

Project Number  
15131.07  
Client Name

## Project Name

## MIDDLE SCHOOL HVAC REPLACEMENT

Project Address  
40 ROMER AVE. PLEASANTVILLE, NY 10570

## PLEASANTVILLE MIDDLE SCHOOL

66-08-07-(0-0-003-02

No.	Date	Description
1	10/31/22	MD ADOBN

## PROFESSIONAL STAMPS

**NEW YORK STATE EDUCATION STATEMENT**

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Issued

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Issued

10/21/22

Project Status

BID SUBMIS

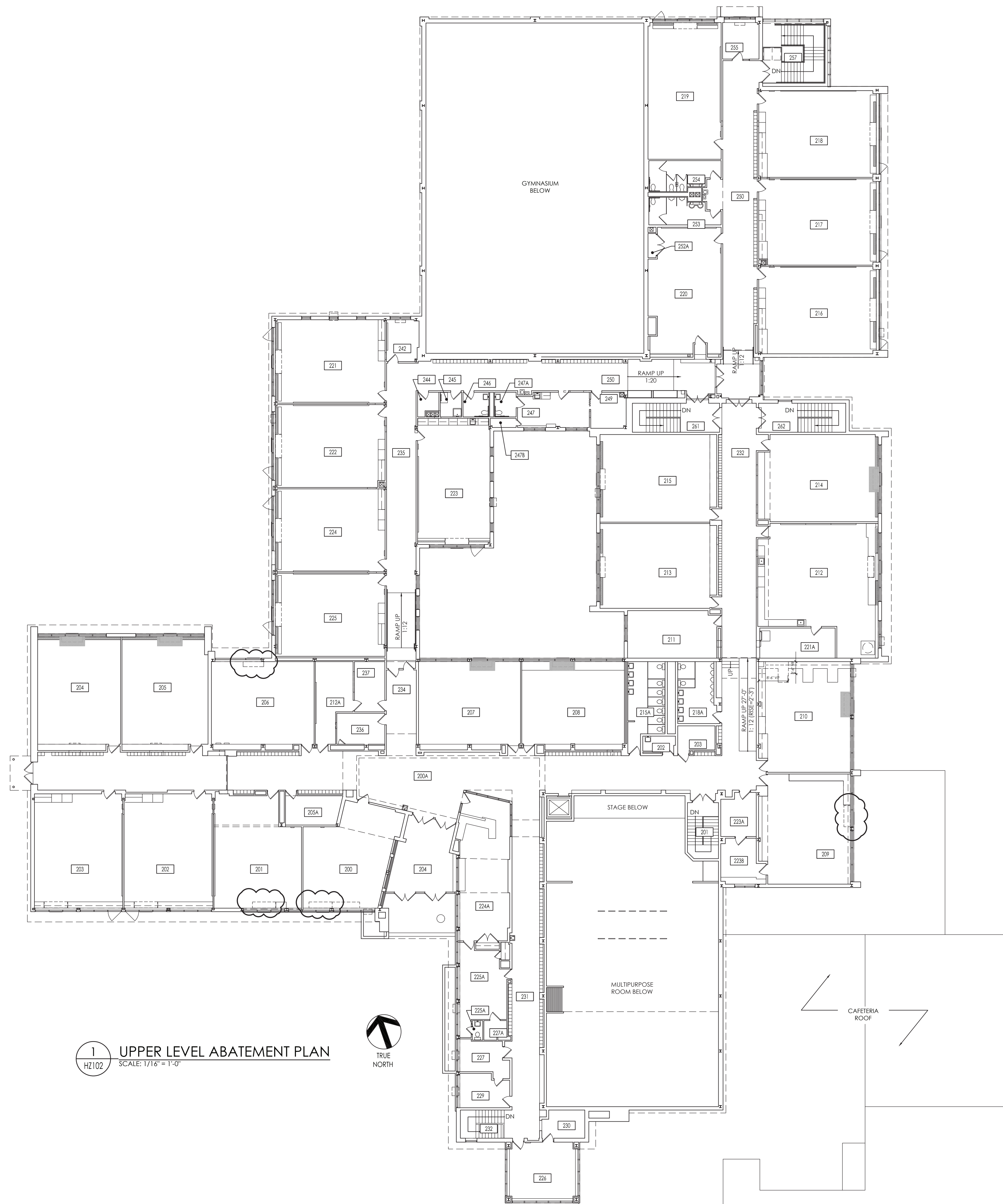
Drawn By  
RA

Drawing Title

UPPER FIVE ABATEMENT PLAN

Drawing Number

PMS  
HZ102



1 UPPER LEVEL ABATEMENT PLAN  
HZ102 SCALE: 1/16" = 1'-0"



1. COORDINATE ALL DEMO WORK WITH ASBESTOS DRAWINGS.
2. THE CONTRACTOR SHALL COORDINATE THE DEMOLITION WORK WITH THE OVERALL PROJECT SCHEDULE.
2. THE BUILDING SHALL BE MAINTAINED WEATHER TIGHT DURING CONSTRUCTION.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS AND DETAILS INVOLVED IN THE DEMOLITION WORK.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
4. THE OWNER SHALL PROVIDE THE CONTRACTOR WITH A LIST OF ALL ITEMS TO BE SALVAGED PRIOR TO CONSTRUCTION.
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6. THE CONTRACTOR SHALL MAINTAIN AND CONTINUE SAFE ACCESS TO ALL EXITS FOR THE BUILDING OCCUPANTS DURING CONSTRUCTION.

D1	NOT USED.
D2	REMOVE ACOUSTIC CEILING IN ITS ENTIRETY.
D3	REMOVE GYPSUM CEILING IN ITS ENTIRETY.
D4	REMOVE CASEWORK AND SOFFIT AS REQUIRED FOR FLOOR SLAB DEMOLITION AS NOTED. COORDINATE REMOVALS WITH MC.
D5	REMOVE CASEWORK AND SOFFIT AS REQUIRED FOR NEW HVAC EQUIPMENT SHAFT. COORDINATE REMOVALS WITH MC.
D6	REMOVE EXISTING WALL IN ITS ENTIRETY.

