



SLAM



CONCEPT IMAGE - SUBJECT TO CHANGE



IONA COLLEGE

NEW YORK PRESBYTERIAN  
IONA SCHOOL OF HEALTH SCIENCES

BRONXVILLE CAMPUS  
171 White Plains Rd.  
Bronxville, NY 10708

APPLICABLE CODES

Building	2020 Building Code of New York State (BCNYS), which is an amended version of the 2018 International Building Code (IBC)
	2020 Existing Building Code of New York State (EBCNYS), which is an amended version of the 2018 International Existing Building Code (IEBC)
Fire Code	2020 Fire Code of New York State (FCNYS), which is an amended version of the 2018 International Fire Code (IFC)
Accessibility	BCNYS Chapter 11 and Appendix E 2009 Edition of ICC A117.1, Accessible and Usable Buildings and Facilities 2010 ADA Standards for Accessible Design
Plumbing Code	2020 Plumbing Code of New York State (PCNYS), which is an amended version of the 2018 International Plumbing Code (IPC)
Mechanical Code	2020 Mechanical Code of New York State (MCNYS), which is an amended version of the 2018 International Mechanical Code (IMC)
Fuel Gas Code	2020 Fuel Gas Code of New York State (FCGNYS), which is an amended version of the 2018 International Fuel Gas Code (IFGC)
Energy Code	2020 Energy Conservation Construction Code of New York State (ECCCNYS), which is an amended version of the 2018 International Energy Conservation Code (IECC)
Electrical Code	2017 Edition of NFPA 70, National Electric Code, as referenced by BCNYS Chapter 35

LIST OF DRAWINGS

AD101 AD102 AD350 SD101	BASEMENT / LOWER LEVEL AND FIRST FLOOR DEMOLITION PLANS SECOND FLOOR DEMOLITION PLAN, SITE/SCAPE DEMOLITION DEMOLITION BUILDING ELEVATIONS - WINDOWS STRUCTURAL REINFORCEMENT
A350 A650	WINDOW REPLACEMENT - LOCATION PLAN, BUILDING ELEVATIONS WINDOW REPLACEMENT - STOREFRONT ELEVATIONS AND DETAILS
PDU100 PD101 PD102	PLUMBING DEMOLITION UNDERGROUND FLOOR PLAN PLUMBING DEMOLITION BASEMENT / LOWER LEVEL AND FIRST FLOOR PLANS PLUMBING DEMOLITION SECOND FLOOR AND ROOF PLANS
MD101 MD102	MECHANICAL DEMOLITION BASEMENT / LOWER LEVEL AND FIRST FLOOR PLANS MECHANICAL DEMOLITION SECOND FLOOR AND ROOF PLANS
ED101 ED102	ELECTRICAL DEMOLITION BASEMENT / LOWER LEVEL AND FIRST FLOOR PLANS ELECTRICAL DEMOLITION SECOND FLOOR AND ROOF PLANS



Owner:  
**Iona College**  
715 North Avenue  
New Rochelle, NY 10801

Owner's Representative:  
**JLL Project and  
Development Services**  
1 Station Place  
Stamford, CT 06902

Civil Engineer:  
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One North Broadway  
Suite 910  
White Plains, NY 10601

Architect / Landscape Architect / Structural Engineer:  
**S/L/A/M Architects, Landscape Architects & Engineers, P.C.**  
80 Glastonbury Boulevard  
Glastonbury, CT 06033

Mechanical / Electrical / Plumbing / Fire Protection / Technology:  
**CES Engineering, LLC**  
216 E. 45th St., 16th Fl.  
New York, NY 10017

Code Consultant:  
**Code Red Consultants, LLC**  
154 Turnpike Road, Suite 200  
Southborough, MA 01772

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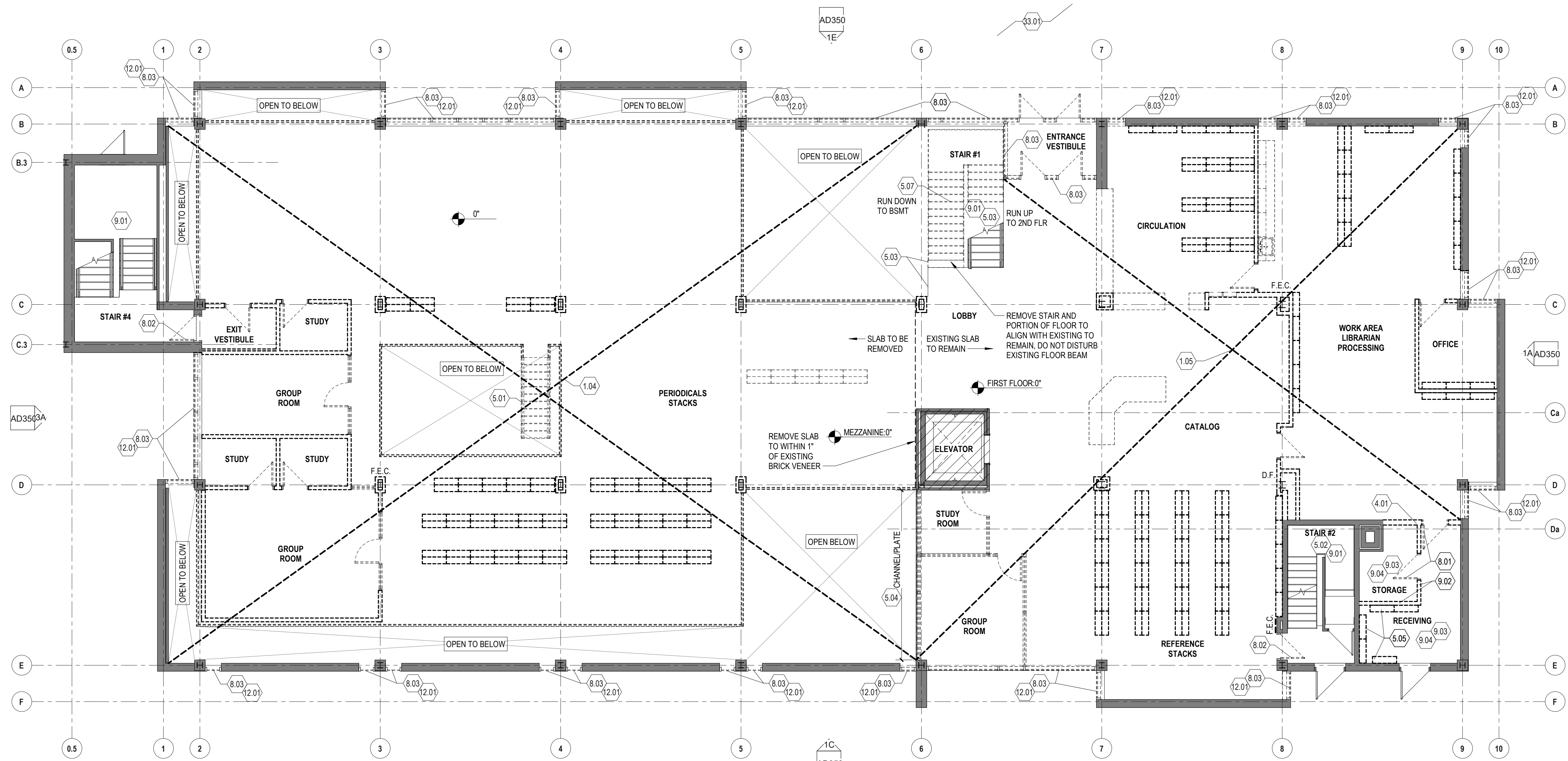
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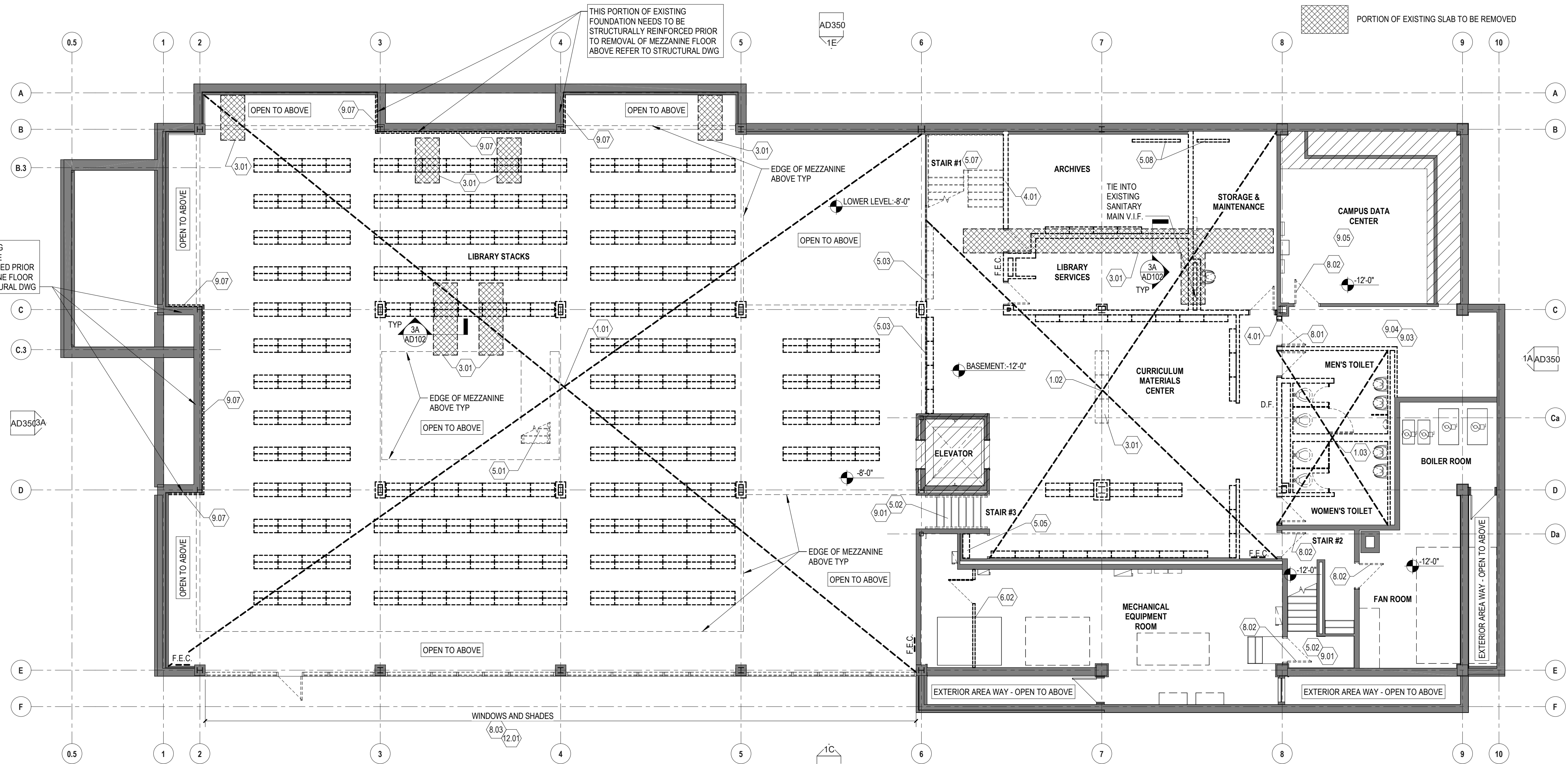
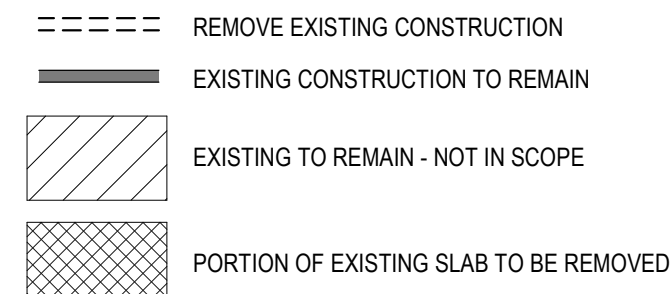
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1C FIRST FLOOR/ LIBRARY MEZZANINE DEMOLITION PLAN  
1/8" = 1'-0"

DEMOLITION PLAN GRAPHIC LEGEND




1E BASEMENT/ LOWER LEVEL DEMOLITION PLAN  
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

- REFER TO DIVISION 02 SECTION "STRUCTURE DEMOLITION" AND/OR "SELECTIVE STRUCTURE DEMOLITION" FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- COORDINATE PROPOSED METHODS AND OPERATIONS OF DEMOLITION WITH OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO START OF DEMOLITION WORK. INCLUDE IN SCHEDULE COORDINATION FOR SHUT-OFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED.
- THIS BUILDING CONTAINS THE CENTRAL DATA HUB FOR THIS CAMPUS AND MUST BE PROTECTED AND MAINTAINED IN WORKING CONDITION THROUGHOUT THE DURATION OF THIS DEMOLITION AND CONSTRUCTION PROJECT.
- CONDUCT DEMOLITION AND DEBRIS REMOVAL IN A SAFE MANNER TO MINIMIZE INTERFERENCE WITH CORRIDORS, HALLS, STAIRS, AND OTHER ADJACENT FACILITIES AND TO AVOID DAMAGE TO SAME. DO NOT CLOSE OR OBSTRUCT TRAFFIC WAYS WITHOUT PERMISSION OF THE OWNER.
- ERECT TEMPORARY ENCLOSURE(S) AROUND ALL EXTERIOR OPENINGS CREATED IN THE BUILDING. THE BUILDING SHALL BE LEFT WEATHER-TIGHT AND SECURE AT THE END OF EACH WORKDAY.
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- ALL SALVAGEABLE MATERIAL AND EQUIPMENT SHOWN OR SCHEDULED TO BE REMAIN AS THE PROPERTY OF THE OWNER OR NOT DISCLAIMED BY THE OWNER PRIOR TO THE BEGINNING OF DEMOLITION WORK SHALL BE CAREFULLY REMOVED AND STORED WHERE DIRECTED BY THE OWNER. THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED.
- ALL SALVAGEABLE MATERIAL AND EQUIPMENT SCHEDULED TO BE REMOVED AND NOT REUSED AND DISCLAIMED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- VERIFY SAVING AND REUSE OF ALL MISCELLANEOUS ITEMS AND EQUIPMENT NOT SPECIFICALLY LISTED ON THE DRAWINGS OR IN THE SPECIFICATIONS WITH THE OWNER PRIOR TO DEMOLITION.
- UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR THE FINISH SCHEDULE, ALL PORTIONS OF THE EXISTING BUILDING (INCLUDING FINISHES) DISTURBED BY DEMOLITION OF EXISTING CONSTRUCTION AND/OR INSTALLATION OF NEW CONSTRUCTION, INCLUDING MECHANICAL AND ELECTRICAL WORK, SHALL BE REPAIRED AS REQUIRED AND RETURNED TO ITS ORIGINAL UNDISTURBED CONDITION OR BETTER.
- REMOVE ALL EXISTING WALL CONSTRUCTION, MILLWORK, EQUIPMENT, ETC. SHOWN DASHED ON THIS DRAWING IN ITS ENTIRETY TO THE EXTENT SHOWN ON THE DRAWINGS. PARTITIONS SHALL BE REMOVED FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
- AT EXISTING INTERSECTING WALL WHERE ONE WALL HAS BEEN DEMOLISHED, PREPARE NEWLY EXPOSED AREA OF WALL TO MATCH EXISTING ADJACENT SURFACES.
- EXISTING WALLS INDICATED TO REMAIN ARE FOR PURPOSES OF ECONOMY ONLY. CONTRACTOR MAY ASSUME, IF MORE EXPEDIENT FOR CONSTRUCTION OR LESS EXPENSIVE FOR THE OWNER, THAT EXISTING CONSTRUCTION MAY BE REMOVED AND REPLACED WITH NEW CONSTRUCTION ACCEPTABLE TO THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- DO NOT DISTURB EXISTING STRUCTURE TO REMAIN. MINIMIZE DISTURBANCE TO EXISTING SPRAY APPLIED FIREPROOFING ON EXISTING STRUCTURAL STEEL MEMBERS TO REMAIN. DO NOT DISTURB EXISTING ROOF DRAIN PIPING WHERE OCCURRING.
- DEMOLITION DRAWINGS SHOW APPROXIMATE LAYOUT OF EXISTING PARTITIONS, DOORS, WINDOWS, FURNITURE, ETC. AND ARE NOT INTENDED TO REPRESENT AS-BUILT CONDITIONS. ALL INFORMATION MUST BE VERIFIED ON SITE.
- REMOVE EXISTING EXTERIOR ALUMINUM STOREFRONT AND ENTRANCE SYSTEMS WHERE INDICATED. REFER TO SHEET AD350 DEMOLITION BUILDING ELEVATIONS FOR ADDITIONAL INFORMATION.
- PRIOR TO REMOVAL OF EXISTING MEZZANINE FLOOR SLAB, CERTAIN EXISTING FOUNDATION WALLS NEED TO BE REINFORCED. CONTRACTOR SHALL COORDINATE REINFORCEMENT BRACING WORK WITH AND PRIOR TO START OF DEMOLITION OPERATIONS.


DEMOLITION KEYNOTES	
Key Value	Keynote Text
1.01	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, WALLS AND OTHER PARTITIONS AS INDICATED, STRUCTURAL LOAD BEARING BOOK SHELVING SYSTEM, NON-LOAD BEARING BOOK SHELVING UNITS, GYPSUM AND METAL STUD COLUMN ENCLOSURES, SIGNAGE, RAISED LETTERING, PLAQUES, FLOOR FINISHES, METAL HANG OFFSHOOT GRATES INCLUDING ASSOCIATED SUPPORTING FRAMES, OVERHEAD HORIZONTAL AND VERTICAL BREAK METAL DUCT AND RACEWAY ENCLOSURES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.02	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, CMU WALLS AND OTHER PARTITIONS AS INDICATED, WALL MOUNTED BOOK SHELVING UNITS, FLOOR MOUNTED BOOK SHELVING UNITS, GYPSUM AND METAL STUD COLUMN ENCLOSURES, SIGNAGE, RAISED LETTERING, PLAQUES, FLOOR FINISHES, CEILING SYSTEMS, DOORS, DOOR FRAMES, DOOR HARDWARE, PLUMBING FIXTURES, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.03	WITHIN EXISTING TOILET ROOMS REMOVE ALL EXISTING CONSTRUCTION IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO, CMU WALLS, WALL TILE, TOILET PARTITIONS, DOORS, DOOR FRAMES, DOOR HARDWARE, CEILING SYSTEMS, TILE FLOOR FINISH INCLUDING THICK MUD-SET, TOILET ACCESSORIES INCLUDING GRAB BARS, HAND DRYERS, DRINKING FOUNTAIN, PLUMBING FIXTURES AND ALL ASSOCIATED PIPING, ELECTRICAL AND HVAC SYSTEMS AS INDICATED.
1.04	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLERESTORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, ENTIRE MEZZANINE STRUCTURAL FLOOR SLAB SYSTEM, FLOOR AND WALL MOUNTED BOOK SHELVING UNITS, FLOOR FINISHES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, DOORS, DOOR FRAMES, DOOR HARDWARE, METAL AND WOOD GUARDRAIL SYSTEM, WALL MOUNTED MONITORS AND PROJECTORS, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.05	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLERESTORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, BUILT-IN CASEWORK INCLUDING, BASE CABINETS, WALL CABINETS, ASSOCIATED SINKS, FLOOR AND WALL MOUNTED BOOK SHELVING UNITS, FLOOR FINISHES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, DRINKING FOUNTAIN, DOORS, DOOR FRAMES, DOOR HARDWARE, BOOK SECURITY SYSTEM INCLUDING PYLONS, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.06	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLERESTORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, INTERIOR BRICK WORK INCLUDING OVERHEAD ARCHES, BUILT-IN CASEWORK INCLUDING, BASE CABINETS, WALL CABINETS, WALL PANELING, FIXED AND SLIDING MARKERBOARD SYSTEMS, METAL STUD FRAMED-WOOD SHEATHED TIERED FLOOR SEATING SYSTEM, FIXED LECTURE SEATING AND WORKSURFACE SYSTEMS, FLOOR FINISHES INCLUDING ASSOCIATED SUBSTRATE SYSTEMS AND SUB FLOORING, WOOD WALL BASE, CEILING SYSTEMS INCLUDING SOFFITS AND WOOD ACCENT TRIM, ACOUSTIC WALL PANELS, MANUAL AND MOTORIZED PROJECTION SCREENS, CEILING MOUNTED PROJECTORS, FIRE EXTINGUISHERS AND CABINETS, DRINKING FOUNTAINS, DOORS, DOOR FRAMES, DOOR HARDWARE, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
3.01	SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB AND EXCAVATE AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW UNDERSLAB PIPING OR CONDUIT. PIPING AND CONDUIT SIZES TO BE DETERMINED. REFER TO DETAIL 3A/AD102.
4.01	REMOVE PORTION OF EXISTING MASONRY WALL ENTIRELY TO EXTENT SHOWN.
4.02	REMOVE PORTION OF EXISTING MASONRY WALL AND ASSOCIATED FURRING PARTITION AS REQUIRED FOR REMOVAL OF EXISTING DUCTWORK AND UTILITIES AND INSTALLATION OF NEW. PROVIDE STRUCTURAL HEADER UNTEL ABOVE OPENING AS REQUIRED.
5.01	REMOVE EXISTING METAL STAIR ASSEMBLY IN ITS ENTIRETY, INCLUDING STRINGERS, CONCRETE-FILLED METAL STAIR TREADS, AND RAILINGS.
5.02	REMOVE EXISTING WALL MOUNTED HANDRAIL IN ITS ENTIRETY AT STAIR. EXISTING STAIR TO REMAIN.
5.03	REMOVE EXISTING GUARDRAIL ASSEMBLY IN ITS ENTIRETY DOWN TO TOP OF EXISTING CHANNELPLATE STRINGER. EXISTING CHANNELPLATE STRINGER TO REMAIN. PREPARE SURFACES TO RECEIVE NEW GUARDRAIL ASSEMBLY.
5.04	REMOVE EXISTING STEEL CHANNEL AND STEEL PLATE ASSEMBLY ATTACHED TO EDGE OF EXISTING FLOOR SLAB. EXISTING FLOOR SLAB TO REMAIN.
5.05	REMOVE EXISTING WALL OR FLOOR MOUNTED METAL BOOK SHELVING UNITS.
5.06	REMOVE EXISTING OVERHEAD STEEL CHANNEL AND SUPPORTING STEEL HANGER ANGLES AND BRACING IN ITS ENTIRETY.
5.07	REMOVE EXISTING STEEL STAIR RUN IN ITS ENTIRETY FROM BASEMENT UP TO FIRST FLOOR, INCLUDING LOWER LANDING. TEMPORARY SHORE END OF FIRST FLOOR LANDING AFTER SUPPORTING STRINGER IS REMOVED.
5.08	REMOVE EXISTING STEEL TRENCH GRATING AND TRENCH BODY IN ITS ENTIRETY. PREPARE OUTLET PIPE TO RECEIVE NEW CLEAN OUT ASSEMBLY. REFER TO PLUMBING DWGS.
6.02	REMOVE EXISTING WOOD FRAMED PARTITION WITH HEAVY WIRE SCREEN INCLUDING ASSOCIATED DOOR IN ITS ENTIRETY.
8.01	REMOVE EXISTING DOOR, FRAME, AND HARDWARE IN ITS ENTIRETY.
8.02	REMOVE EXISTING DOOR HARDWARE AND DOOR. EXISTING FRAME TO REMAIN.
8.03	REMOVE EXISTING ALUMINUM WINDOW FRAMING AND GLAZING SYSTEM INCLUDING OPERABLE WINDOW UNITS AND DOORS AND HARDWARE WHERE OCCURRING IN THEIR ENTIRETY.
9.01	REMOVE EXISTING FLOOR FINISH AT ALL ASSOCIATED STAIR STEPS AND LANDINGS. EXISTING STAIR TO REMAIN.
9.02	REMOVE PORTION OF EXISTING PARTITION AS INDICATED.
9.03	REMOVE EXISTING RESILIENT FLOOR FINISH AND WALL BASE WITHIN THIS SPACE.
9.04	REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING SYSTEM IN ITS ENTIRETY WITHIN THIS SPACE OR TO EXTENTS INDICATED.
9.05	CAREFULLY REMOVE AND STORE FOR RE-USE PORTIONS OF EXISTING SUSPENDED CEILING PANELS AND GRID AS REQUIRED FOR INSTALLATION OF NEW PRE-ACTION SPRINKLER SYSTEM.
9.06	REMOVE EXISTING EXTERIOR SUSPENDED CEMENTITIOUS PLASTER CEILING SOFFIT INCLUDING BUT NOT LIMITED TO SUSPENSION CABLES, STEEL FRAMING, PERIMETER METAL TRIM, INTERMEDIATE METAL TRIM, LIGHT FIXTURES AND ASSOCIATED SUPPORTS.
9.07	REMOVE EXISTING WALL FURRING FULL HEIGHT TO EXTENT SHOWN.
12.01	REMOVE EXISTING WINDOW SHADING SYSTEM IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO, VERTICAL BLINDS, ROLLER SHADES, BLACK OUT SHADES, ALL ASSOCIATED HEAD TRACKS, ROLL ENCLOSURES, FASCIAS, JAMB TRACKS, CORDS, CORD KEEPERS, ETC.
33.01	REMOVE PORTIONS OF EXISTING SIDEWALKS AND LANDSCAPING AS REQUIRED FOR NEW SITEWORK. SEE 12/AD102 FOR ADDITIONAL INFORMATION.



