



**Port Jervis City School District  
Additions & Alterations to  
Port Jervis Middle School  
Re-Bid  
SED Control No. 44-18-00-05-0-005-016  
BCA Project No. 2019-011 PH1**

**Addendum No. 2  
March 9, 2022**

This addendum is hereby made part of the Contract Documents as though it were originally included therein. It modifies the following documents:

Original Project Manual and Drawings dated 2/4/2022.  
Addendum No. 1, dated 3/2/2022.

All Bidders must acknowledge receipt of this Addendum in the space provided on the Form of Proposal.

**PORT JERVIS CAPITAL PROJECT - VIRTUAL BID OPENING**

Note: All bids must be delivered to the District Offices located at 9 Thompson Street, Port Jervis, NY prior to the 1:00 PM bid opening. The Bid opening itself will be held virtually. The link for the bid opening is as follows:

When: Wednesday, March 16, 2022 at 1:00 pm – 3:00 pm EST  
Joining Info: Video Call Link:

[meet.google.com/ivm-gbhj-mun](https://meet.google.com/ivm-gbhj-mun)

Or join by phone:  
(US) [+1 414-909-4156](tel:+14149094156) PIN: 929 305 690#

**REISSUED 24" x 36" DRAWINGS:**

BID/AD2 – S2-104 THIRD FLOOR FRAMING PLAN AREA B  
BID/AD2 – S2-105 THIRD FLOOR FRAMING PLAN AREA C  
BID/AD2 – A113 – THIRD FLOOR INFILL PLAN

**REVISIONS TO THE PROJECT MANUAL:**

- A. Refer to Specification Section 01 1200 *Summary of Work*:
1. Paragraph 1.8.A.1.a. and **ADD** the following paragraphs:

- "5) All solid surface windowsills & solid surface wall caps as shown on drawings A200.1, A200.2 and A652.
- 6) Solid surface transom surface at the tray return window as shown on drawing A802, Details 12 & 13."

2. Paragraph 1.11, **ADD** the following paragraph:

- “C. State Contract Purchases/Co-Operative Purchases. This project includes systems, fixtures and equipment that will be purchased separately by the owner through the State Contract/Co-Operative Purchasing programs. Every effort has been made to identify and notate in the Project Manual, all systems, fixtures, and equipment that will be purchased through these programs. All Prime Contractors are required to coordinate with these outside vendors/contractors. The scope of these co-operatively purchased/state contract purchases is listed below for your reference:
1. Access Control System equipment (referenced in Section 28 1300)
  2. Video Intercom Control System equipment (referenced in Section 28 1310)
  3. Intrusion Detection System equipment (referenced in Section 28 1610)
  4. High Definition IP Video Surveillance equipment (referenced in Section 28 2319)”

B. Refer to Specification Section 08 5113 *Aluminum Windows*:

1. **AMEND** Paragraph 3.04.C. as follows:

“C. Test units in conformance with AAMA 502-02 minimum requirements for air and water infiltration.”

2. **DELETE** Paragraph 3.04.C.1. in its entirety.
3. **DELETE** Paragraph 3.04.C.2. in its entirety.

C. Refer to Specification Section 08 8723 *Safety and Security Films*:

1. **AMEND** Paragraph 1.01.C.3. as follows:

“3. Cafeteria doors/side lites (Doors 109C, D & E)”

D. Refer to Specification Section 09 3000 *Tiling*:

1. Refer to paragraph 2.02.A. and **ADD** the following paragraphs as follows:

- “4. Schluter “DECO” at locations where tile transitions to resilient flooring in a corridor, or transitions at non-restroom locations.
5. Provide appropriate expansion joint profiles in tile where required.
  6. All Schluter trim to be either aluminum or stainless-steel finish.”

E. Refer to Specification Section 09 6500 *Resilient Flooring*:

1. **DELETE** paragraph 2.01.B. in its entirety.
2. **AMEND** paragraph 2.05.C. to read as follows:

“C. Moldings, Transitions and Edge strips- provide appropriate resilient transitions between same level and uneven floor finish heights as required for smooth accessible transitions. Basis of Design: Johnsonite/Tarkett Slimline Transitions and Finishing accessories- [www.commercial.tarkett.com](http://www.commercial.tarkett.com), in manufacturers standard color offering.”