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**MIDDLE SCHOOL HVAC  
REPLACEMENT**

Project Address  
40 ROMER AVE. PLEASANTVILLE, NY 10570

66-08-09-(03-0-001-0

No.	Date	Description
1	10/25/22	810 ADDEN

**NEW YORK STATE EDUCATION STATEMENT**

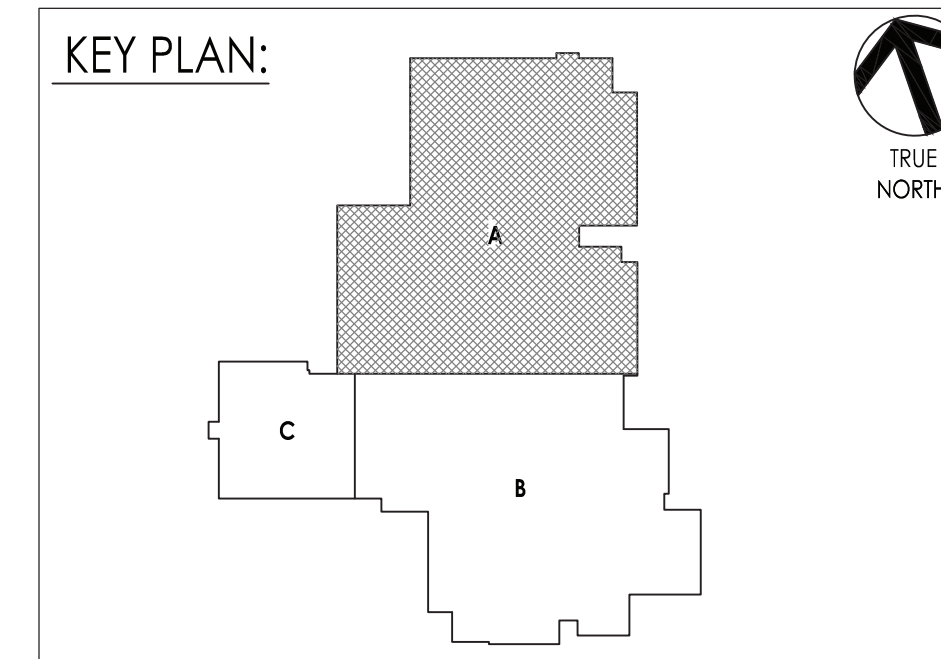
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Issued	Scale
06/24/22	AS SHOWN
Project Status	
SED SUBMISSION	
Drawn By	Checked By
TLB	LT
Design Title	