S / L / A / M Architects, Landscape Architects & Engineers, P.C.

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171 White Plains Rd,  
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KEYPLAN		
Number	Date	Issued For
1	01/27/2022	BID PACKAGE NO. 1

BASEMENT/ LOWER LEVEL  
AND FIRST FLOOR  
DEMOLITION PLANS

Date  
01/27/2022  
Scale  
As indicated  
Proj. Number  
20287.10

Drawing Number  
AD101



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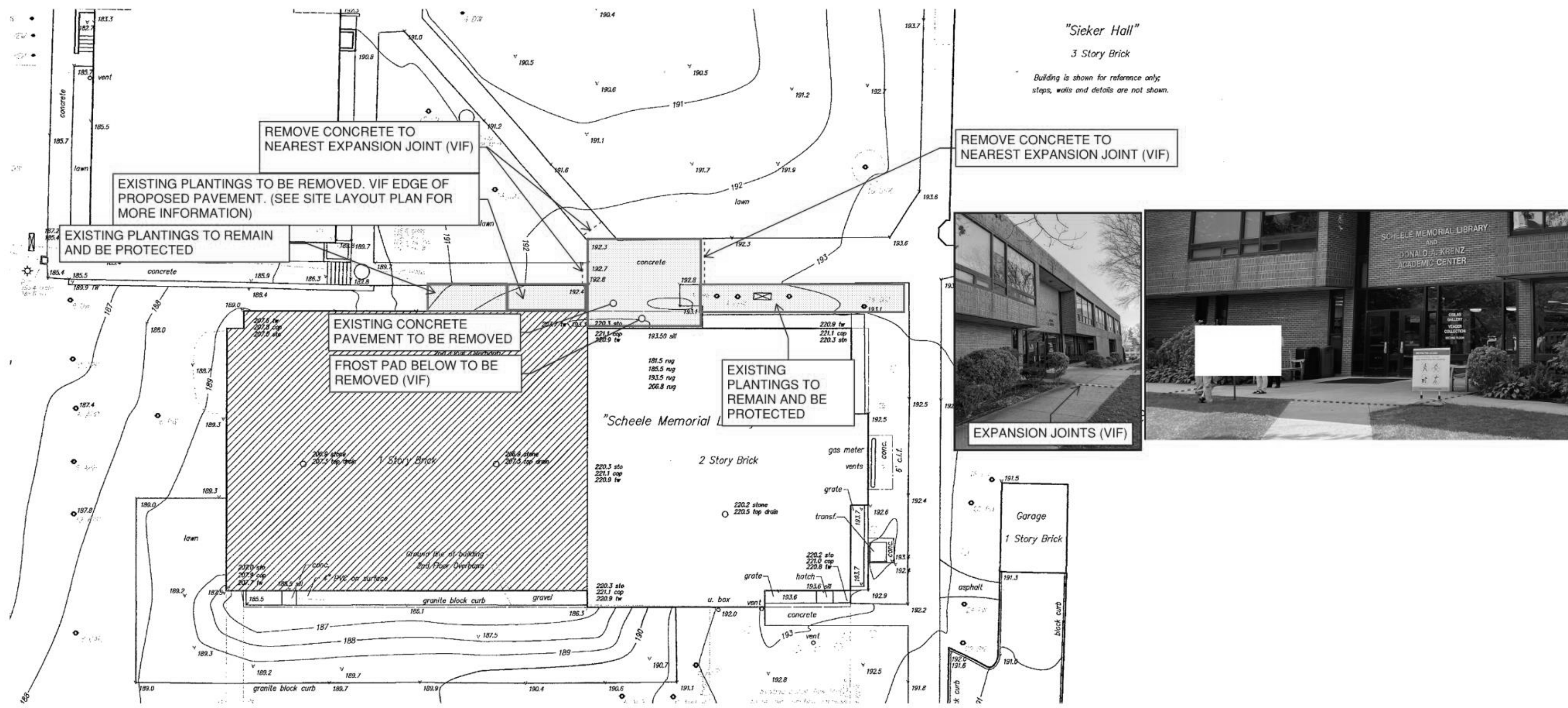
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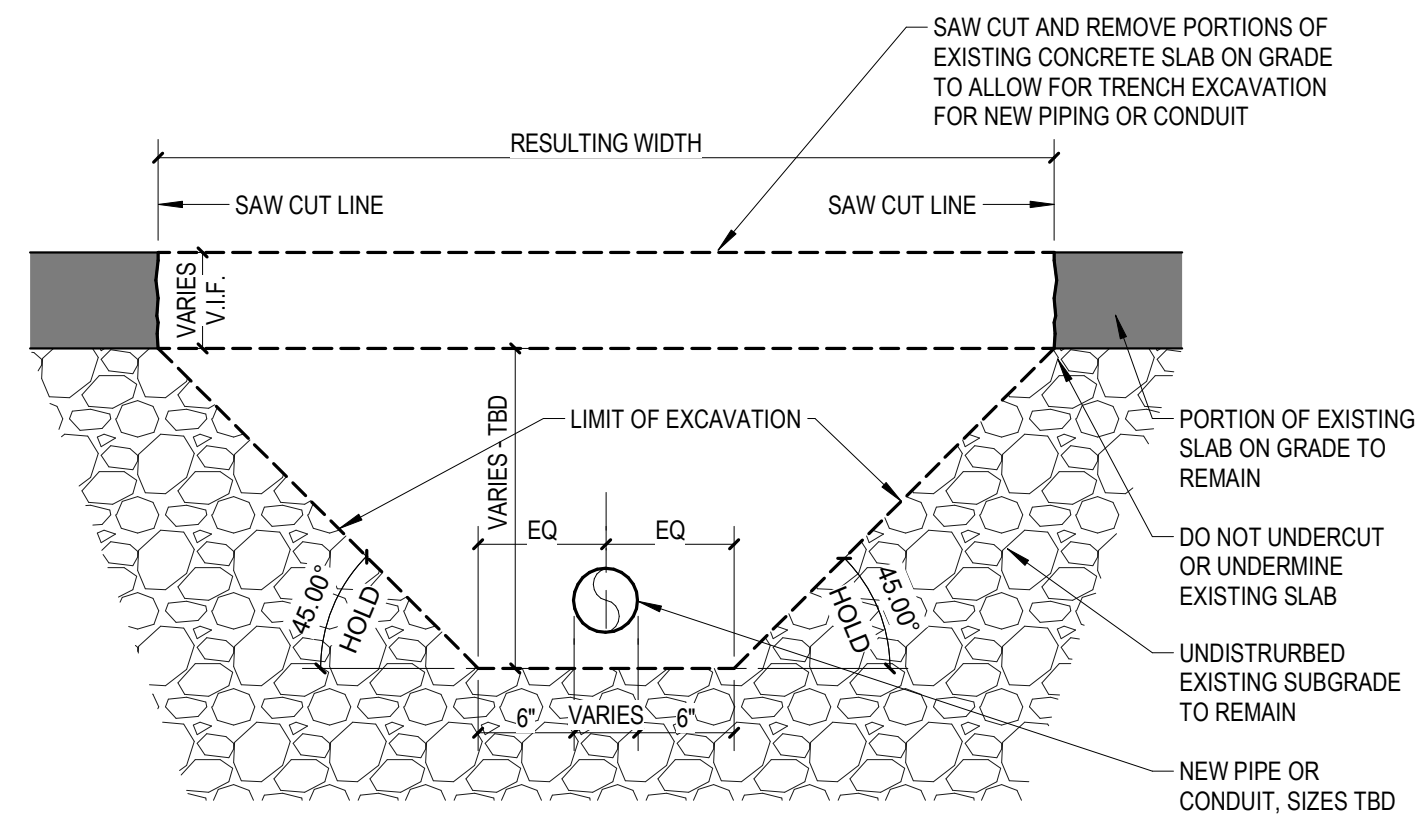
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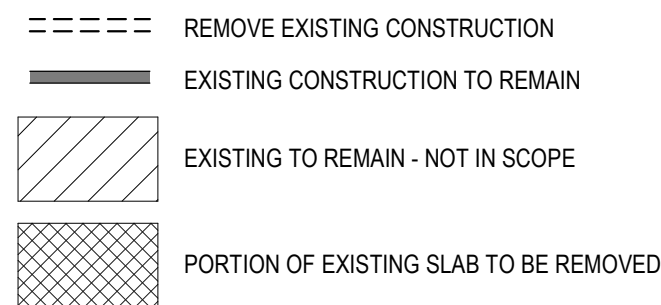


1C SITESCAPE DEMOLITION  
1/8" = 1'-0"



3A EXISTING SLAB REMOVAL  
1" = 1'-0"

DEMOLITION PLAN GRAPHIC LEGEND



DEMOLITION KEYNOTES	
Key Value	Keynote Text

1.01	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, WALLS AND OTHER PARTITIONS AS INDICATED. STRUCTURAL LOAD BEARING BOOK SHELVING SYSTEM, NON-LOAD BEARING BOOK SHELVING UNITS, GYPSUM AND METAL STUD COLUMN ENCLOSURES, SIGNAGE, RAISED LETTERING, PLAQUES, FLOOR FINISHES, METAL HANG FLOOR OFFSHOOTER GRATES INCLUDING ASSOCIATED SUPPORTING FRAMES, OVERHEAD HORIZONTAL AND VERTICAL BREAK METAL DUCT AND RACEWAY ENCLOSURES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.02	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, CMU WALLS AND OTHER PARTITIONS AS INDICATED. WALL MOUNTED BOOK SHELVING UNITS, FLOOR MOUNTED BOOK SHELVING UNITS, GYPSUM AND METAL STUD COLUMN ENCLOSURES, SIGNAGE, RAISED LETTERING, PLAQUES, FLOOR FINISHES, CEILING SYSTEMS, DOORS, DOOR FRAMES, DOOR HARDWARE, PLUMBING FIXTURES, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
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1.04	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED. SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLERESTORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, ENTIRE MEZZANINE STRUCTURAL FLOOR SLAB SYSTEM, FLOOR AND WALL MOUNTED BOOK SHELVING UNITS, FLOOR FINISHES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, DOORS, DOOR FRAMES, DOOR HARDWARE, METAL AND WOOD GUARDRAIL SYSTEM, WALL MOUNTED MONITORS AND PROJECTORS, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
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3.01	SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB AND EXCAVATE AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW UNDERSLAB PIPING OR CONDUIT. PIPING AND CONDUIT SIZES TO BE DETERMINED. REFER TO DETAIL 3A-AD102.
4.01	REMOVE PORTION OF EXISTING MASONRY WALL ENTIRELY TO EXTENT SHOWN.
4.02	REMOVE PORTION OF EXISTING MASONRY WALL AND ASSOCIATED FURRING PARTITION AS REQUIRED FOR REMOVAL OF EXISTING DUCTWORK AND UTILITIES AND INSTALLATION OF NEW. PROVIDE STRUCTURAL HEADER UNTIL ABOVE OPENING AS REQUIRED.
5.01	REMOVE EXISTING METAL STAIR ASSEMBLY IN ITS ENTIRETY, INCLUDING STRINGERS, CONCRETE-FILLED METAL STAIR TREADS, AND RAILINGS.
5.02	REMOVE EXISTING WALL MOUNTED HANDRAIL IN ITS ENTIRETY AT STAIR. EXISTING STAIR TO REMAIN.
5.03	REMOVE EXISTING GUARDRAIL ASSEMBLY IN ITS ENTIRETY DOWN TO TOP OF EXISTING CHANNELPLATE STRINGER. EXISTING CHANNELPLATE STRINGER TO REMAIN. PREPARE SURFACES TO RECEIVE NEW GUARDRAIL ASSEMBLY.
5.04	REMOVE EXISTING STEEL CHANNEL AND STEEL PLATE ASSEMBLY ATTACHED TO EDGE OF EXISTING FLOOR SLAB. EXISTING FLOOR SLAB TO REMAIN.
5.05	REMOVE EXISTING WALL OR FLOOR MOUNTED METAL BOOK SHELVING UNITS.
5.06	REMOVE EXISTING OVERHEAD STEEL CHANNEL AND SUPPORTING STEEL HANGER ANGLES AND BRACING IN ITS ENTIRETY.
5.07	REMOVE EXISTING STEEL STAIR RUN IN ITS ENTIRETY FROM BASEMENT UP TO FIRST FLOOR, INCLUDING LOWER LANDING. TEMPORARY SHORE END OF FIRST FLOOR LANDING AFTER SUPPORTING STRINGER IS REMOVED.
5.08	REMOVE EXISTING STEEL TRENCH GRATING AND TRENCH BODY IN ITS ENTIRETY. PREPARE OUTLET PIPE TO RECEIVE NEW CLEAN OUT ASSEMBLY. REFER TO PLUMBING DWGS.
6.02	REMOVE EXISTING WOOD FRAMED PARTITION WITH HEAVY WIRE SCREEN INCLUDING ASSOCIATED DOOR IN ITS ENTIRETY.
8.01	REMOVE EXISTING DOOR, FRAME, AND HARDWARE IN ITS ENTIRETY.
8.02	REMOVE EXISTING DOOR HARDWARE AND DOOR. EXISTING FRAME TO REMAIN.
8.03	REMOVE EXISTING ALUMINUM WINDOW FRAMING AND GLAZING SYSTEM INCLUDING OPERABLE WINDOW UNITS AND DOORS AND HARDWARE WHERE OCCURRING IN THEIR ENTIRETY.
9.01	REMOVE EXISTING FLOOR FINISH AT ALL ASSOCIATED STAIR STEPS AND LANDINGS. EXISTING STAIR TO REMAIN.
9.02	REMOVE PORTION OF EXISTING PARTITION AS INDICATED.
9.03	REMOVE EXISTING RESILIENT FLOOR FINISH AND WALL BASE WITHIN THIS SPACE.
9.04	REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING SYSTEM IN ITS ENTIRETY WITHIN THIS SPACE OR TO EXTENTS INDICATED.
9.05	CAREFULLY REMOVE AND STORE FOR RE-USE PORTIONS OF EXISTING SUSPENDED CEILING PANELS AND GRID AS REQUIRED FOR INSTALLATION OF NEW PRE-ACTION SPRINKLER SYSTEM.
9.06	REMOVE EXISTING EXTERIOR SUSPENDED CEMENTITIOUS PLASTER CEILING SOFFIT INCLUDING BUT NOT LIMITED TO SUSPENSION CABLES, STEEL FRAMING, PERIMETER METAL TRIM, INTERMEDIATE METAL TRIM, LIGHT FIXTURES AND ASSOCIATED SUPPORTS.
9.07	REMOVE EXISTING WALL FURRING FULL HEIGHT TO EXTENT SHOWN.
12.01	REMOVE EXISTING WINDOW SHADING SYSTEM IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO: VERTICAL BLINDS, ROLLER SHADES, BLACK-OUT SHADES, ALL ASSOCIATED HEAD TRACKS, ROLL ENCLOSURES, FASCIAS, JAMB TRACKS, CORDS, CORD KEEPERS, ETC.
33.01	REMOVE PORTIONS OF EXISTING SIDEWALKS AND LANDSCAPING AS REQUIRED FOR NEW SITEWORK. SEE 12AD102 FOR ADDITIONAL INFORMATION.

1E SECOND FLOOR DEMOLITION PLAN  
1/8" = 1'-0"

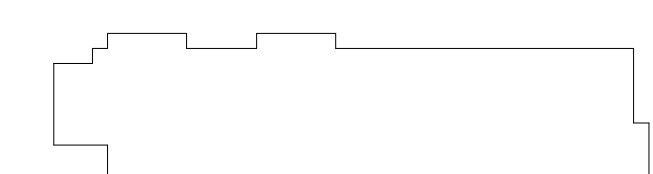
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KEYPLAN

