

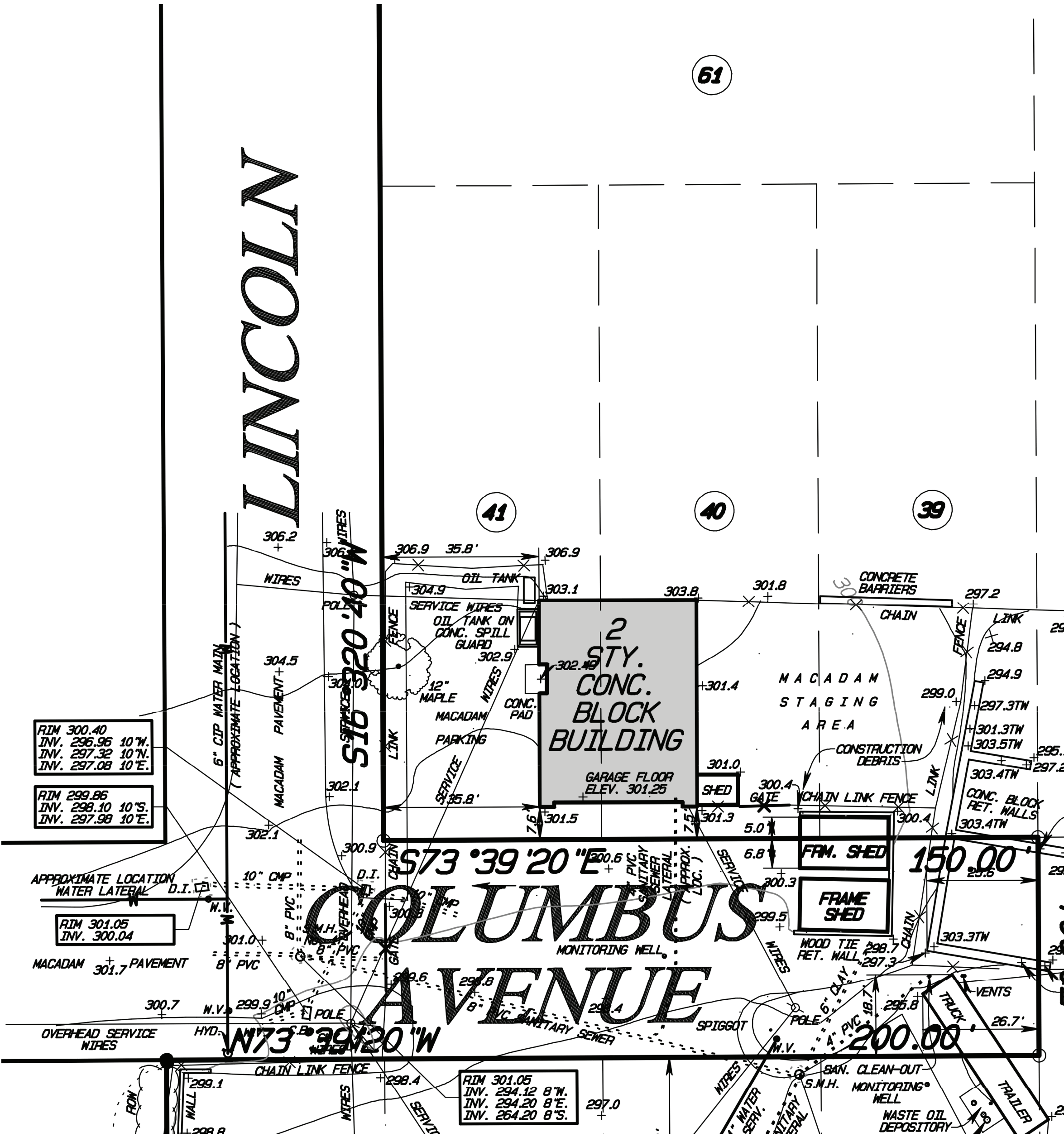
3 EGRESS PLAN

SCALE: N.T.S.