LOWER LEVEL DEMOLITION PLAN  
-AREA A

Drawing Number

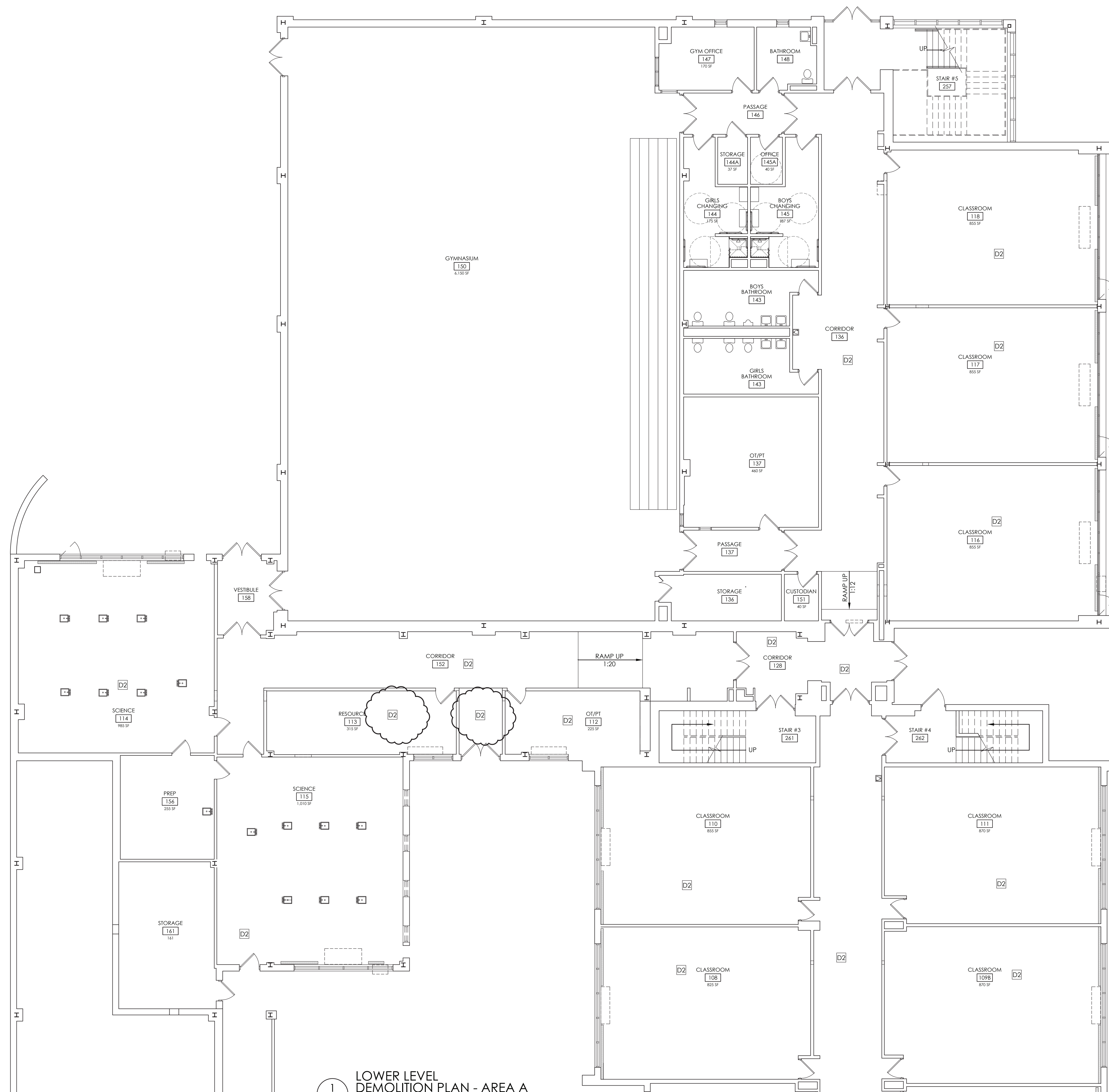
PMS  
A100A



Date last plotted: 10/25/2022 11:19 AM

Date last accessed: 10/24/2022 4:06 PM

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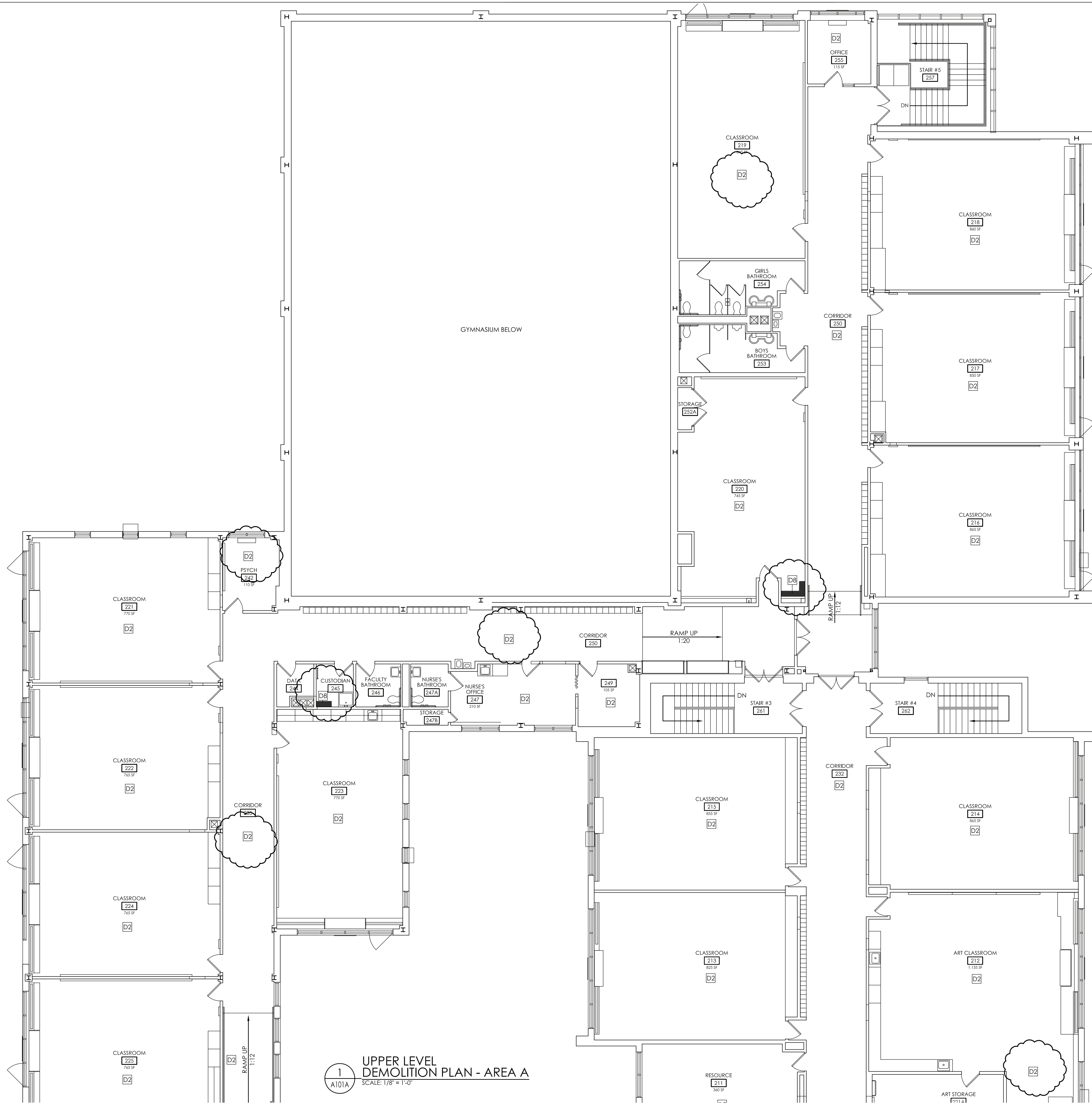


1  
A100A

LOWER LEVEL  
DEMOLITION PLAN - AREA A

SCALE: 1/8" = 1'-0"





GENERAL DEMOLITION NOTES:

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DEMOLITION KEYNOTES:

- D1** NOT USED.
- D2** REMOVE ACOUSTIC CEILING IN ITS ENTIRETY.
- D3** REMOVE GYPSUM CEILING IN ITS ENTIRETY.
- D4** REMOVE CASEWORK AND SOFFIT AS REQUIRED FOR FLOOR SLAB DEMOLITION AS NOTED. COORDINATE REMOVALS WITH MC.
- D5** REMOVE CASEWORK AND SOFFIT AS REQUIRED FOR NEW HVAC EQUIPMENT SHAFT. COORDINATE REMOVALS WITH MC.
- D6** REMOVE EXISTING WALL IN ITS ENTIRETY.
- D7** MODIFY CASEWORK TO FIT NEW UNIT VENTILATOR. CASEWORK TO BE CUT BACK +/- 24" AND A NEW FINISHED END PANEL TO BE INSTALLED. COORDINATE WITH MECHANICAL.
- D8** CORE DRILL THROUGH EXISTING SLAB FOR MECHANICAL PIPING. FIRESTOP AS REQUIRED TO MAINTAIN EXISTING RATING. COORDINATE WITH MECHANICAL.



**CPL | Architecture Engineering Planning**  
50 Front St. Suite 202  
Newburgh, NY 12550  
**CPLteam.com**

## PROJECT INFORMATION

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Project Number
#####

Client Name
#####
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Project Name

**MIDDLE SCHOOL HVAC  
REPLACEMENT**

Project Address  
#####

## PLEASANTVILLE MIDDLE SCHOOL

40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

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No.	Date	Description
1	10/25/2022	BID ADDENDUM 1

### PROFESSIONAL STAMPS

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**NEW YORK STATE EDUCATION STATEMENT**

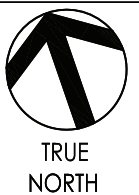
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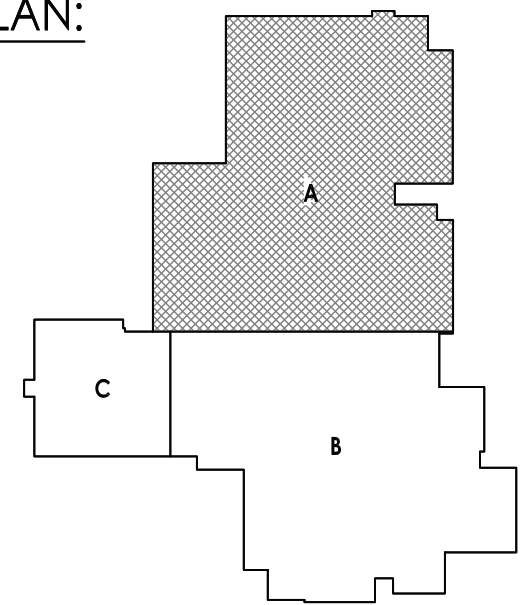
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10/21/22	#####
Project Status	
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Drawn By	Checked By
###	LT
Drawing Title	
UPPER LEVEL DEMOLITION PLAN - AREA A	

