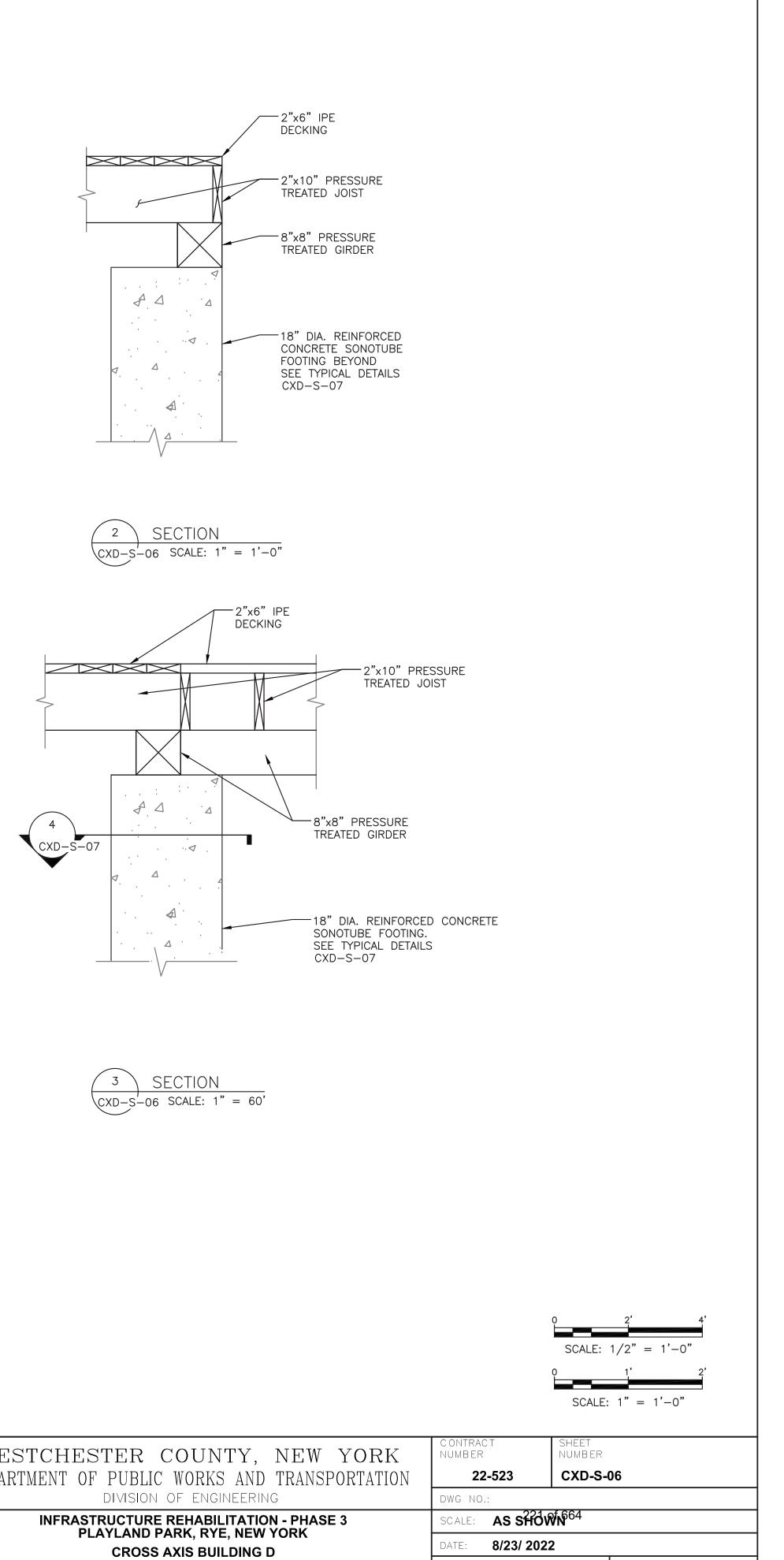
ing Name: G:\SavinAutocad\2060\25-Playland-Mega-3\S\CXDS-1007.dwg Projectname: ---- Comments: All inquiries regarding this drawing(s) or proj nade to NYC Environmental Protection, Bureau of Engineering Design and Construc edtby?4xBKrivtebten@terce\_3.5wgluGGB&tS20020.dvg0:45 AM Designed by: ----

	RECORD DRAWING CERTIFICATION			
	🔲 AS BUILT – CHANGES AS NOTED	AS BUILT – NO CHANGES	DEPAR'	
	C ONTRAC TOR	PROJECT COORDINATOR		
	SIGNATURE	SIGNATURE		
REVISION	TITLE DATE	TITLE DATE		

\*\* UNCOATED REINFORCEMENT

EIGHT (	CONCRETE	
LICE L	ENGTH ** 1.3 x I d	
	CLEAR SPA	ACING < 3"
	BASIC	TOP *
	2'-2"	2'-11"
	2'-9"	3'-7"
	3'-7"	4'-8"
	4'-2"	5'–5"
	7'-7"	9'-11"
	8'-8"	11'-4"
	9'-9"	12'-9"
	11'-0"	13'-7"
	12'-6"	14'-9"
0.11 T.		

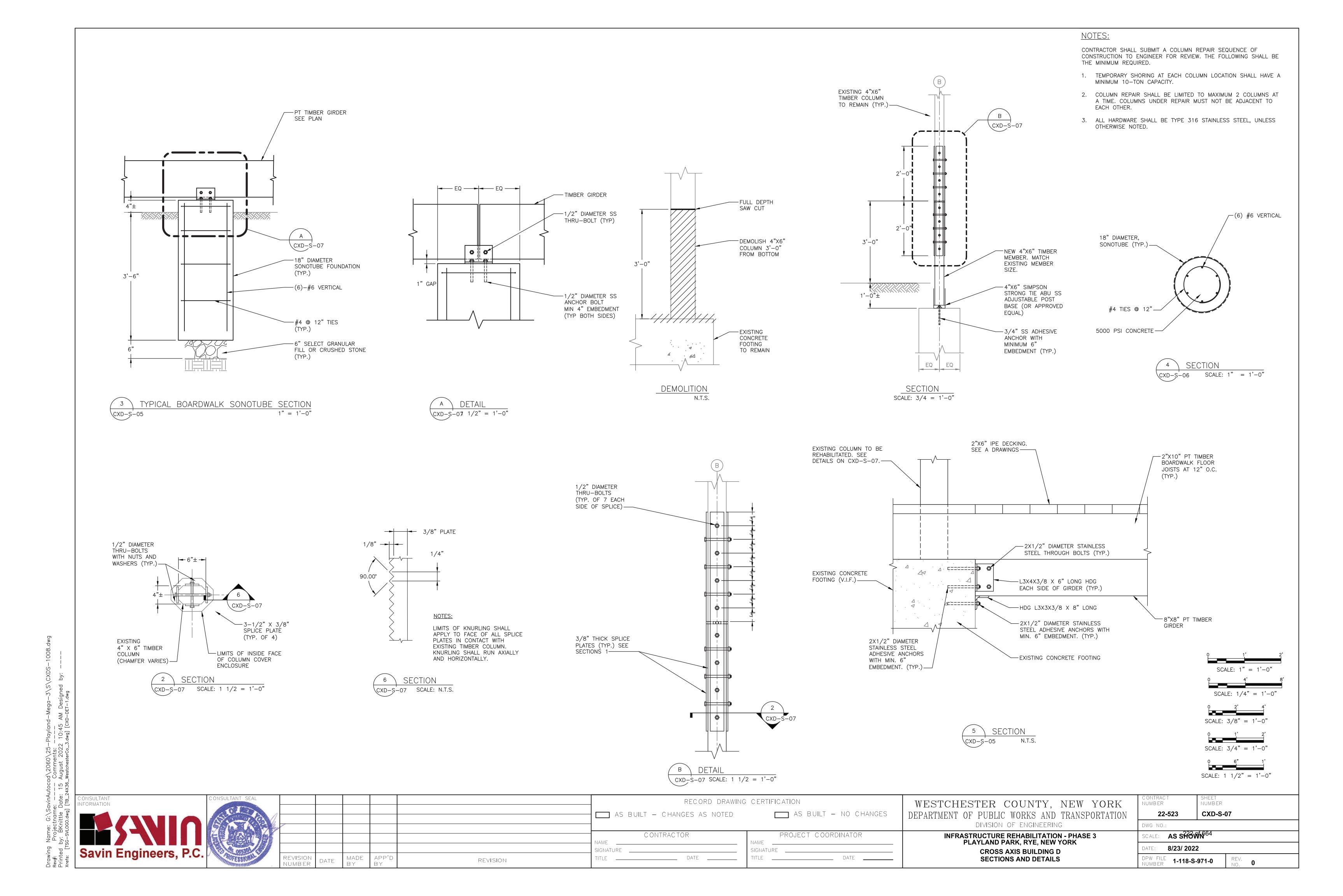
fy = 60,000 psi fc =	4000 psi OR GREATER, NORMAL	WEIGHT CONCRETE	
	DEVELOPME	DEVELOPMENT LENGTH, I dh	
BAR SIZE	BASIC	W/CONC. COVER *	
#3	8"	6"	
#4	10"	7"	
<b>#</b> 5	1'-0"	9"	
<b>#</b> 6	1'-3"	11"	
#7	1'-5"	1'-0"	
#8	1'-7"	1'-2"	
<b>#</b> 9	1'-10"	1'-4"	
<b>#</b> 10	2'-1"	1'-6"	
<b>#</b> 11	2'-3"	1'-7"	



DPW FILE NUMBER **1-118-S-970-0** 

REV. No. 0

SECTIONS



# **FIRE PROTECTION SAFETY NOTES:**

1. SPECIAL PRECAUTION SHALL BE TAKEN BY THE CONTRACTOR SO THAT EQUIPMENT OF THIS APPLICATION AND ITS INSTALLATION WILL NOT AFFECT THE FOLLOWING: EGRESS TO AND FROM THE BUILDING. FIRE SAFETY OR CREATE A FIRE HAZARD. STRUCTURAL SAFETY OF THE BUILDING, ACCUMULATION OF DUST AND DEBRIS. (THE CONTRACTOR SHALL LEAVE THE SITE BROOM CLEANED EACH DAY.)

# FIRE PROTECTION GENERAL NOTES:

1. DIMENSIONS, LOCATIONS AND SIZES INDICATED ON THE PLANS AND THE ELEVATION ARE APPROXIMATE AND SHALL BE VERIFIED BY FIELD INSPECTION BY THE CONTRACTOR.

2. SOME EXISTING PIPE AND EQUIPMENT IS SHOWN FOR CLARIFICATION OF THIS CONTRACT, BUT MUST BE PROTECTED BY THE CONTRACTOR.

3. NO WORK SHALL BE INITIATED UNTIL A WORK PERMIT IS OBTAINED BY THE CONTRACTOR AND A SAFETY PLAN IS SUBMITTED AND IS APPROVED.

4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, EQUIPMENT USE PERMITS, ALL INSPECTION APPROVALS, AND LETTER OF COMPLETION FROM THE DEPARTMENT OF BUILDINGS FOR WORK UNDER THIS CONTRACT AS APPLICABLE.

5. ANY EXISTING MATERIALS, PIPING, ETC., NOT INDICATED FOR DEMOLITION WHICH ARE REMOVED BY THE CONTRACTOR IN ORDER TO INSTALL NEW WORK SHALL BE REINSTALLED BY THE CONTRACTOR. IF EXISTING WORK IS DAMAGED IT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SURFACES OR FINISHES THAT ARE DAMAGED OR OTHERWISE AFFECTED BY WORK OF THIS CONTRACT SHALL BE PATCHED, REPAIRED, PAINTED OR REPLACED TO MATCH THE PRE-EXISTING CONDITION AND THE NEW WORK.

6. CONTRACTOR MAY PROPOSE ALTERNATE ROUTING IN DIFFICULT AREAS WHERE REPLACEMENT IN KIND IS NOT PRACTICAL. ANY AND ALL ALTERNATE ROUTING IS SUBJECT TO PRIOR REVIEW AND APPROVAL BY THE ENGINEER.

7. A FIRE WATCH SHALL BE PROVIDED WHEN SPRINKLER COVERAGE IS IMPACTED TO MAINTAIN BUILDING OPERATIONS OR AS REQUIRED.

# FIRE PROTECTION SYMBOL LIST

	- FS DRY— — NEW DRY SPRINKLER PIPING
	- DRY(E) — EXISTING TO REMAIN DRY SPRINKLER PIPING
0	NEW UPRIGHT SPRINKLER HEAD
0	EXISTING UPRIGHT SPRINKLER HEAD
•	NEW CONCEALED PENDENT SPRINKLER HEAD-ORDINARY TEMPERATURE
¢	SPRINKLER DRY PIPE VALVE
L d	FIRE HOSE CABINET
~	SIAMESE CONNECTION
1Z	CHECK VALVE
1Z •Zì	CHECK VALVE W/ ALARM
	WATER MOTOR ALARM BELL
8	PIPE RISER
Ģ	PIPE DROP
0-	PIPE UP
	POINT OF CONNECTION
	POINT OF DISCONNECTION
D D	PREACTION 6" BELL
R	SOLENOID VALVE
. ₩	OS & Y VALVE
	REVISION SYMBOL
F#	REFER TO SUPPLEMENTAL FIGURE INDICATED BY NUMBER (I.E. F2 REFERS TO FIGURE 2)
	EQUIPMENT TAG
	EQUIPMENT NUMBER
X	DETAIL TAG/ CALL OUT TAG
X-XXX	FIRE PROTECTION SHEET NUMBER

### **SHOP DWGS/EQUIPMENT SUBMITTALS**

THE CONTRACTOR MUST SUBMIT ANY EQUIPMENT ALTERNATES 2 WEEKS PRIOR TO BIDS DUE FOR REVIEW AND COMMENTS. ALTERNATES MUST BE ACCEPTED BY LIRO ENGINEERS, INC., THE ARCHITECT, AND THE OWNER PRIOR TO INCLUSION IN BID. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE EQUIPMENT ALTERNATES WITH OTHER TRADES AND MAKE ADJUSTMENTS TO THE MECHANICAL SYSTEMS, AS REQUIRED, TO ACCOMMODATE THESE NEW ALTERNATES.

THE CONTRACTOR IS RESPONSIBLE TO SUBMIT ALL OF THE FOLLOWING ITEMS FOR REVIEW/APPROVAL BY NO MORE THAN 3 WEEKS AFTER THE CONTRACTOR'S CONTRACT/BID HAS BEEN AWARDED. ALL SUBMITTALS MUST BE SENT TOGETHER AS A **SINGLE PACKAGE** WITH MANUFACTURER'S SPECIFIC MODELS AND SPECIFICATIONS OUTLINED TO MATCH THE SCHEDULED REQUIREMENTS. EACH SUBMITTAL MUST BE LABELED WITH THE UNIT DESIGNATION USED WITHIN THIS DRAWING SET. IF THE SUBMITTAL PACKAGE IS FOUND TO BE INCOMPLETE UPON RECEIPT, THE PACKAGE WILL BE HELD AND WILL NOT BE REVIEWED UNTIL THE REMAINDER OF THE PACKAGE IS RECEIVED. SIX (6) HARD COPIES OF THE SUBMITTAL PACKAGE MUST BE SENT TO LIRO ENGINEERS, INC. DIGITAL SHOP DRAWING SUBMISSIONS ARE ACCEPTABLE.

# **SCOPE OF WORK:**

1. THE INSTALLATION OF NEW DRY FS EQUIPMENT. . PROPOSED FIRE SPRINKLER HEAD LOCATIONS AND PIPING ARE AS NOTED O EXACT PIPING FROM THE FIRE SPRINKLER MAIN TO ALL HEADS IS TO BE COORDI AND HYDRAULICALLY CALCULATED BY THE F.S.C. & SUBMITTED TO THE ENGINE APPROVAL.

NOTE: THIS SCOPE OF WORK DESCRIPTION IS PROVIDED TO GIVE AN OVERALL DESCRIPTION OF THIS PROJECT. F.S.C. IS RESPONSIBLE TO REVIEW ALL ENGIN AND ARCHITECTURAL DRAWINGS AND VISIT THE SITE IF NEEDED, PRIOR TO SUBMISSION OF BID.

		SPRIN	KLER H	IE/	AD SCHE	DULE			
MANUFACTURER MODEL D				ES	CRIPTION		K-FACTOR	QUANTITY	
0	RELIABLE	F1FR	DRY ORDINARY UPRIGHT SPRINKLE HEAD			5.6	31		
				,			•		
ABBREVIATION				DRAWI	NG NC	TATIONS	5		
ACV	ALARM CHECK	VALVE							
B.O.	P. BOTTOM OF PIF	Έ			(#)	DRAV	VING NOTE	ГАВ	
(E)	(E) EXISTING TO REMAIN			1	$  \ominus  $	RISER DESIGNATION		ION	
F.S.(	C. FIRE SPRINKLE	R CONTR	ACTOR		$\mathbf{\Theta}$	POIN	T OF CONNE	CTION	
<b>D</b> O			_	1					

(E)	EXISTING TO REMAIN	$\ominus$	
F.S.C.	FIRE SPRINKLER CONTRACTOR		
P.C	PLUMBING CONTRACTOR	0	
TYP	TYPICAL		
W/	WITH		

NYS NEW YORK STATE U/P UNDERGROUND PIPING

W WATER

# **DESIGN CRITERIA**

1. AREA OF APPLICATION = 1950 SQ. FT

- 2. OCCUPANCY CLASSIFICATION = ORDINARY HAZARD GROUP 2
- 3. MAXIMUM COVERAGE PER SPRINKLER HEAD = 130 SQ. FT
- 4. DESIGN DENSITY = 0.20 GPM/SQ. FT
- 5. NUMBER OF SPRINKLER HEADS WITHIN AREA OF APPLICATION = 26
- 6. "K" FACTOR OF SPRINKLER HEADS = 5.6
- 7. DESIGN CRITERIA REQUIREMENTS BASED ON: - 2020 BUILDING CODE OF NEW YORK STATE - 2016 NFPA 13

# ORDINARY HAZARD PIPE SCHEDULE

STEEL	COPPER
1IN.       2 SPRINKLERS         1 1/4 IN.       3 SPRINKLERS         1 1/2IN.       5 SPRINKLERS         2 IN.       10 SPRINKLERS         2 1/2 IN.       20 SPRINKLERS         3 IN.       40 SPRINKLERS         3 1/2 IN.       65 SPRINKLERS         4 IN.       100 SPRINKLERS         5 IN.       160 SPRINKLERS         6 IN.       275 SPRINKLERS         8 IN.       SEE SECTION 8.2	1IN.         2 SPRINK           1 1/4 IN.         3 SPRINK           1 1/2IN.         5 SPRINK           2 IN.         12 SPRINK           2 IN.         12 SPRINK           3 IN.         45 SPRINK           3 1/2 IN.         75 SPRINK           4 IN.         115 SPRINK           5 IN.         180 SPRINK           6 IN.         300 SPRINK           8 IN.         SEE SECT

FOR SI UNITS, 1 IN. = 25.4 MM.

### MAX DISTANCE BETWEEN HANGERS (FT.-IN.)

NOMINAL PIPE SIZE (IN.)												
	3/4	1	1 1/4	1 1/2	2	2 1/2	3	3 1/2	4	5	6	8
STEEL PIPE EXCEPT THREADED LIGHTWALL	N/A	12-0	12-0	15-0	15-0	15-0	15-0	15-0	15-0	15-0	15-0	15-0
THREADED LIGHTWALL STEEL PIPE	N/A	12-0	12-0	12-0	12-0	12-0	12-0	N/A	N/A	N/A	N/A	N/A
COPPER TUBE	8-0	8-0	10-0	10-0	12-0	12-0	12-0	15-0	15-0	15-0	15-0	15-0

# **CODE REFER**

2020 NEW YORK STATE BUILDING CODE 2016 NFPA 13

NFORMATION



REVISION NUMBER	DATE	MADE B Y	APP'D By	

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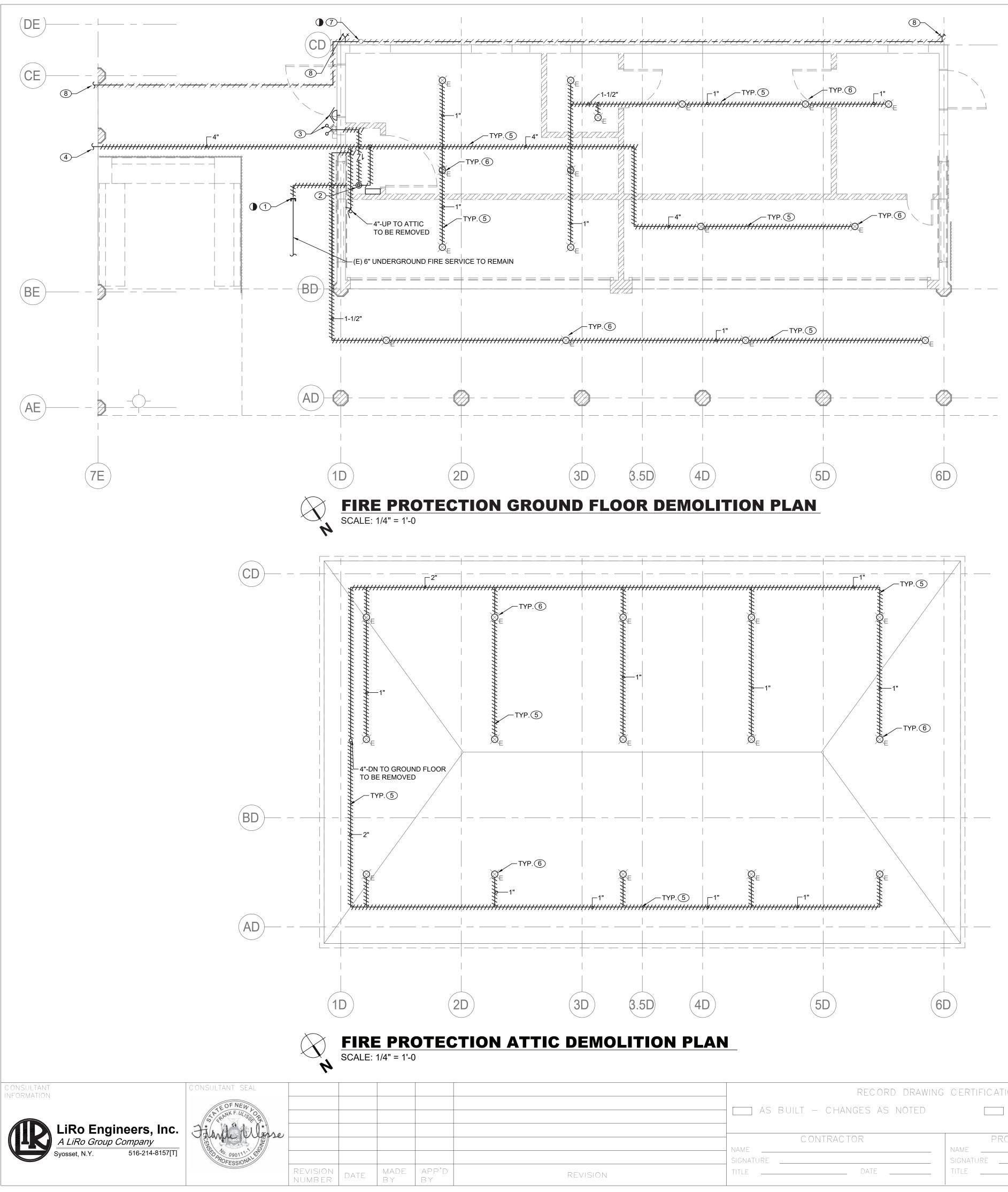
# FIRE PROTECTION NOTES

I PLANS. NATED ER FOR	1. THE DRAWINGS SHOW THE LAYOUT OF THE SYSTEM AND INDICATE THE APPROXIMATE LOCATIONS OF EQUIPMENT AND PIPING. CONTRACTOR IS CAUTIONED NOT TO SCALE THE DRAWINGS. THE PIPING SHALL BE RUN APPROXIMATELY IN THE AREAS AS INDICATED ON THE DRAWINGS, [HOWEVER, TO THE ARRANGEMENT OF THE PIPING SYSTEMS AS MAY BE REFERENCED WITH WORK OF OTHER TRADES]. CONTRACTOR SHALL REVIEW AND COORDINATE WITH STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS. PARTITIONS, STRUCTURAL MEMBERS, ETC. ARE DESIGNED TO BE FURRED OR CLOSED IN AND TO INCLUDE ROUGH-IN PIPING. CONTRACTOR SHALL	NO	MANUFACTURE GENERAL AIR PRO OTES: DUNTING BRACKET.		RVICE SYSTEM SP	LOCATION AVE	ERAGE CFM V.P 2.43 230	WIRE		NOTES           3S)         1,2,3
MACRO" EERING	<ul> <li>FURNISH ALL OFFSETS, ADDITIONAL FITTINGS, ETC. WHETHER SHOWN ON DRAWINGS OR NOT, AS REQUIRED TO MEET INSTALLATION CONDITIONS.</li> <li>2. CONTRACTOR IS TO COMPLY WITH LATEST NFPA AND N.Y.S. CODES, AND COORDINATE HIS WORK WITH OTHER</li> </ul>	3. PROV	OVIDE WITH A 10 GA	NCE DEVICE (RELIABLE MODE LON GENERAL AIR TANK SWITCH. SET FOR 20 PSI ON AI	na haran akalan u tu una kana ku u u u ana ana ana ana ana ana ana ana	FER TO MANUFACTURER'S	RECOMMENDA	TIONS FOR PROPER A	AR PRESSURE.	
	TRADES AND MAKE NECESSARY ADJUSTMENTS.         3. CONTRACTOR IS TO PREPARE SHOP DRAWINGS FOR ENGINEERS REVIEW AFTER MAKING A COMPLETE FIELD									
Y	SURVEY. 4. CONTRACTOR IS TO REPORT ANY CONDITION REQUIRING CHANGES FROM PLANS TO ENGINEER PRIOR TO	MAN		MODEL SERVICE		SIZE (INCH)				
	STARTING WORK. 5. BRANCH LINES AND MAINS (1 1/2" OR LESS) - SCHEDULE 40 FM APPROVED		RELIABLE	D DRY SYSTEM SPF		, , , , , , , , , , , , , , , , , , , ,				
	6. BRANCH LINES AND MAINS (2" OR LARGER) - THINWALL (THICKNESS LESS THEN SCHEDULE 40 MORE THEN		OTES:							
	SCHEDULE 10 & FM APPROVED) 7. CONTRACTOR IS TO PERFORM A HYDROSTATIC TEST FOR 2 HRS. @ 200 PSI WITH NO LEAKAGE AND PROVIDE A		CTORY PREASSEMB	_ED TRIM - BASIC _E B1 ACCELERATOR. INSTALL	L AS PER MANUFAC	CTURER'S RECOMMENDATI	ONS			
	TEST CERTIFICATE TO ENGINEER									
	8. CONTRACTOR IS TO EMPLOY EXPERIENCED WORKMEN WHO ARE TO FAMILIARIZE THEMSELVES WITH THE BUILDING AND OBSERVE SAFETY REQUIREMENTS.									
	<ul> <li>9. CONTRACTOR TO ADJUST HEAD LOCATION TO COORDINATE WITH LIGHTS, DUCTS, ETC.</li> <li>10. PERMIT FROM LOCAL AUTHORITY, TO BE OBTAINED BY CONTRACTOR.</li> </ul>									
	11. ALL WORK TO BE APPROVED BY OWNERS ENGINEER, STATE AUTHORITIES HAVING JURISDICTION AND MUNICIPAL									
	FIRE, PLUMBING, BUILDING AND WATER DEPARTMENTS. 12. U.L. AND/OR FM APPROVED EQUIPMENT TO BE USED.									
	13. WORK TO BE IN ACCORDANCE WITH MUNICIPAL WATER DEPT. RULES									
	14. SYSTEM IS TO BE MAINTAINED AND TESTED BY THE OWNER OR HIS AGENT IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE CODES AND IN CONFORMANCE WITH NFPA 13A, LATEST EDITION.									
	15. IF BUILDING OCCUPANCY OR CONSTRUCTION CHANGES, THE SPRINKLER SYSTEM IS TO BE UPDATED ACCORDINGLY BY THE OWNER OR HIS AGENT.									
	16. CONTRACTOR IS TO NEATLY CUT AND PATCH IN A FIRST CLASS WORKMANLIKE MANNER, ALL HOLES AND									
	PENETRATIONS IN WALLS, CEILINGS, FLOORS, PARTITIONS, ETC. 17. THE ENGINEER IS NOT RETAINED FOR SUPERVISION.									
	18. THE INSTALLATION OF THIS SYSTEM WILL REQUIRE THE CLOSING OF ONE OR MORE FIRE PROTECTION CONTROL VALVES. THESE VALVE CLOSURES SHOULD BE CLOSELY COORDINATED WITH THE OWNERS WHO SHOULD CONTACT THE LOCAL FIRE DEPARTMENT, INSURANCE INTERESTS, ETC. PRIOR TO VALVE CLOSURES.									
	19. ACTUAL DESIGN DENSITY MAY EXCEED STANDARDS, HOWEVER, IT IS A MINIMUM TO BE USED BY THE CONTRACTOR.									
	20. ALL ALARMS RELATING TO THE SPRINKLER SYSTEM SHOULD BE ACTIVATED UPON PLACING THE SPRINKLER SYSTEM IN SERVICE.									
	21. THE INSTALLATION COMPONENTS, SIZING, SPACING, MATERIALS LOCATION CLEARANCES, POSITION AND TYPE									
	OF SYSTEM SHALL CONFORM TO NFPA 13 AND NYS UNIFORM FIRE PREVENTION BUILDING CODE LATEST EDITION. 22. SPRINKLERS SHALL BE PROTECTED AGAINST FREEZING AND INJURY AS PER NFPA CODE.									
	23. INSPECTION AND TESTS OF SPRINKLER SYSTEM SHALL BE CONDUCTED AS SPECIFIED IN NFPA CODE.									
	24. WATER SUPPLY TEST PIPES AND GAUGES SHALL BE PROVIDED AS SPECIFIED IN CHAPTER 2-9 OF NPPA 13.									
	25. PIPING SPECIFICATIONS, PIPE SCHEDULES, SYSTEM TEST PIPES, PROTECTION AGAINST CORROSION, DAMAGE FITTINGS, VALVES, HANGERS, SPRINKLERS, GUARDS AND SHIELDS SHALL BE IN ACCORDANCE WITH CHAPTER 3 AND CHAPTER 8 OF NFPA 13, LATEST EDITION. PIPING SHALL BE PAINTED TO PREVENT CORROSION.									
	26. STOCK OF EXTRA SPRINKLERS WILL BE FURNISHED AS PER CHAPTER 3 OF NFPA 13 (REQUIRED FOR EACH TEMPERATURE RATING).									
	27. SPRINKLER ALARMS WILL BE IN ACCORDANCE WITH NFPA 13. 28. SPACING, LOCATION AND POSITION OF SPRINKLERS SHALL BE IN ACCORDANCE WITH CHAPTER 4 OF NFPA 13.									
	29. ALL PIPING PASSING THROUGH WALLS SHALL COMPLY WITH NFPA FOR FIRE PROOFING.									
	30. DISTANCE OF SPRINKLERS FROM HEAT SOURCES SHALL BE IN ACCORDANCE WITH TABLE 3-16.6.3 OF NFPA 13.									
	31. PROVIDE WATER SUPPLY LETTER WITH FLOW TEST DATA. 32. ALL PIPES PASSING THROUGH FOUNDATION WALLS TO BE PROTECTED.									
	33. ALL VALVES SHALL BE IDENTIFIED AS REQUIRED BY NFPA 13.									
	34. DRAINAGE TO CONFORM TO CHAPTER 3-11 OF NFPA 13.									
6 8	35. A ONE PIECE REDUCING FITTING OF GOOD DESIGN SHOULD BE USED WHEREVER A CHANGE IS MADE IN THE SIZE OF PIPE AS PER SECTION 3-12.2.7 OF NFPA 13.									
5-0 15-0	36. ALL VALVES ON CONNECTIONS TO WATER SUPPLIES AND IN SUPPLY TO SPRINKLERS SHALL BE APPROVED O.S. &Y. OR APPROVED INDICATOR TYPE WITH TAMPER SWITCHES.									
J/A N/A	37. DRAIN VALVES AND TEST VALVES SHALL BE APPROVED TYPE AS PER SECTION 3-14.1.2 OF NFPA 13.									
5-0 15-0	38. HANGERS SHALL BE OF A TYPE APPROVED FOR USE WITH THE PIPE OR TUBE INVOLVED, SPRINKLER PIPING SHOULD BE SUPPORTED BY ADJUSTABLE HANGERS PER NFPA 13, SECTION 3-15.									
	39. PROVISIONS SHOULD BE MADE TO FACILITATE FLUSHING SYSTEM PIPING BY PROVIDING FLUSHING CONNECTIONS CONSISTING OF A CAPPED NIPPLE 4" LONG ON THE END OF THE CROSS MAIN, AS PER SECTION 3- 8.2									
	OF NFPA 13. 40. SPRINKLER SHALL BE AN APPROVED TYPE AS PER SECTION 3-16 OF NFPA 13.									
	41. TEMPERATURE RATING SHALL COMPLY WITH SEC. 3-16.6 OF NFPA 13.									
	42. CLEARANCES BETWEEN SPRINKLERS AND STORAGE OR PARTITIONS AS PER NFPA 13, SECTION 4-2.5									
	43. SPACING AND LOCATION OF SPRINKLER SHALL COMPLY WITH CHAPTER 4 NFPA 13. 44. CONTRACTOR TO COORDINATE HIS WORK WITH OTHER TRADES.									
	45. ONLY EXPERIENCED SPRINKLER MECHANICS TO WORK ON THE SYSTEM.									
	46. ALL PIPING TO BE A MINIMUM OF 1" UNLESS OTHERWISE NOTED.			FI	<b>RE PRO</b>	TECTION D	RAWI	NG LIST		
	47. PROVIDE SHOP DRAWINGS WITH HYDRAULIC CALCULATIONS FOR REVIEW TO LOCAL FIRE MARSHALL AND INSURANCE UNDERWRITER AND ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.	SHI	HEET NO.		s	HEET NAME			REVISON NO.	REVISION DATE
	48. ALL FIRE PROTECTION EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS/SPECIFICATIONS.	CX	CXD-FP-01 FIRE	PROTECTION NOTES,	S, SYMBOLS, A	BBREVIATIONS, AND	DRAWING	LIST	0	-
	49. ALL FIRE PROTECTION EQUIPMENT SHALL BE MOUNTED ON MINIMUM 6" HIGH CONCRETE PAD UNLESS OTHERWISE NOTED (PAVER AND CINDER BLOCK IS NOT ACCEPTABLE).	CX	CXD-FP-11 FIRE	PROTECTION GROUN	ND FLOOR AND	D ATTIC DEMOLITION	N PLAN		0	*
	50. PERMIT IS REQUIRED PRIOR TO INSTALLATION, TO INCLUDE SIGNED AND SEALED SHOP DRAWINGS, HYDRAULIC CALCULATION, SHOP DRAWINGS, MANUFACTURERS INFORMATION ON HEADS AND APPLIANCES, COMPLIANCE WITH	The second second	entrepertuises participation devotestor from the source	PROTECTION GROUN	And a second	D ATTIC CONSTRUC	TION RCP		0	
	NFPA 13 AND SECTION 903 2020 NYSBC/FC.	CX		E PROTECTION DETAIL					U	25
	RECORD DRAWING CERTIFICATION		WFS	TCHESTER	COLINT	Y NFW V(	)RK	C ONTRAC T NUMB ER	SHEET NUMB ER	
	AS BUILT – CHANGES AS NOTED AS BUILT – NO CHA	ANGES		'MENT OF PUBLIC		·		22-523	CXD-FP-01	
					OF ENGINE				of 664	
	CONTRACTOR     PROJECT COORDINATOR       NAME     NAME		-	INFRASTRUCTURE PLAYLAN		ATION - PHASE 3 E, NEW YORK				
	SIGNATURE         SIGNATURE           TITLE         DATE         TITLE         DATE				SS AXIS BUIL	DING D		DATE: 08/23/2	2022 18-FP-972-0	0
					-,			NUMBER 1-1	NO.	0