F. Refer to Specification Section 28 1300 *Access Control System*:

1. At the beginning of the Section, **ADD** the following statement:

“The Owner shall furnish all equipment and turn over to successful bidder for installation. Bid work shall include but not be limited to conduit, outlet boxes, conductors, system wiring, supports, etc. Contractor shall accept equipment from the Owner for installation, and coordinate with supply manufacturer as required for a fully functioning system.”

G. Refer to Specification Section 28 1310 *Video Intercom Control System*:

1. At the beginning of the Section, **ADD** the following statement:

“The Owner shall furnish all equipment and turn over to successful bidder for installation. Bid work shall include but not be limited to conduit, outlet boxes, conductors, system wiring, supports, etc. Contractor shall accept equipment from the Owner for installation, and coordinate with supply manufacturer as required for a fully functioning system.”

H. Refer to Specification Section 28 1610 *Intrusion Detection System*:

1. At the beginning of the Section, **ADD** the following statement:

“The Owner shall furnish all equipment and turn over to successful bidder for installation. Bid work shall include but not be limited to conduit, outlet boxes, conductors, system wiring, supports, etc. Contractor shall accept equipment from the Owner for installation, and coordinate with supply manufacturer as required for a fully functioning system.”

I. Refer to Specification Section 28 2319 *High Definition IP Video Surveillance*:

1. At the beginning of the Section, **ADD** the following statement:

“The Owner shall furnish all equipment and turn over to successful bidder for installation. Bid work shall include but not be limited to conduit, outlet boxes, conductors, system wiring, supports, etc. Contractor shall accept equipment from the Owner for installation, and coordinate with supply manufacturer as required for a fully functioning system.”

**REVISIONS TO THE CONTRACT DRAWINGS:**

- A. Refer to Drawing S2-104 *Third Floor Framing Plan Area B*, **DELETE** in its entirety and **SUBSTITUTE** with Drawing BID/AD2 – S2-104 *Third Floor Framing Plan Area B*, issued as part of this addendum.
- B. Refer to Drawing S2-105 *Third Floor Framing Plan Area C*, **DELETE** in its entirety and **SUBSTITUTE** with Drawing BID/AD2 – S2-105 *Third Floor Framing Plan Area C*, issued as part of this addendum.
- C. Refer to Drawing A113 *Third Floor Infill Plan*, **DELETE** in its entirety and **SUBSTITUTE** with Drawing BID/AD2 – A113 *Third Floor Infill Plan*, issued as part of this addendum.



# BCA ARCHITECTS & ENGINEERS

D. Refer to Drawing A902 *Finish Plan – First Floor Area C*:

1. Detail 1, refer to floor finish listed in finish key for Chorus Room 133 and Band Room 135 and **AMEND** as follows:

“CPT-1 & CPT-2”