Drawing Number

PMS  
A101A



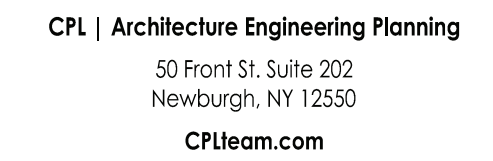
KEY PLAN:





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- D8 CORE DRILL THROUGH EXISTING SLAB FOR MECHANICAL PIPING. FIRESTOP AS REQUIRED TO MAINTAIN EXISTING RATING. COORDINATE WITH MECHANICAL.
- D9 REMOVE CEILING MOUNTED FOLDING PARTITION COMPLETE. NOTE OTHER FOLDING PARTITIONS IN THIS ROOM TO REMAIN. PATCH AND REPAIR FLOORING AND PARTITION AFTER REMOVAL TO MATCH EXISTING ADJACENT. TURN OVER PARTITION TO OWNER.
- D10 REMOVE CASEWORK COMPLETE TO MAKE WAY FOR NEW UNIT VENTILATOR.
- D11 REMOVE PORTION OF AC CEILING FOR NEW GYPSUM SOFFIT. MODIFY EXISTING CEILING TO TERMINATE AT NEW SOFFIT.



Project Number  
15131.07  
Client Name

Project Name

**MIDDLE SCHOOL HVAC  
REPLACEMENT**

PLEASANTVILLE MIDDLE SCHOOL  
66-08-09-03-0-001-017

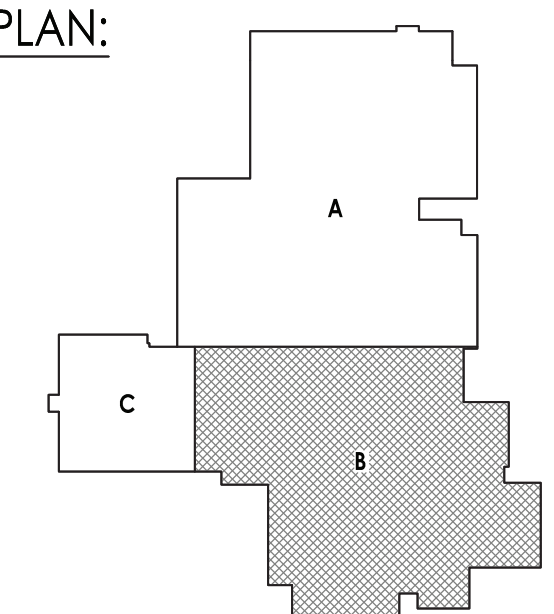
No.	Date	Description
1	10/25/22	BID ADDENDUM 1

**NEW YORK STATE EDUCATION STATEMENT**

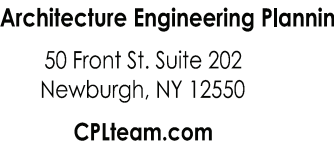
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Issued	Scale
10/21/22	DRAWING SCALE
Project Status	
BID SUBMISSION	
Drawn By	Checked By
RA	LT
Drawing Title	
UPPER LEVEL DEMOLITION PLAN	
- AREA B	

PMS  
A101B







131.07

**EASANTVILLE UFSD**

# MIDDLE SCHOOL HVAC REPLACEMENT

ROMER AVE. PLEASANTVILLE, NY 10570

PEASANTVILLE MIDDLE SCHOOL

65-08-09-03-0-003-025

Date	Description
10/31/22	BID ADDENDUM 1

## PROFESSIONAL STAMPS

## MEET INFORMATION

21/22

### Project Status

## SUBMISSION

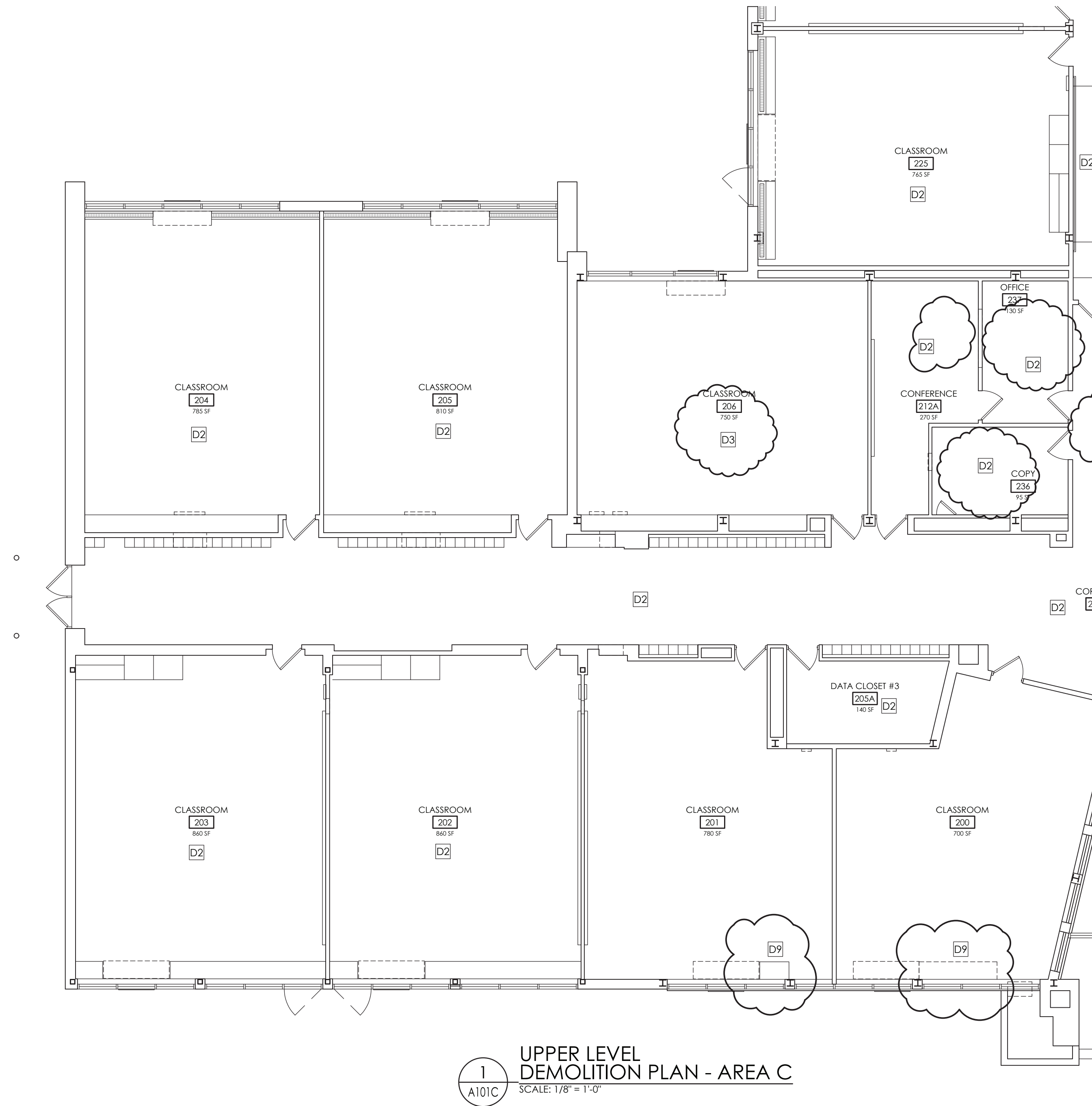
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wing Title

