

# REGENERON CHILDCARE

# WESTCHESTER COUNTY

**777 OLD SAW MILL RIVER ROAD  
MOUNT PLEASANT, NY 10591**

**GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:**

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-862-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL AT ALL TIMES BE RESPONSIBLE FOR THE REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONTINUOUSLY PROCEED WITH CAUTION TO PREVENT UNDER INTERRUPTION OF UTILITY SERVICE.

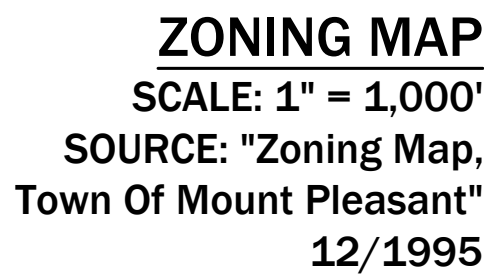
2. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.

3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.

4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. ALL APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH SECTION 107-65 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.

5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.

6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.



777 Old Saw Mill River Road  
Tarrytown, NY 10591-6707  
T: 914.847.7400  
F: 914.847.7991  
[www.regeneron.com](http://www.regeneron.com)

BUILDING #17  
CAMPUS EXPANSION CHILD  
DAY-CARE CENTER

899 OLD SAW MILL RIVER ROAD  
MOUNT PLEASANT, NY 10591

Civil Engineer

Attorney

DeBello Donnellan Weingarten Wise &  
Wiederkehr, LLP  
One North Lexington Avenue, 11th Floor  
White Plains, New York 10601  
Phone: (914) 681-0200

Geotechnical Engineer



Architect

Gensler

1700 Broadway, Suite 400  
New York, New York 10019  
Phone: (212) 492-1400  
Fax: (212) 492-1472

Landscape Architect (Playground):

Langan

21 Penn Plaza, 360 West 31st Street, 8th Floor  
New York, New York 10001  
Phone: (212) 479-5400  
Fax: (212) 479-5444

MEP/IT/Security Engineer:

Cosentini Associates

498 Seventh Avenue  
New York, New York 10018  
Phone: (212) 615-3600  
Fax: (212) 615-3700

No.	Date	Description
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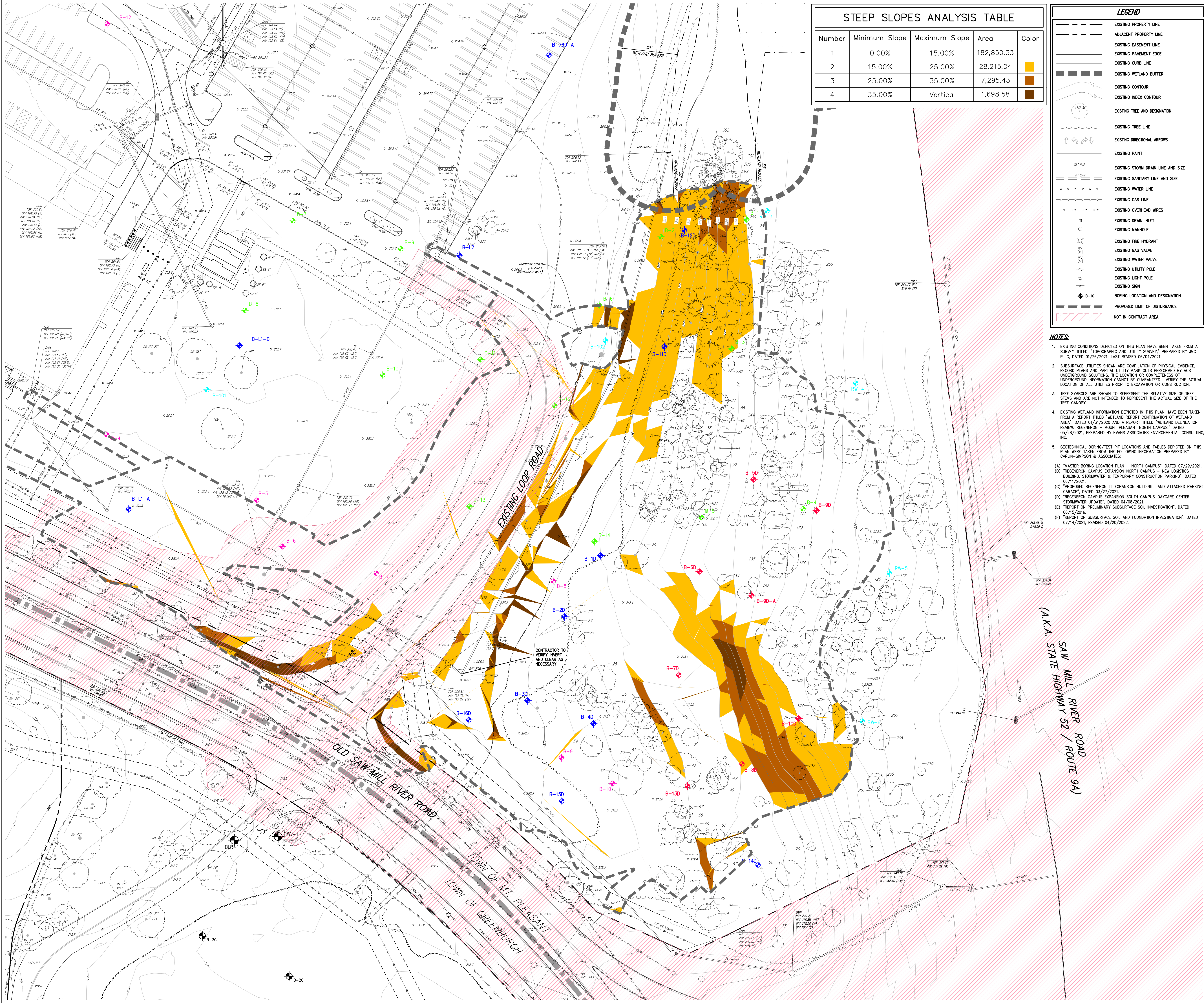
Vendor Name: JMC, PLLC  
Vendor Project No.: 20090-3  
Discipline: Civil  
Drawing Title:

COVER SHEET

Scale: AS SHOWN

C-000





STEEP SLOPES ANALYSIS TABLE				
Number	Minimum Slope	Maximum Slope	Area	Color
1	0.00%	15.00%	182,850.33	
2	15.00%	25.00%	28,215.04	
3	25.00%	35.00%	7,295.43	
4	35.00%	Vertical	1,698.58	

**LEGEND**

EXISTING PROPERTY LINE  
ADJACENT PROPERTY LINE  
EXISTING EASEMENT LINE  
EXISTING PAVEMENT EDGE  
EXISTING CURB LINE  
EXISTING WETLAND BUFFER  
EXISTING CONTOUR  
EXISTING INDEX CONTOUR  
EXISTING TREE AND DESIGNATION  
EXISTING TREE LINE  
EXISTING DIRECTIONAL ARROWS  
EXISTING PAINT  
EXISTING STORM DRAIN LINE AND SIZE  
EXISTING SANITARY LINE AND SIZE  
EXISTING WATER LINE  
EXISTING GAS LINE  
EXISTING OVERHEAD WIRES  
EXISTING DRAIN INLET  
EXISTING MANHOLE  
EXISTING FIRE HYDRANT  
EXISTING GAS VALVE  
EXISTING WATER VALVE  
EXISTING UTILITY POLE  
EXISTING LIGHT POLE  
EXISTING SIGN  
BORING LOCATION AND DESIGNATION  
PROPOSED LIMIT OF DISTURBANCE  
NOT IN CONTRACT AREA

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED "TOPOGRAPHIC AND UTILITY SURVEY," PREPARED BY JMC PLLC, DATED 01/28/2021, LAST REVISED 06/04/2021.
  - SUBSURFACE UTILITIES SHOWN ARE COMPILATION OF PHYSICAL EVIDENCE, RECORD PLANS AND PARTIAL UTILITY MARK OUTS PERFORMED BY ACS UNDERGROUND SOLUTIONS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED - VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.
  - TREE SYMBOLS ARE SHOWN TO REPRESENT THE RELATIVE SIZE OF TREE STEMS AND ARE NOT INTENDED TO REPRESENT THE ACTUAL SIZE OF THE TREE CANOPY.
  - EXISTING WETLAND INFORMATION DEPICTED IN THIS PLAN HAVE BEEN TAKEN FROM A REPORT TITLED "WETLAND REPORT CONFIRMATION OF WETLAND AREA," DATED 01/21/2020 AND A REPORT TITLED "WETLAND DELINEATION REVIEW - REGENERON - MOUNT PLEASANT NORTH CAMPUS," DATED 05/28/2021, PREPARED BY EVANS ASSOCIATES ENVIRONMENTAL CONSULTING, INC.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS AND TABLES DEPICTED ON THIS PLAN WERE TAKEN FROM THE FOLLOWING INFORMATION PREPARED BY CARLIN-SIMPSON & ASSOCIATES:
    - (A) "MASTER BORING LOCATION PLAN - NORTH CAMPUS," DATED 07/29/2021.
    - (B) "REGENERON CAMPUS EXPANSION NORTH CAMPUS - NEW LOGISTICS BUILDING, STORMWATER & TEMPORARY CONSTRUCTION PARKING," DATED 06/11/2021.
    - (C) "PROPOSED REGENERON TT EXPANSION BUILDING I AND ATTACHED PARKING GARAGE," DATED 03/21/2021.
    - (D) "REGENERON CAMPUS EXPANSION SOUTH CAMPUS-DAYCARE CENTER STORMWATER UPDATES," DATED 04/08/2021.
    - (E) "REPORT ON PRELIMINARY SUBSURFACE SOIL INVESTIGATION," DATED 06/15/2016.
    - (F) "REPORT ON SUBSURFACE SOIL AND FOUNDATION INVESTIGATION," DATED 07/14/2021, REVISED 04/20/2022.

**REGENERON**

**REAL ESTATE & FACILITIES MANAGEMENT**

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**JMC** Site Development Consultants  
120 Bedford Road  
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914-273-5225  
www.jmcpllc.com

Attorney:

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Geotechnical Engineer:

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No.	Date	Description
0	05/20/2022	ISSUED FOR PERMIT
1	08/20/2022	100% CONSTRUCTION DOCUMENTS
2	07/01/2022	100% CONSTRUCTION DOCUMENTS - 1

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Vendor Name: JMC, PLLC  
Vendor Project No.: 20090-3  
Discipline: Civil  
Drawing Title:  
**EXISTING CONDITIONS MAP**  
Scale: 1" = 30'

C-010








899 OLD SAW MILL RIVER ROAD  
MOUNT PLEASANT, NY 10591



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120 Bedford Road  
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Scale: N.T.S.

TOWN OF MOUNT PLEASANT, NY/PART II, GENERAL  
LEGISLATION  
CHAPTER 201 – TREES

TREE:  
ANY WOODY PLANT HAVING AT LEAST ONE  
WELL-DEFINED TRUNK AT LEAST FOUR INCHES IN  
DIAMETER MEASURED AT A HEIGHT OF FOUR FEET  
ABOVE THE NATURAL GRADE AND HAVING A  
CLEARLY DEFINED CROWN.