Number	Date	Issued For
01/27/2022	BID PACKAGE NO. 1	

SECOND FLOOR  
DEMOLITION PLAN,  
SITESCAPE DEMOLITION

Date  
01/27/2022  
Scale  
As indicated  
Proj. Number  
20287.10

Drawing Number  
AD102



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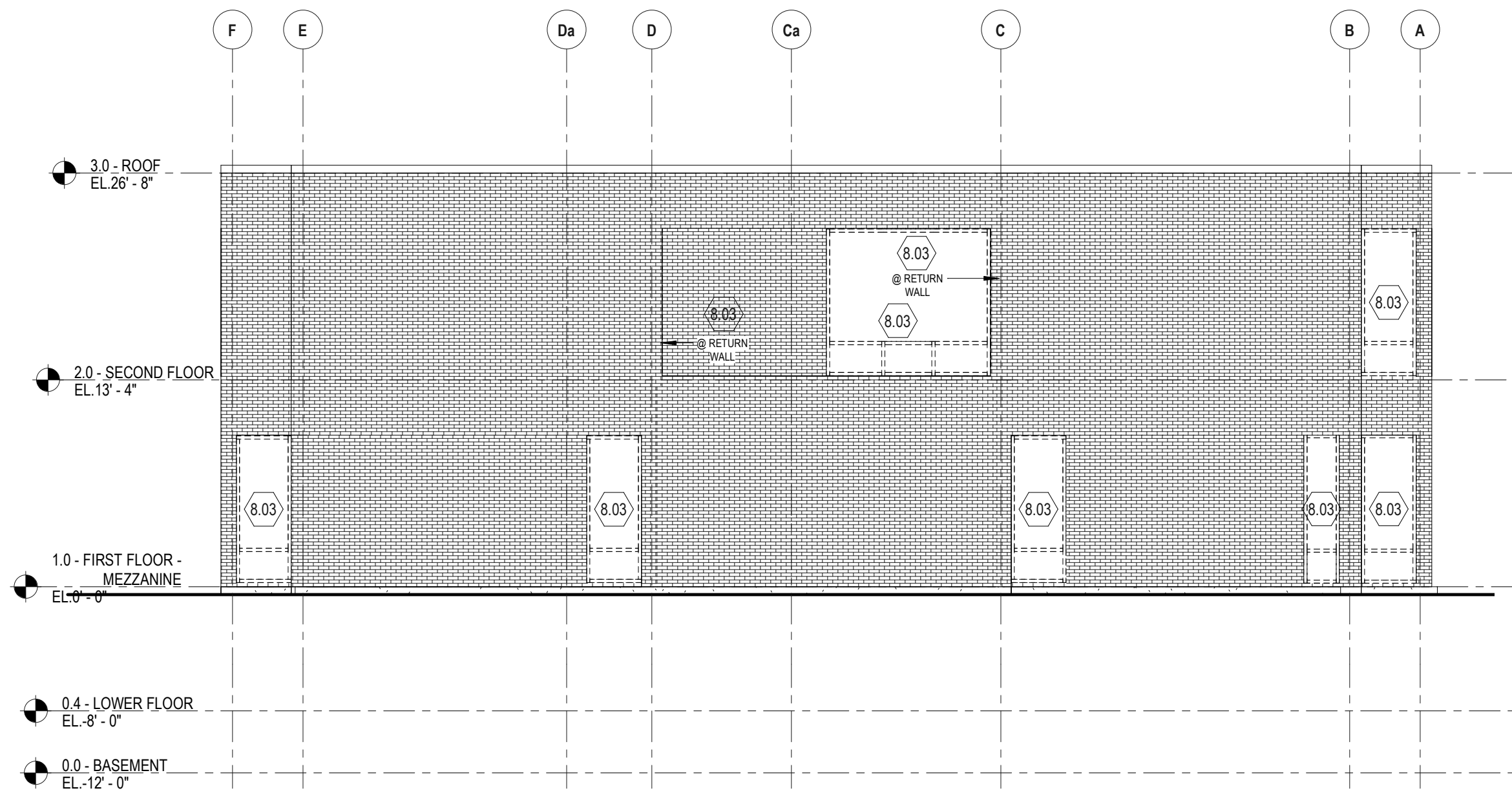
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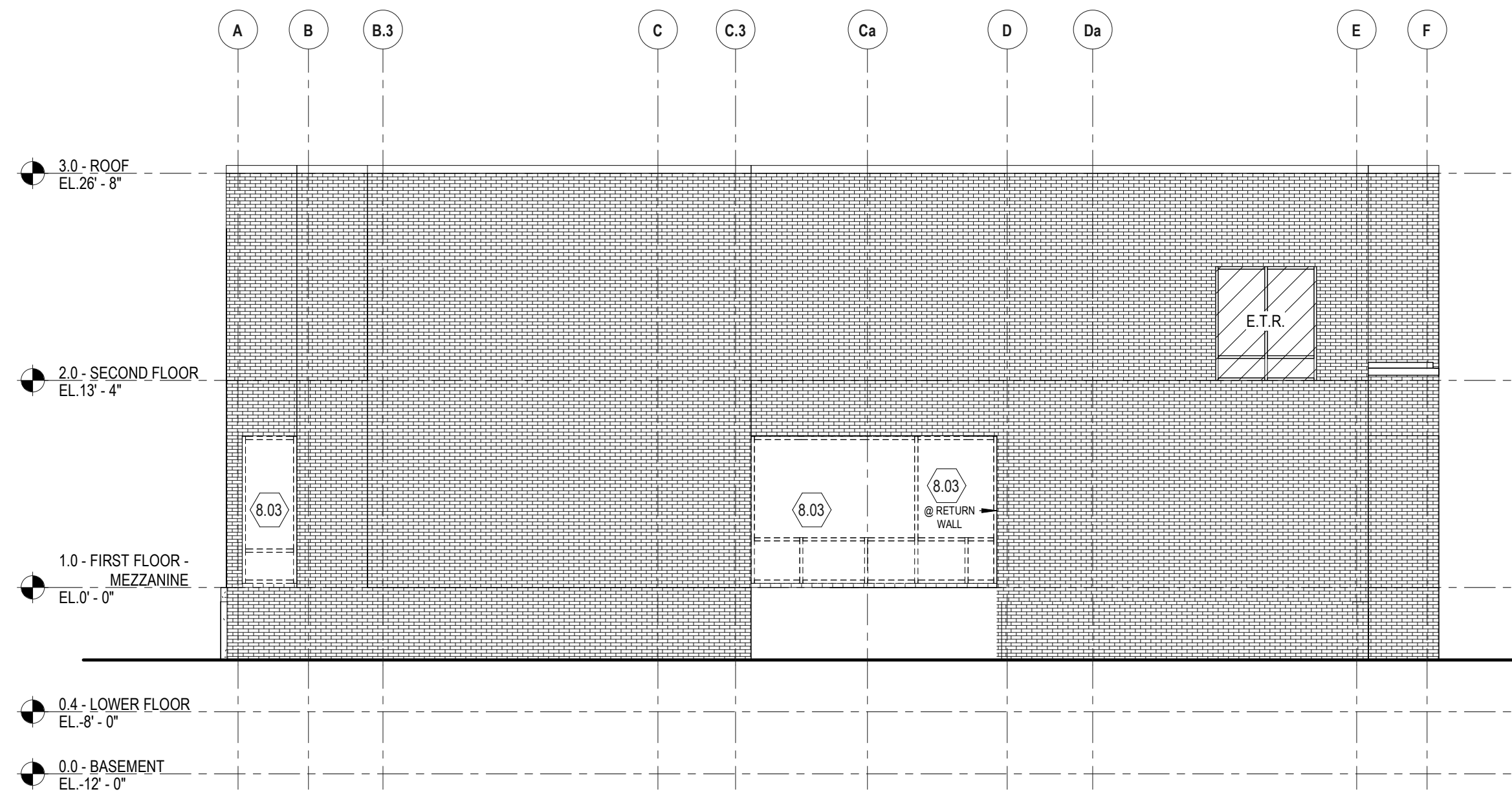
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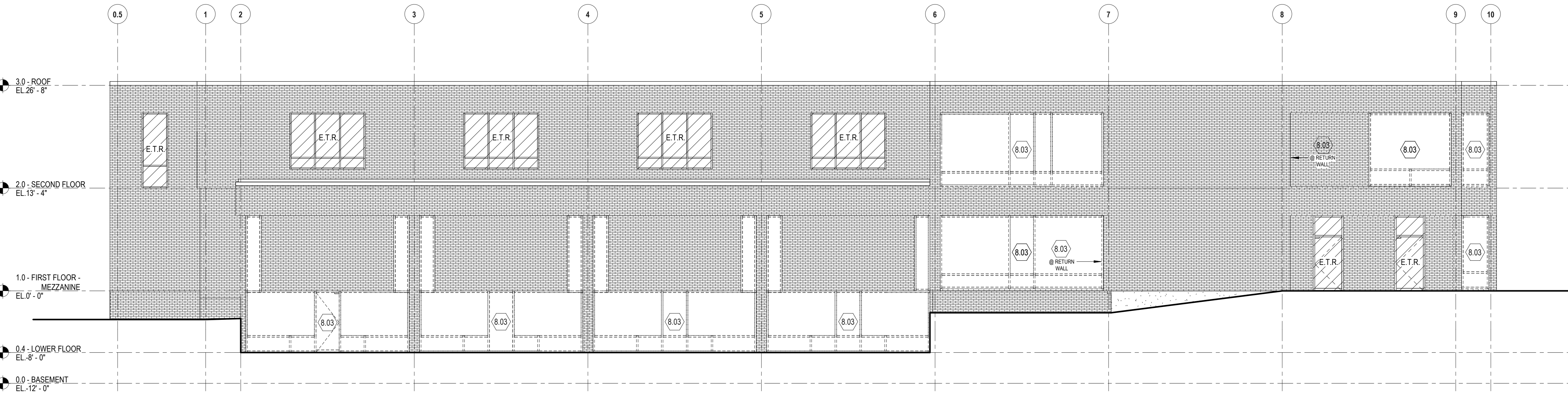
1A EAST ELEVATION WINDOW DEMOLITION  
1/8" = 1'-0"



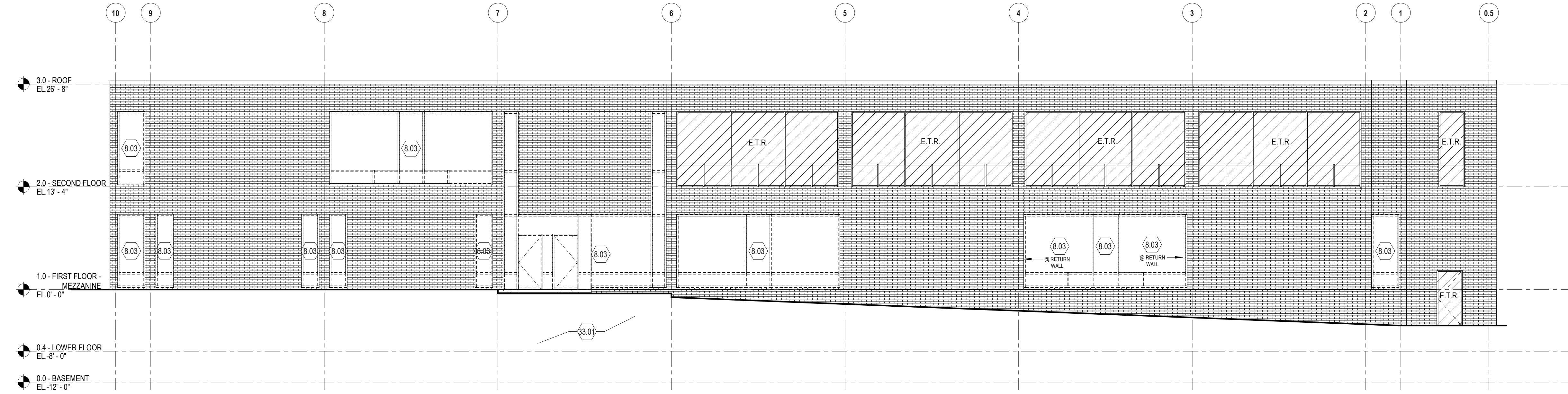
3A WEST ELEVATION WINDOW DEMOLITION  
1/8" = 1'-0"

DEMOLITION PLAN GRAPHIC LEGEND

- REMOVE EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING TO REMAIN - NOT IN SCOPE
- PORTRION OF EXISTING SLAB TO BE REMOVED



1C SOUTH ELEVATION WINDOW DEMOLITION  
1/8" = 1'-0"




1E NORTH ELEVATION WINDOW DEMOLITION  
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

- A. REFER TO DIVISION 02 SECTION "STRUCTURE DEMOLITION" AND/OR "SELECTIVE STRUCTURE DEMOLITION" FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- B. COORDINATE PROPOSED METHODS AND OPERATIONS OF DEMOLITION WITH OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO START OF DEMOLITION WORK. INCLUDE IN SCHEDULE COORDINATION FOR SHUT-OFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED.
- C. THIS BUILDING CONTAINS THE CENTRAL DATA HUB FOR THIS CAMPUS AND MUST BE PROTECTED AND MAINTAINED IN WORKING CONDITION THROUGHOUT THE DURATION OF THIS DEMOLITION AND CONSTRUCTION PROJECT.
- D. CONDUCT DEMOLITION AND DEBRIS REMOVAL IN A SAFE MANNER TO MINIMIZE INTERFERENCE WITH CORRIDORS, HALLS, STAIRS, AND OTHER ADJACENT FACILITIES AND TO AVOID DAMAGE TO SAME. DO NOT CLOSE OR OBSTRUCT TRAFFIC WAYS WITHOUT PERMISSION OF THE OWNER.
- E. ERECT TEMPORARY ENCLOSURE(S) AROUND ALL EXTERIOR OPENINGS CREATED IN THE BUILDING. THE BUILDING SHALL BE LEFT WEATHER-TIGHT AND SECURE AT THE END OF EACH WORKDAY.
- F. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- G. ALL SALVAGEABLE MATERIAL AND EQUIPMENT SHOWN OR SCHEDULED TO BE REMAIN AS THE PROPERTY OF THE OWNER OR NOT DISCLAIMED BY THE OWNER PRIOR TO THE BEGINNING OF DEMOLITION WORK SHALL BE CAREFULLY REMOVED AND STORED WHERE DIRECTED BY THE OWNER. THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED.
- H. ALL SALVAGEABLE MATERIAL AND EQUIPMENT SCHEDULED TO BE REMOVED AND NOT REUSED AND DISCLAIMED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- I. VERIFY SAVING AND REUSE OF ALL MISCELLANEOUS ITEMS AND EQUIPMENT NOT SPECIFICALLY LISTED ON THE DRAWINGS OR IN THE SPECIFICATIONS WITH THE OWNER PRIOR TO DEMOLITION.
- J. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR THE FINISH SCHEDULE, ALL PORTIONS OF THE EXISTING BUILDING (INCLUDING FINISHES) DISTURBED BY DEMOLITION OF EXISTING CONSTRUCTION AND/OR INSTALLATION OF NEW CONSTRUCTION, INCLUDING MECHANICAL AND ELECTRICAL WORK, SHALL BE REPAIRED AS REQUIRED AND RETURNED TO ITS ORIGINAL UNDISTURBED CONDITION OR BETTER.
- K. REMOVE ALL EXISTING WALL CONSTRUCTION, MILLWORK, EQUIPMENT, ETC. SHOWN DASHED ON THIS DRAWING IN ITS ENTIRETY TO THE EXTENT SHOWN ON THE DRAWINGS. PARTITIONS SHALL BE REMOVED FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
- L. AT EXISTING INTERSECTING WALL WHERE ONE WALL HAS BEEN DEMOLISHED, PREPARE NEWLY EXPOSED AREA OF WALL TO MATCH EXISTING ADJACENT SURFACES.
- M. EXISTING WALLS INDICATED TO REMAIN ARE FOR PURPOSES OF ECONOMY ONLY. CONTRACTOR MAY ASSUME, IF MORE EXPEDIENT FOR CONSTRUCTION OR LESS EXPENSIVE FOR THE OWNER, THAT EXISTING CONSTRUCTION MAY BE REMOVED AND REPLACED WITH NEW CONSTRUCTION ACCEPTABLE TO THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- N. DO NOT DISTURB EXISTING STRUCTURE TO REMAIN. MINIMIZE DISTURBANCE TO EXISTING SPRAY APPLIED FIREPROOFING ON EXISTING STRUCTURAL STEEL MEMBERS TO REMAIN. DO NOT DISTURB EXISTING ROOF DRAIN PIPING WHERE OCCURRING.
- O. DEMOLITION DRAWINGS SHOW APPROXIMATE LAYOUT OF EXISTING PARTITIONS, DOORS, WINDOWS, FURNITURE, ETC. AND ARE NOT INTENDED TO REPRESENT AS-BUILT CONDITIONS. ALL INFORMATION MUST BE VERIFIED ON SITE.
- P. REMOVE EXISTING EXTERIOR ALUMINUM STOREFRONT AND ENTRANCE SYSTEMS WHERE INDICATED. REFER TO SHEET AD350 DEMOLITION BUILDING ELEVATIONS FOR ADDITIONAL INFORMATION.
- Q. PRIOR TO REMOVAL OF EXISTING MEZZANINE FLOOR SLAB, CERTAIN EXISTING FOUNDATION WALLS NEED TO BE REINFORCED. CONTRACTOR SHALL COORDINATE REINFORCEMENT BRACING WORK WITH AND PRIOR TO START OF DEMOLITION OPERATIONS.


DEMOLITION KEYNOTES	
Key Value	Keynote Text
1.01	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, WALLS AND OTHER PARTITIONS AS INDICATED, STRUCTURAL LOAD BEARING BOOK SHELVING SYSTEM, NON-LOAD BEARING BOOK SHELVING UNITS, GYPSUM AND METAL STUD COLUMN ENCLOSURES, SIGNAGE, RAISED LETTERING, PLAQUES, FLOOR FINISHES, METAL HANG FLOOR OFFSHOOTER GRATES INCLUDING ASSOCIATED SUPPORTING FRAMES, OVERHEAD HORIZONTAL AND VERTICAL BREAK METAL DUCT AND RACEWAY ENCLOSURES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.02	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, CMU WALLS AND OTHER PARTITIONS AS INDICATED, WALL MOUNTED BOOK SHELVING UNITS, FLOOR MOUNTED BOOK SHELVING UNITS, GYPSUM AND METAL STUD COLUMN ENCLOSURES, SIGNAGE, RAISED LETTERING, PLAQUES, FLOOR FINISHES, CEILING SYSTEMS, DOORS, DOOR FRAMES, DOOR HARDWARE, PLUMBING FIXTURES, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.03	WITHIN EXISTING TOILET ROOMS REMOVE ALL EXISTING CONSTRUCTION IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO, CMU WALLS, WALL TILE, TOILET PARTITIONS, DOORS, DOOR FRAMES, DOOR HARDWARE, CEILING SYSTEMS, TILE FLOOR FINISH INCLUDING THICK MUD-SET, TOILET ACCESSORIES INCLUDING GRAB BARS, HAND DRYERS, DRINKING FOUNTAIN, PLUMBING FIXTURES AND ALL ASSOCIATED PIPING, ELECTRICAL AND HVAC SYSTEMS AS INDICATED.
1.04	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLOSETORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, ENTIRE MEZZANINE STRUCTURAL FLOOR SLAB SYSTEM, FLOOR AND WALL MOUNTED BOOK SHELVING UNITS, FLOOR FINISHES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, DOORS, DOOR FRAMES, DOOR HARDWARE, METAL AND WOOD GUARDRAIL SYSTEM, WALL MOUNTED MONITORS AND PROJECTORS, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.05	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLOSETORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, BUILT-IN CASEWORK INCLUDING, BASE CABINETS, WALL CABINETS, ASSOCIATED SINKS, FLOOR AND WALL MOUNTED BOOK SHELVING UNITS, FLOOR FINISHES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, DRINKING FOUNTAIN, DOORS, DOOR FRAMES, DOOR HARDWARE, BOOK SECURITY SYSTEM INCLUDING PYLONS, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.06	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLOSETORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, BRICK COLUMN ENCLOSURES, INTERIOR BRICK WORK INCLUDING OVERHEAD ARCHES, BUILT-IN CASEWORK INCLUDING, BASE CABINETS, WALL CABINETS, WALL PANELING, FIXED AND SLIDING MARKERBOARD SYSTEMS, METAL STUD FRAMED-WOOD SHEATHED TIERED FLOOR SEATING SYSTEM, FIXED LECTURE SEATING AND WORKSURFACE SYSTEMS, FLOOR FINISHES INCLUDING ASSOCIATED SUBSTRATE SYSTEMS AND SUB FLOORING, WOOD WALL BASE, CEILING SYSTEMS INCLUDING SOFFITS AND WOOD ACCENT TRIM, ACOUSTIC WALL PANELS, MANUAL AND MOTORIZED PROJECTION SCREENS, CEILING MOUNTED PROJECTORS, FIRE EXTINGUISHERS AND CABINETS, DRINKING FOUNTAINS, DOORS, DOOR FRAMES, DOOR HARDWARE, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
3.01	SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB AND EXCAVATE AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW UNDERSLAB PIPING OR CONDUIT. PIPING AND CONDUIT SIZES TO BE DETERMINED. REFER TO DETAIL 34-0102.
4.01	REMOVE PORTION OF EXISTING MASONRY WALL ENTIRELY TO EXTENT SHOWN.
4.02	REMOVE PORTION OF EXISTING MASONRY WALL AND ASSOCIATED FURRING PARTITION AS REQUIRED FOR REMOVAL OF EXISTING DUCTWORK AND UTILITIES AND INSTALLATION OF NEW. PROVIDE STRUCTURAL HEADER UNTEL ABOVE OPENING AS REQUIRED.
5.01	REMOVE EXISTING METAL STAIR ASSEMBLY IN ITS ENTIRETY, INCLUDING STRINGERS, CONCRETE-FILLED METAL STAIR TREADS, AND RAILINGS.
5.02	REMOVE EXISTING WALL MOUNTED HANDRAIL IN ITS ENTIRETY AT STAIR. EXISTING STAIR TO REMAIN.
5.03	REMOVE EXISTING GUARDRAIL ASSEMBLY IN ITS ENTIRETY DOWN TO TOP OF EXISTING CHANNELPLATE STRINGER. EXISTING CHANNELPLATE STRINGER TO REMAIN. PREPARE SURFACES TO RECEIVE NEW GUARDRAIL ASSEMBLY.
5.04	REMOVE EXISTING STEEL CHANNEL AND STEEL PLATE ASSEMBLY ATTACHED TO EDGE OF EXISTING FLOOR SLAB. EXISTING FLOOR SLAB TO REMAIN.
5.05	REMOVE EXISTING WALL OR FLOOR MOUNTED METAL BOOK SHELVING UNITS.
5.06	REMOVE EXISTING OVERHEAD STEEL CHANNEL AND SUPPORTING STEEL HANGER ANGLES AND BRACING IN ITS ENTIRETY.
5.07	REMOVE EXISTING STEEL STAIR RUN IN ITS ENTIRETY FROM BASEMENT UP TO FIRST FLOOR, INCLUDING LOWER LANDING. TEMPORARY SHORE END OF FIRST FLOOR LANDING AFTER SUPPORTING STRINGER IS REMOVED.
5.08	REMOVE EXISTING STEEL TRENCH GRATING AND TRENCH BODY IN ITS ENTIRETY. PREPARE OUTLET PIPE TO RECEIVE NEW CLEAN OUT ASSEMBLY. REFER TO PLUMBING DWGS.
6.02	REMOVE EXISTING WOOD FRAMED PARTITION WITH HEAVY WIRE SCREEN INCLUDING ASSOCIATED DOOR IN ITS ENTIRETY.
8.01	REMOVE EXISTING DOOR, FRAME, AND HARDWARE IN ITS ENTIRETY.
8.02	REMOVE EXISTING DOOR HARDWARE AND DOOR, EXISTING FRAME TO REMAIN.
8.03	REMOVE EXISTING ALUMINUM WINDOW FRAMING AND GLAZING SYSTEM INCLUDING OPERABLE WINDOW UNITS AND DOORS AND HARDWARE WHERE OCCURRING IN THEIR ENTIRETY.
9.01	REMOVE EXISTING FLOOR FINISH AT ALL ASSOCIATED STAIR STEPS AND LANDINGS, EXISTING STAIR TO REMAIN.
9.02	REMOVE PORTION OF EXISTING PARTITION AS INDICATED.
9.03	REMOVE EXISTING RESILIENT FLOOR FINISH AND WALL BASE WITHIN THIS SPACE.
9.04	REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING SYSTEM IN ITS ENTIRETY WITHIN THIS SPACE OR TO EXTENTS INDICATED.
9.05	CAREFULLY REMOVE AND STORE FOR RE-USE PORTIONS OF EXISTING SUSPENDED CEILING PANELS AND GRID AS REQUIRED FOR INSTALLATION OF NEW PRE-ACTION SPRINKLER SYSTEM.
9.06	REMOVE EXISTING EXTERIOR PLASTER CEILING SUSPENDED CEILING SOFFIT INCLUDING BUT NOT LIMITED TO SUSPENSION CABLES, STEEL FRAMING, PERIMETER METAL TRIM, INTERMEDIATE METAL TRIM, LIGHT FIXTURES AND ASSOCIATED SUPPORTS.
9.07	REMOVE EXISTING WALL FURRING FULL HEIGHT TO EXTENT SHOWN.
12.01	REMOVE EXISTING WINDOW SHADING SYSTEM IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO, VERTICAL BLINDS, ROLLER SHADES, BLACK-OUT SHADES, ALL ASSOCIATED HEAD TRACKS, ROLL ENCLOSURES, FASCIAS, JAMB TRACKS, CORDS, CORD KEEPERS, ETC.
33.01	REMOVE PORTIONS OF EXISTING SIDEWALKS AND LANDSCAPING AS REQUIRED FOR NEW SITEWORK. SEE 12-AD102 FOR ADDITIONAL INFORMATION.



