

Principals:

Mark D. Fellenzer, P.E., LEED AP
John D. Fellenzer, P.E., MBA, LEED Green Associate

Founder:

Archie D. Fellenzer, Jr., P.E.
(1924 - 2014)

PRE-BID ADDENDUM NO. # 2

The information contained herein, revises, supplements, and/or supersedes the specific parts of the documents referred to and shall be attached to and become part of such documents as if originally forming a part thereof. Except as herein modified, all other provisions of the documents shall remain in full force as originally set forth.

ISSUED TO: ALL BIDDERS

PROJECT: Orange County Community College
Orange Hall Theater HVAC Unit Replacement
OCCC Project No. ITB-OCCC-2023-20
F.E. Project No. 22-230

DATE: November 3, 2022

ISSUED BY: Eric D. Fellenzer, P.E.

PAGES: 3

ATTACHMENT:

1. Sketches SKHE-100.1, SKHE-701.1, SKHE-701.2, SKHE-701.3, SKHE-701.4, SKHE-701.5

RFI Items:

1. A construction schedule was not included in documents. Please advise if the work is to take place over the summer (5/22/23 to 8/17/23). With the expected lead time of the custom CU/RU/AHU, please confirm spec page IFB-4 concerning the work being fully completed 60 Days from Notice to Proceed does not apply.
FE Response: Construction is to take place over the summer. The 60 Days from Notice to Proceed does not apply.
2. Please confirm any asbestos testing and abatement work required for the project scope will be provided by the college.
FE Response: The existing systems were installed around 1997. It is believed that no asbestos containing material (ACM) is present in the equipment, insulation, ductwork and piping surrounding the scope of work. This being said all removed materials including the existing rooftop units must be disposed of properly by the contractor. No asbestos testing or abatement is required for this project.

PRE-BID ADDENDUM #2 – OCCC – Orange Hall Theater HVAC Unit Replacement (ITB-OCCC-2023-20)

3. Please confirm all Fire Alarm Scope is to be provided by the college as per note 1 on the Fire Alarm scope on plan HE-001.
FE Response: Correct.
4. Dimensions of the doorway for rigging purposes appear to be smaller than split sections of AHU-A indicated on HE-701. Please advise on the intended pathway for the rigging of the split sections of this unit or advise if this unit is to be built in place.
FE Response: Per drawing HE-101 the contractor shall provide a temporary opening in the penthouse wall to facilitate the removal of existing air handling unit (AHU) and installation of the new AHU. The contractor shall be responsible for coordinating with the AHU manufacturer on split sections. Any temporary structural steel shall be provided by the contractor.
5. Refrigeration Liquid and Suction piping sizes are not indicated on plans. Please provide desired pipe sizes.
FE Response: Pipe sizes are per the condensing unit manufacturer.
6. Please confirm the guarantee Period and Maintenance Bond period is 2 years as per page IFB-4 and Article XX in the General Conditions.
FE Response: Correct.
7. Please advise if a Builder's Risk Policy is required as per Article XXIV paragraph 24.5 in the General Conditions.
FE Response: Correct.
8. Please advise if permits are required and if so, please confirm the permit fees will be waived.
FE Response: No permits are required for this project. The only requirements are that the electrical installer is licensed by the City of Middletown and all electrical work is inspected by a third party and documented.
9. Please advise on acceptable equipment rigging locations in coordination with existing infrastructure including underground utilities (front or back of building driveway access).
FE Response: The contractor shall coordinate with the school on equipment rigging locations.
10. Please advise if a pre-demo Testing and Balancing survey is desired on Hydronic and/or Air Systems.
FE Response: No pre-demolition testing and balancing required. All new units shall be tested and balanced to the design parameters per industry standards. Provide a test and balance report to the engineer for review and approval.
11. Upon review of site conditions, an existing underground gas line (capped aboveground) resides where the new retaining wall is scheduled to be constructed, please advise.
FE Response: The existing capped underground gas line shall be demolished back to the nearest main tee. Should there be any additional interferences, the contractor shall remove and relocate the existing gas piping as required.

