

PROJECT CODE ANALYSIS

A: BUILDING DATA	
USE GROUP (SECTION 106.2, 1006.2/1008.5.1)	PROPOSED
TYPE OF CONSTRUCTION:	GROUP F - CHILD DAY-CARE CENTER
RISK CATEGORY:	TBD
SEISMIC DESIGN CATEGORY:	B
MAXIMUM BUILDING HEIGHT: PROPOSED BUILDING HEIGHT:	69'-9" (TABLE 504.2, WITH SPRINKLER SYSTEM) 22'-1" (TO TOP OF WING TIP ROOF)
ALLOWABLE NUMBER OF STORIES: PROPOSED NUMBER OF STORIES:	2 STORIES ABOVE GRADE (TABLE 504.4) 1 STORY ABOVE GRADE
ALLOWABLE FLOOR AREA: PROPOSED FLOOR AREA:	38,000 SF (TABLE 506.2) 17,000 SF
HIGH RISE: COVERED MALL: FULLY SUPPRESSED:	NO NO YES (AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1.)

B: BUILDING ENVELOPE DESIGN CRITERIA		
	REQUIRED	PROPOSED
ROOFS: (INSULATION ENTIRELY ABOVE ROOF DECK)	R-30ci	R-30ci
WALLS: (METAL FRAMED)	R-13 + R-7.5ci	R-13 + R-7.5ci
SLAB-ON-GRADE FLOORS: (UNHEATED SLABS)	R-10 PERIMETER INSULATION UP TO 24" BELOW GRADE OR TO TOP OF FOOTING	R-10 PERIMETER INSULATION UP TO 24" BELOW GRADE OR TO TOP OF FOOTING
SLAB-ON-GRADE FLOORS: (HEATED SLABS)	R-15 PERIMETER INSULATION UP TO 24" BELOW GRADE OR TO TOP OF FOOTING + R-5 FULL SLAB	R-15 PERIMETER INSULATION UP TO 24" BELOW GRADE OR TO TOP OF FOOTING + R-5 FULL SLAB
VERTICAL FENESTRATION (U-FACTOR)		
FIXED FENESTRATION	0.38	0.38
OPERABLE FENESTRATION	0.45	0.45
ENTRANCE DOORS	0.77	0.77
VERTICAL FENESTRATION (SHGC)		
PF < 0.2	0.36	0.36
0.2 < PF < 0.5	0.43	0.43
PF > 0.5	0.58	0.58
THE MAXIMUM AIR LEAKAGE RATE FOR ALL TYPES OF FENESTRATION ASSEMBLIES AND THEIR TEST PROCEDURE, FROM AN INDEPENDENT AND ACCREDITED LABORATORY, SHALL FOLLOW SECTION C402.5.2 AND TABLE 402.5.2 OF THE EBCOVS.		
NOTE: ALL VALUES INDICATED ABOVE ARE MINIMUM REQUIREMENTS FOR OUR CLIMATE ZONE (4A) BASED ON TABLE C402.1.3 AND C402.4 (2020 EBCOVS). ALL BUILDING ENVELOPE COMPONENTS SHALL MEET OR EXCEED MINIMUM REQUIREMENTS		

C: FIRE-RESISTANCE RATINGS FOR BUILDING ELEMENTS (TABLE 601)	
TYPE V-B CONSTRUCTION	REQUIRED
PRIMARY STRUCTURAL FRAME	0 HR
BEARING WALLS EXTERIOR INTERIOR	0 HR 0 HR
NONBEARING WALLS AND PARTITIONS EXTERIOR (TABLE 602) *ALL FIRE SEPARATION GREATER THAN OR EQUAL TO 30'-0".	0 HR
INTERIOR ** NOT LESS THAN FIRE-RESISTANCE RATING REQUIRED BY OTHER AREAS OF THE CODE	0 HR
FLOOR CONSTRUCTION ASSEMBLY	0 HR
ROOF CONSTRUCTION ASSEMBLY	0 HR

D: MEANS OF EGRESS			
OCCUPANT LOAD (TABLE 1004.5)			
DAY-CARE	AREA	OCC LOAD FACTOR	SUBTOTAL
BUSINESS	12,238 NSF	38 NSF	390 OCCUPANTS
STORAGE / MEP	3,008 GSF	150 GSF	21 OCCUPANTS
	1,280 GSF	300 GSF	5 OCCUPANTS
TOTAL	16,522 SF		376 OCCUPANTS
CALCULATED OCCUPANT LOAD = 376 OCCUPANTS			
PROPOSED OCCUPANT LOAD = 383 OCCUPANTS			

