CONSTRUCTION DOCUMENTS REGENERON CHILDCARE TAX MAP SECTION 116.15 | BLOCK 1 | LOT 2.1 WESTCHESTER COUNTY 777 OLD SAW MILL RIVER ROAD **MOUNT PLEASANT, NY 10591**

	ТА	BLE O	F LAND U	SE	
		PARCEL:	116.15-1-2.1		
		ZONE:	OB5 - Office B	usiness District	
		USE:	Child day-care	center	
	FIRE	DISTRICT:	Hawthorne		
	WATER I	DISTRICT:	Kensico		
	SCHOOL	DISTRICT:	Mount Pleasa	nt Central	
	SEWER	DISTRICT:	Saw Mill		
	ZONING PROVISION		REQUIRED /	EXISTING	PROPOSED
	1	Footnotes]	PERMITTED		Child Care
Applic	cable Zone	[1]		OB5	Varies
	Building Area				
	Existing to Remain (SF)	[5]	-	551,767	551,767
	Proposed New (SF)		-	0	17,000
	TOTAL (SF)	[5]	-	551,767	568,767
	Net Increase (SF)	[5]	-	0	17,000
Minin	num Size of Lot				
	Lot Area (Ac)	[1,3]	50	69.88	69.88
	Lot Width at Front Yard (Ft			1,985	1,985
	Mean Lot Width (Ft)	, i] [1]		1,303	1,302
	Mean Lot Depth (Ft)	[1]		1,425	1,425
Minin	num Building and Parking			1,723	±, 123
	Parking Front Yard (Ft)	[1,2,7]	1	62	75 ^[8]
	Building Front Yard (Ft)	[1,4,7]		0	104 ^[8]
	Building Side Yard (Ft)	[4]		n/a	n/a
	Building Rear Yard (Ft)	[1,4]	,	1,717	1,717
Maxir	num Height of Buildings		50	1,717	1,717
ITTAATT	Stories	[1]	4	5	1 [8]
	Feet	[1]	-	80	±22 ^[8]
Mavir	num Building Coverage			00	<u> </u>
IVIAAII	Percent of Lot Area	[9]	20%	9.56%	10.12%
Minin	num Off-Street Parking S		20/0	3.3070	10.12/0
	TOTAL REQUIRED	[5,11]	-	1,162	1,211
	TOTAL PROVIDED/PROPOS			1,634	1,675
	Regular Spaces (9x18,9x20		_	1,595	1,633
	Accessible Spaces (8x18,8	•	_	39	42
Minin	num Dropoff/Pickup Spac		l ild dav-care cei		-12
	TOTAL REQUIRED	[12]	-	0	9
	TOTAL PROPOSED		_	0	9
Minin	num Off-Street Loading S	naces		5	
	TOTAL REQUIRED	[6,13]	_	8	8
	TOTAL PROVIDED/PROPOS		_	12	12
Footn				12	12
	Per § 218-72 Attachment 11 and	d columns 5	-15 of C-RB Zoning	District from	
	§ 218-72 Attachment 16.				
[2]	The Planning Board may waive	the require	ed Parking Setback	by up to 50%.	
	Excludes Home Depot lease ar	-			
[4]	Due to the triangular shape of have two Front Yards, a Rear Ya			orner lot, the site is	considered to
	Excludes Home Depot. Exclude			isting structures. Exc	cludes pedestrian
5				-	
[5]	bridges, mechanical penthouse		eu proposeu struct		
	existing and proposed.	es and relat			
	existing and proposed. The Planning Board may appro	es and relat ve a reducti	on in the number c		paces, provided
[6]	existing and proposed. The Planning Board may appro that spaces are shared betwee	es and relat ve a reducti n contiguou	on in the number c		paces, provided
[6]	existing and proposed. The Planning Board may appro	es and relat ve a reducti n contiguou nain.	on in the number c us buildings.	of required loading s	
[6]	existing and proposed. The Planning Board may appro that spaces are shared betwee Existing non-conforming to rer	es and relat ve a reducti n contiguou nain. Refer to Ta	on in the number c us buildings.	of required loading s	
[6] [7] [8] [9]	existing and proposed. The Planning Board may appro that spaces are shared betwee Existing non-conforming to rer Child day-care center use only Layout Plan," for the entire site Net new Building Coverage = E	es and relat ve a reducti n contiguou nain. Refer to Ta e. xisting Buil	on in the number o us buildings. able of Land Use on dings to Remain + P	of required loading s JMC Drawing MP-1, Proposed Buildings.	
[6] [7] [8] [9] [10]	existing and proposed. The Planning Board may appro- that spaces are shared betwee Existing non-conforming to ren Child day-care center use only Layout Plan," for the entire site Net new Building Coverage = E Total Proposed Parking = Existi	es and relat ve a reducti n contiguou nain. Refer to Ta e. xisting Build ng Parking t	ion in the number o us buildings. able of Land Use on dings to Remain + P to Remain + Propos	of required loading s JMC Drawing MP-1, Proposed Buildings. ed Parking.	
[6] [7] [8] [9] [10]	existing and proposed. The Planning Board may appro that spaces are shared betwee Existing non-conforming to rer Child day-care center use only Layout Plan," for the entire site Net new Building Coverage = E Total Proposed Parking = Existi Child day-care center Use: 1 Sp	es and relat ve a reducti n contiguou nain. Refer to Ta e. xisting Build ng Parking t	ion in the number o us buildings. able of Land Use on dings to Remain + P to Remain + Propos	of required loading s JMC Drawing MP-1, Proposed Buildings. ed Parking.	
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[6] [7] [8] [9] [10] [11] [12]	existing and proposed. The Planning Board may appro that spaces are shared betwee Existing non-conforming to rer Child day-care center use only Layout Plan," for the entire site Net new Building Coverage = E Total Proposed Parking = Existi Child day-care center Use: 1 Sp	es and relat ve a reducti n contiguou nain. Refer to Ta e. xisting Buila ng Parking t ace / 350 G	ion in the number of us buildings. able of Land Use on dings to Remain + P to Remain + Propos SF (17,000 SF / 350 =	of required loading s JMC Drawing MP-1, Proposed Buildings. ed Parking. 49 Parking Spaces)	"Overall Site
[6] [7] [8] [10] [11] [12] [13]	existing and proposed. The Planning Board may appro that spaces are shared betwee Existing non-conforming to ren Child day-care center use only. Layout Plan," for the entire site Net new Building Coverage = E Total Proposed Parking = Existi Child day-care center Use: 1 Sp R&D Use: 1 Space / 475 GSF Child day-care center Use: 1 Sp	es and relat ve a reducti n contiguou nain. Refer to Ta e. xisting Build ace / 350 G ace / 15 Chi ace / 15 Chi	ion in the number of us buildings. able of Land Use on dings to Remain + P to Remain + Propos SF (17,000 SF / 350 = ildren (132 Children cated to the Child d	of required loading s JMC Drawing MP-1, Proposed Buildings. ed Parking. 49 Parking Spaces) n / 15 = 9 Dropoff/Pic lay-care center use:	"Overall Site