PRE-BID ADDENDUM #2 – OCCC – Orange Hall Theater HVAC Unit Replacement (ITB-OCCC-2023-20)

12. Upon review of site conditions, the proposed new fence is to be installed 5'-0" beyond the building face which will be in conflict with an existing tree, please advise if this tree is to be removed.

FE Response: The tree shall be removed, stored in a safe manner, and replanted as close as possible to its original location once the new fence is installed. All landscaping work shall be coordinated with the school.

13. Please advise if acceptable to close opening in penthouse wall using a removable panel/blanked off louver sized for the height of AHU-A.

FE Response: Removable panels may be installed in wall opening. If the contractor decides to proceed with this option, they must provide shop drawings to the engineer for review and approval.

14. Please clarify options as stated on detail 5/HE-701 Modular Concrete Block Retaining Wall

FE Response: Please see attached sketches SKHE-100.1, SKHE-701.1, SKHE-701.2, SKHE-701.3, SKHE-701.4, SKHE-701.5 with clarifications

Additional Amendment to Drawings and Specifications:

1. See attached sketches SKHE-100.1, SKHE-701.1, SKHE-701.2, SKHE-701.3, SKHE-701.4, SKHE-701.5

Please sign and date this addendum E-mail back to jdd@fello.com and CC edf@fello.com and include it with the bid submission.

Company Name: _____

Address: _____

Company Officer: _____

Date: _____

-----END OF ADDENDUM-----

NEW REFRIGERANT LINE SETS
(4 TOTAL) UP THE EXTERIOR WALL
AND ONTO ROOF. COORDINATE
ROUTING WITH EXISTING SECURITY
CAMERA AND JUNCTION BOX
LOCATED AT 2ND FLOOR LEVEL.
SEE HE-101 FOR CONTINUATION

EXISTING TREE
TO REMAIN

STEP WALL FROM
4' HIGH TO
1' HIGH
AS REQUIRED

NEW CONDENSING UNIT CU-1

2" THICK, ½" CRUSHED
STONE OVER FILTER
FABRIC THROUGHOUT
EQUIPMENT AREA

4' HIGH
RETAINING WALL

PERFORATED RETAINING
WALL DRAIN PIPE WITH
OUTLET TO DAYLIGHT

M1-25,27,29

PROVIDE NEW 6"
HOUSEKEEPING PAD FOR
CU-1. SEE DETAIL 7/HE-701

EXISTING CARRIER UNIT TO REMAIN

EXISTING HOUSEKEEPING PAD TO REMAIN

EXISTING GAS PIPING TO REMAIN

PROVIDE NEW RETAINING WALL.
SEE DETAIL 5/HE-701

PROVIDE NEW 6'-0" HIGH CHAIN
LINK FENCE WITH 4'-0" WIDE
GATE. SEE DETAIL 6/HE-701

EXCAVATE AREA FOR NEW RETAINING WALL.
REMOVE ALL MATERIALS OFFSITE AND
RESTORE EXISTING AREAS.

1

MECHANICAL/ELECTRICAL CONSTRUCTION SITE PLAN

SCALE: 10' = 1'-0"

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PROJECT TITLE: **OCCC ORANGE HALL THEATER
HVAC UNIT REPLACEMENT**
COUNTY JOB NO.: OCCC-2023-20