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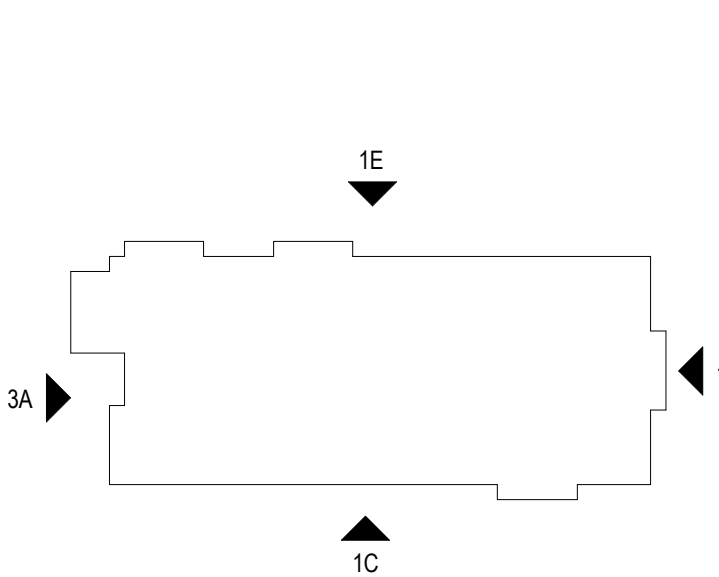


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KEYPLAN		
Number	Date	Issued For
	01/27/2022	BID PACKAGE NO. 1

DEMOLITION BUILDING  
ELEVATIONS - WINDOWS

Date  
01/27/2022

Scale  
As indicated

Proj. Number  
20287.10

Drawing Number  
AD350



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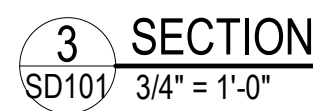
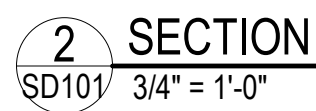
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### KEYPLAN

## STRUCTURAL REINFORCEMENT

***SD101***



**CODES AND STANDARDS:**

THE FOLLOWING CODES AND STANDARDS, AND ALL REFERENCED STANDARDS HEREIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, AND QUALITY CONTROL OF ALL WORK PERFORMED ON THE PROJECT. USE THE LATEST EDITIONS UNLESS NOTED OTHERWISE. SAFETY AND CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

- 2020 BUILDING CODE OF NEW YORK STATE
- INTERNATIONAL BUILDING CODE, 2018
- "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" (SEWISAC 7-16), AMERICAN SOCIETY OF CIVIL ENGINEERS
- "STEEL CONSTRUCTION MANUAL," 15TH EDITION, 2017, AMERICAN INSTITUTE OF STEEL CONSTRUCTION (INCLUDING SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS)

**B. MATERIALS:**

- STEEL
  - STRUCTURAL STEEL WIDE FLANGE & TEE SECTIONS ASTM A992
  - STRUCTURAL ANGLES, CHANNELS & PLATES ASTM A36
  - HIGH STRENGTH BOLTS ASTM A325/A308 OR TC-TYPE
  - WELDING ELECTRODES AWS A5.1 OR A5.5, E70XX

**C. CONSTRUCTION:**

- GENERAL:
  - IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
  - TYPICAL DETAILS APPLY REPEATIVELY ON THE PROJECT. CONTRACTOR SHALL COORDINATE THE GENERAL REQUIREMENTS OF TYPICAL DETAILS WITH PROJECT CONDITIONS, PLANS, SPECIFICATIONS, AND SECTIONS.
  - REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RESUBMITAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
  - THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRAWINGS AND FOR THE SUPERIMPOSED LOADS INDICATED IN THE DESIGN DATA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, STAGINGS, BRACING, SHEETING AND SHORING, ETC.
  - IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES, TEMPORARY SHORING, AND BRACING OF CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL COSTS OF INVESTIGATION AND/OR REDESIGN, DUE TO CONTRACTOR MISLOCATION OF STRUCTURAL ELEMENTS OR OTHER LACK OF CONFORMANCE WITH THE PROJECT DOCUMENTS, SHALL BE AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR SHALL COORDINATE WITH ALL ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, LAUNDRY AND FOOD SERVICE DRAWINGS FOR SIZE AND LOCATIONS OF OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PLANS, INSERTS, AND DEPRESSIONS.

**D. STRUCTURAL STEEL:**

- GENERAL:
  - PERMANENT FRAMING AND FINAL CONNECTION DETAILS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTION SEQUENCES, MEANS, AND METHODS; AND FOR THE DESIGN OF TEMPORARY LATERAL AND VERTICAL BRACING. TEMPORARY BRACING SHALL REMAIN IN PLACE UNTIL THE COMPLETE VERTICAL AND LATERAL FORCE RESISTING SYSTEMS HAVE BEEN INSTALLED.
  - WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. INSTALL EXPANSION BOLTS AND ADHESIVE ANCHORS PER MANUFACTURER'S RECOMMENDATIONS.
  - WELDING ELECTRODES, WELDING PROCESS, MINIMUM PREHEAT AND INTERPASS TEMPERATURES SHALL BE IN ACCORDANCE WITH THE AISC AND AWS SPECIFICATIONS. ANY STRUCTURAL STEEL DAMAGED IN WELDING IS TO BE REPLACED OR REINFORCED AS ACCEPTABLE TO THE STRUCTURAL ENGINEER.
  - WELDERS SHALL HAVE CURRENT EVIDENCE OF PASSING THE APPROPRIATE AWS QUALIFICATION TESTS. THE ENGINEER MAY REQUEST SUCH EVIDENCE AT ANY TIME DURING THE PROJECT.
  - THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY FABRICATION OR ERECTION ERRORS OR DEVIATIONS AND SHALL RECEIVE WRITTEN APPROVAL BEFORE ANY FIELD CORRECTIONS ARE MADE.
- CONNECTIONS:
  - PROVIDE NO LESS THAN 3/16" WELDS EXCEPT ALL EDGES OF MATERIALS THAT ARE 1/4" OR LESS IN THICKNESS. FOR EDGES OF MATERIALS THAT ARE 1/4" OR LESS IN THICKNESS, USE THE MAXIMUM SIZE WELD PERMITTED BY THE GOVERNING AISI SPECIFICATION.
  - ALL SHOP AND FIELD CONNECTIONS SHALL BE MADE WITH HIGH STRENGTH BOLTS OR WELDS. ALL HIGH STRENGTH BOLTS AND NUTS SHALL BE CLEARLY MARKED AS REQUIRED BY AISI SPECIFICATIONS. CONNECTIONS MADE WITH UNMARKED BOLTS AND NUTS WILL BE REJECTED.
  - UNLESS OTHERWISE NOTED, ALL BOLTS SHALL BE TIGHTENED TO THE "SNUG TIGHT" CONDITION DEFINED AS THE TIGHTENED AGAINST BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A PERSON USING AN ORDINARY SPUD WRENCH. THE "SNUG TIGHT" CONDITION MUST ENSURE THAT THE PILES OF THE CONNECTED MATERIAL HAVE BEEN BROUGHT INTO "SNUG CONTACT."
  - BOLTS USED IN STRUCTURAL STEEL FRAMING CONNECTIONS SHALL BE A MINIMUM OF 1/2" DIAMETER.
  - BOLT CONNECTIONS SHALL USE A MINIMUM OF TWO BOLTS PER CONNECTED PART, UNLESS OTHERWISE INDICATED.





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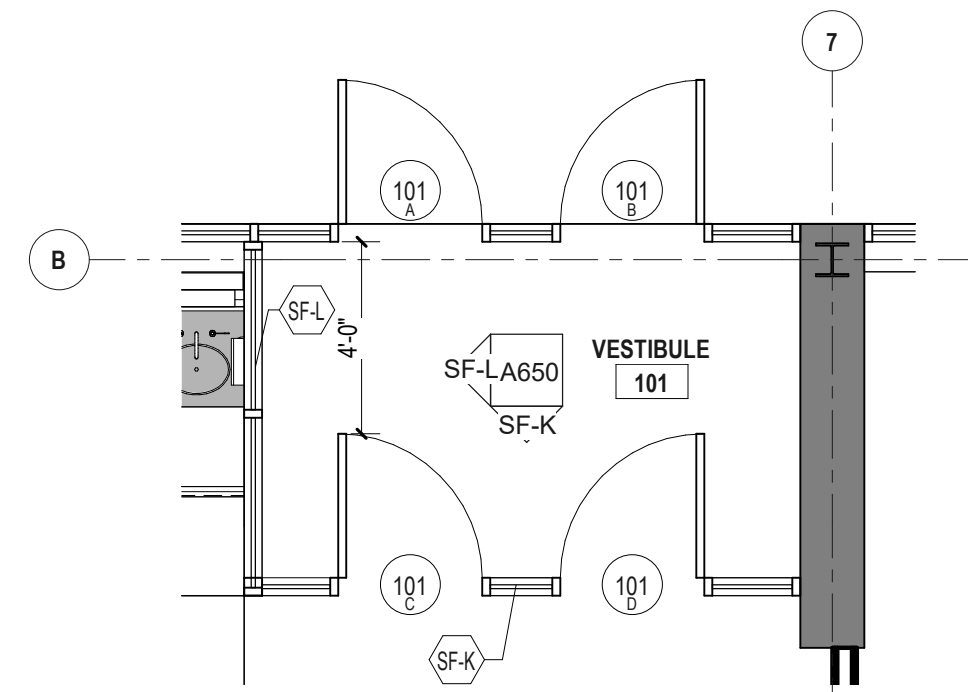
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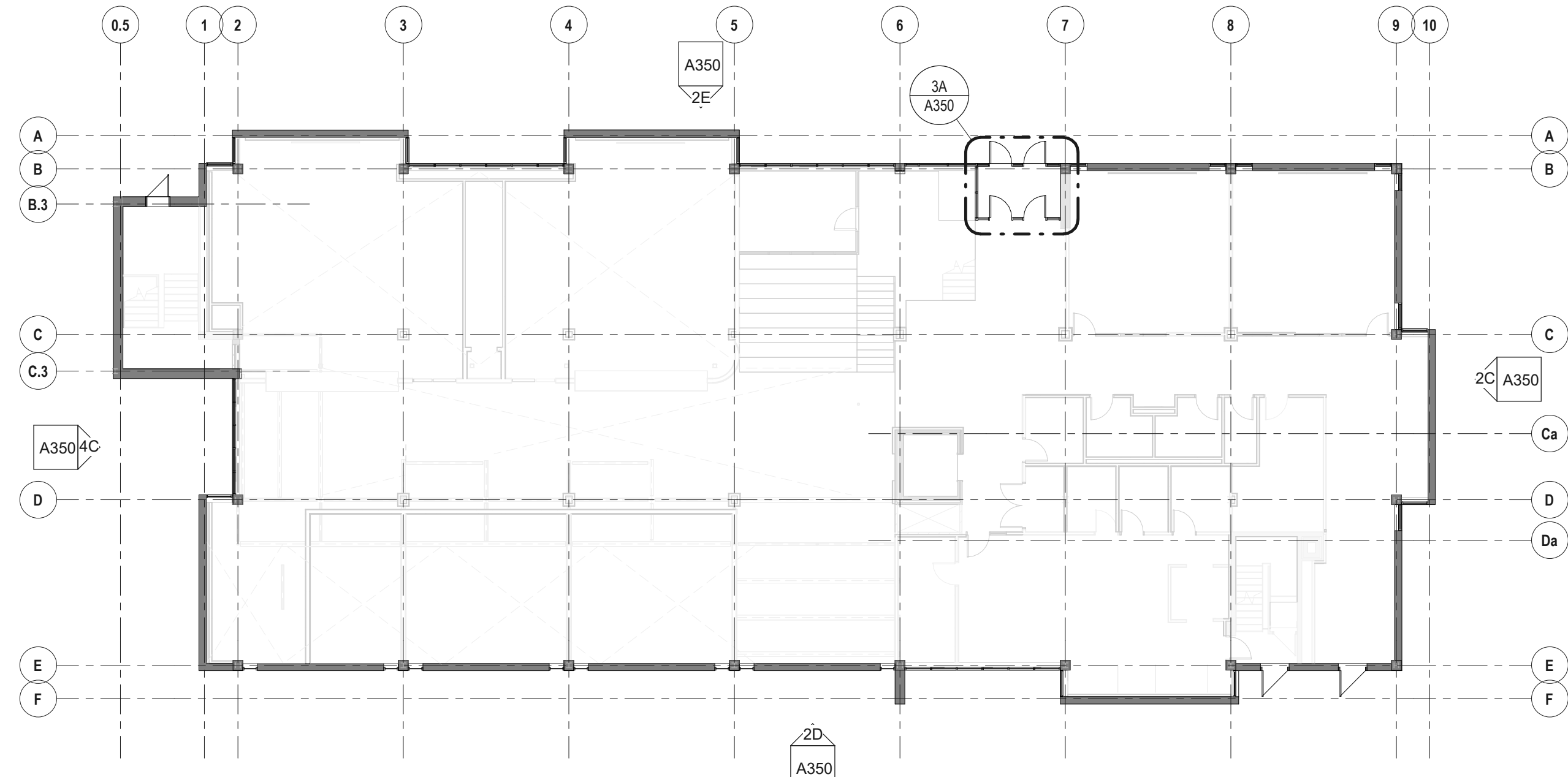
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WINDOW REPLACEMENT GENERAL NOTES

1. REFER TO SPECIFICATION MANUAL FOR ADDITIONAL INFORMATION.
2. NEW ALUMINUM STOREFRONT WINDOW SYSTEMS ARE TO BE INSTALLED IN EXISTING OPENINGS. DIMENSIONS INDICATED ARE FOR REFERENCE ONLY. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN FILED PRIOR TO FABRICATION.
3. REFER TO FLOOR PLAN DIAGRAM AND BUILDING ELEVATIONS FOR LOCATIONS OF NEW STOREFRONT WINDOW SYSTEMS (SHEET A350).
4. REFER TO ENLARGED ELEVATIONS FOR WINDOW TYPES, APPROXIMATE SIZES AND DETAIL REFERENCES (SHEET A650).
5. DOOR HARDWARE TO BE INDICATED AND PROVIDED IN SUBSEQUENT PACKAGE.
6. ALUMINUM EXTERIOR DOORS SHALL BE 2" THICK WITH 1" INSULATED TEMPERED GLAZING. INTERIOR ALUMINUM DOORS SHALL BE 1 3/4" THICK WITH 1/4" TEMPERED GLAZING.
7. PROVIDE THERMALLY BROKEN, ACCESSIBLE HEIGHT, ALUMINUM THRESHOLDS AT ALL ALUMINUM FRAMED OPENINGS.
8. WINDOW REPLACEMENT DETAILS SHOWN (SHEET A650) ARE BASED ON EXISTING DRAWINGS PROVIDED BY OWNER AND DATED MAY 31, 1972 BY GIBBONS HEIDTMANN & SALVADOR ARCHITECTS & PLANNERS. EXISTING CONDITIONS REPRESENTED IN DETAILS AS DRAWN HAVE NOT BEEN FIELD VERIFIED AND HAVE NOT BEEN CONFIRMED BY ARCHITECT. CONTRACTOR TO VERIFY EXISTING WINDOW OPENING CONDITIONS AFTER EXISTING WINDOWS HAVE BEEN REMOVED.

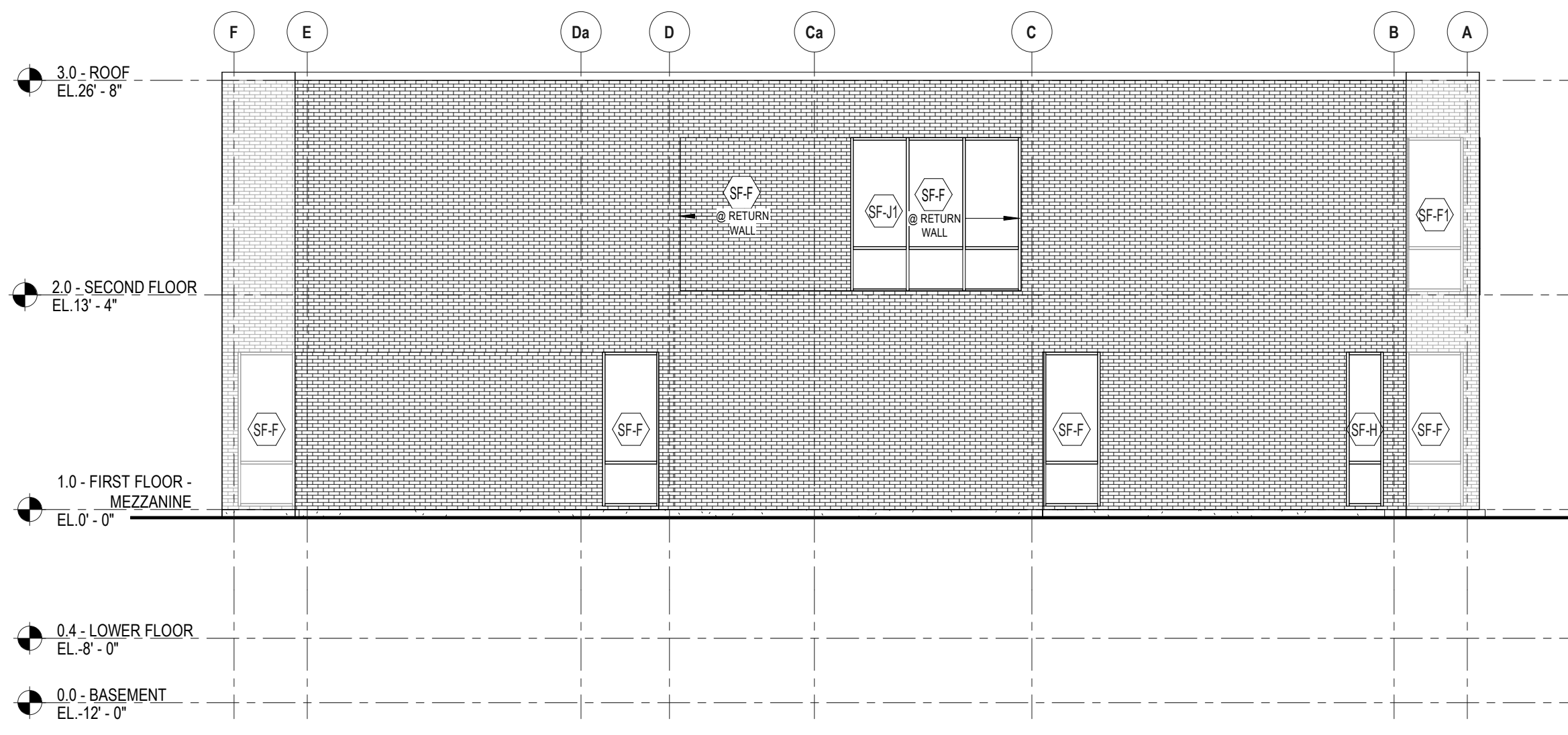


3A ENLARGED FLOOR PLAN - ENTRY VESTIBULE  
1/4" = 1'-0"

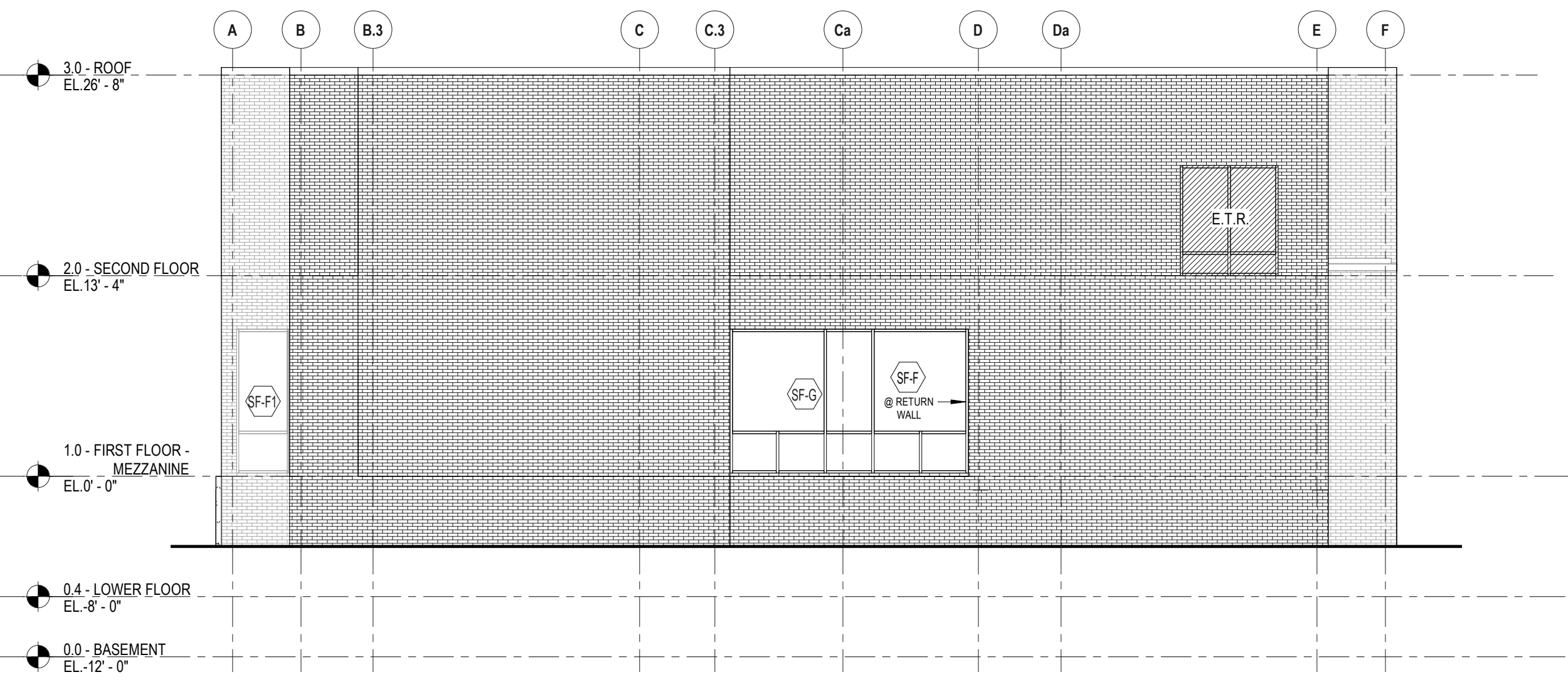


4A FLOOR PLAN DIAGRAM  
1/16" = 1'-0"