DRY SYSTEM COMPRESSOR SCHEDULE										
TURER	MODEL	SERVICE	LOCATION	AVERAGE CFM	V.PH.HZ	HP	RECOMMENDED WIRE SIZE	DIMENSION (L''xW'xH'')	WEIGHT (LBS)	NOTES
PRODUCT	LT20033A	DRY SYSTEM	SPRINKLER ROOM	2.43	230.1.60	1/3	12	33x13x28	115	1,2,3
/FT										
KET.										
ITENANCE DI	EVICE (RELIABLE	MODEL AMD-1)								
0 GALLON G	ENERAL AIR TAN	К								
URE SWITCH	I. SET FOR 20 PS	ON AND 25 PSI	OFF. REFER TO MANUFACTU	RER'S RECOMMEN	DATIONS	FOR P	ROPER AIR PRES	SURE.		

R	Y PI	PE VA	LVE SCHEI	DULE
२	MODEL	SERVICE	LOCATION	SIZE (INCH)
	D	DRY SYSTEM	SPRINKLER EQUIP. ROOM	4

SHEET NAME	REVISON NO.	REVISION DATE
FIRE PROTECTION NOTES, SYMBOLS, ABBREVIATIONS, AND DRAWING LIST	0	
FIRE PROTECTION GROUND FLOOR AND ATTIC DEMOLITION PLAN	0	-
FIRE PROTECTION GROUND FLOOR AND ATTIC CONSTRUCTION RCP	0	-
IRE PROTECTION DETAILS	0	3-



 	RECORD DRAWING CERTIFICATION						
 AS BUILT -	CHANGES AS NOTED	AS	Built – no changes	DEPA			
C O N T	RACTOR	PROJE(	CT COORDINATOR				
SIGNATURE		SIGNATURE					
TITLE	DATE	TITLE	DATE				

### **SPRINKLER DEMOLITION NOTES:**

1 CUT AND TEMPORARY CAP UNDERGROUND EXISTING 6" FIRE SERVICE FOR FUTURE CONNECTION BETWEEN CXD AND CXE BUILDINGS.

(2) REMOVE EXISTING 4" SERVICE, VALVES, DRY VALVE, COMPRESSOR AND ALL ASSOCIATED PIPING.

- (3) REMOVE EXISTING FDC, ALARM BELLS AND DRAIN PIPING.
- (4) REMOVE SPRINKLER PIPING WITHIN CXE BUILDING. REFER TO CXE FIRE PROTECTION DRAWINGS FOR CONTINUATION.
- (5) DEMOLISH ALL EXISTING DRY SPRINKLER PIPING WITHIN THE CXD BUILDING INCLUDING ATTIC SPACE.
- 6 DEMOLISH ALL EXISTING SPRINKLER HEADS WITHIN THE CXD BUILDING.
- (7) CUT AND PERMANENTLY CAP EXISTING 4" DRAINAGE PIPING 1 FEET BELOW FINISHED SURFACE.
- 8 REMOVE EXISTING 1/2" COLD WATER PIPING INCLUDING HOSE BIBS ON EXTERIOR OF CXD AND CXE BUILDINGS.

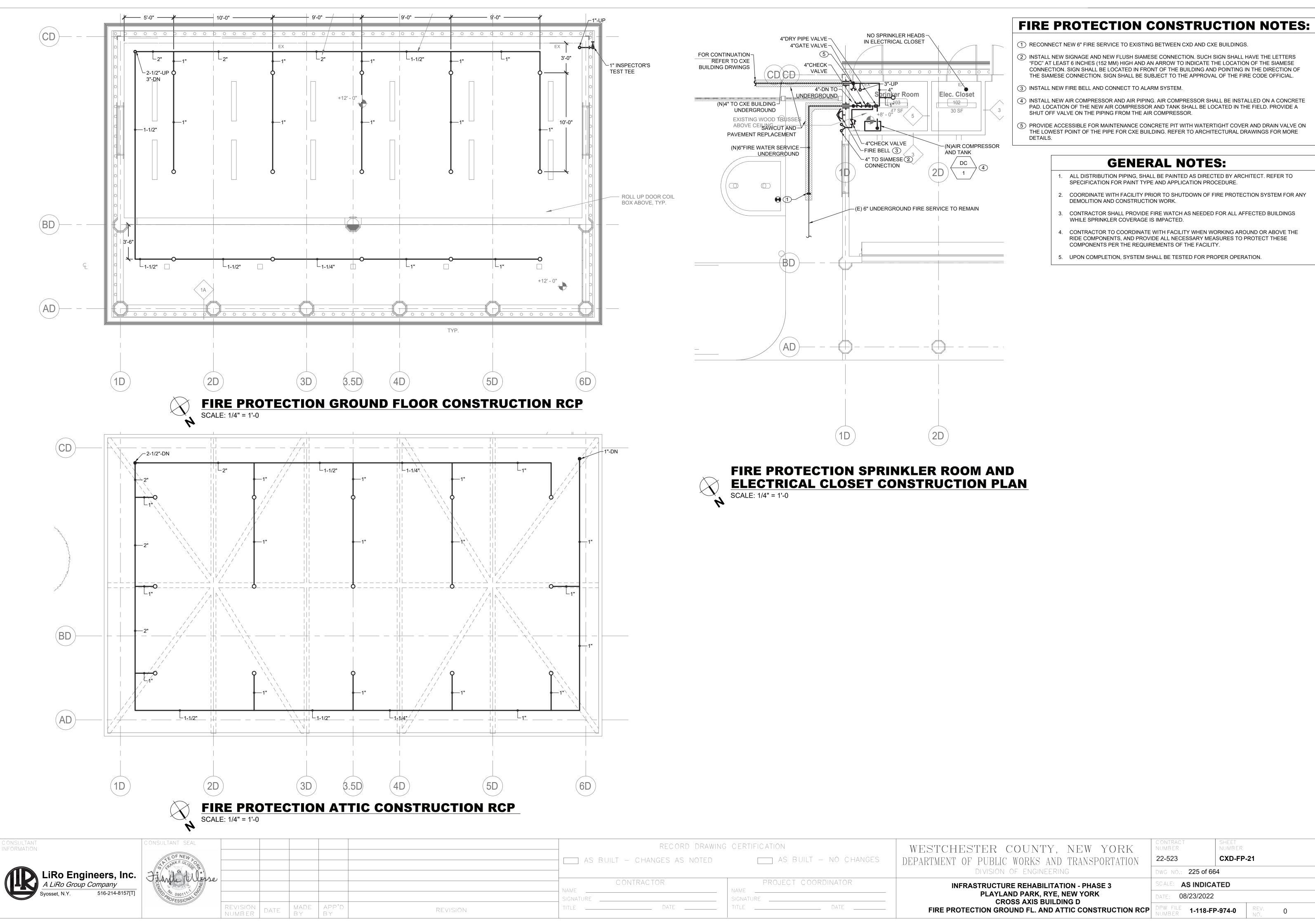
### **GENERAL NOTES:**

1. COORDINATE WITH FACILITY PRIOR TO SHUTDOWN OF FIRE PROTECTION SYSTEM FOR ANY DEMOLITION AND CONSTRUCTION WORK.

2. CONTRACTOR SHALL PROVIDE FIRE WATCH AS NEEDED FOR THE DEPENDENT BUILDINGS BY THE DEMOLITION AND CONSTRUCTION WORK WHILE SPRINKLER COVERAGE IS IMPACTED.

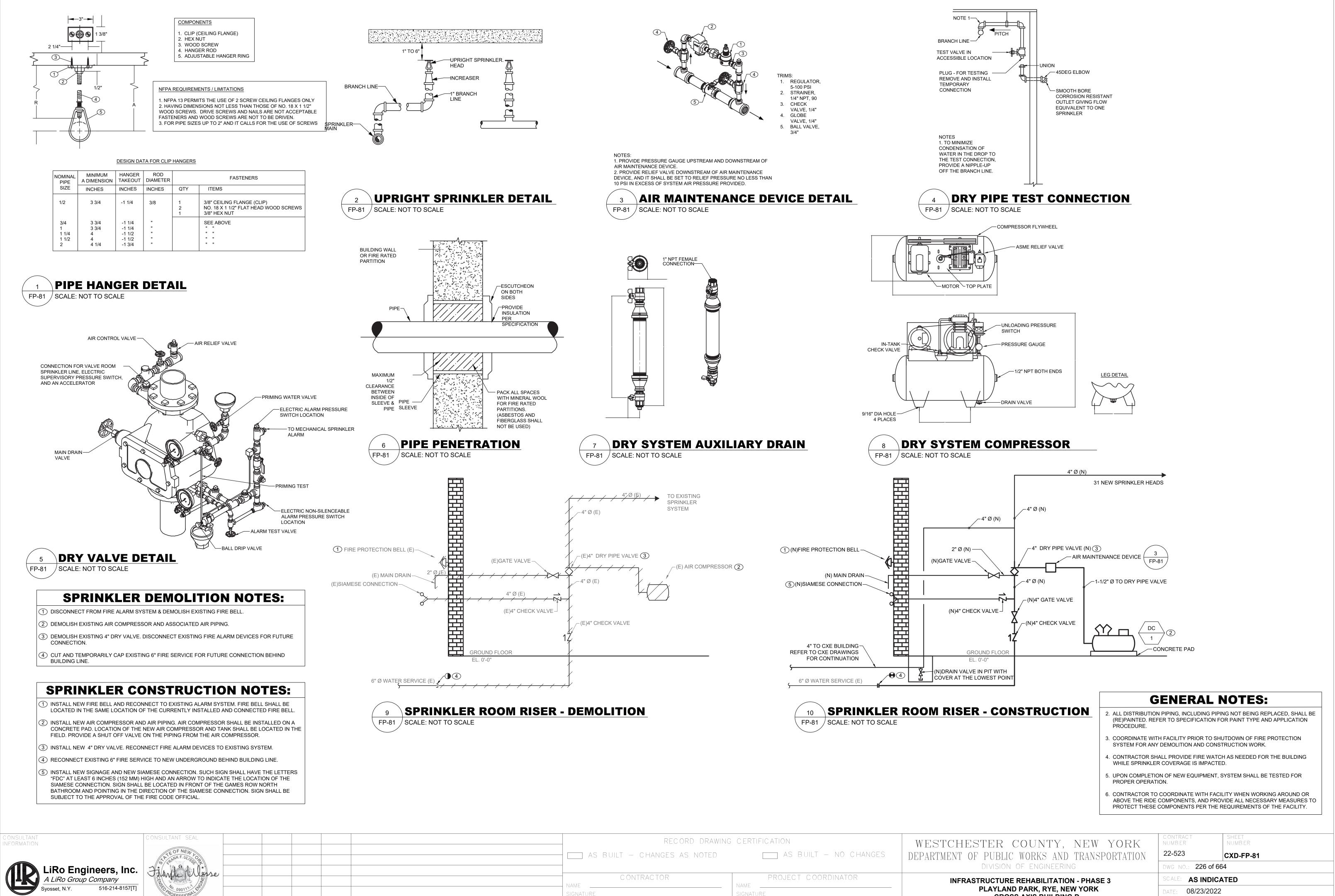
3. CONTRACTOR TO COORDINATE WITH FACILITY WHEN WORKING AROUND OR ABOVE THE RIDE COMPONENTS, AND PROVIDE ALL NECESSARY MEASURES TO PROTECT THESE COMPONENTS PER THE REQUIREMENTS OF THE FACILITY.

ESTCHESTER COUNTY, NEW YORK	CONTRACT SHEET NUMBER NUMBER
RTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523 <b>CXD-FP-11</b>
DIVISION OF ENGINEERING	DWG NO.: 224 of 664
<b>INFRASTRUCTURE REHABILITATION - PHASE 3</b>	SCALE: AS INDICATED
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022
FIRE PROTECTION GROUND FLOOR AND ATTIC DEMOLITION PLAN	DPW FILE <b>1-118-FP-973-0</b> REV. 0



	RECORD DRAWING CERTIFICATION				
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	CONTRAC	TOR		ROJECT COORDINATOR	
	NAME		NAME		
REVISION	TITLE	DATE	TITLE	DATE	

ESTCHESTER COUNTY, NEW YORK	C ONTRAC T NUMBER	SHEET NUMBER
ARTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523	CXD-FP-21
DIVISION OF ENGINEERING	DWG NO.: 225 of 66	64
<b>INFRASTRUCTURE REHABILITATION - PHASE 3</b>	SCALE: AS INDICA	ATED
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022	
FIRE PROTECTION GROUND FL. AND ATTIC CONSTRUCTION RCP	DPW FILE NUMBER 1-118-FI	P-974-0 REV. 0



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SIGNATURE	DATF	SIGNATURE	DATE		
	CO NAMESIGNATURE	CONTRACTOR NAME SIGNATURE AS BUILT – CHANGES AS NOTED	AS BUILT – CHANGES AS NOTED A CONTRACTOR PROJE NAME SIGNATURE SIGNATURE	AS BUILT - CHANGES AS NOTED AS BUILT - NO CHANGES CONTRACTOR NAME SIGNATURE SIGNATURE AS BUILT - CHANGES AS NOTED AS BUILT - NO CHANGES SIGNATURE SIGNATURE	

**CROSS AXIS BUILDING D** FIRE PROTECTION DETAILS

DPW FILE <b>1-118-FP-975-0</b> NUMBER
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0

	IECHANICAL GENERAL NOTES	<b>MECHANICAL DEMOLITION NOTES</b>
1.	ALL WORK AND MATERIALS SHALL BE PURCHASED AND INSTALLED IN ACCORDANCE WITH ALL NATIONAL & NEW YORK STATE CODES AND	1. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF MECHANICAL EQUIPMENT AND MATERIAL RELATING TO THEIR RESPECTIVE TRADE.
	REGULATIONS (AS WELL AS ALL APPLICABLE LOCAL CODES & REGULATIONS). THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL HVAC WORK IS PROVIDED AND INSTALLED IN STRICT ACCORDANCE WITH SEISMIC REQUIREMENTS.	2. THE CONTRACTOR SHALL REMOVE, RELOCATE, REPLACE, ADJUST, ADAPT AND MODIFY EXISTING EQUIPMENT AND/OR SYSTEMS AS REQUIRED WHEN SUCH WORK IS UNCOVERED AND FOUND TO INTERFERE WITH COMPLETION OF WORK IN THIS CONTRACT OR OTHER CONTRACT WORK.
	DO NOT SCALE FROM THESE DRAWINGS. THE EXACT MOUNTING HEIGHTS AND LOCATIONS OF ALL HVAC EQUIPMENT	3. EXECUTE THE DEMOLITION IN CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISTURBANCE TO THE PUBLIC, EGRESS OR THE FUNCTIONING OF THE
	SHALL BE FIELD VERIFIED AND COORDINATED WITH ALL OTHER MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, ARCHITECTURAL AND STRUCTURAL SYSTEMS. DURING SHOP DRAWINGS SUBMISSIONS, SHOW ALL MOUNTING	EXISTING BUILDING. 4. TAKE NECESSARY PRECAUTIONS TO PREVENT DUST AND DIRT FROM RISING BY
	HEIGHTS OF DUCTWORK, UNITS, ETC. VERIFY ALL EQUIPMENT VOLTAGES WITH THE ELECTRICAL DESIGN PRIOR TO	<ul><li>WETTING DEMOLISHED DEBRIS. EXCESSIVE USE OF WATER WILL NOT BE PERMITTED.</li><li>5. PRIOR TO DEMOLITION, CONTRACTOR SHALL REVIEW WITH OWNER ALL MATERIALS</li></ul>
	ORDERING EQUIPMENT. PROVIDE PHASE LOSS PROTECTION FOR ALL POLY-PHASE MOTOR DEVICES.	TO BE REMOVED, SHOULD THE OWNER WANT TO KEEP ANY MATERIALS THE CONTRACTOR SHALL REMOVE AND DELIVER THE PARTS TO THE OWNER ON THE SITE WHERE SO DIRECTED. OTHERWISE ALL DEMOLISHED OR REMOVED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND BE DISPOSED OF IN A LEGAL MANNER.
•	DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEET STEEL IN STRICT COMPLIANCE WITH THE LATEST EDITION OF THE ASHRAE, NFPA, AND SMACNA GUIDE RECOMMENDATIONS. ALL DUCTS TO HAVE PITTSBURGH TYPE LOCK FOR LONGITUDINAL SEAMS AND DRIVE SLIP / "S" SLIP FOR TRANSVERSE JOINTS. "DUCT-MATE" JOINT SYSTEM IS ACCEPTABLE IN LIEU OF PRIOR SEAM SYSTEMS.	6. DEMOLITION SHALL INCLUDE REMOVAL OF ALL PARTS AND PIECES IN THEIR ENTIRETY BACK TO POINTS INDICATED OR IF NOT INDICATED BACK TO THEIR POINT OF SOURCE.
7	SIZES AS SHOWN INDICATE INSIDE CLEAR DIMENSIONS OF THE AIR PASSAGE. DUCTWORK SHALL BE FULLY INSULATED AS PER APPLICABLE CODES AND WRITTEN SPECIFICATIONS. DUCT SIZES MUST BE VERIFIED FOR CLEARANCES AT THE JOB SITE PRIOR TO	7. WHERE CONDITIONS PROHIBIT TOTAL REMOVAL OF THE WORK, THE REMAINING PORTION SHALL BE CUT FLUSH WITH THE SURROUNDING SURFACE AND BE CAPPED, PLUGGED OR SEALED AND THE SURROUNDING SURFACE SHALL BE REFINISHED IN AN APPROVED MANNER.
	FABRICATION. DIMENSIONS MAY BE CHANGED TO ACCOMMODATE CONSTRUCTION AS LONG AS EFFECTIVE CROSS-SECTIONAL AREA IS MAINTAINED. DUCT TRANSITIONS SHALL BE CONSTRUCTED WITH A SLOPE OF 1" TO 4". ALL DEVIATIONS FROM ORIGINAL CONTRACT DRAWINGS SHALL BE REVIEWED BY ENGINEER DURING THE SHOP DRAWING PROCESS.	9. DO NOT REMOVE EXISTING STRUCTURAL WORK. DO NOT REMOVE OPERATIONAL ELEMENTS AND SAFETY-RELATED COMPONENTS IN A MANNER RESULTING IN A REDUCTION OF CAPACITIES TO PERFORM IN THE MANNER INTENDED OR RESULTING IN DECREASED OPERATIONAL LIFE, INCREASED MAINTENANCE, OR DECREASED SAFETY.
	PROVIDE MANUAL BALANCING DAMPERS AS REQUIRED TO PROPERLY BALANCE EACH INDIVIDUAL AIR DISTRIBUTION SYSTEM. IF THE LOCATION OF THE BALANCING DAMPER IS NOT DEFINED ON THE DRAWINGS, THE FOLLOWING MINIMUMS STANDARDS SHALL GOVERN. ALL SUPPLY, RETURN, AND EXHAUST MAIN BRANCHES FROM TRUNKS, EACH SPLIT AND ALL SUB- BRANCHES FROM	10. REMOVALS, DISCONNECTIONS, AND RELOCATIONS SHALL BE PERFORMED BY WORKMEN SKILLED IN THE TRADE INVOLVED AND SHALL BE EMPLOYED BY A CONTRACTOR LICENSED IN THE TRADE INVOLVED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ACCEPTED TRADE PRACTICES.
).	MAIN SHALL INCORPORATE BALANCING DAMPERS. PROVIDE FLEXIBLE CONNECTORS AT ALL DUCT CONNECTIONS TO VIBRATING	11. PROVIDE ADEQUATE TEMPORARY SUPPORT FOR WORK TO REMAIN, TO PREVENT FAILURE. DO NOT ENDANGER OTHER WORK.
0.	EQUIPMENT. THESE CONNECTORS SHALL BE INSTALLED IN CLOSE PROXIMITY TO SUCH EQUIPMENT. PROVIDE FIRE DAMPERS WITH RATED ACCESS DOORS AT ALL DUCT PENETRATIONS THROUGH FIRE RATED WALLS, SMOKE AND FIRE STOPPING, SHAFT, FLOORS, RATED CEILINGS AND PARTITIONS AS REQUIRED TO MAINTAIN	12. PROTECTION: PROVIDE ADEQUATE PROTECTION WHERE REQUIRED FOR THE PRESENT BUILDING AND ITS CONTENTS. TEMPORARY DUSTPROOF BARRIERS AND BARRICADES SHALL BE ERECTED WHERE REQUIRED FOR PROTECTION OF PERSONNEL PROTECTION FROM DUST AND DIRT, FOR SECURITY, FIRE AND WEATHER PROTECTIVE REASONS.
	ARCHITECTURAL FIRE RATINGS. REFER TO THE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR LOCATIONS AND FIRE RATING REQUIREMENTS. CONTRACTOR MUST FULLY REVIEW ALL ARCHITECTURAL AND ENGINEERING DRAWINGS AND VISIT THE SITE PRIOR TO SUBMITTING THE BID. NO EXTRAS WILL BE ALLOWED.	13. CONTRACTOR SHALL TAKE EVERY PRECAUTION AGAINST FIRE BY EMPLOYING FIRE DEPARTMENT TYPE HOSES AND PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY OSHA AND/OR THE OWNER'S INSURANCE UNDERWRITER.
1.	ALL ACCESS DOORS REQUIRED IN GENERAL CONSTRUCTION ARE TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY SIZE, TYPE AND LOCATION OF SUCH DOORS	<ul> <li>14. BEFORE STARTING DEMOLITION OPERATIONS, PROVIDE THE NECESSARY PROTECTIVE DEVICES, WHERE REQUIRED, AND IN STRICT ACCORDANCE WITH OSHA RULES AND REGULATIONS.</li> <li>14. USE TEMPORARY ENCLOSURES, OR OTHER SUITABLE METHODS TO LIMIT DUST AND</li> </ul>
	FOR PROPER ACCESS TO ALL CONCEALED HVAC EQUIPMENT, VALVES AND OTHER RELATED EQUIPMENT. THE CONTRACTOR SHALL IDENTIFY THESE REQUIREMENTS ON A COORDINATED SHOP DRAWING PRIOR TO SYSTEM FABRICATION AND INSTALLATION.	DIRT RISING AND SCATTERING TO LOWEST PRACTICAL LEVEL. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
2.	ALL CEILING MOUNTED EQUIPMENT MUST BE SUPPORTED DIRECTLY FROM BUILDING STRUCTURE WITH COMBINATION SPRING AND NEOPRENE-IN-SHEAR	15. FIELD VERIFY DEMOLITION REQUIREMENTS AND EXISTING CONDITIONS. DEMOLITION NOTES ARE INDICATED IN NOTE FORM.
	HANGERS AND ROD. PROVIDE SUPPLEMENTARY STEEL AS REQUIRED TO ADEQUATELY SUPPORT THE LOAD. THE CONTRACTOR MUST CONTRACT AN INDEPENDENT NEBB CERTIFIED AIR	16. CONTRACTOR SHALL ESTABLISH A PATH OF TRAVEL AND TIME SCHEDULE FOR THE REMOVAL OF ALL DEBRIS AND WASTE, AND HAVE THIS APPROVED BY OWNER. CONTRACTOR IS TO ENSURE THAT ALL CORRIDORS AND PUBLIC AREAS BE KEPT FREE OF OBSTRUCTIONS, DEBRIS, AND ARE TO BE BROOM SWEPT CLEAN AT ALL TIMES.
	BALANCING & TESTING COMPANY TO PERFORM THE AIR BALANCING WORK AND ASSOCIATED SYSTEM AIR BALANCING REPORT. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES, REGULATIONS, PLANS AND WRITTEN SPECIFICATIONS. SUBMIT THE FINAL AIR BALANCE REPORT TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO SUBSTANTIAL COMPLETION OF THE PROJECT, AS DETERMINED BY THE AND OWNER/CLIENT. THE AIR BALANCE REPORT MUST INCLUDE ALL SUPPLY,	17. CONTRACTOR SHALL VISIT THE SITE AND BECOME INFORMED AS TO THE CONDITION OF THE PREMISES AND THE EXTENT AND CHARACTER OF WORK REQUIRED. NO ADDITIONAL COMPENSATION WILL BE APPROVED DUE TO FIELD CONDITIONS.
	OWNER/CLIENT. THE AIR BALANCE REPORT MUST INCLUDE ALL SUPPLY, RETURN, & EXHAUST AIR TERMINALS, FRESH AIR (OUTSIDE AIR) INTAKE AND VENTILATION EXHAUST CFM RATES FOR ALL UNITS. ALSO INCLUDE ACTUAL SUPPLY & RETURN AIR VELOCITY & STATIC PRESSURE READINGS ALONG WITH	NYSECC ENERGY COMPLIANCE
1	ALL MOTOR AMPERAGES FOR ALL UNITS.	STATEMENT:
	THE CONTRACTOR IS TO INCLUDE IN THEIR BID ALL LOW VOLTAGE CONTROL WIRING, THERMOSTATS, RELAYS, TRANSFORMERS, STARTERS ETC FOR A COMPLETE OPERATING CONTROL SYSTEM AS DESCRIBED IN THE SEQUENCE OF OPERATIONS, THE CONTRACTOR IS ALSO RESPONSIBLE FOR LINE VOLTAGE CONTROL FOR EXHAUST FANS CONTROLLED FROM LIGHT SWITCH AND THERMOSTATS. ALL CONTROL WIRING IN THE AREAS THAT DO NOT HAVE DROPPED CEILINGS THE CONTRACTOR MUST PROVIDE ALL CONTROL WIRING	PER SECTION C101.7 OF THE 2020 NYSECC HISTORIC BUILDINGS ARE EXEMPT FROM THE REQUIREMENTS OF THE ENERGY CODE.
	CONDUIT. IN AREAS OF DROPPED CEILING PLENUM RATED CONTROL WIRING CAN BE RUN EXPOSED ABOVE CEILING.	
5.	ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS/SPECIFICATIONS.	
_	CODE REFERENCE	

CONSULTANT INFORMATION



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# ON NOTES

# MECHANICAL RADE.

ND SHALL BE EMPLOYED ORK SHALL BE DONE IN

IODS TO LIMIT DUST AND COMPLY WITH ROTECTION. ONDITIONS. DEMOLITION

D AS TO THE CONDITION K REQUIRED. NO CONDITIONS.

**HVAC SYMBOL LIST IDENTIFIER** DESCRIPTION \_\_\_\_\_ EXISTING DUCTWORK OR 5++++++++5 PIPING TO BE REMOVED EXISTING DUCTWORK OR PIPING TO REMAIN DOUBLE-LINE AND SINGLE-LINE RECTANGULAR DUCT, FIRST 24X12 NUMBER INDICATES SIDE IN VIEW IN INCHES, SECOND NUMBER <u>5 24X12</u> INDICATES SIDE IN DEPTH IN INCHES FLEXIBLE DUCTWORK  $\times$ REGULAR SUPPLY AIR DUCT `<u>><</u>`\_ (UP AND DOWN) REGULAR RETURN AIR DUCT (UP AND DOWN) REGULAR EXHAUST AIR DUCT  $\mathbf{\tilde{}}$ (UP AND DOWN)  $\left[ \begin{array}{c} \\ \end{array} \right]$  $\square$ REGULAR OUTSIDE AIR DUCT (UP AND DOWN) VOLUME DAMPER ----VD — — — BD BACKDRAFT DAMPER MOTOR OPERATED DAMPER -<del>500</del> XXX XX - EQUIPMENT TAG EQUIPMENT NUMBER XXX X-XXX DETAIL TAG/CALL OUT TAG MECHANICAL SHEET NUMBER (T) THERMOSTAT Ø EXHAUST GRILLE REFER TO SUPPLEMENTAL (F#) FIGURE INDICATED BY NUMBER (I.E. F2 REFERS TO FIGURE 2)

#### **HVAC ABBREVIATIONS IDENTIFIER** DESCRIPTION

AC	DIRECT EXPANSION AIR CONDITION UNIT
CFM	CUBIC FEET PER MINUTE
COND	CONDENSATE
CU	CONDENSING UNIT
CUH	CABINET UNIT HEATER
DB	DRY BULB
DN	DOWN
EA	EXHAUST AIR
EF	EXHAUST FAN
EG	EXHAUST GRILLE
EUH	ELECTRIC UNIT HEATER
EER	ENERGY EFFICIENCY RATIO
EG	EXHAUST GRILLE
FAI	FRESH AIR INTAKE
GC	GENERAL CONTRACTOR
MBH	THOUSAND BTU PER HOUR
PC	PLUMBING CONTRACTOR
RG	RETURN GRILLE
RTU	ROOFTOP UNIT
SA	SUPPLY AIR
SD	SUPPLY DIFFUSER
TYP.	TYPICAL
VIF	VERIFY IN FIELD

### **SCOPE OF WORK**

DEMOLITION

- REMOVE ONE (1) EXISTING THRU WALL AC UNIT AS INDICATED.
- REMOVE ONE (1) EXISTING WALL MOUNTED PROPELLER FAN AS INDICATED. REMOVE ONE (1) EXISTING ELECTRIC UNIT HEATERS AND ASSOCIATED SUPPORTS, WIRING AND ACCESSORIES.