CONSTRUCTION TYPE		
Existing	IIIB	
Addition	IIIB	
OCCUPANCY CLASSIFICATION		
Office	B (Business)	
Bays	S-1 (Storage, moderate hazard)	
AREA BUILDING AREA CALC. $A_t = [A_s + (I_N \times L)]$. FRONTAGE FACTOR $k = F/P \leq 0.25W/30$		
Office	ALLOWED (sf)	PROVIDED (sf)
Bays (Storage)	33250	1150
	30625	2370
BUILDING CAPACITY per BCYS Table 1034.5		
Accessory storage areas	Occupant Load Factor	Occupancy
Business areas	300 gross	8
	150 gross	2
PLUMBING FIXTURES		
	REQUIRED	PROVIDED
Business		
1 WC per 25 for the first 50 and 1 per 50 for the remainder exceeding 50	1	1
1 lavatory per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	1	1
1 drinking fountain per 100 (not required for occupancy less than 15 per 410.2 Small occupancies)	0	0
1 service sink	1	1
Bays (Storage)		
1 WC per 100	1	1
1 lavatory per 100	1	1
1 drinking fountain per 100 (not required for occupancy less than 15 per 410.2 Small occupancies)	0	0
1 service sink	1	1
EXIT ACCESS TRAVEL DISTANCE per Table 1017.2		
Occupancy	Distance without/Sprinkler System (feet)	
B (Business)	200	
S-1 (Storage, moderate hazard)	200	