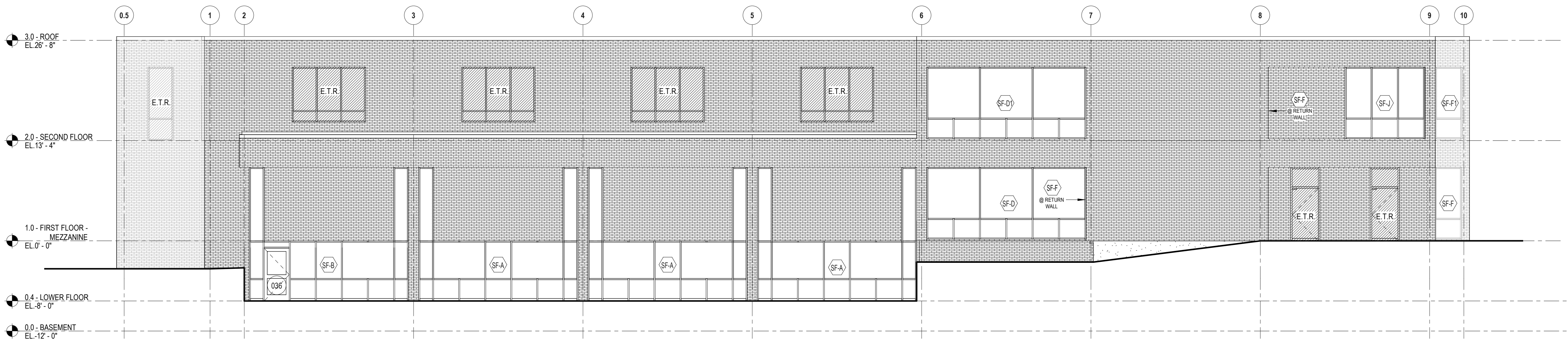
FLOOR PLAN FOR  
ORIENTATION PURPOSES -  
FIRST FLOOR LEVEL SHOWN



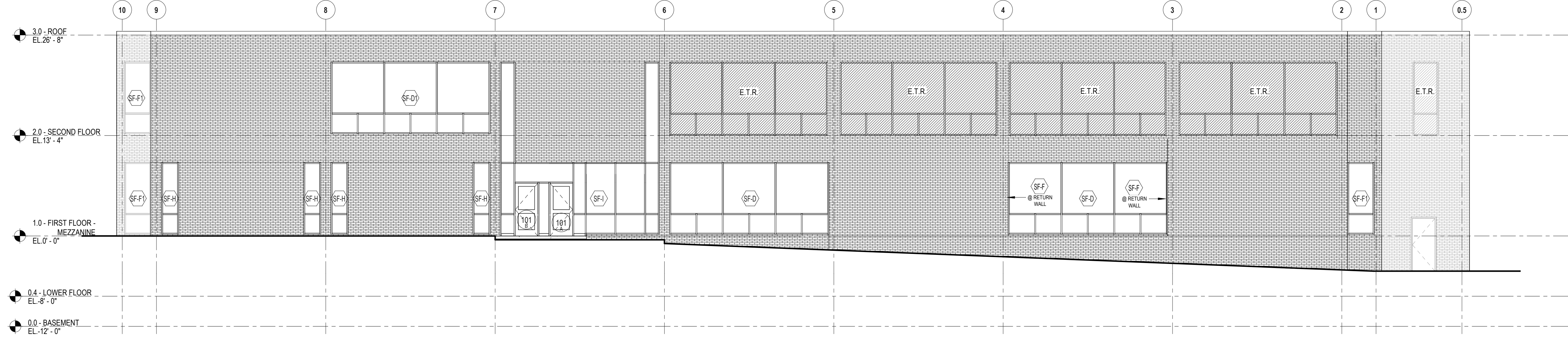
2C ELEVATION - EAST  
1/8" = 1'-0"



4C ELEVATION - WEST  
1/8" = 1'-0"



2D ELEVATION - SOUTH  
1/8" = 1'-0"



2E ELEVATION - NORTH  
1/8" = 1'-0"



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Drawn

PH

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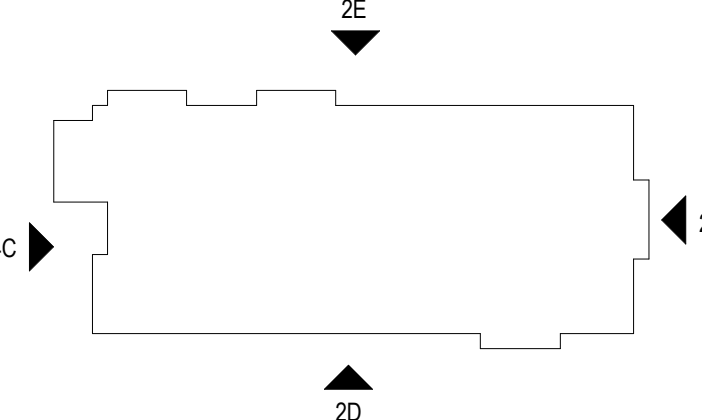
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KEYPLAN

Number	Date	Issued For
	01/27/2022	BID PACKAGE NO. 1

WINDOW REPLACEMENT -  
LOCATION PLAN, BUILDING  
ELEVATIONS

Date

01/27/2022

Scale

As indicated

Proj. Number

20287.10

Drawing Number

A350



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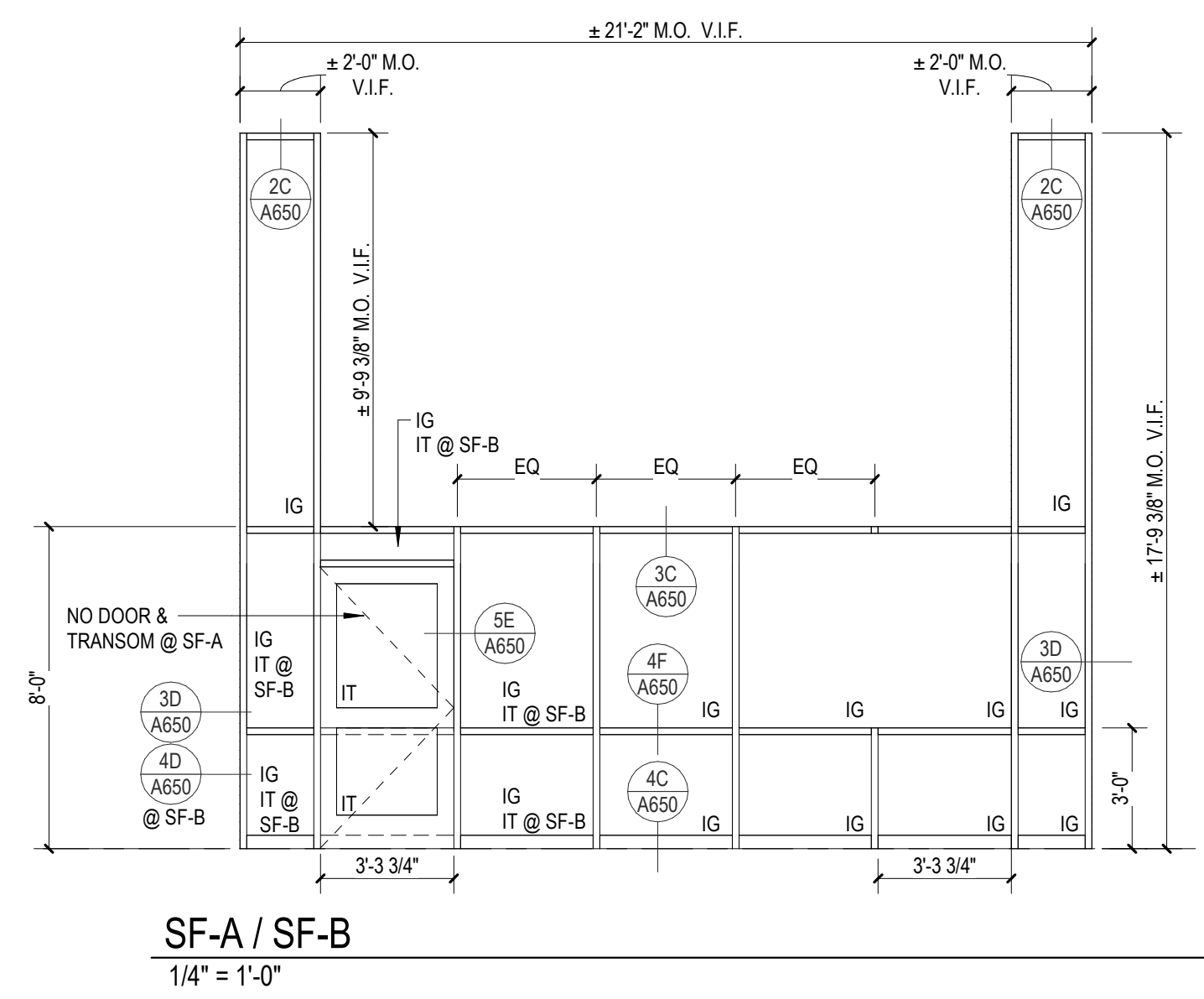
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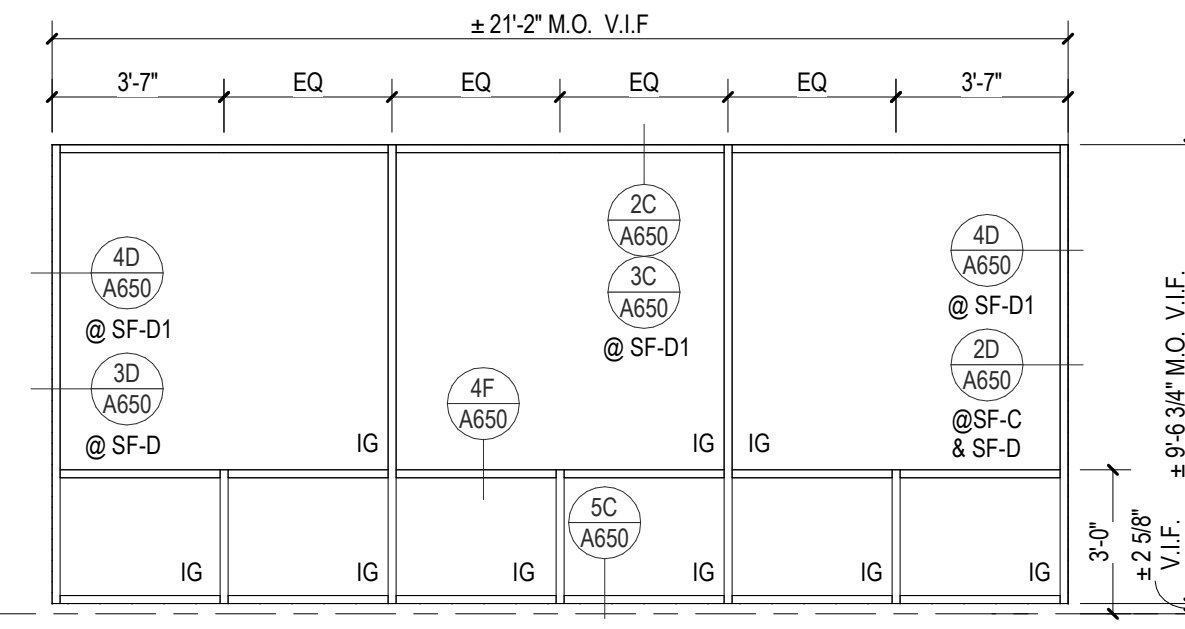
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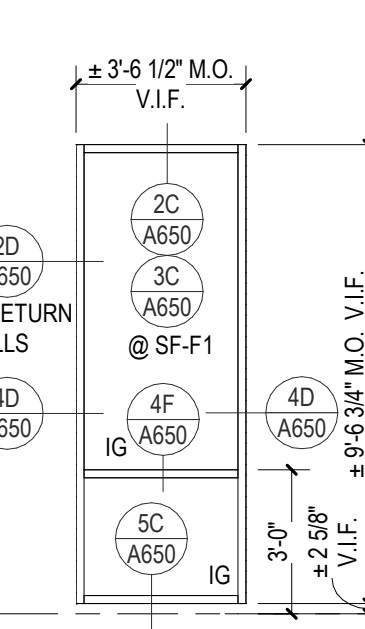
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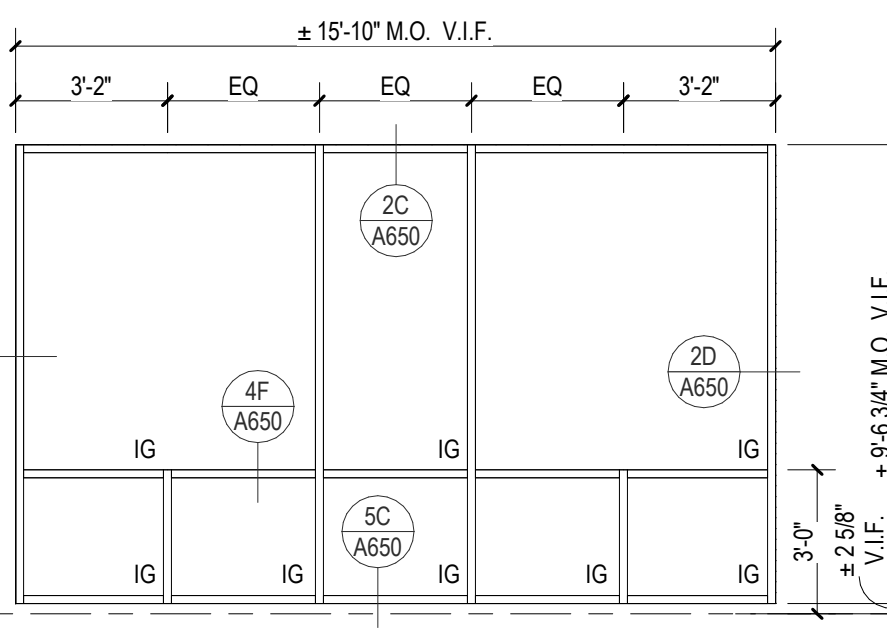
**SF-D / SF-D1**  
1/4" = 1'-0"



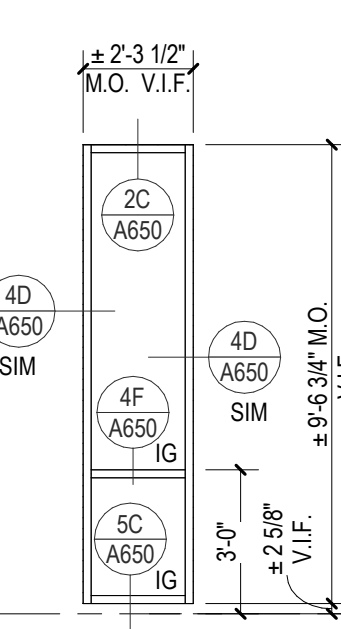
**SF-F / SF-F1**  
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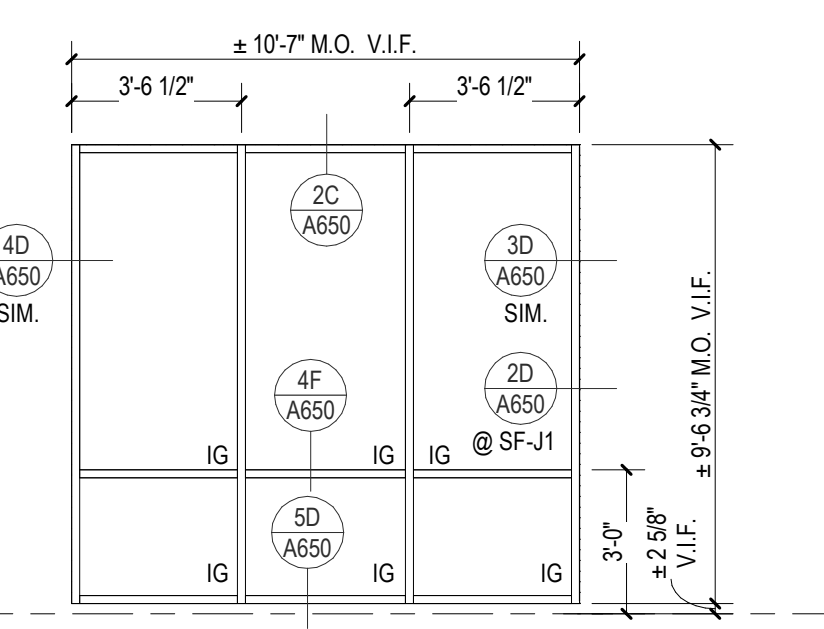
**SF-G**  
1/4" = 1'-0"



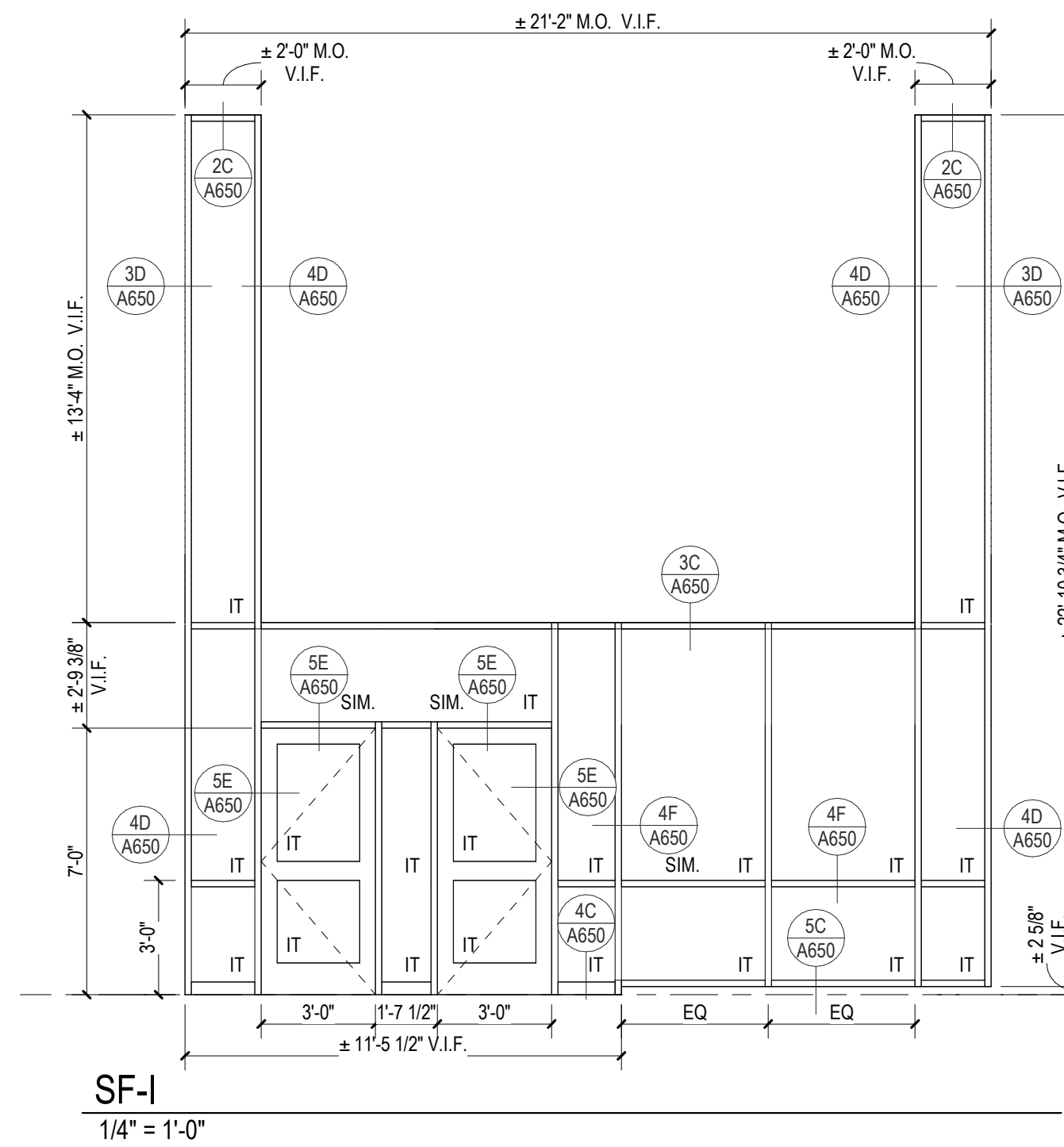
**SF-H**  
1/4" = 1'-0"



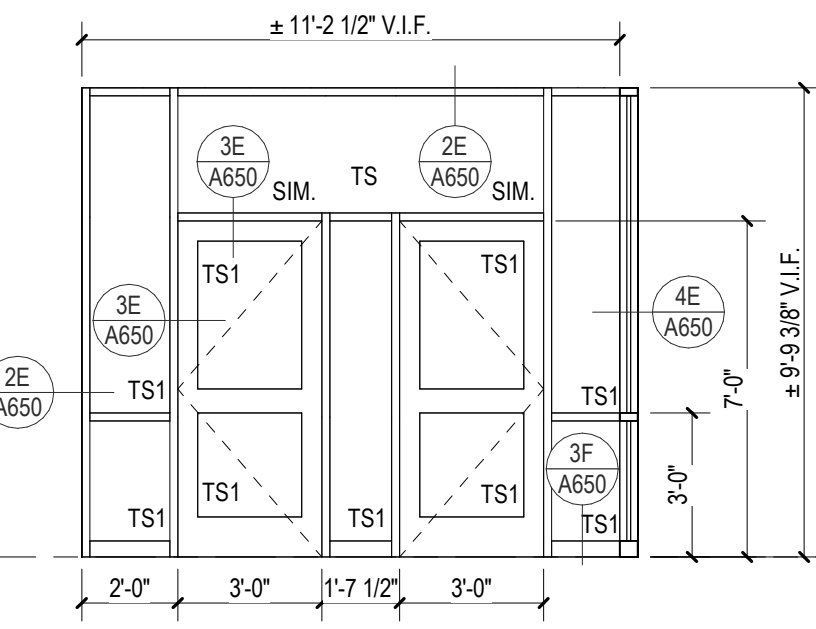
**SF-J / SF-J1**  
1/4" = 1'-0"



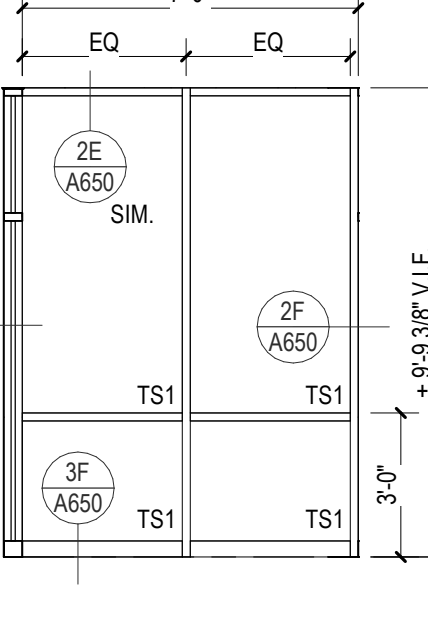
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**SF-K**  
1/4" = 1'-0"



**SF-L**  
1/4" = 1'-0"

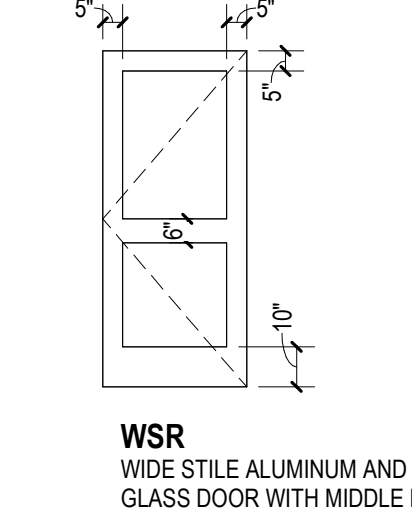


C

### GLASS MATERIAL

IG INSULATED GLASS - 1"  
IT INSULATED TEMPERED SAFETY GLASS - 1"  
TS1 TEMPERED SAFETY GLASS - 1/4"