**CONSTRUCTION** 

1. PROVIDE ONE (1) NEW WALL MOUNTED ELECTRIC UNIT HEATERS AS INDICATED.

# **TABLE 1: ENERGY CODE ANALYSIS TABLE FOR MECHANICAL SYSTEMS**

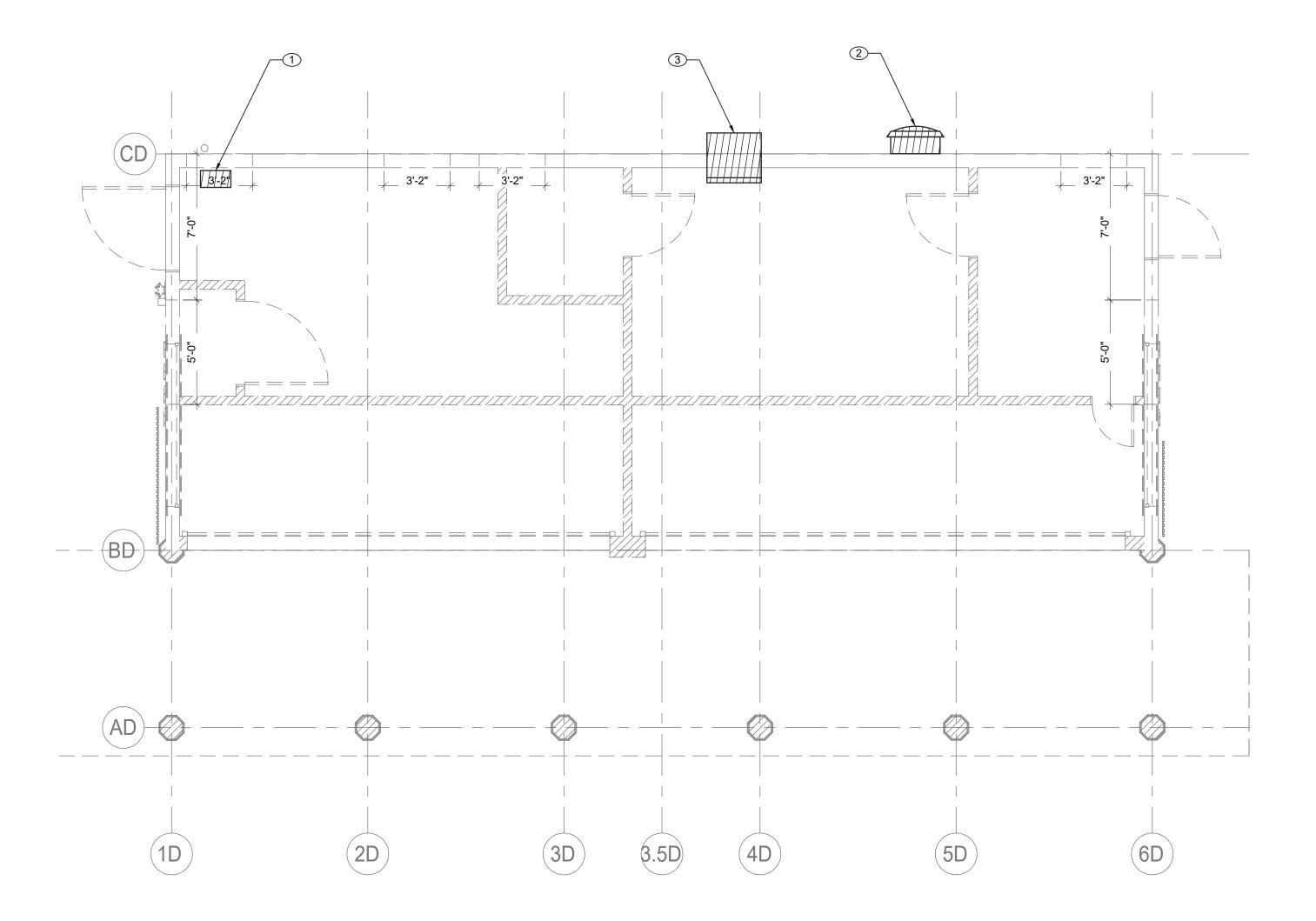
-			(PER 2020 NYS E	ENERGY CODE)		5.	_	
ITEM DESCRIPTION			PROPOSED VALUE	MINIMUM EFFECIENCY	CODE PRECRIBED VALUE AND CITATION	CITATION	N SUPPORTING DOCUMENTATION	
	UNIT TAG	EQUIPMENT TYPE				onAnon	SOLL OKTING DOCOMENTATION	
HVAC SYSTEM CONTROLS	ALL HEATING COOLING EQUIPMENT	THERMOSTATIC CONTROLS	DIGITAL THERMOSTATS	- <u>12</u>	THERMOSTATIC CONTROLS FOR HVAC SYSTEM	C403.2.6	MECHANICAL SCHEDULES AND PLANS	

### TABLE 2: ENERGY CODE COMPLIANCE INSPECTIONS FOR MECHANICAL SYSTEMS

	(IIB - MECHANICAL AND SERVICE WATER HEATING INSPECTIONS)								
	INSPECTION TEST	FREQUENCY	REFERENCE STANDARDS	INSPECTION DESCRIPTION	ECC CITATION				
B3	HVAC AND SERVICE WATER HEATING EQUIPMENT	PRIOR TO FINAL MECHANICAL AND CONSTRUCTION	APPROVED CONSTRUCTION DOCUMENTS	EQUIPMENT SIZING, EFFICIENCIES AND OTHER PERFORMANCE FACTORS OF ALL MAJOR EQUIPMENT UNITS, AS DETERMINED BY THE APPLICANT OF RECORD, AND NO LESS THAN 15% OF MINOR EQUIPMENT UNITS, SHALL BE VERIFIED BY VISUAL INSPECTION AND, WHERE NECESSARY, REVIEW OF MANUFACTURER'S DATA. POOL HEATERS AND COVERS SHALL BE VERIFIED BY VISUAL INSPECTION	NYSECC C403.2, C404.2, C404.7, C406.2				
B4	HVAC AND SERVICE WATER HEATING SYSTEM CONTROLS	AFTER INSTALLATION AND PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION, EXCEPT THAT FOR CONTROLS WITH SEASONALLY DEPENDENT FUNCTIONALITY, SUCH TESTING SHALL BE PERFORMED BEFORE SIGN-OFF FOR ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY	APPROVED CONSTRUCTION DOCUMENTS INCLUDING CONTROL SYSTEM NARRATIVES	NO LESS THAN 20% OF EACH TYPE OF REQUIRED CONTROLS AND ECONOMIZERS SHALL BE VERIFIED BY VISUAL INSPECTION AND TESTED FOR FUNCTIONALITY AND PROPER OPERATION. SUCH CONTROLS SHALL INCLUDE, BUT ARE NOT LIMITED TO, THERMOSTATIC AND ECONOMIZER CONTROLS	NYSECC C403.2.4, C403.2.5.1, C403.2.11, C403.3, C403.4, C404.3, C404.6, C404.7				

REVISION	CONTRACTOR NAME SIGNATURE TITLE DATE	PROJECT COORDINATOR NAME SIGNATURE TITLE DATE	INFRASTRUCTURE REHABILITATION - PHASE 3 PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D MECHANICAL NOTES, SYMBOLS AND LEGENDS	SCALE: AS INDI DATE: 08/23/20 DPW FILE 1-118 NUMBER 1-118	
			DIVISION OF ENGINEERING	DWG NO.: 227 of	f 664
	AS BUILT – CHANGES AS NOTED	AS BUILT – NO CHANGES	DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523	CXD-M-01
	RECORD DRAWIN	G CERTIFICATION	WESTCHESTER COUNTY, NEW YORK	C ONTRACT NUMB ER	SHEET NUMBER

MECHANICAL DRAWING LIST							
SHEET NO.	SHEET NAME	REVISON NO.	REVISION DATE				
CXD-M-01	MECHANICAL NOTES, SYMBOLS, & LEGENDS	0	-				
CXD-M-11	MECHANICAL 1ST FLOOR DEMOLITION PLAN	0	-				
CXD-M-21	MECHANICAL 1ST FLOOR CONSTRUCTION PLAN	0	-				
CXD-M-61	MECHANICAL SCHEDULES, DETAILS AND CONTROLS	0	-				

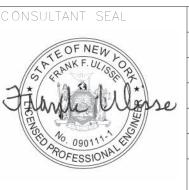




### **MECHANICAL FIRST FLOOR DEMOLITION PLAN** SCALE: 1/4" = 1'-0

CONSULTANT INFORMATION





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REVISION	TITLE	DATE	TITLE	DATE	

### **GENERAL NOTES:**

1. RETURN REMOVED EXISTING EQUIPMENT TO OWNER IF IT IS IN WORKING CONDITION.

 CONTRACTOR TO COORDINATE WITH FACILITY WHEN WORKING AROUND OR ABOVE THE RIDE COMPONENTS, AND PROVIDE ALL NECESSARY MEASURES TO PROTECT THESE COMPONENTS PER THE REQUIREMENTS OF THE FACILITY.

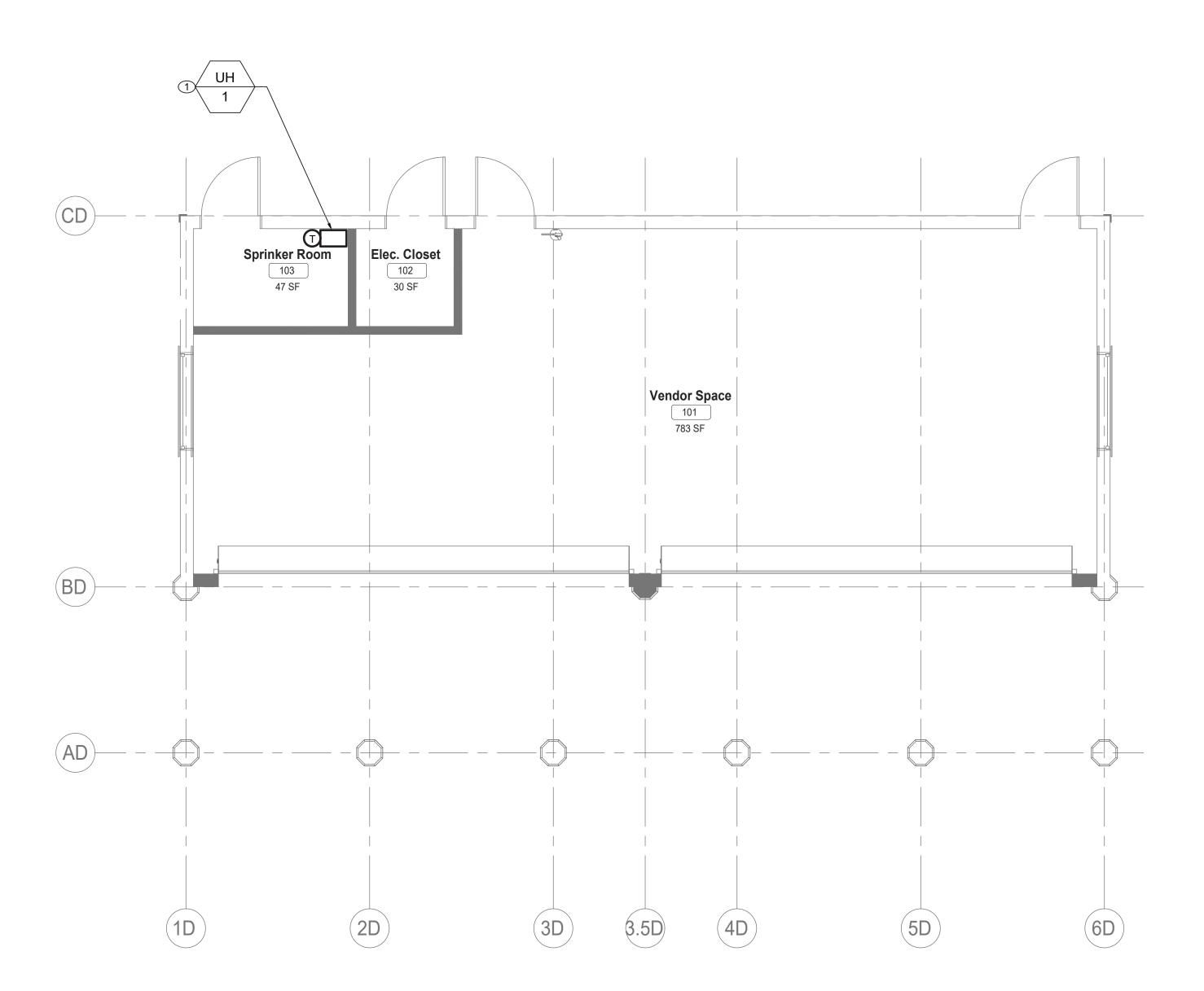
### **MECHANICAL DEMOLITION NOTES:**

- 1 DEMOLISH EXISTING ELECTRIC UNIT HEATERS AND ASSOCIATED SUPPORTS, WIRING AND ACCESSORIES. COORDINATE REMOVAL OF ELECTRICAL POWER AND WIRING WITH ELECTRICAL CONTRACTOR.
- ② DEMOLISH EXISTING WALL MOUNTED PROPELLER FAN. COORDINATE REMOVAL OF ELECTRICAL POWER AND WIRING WITH ELECTRICAL CONTRACTOR.COORDINATE WITH GC TO SEAL EXISTING WALL PENETRATION.
- ③ REMOVE EXISTING THRU WALL AC UNIT. IF NO LONGER IN WORKING CONDITION, DISPOSAL SHALL BE IN ACCORDANCE WITH EPA REQUIREMENTS. COORDINATE WITH GC TO SEAL EXISTING WALL PENETRATION.

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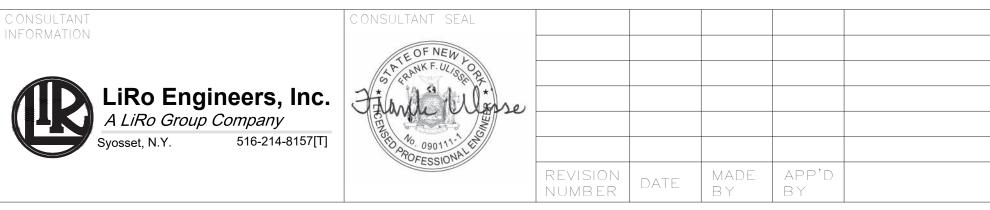
<b>INFRASTRUCTURE REHABILITATION - PHASE 3</b>
PLAYLAND PARK, RYE, NEW YORK
CROSS AXIS BUILDING D
MECHANICAL FIRST FLOOR DEMOLITION

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22-523	CXD-M-1	1				
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# **MECHANICAL FIRST FLOOR CONSTRUCTION PLAN** SCALE: 1/4" = 1'-0



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### **GENERAL NOTES:**

- 1. CONTRACTOR TO COORDINATE WITH FACILITY WHEN WORKING AROUND OR ABOVE THE RIDE COMPONENTS, AND PROVIDE ALL NECESSARY MEASURES TO PROTECT THESE COMPONENTS PER THE REQUIREMENTS OF THE FACILITY.
- 2. UPON COMPLETION, SYSTEM SHALL BE TESTED FOR PROPER OPERATION.

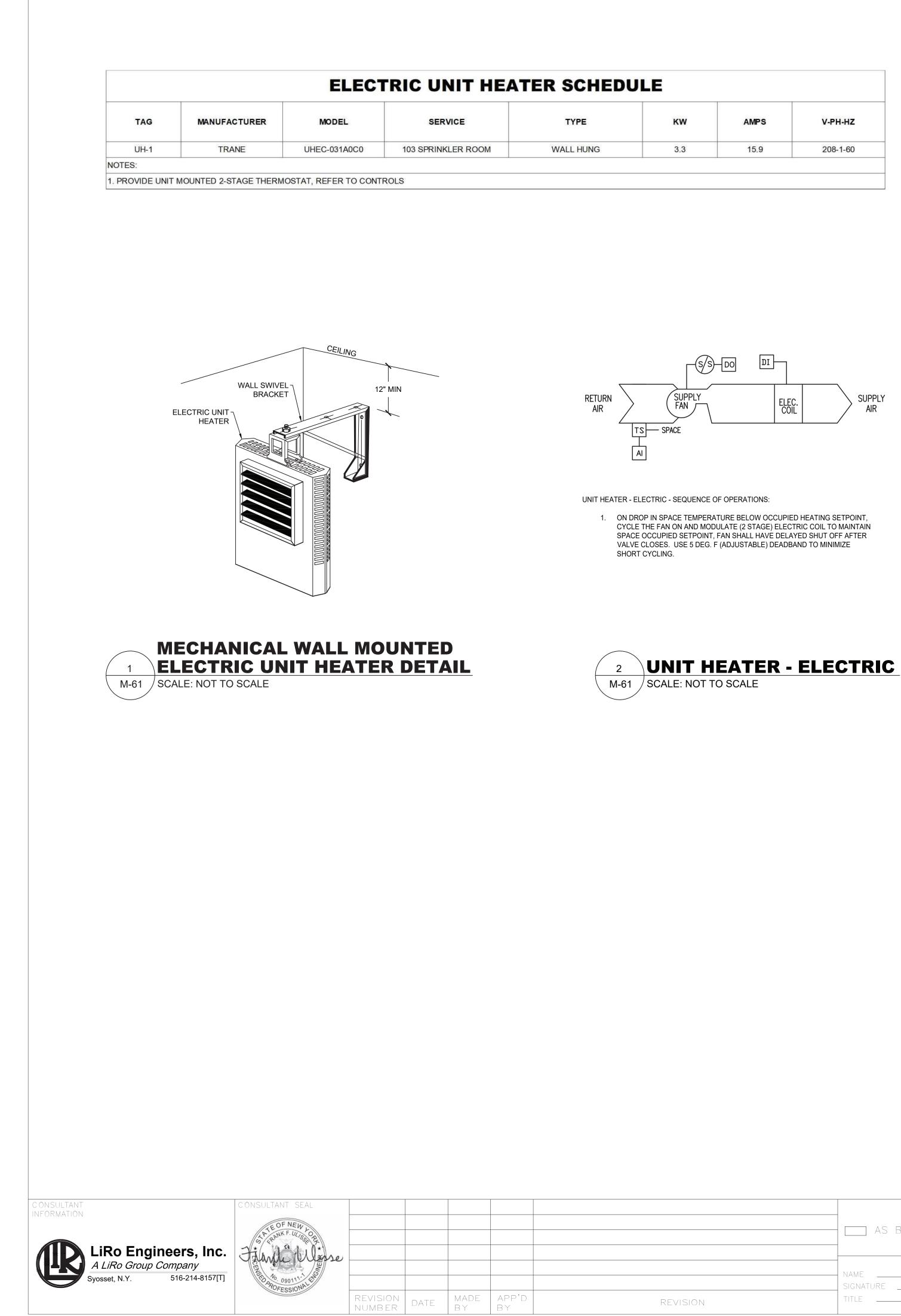
# **MECHANICAL CONSTRUCTION NOTES:**

1 PROVIDE NEW ELECTRIC WALL MOUNTED UNIT HEATER. COORDINATE INSTALL HEIGHT IN FIELD.

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<b>INFRASTRUCTURE REHABILITATION - PHASE 3</b>
PLAYLAND PARK, RYE, NEW YORK
CROSS AXIS BUILDING D
MECHANICAL FIRST FLOOR CONSTRUCTION PLAN

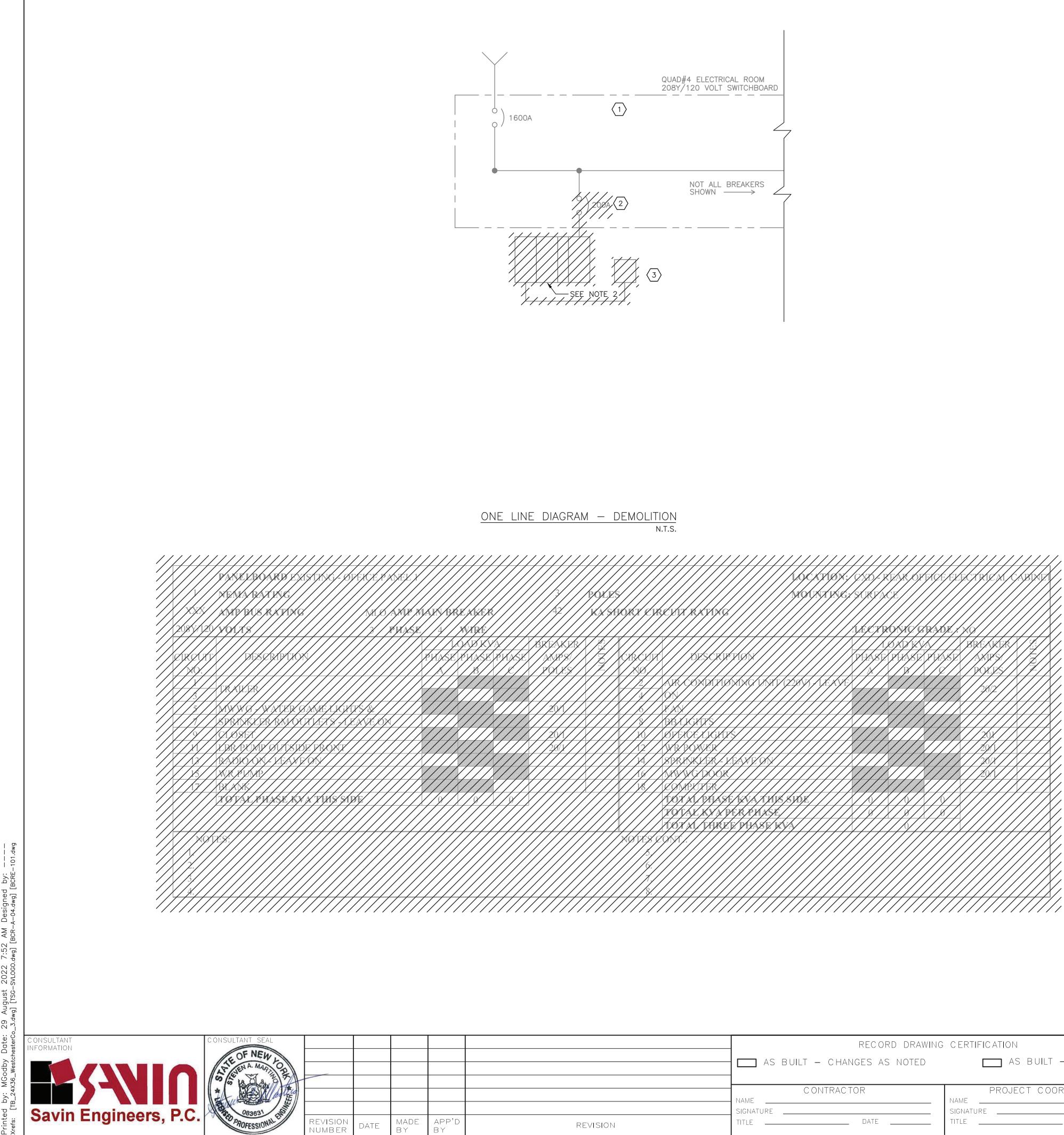
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NUMBER	NUMBER					
22-523	CXD-M-21					
DWG NO.: 229 of 664						
SCALE: AS INDICATED						
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CONTRACT NUMBER	SHEET NUMBER			
22-523	CXD-M-6	61		
DWG NO.: 230 of 664				
SCALE: AS INDICATED				
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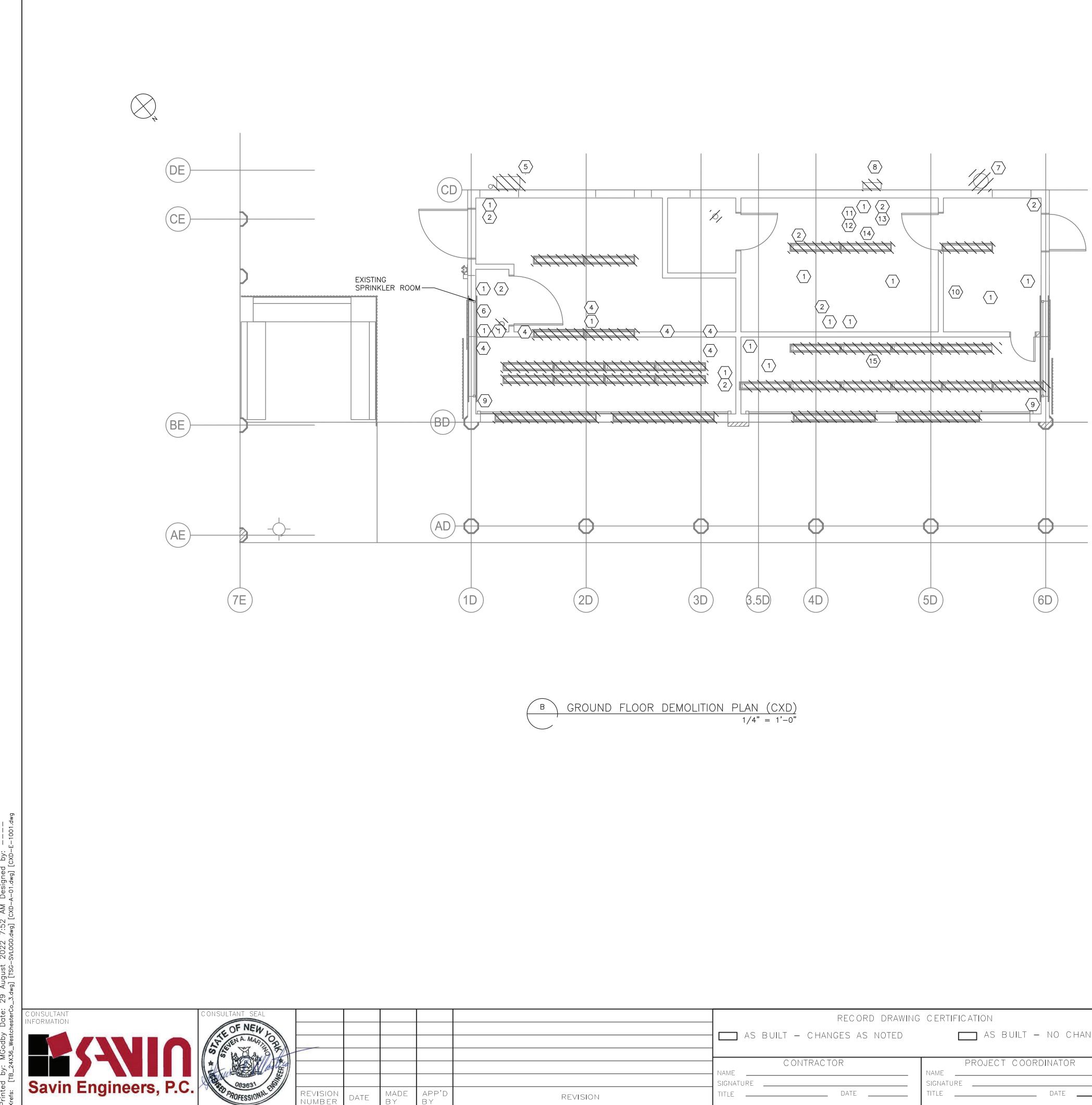
NOTES:

- 1. FOR ADDITIONAL NOTES, ABBREVIATIONS, AND SYMBOLS, SEE DRAWING GE-E-01.
- 2. THERE IS AN ARRAY OF POOR CONDITION POWER PANELS LOCATED IN THE REAR OF BUILDING CXE. THESE PANELS POWER BOTH CXD AND CXE BUILDINGS. CONTRACTOR SHALL DISCONNECT AND REMOVE THE PANEL ARRAY IN ITS ENTIRETY. SEE DWG. CXE-E-01 FOR ADDITIONAL INFORMATION.

<u>KEY NOTES:</u>

- $\langle 1 \rangle$  EXISTING 208Y/120 VOLT DISTRIBUTION BOARD LOCATED IN QUAD #4 ELECTRICAL ROOM.
- CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING 200A CIRCUIT BREAKER. KEEP CIRCUIT BREAKER FOR FUTURE USE.
- DISCONNECT AND REMOVE EXISTING BUILDING MOUNTED OFFICE PANEL NO. 1.