SPECIMEN TREE:

1. ANY TREE IN FAIR OR BETTER CONDITION WHICH EQUALS OR EXCEEDS THE FOLLOWING DIAMETER SIZES:
  - 1.1. LARGE HARDWOODS, E.G., OAKS, HICKORIES, SWEETGUMS, ETC.: 30 INCHES DBH.
  - 1.2. ALGE SOFTWOODS, E.G., PINES, ETC.: 36 INCHES DBH
  - 1.3. SMALL TREES, E.G., DOGWOODS, REDBUDS, SOURWOODS, ETC.: 12 INCHES DBH.
2. A TREE IN FAIR OR BETTER CONDITION MUST MEET THE FOLLOWING MINIMUM STANDARDS:
  - 2.1. A LIFE EXPECTANCY OF GREATER THAN 15 YEARS.
  - 2.2. A RELATIVELY SOUND AND SOLID TRUNK WITH NO EXTENSIVE DECAY OR HOLLOW AND LESS THAN 20% RADIAL TRUNK DIEBACK.
  - 2.3. NO MORE THAN ONE MAJOR AND SEVERAL MINOR DEAD LIMBS (HARDWOODS ONLY).
  - 2.4. NO MAJOR INSECT OR PATHOLOGICAL PROBLEM.
3. A LESSER-SIZE TREE CAN BE CONSIDERED A SPECIMEN IF IT IS A RARE OR UNUSUAL SPECIES, OF EXCEPTIONAL QUALITY OR OF HISTORICAL SIGNIFICANCE.
4. A LESSER-SIZE TREE CAN BE CONSIDERED A SPECIMEN IF IT IS SPECIFICALLY USED BY A BUILDER, DEVELOPER OR DESIGN PROFESSIONAL AS A FOCAL POINT IN A PROJECT OR LANDSCAPE.

SPECIMEN TREES 

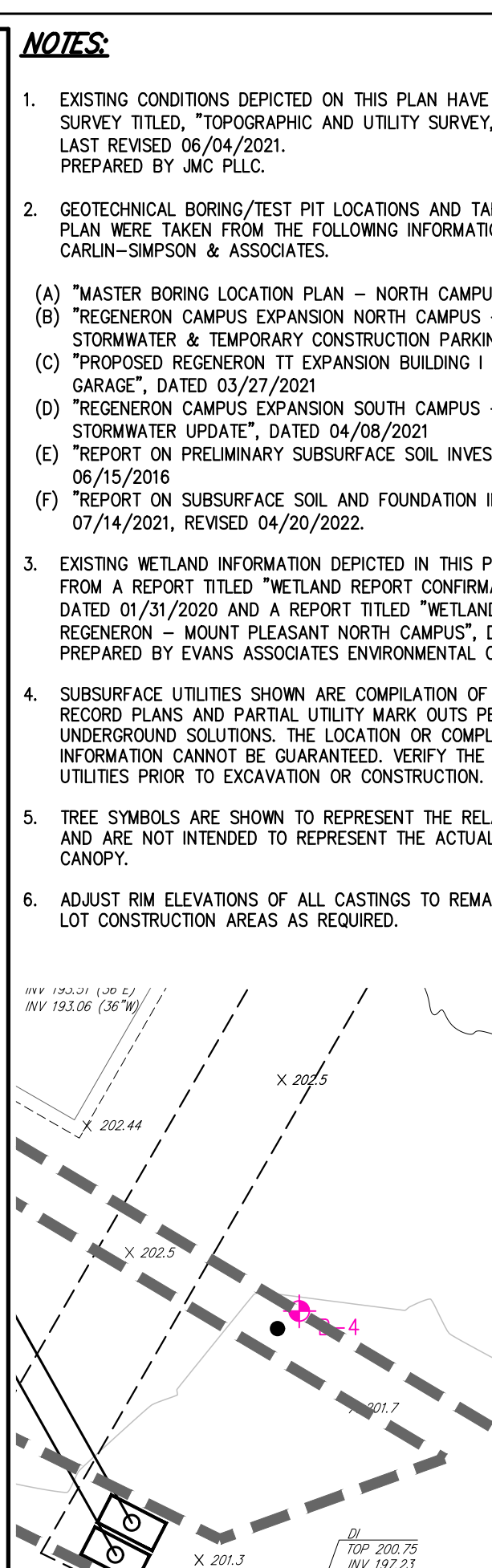
26 SPECIMEN TREES WERE IDENTIFIED. OUT OF THOSE, 10 ARE PROPOSED TO BE REMOVED.

TREE CHART			
ID	NAME	SIZE (INCHES)	STATUS
226	MAPLE	32	REMAIN
227	ELM	10	REMAIN
228	MAPLE	12	REMOVE
229	MAPLE	32	REMAIN
230	MAPLE	24	REMAIN
231	MAPLE	34	REMOVE
232	MAPLE	26	REMOVE
233	APPLE	12	REMOVE
234	APPLE	8	REMOVE
235	MAPLE	40	REMAIN
236	MAPLE	14	REMAIN
237	MAPLE	8	REMAIN
238	MAPLE	30	REMOVE
239	MAPLE	16, 14 & 14	REMOVE
240	MAPLE	30	REMOVE
241	MAPLE	8	REMOVE
242	MAPLE	40 & 10	REMOVE
243	COTTONWOOD	22	REMOVE
244	COTTONWOOD	16	REMOVE
245	COTTONWOOD	18	REMOVE
246	COTTONWOOD	24	REMOVE
247	COTTONWOOD	28	REMOVE
248	COTTONWOOD	18	REMOVE
249	COTTONWOOD	26	REMAIN
250	MAPLE	8	REMAIN
251	MAPLE	18	REMAIN
252	MAPLE	18 & 14	REMAIN
253	MAPLE	14	REMAIN
254	MAPLE	10	REMAIN
255	MAPLE	24	REMAIN
256	MAPLE	22 & 16	REMAIN
257	MAPLE	16	REMAIN
258	MAPLE	32	REMAIN
259	MAPLE	12	REMAIN
260	MAPLE	14	REMAIN
261	MAPLE	12 & 6	REMAIN
262	TREE OF HEAVEN	38	REMAIN
263	MAPLE	18	REMOVE
264	MAPLE	22	REMOVE
265	SYCAMORE	10	REMOVE
266	SYCAMORE	26	REMOVE
267	MAPLE	16	REMOVE
268	MAPLE	18	REMOVE
269	MAPLE	12	REMOVE
270	PINE	24	REMOVE
271	MAPLE	12	REMOVE
272	ELM	8	REMOVE
273	BOX ELDER	14	REMOVE
274	PINE	30	REMOVE
275	MAPLE	16	REMOVE
276	PINE	16	REMOVE
277	MAPLE	14, 12 & 10	REMOVE
278	SYCAMORE	16	REMOVE
279	CHERRY	20	REMOVE
280	PINE	30	REMOVE
281	MAPLE	12 & 10	REMOVE
282	PINE	24	REMOVE
283	MAPLE	18	REMOVE
284	PINE	20	REMOVE
285	PINE	24	REMOVE
286	PINE	22	REMOVE
287	PINE	26	REMOVE
288	APPLE	8 & 8	REMOVE
289	MAPLE	16	REMOVE
290	PINE	12	REMAIN
291	PINE	22	REMAIN
292	PINE	16	REMAIN
293	PINE	18	REMAIN
294	PINE	20	REMAIN
295	PINE	20	REMOVE
296	PINE	26	REMOVE
297	CHERRY	12	REMOVE
298	CHERRY	14	REMOVE
299	APPLE	10	REMOVE
300	PINE	26	REMAIN
301	PINE	27	REMAIN
TREES TO BE REMOVED			191









CARLIN SIMPSON & ASSOCIATES JOB NO. 19-245, DATED 03-27-2020					
REGENERON TT CAMPUS EXPANSION BUILDING I AND ATTACHED PARKING GARAGE					
BORINGS	EXISTING GRADE	ROCK ELEVATION	GROUNDWATER ELEVATION	BOTTOM OF EXISTING FILL	PERMEABILITY RATE
B-1	±224.00	AR @ ±195.50	10'0" (±214.00)	NONE ENCOUNTERED	-
B-2	±210.00	AR @ ±183.75	6'6" (±203.50)	NONE ENCOUNTERED	-
B-3	±222.00	AR @ ±200.50 CWR ±201.50	10'0" (±212.00)	NONE ENCOUNTERED	-
B-4	±230.00	AR @ ±214.50	13'0" (±217.00)	NONE ENCOUNTERED	-
B-5	±221.00	C @ ±208.00	NWR	NONE ENCOUNTERED	-
B-6	±207.00	AR @ ±186.00	8'0" (±199.00)	2'6" (±204.50)	-
B-7	±202.00	CWR @ ±177.00	8'6" (±193.50)	2'0" (±200.00)	-
B-8	±201.50	CWR @ ±176.00	7'6" (±194.00)	1'6" (±200.00)	-
B-9	±203.50	AR @ ±172.75	8'6" (±195.00)	NONE ENCOUNTERED	-
B-10	±201.50	AR @ ±179.50	5'0" (±196.50)	NONE ENCOUNTERED	-
B-11	±204.50	NE TO 2'7"0"	6'0" (±198.50)	NONE ENCOUNTERED	-
B-12	±207.00	AR @ ±180.75	5'6" (±201.50)	2'6" (±204.50)	-
B-13	±207.00	NE TO 2'2"0"	9'0" (±198.00)	3'0" (±204.00)	-
B-14	±212.00	CWR @ ±205.00 C @ ±204.00	6'0" (±210.00)	2'0" (±210.00)	-

The figure displays seven vertical soil profile logs labeled B-5D, B-6D, B-7D, B-8D, B-9D, B-9D-A, and B-10D. Each log shows depth in feet on the left axis (ranging from 0 to 10 or more) and soil type descriptions on the right. Soil types include silty sand, clayey sand, fine sand, medium sand, coarse sand, gravelly sand, and gravel. Some logs also indicate groundwater level (GW) and permeability rate (PERM). A scale bar at the top indicates distances of 0' to 20'.