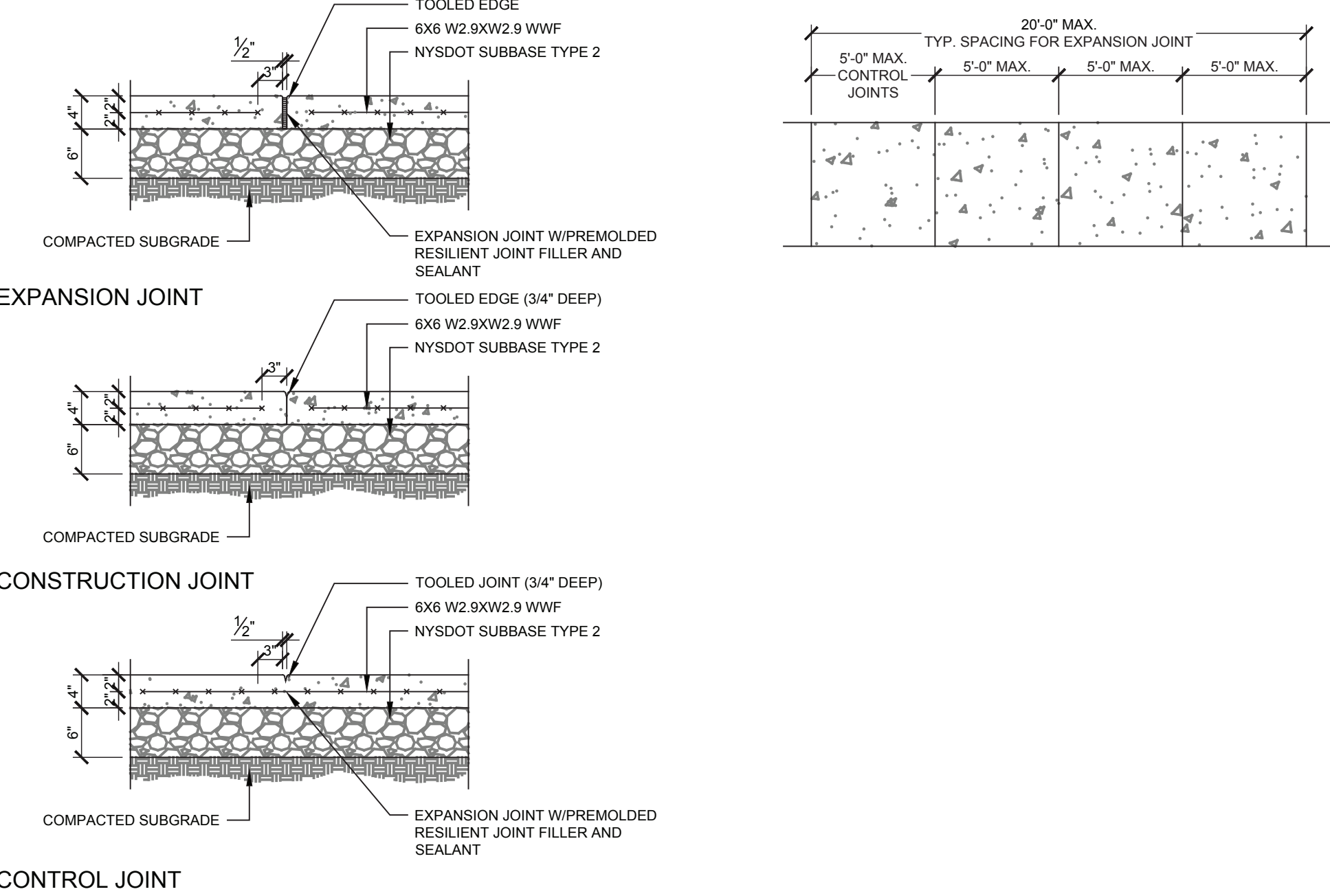
4 CODE TABLE

SCALE: N.T.S.



1 SITE SURVEY

SCALE: 1" = 20'



2 SIDEWALK DETAILS

SCALE: N.T.S.

PLAN GRAPHICS LEGEND

EXISTING CONSTRUCTION TO REMAIN

REMOVE EXISTING PARTITION

REMOVE EXISTING MASONRY PARTITION

NEW CONCRETE MASONRY WALL

NEW BRICK VENEER

NEW METAL STUD WALL

WALL TYPE

EXISTING DOOR/FRAME TO REMAIN

EXISTING DOOR/FRAME TO BE REMOVED

NEW DOOR/FRAME WITH TAG

10# WEIGHT

ABC TYPE

FIRE EXTINGUISHER CABINET

STOREFRONT/GLAZING TYPE

SUMPED ROOF DRAIN

FINISHED DOOR OPENINGS SHALL BE LOCATED AS INDICATED BELOW UNO. DIMENSIONS SHOWN ARE CLEAR DIMENSIONS FROM INSIDE OF FRAME TO WALL FINISH.

18" MIN.

12"

DEMOLITION KEY NOTES

- 01 REMOVE WINDOW AND SILL
- 02 REMOVE OVERHEAD DOOR, TRACK, MOTOR, AND ASSOCIATED COMPONENTS
- 03 REMOVE BUMPER
- 04 REMOVE SHOWER BASE, CURB, AND WALL TILE
- 05 REMOVE CONCRETE LANDING AND FOOTING
- 06 REMOVE CONCRETE BASE
- 07 REMOVE COPING FLASHING AND BLOCKING
- 08 REMOVE ROOF SYSTEM
- 09 REMOVE EQUIPMENT PEDESTAL AND BASE
- 10 REMOVE FLOOR FINISH
- 11 REMOVE CONCRETE STEPS

CONSTRUCTION KEY NOTES

- 01 4" THICK CONCRETE PAD FOR WASHER/DRYER (FURNISHED BY OWNER)
- 02 PAINTED STEEL RAILING
- 03 CONCRETE SLAB INFILL
- 04 1-1/2" THICK HARDWOOD BENCH WITH RAKKS SURFACE MOUNT EH-1212 BRACKETS (BLACK POWDER COAT FINISH)