STCHESTER COUNTY, NEW YORK TMENT OF PUBLIC WORKS AND TRANSPORTATION	CONTRACT SHEET NUMBER NUMBER 22-523 CXD-E-01
DIVISION OF ENGINEERING	DWG NO.:
INFRASTRUCTURE REHABILITATION - PHASE 3 PLAYLAND PARK, RYE, NEW YORK	SCALE: AS SHOWN <sup>64</sup>
CROSS AXIS BUILDING D	DATE: 8/23/2022
ONE LINE DIAGRAM - DEMOLITION	DPW FILE <b>1-118-E-980-0</b> REV. NO. <b>0</b>



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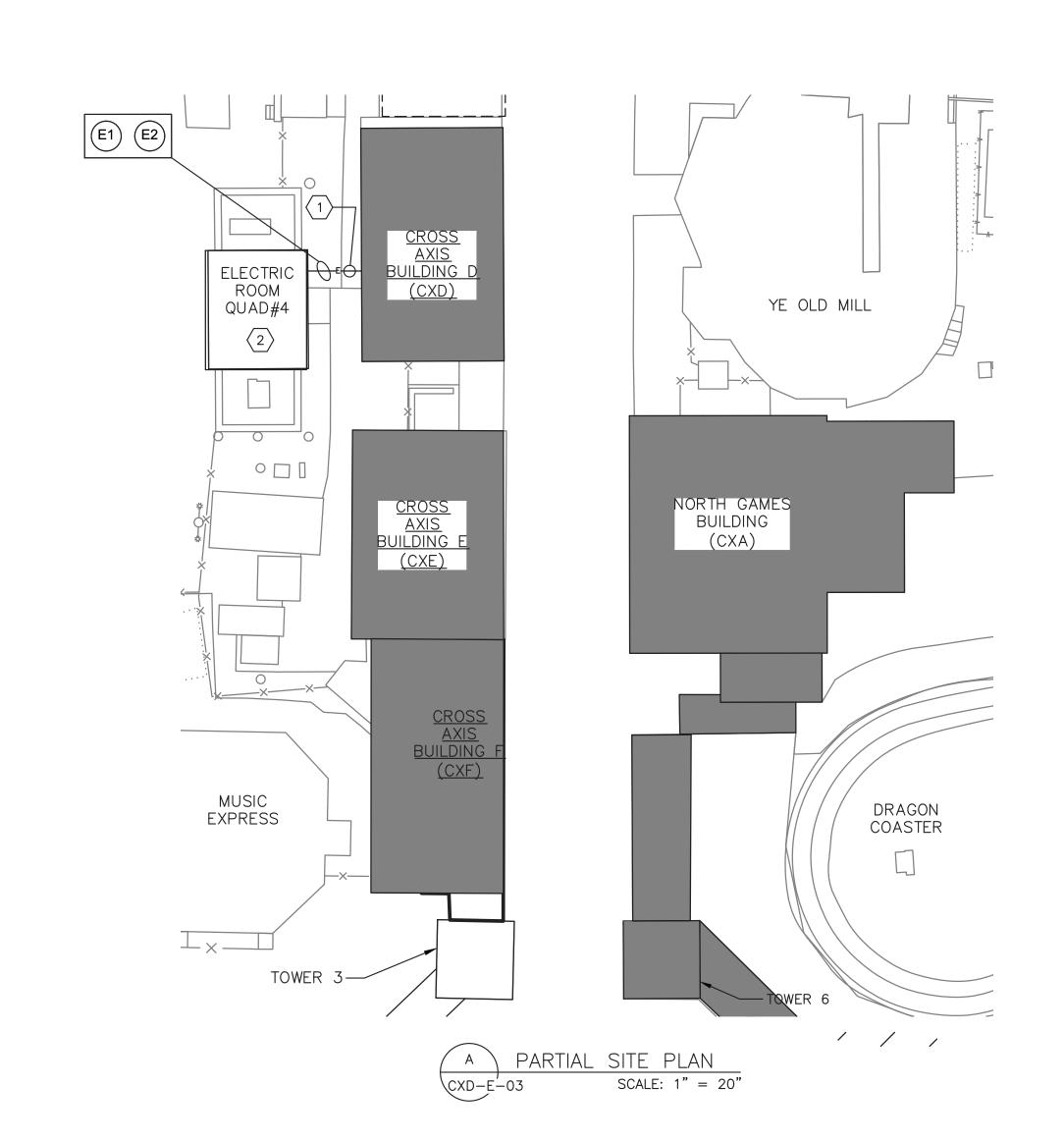
NOTES:

- 1. FOR ADDITIONAL NOTES, ABBREVIATIONS, AND SYMBOLS, SEE DRAWING GE-E-01.
- 2. ALL REMOVED EQUIPMENT SHALL BE RETURNED TO OWNER UPON REQUEST. OTHERWISE ALL REMOVED MATERIAL SHALL BE LEGALLY DISPOSED OF.
- 3. DISCONNECT AND REMOVE ALL ELECTRICAL EQUIPMENT, LIGHTING, POWER, CONDUIT AND WIRE BACK TO SOURCE. REMOVE ALL PANELBOARDS. COMPLETE ELECTRICAL GUT UNLESS NOTED OTHERWISE.
- 4. ALL EXISTING CABLE AND CONDUIT SHALL BE DOCUMENTED PRIOR TO REMOVAL.
- 5. DISCONNECT AND REMOVE ALL EXTERIOR LIGHTING, ALL EXPOSED CONDUIT, JUNCTION BOXES, WIRE ETC.
- 6. CONTRACTOR SHALL DEMOLISH ALL EXISTING JUNCTION BOXES AND ALL ASSOCIATED CONDUITS, WIRES AND APPURTENANCES. FOR BIDDING PURPOSES ASSUME 500 FEET 1"C, 3#12 & 1#12 GND.
- 7. DISPOSITION OF EXISTING CCTV/DATA/COMMUNICATIONS CABINET SHALL BE BY OTHERS. THIS INCLUDES BOTH INCOMING AND OUTGOING CONDUIT AND CABLES.
- 8. FOR PANEL SCHEDULE DEMOLITION, SEE DRAWING CXD-E-01.
- 9. EXISTING, UNUSED EMPLOYEE PUNCH TIME CLOCK. CONTRACTOR SHALL DISCONNECT AND REMOVE PUNCH BOX. RETURN PUNCH CLOCK TO OWNER.
- 10. GAME SIGN WITH LIGHTS. CONTRACTOR SHALL DISCONNECT AND REMOVE LIGHTING FIXTURES AND ALL ASSOCIATED CONDUIT CONDUIT AND CABLE BACK TO SOURCE.
- 11. OLD, EXISTING ELECTRONIC GAME CONTROLS TO BE DISCONNECTED AND REMOVED. RETURN CONTROLLER TO OWNER.
- 12. SWITCH IS CONNECTED TO PANELBOARD "CR-AX3" LOCATED IN THE CXE BUILDING.

	DEMOLITION LEGEND
1	RECEPTACLE
2	LIGHT SWITCH
3	EXISTING PANEL
4	GAMES - CONTROL ELECTRONICS (SEE NOTE 11)
5	FLOODLIGHT
6	SPRINKLER ROOM UNIT HEATER (REMOVED BY OTHERS) – DISCONNECT POWER
7	EXHAUST FAN (REMOVED BY OTHERS) DISCONNECT POWER
8	AIR CONDITIONING UNIT (REMOVED BY OTHERS) - DISCONNECT POWER
9	ROLL-UP DOOR MOTOR
10	EXISTING EMPLOYEE PUNCH TIME CLOCK (SEE NOTE 9)
11	18 CKT PANEL "OFFICE PANEL 1"
12	MAIN DISCONNECT SWITCH (SEE NOTE 12)
13	GENERAL DUTY DISCONNECT SWITCH
14	EXHAUST FAN DISCONNECT SWITCH
15	GAMES SIGN W/ LIGHTS (SEE NOTE 10)

SCALE: 1/4" = 1'-0"

CONTRACI NUMBER SHEET NUMBER STCHESTER COUNTY, NEW YORK RTMENT OF PUBLIC WORKS AND TRANSPORTATION CXD-E-02 22-523 DIVISION OF ENGINEERING DWG NO.: SCALE: AS SHOWN<sup>64</sup> **INFRASTRUCTURE REHABILITATION - PHASE 3** PLAYLAND PARK, RYE, NEW YORK 8/23/2022 DATE: CROSS AXIS BUILDING D DPW FILE **1-118-E-981-0** NUMBER ROUND FLOOR DEMOLITION - POWER AND LIGHTING PLAN REV. No O

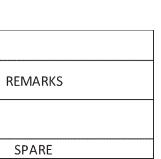


	DUCTBANK SCHEDULE				
NAME	FROM	ТО	CONDUIT SIZE	CABLE	F
E1	QUAD #4 208Y/120 VOLT SWITCHBOARD	CXD-PP-1	2 1/2"C	4-#2/0 & 1 #6 GN D	
E2	QUAD #4 ELECTRICAL ROOM	CXD ELEC. ROOM	2"C	W/ PULL ROPE	



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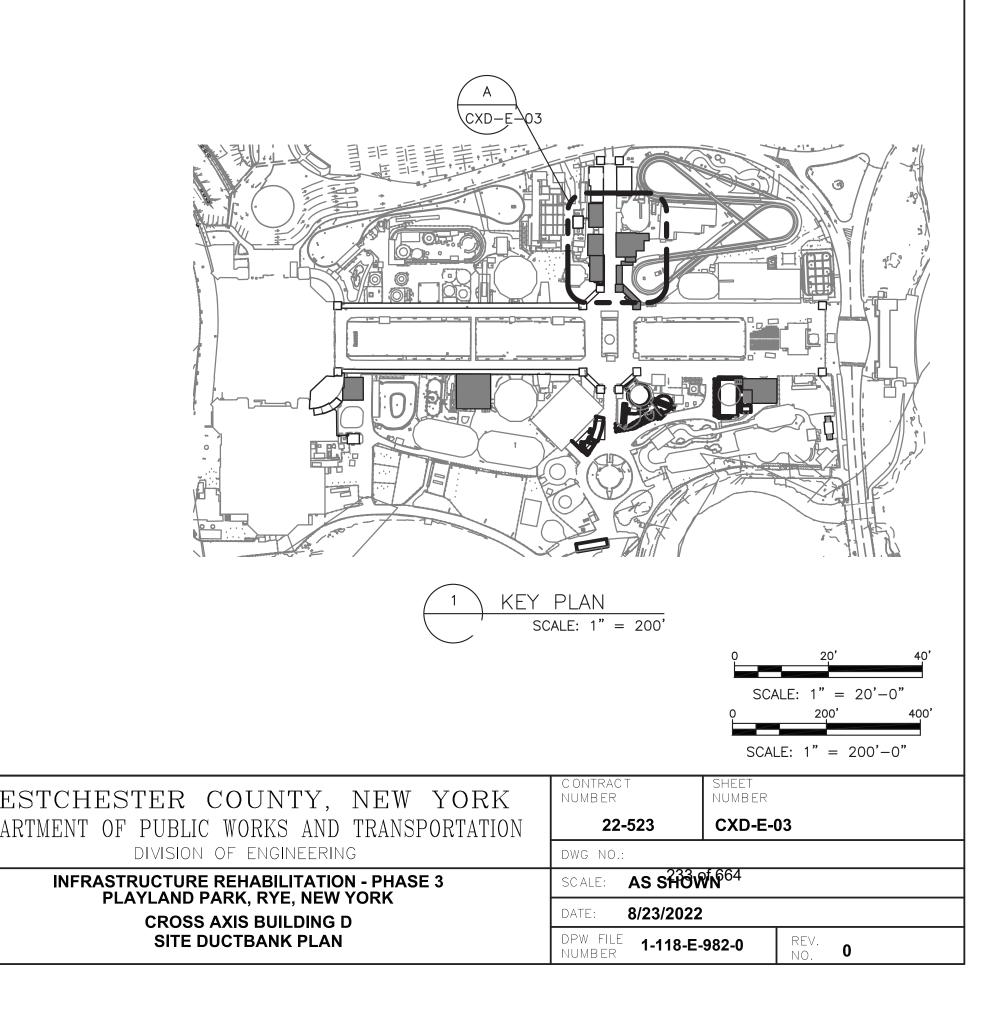
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NOTES:
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- 1. FOR ADDITIONAL NOTES, ABBREVIATIONS AND SYMBOLS, SEE DRAWING GE-E-01.
- 2. CONTRACTOR TO SUPPLY NEW 150 AMP POWER NEW BUILDING CXD. MODIFY EXISTING 208Y/120V TO SWITCHBOARD TO ACCEPT 150 AMP CIRCUIT BREAKER. SEE DRAWING CXD-E-04 FOR ADDITIONAL INFORMATION.
- 3. FOR PANEL SCHEDULES, SEE DRAWING CXD-E-07.

KEY NOTES:

- 1 NEW UNDERGROUND DUCT BANK. BE ADVISED LARGE QUANTITY OF BURIED CONDUIT IN THIS AREA. EXTREME CARE SHALL BE TAKEN DURING EXCAVATION FOR NEW RUN.
- 2 IN QUAD #4 ELECTRICAL ROOM ROUTE ONE NEW 2 1/2" CONDIUT TO 208Y/120 VOLT SWITCHBOARD. ASSUME 20 FEET. STUB AND CAP SPARE 2" CONDUIT.

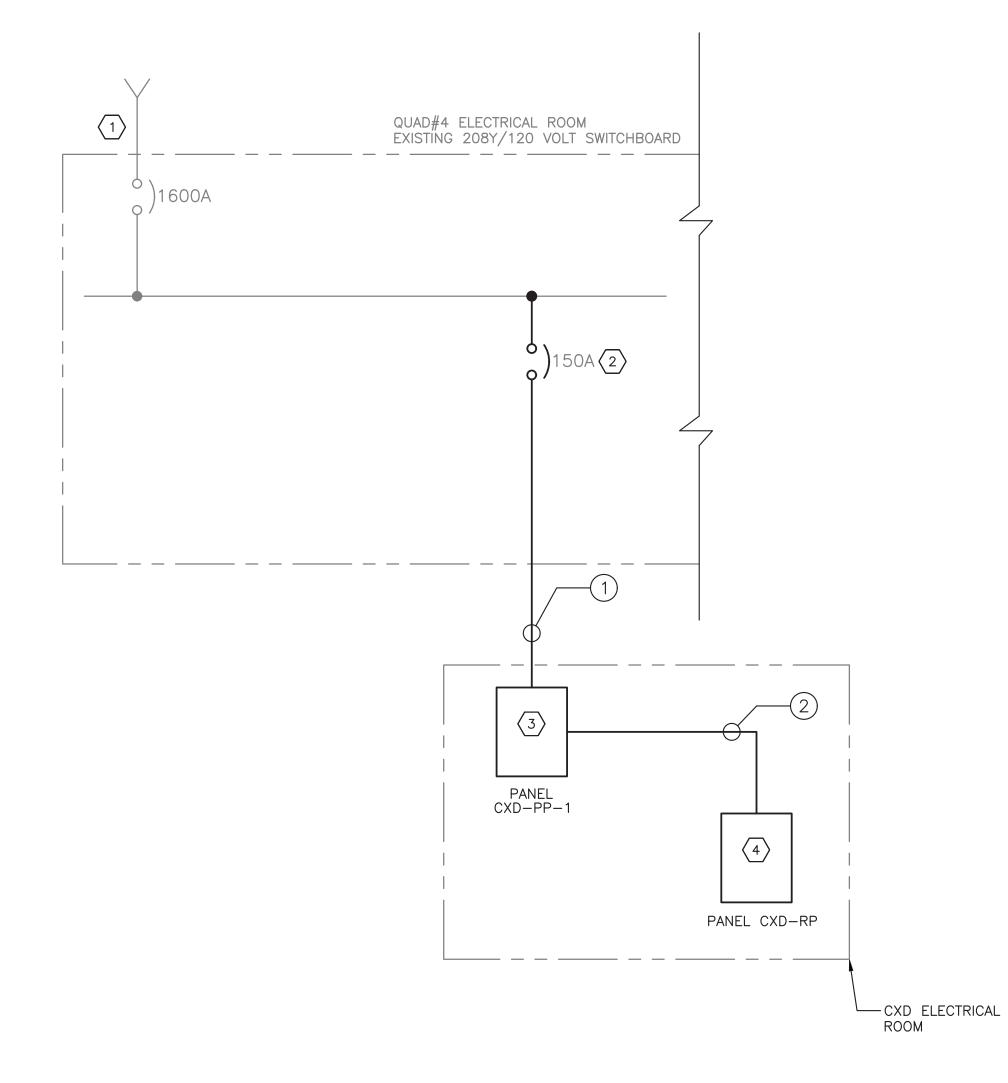


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ONE LINE DIAGRAM N.T.S.

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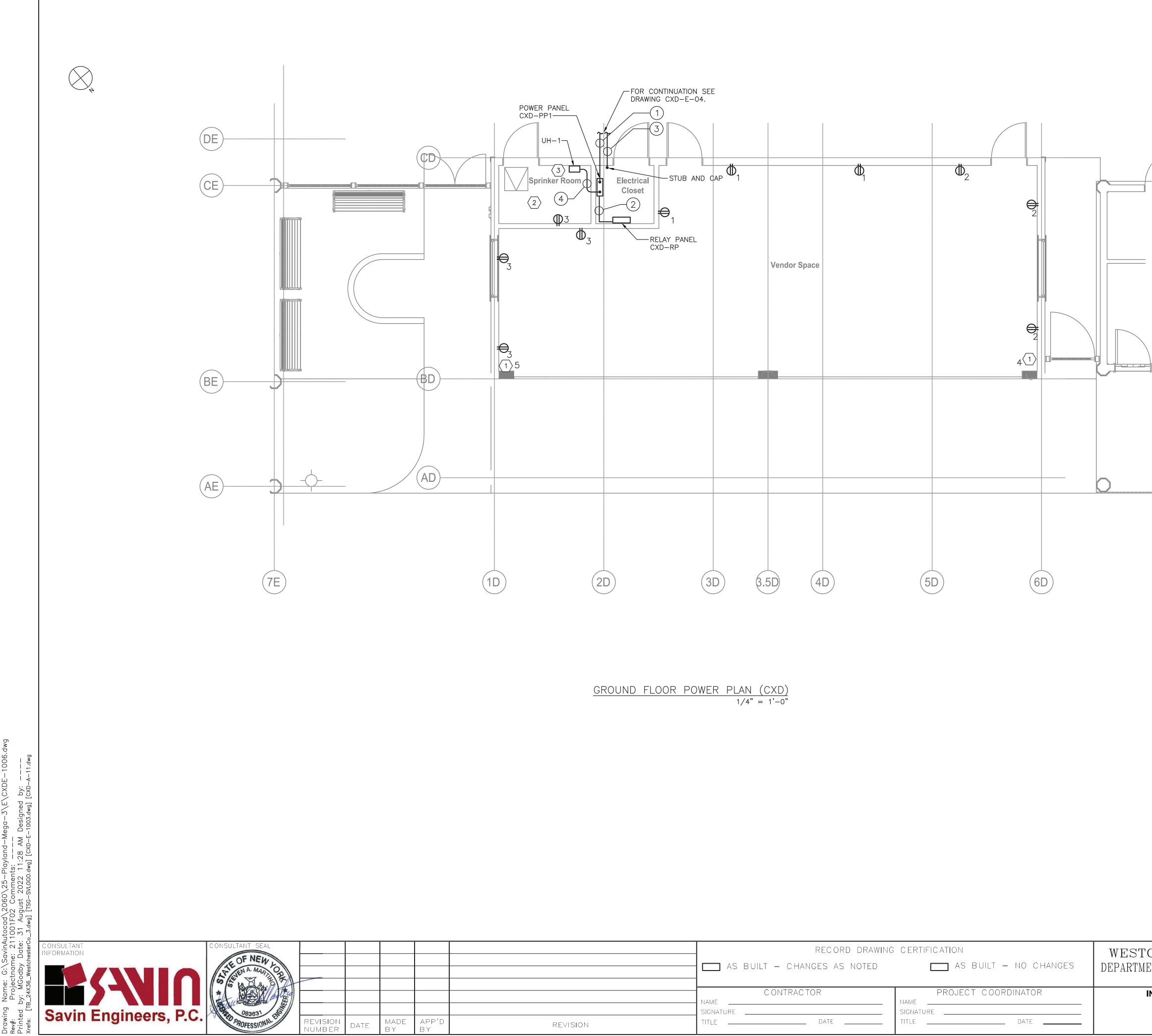
- 1. FOR ADDITIONAL NOTES, ABBREVIATIONS AND SYMBOLS, SEE DRAWING GE-E-01.
- 2. FOR PANEL SCHEDULES, SEE DRAWING CXD-E-07.

#### KEY NOTES:

- $\langle 1 \rangle$  incoming feeder.
- (2) CONTRACTOR SHALL PROVIDE NEW 150 AMP CIRCUIT BREAKER. MODIFY PANEL AS NECESSARY. EXISTING SWITCHBOARD BREAKER SHALL MATCH EXISTING TYPE.
- 3 provide New 208Y/120 volt panelboard with 225 AMP mains and 150 AMP main circuit breaker.
- A NEW RELAY LIGHTING PANEL CXD-RP FOR EXTERIOR LIGHTING CONTROL.

CON	IDUIT AND WIRE LEGEND
NO.	DESCRIPTION
1	2 1/2"C, 4#2/0 & 1#6 GND
2	1"C, 8#12 & 1#12 GND

STCHESTER COUNTY, NEW YORK	CONTRACT SHEET NUMBER NUMBER
TMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523 CXD-E-04
DIVISION OF ENGINEERING	DWG NO.:
INFRASTRUCTURE REHABILITATION - PHASE 3 PLAYLAND PARK, RYE, NEW YORK	SCALE: AS SHOWN <sup>64</sup>
CROSS AXIS BUILDING D	DATE: <b>8/23/2022</b>
ONE LINE DIAGRAM	DPW FILE <b>1-118-E-983-0</b> REV.



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	CONTRACTOR	PROJECT COORDINATOR	
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#### NOTES:

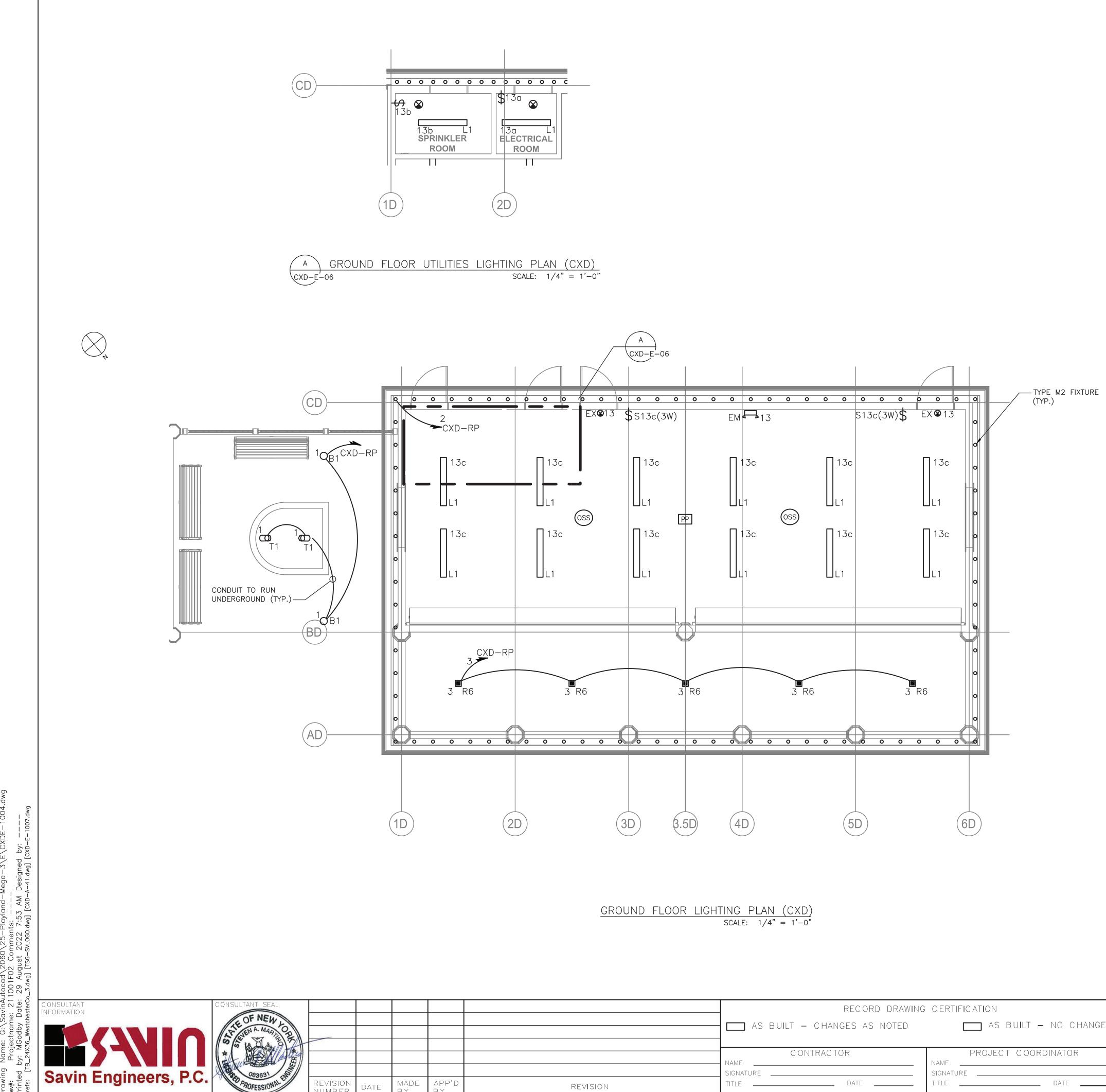
- 1. FOR ADDITIONAL NOTES, ABBREVIATIONS AND SYMBOLS, SEE DRAWING GE-E-01.
- ALL RECEPTACLES DESIGNATORS ARE POWERED VIA PANEL CXD-PP-1, UNLESS OTHERWISE NOTED.
- 3. ALL CIRCUITS SHOWN ON THE DRAWING BUT NOT SPECIFICALLY CALLED OUT ON THE CABLE AND CONDUIT SCHEDULE SHALL BE 3/4" CONDUIT, 2#12 & 1#12 GND.
- 4. FOR PANEL SCHEDULES SEE DRAWING CXD-E-07.

KEY NOTES:

- $\langle 1 \rangle$  APPROXIMATE LOCATION OF MOTOR FOR NEW GROUND ROLL-UP DOOR. CONTRACTOR SHALL CONFIRM MOTOR LOCATION IN THE FIELD PRIOR TO INSTALLATION. CONTRACTOR SHALL CIRCUIT MOTOR FROM PANEL CXD-PP-1. NUMBER DESIGNATORS INDICATE CIRCUIT NUMBERS. CONTRACTOR SHALL PROVIDE 30 AMP, 2-POLE DISCONNECT SWITCH AT ROLL-UP DOOR MOTOR LOCATION.
- $\langle 2 \rangle$  Contractor shall provide 2 circuits for equipment power IN SPRINKLER ROOM. CIRCUITS 6 AND 8 ARE RESERVED FOR THIS. COORDINATE WITH PLUMBING INSTALLER FOR ELECTRICAL POWER NEEDS.
- $\overline{3}$  PROVIDE AND INSTALL A 2-POLE, 30A DISCONNECT SWITCH FOR UH-1.

CON	IDUIT AND WIRE LEGEND
NO.	DESCRIPTION
1	2 1/2"C, 4#2/0 & 1#6 GND
2	1"C, 8#12 & 1#12 GND
3	2"C, SPARE WITH PULL ROPE
4	3/4"C, 2#12 & 1#12 GND

	SCALE: $1/4 = 1 - 0$
STCHESTER COUNTY, NEW YORK	CONTRACT SHEET NUMBER NUMBER
TMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523 CXD-E-05
DIVISION OF ENGINEERING	DWG NO.:
INFRASTRUCTURE REHABILITATION - PHASE 3	SCALE: AS SHOWN <sup>664</sup>
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 8/23/2022
GROUND FLOOR - POWER PLAN	DPW FILE <b>1-118-E-984-0</b> REV. NUMBER <b>0</b>



REVISION NUMBER

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DATE

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	RECORD DRAWING	CERTIFICATION	WES
	AS BUILT – CHANGES AS NOTED	AS BUILT – NO CHANGES	DEPAR
REVISION	CONTRACTOR NAME SIGNATURE TITLE DATE	PROJECT COORDINATOR NAME SIGNATURE TITLE DATE	

#### NOTES:

- 1. FOR ADDITIONAL NOTES, ABBREVIATIONS AND SYMBOLS, SEE DRAWING GE-E-01.
- 2. ALL INTERIOR LIGHTING IS POWERED VIA PANEL CXD-PP-1. CONTRACTOR SHALL CIRCUIT LIGHTING FIXTURES WITH 3/4" CONDUIT WITH 2#12 & 1#12 GND, UNLESS NOTED OTHERWISE.
- 3. EXIT SIGNS AND EMERGENCY LIGHTING UNITS SHALL BE WIRED TO AN UN-SWITCHED LEG OF THE DESIGNATED CIRCUIT.
- 4. ALL EXTERIOR LIGHTING SHALL BE CIRCUITED VIA RELAY PANEL CXD-RP. CONTRACTOR SHALL CIRCUIT LIGHTING WITH 3/4"C, 2#12 & 1#12 GND, UNLESS OTHERWISE NOTED.
- 5. RELAY PANEL CXD-RP SHALL BE EQUIPPED WITH BOTH A BUILT-IN TIME CLOCK AND A PHOTOSENSOR CONTROL. MOUNT PHOTO SENSOR IN NORTHEAST CORNER OF BUILDING.
- 6. FOR LIGHTING AND RELAY PANEL SCHEDULE, REFER TO DRAWING CXD-E-07.
- 7. ALL LIGHTING CONTROL COMPONENTS SHALL BE FROM A SINGLE MANUFACTURER, AND MUST BE FROM THE SAME MANUFACTURER FOR ALL BUILDINGS WITHIN THE CONTRACT AND AS PROVIDED ELSEWHERE AT THE PLAYLAND FACILITY.
- 8. LIGHTING CONTROLS SELECTED SHALL HAVE THE CAPABILITY TO BE CONNECTED TO A MASTER HEAD-END SYSTEM (FUTURE CONTRACT).
- 9. FOR EXTERIOR LIGHTING CONTROL WIRING INFORMATION, SEE EXTERIOR WIRING DETAIL SHOWN ON DRAWING CXD-E-07.
- 10. FOR LIGHTING FIXTURE SCHEDULE, SEE DRAWING GE-E-03.