**END OF ADDENDUM**

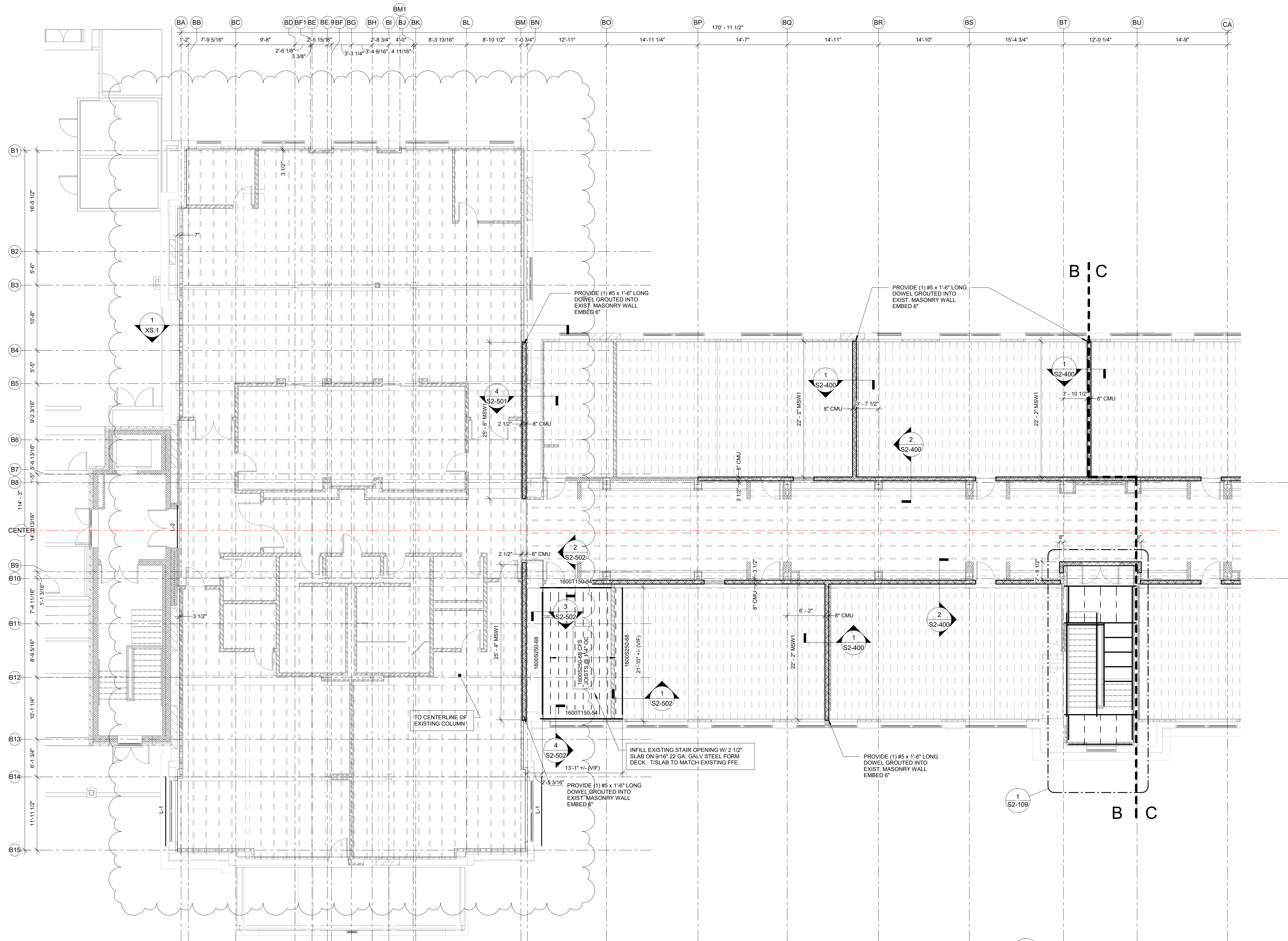
Please do not hesitate to contact me with any questions on this addendum, thank you.

Respectfully Submitted,  
**BCA ARCHITECTS & ENGINEERS**

A handwritten signature in black ink, appearing to read "Scott J. Duell", written in a cursive style.

Scott J. Duell, RA, LEED AP  
Principal

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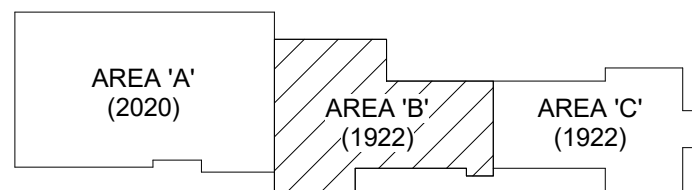


1 THIRD FLOOR FRAMING PLAN - AREA B  
1/8" = 1'-0"

FRAMING NOTES

1. DATUM ELEVATION (496.97') IS AT FINISHED THIRD FLOOR TOP OF SLAB AT (0')
2. ALL EXTERIOR EXPOSED STEEL HOT DIPPED GALV.
3. TOUCH UP ALL FIELD WELDED CONNECTIONS WITH COLD GALV.
4. SEE 6/S2-504 FOR TYPICAL FLOOR OPENING FRAME
5. SEE 1/S2-500 FOR COLUMN SCHEDULE
6. SEE S2-001 FOR POURSTOP SCHEDULE
7. SEE S/S2-400 FOR LOOSE LINTEL SCHEDULE
8. SEE 1/S2-504 FOR BEAM STIFFENER DETAIL WHERE BEAM FRAME OVER AND/OR UNDER COLUMN
9. MASONRY SHEARWALLS INDICATED AS MSWx ON PLAN. SEE 6/S2-400 FOR SHEARWALL SCHEDULE.