UPPER LEVEL DEMOLITION PLAN  
AREA C

wing Number

PMS  
A101C



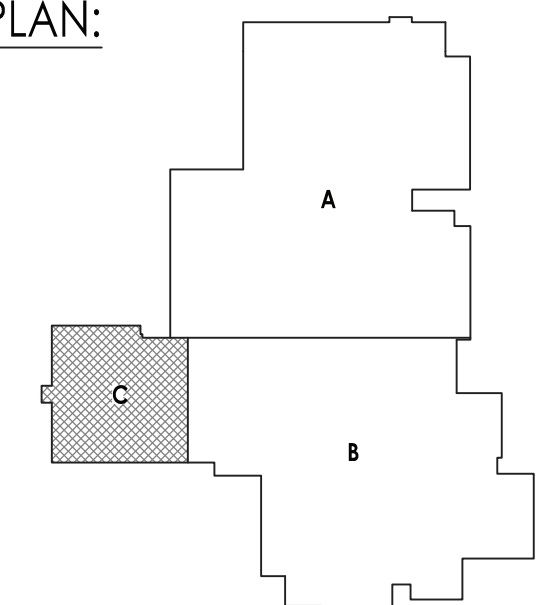
GENERAL DEMOLITION NOTES:

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DEMOLITION KEYNOTES:

- |     |   |
|-----|---|
| D1  | NOT USED.   |
| D2  | REMOVE ACOUSTIC CEILING IN ITS ENTIRETY.  |
| D3  | REMOVE GYPSUM CEILING IN ITS ENTIRETY.  |
| D4  | REMOVE CASEWORK AND SOFFIT AS REQUIRED FOR FLOOR SLAB DEMOLITION AS NOTED. COORDINATE REMOVALS WITH MC.   |
| D5  | REMOVE CASEWORK AND SOFFIT AS REQUIRED FOR NEW HVAC EQUIPMENT SHAFT. COORDINATE REMOVALS WITH MC.   |
| D6  | REMOVE EXISTING WALL IN ITS ENTIRETY.   |
| D7  | MODIFY CASEWORK TO FIT NEW UNIT VENTILATOR. CASEWORK TO BE CUT BACK +/- 24" AND A NEW FINISHED END PANEL TO BE INSTALLED. COORDINATE WITH MECHANICAL.   |
| D8  | CORE DRILL THROUGH EXISTING SLAB FOR MECHANICAL PIPING. FIRESTOP AS REQUIRED TO MAINTAIN EXISTING RATING. COORDINATE WITH MECHANICAL.   |
| D9  | REMOVE CEILING MOUNTED FOLDING PARTITION COMPLETE. NOTE OTHER FOLDING PARTITIONS IN THIS ROOM TO REMAIN. PATCH AND REPAIR FLOORING AND PARTITION AFTER DEMOLITION TO MATCH EXISTING ADJACENT. TURN OVER PARTITION TO OWNER. |
| D10 | REMOVE CASEWORK COMPLETE TO MAKE WAY FOR NEW UNIT VENTILATOR.   |
| D11 | REMOVE PORTION OF AC CEILING FOR NEW GYPSUM SOFFIT. MODIFY EXISTING CEILING TO TERMINATE AT NEW SOFFIT.   |

KEY PLAN:



1. ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATIONS OF EXISTING AND NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING FINISHES AND EQUIPMENT NOT REMOVED UNDER THE SCOPE OF WORK. ANY DAMAGE WILL BE REPAIRED TO THE OWNER/ARCHITECT'S SATISFACTION AT NO COST TO THE OWNER.
3. WORK AREAS SHALL BE MAINTAINED AND ALL WORK AREAS SHALL BE LEFT BROOMED CLEAN AT END OF EACH DAY.
4. THE CONTRACTOR SHALL PROVIDE DUST CONTROL BARRIERS AT ALL AREAS OF CONSTRUCTION.
5. THE CONTRACTOR SHALL PATCH ALL SURFACES WHERE EXISTING MATERIALS HAVE BEEN DISTURBED TO MATCH AND BE FLUSH WITH ADJACENT CONSTRUCTION AT ALL FLOOR, WALL, AND CEILING LOCATIONS.
6. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES FOR SEQUENCING OF WORK.