STCHESTER COUNTY, NEW YORK	CONTRACT SHEET NUMBER NUMBER
RTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523 CXD-E-06
DIVISION OF ENGINEERING	DWG NO.:
INFRASTRUCTURE REHABILITATION - PHASE 3	SCALE: AS SHOWN <sup>64</sup>
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: <b>8/23/2022</b>
GROUND FLOOR - LIGHTING PLAN	DPW FILE <b>1-118-E-985-0</b> REV. <b>0</b>

SCALE: 1/4" = 1'-0"

	PANELBOARD: CXD-PP1						LOCAT	ION: CXD ELEC	CTRICAL CLOS	SET	
1	NEMA RATING			3	POLES	S	MOUNT	<b>ING:</b> SURFACE	х 4		
200	AMP BUS RATING	150 AMP MAIN B	REAKER	42	KA SH	IORT CIF	RCUIT RATING				
208Y/120	) VOLTS	3 PHASE 4	WIRE					LECTRO	NIC GRADE :	NO	
CIRCUIT NO.	DESCRIPTION		LOAD KVA E PHASE PHASE B C	<ul><li>BREAKER</li><li>AMPS /</li><li>POLES</li></ul>	NOTES	CIRCUIT NO.	DESCR1PT1ON		AD KVA HASE PHASE B C	BREAKER AMPS / POLES	
1	RECEPTACLES	0.2		20/1		2	RECEPTACLES	0.2		20/1	_
3	RECEPTACLES		0.2	20/1		4	ROLL-UP DOOR		1.2	20/I	
5	ROLL-UP DOOR		1.2	20/1		6	SPRINKLER ROOM POWER		0.2	20/1	
7	SPARE			20/1		8	SPRINKLER ROOM POWER	0.2		20/1	
9	SPARE		-	20/1		10	UNIT HEATER UH-1		1.65	15/2	
11	SPARE		-	20/1		12			1.65		_
13	LIGHTING	0.6		20/1		14	TREE AND BOLLARD LTG.	0.2		20/I	_
15	RELAY PANEL 120V PWR.		0.2	20/1		16	SOFFIT LTG.		0.2	20/1	_
17	SPARE		-	20/1		18	PORCH LTG.		0.2	20/1	_
19	SPACE					20	SPACE				
21	SPACE					22	SPACE				+
23	SPACE					24	SPACE			****	_
25	SPACE					26	SPACE				_
27	SPACE					28	SPACE				
29	SPACE					30	SPACE				
	TOTAL PHASE KVA THIS SIDE	0.8	0.4 1.2				TOTAL PHASE KVA THIS SIDE		3.05 2.05		
							TOTAL KVA PER PHASE		3.45 3.25		
	PPO.						TOTAL THREE PHASE KVA		8.1		—
NOT 1	SEE KEY NOTE 2 ON DRAWING C					NOTES C 5.					
1. 2.	CIRCUIT VIA RELAY PANEL CXD		IONAL INFORM	ATION		5.					
2. 3.	CIRCOIT VIA RELATTAINEL CAD	-1/1				0. 7					
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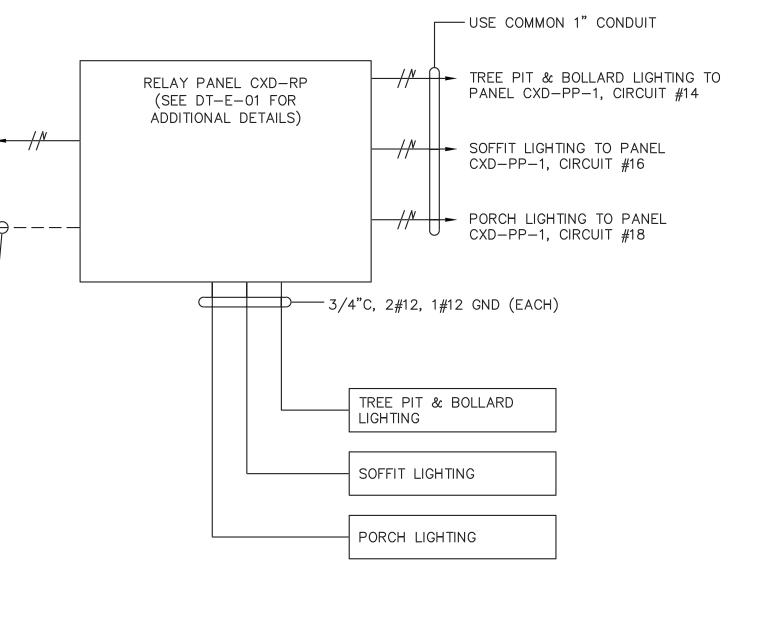
RELAY ) PANEL } POWER }	PANEL CXD—PP—1 CIRC #15	•
	(PS)	- 0 -
3/4"C, LOW VC	3#14 DLTAGE DC WIRING—	

CXD-RP	LOCATIOI	N: CXD ELECTRICAL ROOM
CKT NO	DESCRIPTION	NOTES
1	TREE PIT AND BOLLARD LIGHTING	
2	SOFFIT LIGHTING	
3	PORCH LIGHTING	
4	SPARE	
5	SPARE	
6	SPARE	
7	SPARE	
8	SPARE	

		G CERTIFICATION	WESTCHESTER COUNTY, NEW YORK		SHEET NUMBER
	- AS BUILT - CHANGES AS NOTED	🔲 AS BUILT – NO CHANGES	DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523	CXD-E-07
			DIVISION OF ENGINEERING	DWG NO.:	
	CONTRACTOR	PROJECT COORDINATOR	INFRASTRUCTURE REHABILITATION - PHASE 3	SCALE: AS SHOW	664
	NAME	NAME	PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: <b>8/23/2022</b>	
REVISION	TITLE DATE	TITLE DATE	PANEL SCHEDULES	DPW FILE 1-118-E-9	86-0 REV. NO. 0



1. FOR ADDITIONAL NOTES, ABBREVIATIONS AND SYMBOLS, SEE DRAWING GE-E-01.



EXTERIOR CXD BUILDING WIRING DETAIL

CXD-E-07

2

	LIGHTING CONTROL LEGEND
SYMBOL	DESCRIPTION
OSS	OCCUPANCY / VACANCY SENSOR - SMALL MOTION, DUAL TECHNOLOGY (PASSIVE INFRARED/MICROPHONICS) ACUITY BRANDS, nLIGHT SYSTEM CATALOG NUMBER: nCM-PDT-9-RJB OR APPROVED EQUAL
12 PP	POWER / RELAY PACK – 120V RATED SELF CONTROLLED RELAY SWITCH, EQUIPPED WITH RJ45, PLENUM RATED, CONFIGURATIVE RELAY LOGIC ACUITY BRANDS, nLIGHT SYSTEM CATALOG NUMBER: nPP16–D–EFP–SA OR APPROVED EQUAL.
\$	120V RATED LIGHTING SINGLE POLE SWITCH
RP	RELAY TIME CONTROL PANEL PROGRAMMABLE ZONE CONTROL PANEL UP TO 1 ADDRESS PER RELAY/DIMMING OUTPUT EQUIPPED WITH 0-10V DIMMING OUTPUT PER RELAY CATALOG NUMBER: ARP INTENC08NLT-16SR-MVOLT-1VB-HLK-S-DTC OR APPROVED EQUAL
PS	ANALOG PHOTOCELL – PHOTOSENSOR SUITABLE FOR OUTDOOR APPLICATIONS. CATALOG NUMBER: LSA–APS–OL OR APPROVED EQUAL
n POD	RELAY TIME CONTROL PANEL PROGRAMMABLE ZONE CONTROL PANEL UP TO 1 ADDRESS PER RELAY/DIMMING OUTPUT EQUIPPED WITH 0–10V DIMMING OUTPUT PER RELAY CATALOG NUMBER: LSA–APS–OL OR APPROVED EQUAL

### **FIRE ALARM GENERAL NOTES:**

- THE FIRE ALARM AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE NATIONAL FIRE PREVENTION CODE (NFPA 72 - 2016), NATIONAL LIFE SAFETY CODE (NFPA 101 - 2018), NATIONAL ELECTRICAL CODE (NFPA 70 - 2017), 2020 NEW YORK STATE BUILDING CODE, AND ALL LOCAL MUNICIPAL CODES HAVING JURISDICTION.
- 2. THE FIRE ALARM AND SMOKE DETECTION SYSTEM SHALL BE MAINTAINED AND TESTED IN COMPLIANCE WITH NFPA 72.
- 3. A CONTINUOUS FIRE WATCH SHALL BE PROVIDED IF THERE IS FIRE SYSTEM IMPAIRMENT.
- 4. ALL FIRE ALARM STROBES SHALL BE SYNCHRONIZED AND SHALL REMAIN FLASHING AFTER SYSTEM SILENCE FUNCTION.
- 5. CONTRACTOR TO UPDATE ALL NECESSARY CORRESPONDING FIRE ALARM SIGNALS WHEN PERFORMING ANY MODIFICATION TO THE BUILDING, WHERE APPLICABLE, MAKE SURE THE SAME UPDATES ARE COORDINATED AND TRANSMITTED TO THE CENTRAL STATION.
- 6. HORNS WILL SOUND A TEMPORAL 3-SIGNALING RHYTHM PER NFPA 72.
- 7. EXACT PLACEMENT OF DEVICES TO BE VERIFIED IN FIELD.
- 8. ALL SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 36" FROM ANY HVAC SUPPLY OR RETURN REGISTER.
- 9. FIRE ALARM WIRING SHALL BE INSTALLED IN A MINIMUM OF 3/4" RIGID GALVANIZED CONDUIT OR BY NEW YORK STATE BUILDING CODE APPROVED WIRING METHODS.
- 10. WALL MOUNTED HORNS AND VISUAL FIRE ALARMS (STROBES) SHALL BE MOUNTED NOT LESS THAN 6'-8" AND NOT GREATER THAN 8'-0" A.F.F. WHERE LOCAL CONDITIONS ARE TOO LOW TO PERMIT THE REQUIRED MINIMUM INSTALLATION HEIGHT. INSTALL THE STROBES AT 6" BELOW THE CEILING.
- 11. MANUAL PULL STATIONS SHALL BE MOUNTED AT 4'-0" A.F.F. AND SHALL BE INSTALLED WITHIN 5'-0" OF EXIT DOOR.
- 12. WIRING SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 70 AND AS RECOMMENDED BY THE MANUFACTURER OF THE FIRE ALARM SYSTEM.
- 13. ALL EQUIPMENT AND COMPONENTS SHALL BE NEW AND SHALL BE TESTED AND LISTED BY A NATIONALLY RECOGNIZED APPROVALS AGENCY.
- 14. ALL EQUIPMENT SHALL BE ATTACHED TO WALLS AND CEILING/FLOOR ASSEMBLIES AND SHALL BE HELD FIRMLY IN PLACE. FASTENERS AND SUPPORTS SHALL BE ADEQUATE TO SUPPORT REQUIRED LOAD.
- 15. ALL FIELD WIRING SHALL BE ELECTRICALLY SUPERVISED FOR OPEN CIRCUIT AND GROUND FAULTS.
- 16. ALL BOXES AND CABINETS SHALL BE UL LISTED FOR THEIR USE AND PURPOSE.
- 17. DIALER OR ALARM COMMUNICATOR TRANSMITTER SHALL TRANSMIT ALL POINTS AS THEY ARE REPORTED TO THE HOST PANEL.
- 18. ALL DEVICES SHALL BE COMPATIBLE WITH EXISTING SYSTEM (EST3 BY EDWARDS). FIRE ALARM PRODUCTS SHALL BE APPROVED BY THE ENGINEER OR OWNER.
- 19. ALL PENETRATIONS SHALL BE FIRE PROOFED AS REQUIRED.

# FIRE ALARM CONSTRUCTION NOTES:

- ELECTRICIAN SHALL COORDINATE WITH THE FIRE ALARM VENDOR TO PRODUCE A SEPARATE FIXED PRICE TO PERFORM THE SCOPE OF WORK CONTAINED ON THESE DRAWINGS IN CONNECTION WITH THE FIRE ALARM SYSTEM. THESE DRAWINGS ARE PROVIDED FOR BID PURPOSES ONLY AND TO ILLUSTRATE THE SCOPE OF WORK INTENT OF THIS PROJECT.
- 2. ELECTRICIAN SHALL OBTAIN SEPARATE PERMIT FOR FIRE ALARM PRIOR TO INSTALLATION.
- PRIOR TO SUBMISSION OF THE FIRE ALARM SYSTEM BID, THE FIRE ALARM VENDOR IS RESPONSIBLE TO REVIEW ALL DRAWINGS (I.E., MECHANICAL/HVAC, ELECTRICAL, PLUMBING, FIRE SPRINKLER, AND ARCHITECTURAL). UPON SUBMISSION OF THE FIRE ALARM BID. THE FIRE ALARM VENDOR CERTIFIES THAT ALL DRAWINGS HAVE BEEN REVIEWED, THE SITE HAS BEEN VISITED/INSPECTED (IF APPLICABLE), AND THAT ALL LOCAL FIRE DEPARTMENT REQUIRED ITEMS ARE FULLY UNDERSTOOD AND INCLUDED IN THE BID PRICE (NO CHANGE ORDERS ALLOWED).
- I. FIRE ALARM VENDOR MUST ADHERE TO NFPA 72, NFPA 101, AND ALL LOCAL CODES AND AUTHORITIES HAVING JURISDICTION. THE ENTIRE SYSTEM MUST BE DESIGNED IN ACCORDANCE WITH THESE AUTHORITIES HAVING JURISDICTION.
- FIRE ALARM VENDOR SHALL INCLUDE THE COST OF THE ENGINEERING FEE, PROGRAMMING CHARGE, NEW EQUIPMENT, CONNECTION & TESTING, TROUBLESHOOTING, ATTENDANCE AT THE FIRE ALARM INSPECTION, ETC. AS PART OF THE TOTAL PRICE.
- FIRE ALARM VENDOR MUST SUBMIT APPROVED, SIGNED AND SEALED DESIGN/BUILD DRAWINGS TO THE ENGINEER AND OWNER, INCLUDING: FIRE ALARM RISER DIAGRAM, LAYOUT, EQUIPMENT LIST, SPECIFICATIONS PRIOR TO START OF INSTALLATION. INSTALLATION OF THE NEW FIRE ALARM SYSTEM SHALL NOT PROCEED PRIOR TO WRITTEN APPROVAL BY THE ENGINEER.
- FIRE ALARM VENDOR SHALL SUBMIT SHOP DRAWINGS IN COMPLIANCE WITH NFPA 72, 2020 NEW YORK STATE BUILDING CODE, AND 2020 NEW YORK STATE FIRE CODE SECTION 907.1.1.
- 8. ALL FIRE ALARM CABLES AND WIRING MUST BE PLENUM RETURN RATED CABLES.

### **SCOPE OF WORK:**

- 1. DEMOLISH EXISTING FIRE ALARM DEVICES AND ASSOCIATED WIRING BACK TO SOURCE.
- 2. INSTALL NEW FIRE ALARM DEVICES AS PER DRAWINGS. PROVIDE ALL NECESSARY WIRING, CONNECTIONS, CONDUIT, AND FITTINGS.
- 3. NEW FIRE ALARM DEVICES AND SIGNAL WIRING SHALL BE CONNECTED TO THE EXISTING "QUAD 4" FIRE ALARM PANEL.
- . NEW FIRE ALARM SYSTEM SHALL BE INSPECTED BY A THIRD PARTY INSPECTION AGENCY CERTIFIED BY WESTCHESTER COUNTY. ELECTRICIAN SHALL INCLUDE INSPECTION IN BASE BID SCOPE AND COORDINATE WITH INSPECTION AGENCY TO CERTIFY THE SYSTEM.
- ELECTRICIAN SHALL COORDINATE WITH THE FIRE ALARM VENDOR (OPEN SYSTEMS METRO) TO RE-PROGRAM AND TEST THE CENTRAL FIRE ALARM SYSTEM IN THE PLAYLAND MAIN ADMINISTRATION BUILDING FOLLOWING THE INSTALLATION OF NEW SYSTEM AND DEVICES.
- ELECTRICIAN SHALL COORDINATE WITH THE FIRE ALARM CENTRAL MONITORING PROVIDER (STATEWIDE MONITORING) TO TEST AND VERIFY CENTRAL MONITORING OF PARKWIDE SYSTEM FOLLOWING THE INSTALLATION OF NEW SYSTEM AND DEVICES.

	FIRE ALARM LEGEND:
SYMBOL	DESCRIPTION
FA	FIRE ALARM SUB PANEL
S	SMOKE DETECTOR
$(\mathbb{H})$	HEAT DETECTOR
F	MANUAL FIRE ALARM PULL STATION
<b>▼</b> # H	FIRE ALARM WALL MOUNTED HORN/STROBE # = CANDELA RATING
FCO	FUSED CUT OUT SWITCH/FUSED LOCKABLE DISCONNECT SWITCH
[ST] #	WALL MOUNTED STROBE # = CANDELA RATING
$\diamond$	FLOW SWITCH CONNECTED TO FIRE ALARM SYSTEM
GV	SPRINKLER VALVE TAMPER SWITCH CONNECTED TO FIRE ALARM SYSTEM
(S)	DUCT MOUNTED SMOKE DETECTOR
FSR	FIRE ALARM INTERFACE RELAY FOR HVAC FAN SHUTDOWN
	FIRE ALARM ABBREVIATIONS:
E	EXISTING TO REMAIN
ER	EXISTING TO BE RELOCATED
EL	EXISTING AS SHOWN IN NEW LOCATION
FACP	FIRE ALARM CONTROL PANEL
FCO	FUSED CUT OUT
FCU	

ER	EXISTIN
EL	EXISTIN
FACP	FIRE AL
FCO	FUSED (
FCU	FIRE AL
FP	FIRE PR
Ν	NEW
RTU	ROOFTO
SP	SPRINK
WP	WEATH



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- THE SITE CONDITIONS.

- 5. FUSE CUT OUT BOX SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AND HAVE A REMOVABLE SOLID COPPER
- NEUTRAL BAR.
- CONDUCTOR.

### **IRE ALARM SYSTEM RISER NOTES:**

LOCATION OF DEVICES AND EQUIPMENT ARE APPROXIMATE. FINAL LOCATIONS MUST BE DETERMINED ACCORDING TO

2. VISUAL FIRE ALARMS (STROBES) SHALL HAVE MINIMUM 5'-0" CLEARANCE FROM ANY OBSTRUCTIONS, SHALL BE FIELD ADJUSTABLE, AND SHALL BE RATED AT 75 CANDELA MINIMUM, UNLESS OTHERWISE NOTED. ALL STROBES SHALL BE SYNCHRONIZED AT LINE OF SIGHT.

3. WALL MOUNTED HORNS AND VISUAL FIRE ALARMS (STROBES) SHALL BE MOUNTED NOT LESS THAN 6'-8" AND NOT GREATER THAN 8'-0" A.F.F. WHERE LOCAL CONDITIONS ARE TOO LOW TO PERMIT THE REQUIRED MINIMUM INSTALLATION HEIGHT, INSTALL THE STROBES AT 6" BELOW THE CEILING.

4. MANUAL PULL STATIONS SHALL BE MOUNTED AT 4'-0" A.F.F. AND SHALL BE INSTALLED WITHIN 5'-0" OF EXIT DOOR.

6. ALL CONDUITS AND CONTROL PANELS SHALL BE GROUNDED TO BUILDING STEEL/GROUND GRID WITH A MINIMUM #8

RISER DIAGRAM ON THIS DRAWING IS FOR DESIGN PURPOSE ONLY. FIRE ALARM CONTRACTOR SHALL PROVIDE A COMPLETE RISER DIAGRAM WITH ACTUAL FIELD WIRING REQUIRED.

8. EACH FIRE ALARM INITIATING AND INDICATING CIRCUIT SHALL BE ELECTRICALLY SUPERVISED.

9. EACH VISUAL FIRE ALARM CIRCUIT SHALL CONTAIN AT LEAST 20% SPARE CAPACITY.

10. ALL CONTROL PANELS, FUSE CUTOUTS, TROUBLE BELLS, ALARM BELLS AND SILENCE SWITCHES SHALL BE PROPERLY LABELED WITH MINIMUM 1/4" HIGH LETTERS.

11. WIRING FOR AUDIBLE AND VISUAL ALARM NOTIFICATION DEVICES SHALL BE ARRANGED SO THAT A LOSS OF A PORTION OF THE WIRING ON A FLOOR WILL NOT RENDER MORE THAN 60% OF THE DEVICES OF EACH TYPE INOPERATIVE, AND THE DEVICES SHALL BE SO CONNECTED TO THE CIRCUITRY (i.e., BY MEANS OF ALTERNATE CIRCUITS) AS TO MAINTAIN AT LEAST PARTIAL AUDIBILITY/VISIBILITY THROUGHOUT THE ENTIRE FLOOR.

12. THE FIRE ALARM CONTROL PANEL SHALL BE PROVIDED WITH A KEY SWITCH. DURING DAILY TESTS, THE KEY SWITCH SHALL BE USED TO BYPASS THE CIRCUITS THAT CONTROL DAMPERS AND FAN SHUTDOWN.

13. THE DAMPERS AND FAN BYPASS FUNCTION SHALL BE AUTOMATICALLY RESTORED TO BE NORMAL UN-SHUNTED CONDITION WITHIN FORTY-FIVE MINUTES, IF NOT DONE SO MANUALLY BEFORE FORTY-FIVE MINUTES.

14. PERFORM FIRE ALARM SYSTEM TESTING PER THE 2020 NEW YORK STATE FIRE CODE AND NFPA 72.

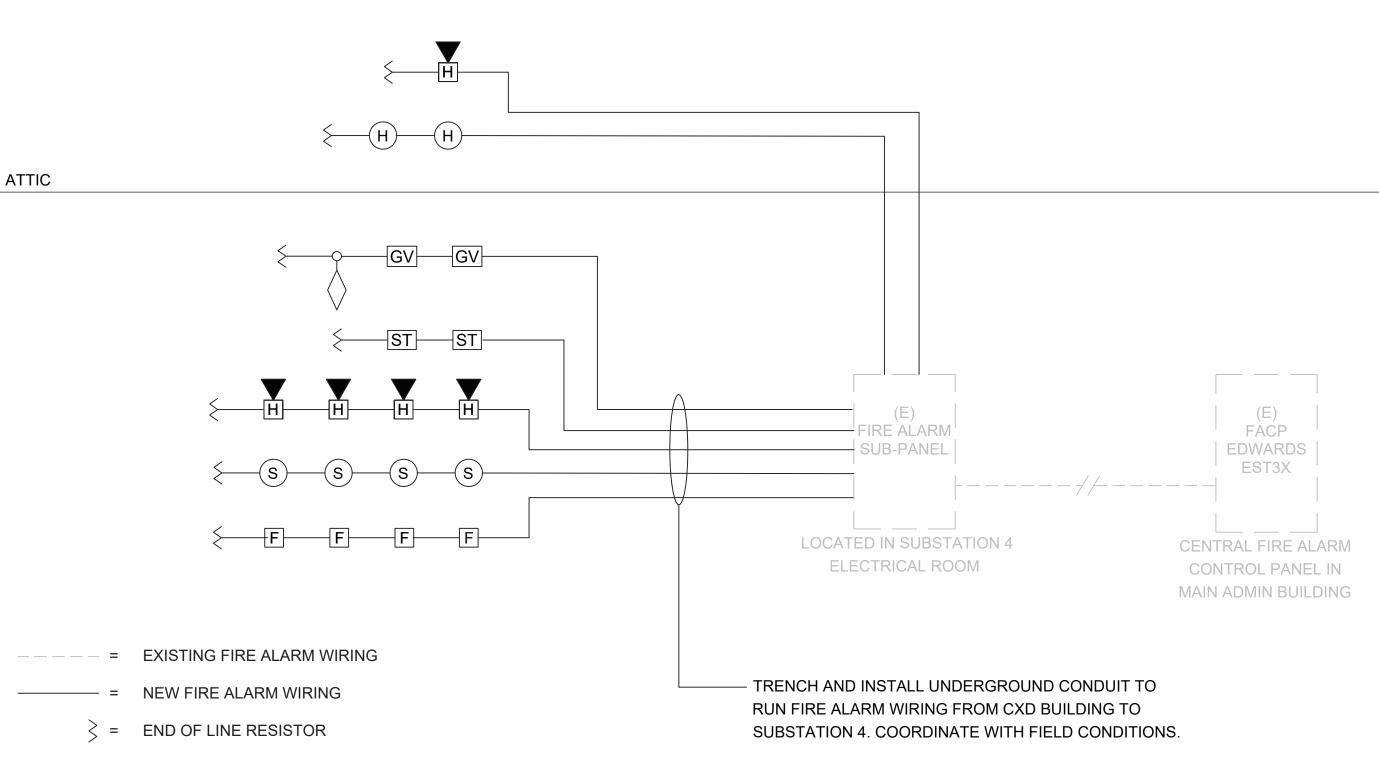
ARM CONTROL UNIT

ROTECTION

OP UNIT

**KLER** IERPROOF

EXISTING TO BE DEMOLISHED



#### **GROUND FLOOR**

#### NOTES

- 1. WIRING SHOWN ON RISER IS DIAGRAMMATICAL. PROVIDE NEW FIRE ALARM CABLE AS REQUIRED AND INSTALL WIRING LOOPS AS BEST SUITED FOR FIELD CONDITIONS.
- 2. THE BUILDING IS FULLY SPRINKLERED.



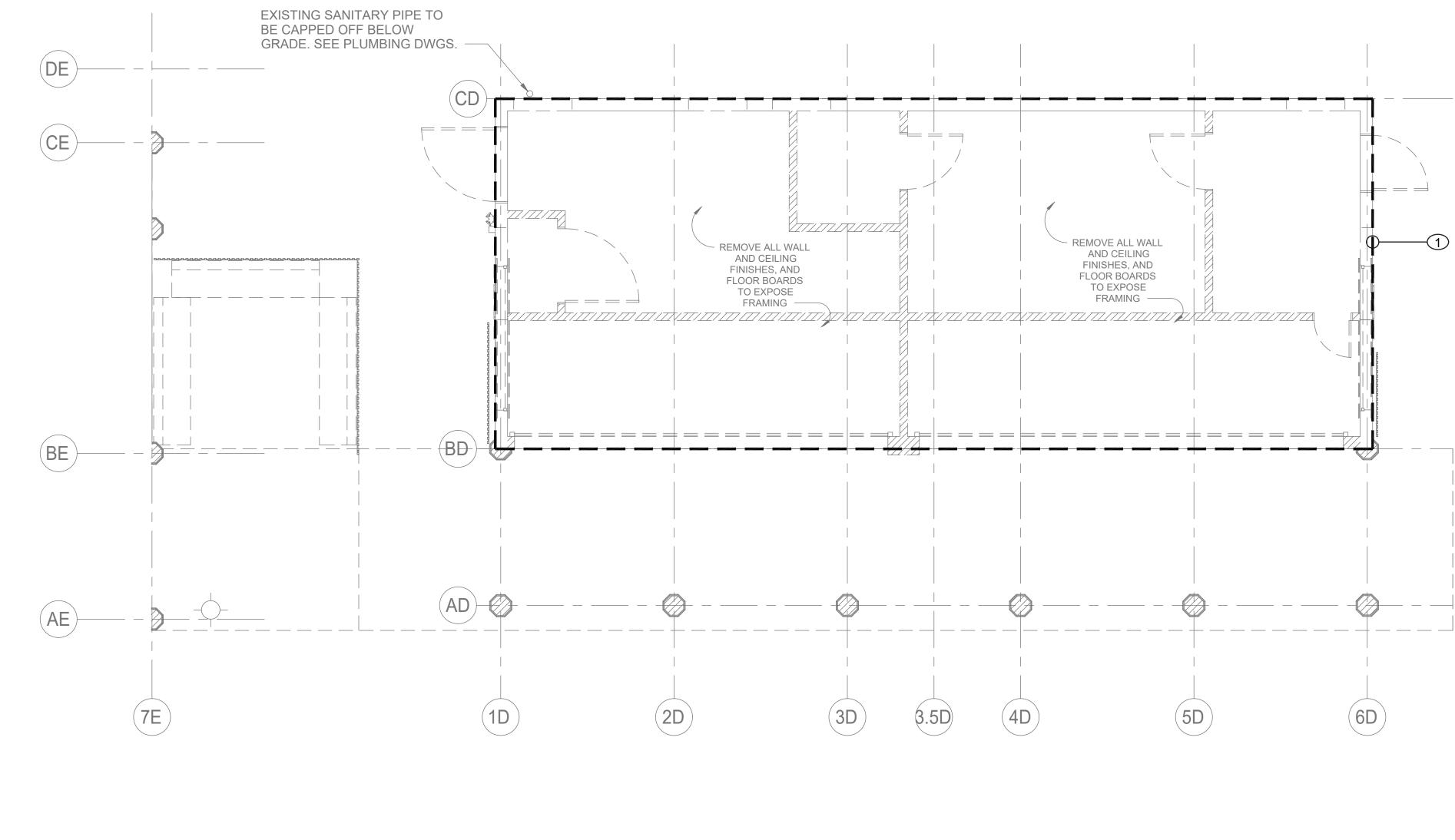
			SYSTEM OUTPUTS           Control Unit Annunciation         Notification															
			Contro	ol Unit	Annun	ciation		Notification						Su	ipp.			
		ACTUATE COMMON ALARM SIGNAL	ACTUATE AUDIBLE ALARM SIGNAL	INDICATE COMMON SUPERVISORY STATUS	ACTUATE AUDIBLE SUPERVISORY SIGNAL	INDICATE COMMON TROBLE SIGNAL	ACTUATE AUDIBLE COMMON TROUBLE SIGNAL	ACTIVATE HORNS AND STROBES THROUGHOUT THE PROTECTED AREA	DISPLAY/PRINT CHANGE OF STATUS	TRANSMIT AUTOMATIC ALARM SIGNAL TO SUPERVISING STATION	TRANSMIT MANUAL ALARM SIGNAL TO SUPERVISING STATION	TRANSMIT WATERFLOW ALARM SIGNAL TO SUPERVISING STATION	TRANSMIT SUPERVISORY SIGNAL TO SUPERVISING STATION	TRANSMIT CO ALARM SIGNAL TO SUPERVISING STATION	TRANSMIT TROUBLE SIGNAL TO SUPERVISING STATION	ACTIVATE TEMPORAL 4 SIGNAL ON ACTIVATED CO DETECTOR SOUNDER BASES	SHUT DOWN CO PRODUCING EQUIPMENT	SHUT DOWN FANS/AIR HANDLING UNITS
	EVENT	A	В	С	D	E	F	G	Н	I	J	K	L	М	N	0	Р	Q
1	ACTIVATION OF MANUAL PULL STATION	Х	Х					X	X		Х							
2	ACTIVATION OF SMOKE DETECTOR	X	Х					X	X	Х								Х
3	ACTIVATION OF DUCT MOUNTED SMOKE DETECTOR	Х	Х					X	X	Х								Х
4	ACTIVATION OF HEAT DETECTOR	Х	Х					X	X	Х								Х
5	WATERFLOW SWITCH FOR FIRE SPRINKLER SYSTEM	X	Х					X	X			Х						Х
6	ACTIVATION OF CARBON MONOXIDE DETECTOR			Х	Х			X	Х					Х		Х	X	
7	SPRINKLER VALVE (TAMPER SWITCH)			Х	Х				Х				Х					
8	FIRE ALARM LOSS OF PRIMARY/SECONDARY POWER					Х	Х		Х						Х			
9	FIRE ALARM SYSTEM WIRING FAILURE					Х	Х		X						X			



RECORD DRAWING CERTIFICATION WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION AS BUILT – NO CHANGES AS BUILT – CHANGES AS NOTED DIVISION OF ENGINEERING PROJECT COORDINATOR CONTRACTOR **INFRASTRUCTURE REHABILITATION - PHASE 3** PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D FIRE ALARM NOTES, SYMBOLS, LEGEND, AND RISER DIAGRAM REVISION

C ONTRAC T NUMB ER	SHEET NUMBER			
22-523	CXD-F	A-01		
DWG NO.: 238 of 66	4			
SCALE: As indica	ted			
DATE: 08/23/2022				
DPW FILE 1-118-F	A-987-0	REV.	0	

# FIRE ALARM SEQUENCE OF OPERATIONS MATRIX



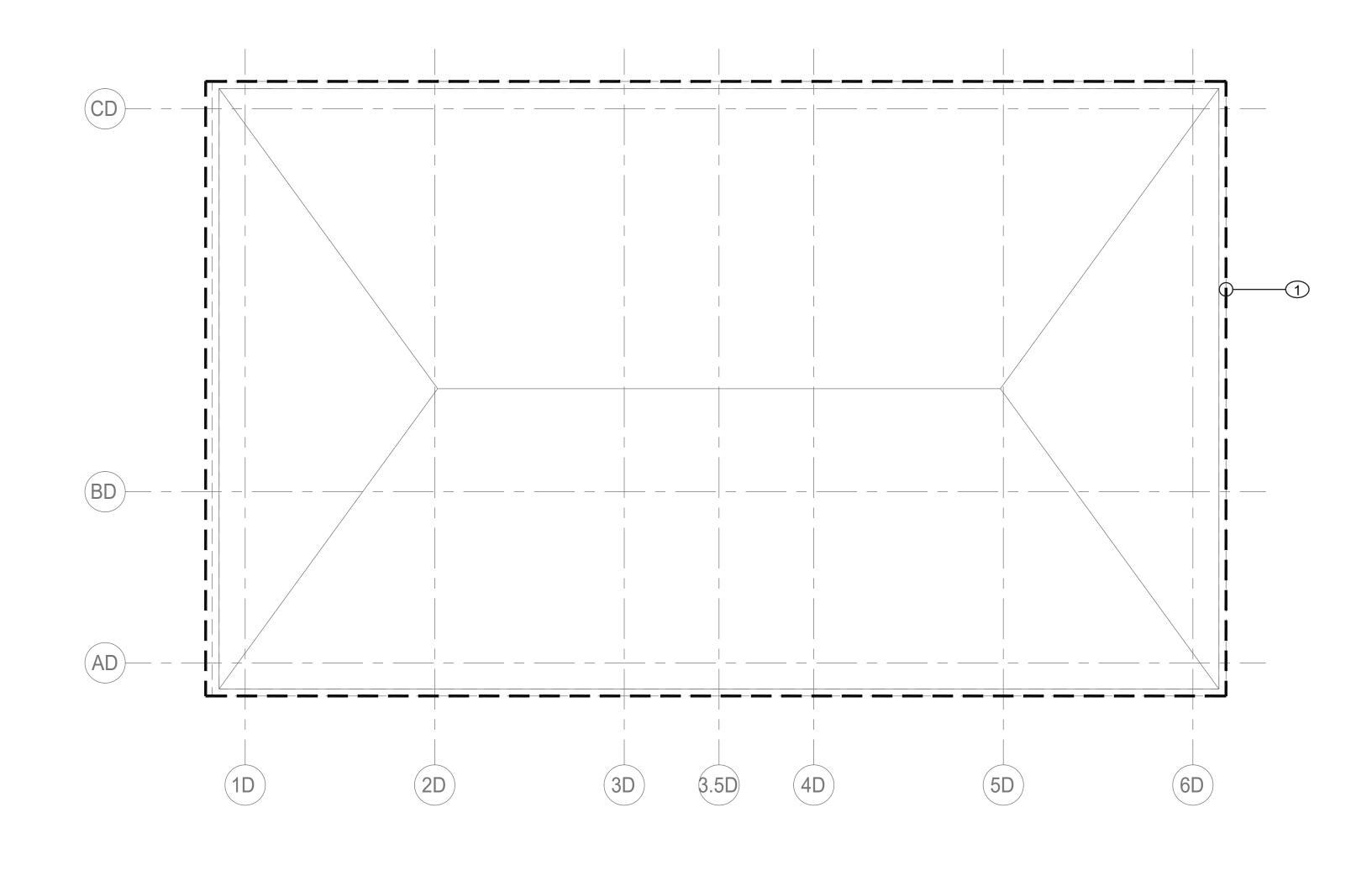


C ONSULTANT INFORMATION	CONSULTANT SEAL					
LiRo Engineers, Inc. A LiRo Group Company	THANK F. ULISON					
A LiRo Group Company Syosset, N.Y. 516-214-8157[T]	10.090111-1 E					
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ARTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523	CXD-FA-11			
DIVISION OF ENGINEERING	DWG NO.: 239	of 664			
<b>INFRASTRUCTURE REHABILITATION - PHASE 3</b>	SCALE: As indicated				
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022				
FIRE ALARM FIRST FLOOR DEMOLITION PLAN	DPW FILE Number <b>1-</b>	118-FA-988-0 REV. 0			