KEY PLAN:



SED CONTROL NO. 27-01-00-01-0-024-009

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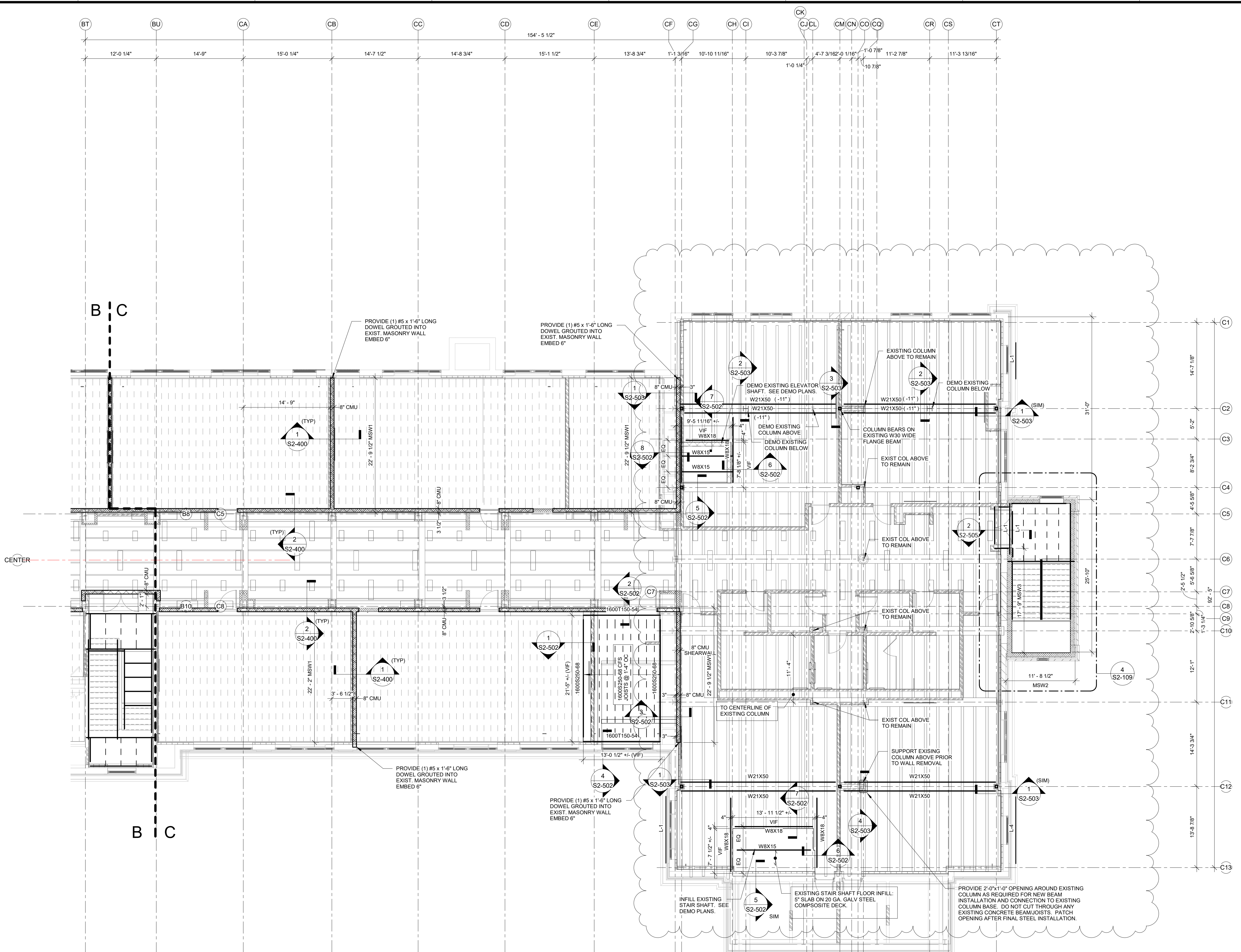


PORT JERVIS CITY SCHOOL DISTRICT  
ADDITIONS AND ALTERATIONS TO:  
WILLIAM B. TECLER MAGNET  
Amsterdam - Montgomery County - New York