FE PROJECT No:
22-230

SCALE:
AS SHOWN

DESIGNED BY:
JDD

DRAWN BY:
JCL

CHECKED BY:
EDF

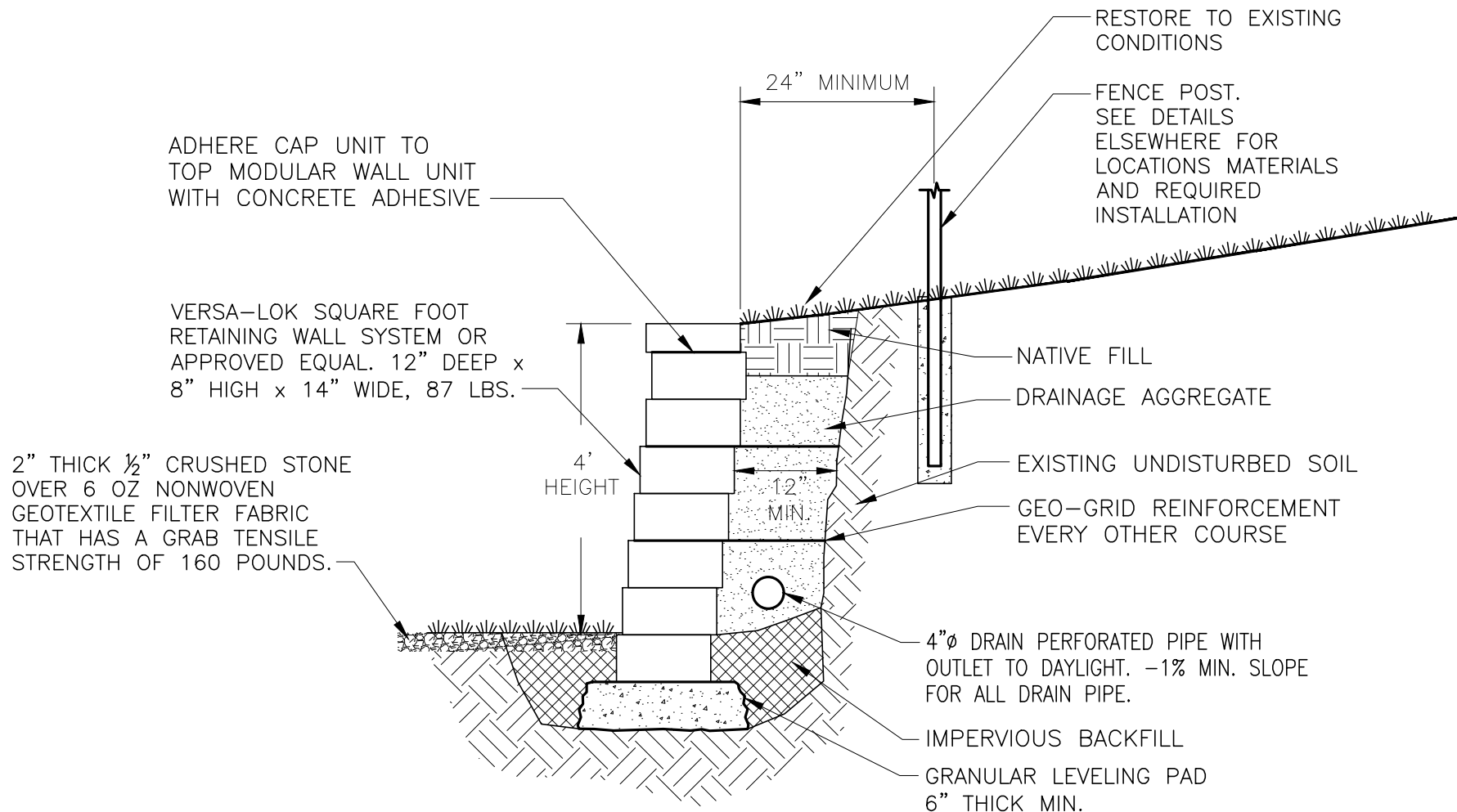
REF. DWG.:
HE-100

SKETCH TITLE:
RETAINING WALL CLARIFICATION

REF. DWG. TITLE:
**MECHANICAL/ELECTRICAL
DETAIL & SCHEDULES**

SKETCH No:
SKHE-100.1

ISSUE DATE:
11/03/22



TYPICAL SECTION VIEW

5 MODULAR CONCRETE BLOCK RETAINING WALL
N.T.S.

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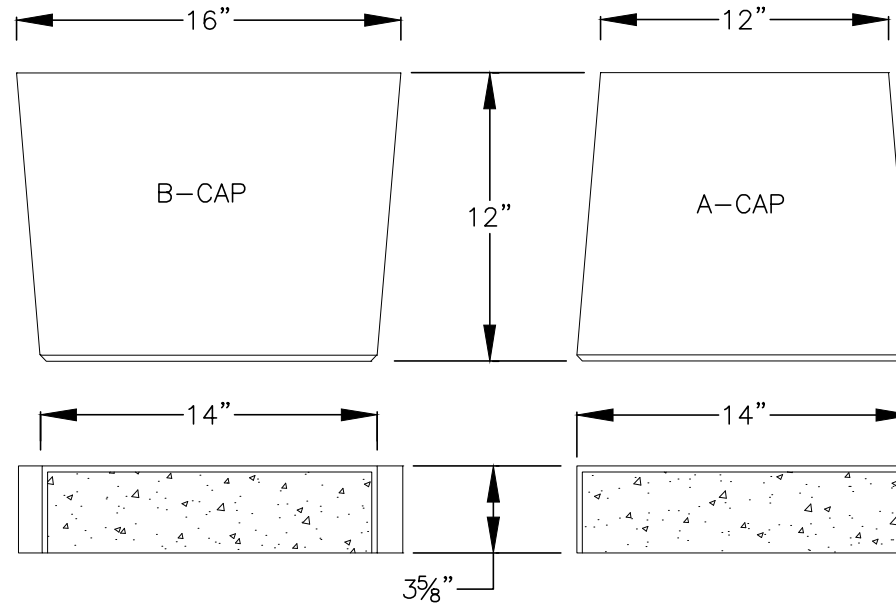