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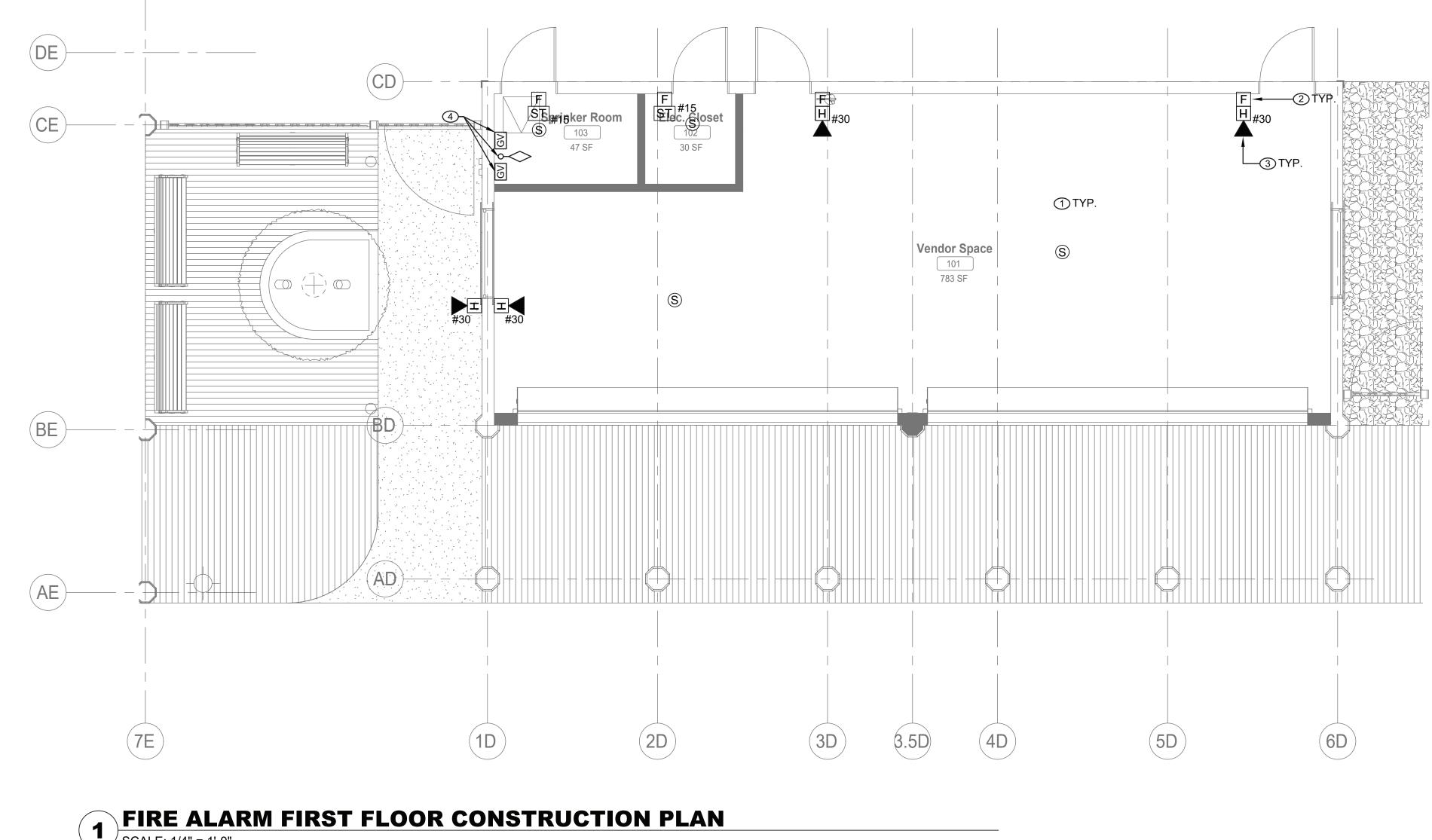




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	AS BUILT – CHANGES AS NOTED	AS BUILT – NO CHANGES	DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523	CXD-FA-12	
			DIVISION OF ENGINEERING	DWG NO.: 240 of 66	64	
	CONTRACTOR	PROJECT COORDINATOR	<b>INFRASTRUCTURE REHABILITATION - PHASE 3</b>	SCALE: As indicated		
	SIGNATURE	SIGNATURE	PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022		
REVISION	TITLE DATE	TITLE DATE	FIRE ALARM ATTIC DEMOLITION PLAN	DPW FILE <b>1-118-FA-989-0</b> REV. <b>0</b> NO.		





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# FIRE ALARM CONSTRUCTION NOTES:

(1) CONNECT NEW FIRE ALARM DEVICES TO EXISTING FIRE ALARM CONTROL PANEL IN SUBSTATION 4 ELECTRICAL ROOM.

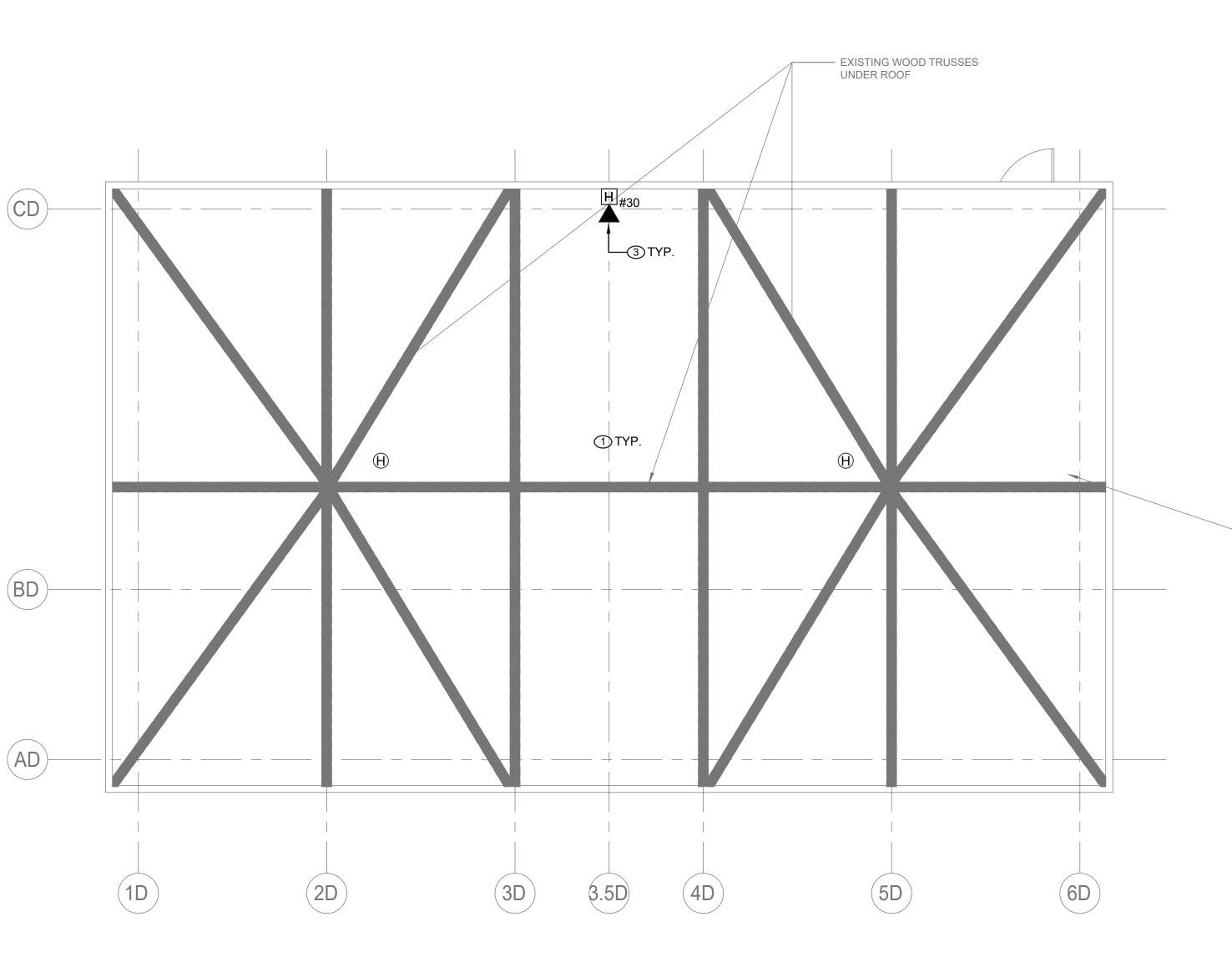
- (2) NEW MANUAL PULL STATIONS SHALL BE INSTALLED AT 4'-0" ABOVE FINISHED FLOOR AT EACH BUILDING EXIT (MAX. DISTANCE OF 5'-0" FROM EXIT).
- (3) FIRE ALARM STROBES AND HORN STROBES SHALL BE FIELD ADJUSTABLE AND SET CANDELA RATING INDICATED ON PLAN. FIRE ALARM STROBES AND HORN STROBES SHALL BE INSTALLED AT 7'-4" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.

(4) PROVIDE TAMPER AND WATERFLOW SWITCHES FOR NEW SPRINKLER VALVE ASSEMBLIES AND CONNECT TO EXISTING FIRE ALARM SYSTEM. COORDINATE LOCATION AND QUANTITY WITH FIRE PROTECTION DRAWINGS AND SPRINKLER SYSTEM INSTALLER.

### **FIRE ALARM GENERAL NOTES:**

- REFER TO DRAWING FA-001.00 FOR SYMBOLS, ABBREVIATIONS, AND NOTES. LAYOUT OF FIRE ALARM DEVICES ON THIS PLAN IS DIAGRAMMATIC; EXACT LOCATIONS OF DEVICES AND CONDUIT SHALL BE COORDINATED WITH FIELD CONDITIONS, ARCHITECTURAL REQUIREMENTS, AND MANUFACTURER RECOMMENDATIONS.
- 2. ALL DEVICES AND EQUIPMENT SHOWN ON THIS PLAN ARE NEW, UNLESS OTHERWISE NOTED.
- 3. INSTALL NEW FIRE ALARM SYSTEM IN STRICT ACCORDANCE WITH NFPA-72 AND NFPA-90A REQUIREMENTS.
- 4. CONTRACTOR SHALL INSTALL NEW FIRE ALARM SYSTEM AS INDICATED AND PROVIDE ALL NECESSARY WIRING, CONDUIT, AND APPARATUSES.
- 5. ALL VISUAL NOTIFICATION DEVICES IN THE SAME SPACE SHALL BE SYNCHRONIZED IN ACCORDANCE WITH NFPA-72. 6. COORDINATE INSTALLATION WITH FIRE ALARM SYSTEM VENDOR AND MANUFACTURER
- REQUIREMENTS.
- 7. COORDINATE FIRE ALARM DEVICES WITH ARCHITECTURAL FINISHES. CONCEAL CONDUIT IN FINISHED WALLS AND FLUSH MOUNT DEVICES WHERE POSSIBLE.
- 8. CONTRACTOR SHALL TEST THE FIRE ALARM SYSTEM AFTER COMPLETION OF INSTALLATION. FIRE ALARM SYSTEM SHALL BE TESTED AND VERIFIED TO BE WORKING PROPERLY PRIOR TO INSPECTION BY THE AUTHORITY HAVING JURISDICTION.
- 9. FOLLOWING INSTALLATION, CONTRACTOR SHALL PATCH, PAINT, AND RESTORE ALL WALLS AND CEILINGS TO MATCH EXISTING OR DESIRED NEW CONDITION.
- 10. FIRESTOP ALL FIRE-RATED FLOOR OR WALL PENETRATIONS TO MAINTAIN ORIGINAL FIRE RATING TO FULL DEPTH OF OPENING.
- 11. CONTRACTOR SHALL PROVIDE SLEEVE FOR CONDUIT PENETRATIONS THROUGH WALL AND CEILING FLOORS.

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DIVISION OF ENGINEERING	DWG NO.: 241 of 66	64	
<b>INFRASTRUCTURE REHABILITATION - PHASE 3</b>	SCALE: As indicated		
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022		
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# **1** FIRE ALARM ATTIC CONSTRUCTION PLAN SCALE: 1/4" = 1'-0"

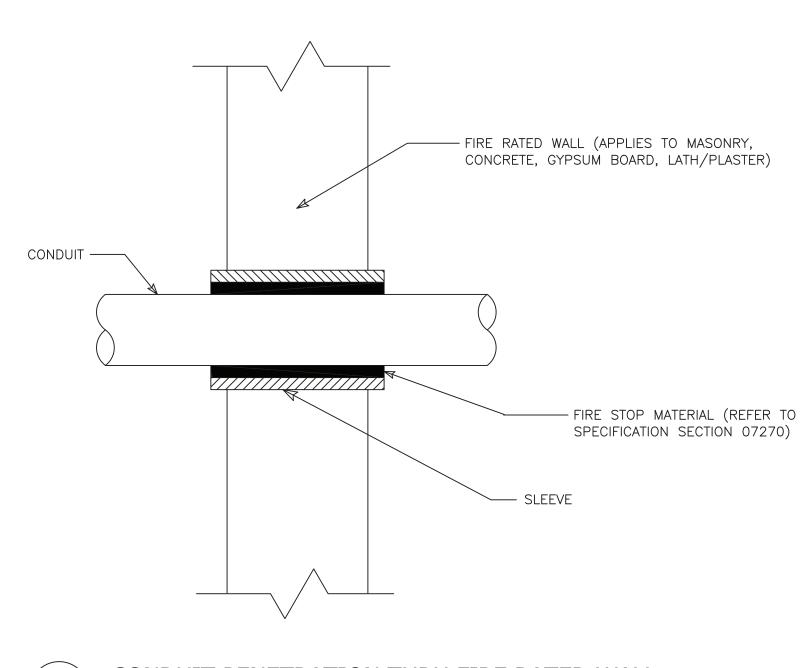
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# STRUCTION NOTES:

# FIRE ALARM GENERAL NOTES:

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- 2. ALL DEVICES AND EQUIPMENT SHOWN ON THIS PLAN ARE NEW, UNLESS OTHERWISE NOTED.
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- 7. COORDINATE FIRE ALARM DEVICES WITH ARCHITECTURAL FINISHES. CONCEAL CONDUIT IN FINISHED WALLS AND FLUSH MOUNT DEVICES WHERE POSSIBLE.
- 8. CONTRACTOR SHALL TEST THE FIRE ALARM SYSTEM AFTER COMPLETION OF INSTALLATION. FIRE ALARM SYSTEM SHALL BE TESTED AND VERIFIED TO BE WORKING PROPERLY PRIOR TO INSPECTION BY THE AUTHORITY HAVING JURISDICTION.
- 9. FOLLOWING INSTALLATION, CONTRACTOR SHALL PATCH, PAINT, AND RESTORE ALL WALLS AND CEILINGS TO MATCH EXISTING OR DESIRED NEW CONDITION.
- 10. FIRESTOP ALL FIRE-RATED FLOOR OR WALL PENETRATIONS TO MAINTAIN ORIGINAL FIRE RATING TO FULL DEPTH OF OPENING.
- 11. CONTRACTOR SHALL PROVIDE SLEEVE FOR CONDUIT PENETRATIONS THROUGH WALL AND CEILING FLOORS.

PROVIDE NEW ASPHALT SHINGLES: CERTIFIED "LANDMARK TL" WITH FLASHINGS AND ACCESSORIES





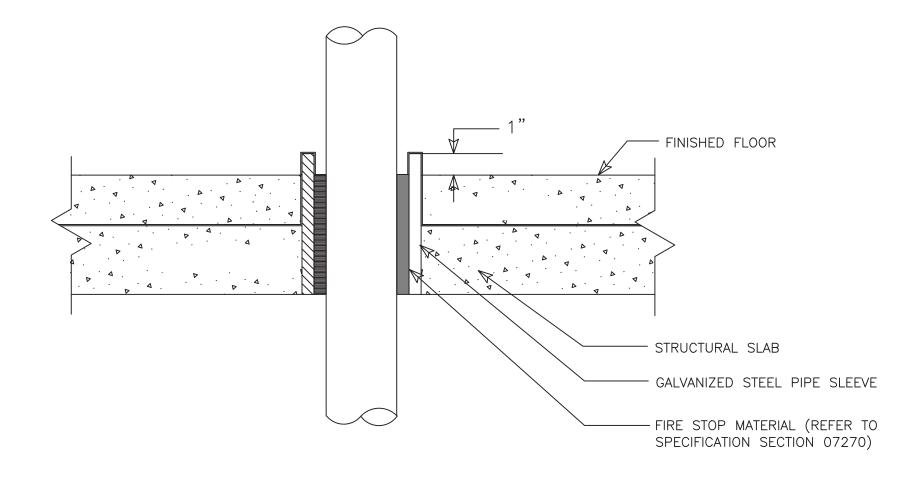
CONDUIT PENETRATION THRU FIRE RATED WALL FA-81 NOT TO SCALE

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SHEET NUMBER C ONTRACT NUMB ER ESTCHESTER COUNTY, NEW YORK 22-523 CXD-FA-81 PARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING DWG NO.: 243 of 664 As indicated **INFRASTRUCTURE REHABILITATION - PHASE 3** PLAYLAND PARK, RYE, NEW YORK 08/23/2022 CROSS AXIS BUILDING D FIRE ALARM DETAILS DPW FILE NUMBER 1-118-FA-992-0 0

#### GENERAL NOTES:

- 1. DIMENSIONS INDICATED ON THE DRAWINGS ARE APPROXIMATE AND SUBJECT TO REVISIONS AS PER ACTUAL FIELD CONDITIONS.
- 2. CONTRACTOR SHALL COMPLY WITH ALL NYSDEC PERMIT REQUIREMENTS AND ANY OTHER STATE, COUNTY, CITY OR TOWN AGENCY HAVING JURISDICTION. REFER TO THE CONTRACT SPECIFICATIONS FOR PERMIT REQUIREMENTS.
- 3. CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO MAINTAIN UTILITY SERVICE TO AND FROM BUILDINGS AND PARK AREAS.
- 4. ANY UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND HAVE BEEN OBTAINED FROM AVAILABLE SOURCES. THE EXISTENCE AND LOCATION OF ANY UTILITIES INDICATED ON THE PLANS ARE NOT GUARANTEED AND SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING WORK. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING DIG SAFELY NEW YORK AT 1-800-962-7962. EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES SHALL BE DUG BY HAND. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS WORK.
- 5. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE PRIVATE UTILITY MARKOUTS FOR ALL UTILITIES IN THE WORK AREAS. THE CONTRACTOR SHALL SUBMIT THE PROPOSED UTILITY SUB-CONTRACTOR FOR APPROVAL.
- 6. THE CONTRACTOR SHALL OBTAIN AND HAVE ON THE JOB SITE, AT ALL TIMES, ALL PERMITS AS REQUIRED BY THE STATE, COUNTY, CITY, TOWN/VILLAGE OR ANY OTHER PERMITTING AGENCY. THE CONTRACTOR SHALL BEAR ALL COSTS OF OBTAINING THESE PERMITS.
- 7. CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS CONSTRUCTION MATERIALS TO THE SATISFACTION OF THE OWNER AND ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND LEGAL DISPOSAL OF ALL MATERIALS RESULTING FROM THE CONTRACT.
- 8. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE OWNER AND ENGINEER TO MINIMIZE INTERRUPTIONS TO NORMAL PARK OPERATIONS.
- 9. CONTRACTOR SHALL SUBMIT A DETAILED WORK PLAN INCLUDING SEQUENCE OF OPERATIONS PRIOR TO COMMENCING WORK AND SHALL BE SUBJECT TO APPROVAL OF THE OWNER/ENGINEER.
- 10. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION. IN ADDITION, IF WORK SHOULD BE STOPPED AND RESTARTED FOR ANY REASON, THE CONTRACTOR SHALL GIVE THE ENGINEER A MINIMUM OF SEVENTY-TWO (72) HOURS NOTICE.
- 11. ITEMS SUSTAINING DAMAGE DURING CONSTRUCTION AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION AND APPROVAL OF THE OWNER AT THE CONTRACTORS EXPENSE. ANY DAMAGE SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- 12. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PRESERVE THE MATERIAL BELOW AND BEYOND THE LINES OF ALL EXCAVATION IN THE SOUNDEST POSSIBLE CONDITION. ANY DAMAGE TO THE WORK DUE TO THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE EXPENSE OF AND BY THE CONTRACTOR.
- 13.NO MATERIALS OF ANY KIND SHALL BE USED UNTIL IT HAS BEEN INSPECTED AND ACCEPTED BY THE ENGINEER; ALL MATERIALS REJECTED SHALL BE IMMEDIATELY REMOVED FROM THE WORK SITE AND SHALL NOT BE OFFERED FOR INSPECTION AGAIN.
- 14. ANY MATERIALS OR WORKMANSHIP FOUND AT ANY TIME TO BE DEFECTIVE SHALL BE REMEDIED AT ONCE, REGARDLESS OF PREVIOUS INSPECTION, THE INSPECTION AND OBSERVATION OF WORK BY THE ENGINEER IS INTENDED TO AID THE CONTRACTOR IN APPLYING LABOR AND MATERIAL TO AND IN ACCORDANCE WITH THE SPECIFICATION, BUT SUCH INSPECTION SHALL NOT RELEASE THE CONTRACTOR FROM ANY CONTRACT OBLIGATIONS.
- 15. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER SO AS TO POSE NO DANGER OR HAZARDS TO PERSONS OR PROPERTY. WHERE NECESSARY, TEMPORARY SHIELDS OR OTHER PROTECTIVE DEVICES MUST BE UTILIZED. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE OF ANY AND ALL SAFETY MEASURES. THE USE OF EXPLOSIVES IS STRICTLY PROHIBITED. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA AND NEW YORK STATE DEPARTMENT OF LABOR REQUIREMENTS.
- 16. RESED ALL AREAS WHERE WORK OCCURS AND/OR WHERE CONTRACTOR DAMAGES EXISTING GRASS. COMPLY WITH THE SPECIFICATIONS. STAGING AREAS SHALL BE RESTORED TO ORIGINAL CONDITION AND SHALL BE SEEDED FOLLOWING COMPLETION OF ALL PHYSICAL WORK.
- 17. THE CONTRACTOR SHALL HAVE A COMPETENT REPRESENTATIVE PRESENT WHO SHALL RESPOND TO ANY OUESTIONS OR REQUESTS OF THE ENGINEER IN THE PROSECUTION AND COMPLETION OF THE WORK IN CONFORMITY WITH THIS CONTRACT, AND SHALL HAVE FULL AUTHORITY TO SUPPLY LABOR AND MATERIAL IMMEDIATELY. THE CONTRACTOR SHALL ALSO HAVE A COMPETENT REPRESENTATIVE AVAILABLE TO RECEIVE TELEPHONE MESSAGES AND PROVIDE A REASONABLE REPLY AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS.
- 18. NEITHER THE OWNER OR ENGINEER SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS CHOSEN BY THE CONTRACTOR TO COMPLETE THE WORK.
- 19. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR SITE SAFETY AND THE SAFETY OF THE CONTRACTOR'S WORK FORCE.
- 20.BACKFILL AT ALL EXCAVATIONS SHALL BE PLACED IN 6" LIFTS AND SHALL ACHIEVE A COMPACTION NOT LESS THAN 95 PERCENT OF STANDARD PROCTOR MAXIMUM DENSITY. UNDER THE TERMS OF THE CONTRACT, THE CONTRACTOR SHALL PERFORM FIELD TESTS BY AN APPROVED LABORATORY TO ASSURE THIS COMPACTION RATE AT VARYING DEPTHS. THE CONTRACTOR SHALL BEAR ALL COSTS FOR TESTING AND ANY DELAYS THAT RESULT FROM SUCH TESTING
- 21.THE CONTRACTOR SHALL ADJUST ALL MANHOLE FRAMES AND COVERS, VALVE COVERS, WATERVALVE BOXES, DRAINAGE INLETS, ETC. AS NECESSARY TO MEET THE SURFACE OF NEW PAVEMENT OR WALKWAY AS REQUIRED TO ALLOW POSITIVE DRAINAGE. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COORDINATE THIS ACTIVITY WITH THE RELATED UTILITY COMPANIES, IF APPLICABLE. WARPING OF THE PAVEMENT SURFACE TO MEET THESE ITEMS WILL NOT BE PERMITTED.
- 22.ALL EXISTING SIGNS IN THE CONTRACT AREA ARE TO REMAIN INTACT. SIGNS DAMAGED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ANY SIGNS THAT REQUIRE RESETTING SHALL BE PLACED IN A FINAL POSITION DETERMINED BY THE OWNER. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR SIGNS DAMAGED BY HIS OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO BURIED AND OVERHEAD UTILITIES LOCATED ON PUBLIC AND PRIVATE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO FACILITIES ON PUBLIC AND PRIVATE PROPERTY, SUCH AS, LANDSCAPING, DRIVEWAYS, CURBS, PAVEMENT, SIDEWALK, ETC.
- 23. CONTRACTOR IS RESPONSIBLE TO COORDINATE AND VERIFY THE EXTENT OF ALL DEMOLITION WITH THE ENGINEER PRIOR TO PERFORMING THE WORK.
- 24.CONTRACTOR SHALL RESTORE STAGING AREA BACK TO ITS ORIGINAL CONDITION INCLUDING GRADING, SEEDING ETC. EXISTING TREES, UTILITIES, LIGHT POLES, STONE, SIDEWALK, CURB, ETC. SHALL BE PROTECTED AND REPLACED IF DAMAGED. PROVIDE ELECTRICAL POWER, WATER, TELEPHONE, ETC. AS SPECIFIED FOR THE ENGINEERS TRAILER WHICH SHALL BE LOCATED IN THE STAGING AREA.

#### SURVEY NOTES

- 1. HORIZONTAL COORDINATES SHOWN HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), NEW YORK STATE PLANE COORDINATE SYSTEM, NEW YORK EAST ZONE 3101.
- 2. VERTICAL ELEVATIONS SHOWN HEREON REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) WHICH IS BASED ON THE UNITED STATES COAST & GEODETIC SURVEY MEAN SEA LEVEL AT SANDY HOOK, NEW JERSEY.
- 3. LOCATION OF UTILITIES AS SHOWN ARE BASED UPON MAP TITLED "PARTIAL TOPOGRAPHICAL AND UTILITY SURVEY OF RYE PLAYLAND PARK" BY LKB LAST UPDATED SEPTEMBER 8, 2017.

4. LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS SURVEY ARE APPROXIMATE. RLT

- ENGINEERING, GEOLOGY, AND LAND SURVEYING, P.C., CANNOT GUARANTEE THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES. THE STANDARD OF CARE USED BY RLT ENGINEERING GEOLOGY, AND LAND SURVEYING, P.C. TO LOCATE THE UTILITIES IS REASONABLE AND CONSISTENT WITH THE LOCAL STANDARD OF CARE USED TO LOCATE THE UNDERGROUND UTILITIES. LOCATIONS AND SIZE ARE BASED ON UTILITY MARK-OUTS, AS-BUILT MAPS AND OTHER VISIBLE SURFACE EVIDENCE OBSERVED IN THE COURSE OF THIS SURVEY. PRIOR TO EXCAVATION OR CONSTRUCTION THE LOCATION, SIZE AND TYPE OF ALL UNDERGROUND UTILITY LOCATIONS MUST BE VERIFIED BY THE RESPECTIVE UTILITY COMPANY.
- 5. THE SUBJECT PROPERTY OF RYE PLAYLAND PARK FALLS WITHIN FEMA FLOOD ZONES AE (EL 12), AE (EL 13), VE (EL 14), VE (EL 15), VE (EL 16), VE (EL 17) AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL #36119C0358 F EFFECTIVE DATE SEPTEMBER 28, 2007 AND FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL #36119C0356 F EFFECTIVE DATE SEPTEMBER 28, 2007. FEMA ELEVATIONS REFER TO NAVD88."