E CHILD DAY-CARE	
EGRESS COMPONENT SIZE (SECTION 1005.3.2)	REQUIRED
NUMBER OF EXITS (TABLE 1006.2.1)	383 OCCUPANTS x 0.15' = 57'-9" TOTAL (WITH SPRINKLER SYSTEM)
COMMON PATH OF TRAVEL (TABLE 1006.2.1)	ONE EXIT <= 49 MAX OCCUPANT LOAD OF SPACE TWO EXITS > 49 MAX OCCUPANT LOAD OF SPACE
MINIMUM DISTANCE BETWEEN RATED EXITS OR EXIT ACCESS DOORWAYS (SECTION 1007.1.1)	75'-0" (WITH SPRINKLER SYSTEM)
EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)	GREATER THAN OR EQUAL TO 1/3 OF THE LENGTH OF THE OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN THEM (WITH SPRINKLER SYSTEM)
CORRIDOR FIRE-RESISTANCE RATING (TABLE 1020.1)	250'-0" (WITH SPRINKLER SYSTEM)
MINIMUM CORRIDOR WIDTH (TABLE 1020.2)	0 HR (WITH SPRINKLER SYSTEM)
MAXIMUM DEAD END (SECTION 1020.4)	<100 OCCUPANTS = 44" MINIMUM WIDTH >= 100 OCCUPANTS OR MORE = 72" MINIMUM WIDTH
	50'-0" (WITH SPRINKLER SYSTEM)

PROJECT INFORMATION

PROJECT:	REGENERON CAMPUS EXPANSION CHILD DAY-CARE CENTER MOUNT PLEASANT, NY 10591
OWNER:	REGENERON PHARMACEUTICALS 777 OLD SAW MILL ROAD TARRYTOWN, NY 10591
ARCHITECT:	GENSLER 1705 BROADWAY SUITE 400 NEW YORK, NY 10019
ZONING DATA:	TOWN OF MOUNT PLEASANT WESTCHESTER COUNTY ZONE: CB-5 OFFICE BUSINESS DISTRICT TAX MAP: SECTION 116.15 (BLOCK 1 / LOT 2.1 REFER TO PROJECT ZONING ANALYSIS AND CIVIL DRAWINGS FOR REMAINING ZONING INFORMATION

PROJECT SUMMARY

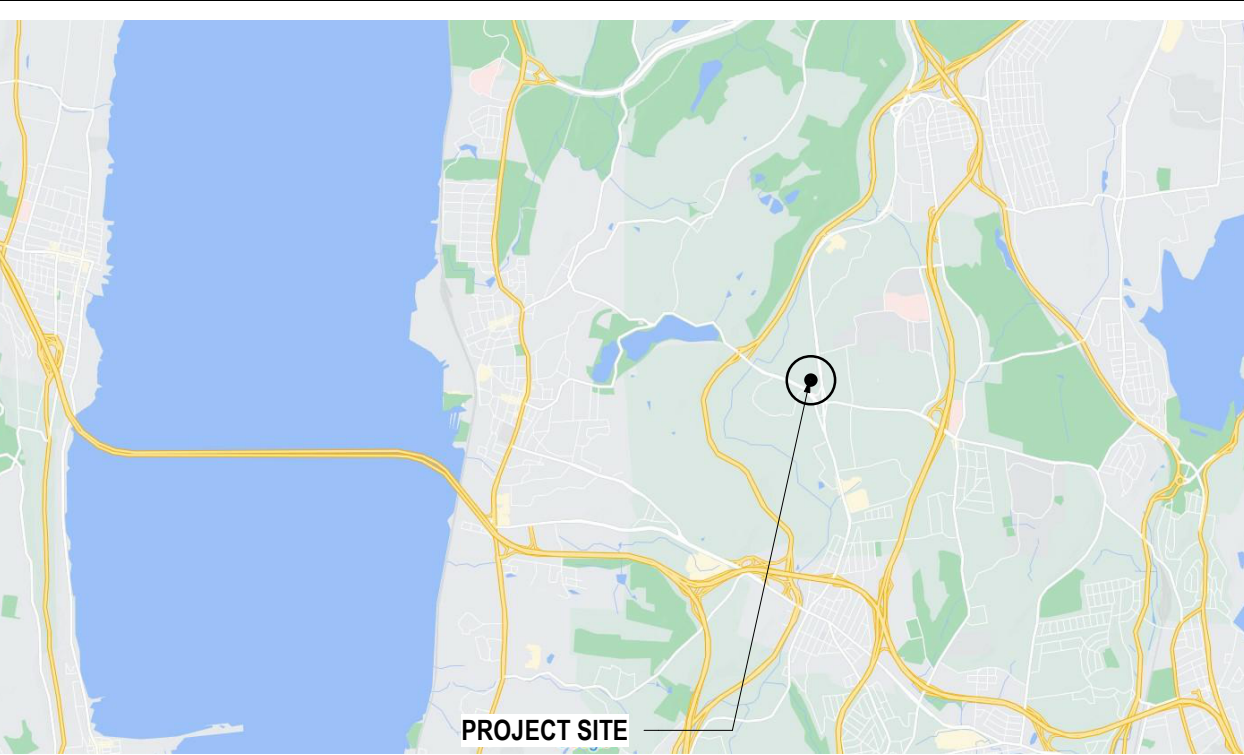
REGENERON PHARMACEUTICALS INTENDS TO DEVELOP A PARCEL OF PROPERTY LOCATED ON THEIR NORTH CAMPUS IN TARRYTOWN, NEW YORK. THE SITE IS ADJACENT TO STATE HIGHWAY 52 / ROUTE 9A.