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

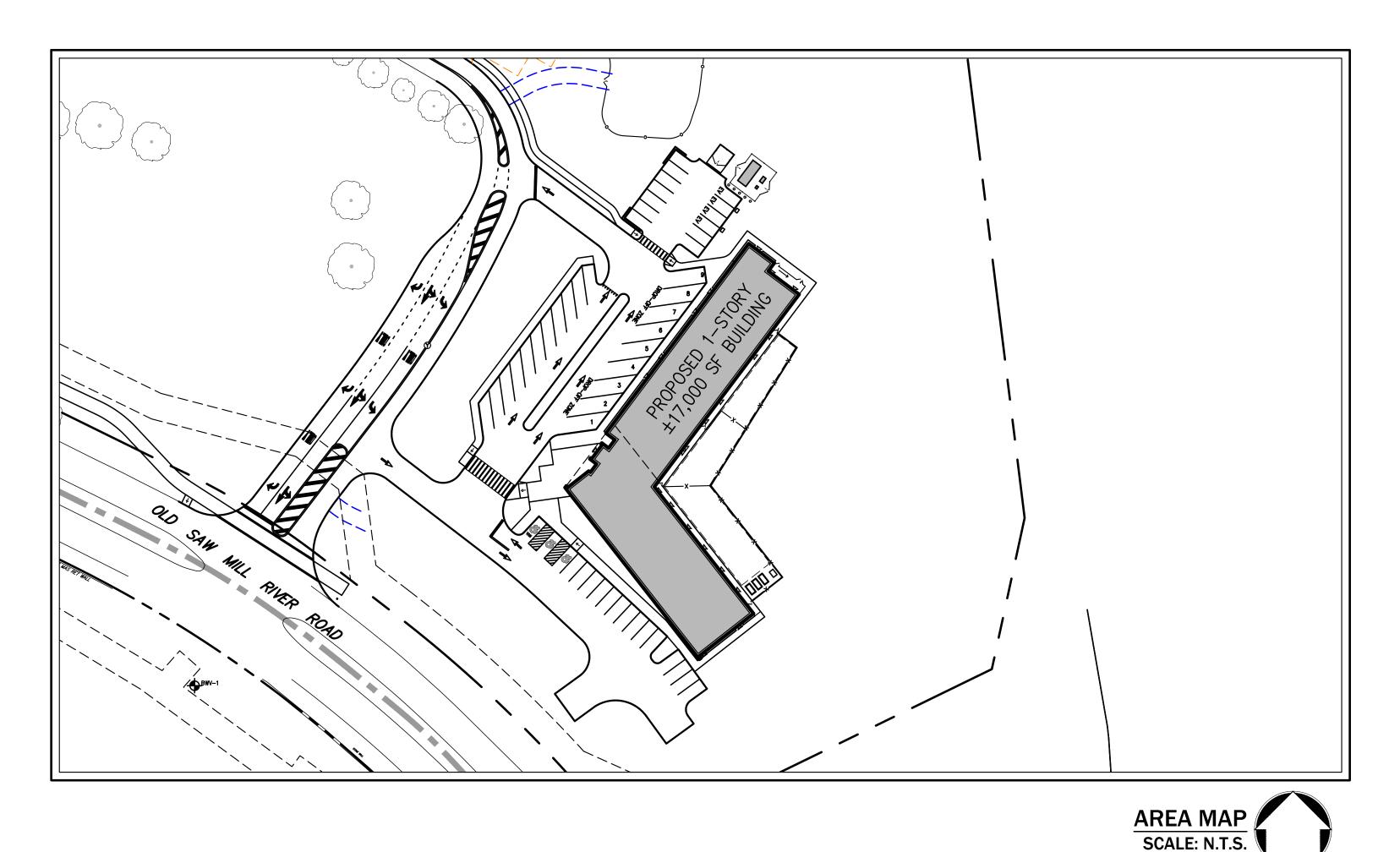
. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INSOFAR AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES. AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.