#### DEMOLITION NOTES:

- 1. ALL REQUIRED DEMOLITION PERMITS MUST BE OBTAINED FROM ALL REQUIRED AGENCIES PRIOR TO COMMENCEMENT OF WORK.
- 2. ANY ASBESTOS REMOVAL MUST BE DONE BY A CERTIFIED ASBESTOS REMOVAL CONTRACTOR.
- 3. ALL UTILITY COMPANIES MUST BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF DEMOLITION.
- 4. FOR ALL UTILITIES, CONTRACTOR SHALL VERIFY DISCONNECT PRIOR TO DEMOLITION.
- 5. PROPER FENCING OR PUBLIC PROTECTION DEVICES MUST BE CONSTRUCTED AND MAINTAINED AROUND THE PERIMETER OF THE SITE AT ALL TIMES DURING DEMOLITION PHASE.
- 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL DUST, DIRT, AND DEBRIS DURING DEMOLITION AND CONSTRUCTION PHASES.
- 7. IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION / CONSTRUCTION, ALL WORK SHALL STOP AND THE COUNTY DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE CONTRACTOR HAS OUTLINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL.
- 8. WHERE EXISTING CURB, GUTTER, SIDEWALK OR WALK IS TO BE REMOVED, IT SHALL BE SAW CUT OR REMOVED AT THE NEAREST JOINT.
- 9. THE CONTRACTOR SHALL PERFORM DAILY CLEANUP OPERATIONS WHICH INCLUDE SWEEPING OF THE ROADWAYS, REMOVAL OF DEBRIS (CUPS, PAPER BAGS, CANS, ETC.), REMOVAL OF EXCESS CONSTRUCTION MATERIALS. ALL TO THE SATISFACTION OF THE OWNER.
- 10.THE CONTRACTOR SHALL CONFORM TO ALL STATE AND LOCAL RULES, REGULATIONS AND LAWS WHICH SHALL GOVERN THE HAULING AND DISPOSING OF TREES, SHRUBS, STUMPS, ROOTS, RUBBISH, DEBRIS AND OTHER MATTER
- 11.NO TREES, SHRUBS, ROOTS, BRANCHES, WOOD, CONCRETE OR OTHER DEBRIS SHALL BE BURIED IN FILLS, EMBANKMENTS OR STOCK PILES.
- 12.NO CLEARED MATTER, DEBRIS SHALL BE STORED AT THE CONSTRUCTION SITE.
- 13.CONTRACTOR SHALL GUARANTEE THAT WORK PERFORMED UNDER THIS CONTRACT WILL NOT PERMANENTLY DAMAGE TREES, SHRUBS, TURF OR PLANTS DESIGNATED TO REMAIN, OR OTHER ADJACENT WORK OR FACILITIES. IF DAMAGE RESULTING FROM CONTRACTOR'S OPERATIONS APPEARS DURING THE PERIOD UP TO 24 MONTHS AFTER COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REPLACE DAMAGED ITEMS AT HIS EXPENSE
- 14.DAMAGE TO ANY EXISTING ITEMS, NOT SHOWN IN CONTRACT DOCUMENTS TO BE REMOVED, SUCH AS PAVEMENT, GRASSED AREAS, UTILITIES, STRUCTURES OR OTHER FACILITIES SHALL BE REPAIRED BY THE CONTRACTOR IMMEDIATELY AT HIS OWN EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER. ALL ASPHALT PAVEMENTS, GRASSED AREAS AND LANDSCAPING THAT ARE DAMAGED OR DISTURBED SHALL BE RESTORED IN ACCORDANCE WITH APPLICABLE SECTIONS ON THE CONTRACT SPECIFICATIONS.
- 15.EXCEPT AS NOTED BELOW, CONTRACTOR SHALL REMOVE FROM THE SITE AND SATISFACTORILY DISPOSE OF ALL TREES, SHRUBS, ROOTS, BRUSH, MASONRY, RUBBISH, SCRAP, DEBRIS, PAVEMENT, CURBS. FENCES AND MISCELLANEOUS OTHER ITEMS NOT COVERED UNDER OTHER SECTIONS AS SHOWN, SPECIFIED OR OTHERWISE REQUIRED TO PERMIT CONSTRUCTION OF NEW WORK.
- 16.BURNING OF MATERIAL IS EXPRESSLY FORBIDDEN.
- 17.TREES AND SHRUBS TO BE SAVED:
- A. TREES AND SHRUBS WHICH ARE TO REMAIN SHALL BE PROTECTED BY FENCES, BARRICADES, WRAPPING OR OTHER MEANS OF PROTECTION. EQUIPMENT STORAGE, MATERIAL STOCKPILES, ETC., SHALL NOT BE PERMITTED WITHIN TREE BRANCH SPREAD
- B. PROTECT ALL OTHER TREES AND SHRUBS FROM DEFACEMENT, INJURY AND DESTRUCTION. PRESERVE TREES WITHIN THE CONTRACT LIMITS THAT ARE SO DELINEATED ON THE PLANS OR AS MARKED IN THE FIELD BY THE ENGINEER. ALSO, ALL TO BE SAVED SHALL BE PROTECTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS
- C. DO NOT CUT ROOTS UNNECESSARILY: HANDWORK OR OTHER METHODS SHALL BE IMPLEMENTED TO PREVENT DAMAGE TO ROOTS WHICH EXTEND INTO GRADING LIMITS OR LIMITS OF EXCAVATION. DISTURB ROOTS AS LITTLE AS POSSIBLE WHEN TUNNELING UNDER TREES. BACKFILLING AROUND TREE ROOTS SHALL BE DONE IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION IN THE VICINITY OF TREES.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL VEGETATION FROM DAMAGE RESULTING FROM EMISSIONS FROM MOTORIZED EQUIPMENT.
- E. CONTRACTOR SHALL BE VIGILANT OF ANY OVERHEAD UTILITY LINES WHEN USING AERIAL EQUIPMENT FOR TREE TRIMMING OPERATIONS.
- F. DURING WORKING OPERATION, PROTECT THE TRUNK, FOLIAGE, AND ROOT SYSTEM OF ALL TREES TO BE SAVED WITH BOARDS OR OTHER GUARDS AND AS REQUIRED TO PREVENT DAMAGE, INJURY AND DEFACEMENT. DO NOT PILE EXCAVATED MATERIAL ADJACENT TO THE BASE OF ANY TREES. DO NOT ALLOW RUNDER TO ACCUMULATE AROUND BASE OF TREES. DO NOT FASTEN OR ATTACH ROPES, CABLE OR GUY WIRES TO TREES WITHOUT PERMISSION OF THE ENGINEER. WHEN SUCH PERMISSION IS GRANTED. PROTECT THE TREE BEFORE MAKING FASTENING OR ATTACHMENTS BY PROVIDING BURLAP WRAPPING AND SOFTWOOD CLEATS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE RESULTING FROM THESE ACTIONS. USE OF AXES OR CLIMBING SPURS FOR TRIMMING WILL NOT BE PERMITTED. PROVIDE CLIMBING ROPES DURING TRIMMING.
- G. REMOVE SHRUBS TO BE SAVED, TAKING A SUFFICIENT EARTH BALL AT THE ROOTS TO MAINTAIN THE SHRUB. TEMPORARILY REPLANT IF REQUIRED, AND REPLACE AT THE COMPLETION OF CONSTRUCTION IN CONDITION EQUALING THE ORIGINAL.
- H. TREE AND SHRUB REPAIR WHERE REQUIRED SHALL BE PERFORMED BY A TREE SURGEON.
- I. TREES AND SHRUBS INTENDED TO REMAIN WHICH ARE DAMAGED BEYOND REPAIR BY CONSTRUCTION. SHALL BE REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.

#### SITE NOTES:

- 1. THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION(OSHA). 2. HIGHWAY DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD,
- DEBRIS ETC. AT ALL TIMES. 3. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING INFORMATION.
- 4. THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
- 5. IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING IF REQUIRED.
- 6. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN A MINIMUM OF 2' OF COVER OVER ALL EXISTING AND NEW STORM AND SANITARY PIPES DURING CONSTRUCTION.
- 7. ALL EXISTING SURFACE APPURTENANCES (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE.
- 8. UNLESS COVERED BY THE CONTRACT SPECIFICATIONS OR AS NOTED ON THE PLANS, ALL WORK SHALL CONFORM TO THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED JANUARY 1, 2020 AND ANY SUBSEQUENT APPENDICES.

CONSULTANT INFORMATION LIRo Engineers, Inc. A LiRo Group Company Mineola, N.Y. 516-746-2350[T]	CONSULTANT SEAL					
Mineola, N.Y. 516-746-2350[T]	PROFESSIONAL ENGINE	REVISION NUMBER	DATE	MADE	APP'D By	

#### UTILITY NOTES:

- 1. APPROXIMATE LOCATION OF KNOWN UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER. THE CONTRACTOR IS ADVISED TO VERIFY IN FIELD ALL THE FACTS CONCERNING THE UTILITY LOCATIONS AND OTHER CONSTRUCTION OBSTACLES PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES WHICH MAY AFFECT PROJECT DESIGN AND/OR SCOPE.
- 2. ALL ABANDONED WATER LINES SHALL BE CUT AND CAPPED IN ACCORDANCE WITH WESTCHESTER COUNTY REQUIREMENTS.
- 3. TRENCH DETAILS ARE INTENDED TO PROVIDE INFORMATION REGARDING BACKFILLING MATERIALS AND GENERAL MATERIAL DEPTHS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND SHALL PROVIDE APPROPRIATE SAFETY MEASURES. SHEETING AND BRACING AS NECESSARY. SHEFTING CONDITIONS ARE TO BE DESIGNED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. TH DESIGN ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR FIELD CONDITIONS, TRENCHING OR BACKFILLING OPERATIONS DURING CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA STANDARDS AND DETAILS FOR TRENCH EXCAVATION.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND PRECLUDING PONDING OF WATER IN ALL AREAS. DEWATERING OPERATIONS SHALL BE IN ACCORDANCE WITH NYSDEC REGULATIONS, THE PROJECT STORMWATER POLLUTION PREVENTION PLAN AND WESTCHESTER COUNTY.
- 5. THE CONTRACTOR SHALL COMPLY WITH THE LATEST OSHA CONFINED SPACE ENTRY REQUIREMENTS (29 CFR PART 1910).
- 6. THE CONTRACTOR SHALL COMPLY WITH THE LATEST REVISED OSHA SHEETING REQUIREMENTS (29 CFR PART 1926.650, 651, 652).
- 7. ALL EXISTING UTILITIES THAT ARE TO REMAIN IN SERVICE AND THAT INTERFERE WITH THE WORK SHALL BE RELOCATED UNLESS OTHERWISE SHOWN.
- 8. ALL ABANDONED PIPES SHALL BE PLUGGED, REMOVED, CRUSHED OR FILLED WITH A SUITABLE MATERIAL AS DIRECTED BY THE ENGINEERS, ABANDONED PIPES 12" INSIDE DIAMETER AND LARGER MUST BE REMOVED, FILLED OR CRUSHED IN PLACE. SMALLER PIPES SHALL BE PLUGGED AND ABANDONED IN PLACE UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- 9. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO DETERMINE THEIR SCHEDULE FOR PERFORMING UTILITY RELOCATION AND INSTALLATION WORK. THE CONTRACTOR SHALL SCHEDULE THEIR WORK ACCORDINGLY IN ORDER TO NOT INTERFERE WITH THE WORK OF THE UTILITY COMPANIES
- 10. TRENCHES SHALL BE BACKFILLED WITHOUT DELAY. OPEN TRENCHES SHALL BE TEMPORARILY SUPPORTED AND STEEL PLATED WHEN WORK IS NOT IN PROGRESS. CONTRACTOR MUST ENSURE NO TRENCHES ARE LEFT OPEN OVERNIGHT. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF STEEL PLATES THAT ARE CAPABLE OF SAFELY SUPPORTING THE SUBJECTED LOADS. 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY LIGHTING WITHIN THE LIMITS
- OF CONSTRUCTION AND FOR ALL AREAS WHERE WHERE EXISTING STREET AND AREA LIGHTING SHUT-DOWN IS REQUIRED TO INSTALL NEW LIGHTING AND ELECTRICAL SERVICE. 12. ALL CMP PIPES SHALL FOLLOW NYSDOT SECTION 602-2 AND 707.02, BE HELICAL BITUMINOUS
- COATED, SHALL HAVE GASKETED AND BANDED JOINTS AND BE OF THE FOLLOWING PIPE GAUGES UNLESS OTHERWISE SPECIFIED. 10" TO 21" - 14 GAUGE
- 24" TO 30" 12 GAUGE 30" TO 60" – 10 GAUGE
- 13. IN INSTANCES WHERE THE STORM SEWER CROSSES THE SANITARY SEWER A CRUSHED STONE ENCASEMENT SHALL BE PROVIDED AROUND THE SANITARY SEWER UP TO THE STORM SEWER-COMPACT WITH APPROVED EQUIPMENT
- 14. ALL CATCH BASINS AND STORM MANHOLES WITHIN PAVEMENT TO BE CONSTRUCTED TO WITHSTAND H-20 LOADING.
- 15. ALL EXISTING CATCH BASINS WITHIN WORK LIMITS TO BE CLEANED OF ANY DEBRIS OR SILT.

### GRADING NOTES:

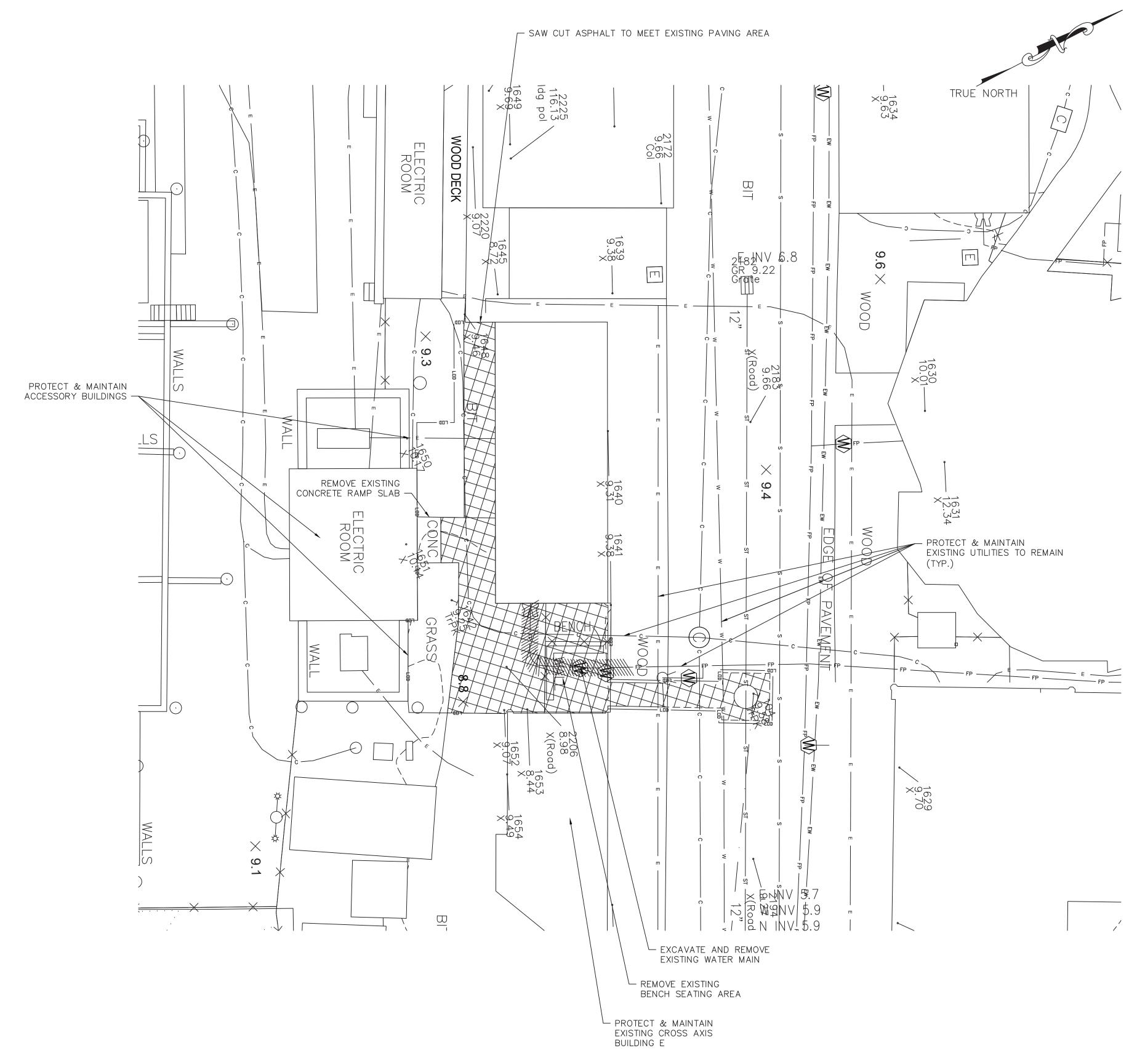
- 1. REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 4" DEPTH. ALL DISTURBED AREAS TO BE HYDROSEEDED AS DIRECTED BY THE CONSTRUCTION MANAGER.
- 2 CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS, INCLUDING SILT SINK AND SILT FENCE. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE VEGETATION HAS OCCURRED COMPLETELY.
- 3. ALL SILT FENCE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AS DIRECTED BY THE ENGINEER.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- 5. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, WESTCHESTER COUNTY HEALTH DEPARTMENT, AND THE CITY OF RYE REQUIREMENTS.
- 6. ALL INLETS TO THE STORM SEWER SHALL HAVE STONE DROP INLET PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE BEST MANAGEMENT PRACTICES (BMP'S) UNTIL GROUND COVER IS ESTABLISHED.
- 7. SILT FENCE, JUTE MESH, AND/OR EROSION CONTROL BLANKETS WILL BE USED ON STEEP SLOPES AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER OR SPECIFIED ON PLANS.
- 8. THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
- 9. ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH OR TEMPORARY SEEDING WITHIN 2 WEEKS OF DISTURBANCE.

### SOIL EROSION AND SEDIMENT CONTROL NOTES:

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN.
- 2. ANY DISTURBED AREAS THAT WILL NOT RECEIVE PERMANENT RESTORATION WITHIN TEN (10) DAYS AFTER FINAL GRADING, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY COVER. THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- 3. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN THE STATE OF NEW YORK.
- 5. A SUB-BASE COURSE DETAIL WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE ROADS, DRIVEWAYS PARKING AREAS AND SIDEWALKS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- 6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.; STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY COVER OF STRAW MULCH OR A SUITABLE EQUIVALENT AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NYS STANDARDS.
- 7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.; SLOPES GREATER THAN 3:1).
- 8. IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, ANY SOIL HAVING A pH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A pH OF 5 OR GREATER PRIOR TO SEEDBED PREPARATION.
- 9. WESTCHESTER COUNTY AND THE ENGINEER, SHALL BE NOTIFIED 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- 10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED. ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER. SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED
- 11. THE CONTRACTOR SHALL TAKE NECESSARY MEASURES TO MAINTAIN DUST CONTROL. DIRT HAUL ROADS SHALL BE SPRINKLED WITH WATER OR GIVEN A SURFACE OF CRUSHED STONES OR WOOD CHIPS AS REQUIRED. VEHICLES SHALL BE CLEANED, AS NECESSARY, PRIOR TO USING PUBLIC STREETS. PAVED ROADS SHALL BE SPRINKLED WITH WATER.
- 12. ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE LOCATED IN THE FIELD AS REQUIRED OR AT THE DIRECTION OF THE ENGINEER. THE CONTRACT DRAWING ARE NOT INTENDED TO SHOW THE LOCATION AND DETAILS FOR ALL SUCH DEVICES BUT ARE TO BE USED AS A REASONABLE
- 13. ANY CHANGES TO THE SOIL AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO WESTCHESTER COUNTY AND THE ENGINEER. THE REVISED PLANS MUST BE PREPARED BY THE CONTRACTOR AND MUST MEET ALL CURRENT NYS SOIL EROSION AND SEDIMENT CONTROL PRACTICES.
- 14. CONTRACTOR SHALL OBTAIN ALL REQUIRED SEDIMENT CONTROL PERMITS.
- 15. UPON COMPLETION OF CONSTRUCTION WORK AND AFTER FINAL GRADING AND WHEN PERMANENT STABILIZATION HAS BEEN ESTABLISHED, STRAW BALES, SILT FENCES AND ALL OTHER SOIL PLAN APPURTENANCES WILL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR, UNLESS ORDERED TO REMAIN BY THE ENGINEER.
- 16. ALL EXCESS EXCAVATED MATERIAL, EXCEPT FOR TOP SOIL, WILL BE REMOVED FROM THE SITE BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 17. CONDUIT OUTLETS AND CATCH BASIN INLETS MUST BE PROTECTED PRIOR TO START OF CONSTRUCTION.
- 18. THE CONTRACTOR SHALL PROVIDE A DETAILED SEQUENCE OF CONSTRUCTION OPERATIONS FOR REVIEW AND SUBMITTAL TO WESTCHESTER COUNTY AND THE ENGINEER.
- 19. THE CONTRACTOR SHALL MEET ENGINEER ON-SITE TO DEFINE THOSE AREAS WHICH WILL REQUIRE SOIL EROSION AND SEDIMENT CONTROL FACILITIES, DISCUSS THEIR CONSTRUCTION AND THEREAFTER PROVIDE DETAILED PLANS FOR REVIEW OF SUCH FACILITIES BY WESTCHESTER COUNTY AND THE FNGINFFR.
- 20. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE WHERE POSSIBLE PRIOR TO, OR IMMEDIATELY FOLLOWING SITE AND ACCESS CLEARING.
- 21. ALL SOIL FROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE AND MAINTAINED: INCLUDING SILT AND SEDIMENT REMOVAL, UNTIL CONSTRUCTION IS COMPLETED, AREA STABILIZED AND
- 22. CONTRACTOR SHALL CONFINE SOIL DISTURBANCE ACTIVITY TO THE AREAS CONTAINED WITHIN THE "LIMIT OF DISTURBANCE" LINES EXCEPT AS DIRECTED BY THE ENGINEER AND IN ACCORDANCE AND COORDINATION WITH ADJACENT CONTRACTS. SUCH ACTIVITY SHALL SHALL ESSENTIALLY CONSIST OF CLEARING, GRUBBING, GRADING AND CONSTRUCTION IN AREAS DEFINED AS BUILDINGS, PIPELINE, PARKING AREAS, DRIVES AND WALKWAYS OR AS MAY BE REQUIRED DUE TO GRADE CHANGES OR RETAINING WALLS.
- 23. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. SEDIMENT FILTER SHALL BE INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE DETAILS OF DESIGN AND CONSTRUCTION SHALL PREPARED AND SUBMITTED BY THE CONTRACTOR TO THE ENGINEER, AND ALL OTHER PERTINENT AGENCIES FOR REVIEW.
- 24. SOIL STABILIZATION METHODS SHALL BE UNDERTAKEN COINCIDENTALLY WITH ALL SITE IMPROVEMENTS AND CONTINUE DURING THE CONSTRUCTION ACTIVITY PERIOD.
- 25. THE LIMITS OF FENCING FOR TREE PROTECTION WILL BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION AND WILL INCLUDE THE TREE CANOPY.
- 26. COMPLY WITH GENERAL PERMIT GP-0-20-001. AS OUTLINED IN THE STORM WATER PREVENTION PLAN (SWPPP).

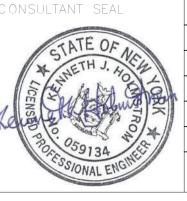
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VESTCHESTER COUNTY, NEW YORK PARTMENT OF PUBLIC WORKS AND TRANSPORTATION CXD-C-01 22-523 DIVISION OF ENGINEERING 244 of 664 INFRASTRUCTURE REHABILITATION PHASE 3 ALE: -PLAYLAND PARK, RYE, NEW YORK 08/23/2022 CROSS AXIS BUILDING D GENERAL NOTES 1-118-C-993-0

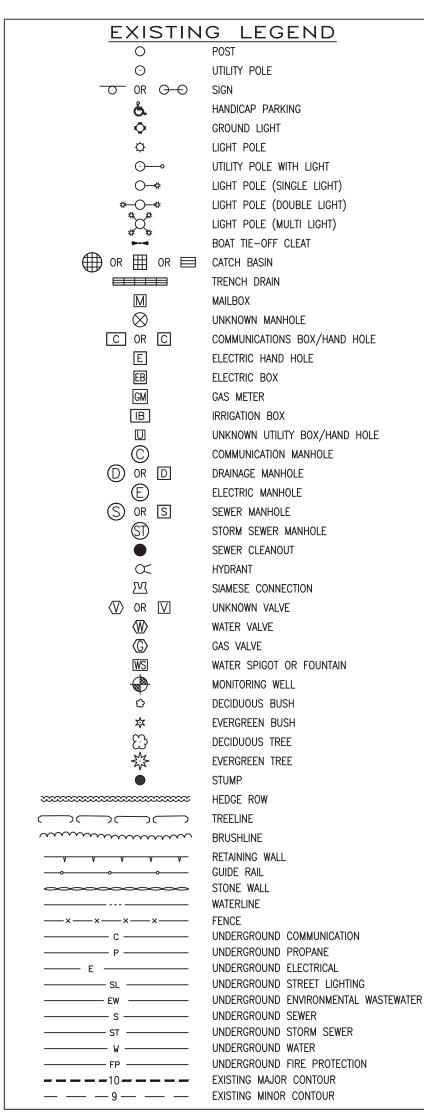








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---- SAW CUTTING ASPHALT CONCRETE LIMITS OF DISTURBANCE LIMITS OF PAVEMENT REMOVAL

AREA OF ASPHALT PAVEMENT REMOVAL (FULL DEPTH & EXCAVATION)

DRAINAGE STRUCTURE INLET

 $\otimes$ 

PIPE REMOVAL 

PROTECTION

#### NOTES:

1. PAVEMENT REMOVAL, MILLING AND EXCAVATION, MATERIAL SHALL NOT BE STOCKPILED ON SITE.

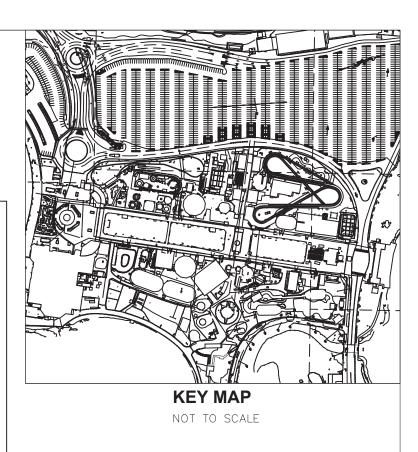
2. EXISTING GRADES, PIPE LOCATIONS, SIZES, MATERIAL, INVERTS AND OTHER EXISTING CONDITIONS ARE SHOWN ON THE DRAWINGS FROM AVAILABLE AS-BUILT DRAWINGS AND FIELD SURVEY BY OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.

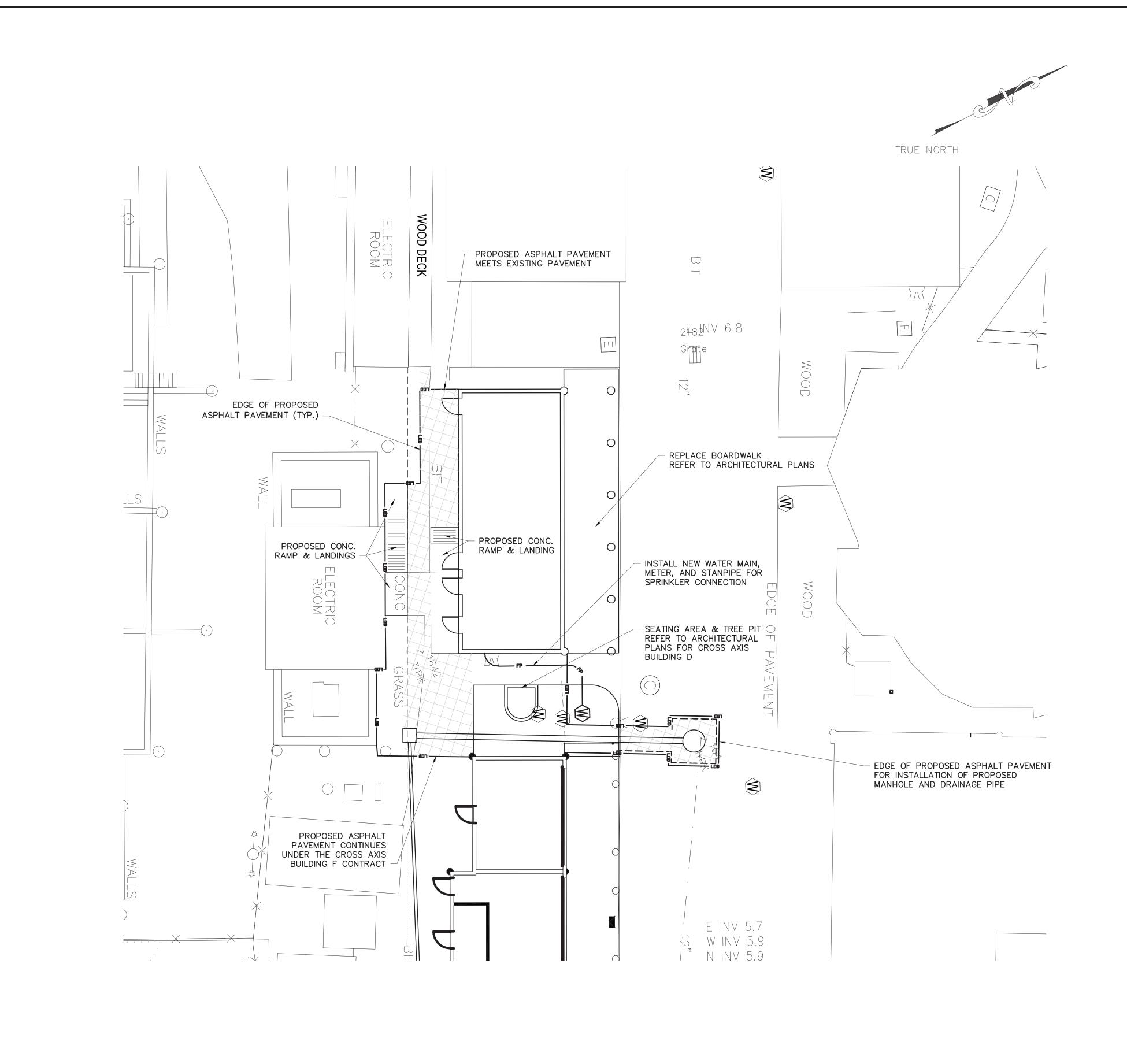
3. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE ANY EXISTING SITE CONDITIONS SPECIFICALLY EXCLUDED FROM THE CONTRACT AND WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE OCCURRING DURING THE COURSE OF THE WORK DURING CONSTRUCTION. THE CONTRACTOR SHALL, AT THEIR OWN EXPENSE, MAKE ALL REPAIRS REQUIRED TO RESTORE ANY DAMAGED AREAS TO ORIGINAL CONDITIONS.