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SKETCH TITLE:
RETAINING WALL CLARIFICATION

REF. DWG. TITLE:
**MECHANICAL/ELECTICAL
DETAIL & SCHEDULES**

SKETCH No:
SKHE-701.1

ISSUE DATE:
11/03/22



8 VERSA-LOK CAP UNITS

$1 \frac{1}{2}" = 1'-0"$

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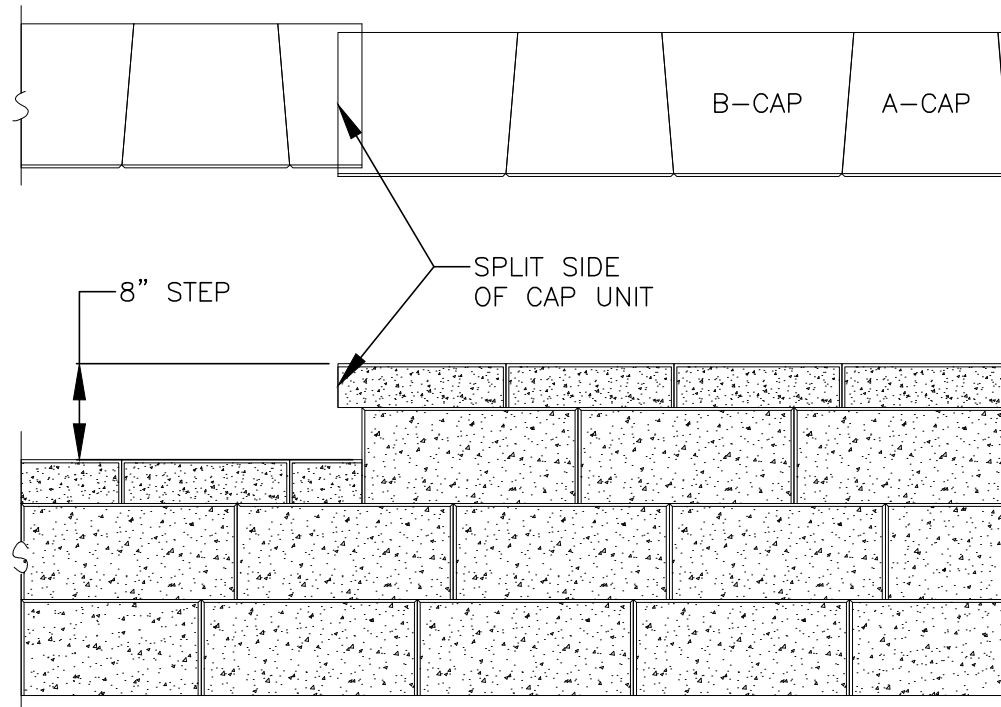
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SKETCH No:
SKHE-701.2