BORINGS	EXISTING GRADE	ROCK ELEVATION	GROUNDWATER ELEVATION	BOTTOM OF EXISTING FILL	PERMEABILITY RATE
B-5D	±224.00	±199.00	±219.00	NONE ENCOUNTERED	-
B-6D	±219.50	±203.50	±213.00	±210.00	-
B-7D	±214.00	±204.00	NE TO 10'0"	±209.00	-
B-8D	±217.00	CWR @ ±204.50 AR @ ±201.00	±213.00	NONE ENCOUNTERED	-
B-9D	±229.80	±213.30	±220.80	NONE ENCOUNTERED	-
B-9D-A	±226.00	NE TO 9'0"	±218.50	NONE ENCOUNTERED	-
B-10D	±230.00	CWR @ ±214.00 AR @ ±212.00	±227.50	NONE ENCOUNTERED	-
B-13D	±214.00	NE TO 10'0"	±211.50	±211.50	-

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<b>Professional Seal and Signature</b>	
<div style="border: 1px solid black; padding: 10px; min-height: 150px;"><p>ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.</p></div>	<div style="border: 1px solid black; min-height: 150px;"></div>
<b>Vendor Name:</b> JMC, PLLC	
<b>Vendor Project No.:</b> 20090-3	
<b>Discipline:</b> Civil	<b>Drawn By:</b> TC
<b>Drawing Title:</b>	
<h1 style="margin: 0;">GRADING PLAN</h1>	
<b>Scale:</b> 1" = 30'	
<h1 style="margin: 0;">C-200</h1>	

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## GRADING PLAN

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Scale: 1" = 30'

C-200







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Phone: (732) 432-5757

Architect:

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No. Date Description

No.	Date	Description
0	05/20/2022	ISSUED FOR PERMIT
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2	07/01/2022	100% CONSTRUCTION DOCUMENTS - 1

No.	Date	Description
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1	06/20/2022	100% CONSTRUCTION DOCUMENTS
2	07/01/2022	100% CONSTRUCTION DOCUMENTS - 1

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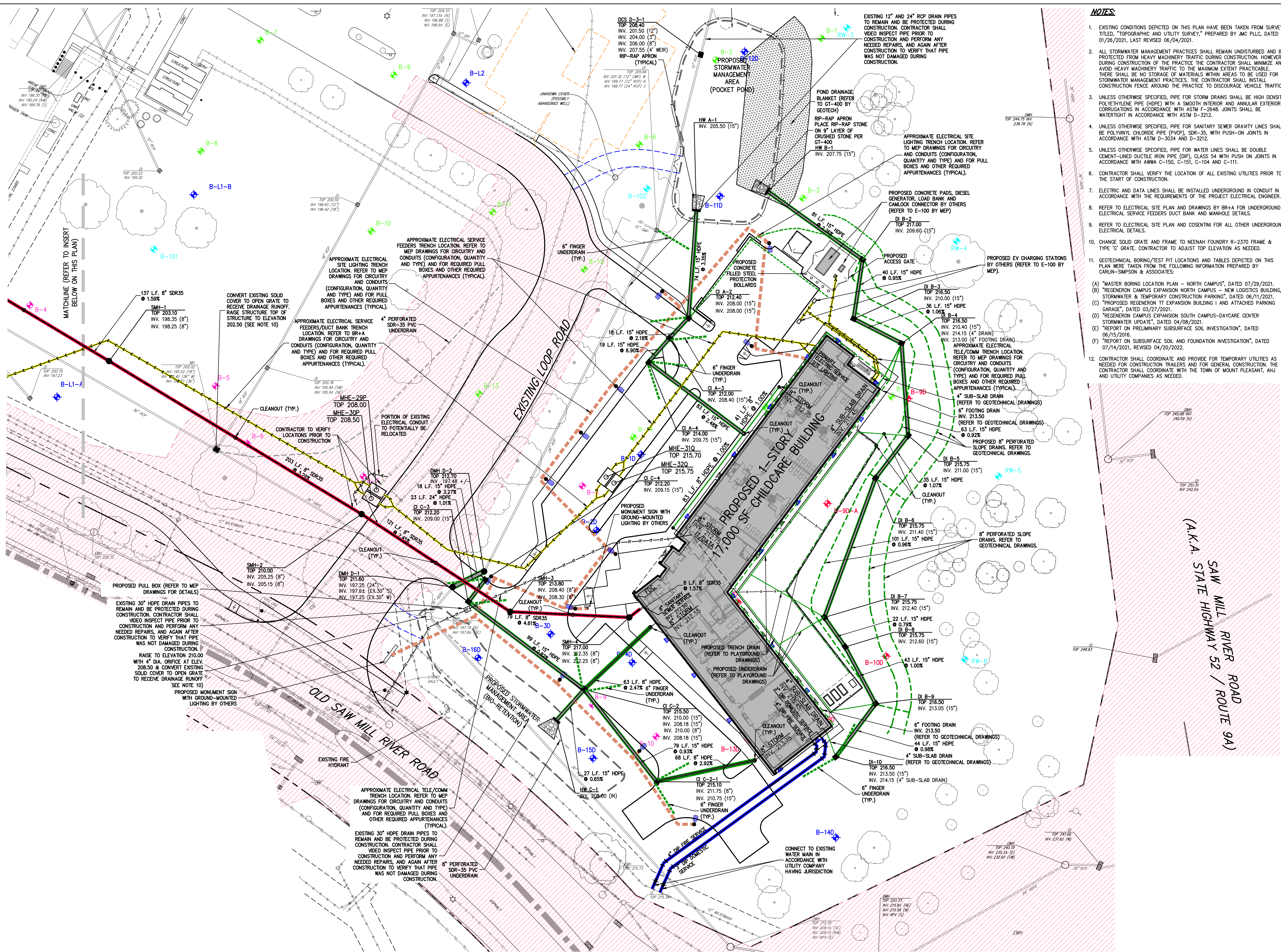
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Vendor Name: JMC, PLLC  
Vendor Project No.: 20090-3  
Discipline: Civil  
Drawing Title:  
Drawn By: TC

UTILITIES PLAN

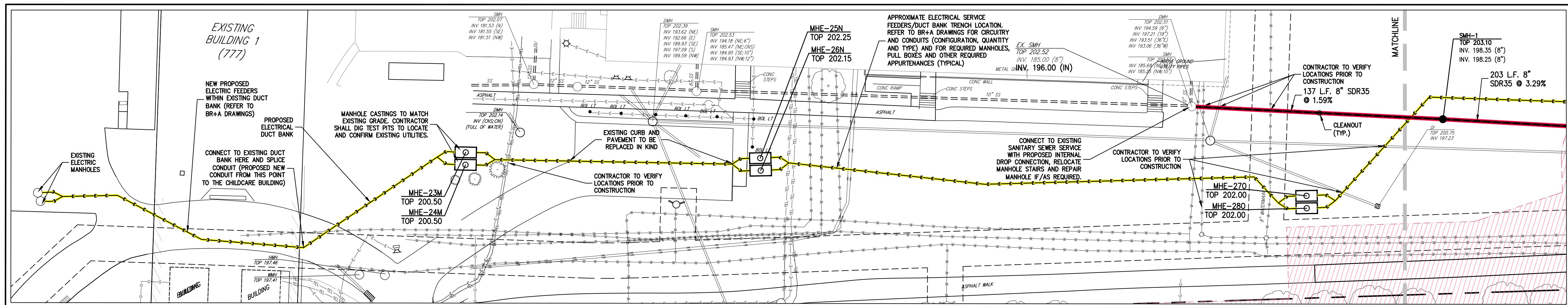
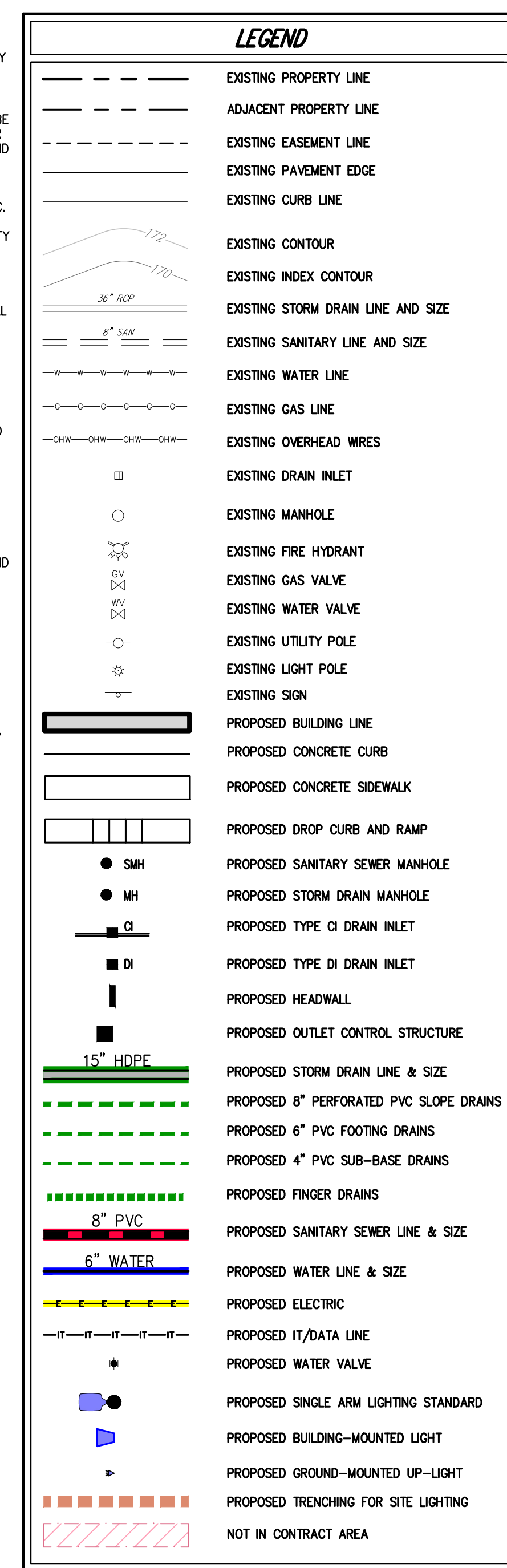
Scale: 1" = 30'

C-300



#### NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC AND UTILITY SURVEY," PREPARED BY JMC PLLC, DATED 01/26/2021, LAST REVISED 06/04/2021.
- ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 54 WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ELECTRIC AND DATA LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT ELECTRICAL ENGINEER.
- REFER TO ELECTRICAL SITE PLAN AND DRAWINGS BY BR-A FOR UNDERGROUND ELECTRICAL SERVICE FEEDERS DUCT BANK AND MANHOLE DETAILS.
- REFER TO ELECTRICAL SITE PLAN AND COSENTINI FOR ALL OTHER UNDERGROUND ELECTRICAL DETAILS.
- CHANGE SOLID GRATE AND FRAME TO NENAH FOUNDRY R-2370 FRAME & TYPE "G" GRATE. CONTRACTOR TO ADJUST TOP ELEVATION AS NEEDED.
- GEOTECHNICAL BORING/TEST PIT LOCATIONS AND TABLES DEPICTED ON THIS PLAN WERE TAKEN FROM THE FOLLOWING INFORMATION PREPARED BY CARLIN-SIMPSON & ASSOCIATES:
  - (A) "MASTER BORING LOCATION PLAN - NORTH CAMPUS", DATED 07/29/2021.
  - (B) "REGENERON CAMPUS EXPANSION NORTH CAMPUS - NEW LOGISTICS BUILDING, STORMWATER & TEMPORARY CONSTRUCTION PARKING", DATED 06/11/2021.
  - (C) "PROPOSED REGENERON IT EXPANSION BUILDING 1 AND ATTACHED PARKING GARAGE", DATED 03/27/2021.
  - (D) "REGENERON CAMPUS EXPANSION SOUTH CAMPUS-DAYCARE CENTER STORMWATER UPDATE", DATED 04/08/2021.
  - (E) "REPORT ON PRELIMINARY SUBSURFACE SOIL INVESTIGATION", DATED 06/15/2016.
  - (F) "REPORT ON SUBSURFACE SOIL AND FOUNDATION INVESTIGATION", DATED 07/14/2021, REVISED 04/20/2022.
- CONTRACTOR SHALL COORDINATE AND PROVIDE FOR TEMPORARY UTILITIES AS NEEDED FOR CONSTRUCTION TRAILERS AND FOR GENERAL CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE TOWN OF MOUNT PLEASANT, AND UTILITY COMPANIES AS NEEDED.