- 1 NEW UV TO BE INSTALLED BY MC.
- 2 PREP, PRIME AND PAINT WALL AT LOCATION OF SPLIT SYSTEM REMOVAL.
- 3 PREP, PRIME AND PAINT WALL AT LOCATION OF TEMPERATURE CONTROL REMOVAL.
- 4 INFILL WALL PENETRATION WITH 1-HOUR RATED WALL CONSTRUCTION.
- 5 EXTERIOR WALL PENETRATION TO BE INFILLED MASONRY CONSTRUCTION.
- 6 INFILL WALL PENETRATION.
- 7 INFILL WALL OPENING PER DETAIL 6/A700 AT UV GRILLE
- 8 RECOVER EXPOSED WALL WITH 3/8" LAMINATING GYPSUM BOARD.
- 9 REFINISH EXPOSED ENDS OF EXISTING CASEWORK, INCLUDING NEW BASE.
- 10 PAINT AND RE-INSTALL EXISTING VENT COVER.
- 11 PATCH WALL WITH GYPSUM BOARD AND PAINT TO MATCH EXISTING.
- 12 ENCLOSE FRONT OF GAP AT END OF CASEWORK WITH MATCHING PANEL. PROVIDE FINISHED EDGE WHERE SOLID COUNTER WAS CUT; EASE COUNTER AGAINST NEW WALL.
- 13 INFILL WALL OPENING PER DETAIL 3/A700 AT UV GRILLE
- 14 PAINT NEW WALL TO MATCH EXISTING ADJACENT. PROVIDE NEW WALL BASE TO MATCH EXISTING ADJACENT.
- 15 PROVIDE 2x2' WALL MOUNTED ACCESS DOOR. BASIS-OF-DESIGN: ACUDOR ED-2002.

- ### ISSUE & REVISION SCHEDULE

	Description
1/22	BID ADDENDUM 1

### ADDITIONAL STAMPS

OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSION

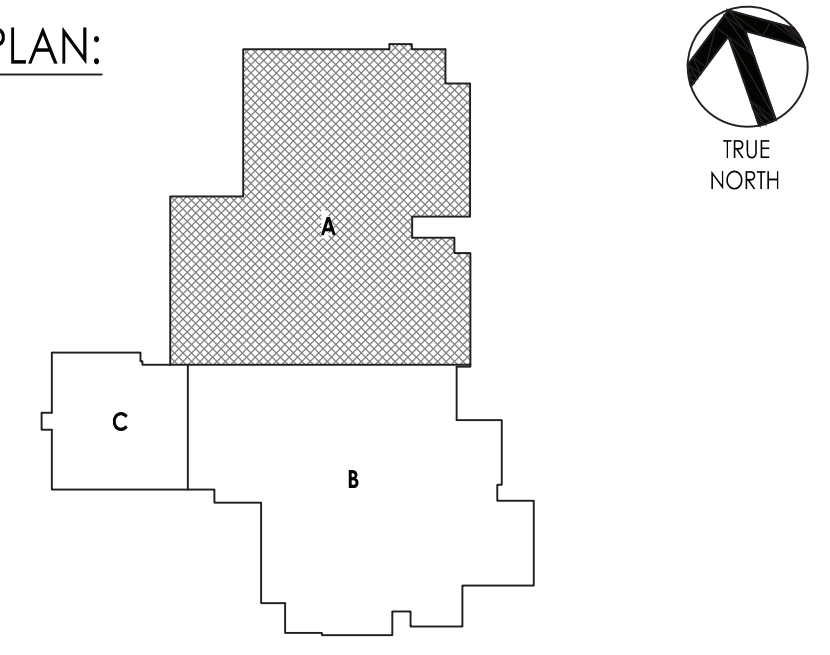
## FORMATION

MISSION

## GROUNDWATER LEVEL RECONSTRUCTION -AREA A

Drawing Number

PMS  
A200A



TRUE NORTH

LOWER LEVEL  
RECONSTRUCTION PLAN - AREA A  
SCALE: 1/8" = 1'-0"







PMS  
A200B





Drawing Number  
PMS  
          
A201A

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Drawing Name: S:\P

Sheet size: Z4x36  
Drawing Name: S:\P

Sheet size: Z4x36  
Drawing Name: S:\P

Sheet size: Z4x36  
Drawing Name: S:\P

Sheet size: Z4x36  
Drawing Name: S:\P





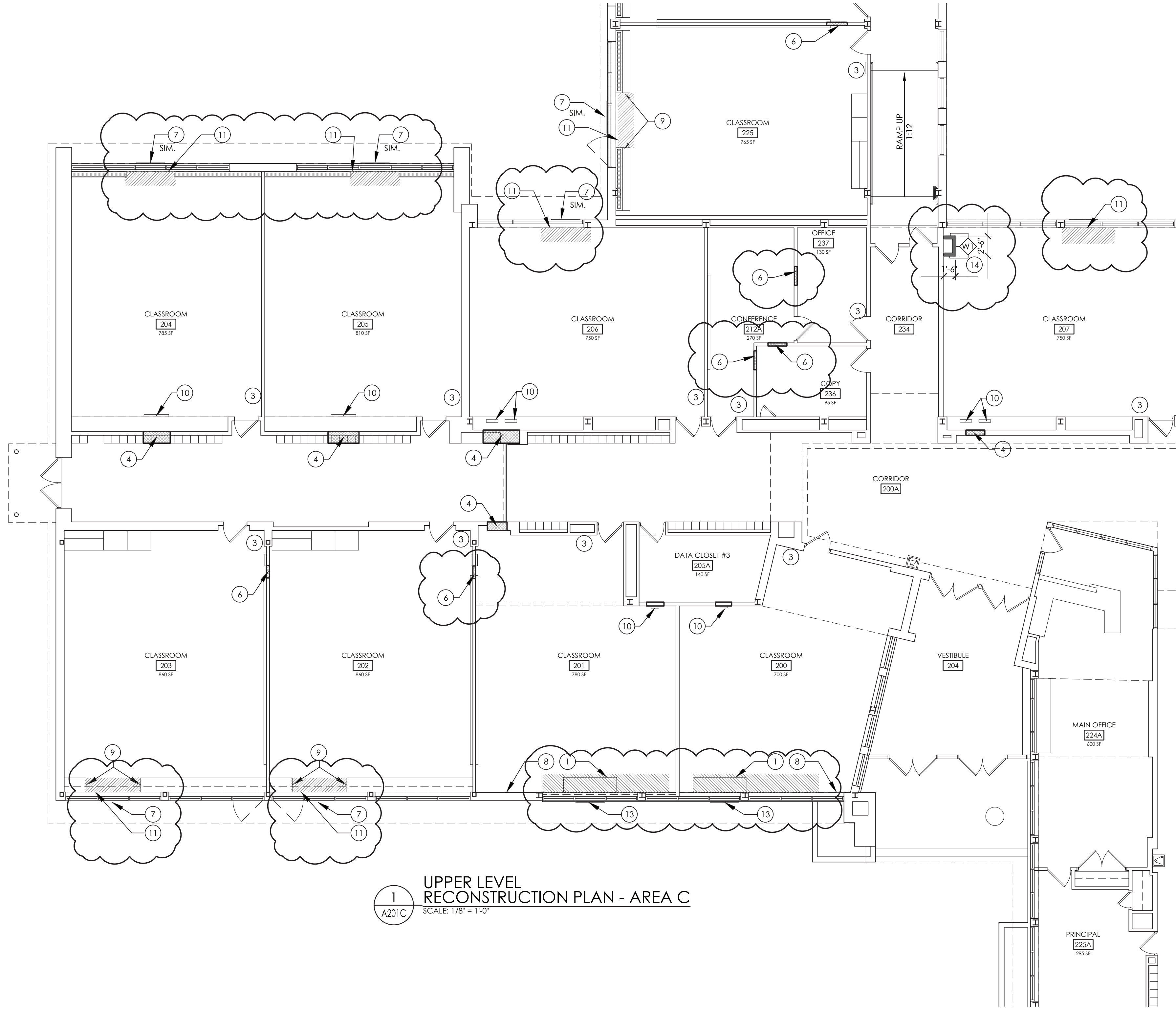
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PMS  
          