### ALUMINUM DOORS

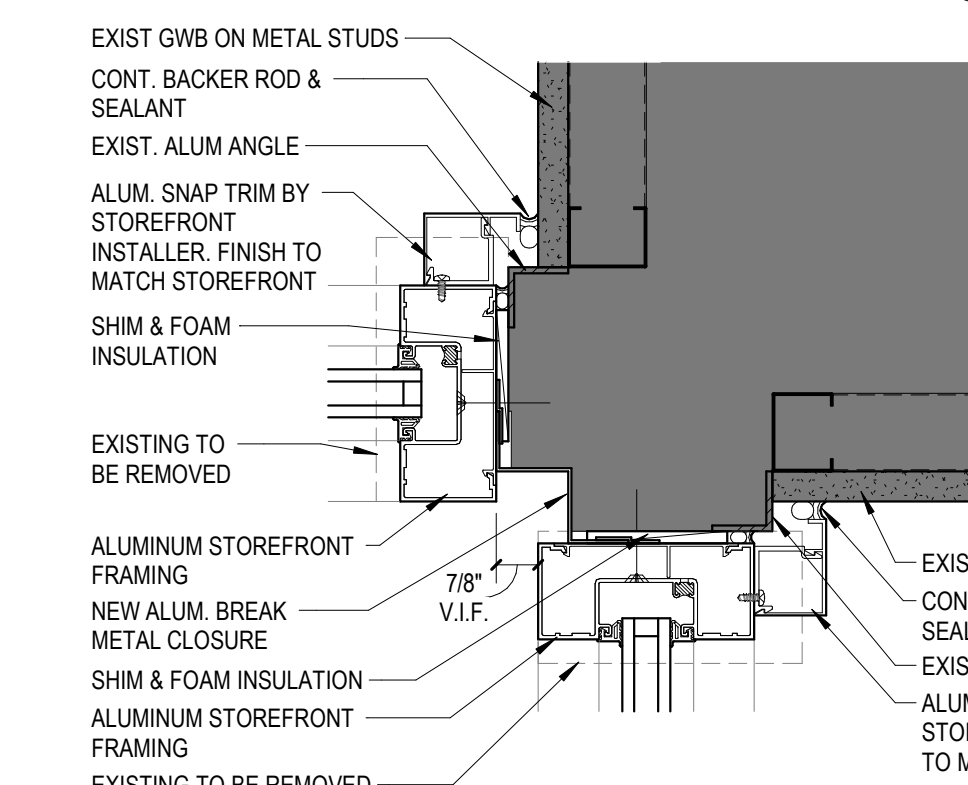


### WINDOW REPLACEMENT GENERAL NOTES

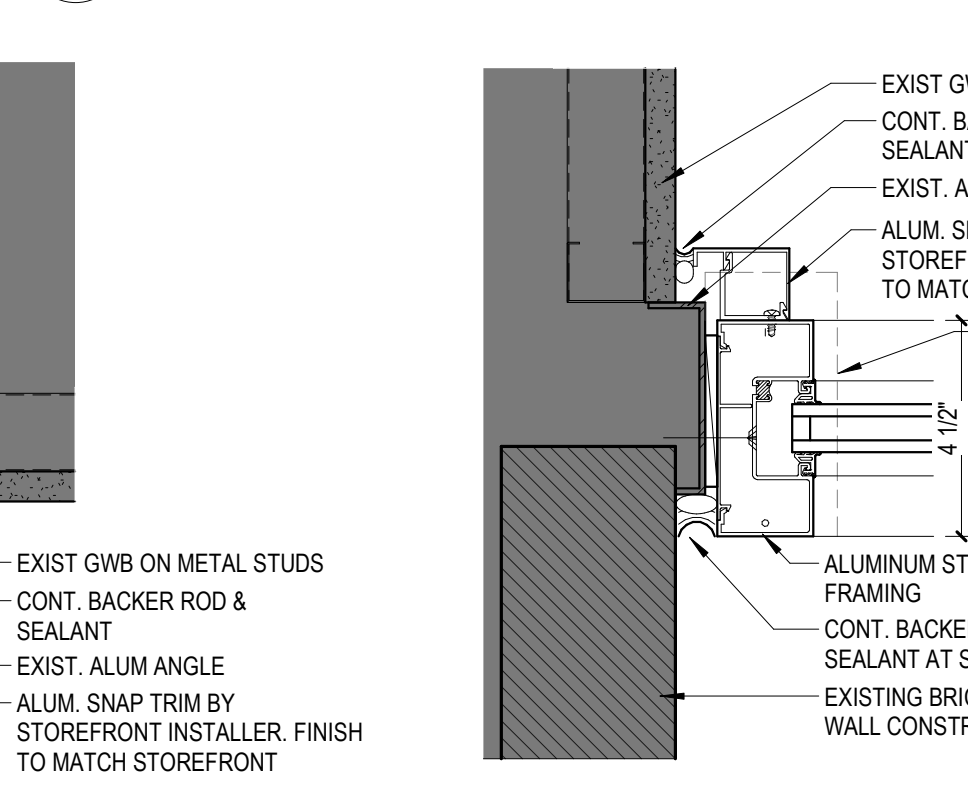
- REFER TO SPECIFICATION MANUAL FOR ADDITIONAL INFORMATION.
- NEW ALUMINUM STOREFRONT WINDOW SYSTEMS ARE TO BE INSTALLED IN EXISTING OPENINGS. DIMENSIONS INDICATED ARE FOR REFERENCE ONLY. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN FILED PRIOR TO FABRICATION.
- REFER TO FLOOR PLAN DIAGRAM AND BUILDING ELEVATIONS FOR LOCATIONS OF NEW STOREFRONT WINDOW SYSTEMS (SHEET A350).
- REFER TO ENLARGED WINDOW ELEVATIONS FOR WINDOW TYPES, APPROXIMATE SIZES AND DETAIL REFERENCES (SHEET A650).
- DOOR HARDWARE TO BE INDICATED AND PROVIDED IN SUBSEQUENT PACKAGE.
- ALUMINUM EXTERIOR DOORS SHALL BE 2" THICK WITH 1" INSULATED TEMPERED GLAZING. INTERIOR ALUMINUM DOORS SHALL BE 1 3/4" THICK WITH 1/4" TEMPERED GLAZING.
- PROVIDE THERMALLY BROKEN, ACCESSIBLE HEIGHT, ALUMINUM THRESHOLDS AT ALL ALUMINUM FRAMED OPENINGS.
- WINDOW REPLACEMENT DETAILS SHOWN (SHEET A650) ARE BASED ON EXISTING DRAWINGS PROVIDED BY OWNER AND DATED MAY 31, 1972 BY GIBBONS HEDTMANN & SALVADOR ARCHITECTS & PLANNERS. EXISTING CONDITIONS REPRESENTED IN DETAILS AS DRAWN HAVE NOT BEEN FIELD VERIFIED AND HAVE NOT BEEN CONFIRMED BY ARCHITECT. CONTRACTOR TO VERIFY EXISTING WINDOW OPENING CONDITIONS AFTER EXISTING WINDOWS HAVE BEEN REMOVED.

D

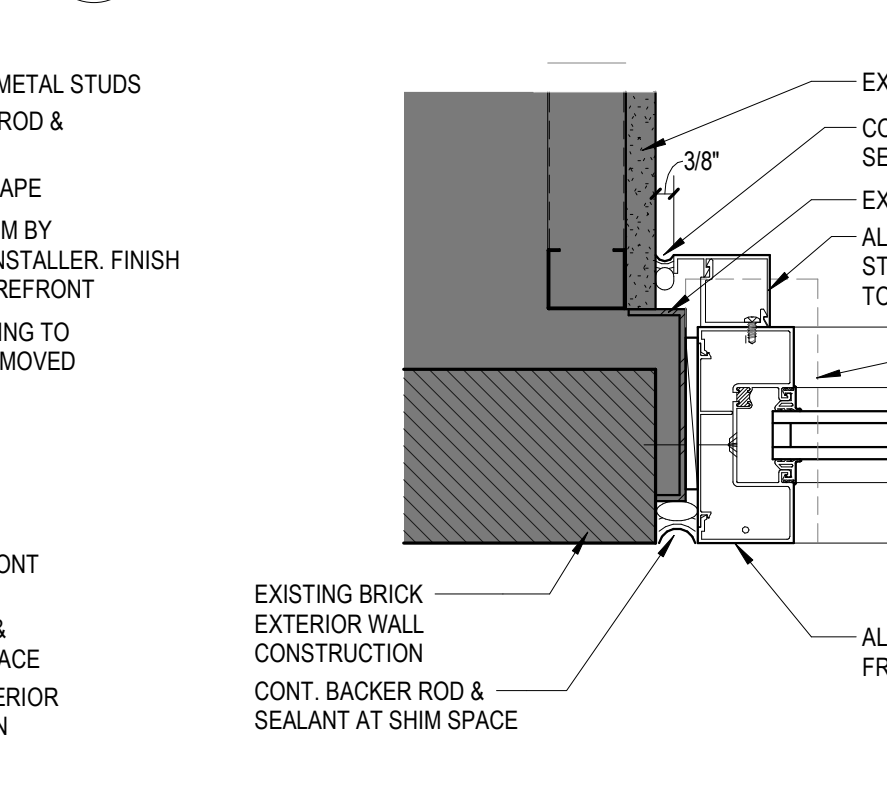
**2C STOREFRONT HEAD DETAIL @ WALL/SOFFIT**  
3" = 1'-0"



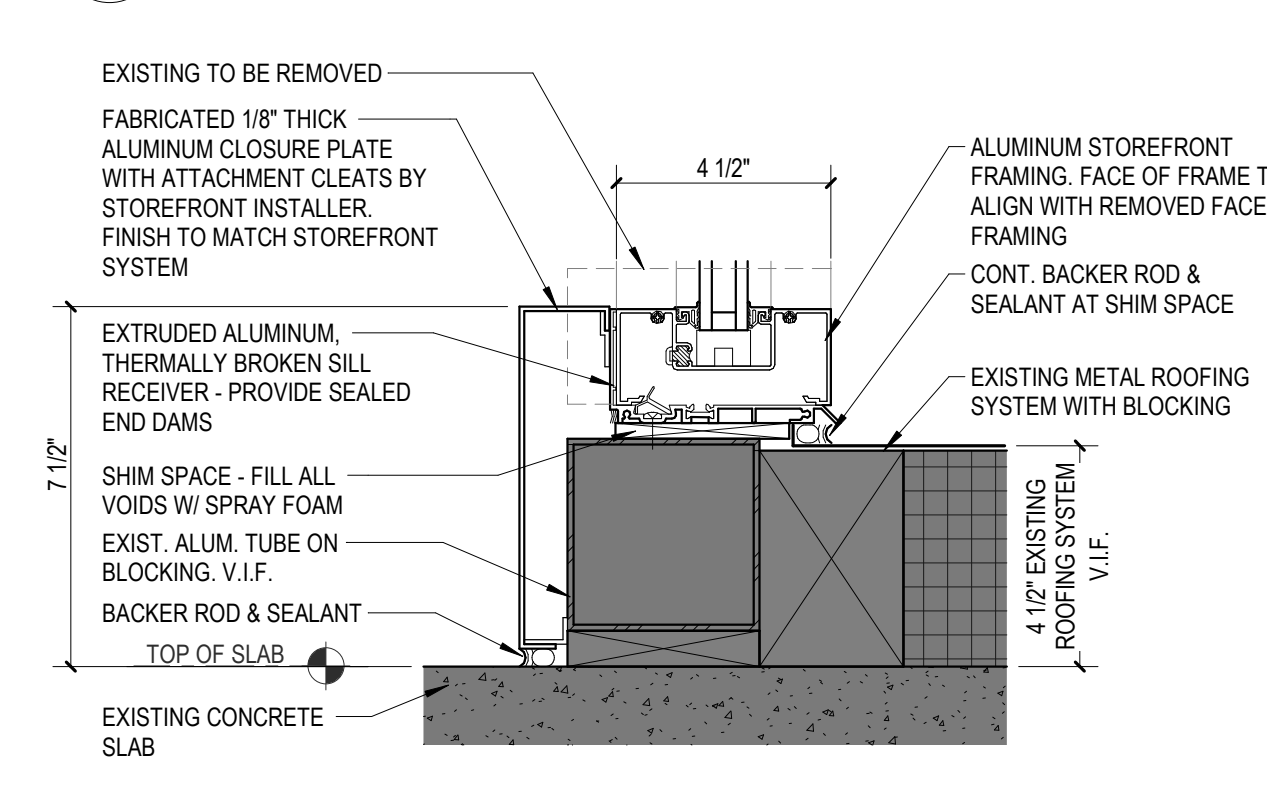
**3C STOREFRONT HEAD DETAIL**  
3" = 1'-0"



**4C STOREFRONT SILL DETAIL**  
3" = 1'-0"

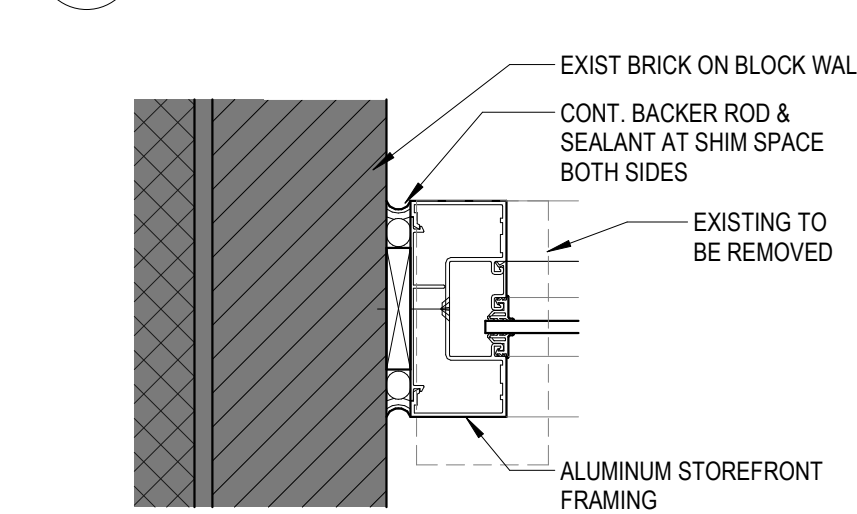


**5C STOREFRONT SILL DETAIL**  
3" = 1'-0"

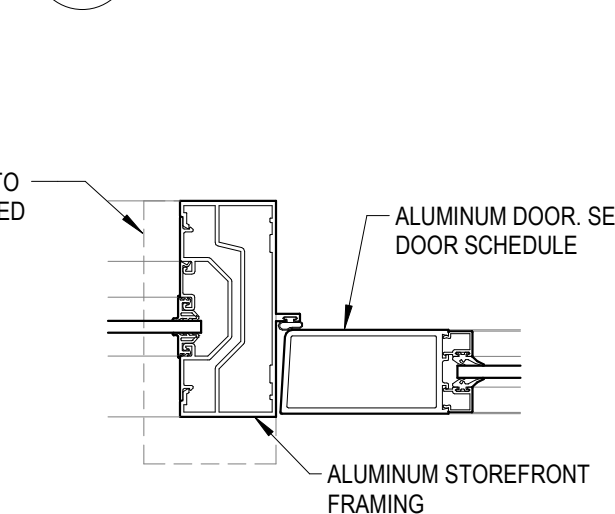


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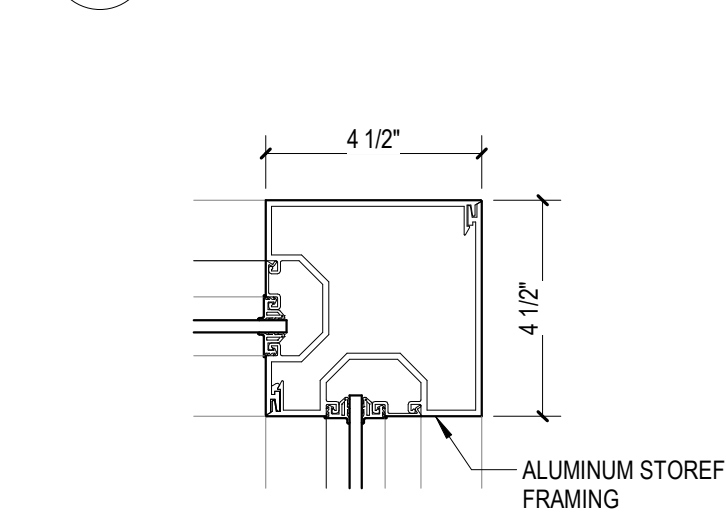
**2D STOREFRONT JAMB DETAIL @ CORNER**  
3" = 1'-0"



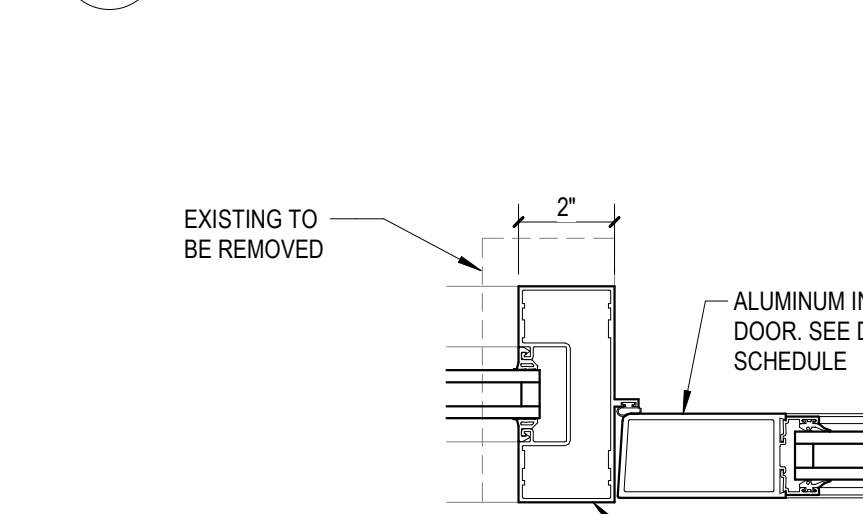
**3D STOREFRONT JAMB DETAIL**  
3" = 1'-0"



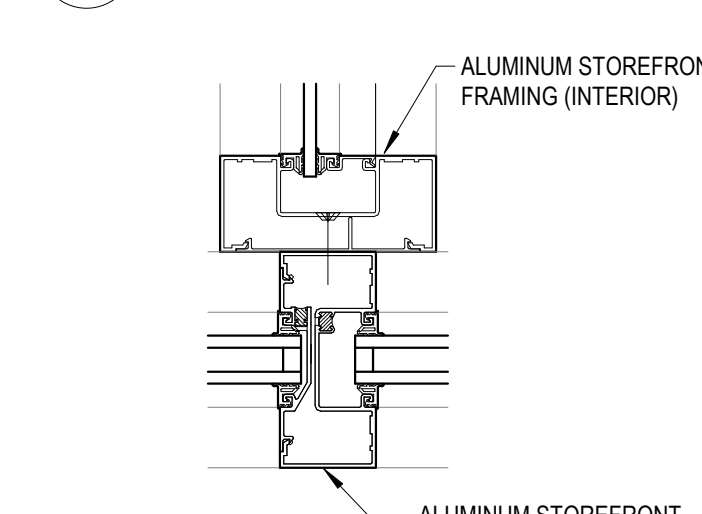
**4D STOREFRONT JAMB DETAIL**  
3" = 1'-0"



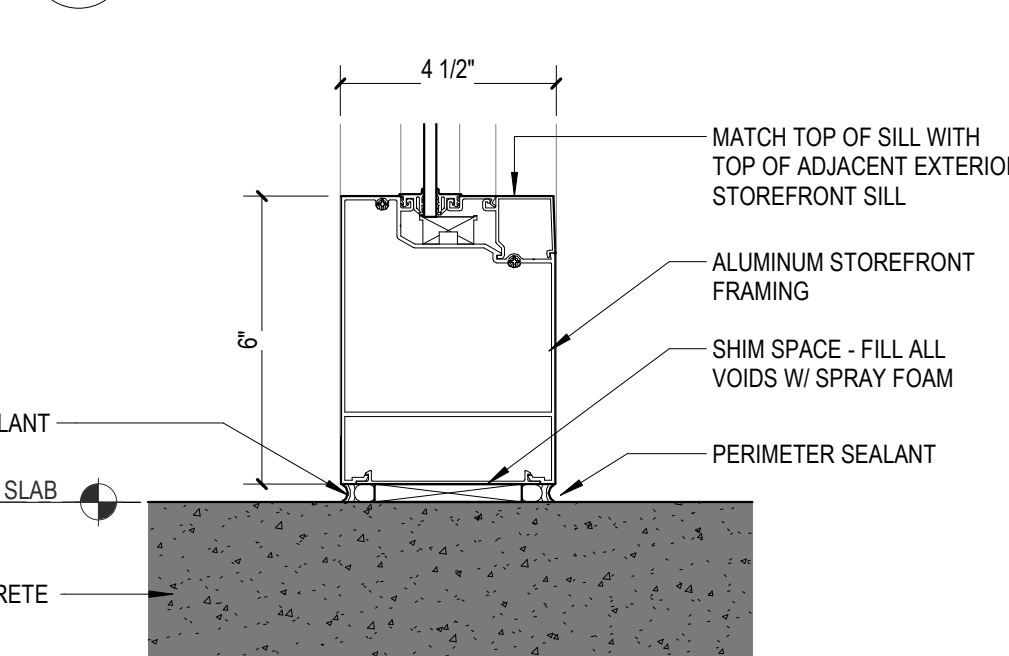
**5D STOREFRONT SILL DETAIL**  
3" = 1'-0"



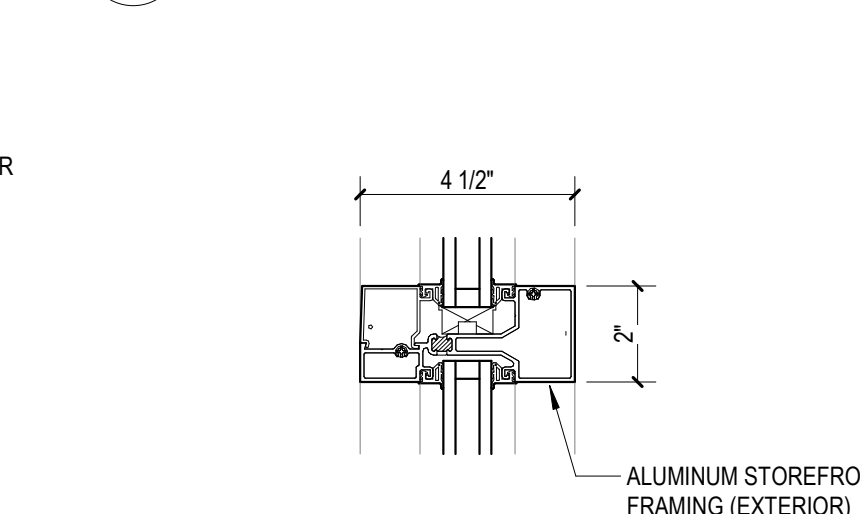
**2E STOREFRONT JAMB DETAIL @ VESTIBULE**  
3" = 1'-0"