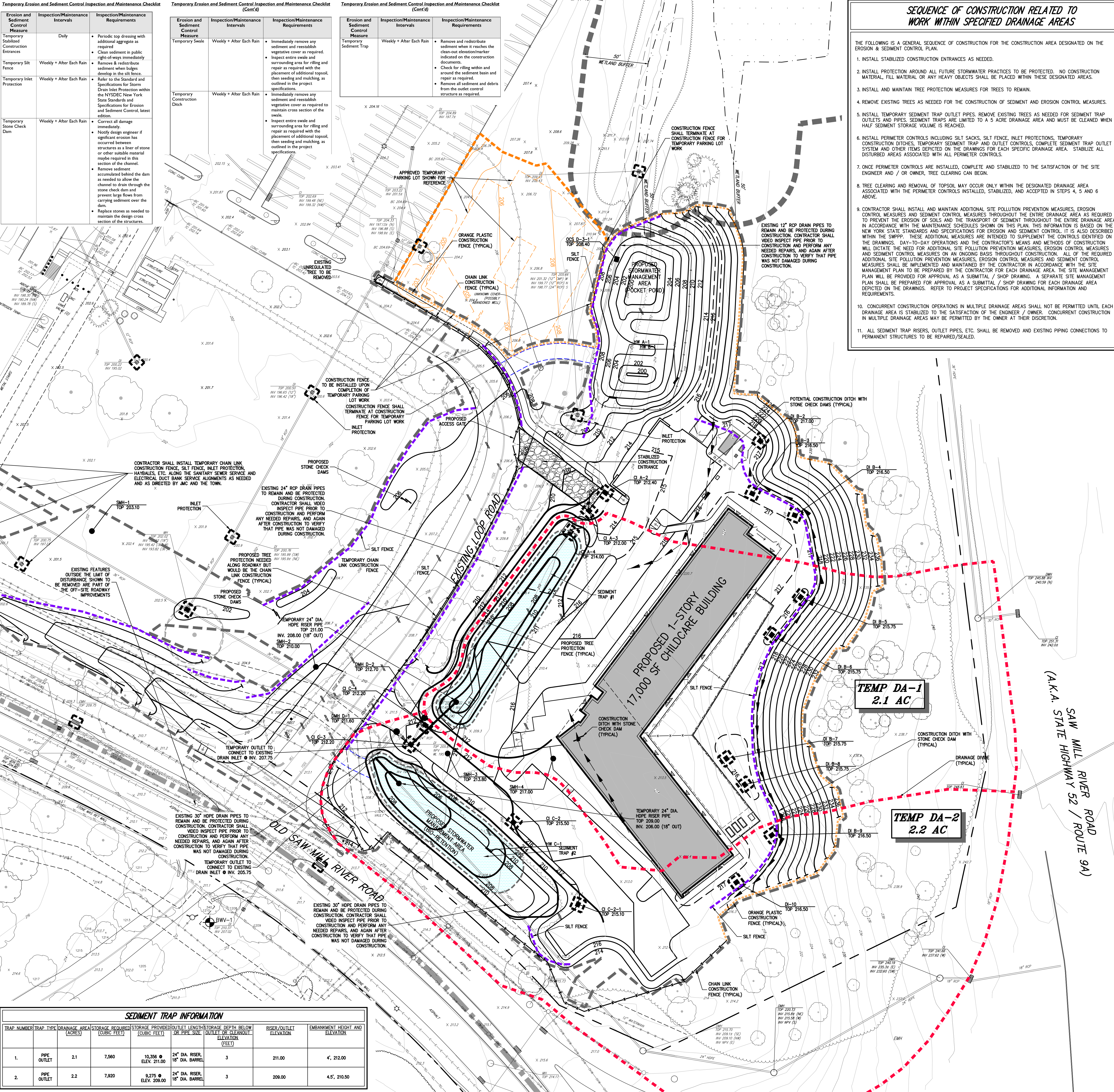
INSERT/CONTINUATION OF UTILITY CONNECTIONS



Temporary Erosion and Sediment Control Inspection and Maintenance Checklist		
Erosion and Sediment Control Measure	Inspection/Maintenance Intervals	Inspection/Maintenance Requirements
Temporary Stabilized Construction Entrances	Daily	• Periodic top dressing with additional aggregate as required • Clean sediment in public right-of-ways immediately
Temporary Silt Fence	Weekly + After Each Rain	• Remove & redistribute sediment when bulges develop in the silt fence. • Refer to the Standard and Specifications for Storm Drain Inlet Protection within the NYSDEC New York State Standards and Specifications for Erosion and Sediment Control, latest edition.
Temporary Inlet Protection	Weekly + After Each Rain	• Inspect entire swale and surrounding area for rilling and repair as required with the placement of additional topsoil, then seeding and mulching, as outlined in the project specifications.
Temporary Stone Check Dam	Weekly + After Each Rain	• Correct all damage immediately. • Notify design engineer if significant erosion has occurred between structures as a line of stone or other suitable material may be required in this section of the channel. • Remove sediment accumulated behind the dam as needed to allow the channel to drain through the stone check dam and prevent large flows from carrying sediment over the dam. • Replace stones as needed to maintain the design cross-section of the structures.

Temporary Erosion and Sediment Control Inspection and Maintenance Checklist (Cont'd)		
Erosion and Sediment Control Measure	Inspection/Maintenance Intervals	Inspection/Maintenance Requirements
Temporary Seale	Weekly + After Each Rain	• Immediately remove any sediment and reestablish vegetative cover as required. • Inspect entire swale and surrounding area for rilling and repair as required with the placement of additional topsoil, then seeding and mulching, as outlined in the project specifications.
Temporary Construction Ditch	Weekly + After Each Rain	• Immediately remove any sediment and reestablish vegetative cover as required to maintain cross-section of the swale. • Inspect entire swale and surrounding area for rilling and repair as required with the placement of additional topsoil, then seeding and mulching, as outlined in the project specifications.

Temporary Erosion and Sediment Control Inspection and Maintenance Checklist (Cont'd)		
Erosion and Sediment Control Measure	Inspection/Maintenance Intervals	Inspection/Maintenance Requirements
Temporary Sediment Trap	Weekly + After Each Rain	• Remove and redistribute sediment when it reaches the designated elevation/structure indicated on the construction documents. • Check for rilling within and around the sediment basin and repair as required. • Remove all sediment and debris from the outlet control structure as required.



- ### SEQUENCE OF CONSTRUCTION RELATED TO WORK WITHIN SPECIFIED DRAINAGE AREAS
- THE FOLLOWING IS A GENERAL SEQUENCE OF CONSTRUCTION FOR THE CONSTRUCTION AREA DESIGNATED ON THE EROSION & SEDIMENT CONTROL PLAN.
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES AS NEEDED.
  2. INSTALL PROTECTION AROUND ALL FUTURE STORMWATER PRACTICES TO BE PROTECTED. NO CONSTRUCTION MATERIAL, FILL MATERIAL, OR ANY HEAVY OBJECTS SHALL BE PLACED WITHIN THESE DESIGNATED AREAS.
  3. INSTALL AND MAINTAIN TREE PROTECTION MEASURES FOR TREES TO REMAIN.
  4. REMOVE EXISTING TREES AS NEEDED FOR THE CONSTRUCTION OF SEDIMENT AND EROSION CONTROL MEASURES.
  5. INSTALL TEMPORARY SEDIMENT TRAP OUTLET PIPES. REMOVE EXISTING TREES AS NEEDED FOR SEDIMENT TRAP OUTLETS AND PIPES. SEDIMENT TRAPS ARE LIMITED TO A 5 ACRE DRAINAGE AREA AND MUST BE CLEANED WHEN HALF SEDIMENT STORAGE VOLUME IS REACHED.
  6. INSTALL PERIMETER CONTROLS INCLUDING SILT SACKS, SILT FENCE, INLET PROTECTIONS, TEMPORARY CONSTRUCTION DITCHES, TEMPORARY SEDIMENT TRAP AND OUTLET CONTROLS, COMPLETE SEDIMENT TRAP OUTLET SYSTEM AND OTHER ITEMS DEPICTED ON THE DRAWINGS FOR EACH SPECIFIC DRAINAGE AREA. STABILIZE ALL DISTURBED AREAS ASSOCIATED WITH ALL PERIMETER CONTROLS.
  7. ONCE PERIMETER CONTROLS ARE INSTALLED, COMPLETE AND STABILIZED TO THE SATISFACTION OF THE SITE ENGINEER AND / OR OWNER, TREE CLEARING CAN BEGIN.
  8. TREE CLEARING AND REMOVAL OF TOPSOIL MAY OCCUR ONLY WITHIN THE DESIGNATED DRAINAGE AREA ASSOCIATED WITH THE PERIMETER CONTROLS INSTALLED, STABILIZED, AND ACCEPTED IN STEPS 4, 5 AND 6 ABOVE.
  9. CONTRACTOR SHALL INSTALL AND MAINTAIN ADDITIONAL SITE POLLUTION PREVENTION MEASURES, EROSION CONTROL MEASURES AND SEDIMENT CONTROL MEASURES THROUGHOUT THE ENTIRE DRAINAGE AREA AS REQUIRED TO PREVENT THE EROSION OF SOILS AND THE TRANSPORT OF SEDIMENT THROUGHOUT THE ENTIRE DRAINAGE AREA IN ACCORDANCE WITH THE MAINTENANCE SCHEDULES SHOWN ON THIS PLAN. THIS INFORMATION IS BASED ON THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. IT IS ALSO DESCRIBED WITHIN THE SWPPP. THESE ADDITIONAL MEASURES ARE INTENDED TO SUPPLEMENT THE CONTROLS IDENTIFIED ON THE DRAWINGS. DAY-TO-DAY OPERATIONS AND THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION WILL DICTATE THE NEED FOR ADDITIONAL SITE POLLUTION PREVENTION MEASURES, EROSION CONTROL MEASURES AND SEDIMENT CONTROL MEASURES ON AN ONGOING BASIS THROUGHOUT CONSTRUCTION. ALL OF THE REQUIRED ADDITIONAL SITE POLLUTION PREVENTION MEASURES, EROSION CONTROL MEASURES AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE SITE MANAGEMENT PLAN. TO BE PREPARED BY THE CONTRACTOR FOR EACH DRAINAGE AREA, THE SITE MANAGEMENT PLAN WILL BE PROVIDED FOR APPROVAL AS A SUBMITTAL / SHOP DRAWING. A SEPARATE SITE MANAGEMENT PLAN SHALL BE PREPARED FOR APPROVAL AS A SUBMITTAL / SHOP DRAWING FOR EACH DRAINAGE AREA DEPICTED ON THE DRAWINGS. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
  10. CONCURRENT CONSTRUCTION OPERATIONS IN MULTIPLE DRAINAGE AREAS SHALL NOT BE PERMITTED UNTIL EACH DRAINAGE AREA IS STABILIZED TO THE SATISFACTION OF THE ENGINEER / OWNER. CONCURRENT CONSTRUCTION IN MULTIPLE DRAINAGE AREAS MAY BE PERMITTED BY THE OWNER AT THEIR DISCRETION.
  11. ALL SEDIMENT TRAP RISERS, OUTLET PIPES, ETC. SHALL BE REMOVED AND EXISTING PIPING CONNECTIONS TO MATERIAL STRUCTURES TO BE REPAIRED/SEALED.

