

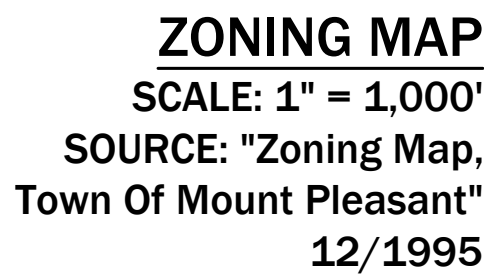
REGENERON CHILDCARE

WESTCHESTER COUNTY

**777 OLD SAW MILL RIVER ROAD
MOUNT PLEASANT, NY 10591**

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFE" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AS THEY ARE ENDEAVORED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED AND FIELD VERIFICATION SHALL BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND, SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDEE INTERRUPTION OF UTILITY SERVICE.
2. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE NEW YORK STATE AND LOCAL SAFETY AND HEALTH REQUIREMENTS OF THE NYSDOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.



- C-000 COVER SHEET
- C-010 EXISTING CONDITIONS
- C-020 DEMOLITION, TREE REMOVAL AND PRESERVATION PLAN
- C-021 TREE LIST
- C-100 LAYOUT PLAN
- C-200 GRADING PLAN
- C-220 EARTHWORK ANALYSIS PLAN
- C-300 UTILITIES PLAN
- C-400 EROSION AND SEDIMENT CONTROL PLAN
- C-600 LIGHTING PLAN
- C-900 CONSTRUCTION DETAILS
- C-901 CONSTRUCTION DETAILS
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- C-904 CONSTRUCTION DETAILS
- C-905 CONSTRUCTION DETAILS
- C-906 CONSTRUCTION DETAILS
- L-100 LANDSCAPING PLAN

GT-100 OVERALL DRAINAGE PLAN
GT-101 CROSS-SECTIONS A & B
GT-102 CROSS-SECTIONS C, D, & E
GT-200 SLOPE DRAINAGE PLAN
GT-300 BUILDING DRAINAGE PLAN
GT-400 PAVEMENT DRAINS & POND DRAINAGE BLANKET

E-050 ELECTRICAL DAYCARE SITE PLAN

777 Old Saw Mill River Road
Tarrytown, NY 10591-6707
T: 914.847.7400
F: 914.847.7991
www.regeneron.com

BUILDING #17
CAMPUS EXPANSION CHILD
DAY-CARE CENTER

899 OLD SAW MILL RIVER ROAD
MOUNT PLEASANT, NY 10591

Civil Engineer

Attorney

DelBello Donnellan Weingarten Wise &
Wiederkehr, LLP
One North Lexington Avenue, 11th Floor
White Plains, New York 10601
Phone: (914) 681-0200

Geotechnical Engineer



Architect

Gensler
1700 Broadway, Suite 400
New York, New York 10019
Phone: (212) 492-1400
Fax: (212) 492-1472

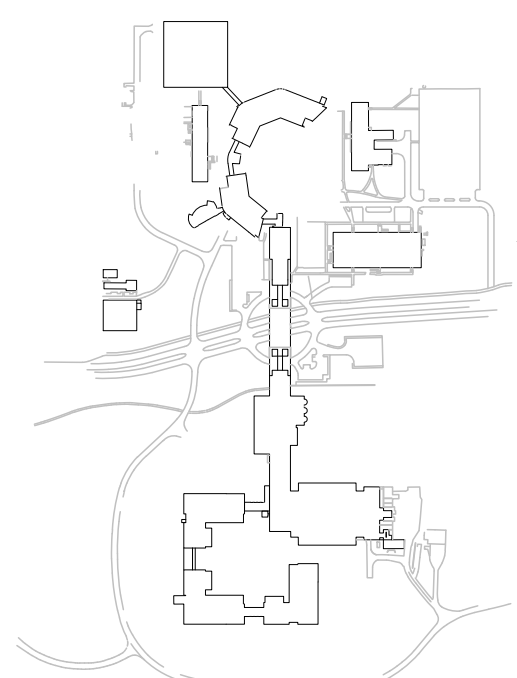
Landscape Architect (Playground)

Langan
21 Penn Plaza, 360 West 31st Street, 8th Floor
New York, New York 10001
Phone: (212) 479-5400
Fax: (212) 479-5444

MEP/IT/Security Engineer:

Cosentini Associates
498 Seventh Avenue
New York, New York 1001
Phone: (212) 615-3600
Fax: (212) 615-3700

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No.	Date	Description
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1	06/20/2022 100% CONSTRUCTION DOCUMENTS
2	07/01/2022 100% CONSTRUCTION DOCUMENTS -

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Professional Seal and Signature

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Vendor Name: JMC, PLLC

Vendor Project No.: 20090-3
Discipline: Civil

Drawing Title:

COVER SHEET

Scale: AS SHOWN

C-000