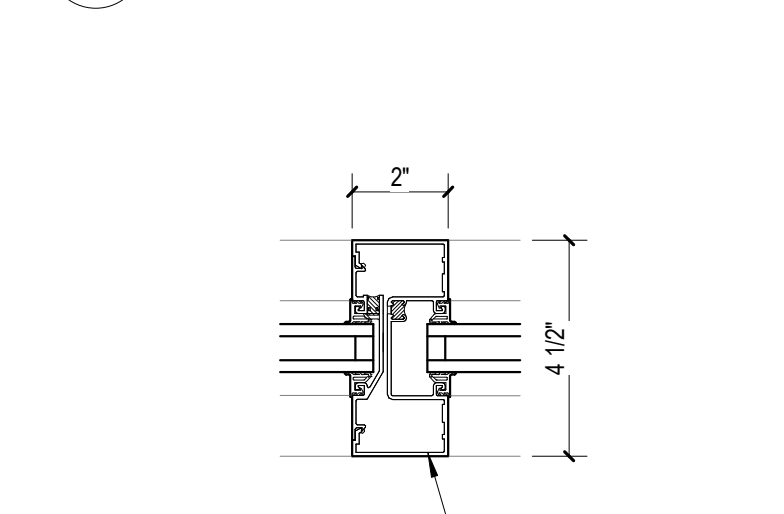
**3E STOREFRONT JAMB DETAIL @ VESTIBULE DOOR**  
3" = 1'-0"



**4E STOREFRONT JAMB DETAIL @ VESTIBULE CORNER**  
3" = 1'-0"



**5E STOREFRONT JAMB DETAIL @ DOOR**  
3" = 1'-0"



**2F STOREFRONT JAMB DETAIL @ VESTIBULE & EXTERIOR STOREFRONT**  
3" = 1'-0"



**3F STOREFRONT SILL DETAIL**  
3" = 1'-0"



**4F STOREFRONT HORIZONTAL MULLION DETAIL**  
3" = 1'-0"



**5F STOREFRONT VERTICAL MULLION DETAIL**  
3" = 1'-0"



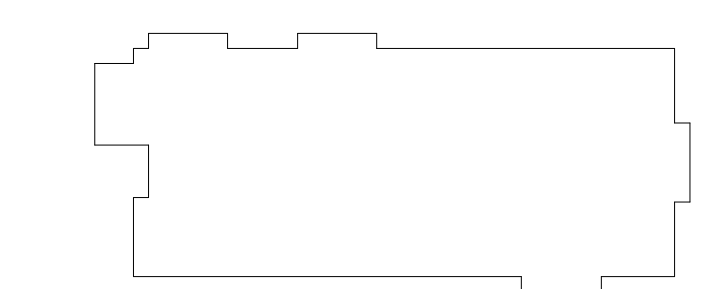
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### KEYPLAN

Number	Date	Issued For
	01/27/2022	BID PACKAGE NO. 1

### WINDOW REPLACEMENT - STOREFRONT ELEVATIONS & DETAILS

Date <b>01/27/2022</b>	Drawing Number <b>A650</b>
Scale <b>As indicated</b>	
Proj. Number <b>20287.10</b>	



1

2

3

4

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PLUMBING DEMOLITION  
GENERAL NOTES

NOTE:  
1. COORDINATE REMOVAL OF EXISTING  
STORM PIPING/RISEIS WITH FUTURE NEW  
WORK OR TEMPORARY STORM WATER  
MITIGATION PLAN.



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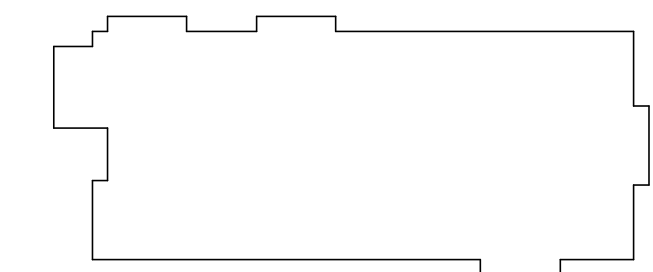
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KEYPLAN

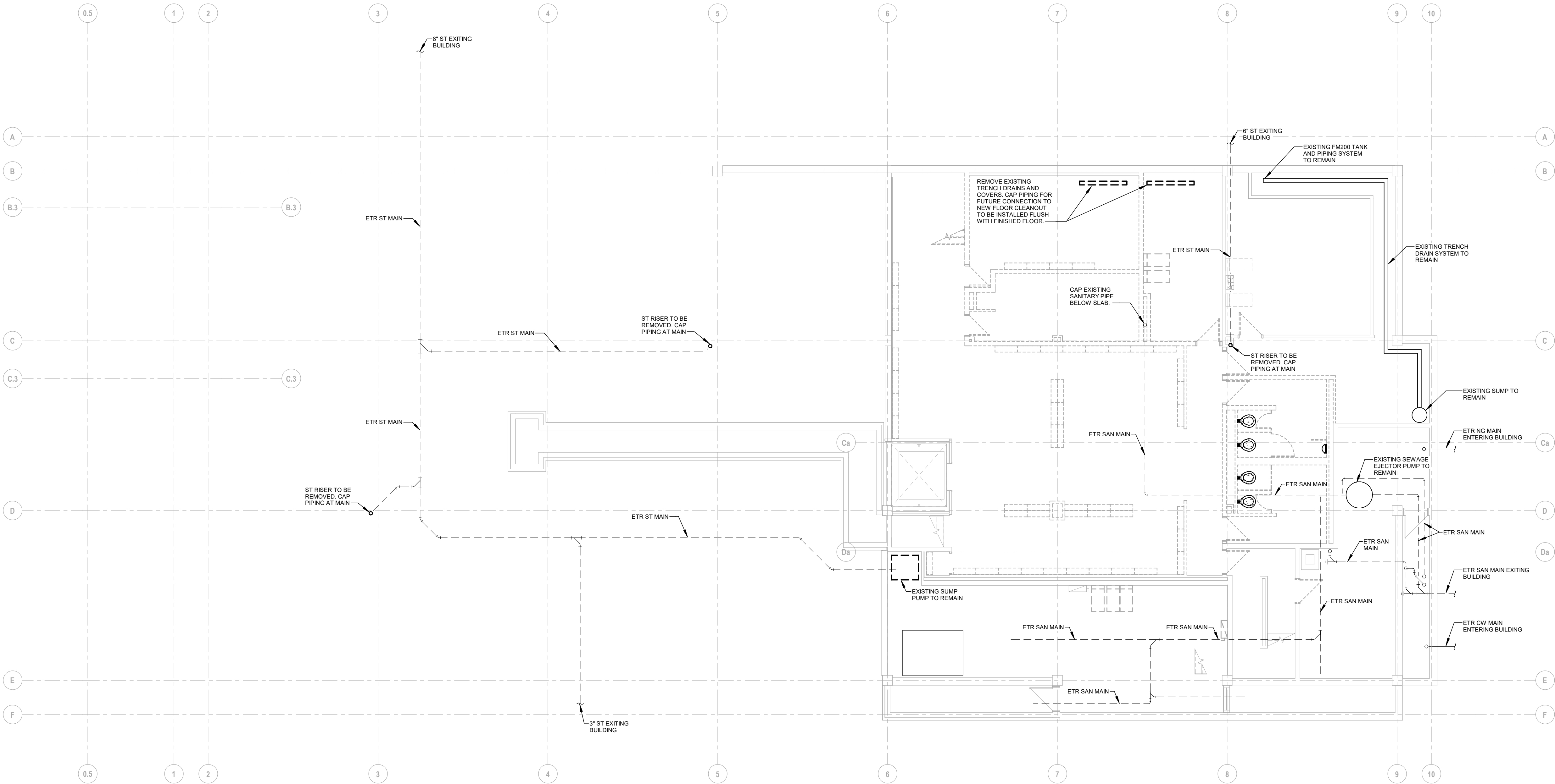
Number	Date	Issued For
	01/27/2022	BID PACKAGE NO. 1

PLUMBING DEMOLITION  
UNDERGROUND FLOOR  
PLAN

Date  
01/27/2022  
Scale  
1/8" = 1'-0"  
Proj. Number  
20287.10

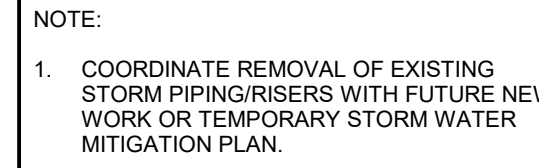
Drawing Number

PDU100




1 PLUMBING DEMOLITION UNDERGROUND PLAN  
1/8" = 1'-0"





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<i>Number</i>	<i>Date</i>	<i>Issued For</i>

Date <b>01/27/2022</b>	Drawing Number
Scale <b><math>1/8'' = 1'-0''</math></b>	<b>PD101</b>
Proj. Number <b>20287.10</b>	



1 PLUMBING DEMOLITION BASEMENT LEVEL FLOOR PLAN  
1/8" = 1'-0"



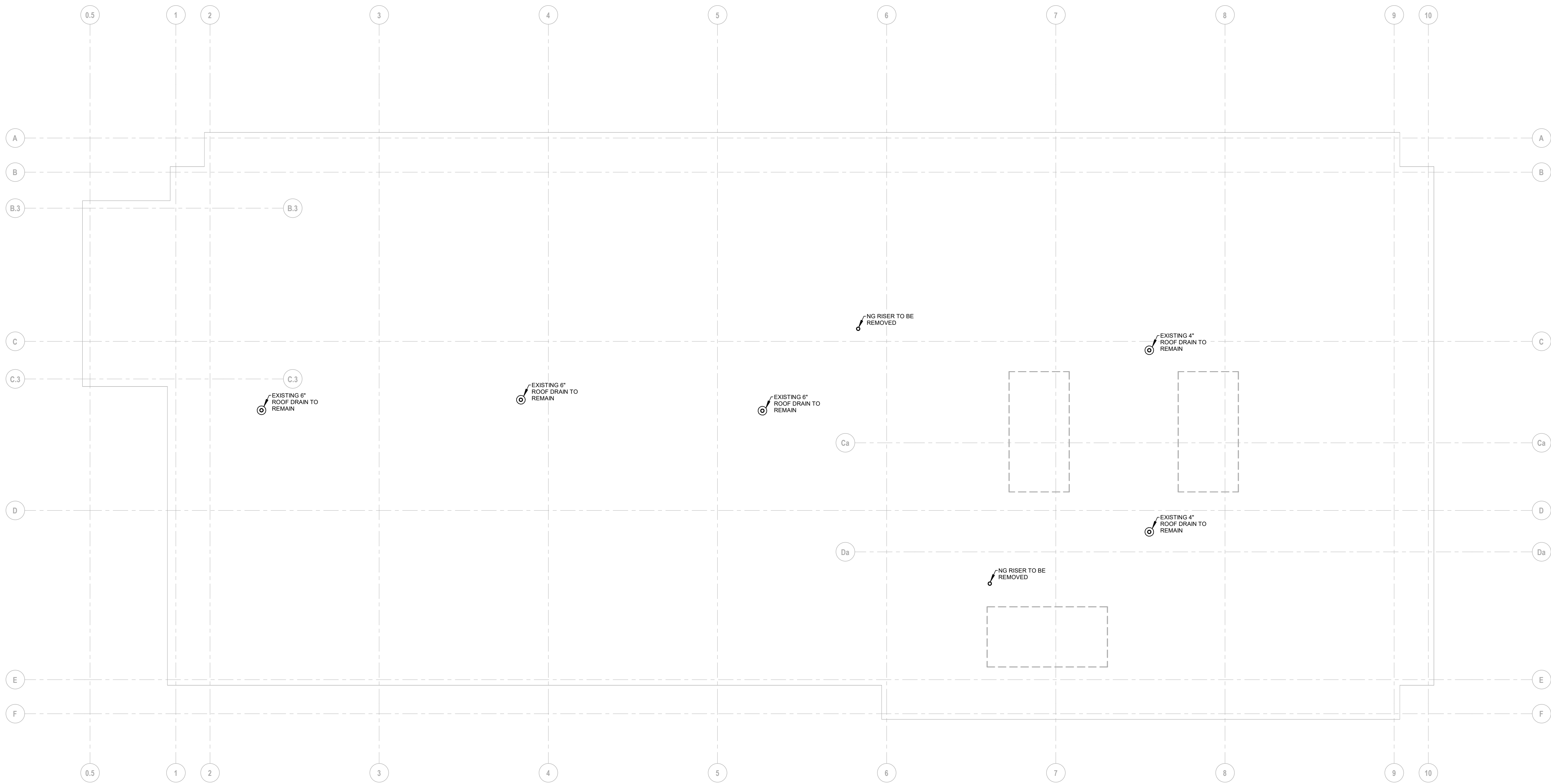
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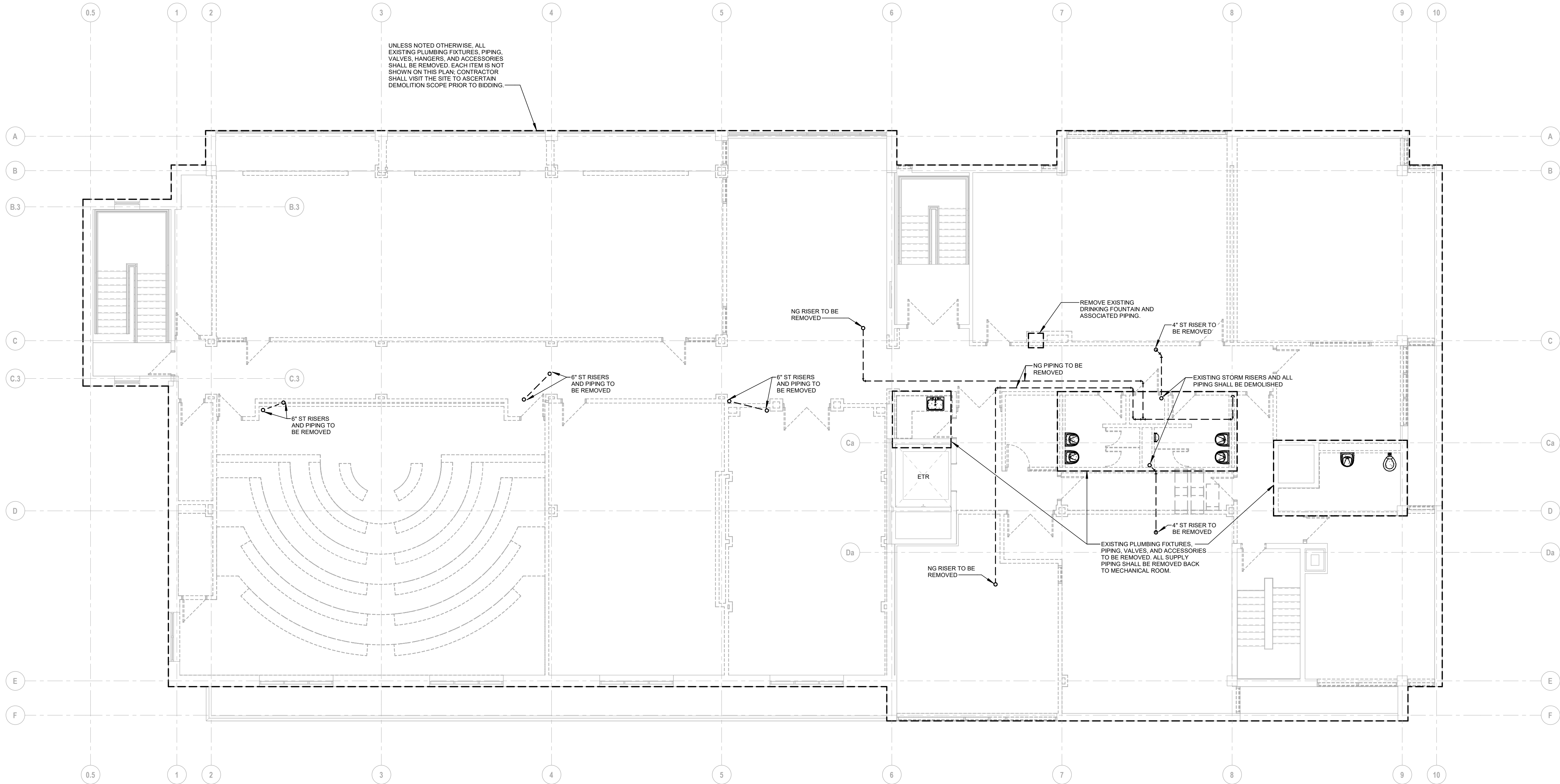
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2 PLUMBING DEMOLITION ROOF LEVEL FLOOR PLAN  
1/8" = 1'-0"



1 PLUMBING DEMOLITION SECOND LEVEL FLOOR PLAN  
1/8" = 1'-0"

PLUMBING DEMOLITION  
GENERAL NOTES

NOTE:  
1. COORDINATE REMOVAL OF EXISTING  
STORM PIPING/RISERS WITH FUTURE NEW  
WORK OR TEMPORARY STORM WATER  
MITIGATION PLAN.



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Number	Date	Issued For
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PLUMBING DEMOLITION  
SECOND FLOOR AND ROOF  
PLANS

Date  
01/27/2022  
Scale  
1/8" = 1'-0"  
Proj. Number  
20287.10

Drawing Number

PD102



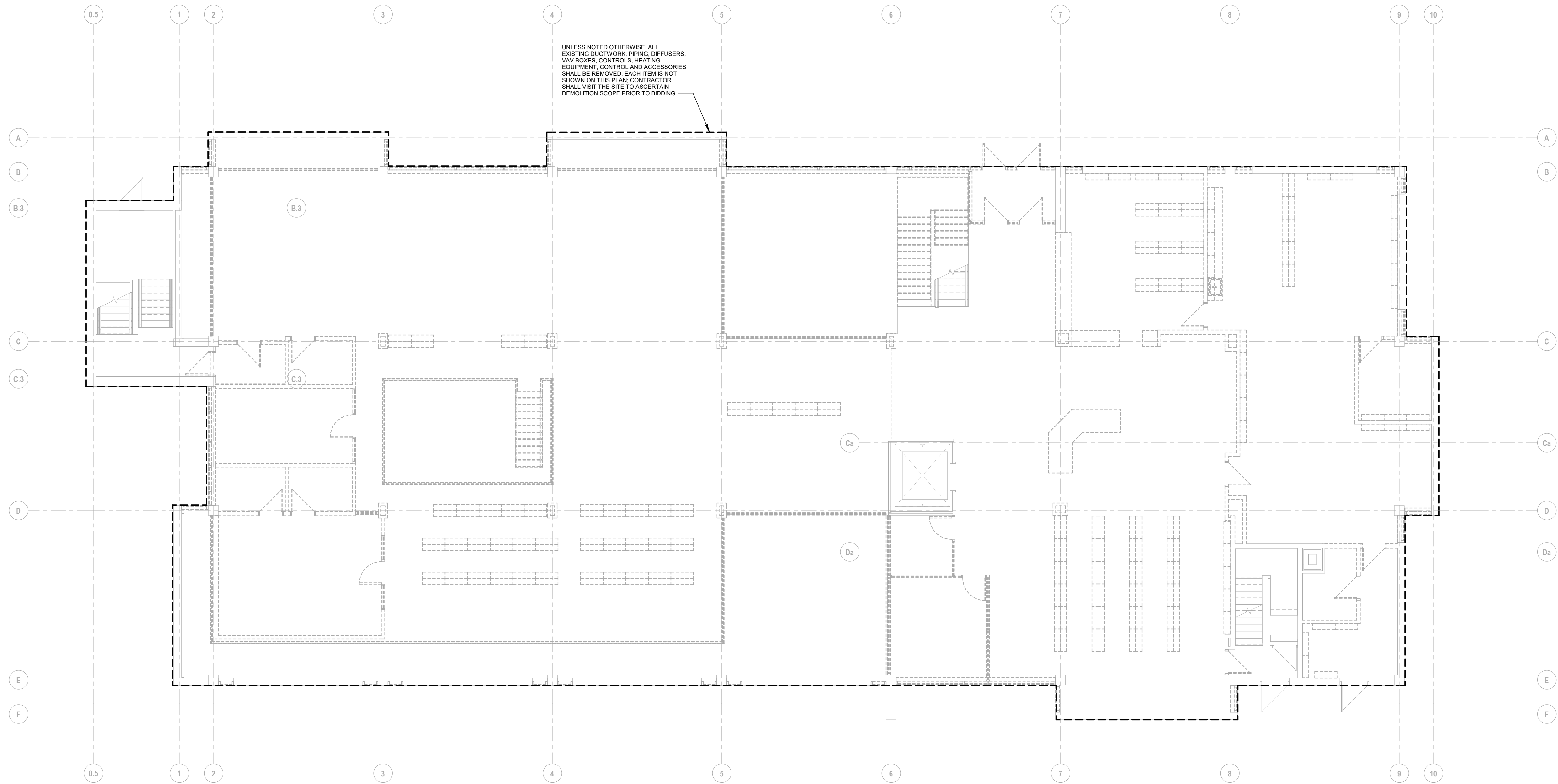
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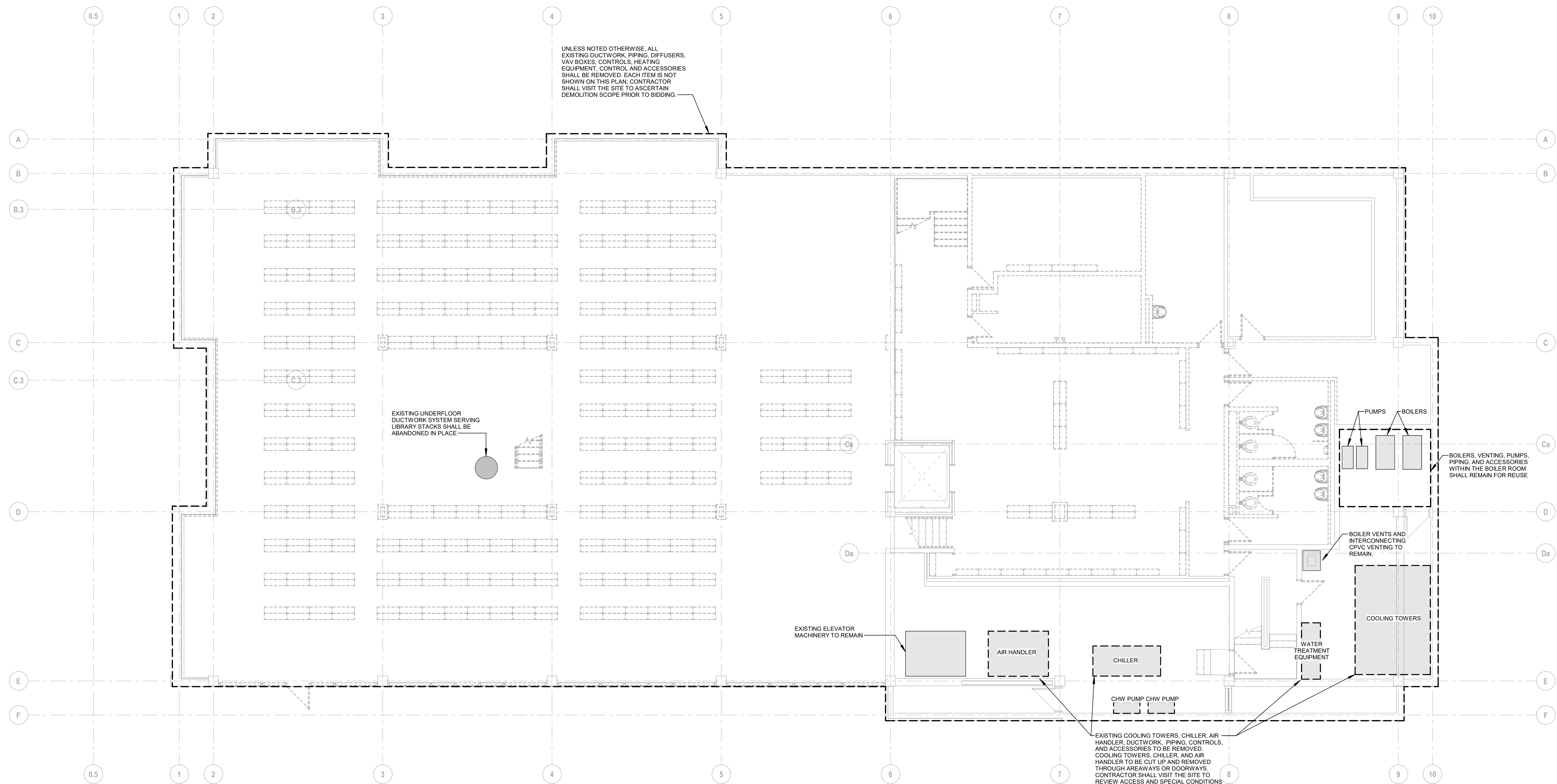
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2 MECHANICAL DEMOLITION FIRST LEVEL FLOOR PLAN  
1/8" = 1'-0"