- 05 LOCKERS FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
- 06 COUNTER FLASHING AT EXISTING CHIMNEY
- 07 ROOF VENT
- 08 SINGLE-PLY ROOF SYSTEM
- 09 ALUMINUM LADDER

EQUIPMENT TAG

- 01 EXPANSION JOINT LOCATION - PROVIDE AT FLOOR, WALLS, AND CEILING AS SPECIFIED
- 02 STORAGE SHELVING WITH DRAWERS; BASIS-OF-DESIGN EMPIRE TECH SOLUTIONS, INC. 'ROUSSEAU SPIDER SHELVING' (ID: RM-C666-504E)
- 02A STORAGE SHELVING WITH DRAWERS; BASIS-OF-DESIGN EMPIRE TECH SOLUTIONS, INC. 'ROUSSEAU SPIDER SHELVING' (ID: RM-6E5F-1856)
- 03 STORAGE SHELVING; BASIS-OF-DESIGN EMPIRE TECH SOLUTIONS, INC. 'ROUSSEAU SPIDER SHELVING' (ID: RM-2D16-D458)
- 03A STORAGE SHELVING; BASIS-OF-DESIGN EMPIRE TECH SOLUTIONS, INC. 'ROUSSEAU SPIDER SHELVING' (ID: RM-EA2F-C6E2)
- 04 WORKBENCH W/WOOD TOP; BASIS-OF-DESIGN EMPIRE TECH SOLUTIONS, INC. 'ROUSSEAU WSA2906'
- 05 STANDARD DUTY I-BEAM CANTILEVER RACK SYSTEM, 144" HIGH W8X18 COLUMNS WITH (4) 24" ARM PER UPRIGHT. PROVIDE CROSS AND X-BRACING AS REQUIRED. BASIS-OF-DESIGN 'STEEL KING'
- 06 EXISTING MONITORING WELL; EXTEND TO ELEVATION OF NEW SLAB AND PROVIDE BRASS WATERTIGHT CLEANOUT COVER
- RD-1 ROOF DRAIN RD-1: BASIS-OF-DESIGN FROET; 14"Ø '100C-C-E-ER2-R'
- RD-2 ROOF DRAIN RD-2: BASIS-OF-DESIGN ZURN; 'Z100-NH-ZC-C-E-EA-R-SC'