### LEGEND

- PROPOSED INLET PROTECTION
- PROPOSED PLASTIC CONSTRUCTION FENCE
- PROPOSED CHAIN LINK CONSTRUCTION FENCE
- PROPOSED TREE PROTECTION FENCE
- PROPOSED STONE CHECK DAM
- DRAINAGE DIVIDE
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED SEDIMENT TRAP
- PROPOSED SEDIMENT TRAP RISER & OUTLET PIPE
- PROPOSED CONSTRUCTION DITCH

- ### NOTES:
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC AND UTILITY SURVEY," PREPARED BY JMC PLLC, DATED 01/26/2021, LAST REVISED 06/04/2021.
  2. THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY. THE CONTRACTOR SHALL INSTALL TEMPORARY CHAIN LINK CONSTRUCTION FENCE, SILT FENCE, INLET PROTECTION, HAYBALES, ETC. ALONG THE SANITARY SEWER SERVICE AND ELECTRICAL DUCT BANK SERVICE ALIGNMENTS AS NEEDED AND AS DIRECTED BY JMC AND THE TOWN.
  3. PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
  4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE REPRODUCED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE. THE CONTRACTOR WILL BE REQUIRED TO KEEP THE SITE ORDERLY AND MAINTAIN THE SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPDES GENERAL PERMIT, AND THE PROJECT'S EROSION & SEDIMENT CONTROL PLANS. SILT FENCING MUST BE INSPECTED AFTER EVERY RAINFALL AND ON A CONTINUOUS BASIS, PROMPTLY REPAIRED AND KEPT FREE OF ACCUMULATED SEDIMENT.
  5. THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS, BEFORE AND AFTER EACH RAINFALL, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS. THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
  6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/MANDATED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER. THIS PLAN DOES NOT DISPLACE ANY OF THE EROSION AND SEDIMENT CONTROL MEASURES THAT MAY BE NEEDED SINCE THEY CAN VARY THROUGHOUT THE PROJECT.
  7. STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNER'S REPRESENTATIVE. STOCKPILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPIDE ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
  8. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  9. ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE, THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
  10. ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO ONE OF THE 300+ SEWERS LISTED IN APPENDIX E OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEEDED WITHIN 14 HOURS OF DISTURBANCE. IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL GUIDELINES" AND THE ANSI A300 "BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:  
A.1. IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET OR USE 1 POUND/1000 SQUARE FEET).  
A.2. IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CERTIFIED "AROSTOOK" WINTER RYE (CERIAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).  
B. APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.  
C. MULCH ALL SEEDING AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
  11. ALL SEEDING AREAS SHALL BE FERTILIZED, RESEED, AND MULCHED AS NECESSARY TO MAINTAIN MOISTURE, DENSE VEGETATIVE COVER. SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET. REFER TO THE STORMWATER BASINS SEED MIXES (SEE TABLE FOR ADDITIONAL REQUIREMENTS WITHIN STORMWATER BASINS. ALL OTHER DISTURBED AREAS SHALL BE SEED FOR STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS.
  12. TEMPORARY SEED MIXTURES SHALL NOT BE PLACED ON AREAS WHERE FINAL GRADE HAS BEEN ESTABLISHED AND TOPSOIL HAS BEEN PLACED UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
  13. THE LIMITS OF THE WETLAND BUFFER SHALL BE STAKED AND DELINEATED PRIOR TO CONSTRUCTION TO ENSURE NO ENCROACHMENT INTO THE WETLAND BUFFER OTHER THAN THE MINOR AMOUNT SHOWN ON THESE PLANS.
  14. GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  15. CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
  16. ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
  17. AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
  18. THE CONTRACTOR SHALL COMPLY WITH ALL INDUSTRY STANDARDS AND REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. IF REQUIREMENTS SPECIFIED CONFLICT WITH THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION APPLIES.
  19. THE CONTRACTOR MUST ADHERE TO ALL REQUIREMENTS CONTAINED IN THE PROJECT'S EROSION & SEDIMENT CONTROL PLANS, SPECIFICATION, SCHEDULE, AND DETAILS.
  20. A. NYSDEC NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE 9000).  
B. NYSDEC STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (GP-C-20-001).

- ### GENERAL NOTES:
1. CONTRACTOR RESPONSIBLE FOR ALL REMOVAL OF ROCK TO ESTABLISH BUILDING AND UTILITY TRENCHING SUBGRADES WITHIN AND OUTSIDE THE BUILDING LIMITS. REGENERON HAS CONFIRMED THE USE OF CHEMICAL SPLITTING IS ALLOWED PER THE TOWN BUILDING DEPARTMENT.
  2. CONTRACTOR RESPONSIBLE FOR ALL INTERIM GRADING AND REQUIRED TEMPORARY EROSION AND DRAINAGE CONTROL MEASURES REQUIRED TO COMPLETE ALL PHASES OF WORK.
  3. CONTRACTOR RESPONSIBLE FOR GRADING TO SUBBASE ELEVATIONS WITHIN PAVED AREAS AND TOPSOIL AS SHOWN ON THE CONSTRUCTION DETAILS FOR SPECIFIC FEATURES.
  4. CONTRACTOR RESPONSIBLE FOR PERMANENT LANDSCAPING FOR AREAS REQUIRING PERMANENT HYDROSEEDING OR PLANTING ASSOCIATED WITH THIS WORK.
  5. CONTRACTOR RESPONSIBLE FOR ALL CLEANUP TO/FROM THE IMMEDIATE CONSTRUCTION AREA AND ON ANY SHARED OWNER ACCESS ROADWAYS.
  6. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER ALL ACTIVITIES OF THE SITE LOGISTICS, INCLUDING TRUCK TRAFFIC, DELIVERIES, CONTRACTOR PARKING, NOISE, DUST, VIBRATION, UTILITY SHUTDOWN, OR OTHERWISE DISTURBING TO EXISTING SITE OPERATIONS.
  7. CONTRACTOR TO PERFORM ALL WORK WITHIN THE MONITORED SOUND AND VIBRATION ALLOWANCES AND WILL BE DIRECTED TO STOP WORK WHEN NOTIFIED BY OWNER'S INDEPENDENT MONITORING AGENCY WHEN THRESHOLDS ARE EXCEEDED.

## REGENERON

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BUILDING #17  
CAMPUS EXPANSION CHILD DAY-CARE CENTER

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Cosentini Associates  
499 Seventh Avenue  
New York, New York 10018  
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Fax: (212) 615-3700

No.	Date	Description
0	09/20/2022	ISSUED FOR PERMIT
1	08/20/2022	100% CONSTRUCTION DOCUMENTS
2	07/01/2022	100% CONSTRUCTION DOCUMENTS - 1

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Professional Seal and Signature

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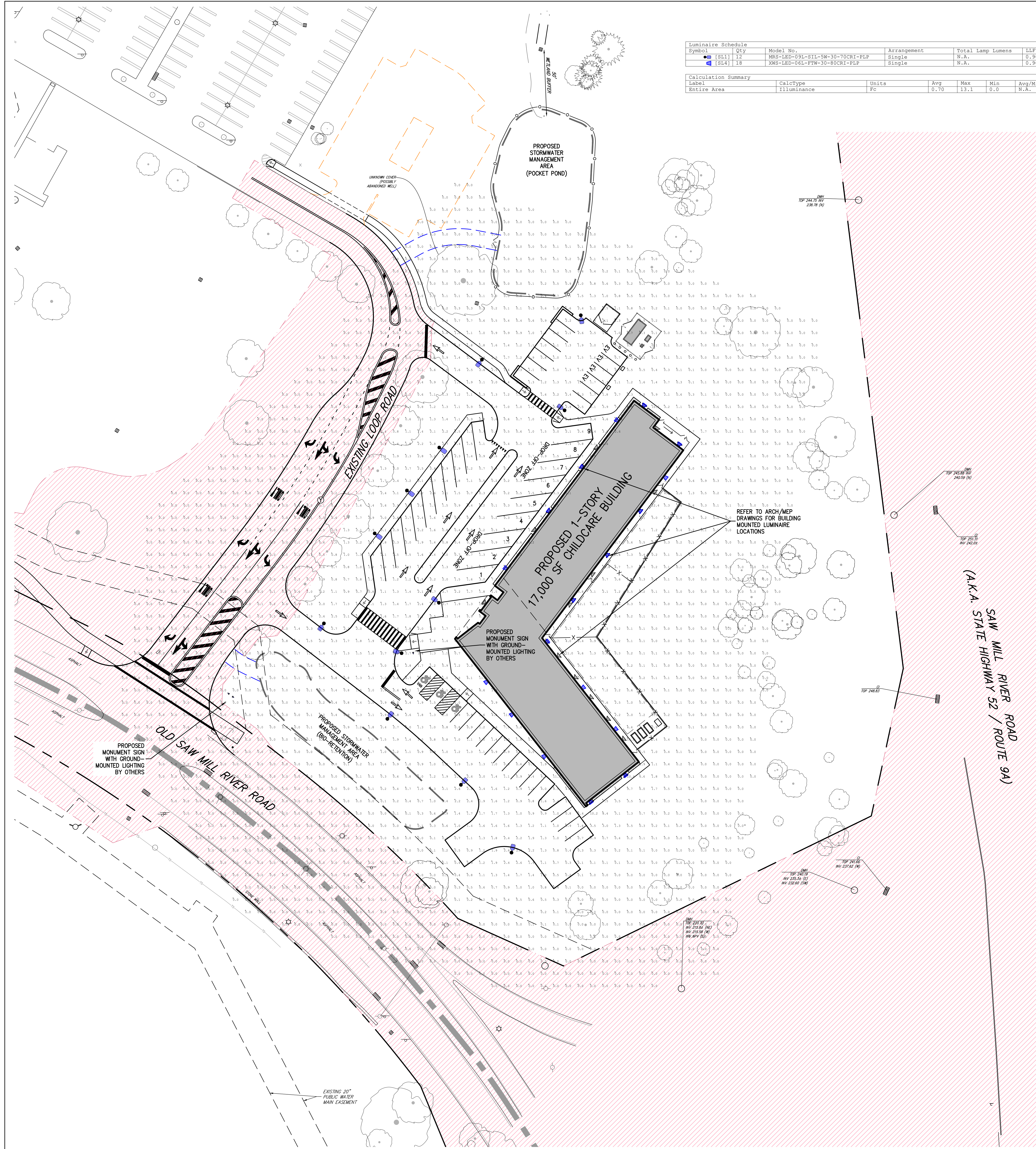
Vendor Name: JMC, PLLC  
Vendor Project No.: 20090-3  
Discipline: Civil  
Drawing Title: EROSION AND SEDIMENT CONTROL PLAN

Scale: 1" = 30'

# C-400

SEDIMENT TRAP INFORMATION							
TRAP NUMBER	TRAP TYPE	DRAINAGE AREA (ACRES)	STORAGE REQUIRED (CUBIC FEET)	STORAGE PROVIDED (CUBIC FEET)	OUTLET OR CLEANOUT ELEVATION (FEET)	RISER/OUTLET ELEVATION	EMBANKMENT HEIGHT AND ELEVATION
1.	PIPE OUTLET	2.1	7,560	10,356 @ ELEV. 211.00	24" DIA RISER, 18" DIA BARREL	3	211.00, 4', 212.00
2.	PIPE OUTLET	2.2	7,920	9,275 @ ELEV. 209.00	24" DIA RISER, 18" DIA BARREL	3	209.00, 4.5', 210.50