#### ESTCHESTER COUNTY, NEW YORK PARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING

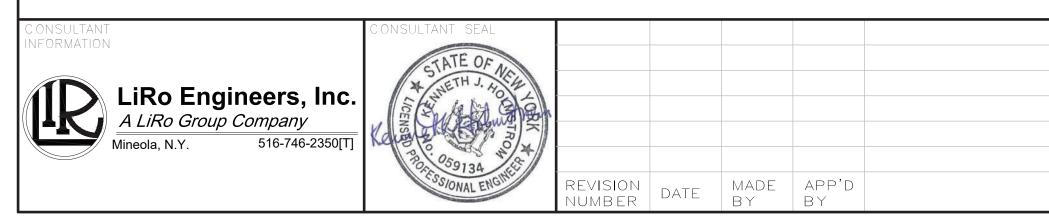
**INFRASTRUCTURE REHABILITATION PHASE 3** PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D **EXISTING CONDITIONS/DEMOLITION PLAN** 

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1'=10' SCALE BAR	
CONTRACT SHEET NUMBER NUMBER	
22-523 CXD-C-02	
DWG NO.: 245 of 664	
SCALE: 1"=10'	
DATE: 08/23/2022	
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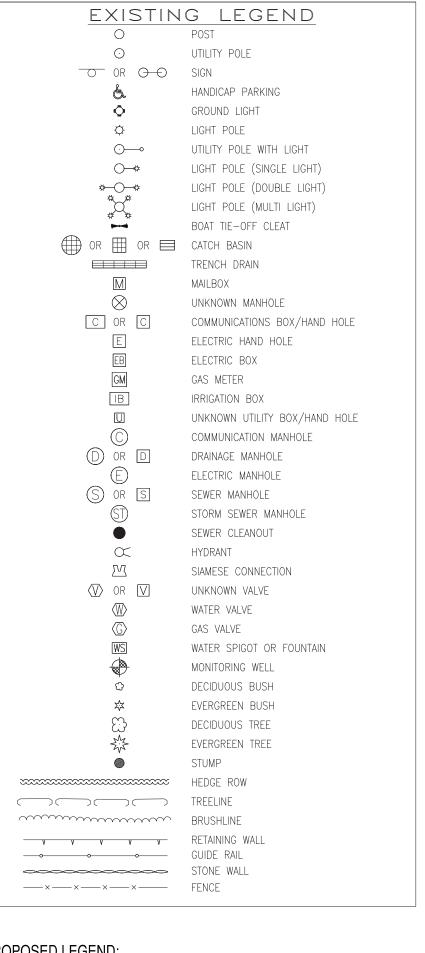




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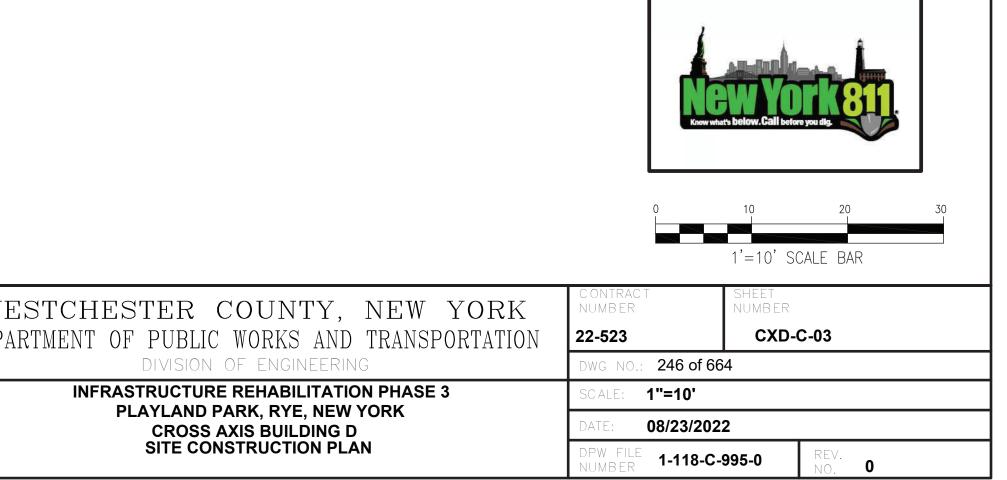


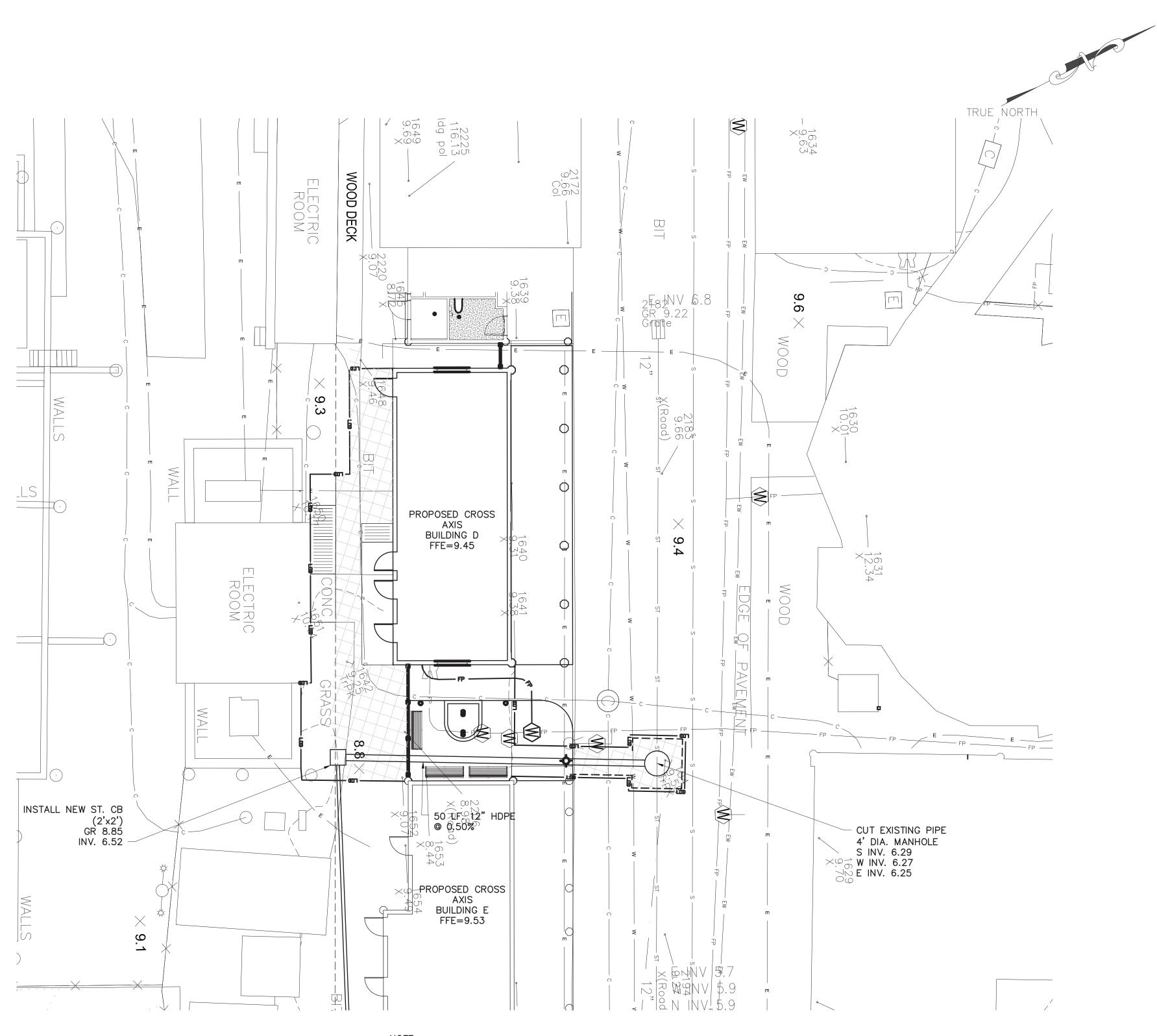
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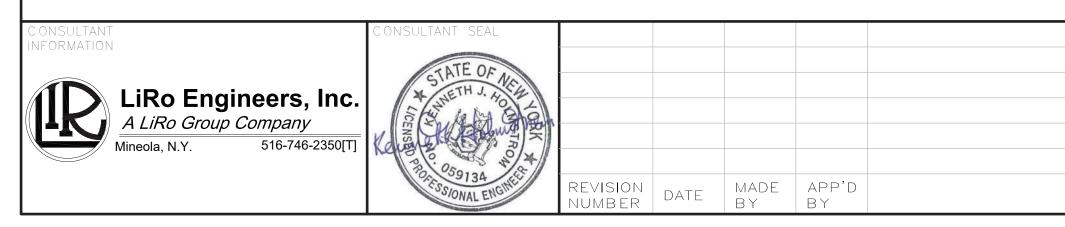
#### PROPOSED LEGEND:

x	MOVABLE CONSTRUCTION FENCE
	SAW CUTTING ASPHALT CONCRETE
LOD	LIMITS OF DISTURBANCE
	LIMITS OF PAVEMENT REMOVAL
	AREA OF FULL DEPTH ASPHALT PAVEMENT
	DRAINAGE STRUCTURE INLET PROTECTION





<u>NOTE:</u> NO WATER AND SEWER SUPPLY NEEDED FOR THIS BUILDING. SEE FIRE PROTECTION PLAN FOR DETAILS



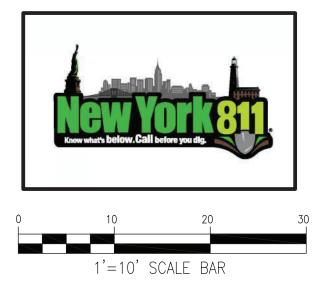
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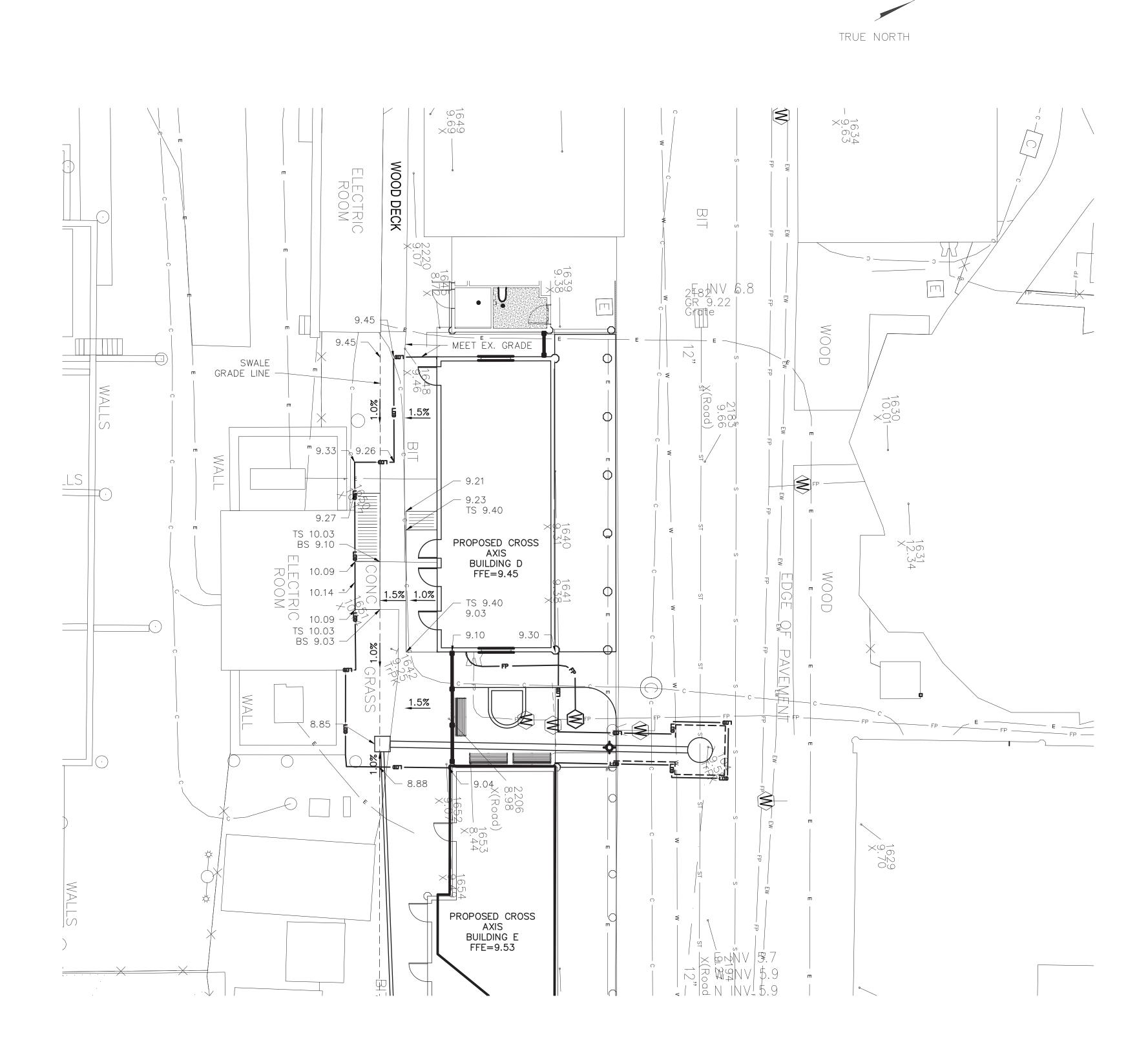
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	– NAME	SIGNATURE	PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022		
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E	ELECTRIC HAND HOLE
EB	ELECTRIC BOX
GM	GAS METER
IB	IRRIGATION BOX
	UNKNOWN UTILITY BOX/HAND HOLE
	COMMUNICATION MANHOLE
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zýz	EVERGREEN BUSH
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Е	UNDERGROUND ELECTRICAL
SL	UNDERGROUND STREET LIGHTING
———— EW ————	UNDERGROUND ENVIRONMENTAL WASTEWATER
S	UNDERGROUND SEWER
ST W	UNDERGROUND STORM SEWER UNDERGROUND WATER
FP	UNDERGROUND FIRE PROTECTION

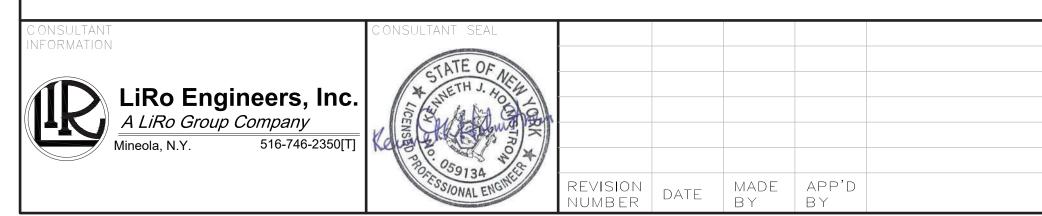
#### PROPOSED LEGEND:

	SAW CUTTING ASPHALT CONCRETE
LOD	LIMITS OF DISTURBANCE
	LIMITS OF PAVEMENT REMOVAL (MILLING & EXCAVATION)
	PROPOSED WATER LINE
	PROPOSED CATCH BASIN
	PROPOSED STORM PIPE
$\bigcirc$	PROPOSED SANITARY MANHOLE
	PROPOSED SANITARY PIPE
UGE	PROPOSED UNDERGROUND ELECTRIC





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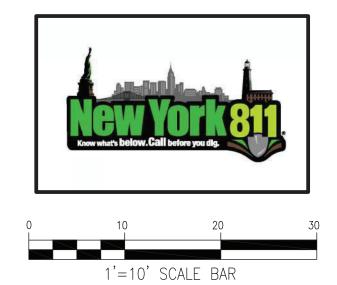


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***	LIGHT POLE (MULTI LIGHT) BOAT TIE-OFF CLEAT
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	TRENCH DRAIN
M	MAILBOX
$\otimes$	UNKNOWN MANHOLE
C OR C	COMMUNICATIONS BOX/HAND HOLE
E	ELECTRIC HAND HOLE ELECTRIC BOX
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	UNKNOWN UTILITY BOX/HAND HOLE
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——— Р ——— ——— Е ———	UNDERGROUND PROPANE UNDERGROUND ELECTRICAL
SL	UNDERGROUND STREET LIGHTING
EW	UNDERGROUND ENVIRONMENTAL WAST
S ST	UNDERGROUND SEWER UNDERGROUND STORM SEWER
W	UNDERGROUND WATER
	UNDERGROUND FIRE PROTECTION
<sub>×</sub> 415.50	EXISTING SPOT ELEVATION
TG=415.50	EXISTING TOP OF GRATE ELEVATION

### PROPOSED LEGEND:

	SAW CUTTING ASPHALT CONCRETE
Lao	LIMITS OF DISTURBANCE
	PROPOSED MAJOR CONTOUR
414	PROPOSED MINOR CONTOUR
9.30	PROPOSED SPOT ELEVATION
BS9.30 —	PROPOSED BOTTOM SWALE
TS9.30	TOP OF SLAB
$\bigotimes$	PROPOSED INLET PROTECTION



 ESTCHESTER COUNTY, NEW YORK
 CONTRACT
 SHEET

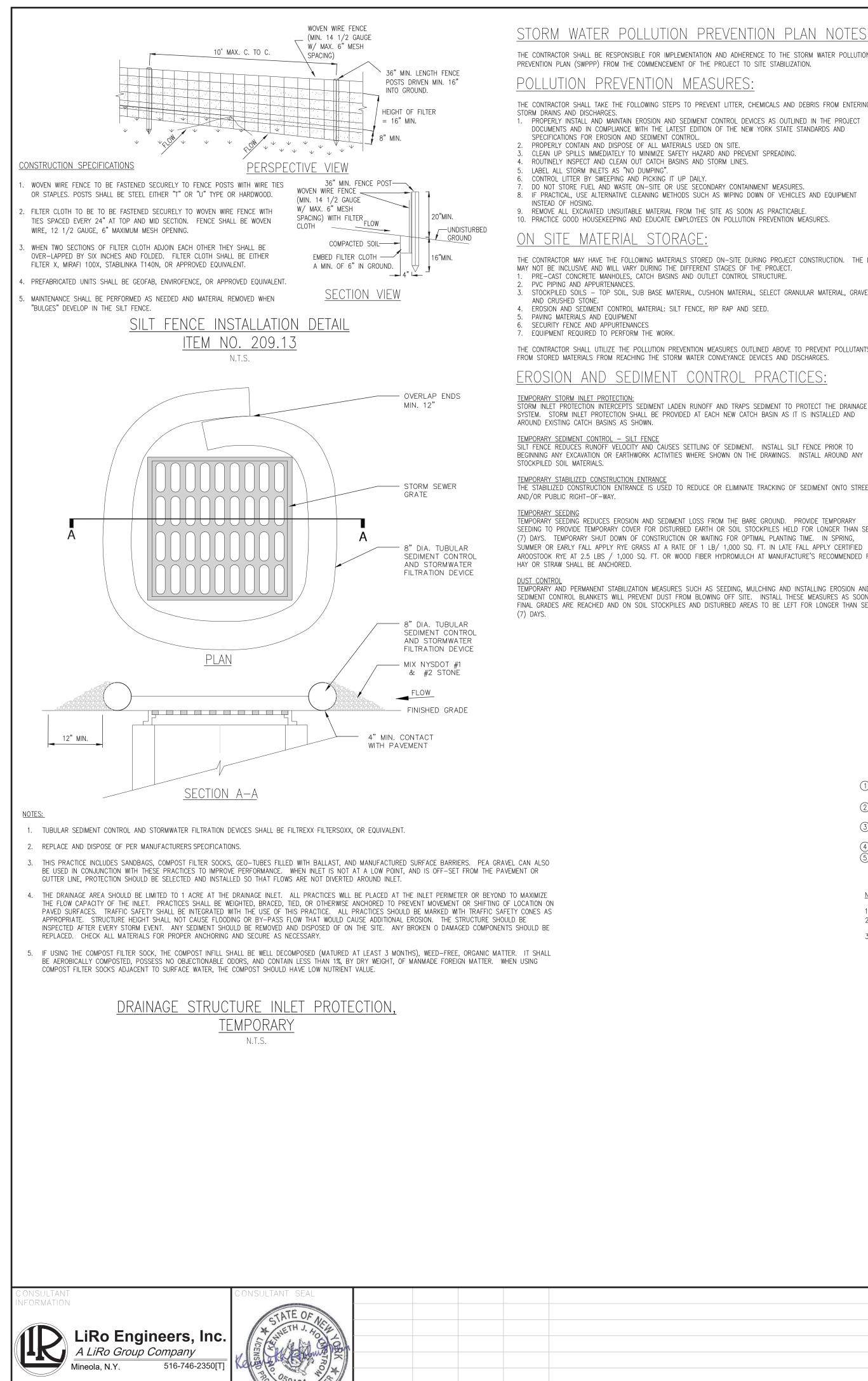
 PARTMENT OF PUBLIC WORKS AND TRANSPORTATION
 22-523
 CXD-C-05

 DIVISION OF ENGINEERING
 Dwg No.: 248 of 664
 SCALE: 1"=10'

 INFRASTRUCTURE REHABILITATION PHASE 3
 SCALE: 1"=10'
 DATE: 08/23/2022

 PLAYLAND PARK, RYE, NEW YORK
 DATE: 08/23/2022
 DPW FILE 1-118-C-997-0
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### STORM WATER POLLUTION PREVENTION PLAN NOTES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION AND ADHERENCE TO THE STORM WATER POLLUTION

THE CONTRACTOR SHALL TAKE THE FOLLOWING STEPS TO PREVENT LITTER, CHEMICALS AND DEBRIS FROM ENTERING

DOCUMENTS AND IN COMPLIANCE WITH THE LATEST EDITION OF THE NEW YORK STATE STANDARDS AND

8. IF PRACTICAL, USE ALTERNATIVE CLEANING METHODS SUCH AS WIPING DOWN OF VEHICLES AND EQUIPMENT 9. REMOVE ALL EXCAVATED UNSUITABLE MATERIAL FROM THE SITE AS SOON AS PRACTICABLE. 10. PRACTICE GOOD HOUSEKEEPING AND EDUCATE EMPLOYEES ON POLLUTION PREVENTION MEASURES.

THE CONTRACTOR MAY HAVE THE FOLLOWING MATERIALS STORED ON-SITE DURING PROJECT CONSTRUCTION. THE LIST

STOCKPILED SOILS - TOP SOIL, SUB BASE MATERIAL, CUSHION MATERIAL, SELECT GRANULAR MATERIAL, GRAVEL

THE CONTRACTOR SHALL UTILIZE THE POLLUTION PREVENTION MEASURES OUTLINED ABOVE TO PREVENT POLLUTANTS FROM STORED MATERIALS FROM REACHING THE STORM WATER CONVEYANCE DEVICES AND DISCHARGES.

STORM INLET PROTECTION INTERCEPTS SEDIMENT LADEN RUNOFF AND TRAPS SEDIMENT TO PROTECT THE DRAINAGE SYSTEM. STORM INLET PROTECTION SHALL BE PROVIDED AT EACH NEW CATCH BASIN AS IT IS INSTALLED AND

TEMPORARY SEDIMENT CONTROL – SILT FENCE SILT FENCE REDUCES RUNOFF VELOCITY AND CAUSES SETTLING OF SEDIMENT. INSTALL SILT FENCE PRIOR TO

THE STABILIZED CONSTRUCTION ENTRANCE IS USED TO REDUCE OR ELIMINATE TRACKING OF SEDIMENT ONTO STREETS

TEMPORARY SEEDING REDUCES EROSION AND SEDIMENT LOSS FROM THE BARE GROUND. PROVIDE TEMPORARY SEEDING TO PROVIDE TEMPORARY COVER FOR DISTURBED EARTH OR SOIL STOCKPILES HELD FOR LONGER THAN SEVEN (7) DAYS. TEMPORARY SHUT DOWN OF CONSTRUCTION OR WAITING FOR OPTIMAL PLANTING TIME. IN SPRING, SUMMER OR EARLY FALL APPLY RYE GRASS AT A RATE OF 1 LB/ 1,000 SQ. FT. IN LATE FALL APPLY CERTIFIED AROOSTOOK RYE AT 2.5 LBS / 1,000 SQ. FT. OR WOOD FIBER HYDROMULCH AT MANUFACTURE'S RECOMMENDED RATE.

TEMPORARY AND PERMANENT STABILIZATION MEASURES SUCH AS SEEDING, MULCHING AND INSTALLING EROSION AND SEDIMENT CONTROL BLANKETS WILL PREVENT DUST FROM BLOWING OFF SITE. INSTALL THESE MEASURES AS SOON AS FINAL GRADES ARE REACHED AND ON SOIL STOCKPILES AND DISTURBED AREAS TO BE LEFT FOR LONGER THAN SEVEN

# PHASING OF EROSION AND SEDIMENT CONTROL PRACTICES:

- 1. PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES ON THE SITE, THE CONTRACTOR SHALL MEET WITH THE OWNERS REPRESENTATIVE AND DESIGNER TO DISCUSS THE STORM WATER POLLUTION PREVENTION PLAN. PRIOR TO COMMENCING ANY EXCAVATION PROCEDURES, INSTALL SILT FENCE AS SHOWN ON THE PLANS.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE. 4. AS THE NEW CATCH BASINS ARE INSTALLED, PROVIDE TEMPORARY INLET PROTECTION.
- 5. AS SOIL MATERIAL IS EXCAVATED OR STOCKPILED, PROVIDE A SILT FENCE ENCLOSURE AROUND THE PILE. IF THE PILE IS TO REMAIN FOR LONGER THAN SEVEN (7) DAYS, TEMPORARILY SEED THE PILE. 6. DO NOT LEAVE DISTURBED AREAS NOT TO BE COVERED BY IMPERVIOUS SURFACE BARE FOR LONGER THAN SEVEN (7) DAYS, ROUGH GRADE THE AREAS AND TEMPORARILY SEED.
- AFTER FINAL GRADING OF VEGETATED AREAS. PROVIDE PERMANENT SEEDING. 8. UPON FINAL STABILIZATION OF THE SITE, REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES. INSPECT ALL PERMANENT EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT DEVICES. REPLACE ANY FAILING OR UNSATISFACTORY MEASURES. CLEAN ALL STORMWATER CATCH BASINS AND PIPING.

EROSION AND SEDIMENT CONTROL AND STORMWATER CONTROL DEVICE MAINTENANCE:

CONSTRUCTION DURATION ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSPECTED WEEKLY.

- SILT FENCE SHALL BE REPLACED WHEN TORN, IS BULGING OR NO LONGER MEETING THE INSTALLATION DETAILS. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION TO PREVENT TRACKING OF
- SEDIMENT ON TO ROADS AND PUBLIC RIGHTS-OF-WAY. INSPECT TOP DRESSING AND PROVIDE ADDITIONAL AGGREGATE AS NECESSARY. 3. DRAINAGE STRUCTURES AND PIPING SHALL BE CHECKED FOR CLOGGING AND SEDIMENT ACCUMULATION AND CLEANED IF REQUIRED.

PROJECT COMPLETION AT THE PROJECT COMPLETION AND PRIOR TO PROJECT CLOSE OUT, THE CONTRACTOR SHALL INSPECT ALL PERMANENT EROSION AND CONTROL AND STORMWATER MANAGEMENT PRACTICES. ACCEPTABLE VEGETATION ESTABLISHMENT IN ACCORDANCE WITH SPECIFICATIONS.

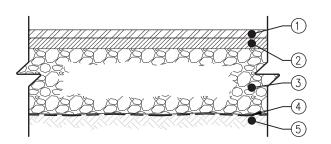
2. DRAINAGE STRUCTURES AND PIPING SHALL BE CHECKED FOR CLOGGING AND SEDIMENT ACCUMULATION AND CLEANED IF REQUIRED.

MAINTENANCE OF PERMANENT STORMWATER MANAGEMENT PRACTICES

1. DRAINAGE STRUCTURES AND PIPING SHALL BE CHECKED FOR CLOGGING AND SEDIMENT ACCUMULATION AND CLEANED IF REQUIRED.

SITE ASSESSMENT AND INSPECTIONS

COMPLY WILL ALL CONDITIONS INCLUDED IN THE SPDES PERMIT, PART III.D.3 THROUGH PART III.D.5. THE REQUIREMENTS IN THESE SUBSECTIONS OF THE SPDES PERMIT TAKE PRECEDENCE OVER NOTES ON THIS DRAWING AND ON THE EROSION AND SEDIMENT CONTROL PLAN WHERE CONTRADICTIONS BETWEEN THESE DRAWINGS AND THE SPDES PERMIT MAY ARISE.



1 2" TOP COURSE, 12.5 F2 TOP COURSE HMA, 80 SERIES COMPACTION NYSDOT ITEM 402.128204

2" BINDER COURSE, 25 F9 BINDER COURSE HMA, 80 SERIES COMPACTION NYSDOT ITEM 402.258904

(3) 4" SUBBASE COURSE, SUBBASE COURSE, TYPE 2 NYSDOT ITEM 304.12

(4) GEOTEXTILE SEPARATION NYSDOT ITEM 207.21

5 COMPACTED SUBGRADE

NOTES:

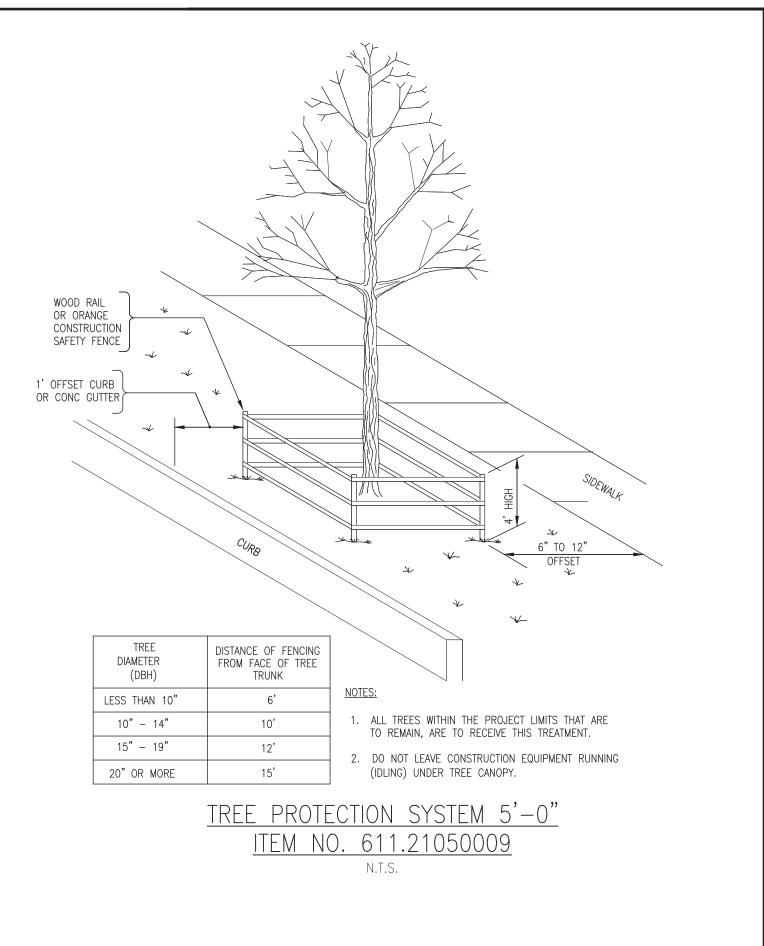
1. COMPACT SUBGRADE TO A MODIFIED PROCTOR DENSITY OF 95% 2. SUBBASE COURSE SHALL HAVE NO MORE THAN (7%) SEVEN PERCENT

BY WEIGHT FINER THAN NO. 200 SIEVE. 3. IMPRINTED PATTERN SHOWN IS FOR GRAPHICAL REPRESENTATIONS

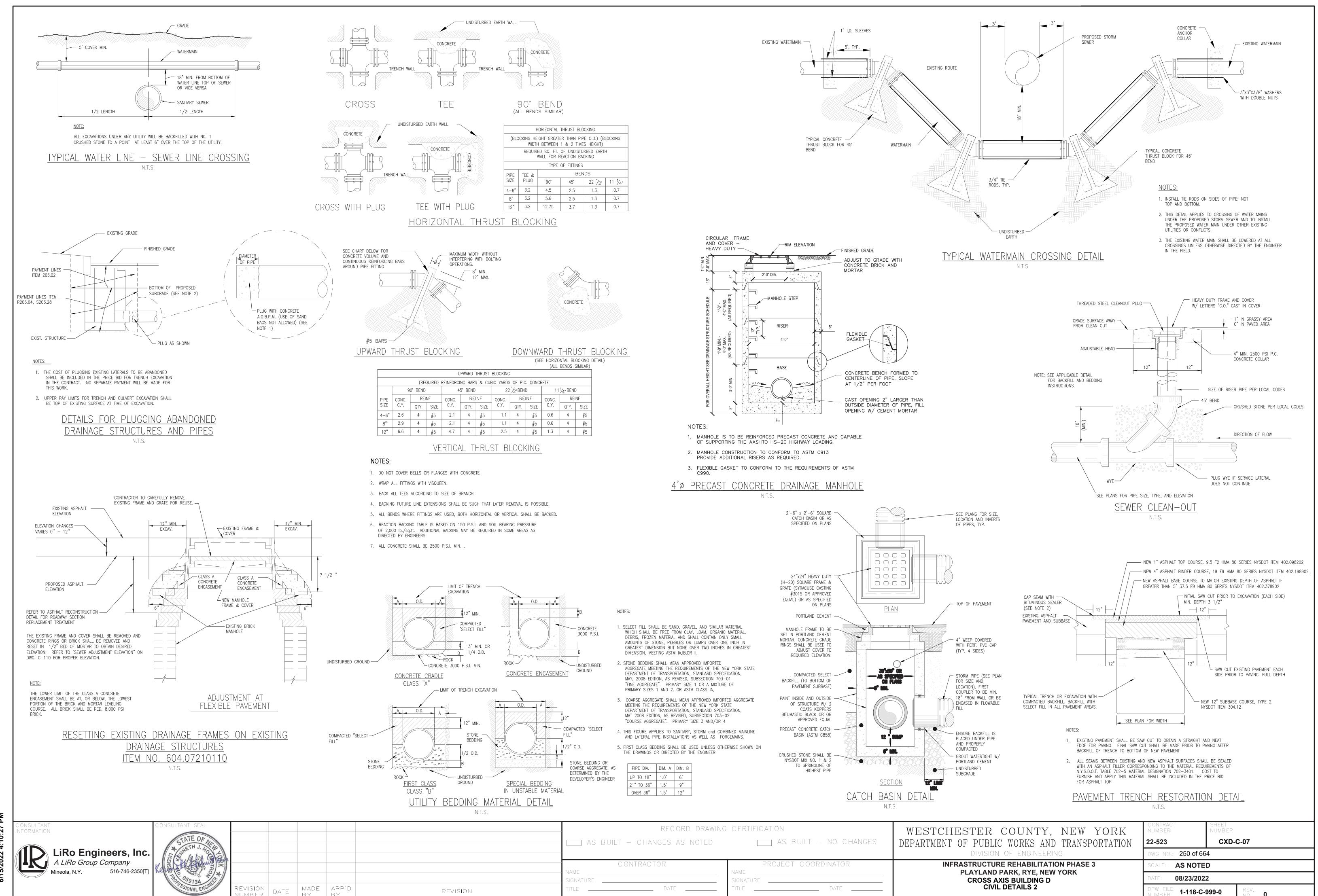
ONLY. ALL IMPRINTING/PATTERNING LAYOUTS AND POSITIONING SHALL BE APPROVED BY THE PROJECT ENGINEER PRIOR TO ACTUAL CONSTRUCTION.

ASPHALT PAVEMENT SECTION N.T.S.

		RECORD DRAWING	ING CERTIFICATION		WES
	AS BUILT	– CHANGES AS NOTED		AS BUILT – NO CHANGES	DEPAR
	NAME	CONTRACTOR	PRO. NAME	JECT COORDINATOR	
	SIGNATURE		SIGNATURE		
REVISION	TITLE	DATE	TITLE	DATE	
			-		-



ESTCHESTER COUNTY, NEW YORK		SHEET NUMBER	
ARTMENT OF PUBLIC WORKS AND TRANSPORTATION	22-523	CXD-C-06	
DIVISION OF ENGINEERING	DWG NO.: 249 of 664		
INFRASTRUCTURE REHABILITATION PHASE 3	SCALE: AS NOTED	)	
PLAYLAND PARK, RYE, NEW YORK CROSS AXIS BUILDING D	DATE: 08/23/2022		



UMBER DATE BY BY