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FOR STRAIGHT WALLS, ALTERNATE A-CAP AND B-CAP



9 VERSA-LOK CAPPING DETAIL-PROFILE

$\frac{3}{4}'' = 1'-0''$

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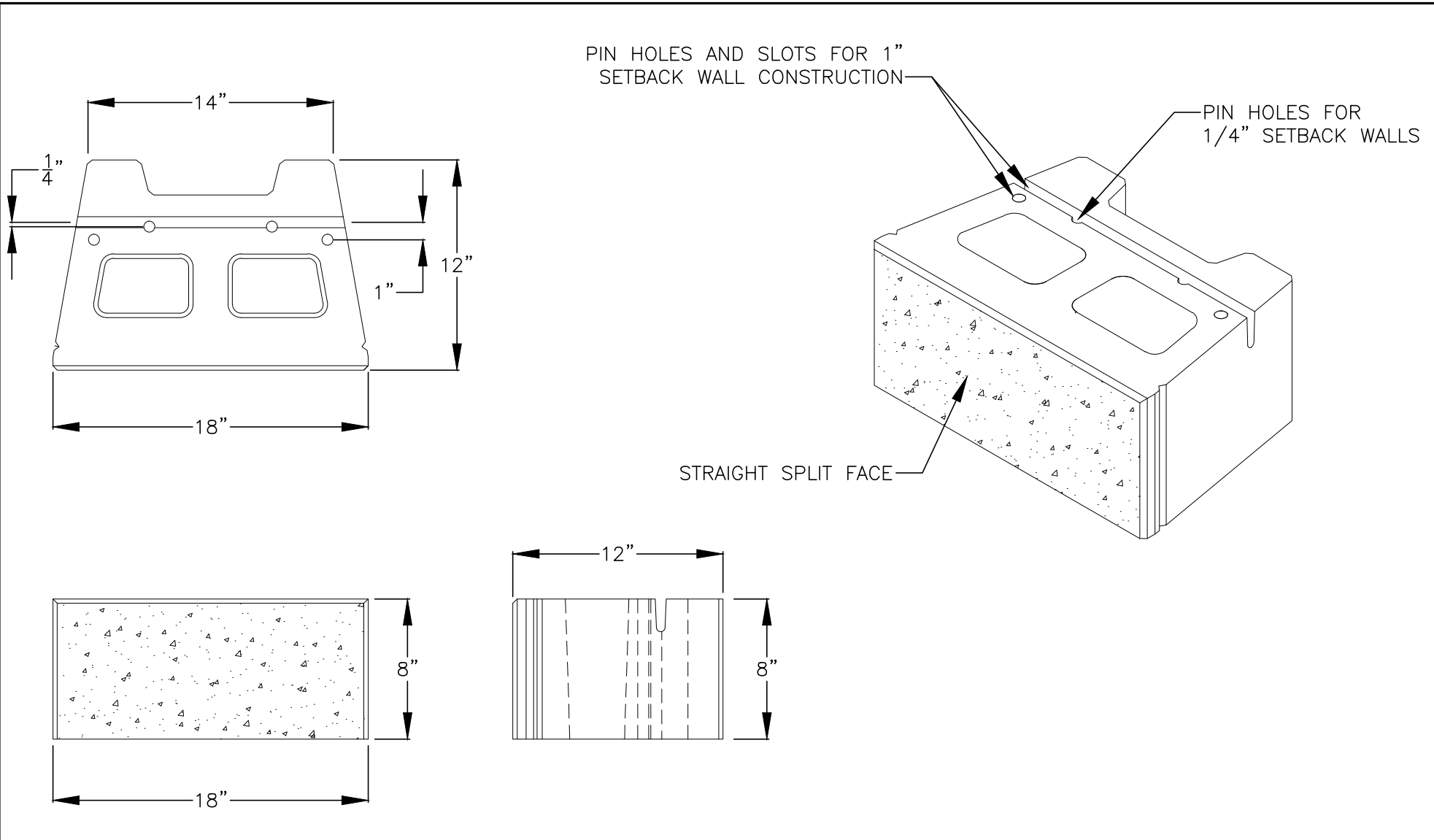
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SKETCH TITLE:
RETAINING WALL CLARIFICATION