A201B

PLAN:



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Plotted By: Allison Sawyer

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Date last plotted: 10/31/2022 2:13 PM  
Plotted By: Allison Sawyer



1  
A201C  
UPPER LEVEL  
RECONSTRUCTION PLAN - AREA C  
SCALE: 1/8" = 1'-0"

#### GENERAL CONSTRUCTION NOTES:

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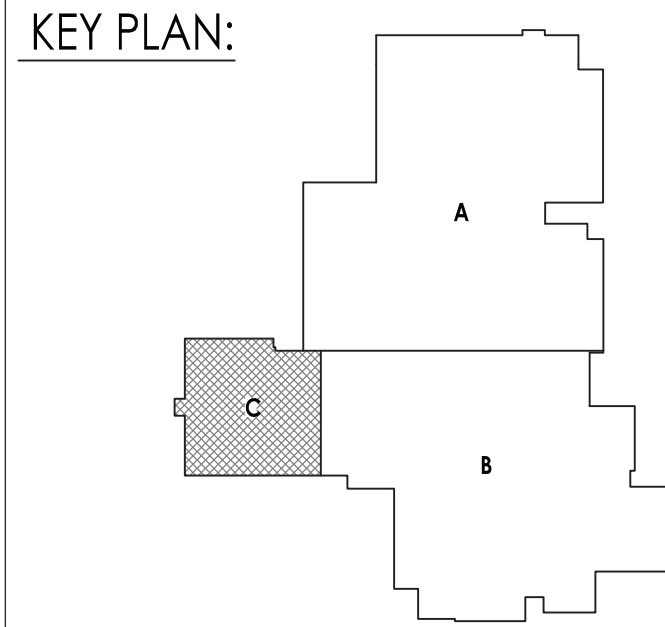
#### RECONSTRUCTION KEYNOTES:

1. NEW UV TO BE INSTALLED BY MC.
2. PREP, PRIME AND PAINT WALL AT LOCATION OF SPLIT SYSTEM REMOVAL.
3. PREP, PRIME AND PAINT WALL AT LOCATION OF TEMPERATURE CONTROL REMOVAL.
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8. RECOVER EXPOSED WALL WITH 3/8" LAMINATING GYPSUM BOARD.
9. REFINISH EXPOSED ENDS OF EXISTING CASEWORK, INCLUDING NEW BASE.
10. PAINT AND RE-INSTALL EXISTING VENT COVER.
11. PATCH WALL WITH GYPSUM BOARD AND PAINT TO MATCH EXISTING.
12. ENCLOSE FRONT OF GAP AT END OF CASEWORK WITH MATCHING PANEL, PROVIDE FINISHED EDGE WHERE SOLID COUNTER WAS CUT; EASE COUNTER AGAINST NEW WALL.
13. INFILL WALL OPENING PER DETAIL 3/A700 AT UV GRILLE
14. PAINT NEW WALL TO MATCH EXISTING ADJACENT, PROVIDE NEW WALL BASE TO MATCH EXISTING ADJACENT.
15. PROVIDE 2x2' WALL MOUNTED ACCESS DOOR, BASIS-OF-DESIGN: ACUDOR ED-2002.

#### RECONSTRUCTION LEGEND:

- 1. PATCH VCT FLOORING AND WALL BASE TO MATCH EXISTING. WHERE VCT TILE WAS REMOVED, PATCH WITH VCT BEST MATCH.
- 2. INFILL WALL PENETRATION WITH LIKE CONSTRUCTION.

#### KEY PLAN:



CPL | Architecture Engineering Planning  
50 Front St. Suite 202  
Newburgh, NY 12550  
CPLteam.com

#### PROJECT INFORMATION

Project Number  
15131.07

Client Name

PLEASANTVILLE UFSD

Project Name

MIDDLE SCHOOL HVAC  
REPLACEMENT

Project Address

40 ROMER AVE, PLEASANTVILLE, NY 10570

PLEASANTVILLE MIDDLE SCHOOL

08-08-19-03-0-001-017

#### PROJECT ISSUE & REVISION SCHEDULE

No. Date Description

#### PROFESSIONAL STAMPS

NEW YORK STATE EDUCATION STATEMENT  
I, the undersigned, being a duly licensed architect under the laws of the State of New York, do hereby certify that the above is a true and correct copy of the original drawing as submitted to me by the architect, and that the same has been examined and approved by me for the purpose of the above stated project.