REV	DATE	DESCRIPTION
1	03/10/2022	BID/AD2
DRAWN BY	RAM	PROJECT NUMBER
CHECKED BY	JEC	2019-011
		DATE
		02/04/2022

THIRD FLOOR FRAMING PLAN AREA  
B

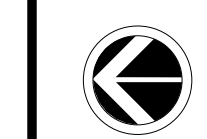
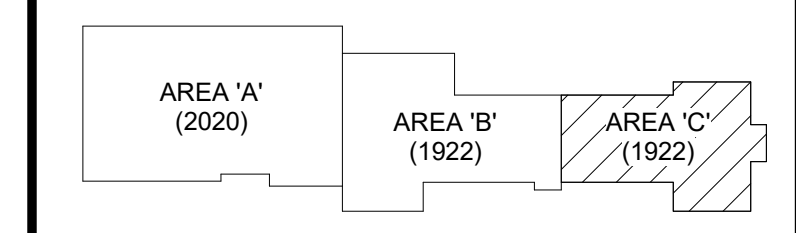
BUILDING	SHEET NUMBER
MS	S2-104
	RE-BID



1 THIRD FLOOR FRAMING PLAN - AREA C  
1/8" = 1'-0"

- FRAMING NOTES**
- DATUM ELEVATION (496.37') IS AT FINISHED THIRD FLOOR TOP OF SLAB AT (0')
  - ALL EXTERIOR EXPOSED STEEL HOT DIPPED GALV.
  - TOUCH UP ALL FIELD WELDED CONNECTIONS WITH COLD GALV.
  - SEE 6/S2-504 FOR TYPICAL FLOOR OPENING FRAME
  - SEE 1/S2-500 FOR COLUMN SCHEDULE
  - SEE S2-001 FOR POURSTOP SCHEDULE
  - SEE S/S2-400 FOR LOOSE LINTEL SCHEDULE
  - SEE 1/S2-504 FOR BEAM STIFFENER DETAIL WHERE BEAM FRAME OVER AND/OR UNDER COLUMN
  - MASONRY SHEARWALLS INDICATED AS MSWx ON PLAN. SEE 6/S2-400 FOR SHEARWALL SCHEDULE.

KEY PLAN:



SED CONTROL NO. 27-01-00-01-0-024-009  
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PORT JERVIS CITY SCHOOL DISTRICT  
ADDITIONS AND ALTERATIONS TO:  
WILLIAM B. TECLER MAGNET  
Amsterdam - Montgomery County - New York

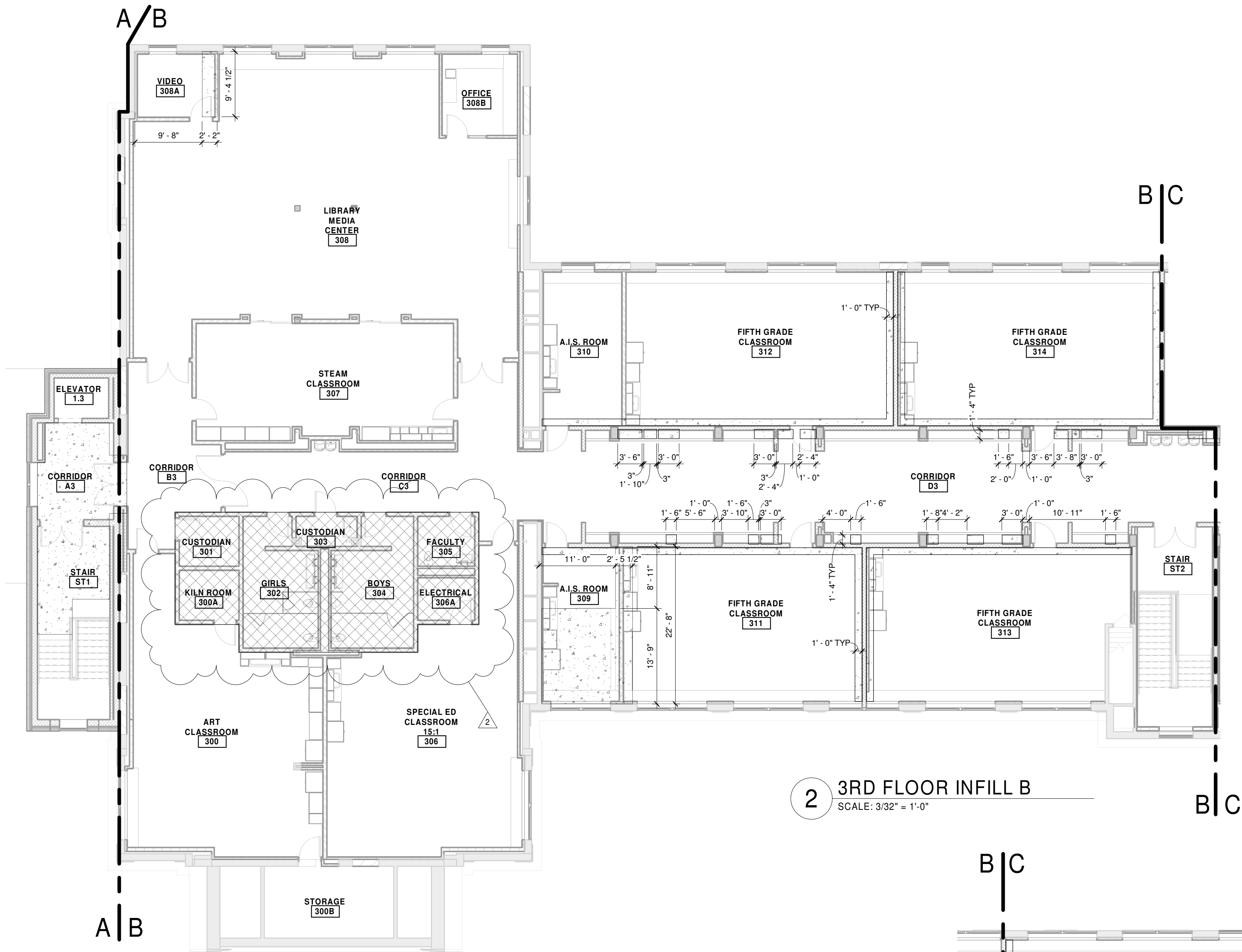
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DRAWN BY RAM	PROJECT NUMBER 2019-011
CHECKED BY JEC	DATE 02/04/2022