REF. DWG. TITLE:
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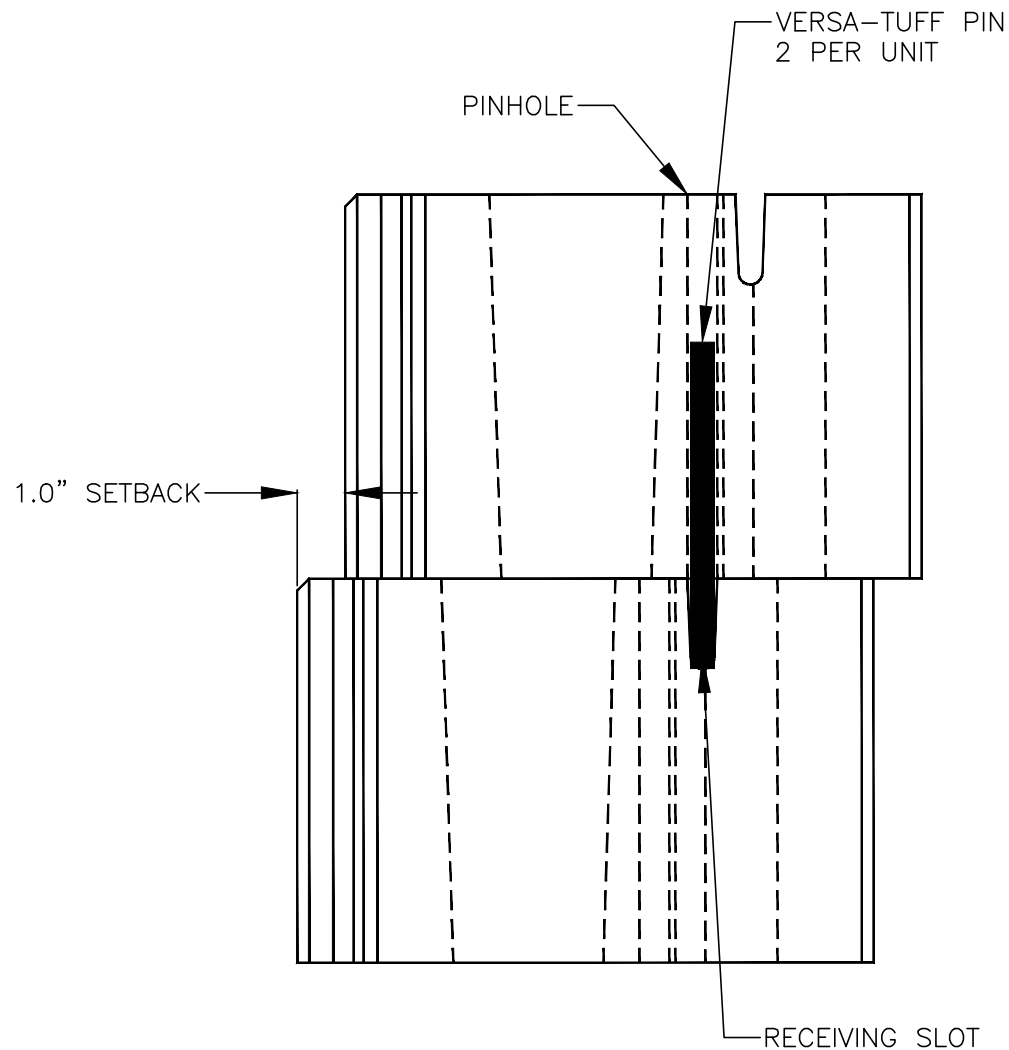
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11/03/22



10 VERSA-LOK SQUARE FOOT UNIT
 $1 \frac{1}{2}" = 1'-0"$

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	FE PROJECT No: 22-230	SCALE: AS SHOWN	REF. DWG.: HE-701	REF. DWG. TITLE: MECHANICAL/ELECTICAL DETAIL & SCHEDULES
	DESIGNED BY: JDD	DRAWN BY: JCL	CHECKED BY: EDF	ISSUE DATE: 11/03/22



11 VERSA-LOK PINNING DETAIL

3" = 1'-0"

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REF. DWG.:
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SKETCH TITLE:
RETAINING WALL CLARIFICATION

REF. DWG. TITLE:
**MECHANICAL/ELECTICAL
DETAIL & SCHEDULES**

SKETCH No:
SKHE-701.5

ISSUE DATE:
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