#### SHEET INFORMATION

Issued

10/21/22

Project Status

BID SUBMISSION

Drawn By

###

Drawing Title

UPPER LEVEL

RECONSTRUCTION PLAN -

AREA C

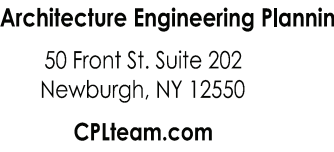
Drawing Number

PMS

A201C





**ANTVILLE UFSD**

## LE SCHOOL HVAC CEMENT

ER AVE. PLEASANTVILLE, NY 10570

NTVILLE MIDDLE SCHOOL  
P-03-0-001-017

1/22	Description BID ADDENDUM 1
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## ADDITIONAL STAMPS

FORMATION

Scale

AS SHOWN

MISSION

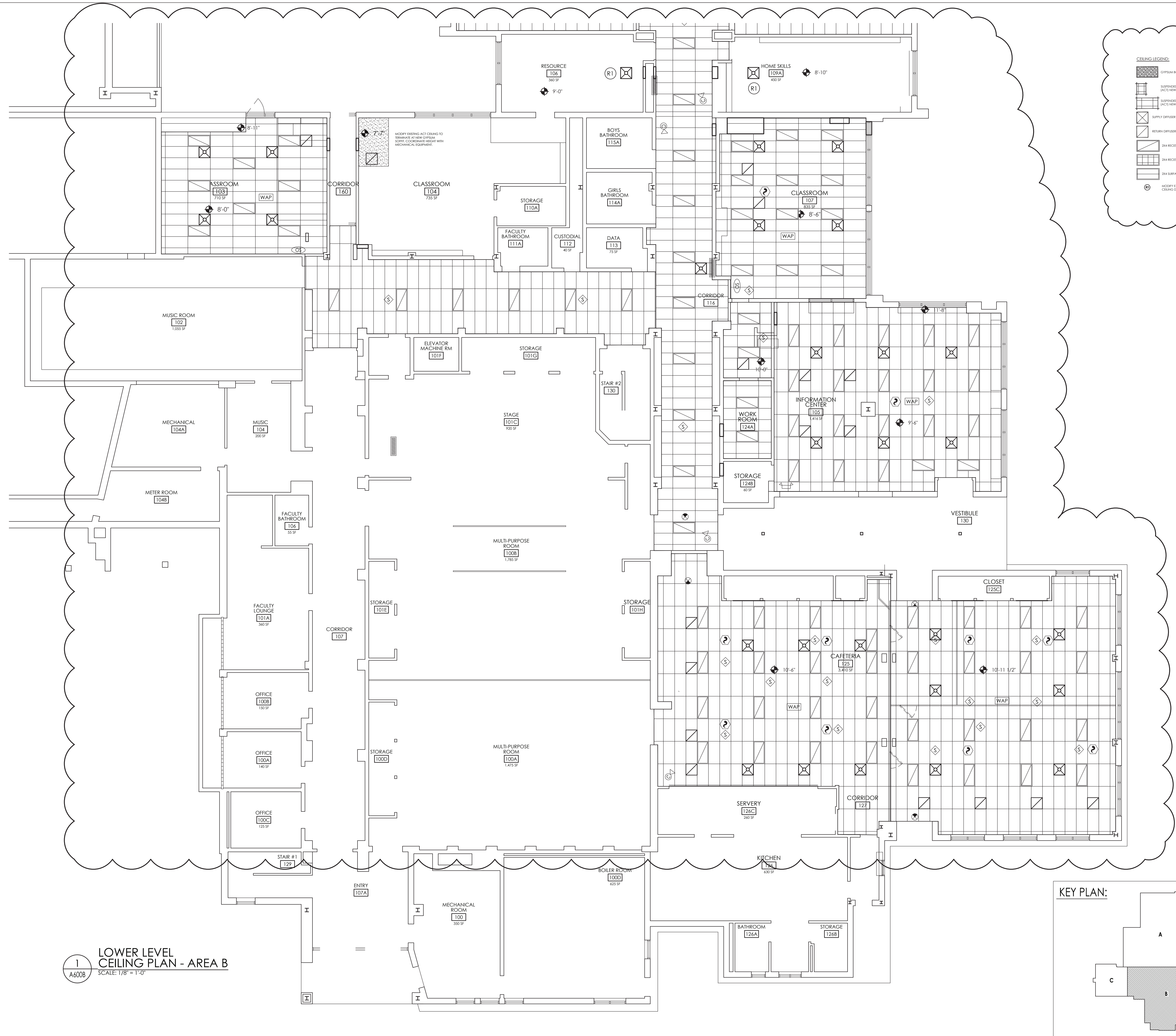
Checked By

LT

R LEVEL CEILING PLAN

B

Drawing Number  
PMS  
          
A600B

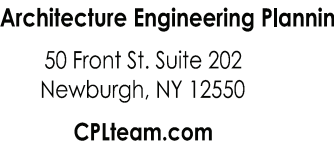












Product Number  
131.07  
Product Name

ROMER AVE. PLEASANTVILLE, NY 10570

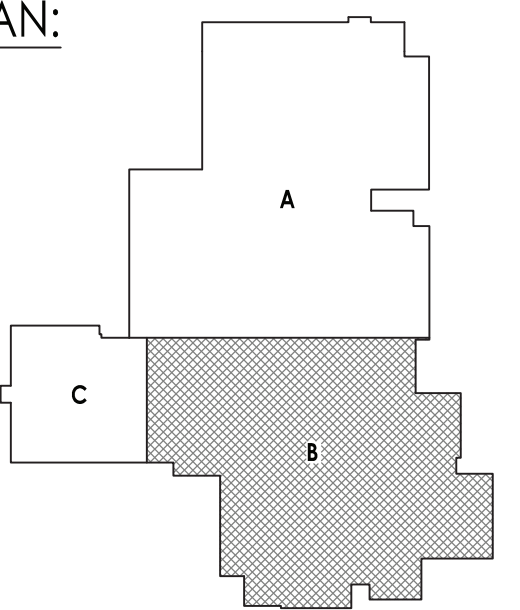
**EASANTVILLE MIDDLE SCHOOL**  
66-C8-09-03-0-001-017

Date	Description
10/31/22	BID ADDENDUM 1

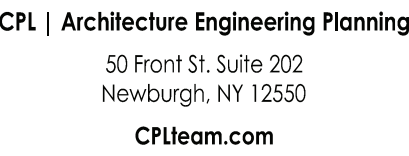
**VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONS REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY, IF ANY, WITHOUT THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED. THE SEAL SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THE SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.**

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UPPER LEVEL CEILING PLANS	
AREA 2	

PMS  
A601B



UPPER LEVEL  
CEILING PLANS - AREA b  
SCALE: 1/8" = 1'-0"



Subject Number  
131.07  
Parent Name  
**PLEASANTVILLE UFSD**

ROMER AVE. PLEASANTVILLE, NY 10570

## 65-08-09-03-0-001-017

Date	Description
10/31/22	BID ADDENDUM 1

A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSION'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER AN FEAT IN ANY MANNER, IF IT IMPAIRS THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED; THE ALTERATION SHALL AFFIX TO THE FIRM THEIR SEAL AND THE NOTATION "ALTERED BY:" FOLLOWED BY SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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