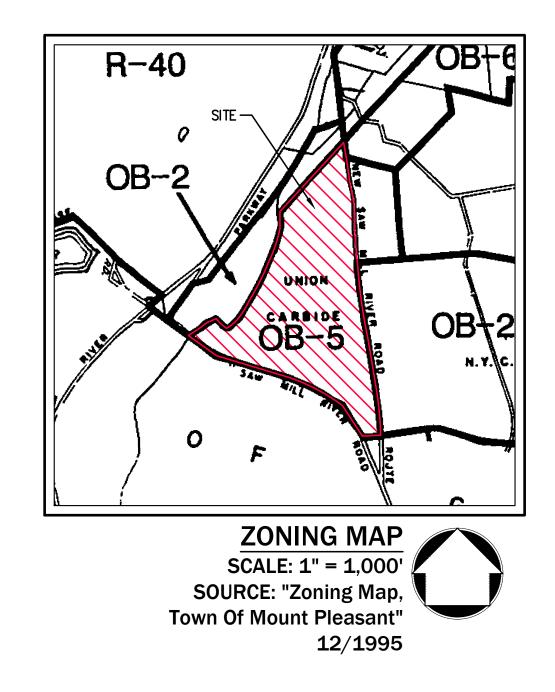
2. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT. THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.

3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.

4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSDOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES. ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.

5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES. 6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.









Tappan Zee Bridge: **VICINITY MAP**

SCALE: N.T,S.

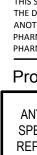
JMC Drawing List:

- C-000 COVER SHEET
- C-010 EXISTING CONDITIONS C-020 DEMOLITION, TREE REMOVAL AND PRESERVATION PLAN
- C-021 TREE LIST C-100 LAYOUT PLAN
- C-200 GRADING PLAN
- C-220 EARTHWORK ANALYSIS PLAN
- C-300 UTILITIES PLAN
- C-400 EROSION AND SEDIMENT CONTROL PLAN C-600 LIGHTING PLAN
- C-900 CONSTRUCTION DETAILS
- C-901 CONSTRUCTION DETAILS
- C-902 CONSTRUCTION DETAILS
- C-903 CONSTRUCTION DETAILS C-904 CONSTRUCTION DETAILS
- C-905 CONSTRUCTION DETAILS
- C-906 CONSTRUCTION DETAILS
- L-100 LANDSCAPING PLAN

Carlin-Simpson & Associates Drawing List:

- GT-100 OVERALL DRAINAGE PLAN
- GT-101 CROSS-SECTIONS A & B GT-102 CROSS-SECTIONS C, D, & E
- GT-200 SLOPE DRAINAGE PLAN
- GT-300 BUILDING DRAINAGE PLAN
- GT-400 PAVEMENT DRAINS & POND DRAINAGE BLANKET
- **BR+A Consulting Engineers Drawing List:**
- E-050 ELECTRICAL DAYCARE SITE PLAN







REGENERON
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777 Old Saw Mill River Road Tarrytown, NY 10591-6707 T: 914.847.7400 F: 914.847.7991 www.regeneron.com BUILDING #17 CAMPUS EXPANSION CHILD DAY-CARE CENTER
899 OLD SAW MILL RIVER ROAD MOUNT PLEASANT, NY 10591 Civil Engineer: Site Development Consultants 120 Bedford Road Armonk, NY 10504 914-273-5225 www.jmcpllc.com
Attorney: DelBello Donnellan Weingarten Wise & Wiederkehr, LLP One North Lexington Avenue, 11th Floor White Plains, New York 10601 Phone: (914) 681-0200 Geotechnical Engineer: Carlin-Simpson & Associates 61 Main Street Saurovillo, NL 08872
Sayreville, NJ 08872 Phone: (732) 432-5757Architect:Gensler 1700 Broadway, Suite 400 New York, New York 10019 Phone: (212) 492-1400 Fax: (212) 492-1472Landscape Architect (Playground):
Langan 21 Penn Plaza, 360 West 31st Street, 8th Floor New York, New York 10001 Phone: (212) 479-5400 Fax: (212) 479-5444 <u>MEP/IT/Security Engineer:</u> Cosentini Associates 498 Seventh Avenue New York, New York 10018 Phone: (212) 615-3600
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