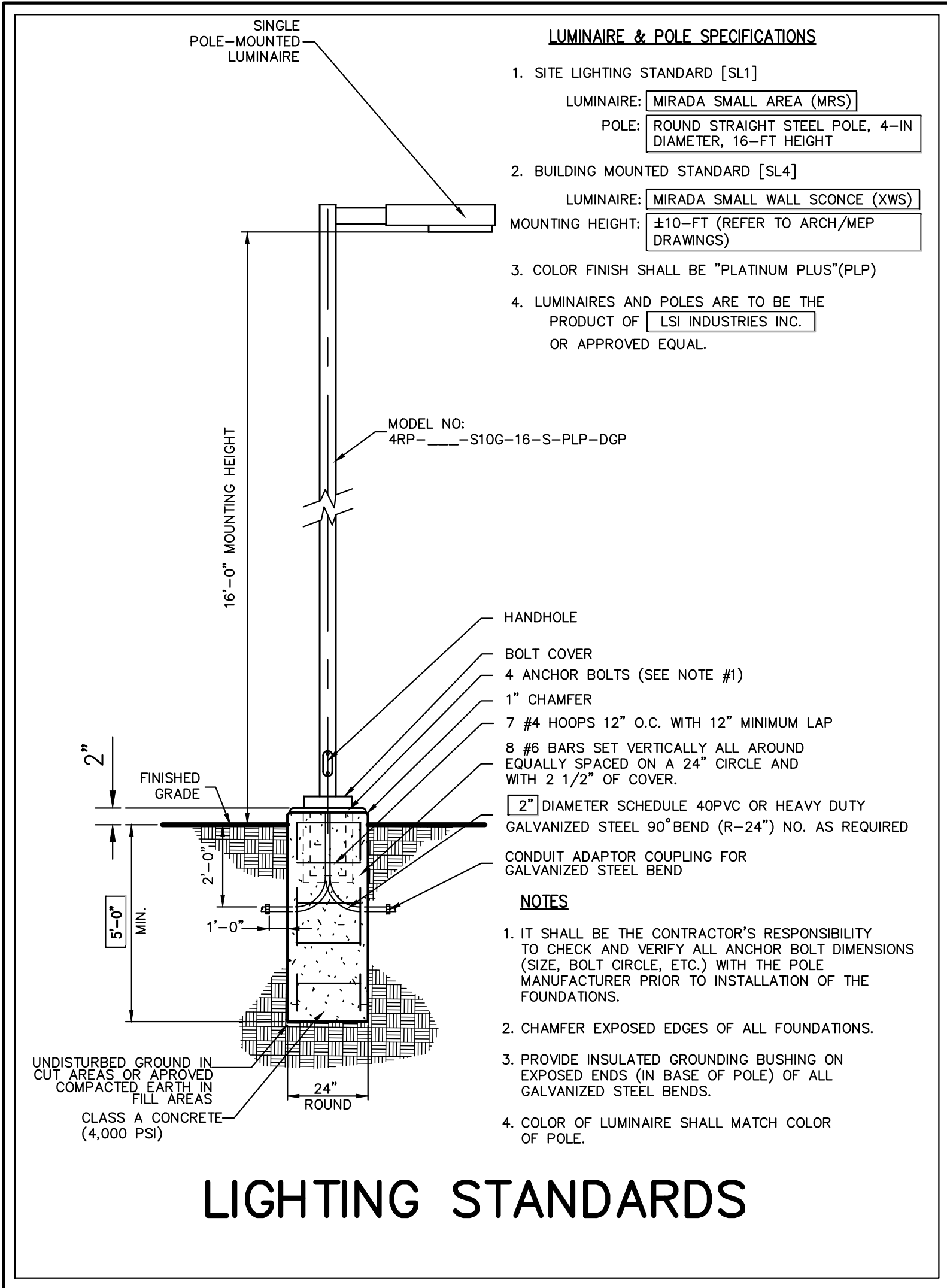


Luminaire Schedule						
Symbol	Qty	Model No.	Arrangement	Total Lamp Lumens	LLF	Description
● [SL1]	12	MRS-LED-09L-SIL-SW-30-70CRI-PLP	Single	N.A.	0.900	MRS-LED-09L-SIL-SW-30-70CRI-PLP
■ [SL4]	18	XWS-LED-06L-FW-30-80CRI-PLP	Single	N.A.	0.900	XWS-LED-06L-FW-30-80CRI-PLP

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Entire Area	Illuminance	Fc	0.70	13.1	0.0	N.A.

LEGEND	
○	EXISTING UTILITY POLE
⊗	EXISTING LIGHT POLE
●	SITE LIGHTING STANDARD
■	BUILDING MOUNTED LIGHTING STANDARD
0.1	PROPOSED ILLUMINANCE IN FOOT-CANDLES

- NOTES:**
- ALL CABLES AND WIRING NEEDED FOR LIGHTS SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT AND WIRING SHALL BE DESIGNED BY THE PROJECT ELECTRICAL ENGINEER.
  - REFER TO DRAWINGS PREPARED BY THE PROJECT ELECTRICAL ENGINEER FOR CONDUIT AND CIRCUITRY INFORMATION.
  - AREA OF ANALYSIS SHOWN ON THIS PLAN IS LIMITED TO THE PROPOSED AREAS OF IMPROVEMENTS. ILLUMINANCE LEVELS SHOWN ARE MEASURED ON THE GROUND.



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DAY-CARE CENTER

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MOUNT PLEASANT, NY 10591

Civil Engineer:

Site Development Consultants  
JMC  
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Armonk, NY 10504  
914-273-5225  
www.jmcpllc.com

Attorney:

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White Plains, New York 10601  
Phone: (914) 681-0200

Geotechnical Engineer:

Carlin-Simpson & Associates  
61 Main Street  
Sayreville, NJ 08872  
Phone: (732) 432-5757

Architect:

Gensler  
1700 Broadway, Suite 400  
New York, New York 10019  
Phone: (212) 492-1400  
Fax: (212) 492-1472

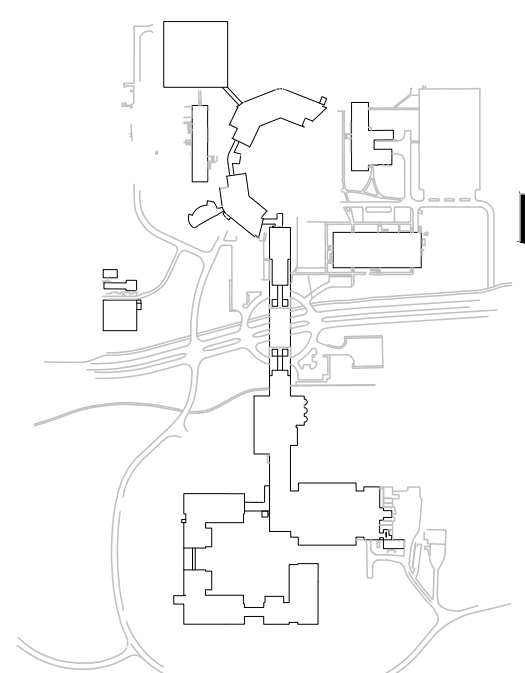
Landscape Architect (Playground):

Langan  
21 Penn Plaza, 360 West 31st Street, 8th Floor  
New York, New York 10001  
Phone: (212) 479-5400  
Fax: (212) 479-5444

MEP/IT/Security Engineer:

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No. Date Description

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Vendor Project No.: 20090-3  
Discipline: Civil  
Drawing Title: Drawn By: TC

LIGHTING PLAN

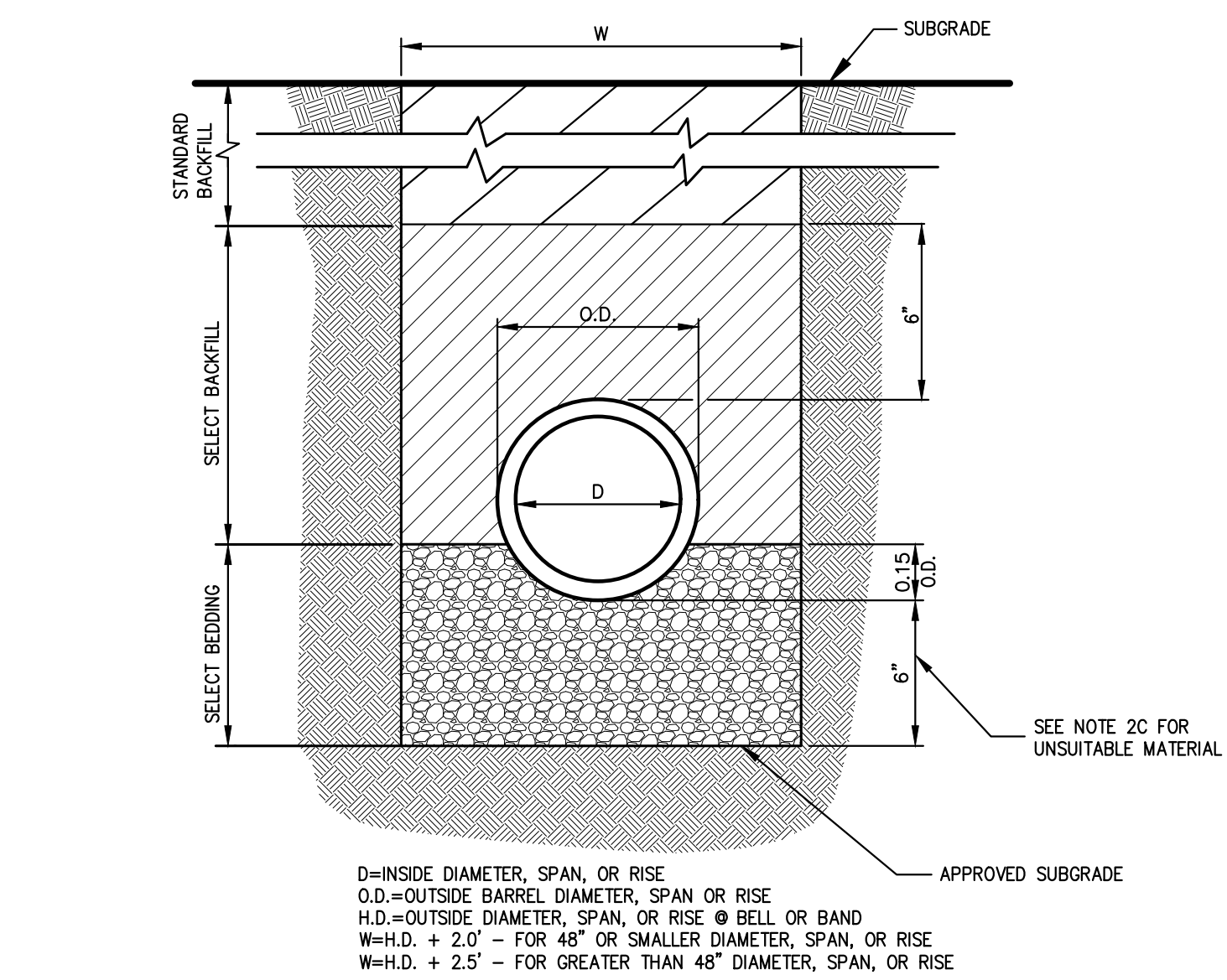
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C-600