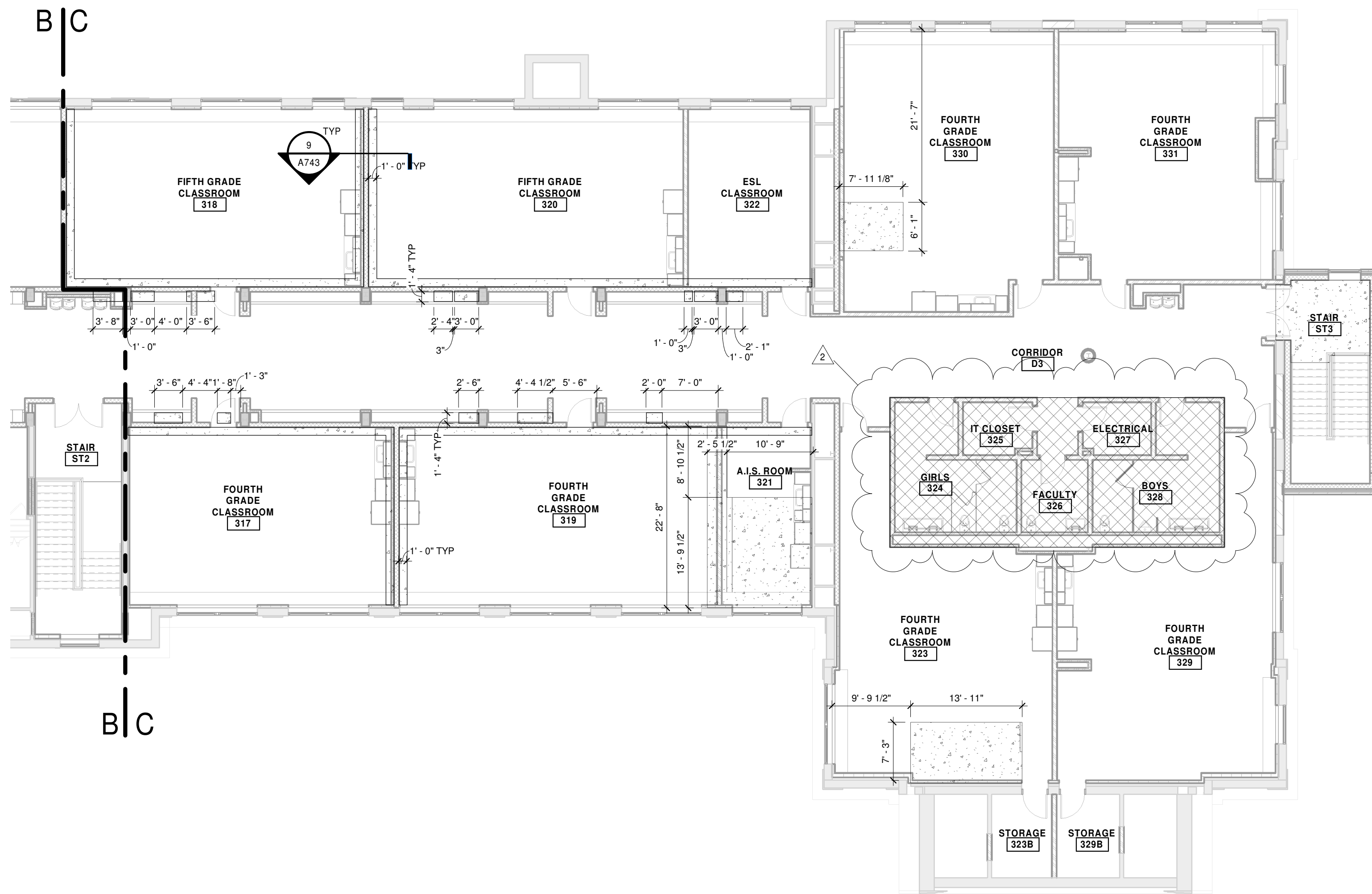
THIRD FLOOR FRAMING PLAN AREA C

BUILDING MS	SHEET NUMBER S2-105 RE-BID
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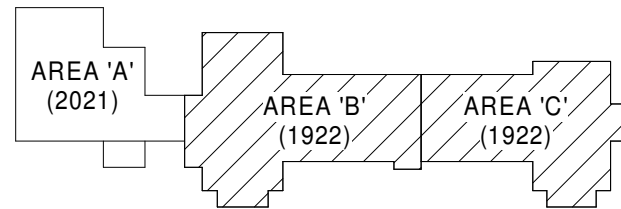
2 3RD FLOOR INFILL B  
SCALE: 3/32" = 1'-0"



1 3RD FLOOR INFILL C  
SCALE: 3/32" = 1'-0"

- GENERAL SLAB INFILL NOTES:**
- GC RESPONSIBLE FOR ALL SLAB INFILLS. COORDINATE WITH OTHER PRIME CONTRACTORS PRIOR TO FINISHING SLAB.
  - ALL DIMENSIONS SHOWN ARE FROM FACE OF EXISTING WALLS TO REMAIN. REFER TO AND COORDINATE WITH TRENCHING PLANS.
  - DESIGNATES AREA OF REQUIRED SLAB INFILL. COORDINATE NEW SLABS WITH TRENCHING PLANS. REFER TO TYP SLAB INFILL DETAIL.
  - DESIGNATES AREA OF REQUIRED SLAB INFILL WITH EXISTING DEPRESSED SLAB TO REMAIN. NEW SLAB TO ALIGN WITH SURROUNDING FLOOR. SLAB TO BE LEVEL AND PREPARED TO ACCEPT NEW FINISH AS INDICATED ON FINISH PLANS. REFER TO EXISTING SLAB INFILL DETAIL.