TOILET ROOM TAGS

- GBX GRAB BAR X LENGTH
- LVX LAVATORY
- URX URINAL
- WCX WATER CLOSET
- MIR MIRROR
- TWD PAPER TOWEL/WASTE DISPENSER
- TD TOILET TISSUE DISPENSER
- SD SOAP DISPENSER
- SHS SHOWER SEAT
- SH1 ROLL-IN SHOWER BASE
- SHR SHOWER ROD/CURTAIN
- TP TOILET PARTITION
- CH COAT HOOK

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Consultant

VILLAGE/TOWN OF MOUNT KISCO WATER DEPARTMENT BUILDING ADDITION 43 COLUMBUS AVE, MOUNT KISCO, NY 10549

Project Title

4			
3			
2	7/27/22	Addendum #2	dh
1	7/13/22	Issue for the Bid	dh
No.	Date	Revision	

Drawn By: dh
Checked By: dh
BDS Proj. #: 21-01
Date: June 3, 2022

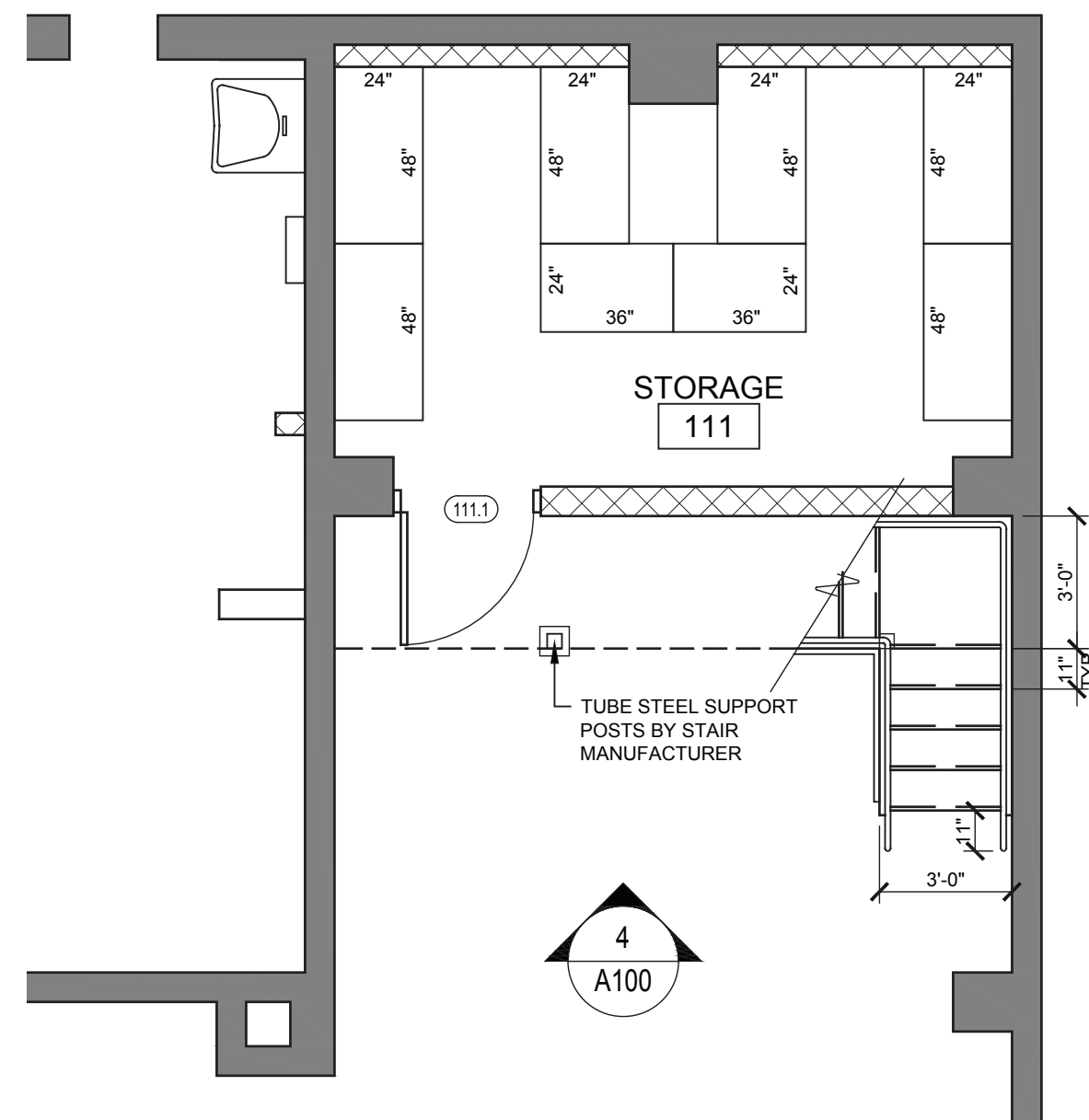
Sheet Title

GENERAL NOTES, LEGEND, AND SITE PLAN

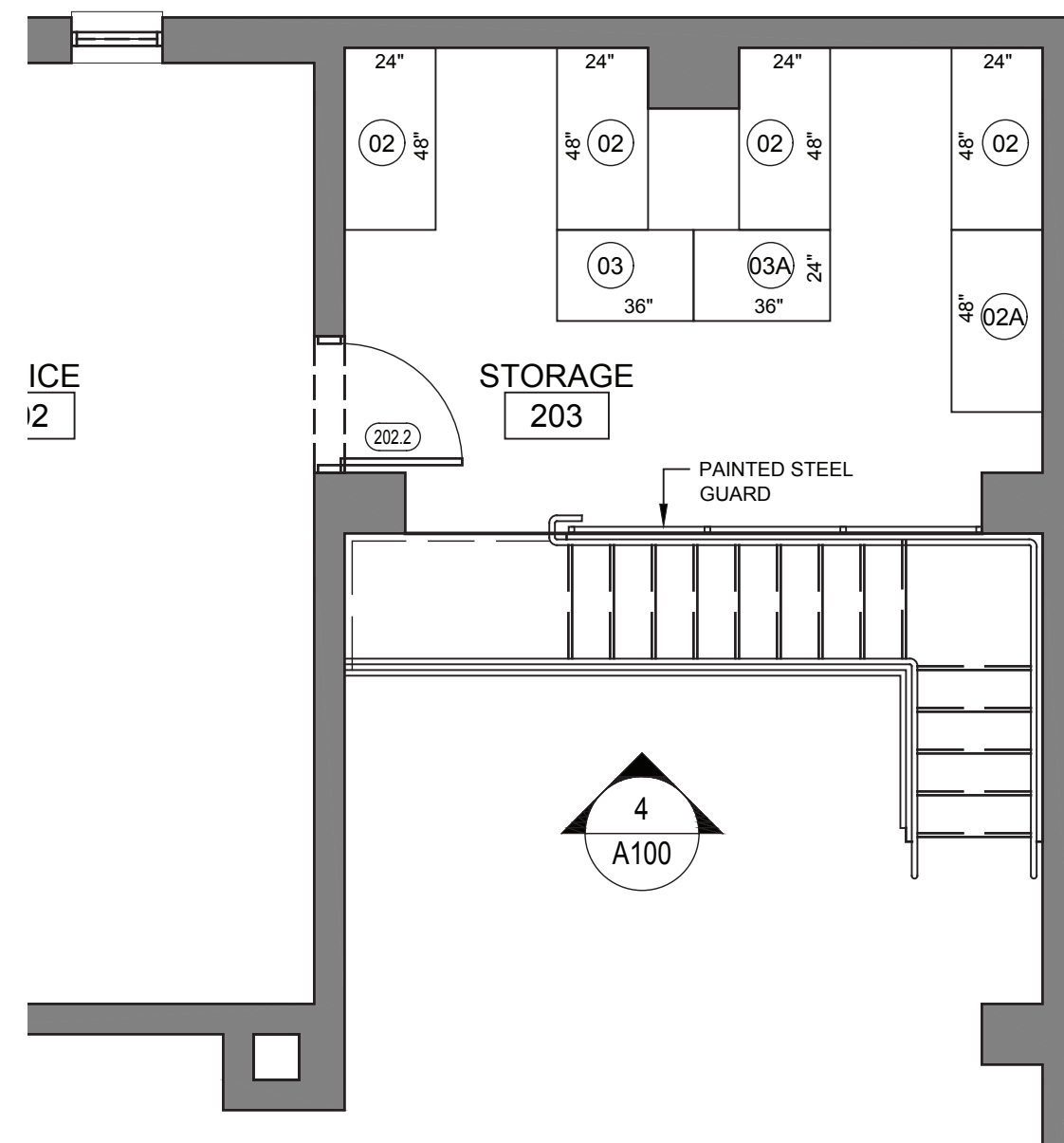
Sheet No.