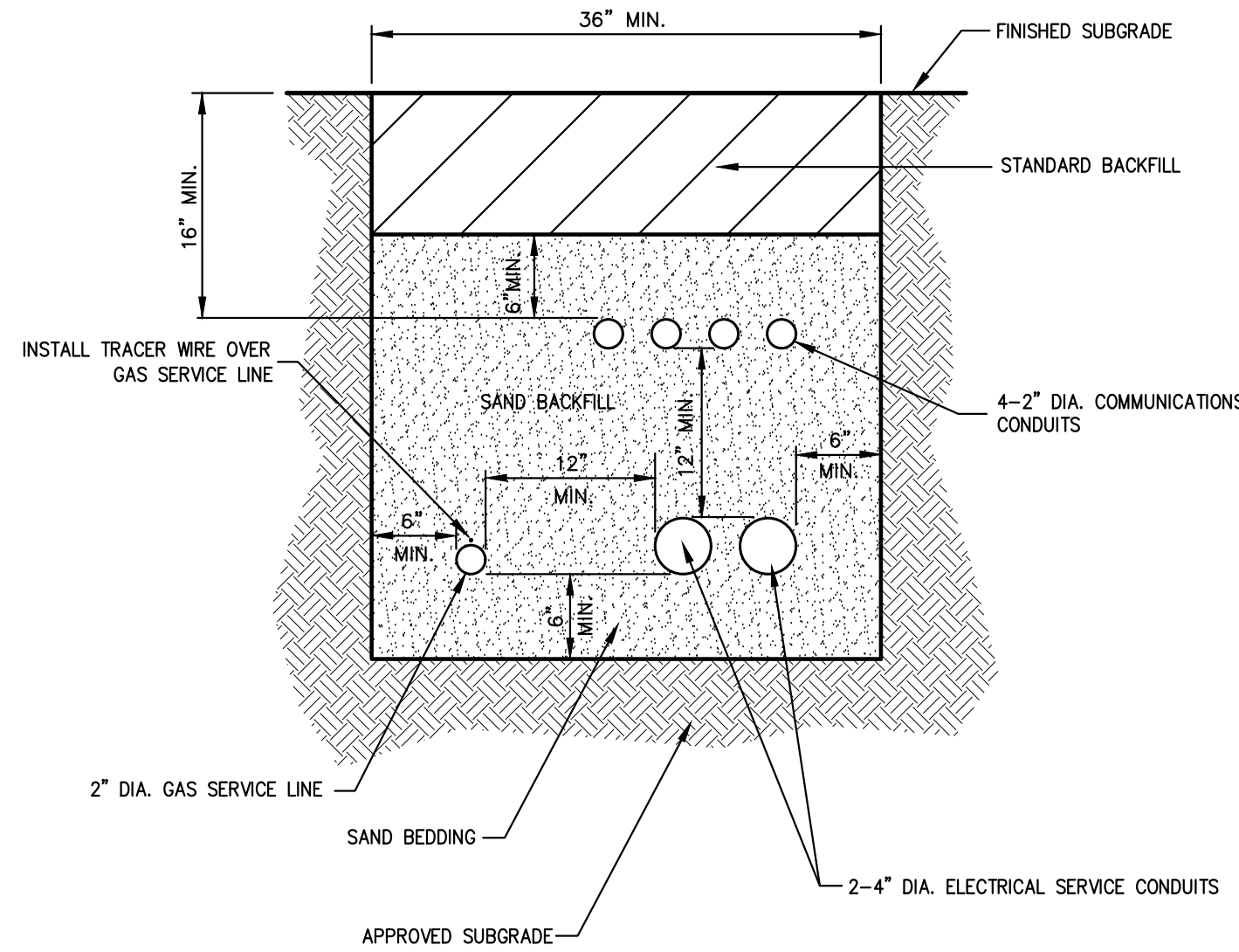






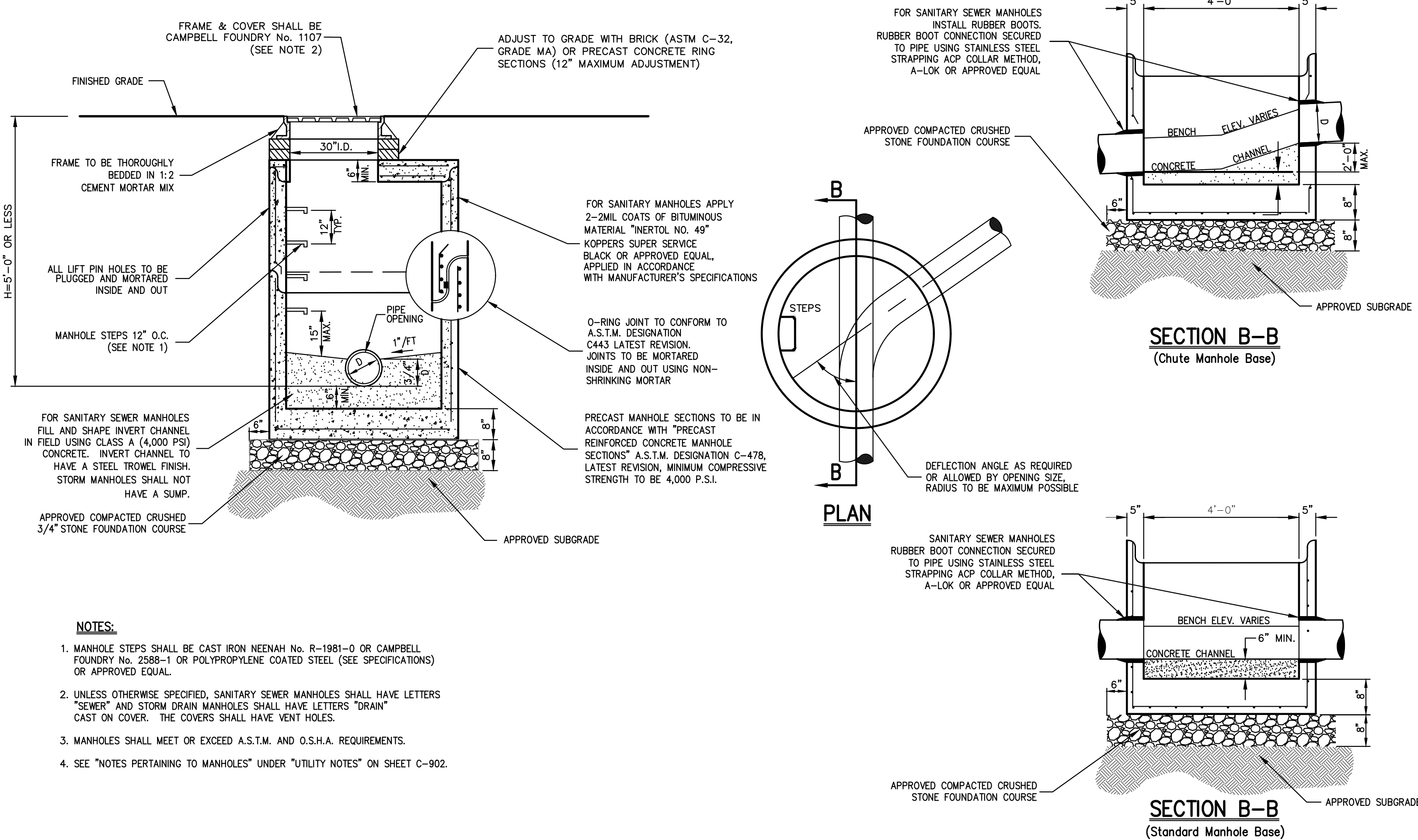
## TYPE II TRENCH

8



## UTILITY TRENCH DETAIL

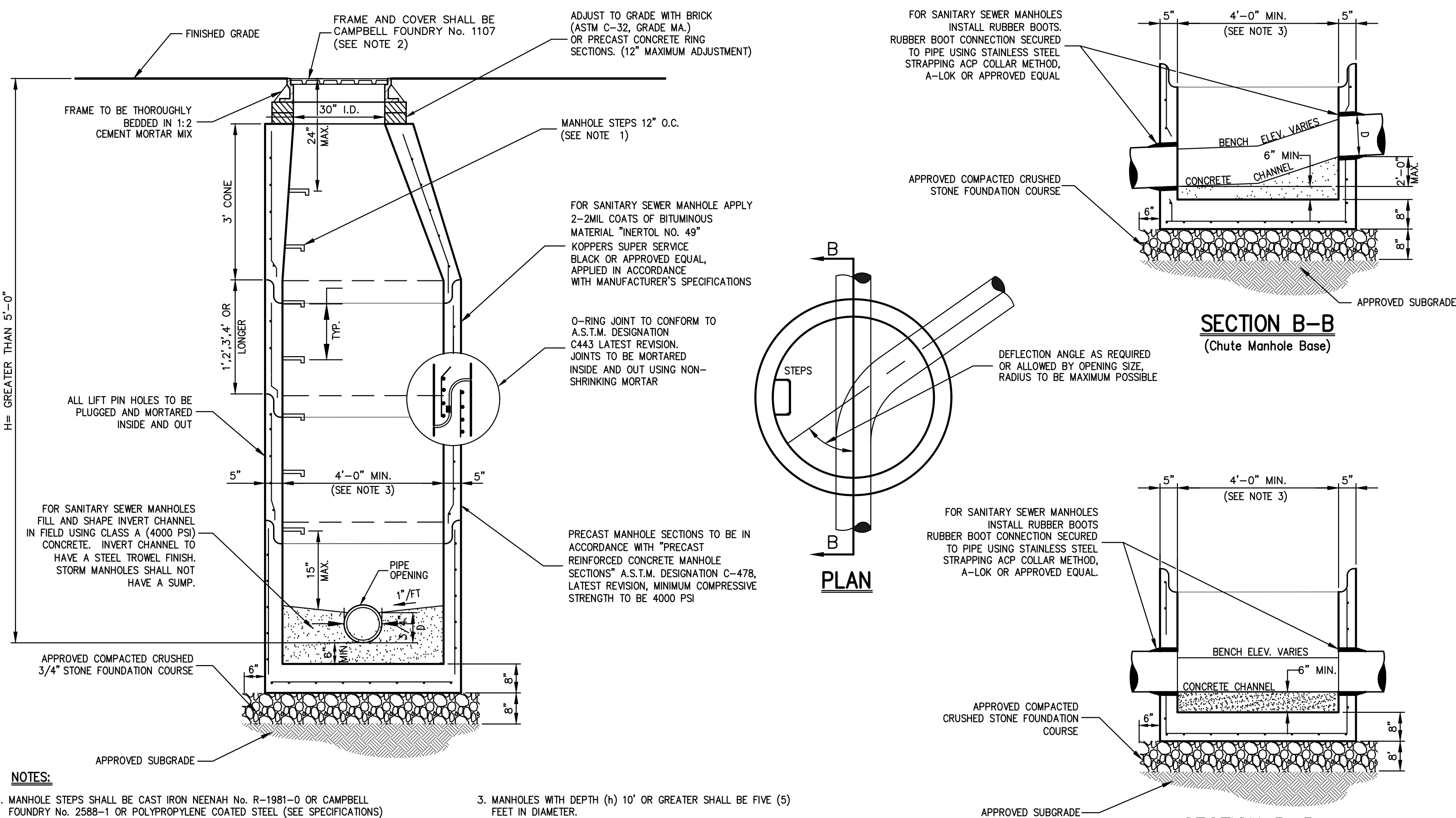
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## MANHOLE (TYPE A)