  - INDICATES AREA OF NEW FLOOR SLAB TO ALIGN WITH EXISTING SURROUNDING SLABS. REFER TO STRUCTURAL DRAWINGS 652-502 FOR SLAB TO SLAB CONNECTION DETAILS.
  - INDICATES AREA OF REQUIRED FLOOR SUBFLOOR REMOVAL. REMOVE SUBFLOOR AS REQUIRED TO INSTALL NEW FLOORING AS SHOWN ON FINISH PLANS. FINAL FINISH FLOORS TO ALIGN AND BE LEVEL. MAKE NECESSARY CHANGES TO THE EXISTING CONDITIONS TO ALIGN NEW AND EXISTING. VIF.

**KEY PLAN:**



SED CONTROL NO. 44-18-00-05-0-005-016

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PORT JERVIS CITY SCHOOL DISTRICT  
ADDITIONS AND ALTERATIONS TO:  
PORT JERVIS MIDDLE SCHOOL  
Port Jervis - Orange County - New York

REV	DATE	DESCRIPTION
2	03/10/2022	BID/AD2

DRAWN BY DRF	PROJECT NUMBER 2019-011 PH1
CHECKED BY SJD	DATE 03/01/2022

**THIRD FLOOR INFILL PLAN**

BUILDING <b>MS</b>	SHEET NUMBER <b>A113</b>
BID-AD1	