G001

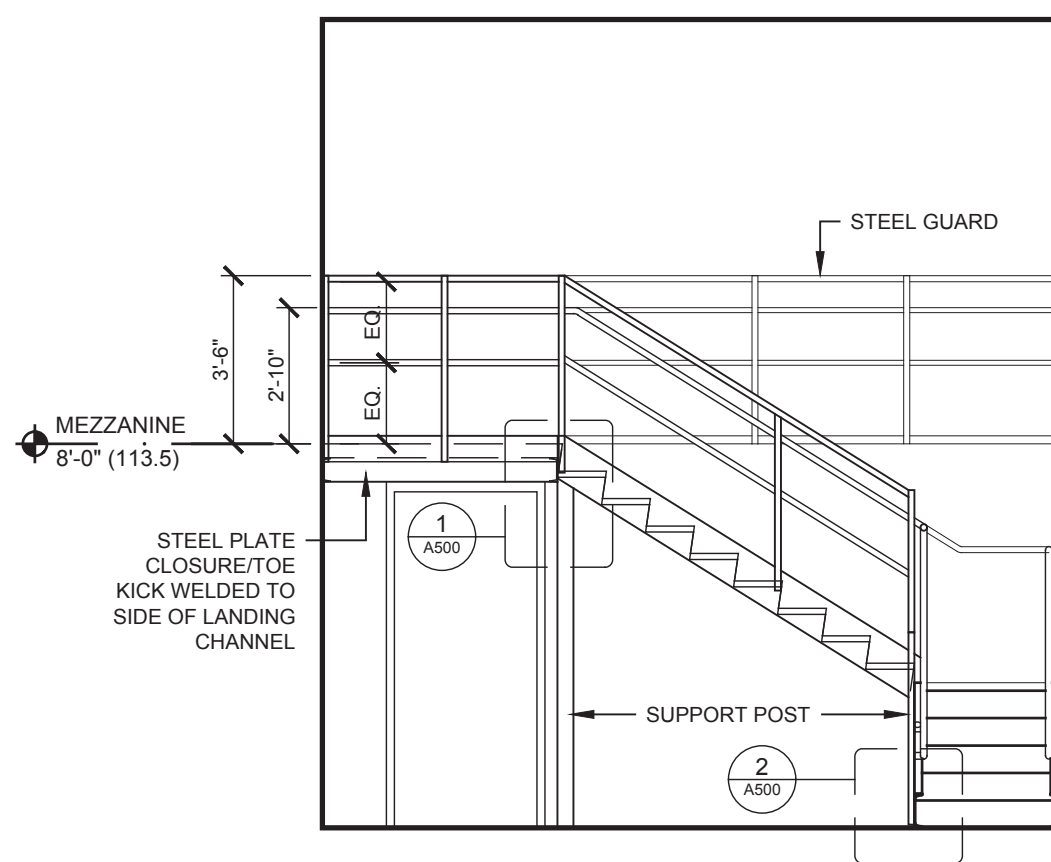
CONSTRUCTION DOCUMENTS



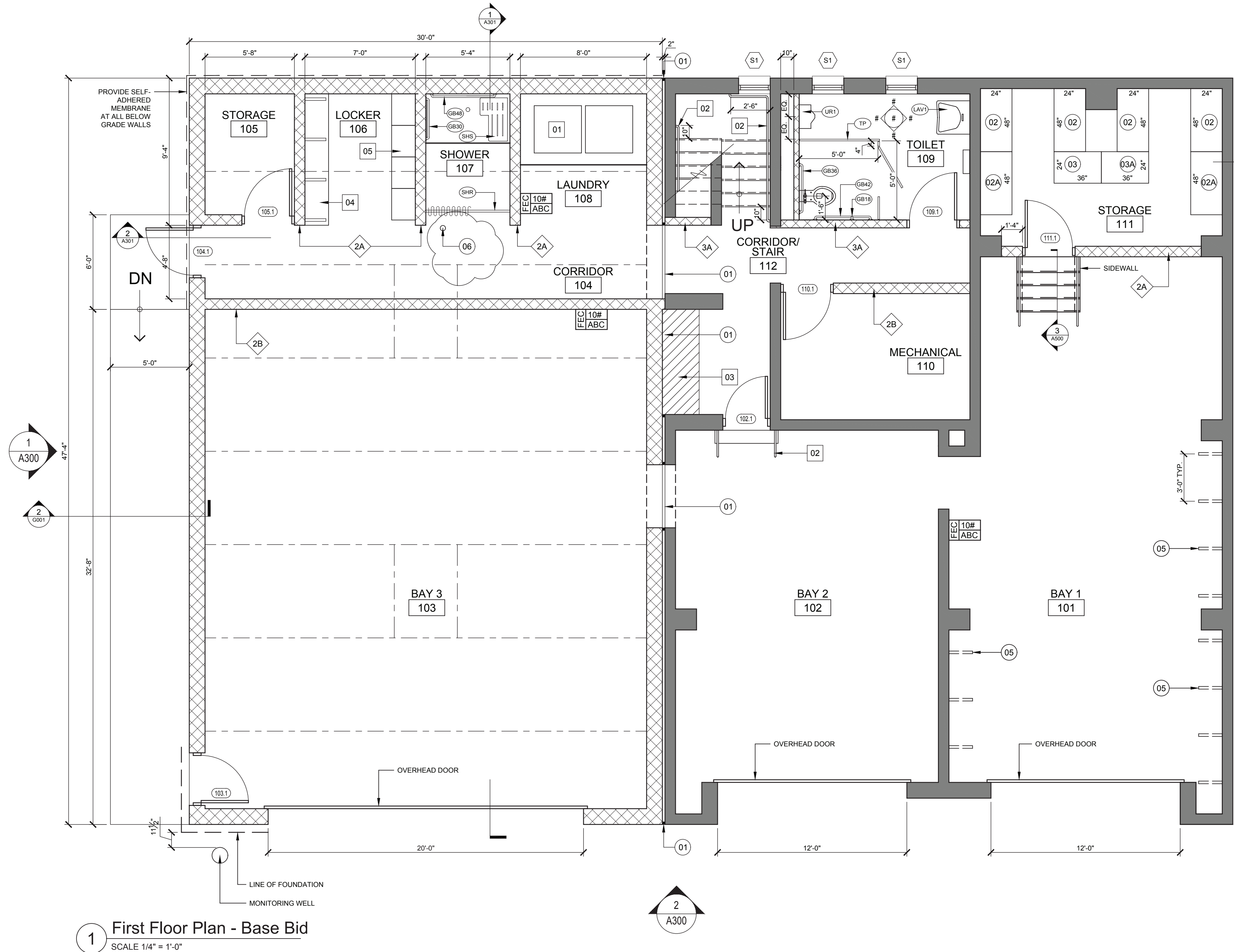
2 First Floor Plan - Alternate
SCALE 1/4" = 1'-0"



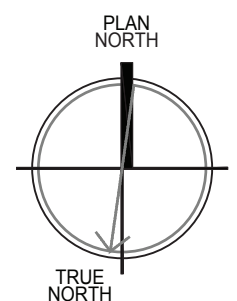
3 Mezzanine Plan - Alternate
SCALE 1/4" = 1'-0"



4 Interior Elevation - Alternate
SCALE 1/4" = 1'-0"



1 First Floor Plan - Base Bid
SCALE 1/4" = 1'-0"



4			
3			
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