THE PROPOSED PROJECT IS A NEW GROUND-UP SINGLE-STORY CHILD DAY-CARE CENTER OF APPROXIMATELY 17,000 GROSS SF, APPROXIMATELY 5,000 SF OUTDOOR PLAY AREAS, AND NEW PARKING LOT FOR APPROXIMATELY 50 CARS.

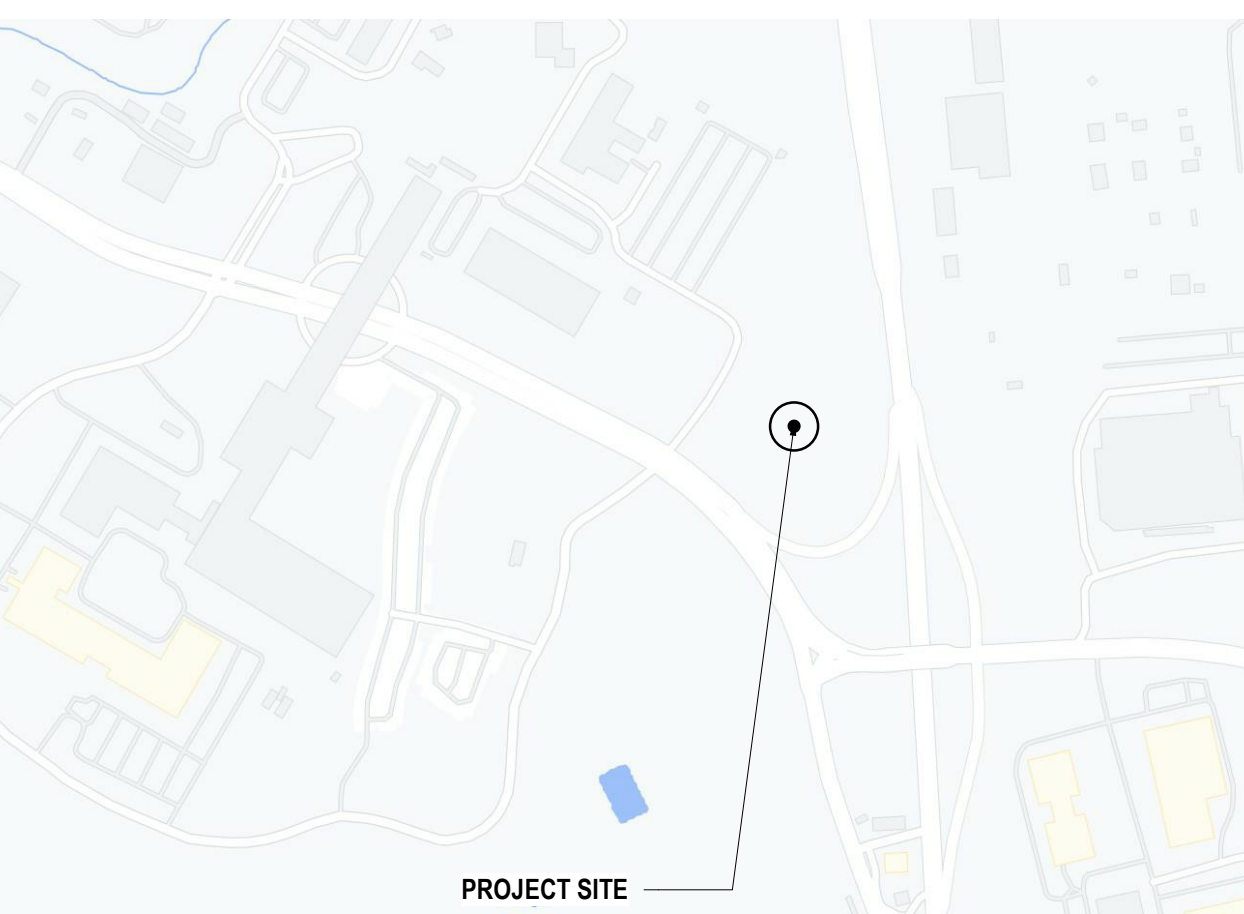
APPLICABLE CODES

THE BUILDING CONSTRUCTION CONFORMS TO ALL APPLICABLE BUILDING CODES IN THE STATE OF NEW YORK	
BUILDING CODE:	2020 BUILDING CODE OF NEW YORK STATE
PLUMBING CODE:	2020 PLUMBING CODE OF NEW YORK STATE
MECHANICAL CODE:	2020 MECHANICAL CODE OF NEW YORK STATE
FUEL GAS CODE:	2020 FUEL GAS CODE OF NEW YORK STATE
FIRE CODE:	2020 FIRE CODE OF NEW YORK STATE
ACCESSIBILITY CODE:	CCOANSI A117.1 - 2009 ED & 2010 ADA
ENERGY CONSERVATION:	2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
TOWN OF MOUNT PLEASANT, NY CODES: 218-44, 218-99	

VICINITY MAP (NTS)



AREA MAP (NTS)



DRAWING INDEX

NEW ISSUE REVISED ISSUE ISSUED WITH NO CHANGES REVISED - NOT ISSUED / SK ISSUED

SHEET NUMBER	SHEET NAME	06.20.2022 ISSUED FOR PERMIT	06.20.2022 100% CONSTRUCTION DOCUMENTS	07.01.2022 100% CONSTRUCTION DOCUMENTS-1	COMMENTS
0-GENERAL					
G-000	SHEET INDEX AND PROJECT INFORMATION	■	■		
G-001	GENERAL NOTES, ABBREVIATIONS, AND TYP MOUNTING HEIGHTS	■	■		