1 MECHANICAL DEMOLITION BASEMENT LEVEL FLOOR PLAN  
1/8" = 1'-0"



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KEYPLAN

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MECHANICAL DEMOLITION  
BASEMENT/ LOWER LEVEL  
AND FIRST FLOOR PLANS

Date

01/27/2022

Scale

1/8" = 1'-0"

Proj. Number

20287.10

Drawing Number

MD101



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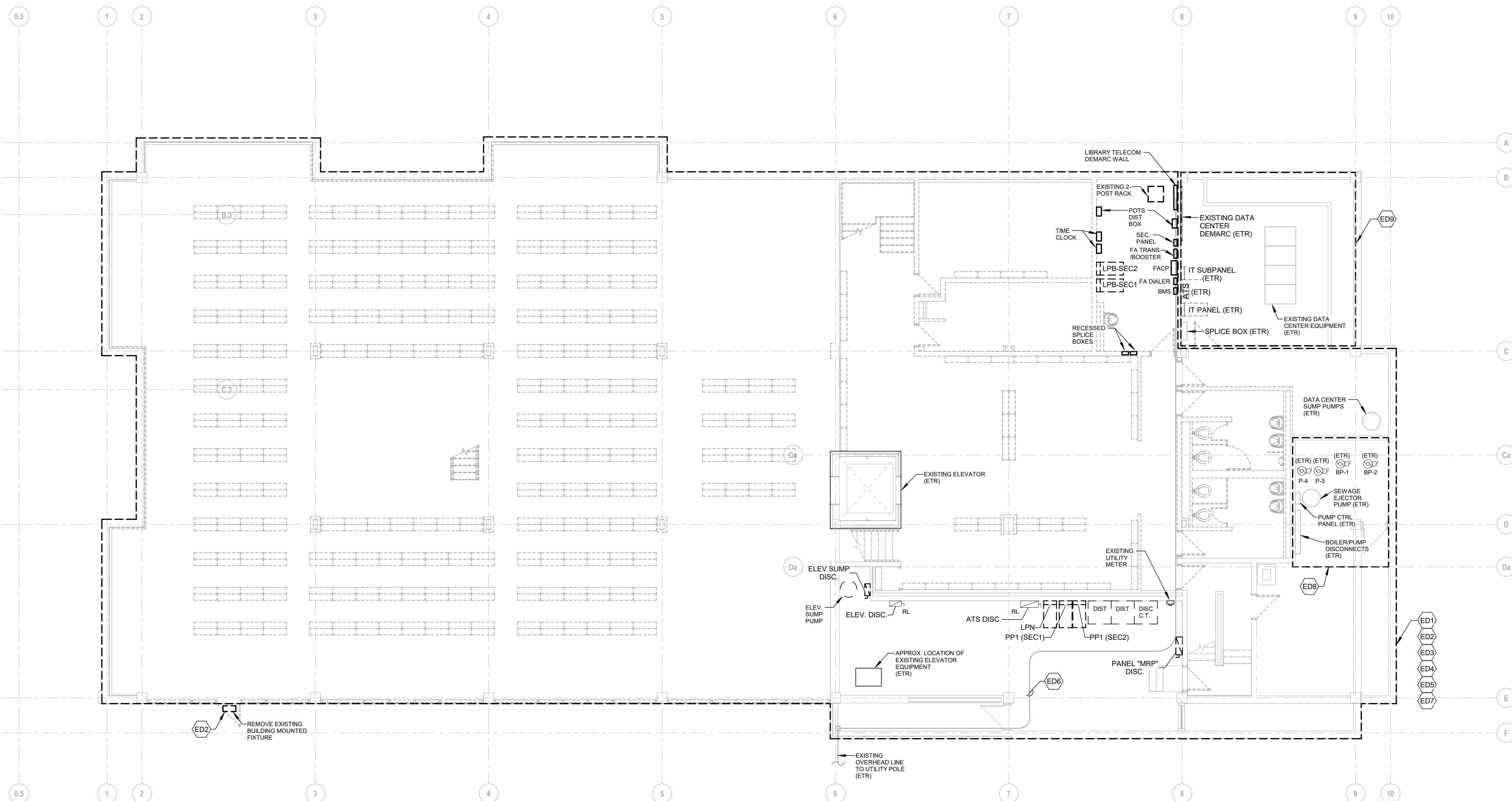
## KEYPLAN

**MECHANICAL DEMOLITION  
SECOND FLOOR AND ROOF  
PLANS**

**MD102**







1 ELECTRICAL DEMOLITION BASEMENT LEVEL FLOOR PLAN  
1/8" = 1'-0"

1. EXISTING ELECTRICAL DEVICES IN REGIONS OF DEMOLITION SHALL BE REMOVED UNLESS NOTED OTHERWISE, INCLUDING BUT NOT LIMITED TO PANELBOARDS, RECEPTACLES, LIGHT FIXTURES, LIGHTING EQUIPMENT, TRANSFORMERS, ELECTRICAL PANELS, FIRE ALARMS, SECURITY DEVICES, AND MECHANICAL EQUIPMENT COMPONENTS. REMOVAL SHALL BE COMPLETE INCLUDING BOXES, CONDUITS, CABLES AND BRANCH CIRCUIT WIRING BACK TO SOURCE. PANELBOARD OR LAST ACTIVE DEVICE TO REMAIN.
2. ELECTRICAL DEMOLITION PLANS ARE DIAGRAMMATIC AND NOT INTENDED TO DEPICT THE ENTIRE ELECTRICAL SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL ELECTRICAL DEVICES, ADDITIONAL DEMOLITION AND MODIFICATION WORK NOT SHOWN SHOULD BE ANTICIPATED. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL ELECTRICAL DEVICES, INCLUDING TRANSFORMERS, RECEPTACLES, LIGHT FIXTURES, LIGHTING EQUIPMENT, ELECTRICAL PANELS, FIRE ALARMS, SECURITY DEVICES, AND MECHANICAL EQUIPMENT COMPONENTS. REMOVAL SHALL BE COMPLETE INCLUDING BOXES, CONDUITS, CABLES, AND BRANCH CIRCUIT WIRING BACK TO SOURCE. PANELBOARD OR LAST ACTIVE DEVICE TO REMAIN.
3. CONTRACTOR SHALL IDENTIFY ALL EXISTING LIGHTING FIXTURES. ALSO INCLUDE REMOVAL OF ASSOCIATED SWITCHES AND SWITCHED WIRING UNLESS OTHERWISE NOTED IN NEW WORK PLANS. LOCATIONS OF EXISTING LIGHTING FIXTURES SHALL BE IDENTIFIED AND MARKED FOR REMOVAL.
4. REFER TO MECHANICAL/PLUMBING DEMOLITION DRAWINGS FOR EXISTING MECHANICAL AND PLUMBING EQUIPMENT TO BE REMOVED. FOR THIS EQUIPMENT, DISCONNECT AND REMOVE WIRING AND PIPING AND REMOVE TO THE APPROPRIATE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL EXISTING MECHANICAL AND PLUMBING EQUIPMENT LOCATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL ITEMS TO BE REMOVED IN A SAFE, LEGAL, AND RESPONSIBLE MANNER.
6. CONTRACTOR SHALL MODIFY EXISTING CIRCUITS, WHEN EXISTING DEVICES ARE REMOVED, AS NECESSARY TO MAINTAIN CIRCUIT CONTINUITY.
7. PRIOR TO SUBMITTING BID, VISIT SITE AND IDENTIFY EXISTING CONDITIONS AND DIFFICULTIES THAT MAY BE ENCOUNTERED DURING DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS THAT ARE HANDLED OR REALIZED DURING DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND REMOVING ALL EXISTING WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE AND HANDLING OF EXISTING TO BE RELOCATED EQUIPMENT AND DEVICES.
9. CONTRACTOR SHALL COORDINATE THE USE OF THE EXISTING FIRE ALARM SYSTEM AS TEMPORARY PROTECTION. THE FIRE ALARM SYSTEM SHALL BE MODIFIED IN AREA OF DEMOLITION TO MAINTAIN TEMPORARY PROTECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE EXISTING DATA CENTER, MAINTAIN OPERATION OF THE EXISTING FIRE ALARM SYSTEM DURING DEMOLITION PROVIDE ADDITIONAL COMPATIBLE DEVICES AS REQUIRED. EXTEND CIRCUITS TO EXISTING DATA CENTER MAY BE REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING UPSTREAM AND DOWNSTREAM OF THE WORK AFFECTED BY DEMOLITION. PROTECT DEVICES DURING DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND REMOVING ALL EXISTING WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS.
10. REACTIVATION OF THESE DEVICES WITH OWNER. PROVIDE TESTING AND REPROGRAMMING OF EXISTING DEVICES TO BE RELOCATED TO THE NEW LOCATION.
11. BRANCH CIRCUITS THAT ARE EXISTING IN THE WORK TO BE REMOVED IN PANELBOARDS THAT ARE BEING DEMOLISHED SHALL BE LABELED TO INDICATE WHAT THEY ARE SERVING (BASED ON EXISTING DEMOLITION PLANS).
12. PANELBOARDS THAT ARE EXISTING TO REMAIN SHALL HAVE THEIR DIRECTORY UPDATED TO INDICATE THE DEVICES TO BE REMOVED. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING DEVICES TO BE REMOVED. CONTRACTOR SHALL BE INDICATED IN THE REVISED DIRECTORY AS SPARES.

ETR	EXISTING TO REMAIN
RE	EXISTING TO BE REMOVED
RL	EXISTING TO BE RELOCATED
RR	EXISTING TO BE RELOCATED IN SAME LOCATION ON NEW SURFACE
RN	EXISTING TO BE REMOVED AND REPLACED WITH NEW (EXISTING BACKBOXES CONDUIT AND WIRING TO REMAIN)
NE	NEW DEVICE INSTALLED IN SAME LOCATION AS EXISTING REMOVED DEVICE
NL	NEW LOCATION OF EXISTING RELOCATED DEVICE

**(D1) EXISTING LIGHTING DEMOLITION**  
REMOVE EXISTING INTERIOR LIGHTING THROUGHOUT, INCLUDING BUT NOT LIMITED TO CONTROLS, FACELATES, BOXES, HANGERS, SUPPORTS, SWITCHES, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN. CIRCUITS ORIGINATING FROM THE PANELBOARD LOCATED IN THE DATA CENTER SHALL BE REMOVED BACK TO THIS LOCATION AND THE ASSOCIATED CIRCUIT BREAKER BE LABELED AS SPARE.

**(D2) EXISTING EXTERIOR LIGHTING DEMOLITION**  
REMOVE EXISTING EXTERIOR LIGHTING AT THIS APPROXIMATE LOCATION. REMOVE SHALL INCLUDE: BOXES, HANGERS, SUPPORTS, SWITCHES, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN.

**(E03) EXISTING POWER RECEPTACLE INFRASTRUCTURE**  
REMOVE EXISTING POWER RECEPTACLE DEVICES THROUGHOUT, INCLUDING BUT NOT LIMITED TO FACELATES, BOXES, HANGERS, SUPPORTS, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN. CIRCUITS ORIGINATING FROM THE PANELBOARD LOCATED IN THE DATA CENTER SHALL BE REMOVED BACK TO THIS LOCATION, AND THE ASSOCIATED CIRCUIT BREAKER BE LABELED AS SPARE.

**(E04) EXISTING FIRE ALARM DEMOLITION**  
REMOVE EXISTING FIRE ALARM SYSTEM, INCLUDING BUT NOT LIMITED TO CONTROL PANELS, ASSOCIATED ENCLOSURES, BOXES, SUPPORTS, RACEWAYS, AND WIRING THROUGHOUT FIRE BUILDING. EXISTING INFRASTRUCTURE SHALL BE REMOVED AND RELOCATED ON THE EXTERIOR OF THE BUILDING, IF APPLICABLE. COORDINATE THE PHASED REMOVAL OR TEMPORARY RELOCATION OF THE FIRE ALARM SYSTEM WITH THE DATA CENTER OPERATIONS AND THE DATA CENTER OPERATIONS.

**(E06) EXISTING DATA & SECURITY INFRASTRUCTURE DEMOLITION**  
**NOT APPLICABLE TO THE EXISTING DATA CENTER**  
REMOVE EXISTING DATA & SECURITY INFRASTRUCTURE IN THE BUILDING, INCLUDING BUT NOT LIMITED TO: CARDS, RECEPTACLES, RACKS, ENCLOSURES, EQUIPMENT, FACELATES, BOXES, HANGERS, SUPPORTS, RACEWAYS, AND WIRING BACK TO ROOM OF ORIGIN. REMOVE ASSOCIATED RACKS SUPPORTS AND ALL CABLES AND ALL CABLES TO BE REMOVED. TURN OVER TO THE OWNER TO DISPOSE AT THE OWNER'S DISCRETION. REMOVE EXISTING BUILDING ONLY, EXCLUDING DATA CENTER. REMOVED TELECOMMUNICATION SERVICES BACK TO POINT OF ENTRANCE AND OUT TO UTILITY POLE.

**(E06) EXISTING FIBER INFRASTRUCTURE TO REMAIN**  
EXISTING OVERHEAD FIBER AND CONDUIT TO REMAIN. APPROXIMATE ROUTING SHOWN. EXISTING FIBER TO REMAIN TO THE DATA CENTER.

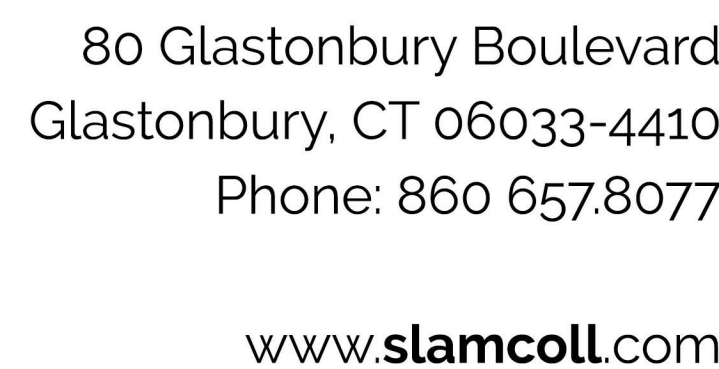
**(E07) EXISTING SERVICE ENTRANCE, DISTRIBUTION, AND PANELBOARD EQUIPMENT DEMOLITION**  
REMOVE EXISTING ELECTRICAL DISTRIBUTION EQUIPMENT, INCLUDING SECONDARY FEEDERS BACK TO THE TRANSFORMER LOCATION. REMOVE EXISTING PANELBOARD EQUIPMENT THROUGHOUT. REMOVE EXISTING ELECTRICAL PANELS, INCLUDING SECONDARY FEEDERS, AND CONDUIT. REMOVE OR NEW ELECTRICAL EQUIPMENT (SEE KEYNOTES EDC AND EDF FOR ADDITIONAL INFORMATION):  
1. DATA CENTER DISCONNECT, ATS, AND ASSOCIATED PANELBOARDS  
2. DATA CENTER DISCONNECT, ATS, AND ASSOCIATED PANELBOARDS

**(E08) EXISTING MECHANICAL & PLUMBING EQUIPMENT TO REMAIN**  
REMOVE ROILER & ASSOCIATED EQUIPMENT. REMOVE EXISTING PUMP & ASSOCIATED CONTROL PANEL, AND DISCONNECT EQUIPMENT TO REMAIN IN THIS AREA. ELECTRICAL CONNECTIONS TO REMAIN. ELECTRICAL CONNECTIONS ARE RELOCATED TO NEW ELECTRICAL PANELBOARD EQUIPMENT.

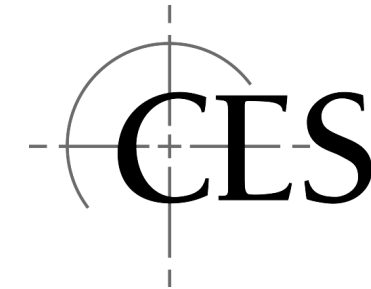
**(D08) DATA CENTER**  
ALL SYSTEMS ASSOCIATED WITH THE DATA CENTER (POWER/LIGHTING/TELECOMMUNICATIONS) SHALL BE REMOVED TO THE DATA CENTER. THE DATA CENTER OPERATIONS AND THE DATA CENTER SHALL CAREFULLY ASSESS COPPER OR FIBER CABLE ROUTED OUTSIDE OF THE DATA CENTER TO BE REMOVED TO THE DATA CENTER. THE DATA CENTER OPERATIONS SHALL BE ASSOCIATED WITH THE DATA CENTER SHALL BE COMPLETED AND COORDINATED WITH THE OWNER.

**(E09) ROOF ELECTRICAL DEMOLITION**  
REMOVE ELECTRICAL CONNECTION TO ALL EXISTING ROOF MOUNTED MECHANICAL EQUIPMENT, INCLUDING BUT NOT LIMITED TO: FACELATES, BOXES, HANGERS, SUPPORTS, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN.  
REMOVE EXISTING ROOF MOUNTED POWER RECEPTACLE DEVICES, INCLUDING BUT NOT LIMITED TO FACELATES, BOXES, COVERS, HANGERS, SUPPORTS, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN.  
REMOVE EXISTING ANTENNA DEVICES LOCATED ON THE ROOF, INCLUDING BUT NOT LIMITED TO ASSOCIATED SUPPORTS AND CABLEING BACK TO ROOM OF ORIGIN. ANTENNA DEVICES TO BE TURNED OVER TO THE OWNER OR DISPOSED AT THE OWNER'S DISCRETION.

**(E09) MOTORIZED SHADES TO REMAIN FOR FUTURE REUSE**  
EXISTING MOTORIZED SHADES TO REMAIN AT ITS CURRENT LOCATION. DISCONNECT ELECTRICAL FEED AND REMOVE WIRING BACK TO PANELBOARD OF ORIGIN. DISCONNECT EXISTING ELECTRICAL FEED AND REMOVE WIRING BACK TO PANELBOARD OF ORIGIN.



**EMC**



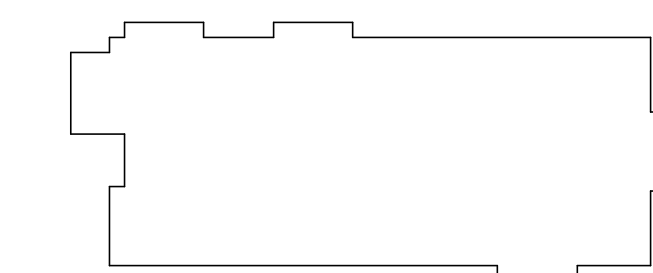
**CES Engineering, LLC**  
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**KEYPLAN**

Number	Date	Issued For
	01/27/2022	BID PACKAGE NO. 1

**ELECTRICAL DEMOLITION  
BASEMENT/ LOWER LEVEL  
AND FIRST FLOOR PLANS**

Date  
**01/27/2022**  
Scale  
**As indicate**  
Proj. Number  
**20287.10**

Drawing Number

***ED101***





**SLAM**  
S / L / A / M Architects, Landscape Architects & Engineers, P.C.

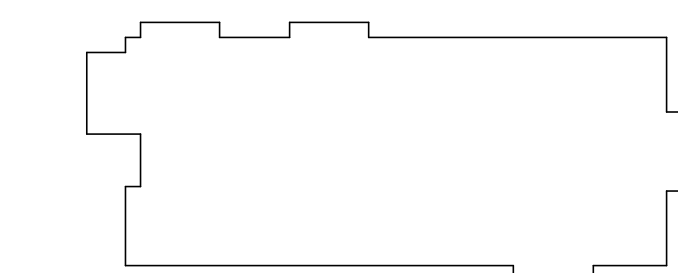
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**KEYPLAN**

Number	Date	Issued For
	01/27/2022	BID PACKAGE NO. 1

**ELECTRICAL DEMOLITION  
SECOND FLOOR AND ROOF  
PLANS**

Date  
**01/27/2022**  
Scale  
**As indicated**  
Proj. Number  
**20287.10**

	<b>Drawing Number</b>
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**ED102**

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