G-002	GRAPHIC SYMBOLS	■	■		
2-LIFE SAFETY					
LS-101	LIFE SAFETY PLAN - 1ST FLOOR	■	■		
7-ARCHITECTURE					
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A-002	BUILDING PERSPECTIVES	■	■		
A-010	PARTITION TYPES AND SCHEDULES	■	■		
A-011	HEAD OF WALL DETAILS	■	■		
A-012	HEAD OF WALL DETAILS	■	■		
A-013	BOTTOM OF WALL DETAILS	■	■		
A-020	DOOR SCHEDULE AND DOOR TYPES	■	■		
A-051	SITE PLAN	■	■		
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Campus Expansion Child
Day-care Center

899 Old Saw Mill River Road
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Project No. B17-DAYCARE

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MEP / IT / Security Engineer

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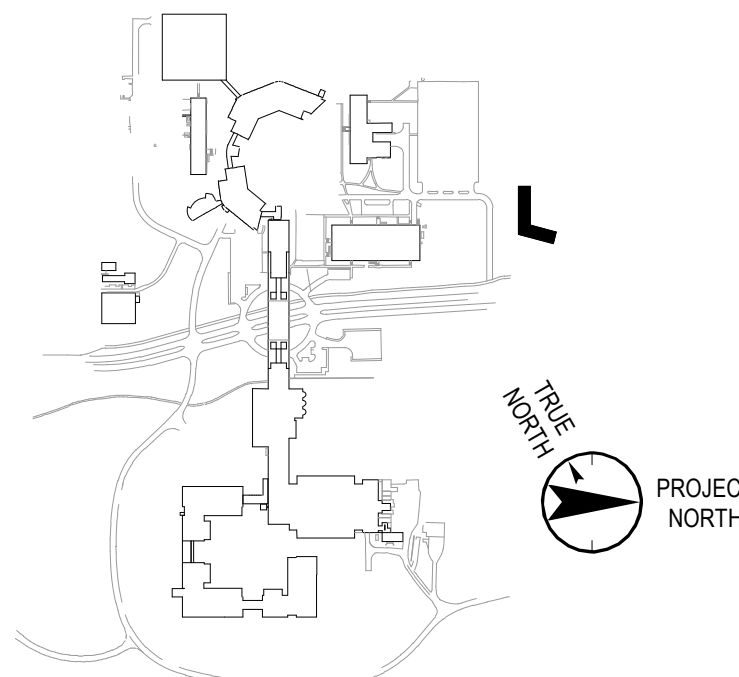
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Key Plan



No.	Date	Description
0	06.20.2022	ISSUED FOR PERMIT
1	06.20.2022	100% CONSTRUCTION DOCUMENTS
2	07.01.2022	100% CONSTRUCTION DOCUMENTS-1

Plot Date: 07.01.2022

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Vendor Name: GENSLER
Vendor Project No.: 006.3608.000
Discipline: ARCHITECTURE Drawn By: GENSLER
SHEET INDEX AND PROJECT
INFORMATION

Scale: 1/8" = 1'-0" Floor:

G-000