 $(H < 5'-0'')$ 

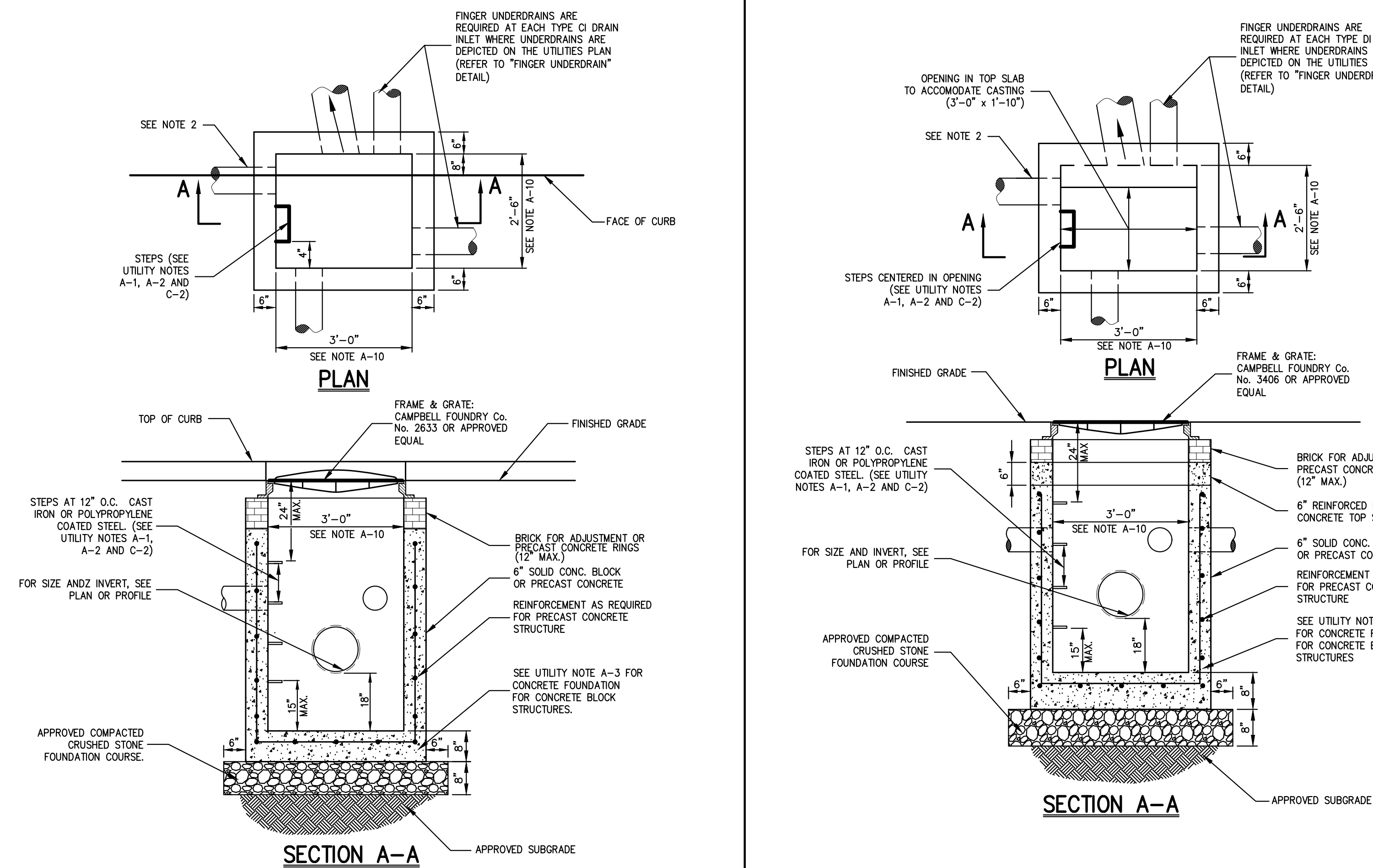
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## MANHOLE (TYPE B)

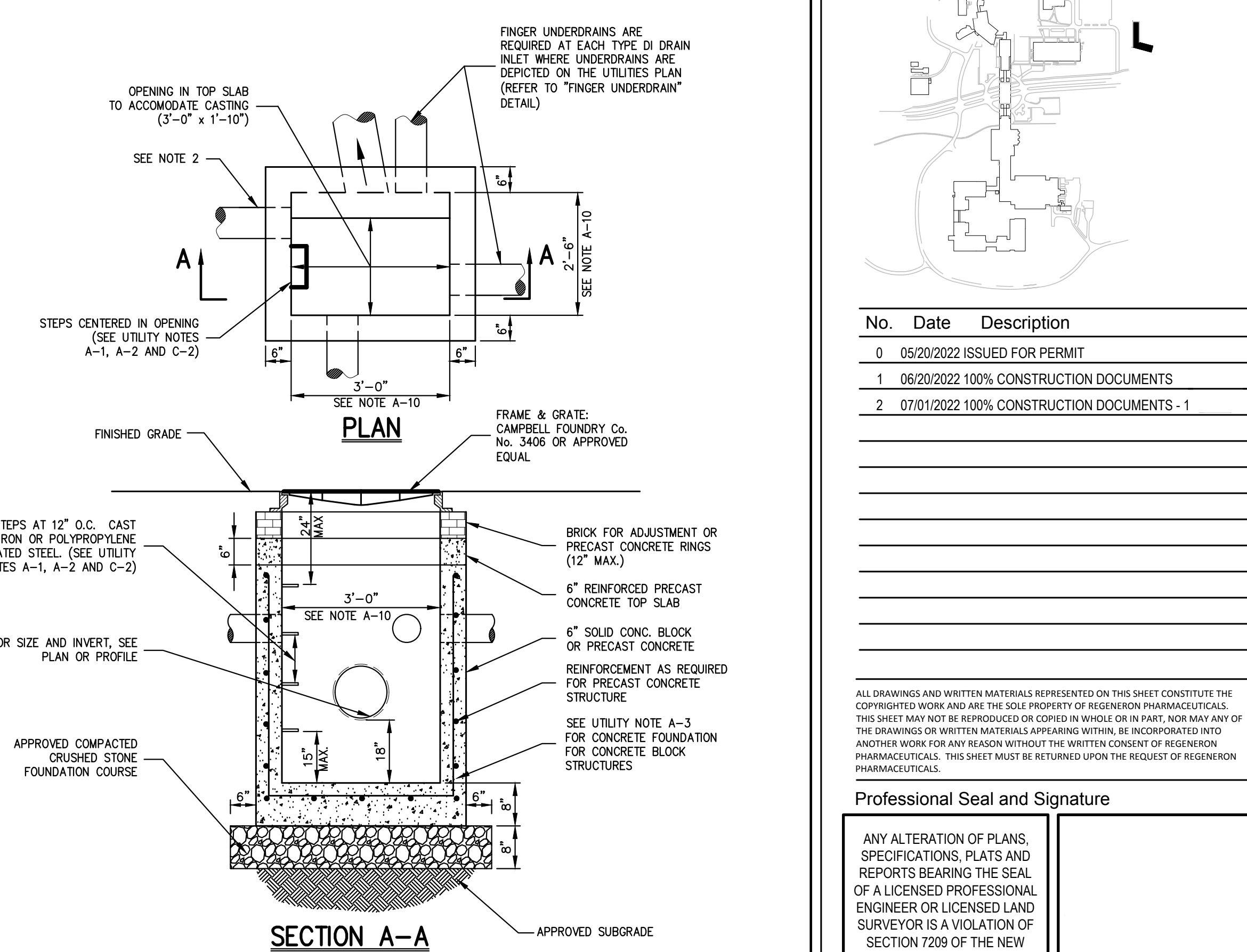
$$(H > 5'-0'' < 10'-0'')$$

11



### DRAIN INLET (TYPE CI)

12



DRAIN INLET (TYPE DI)

13

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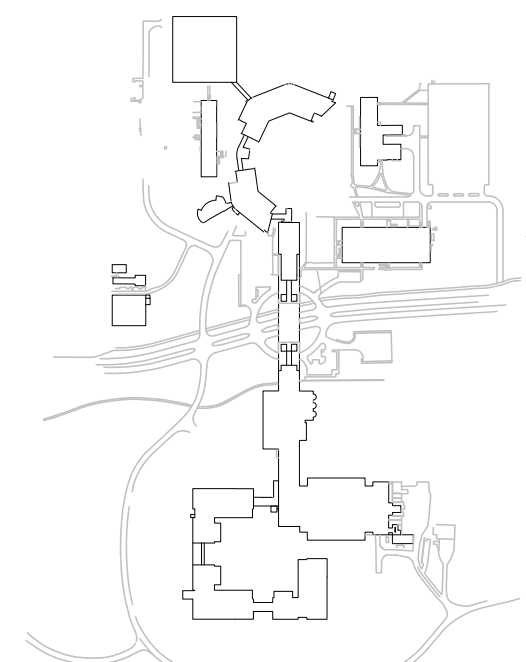
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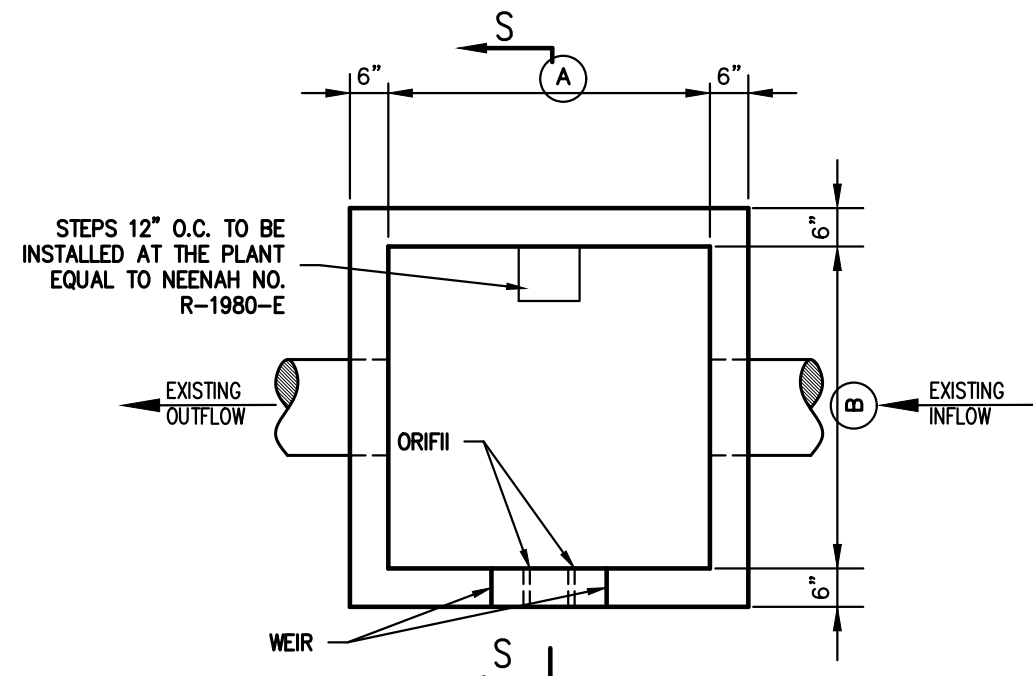
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Vendor Project No.: 20090-3  
Discipline: Civil Drawn By: TC

## CONSTRUCTION DETAILS

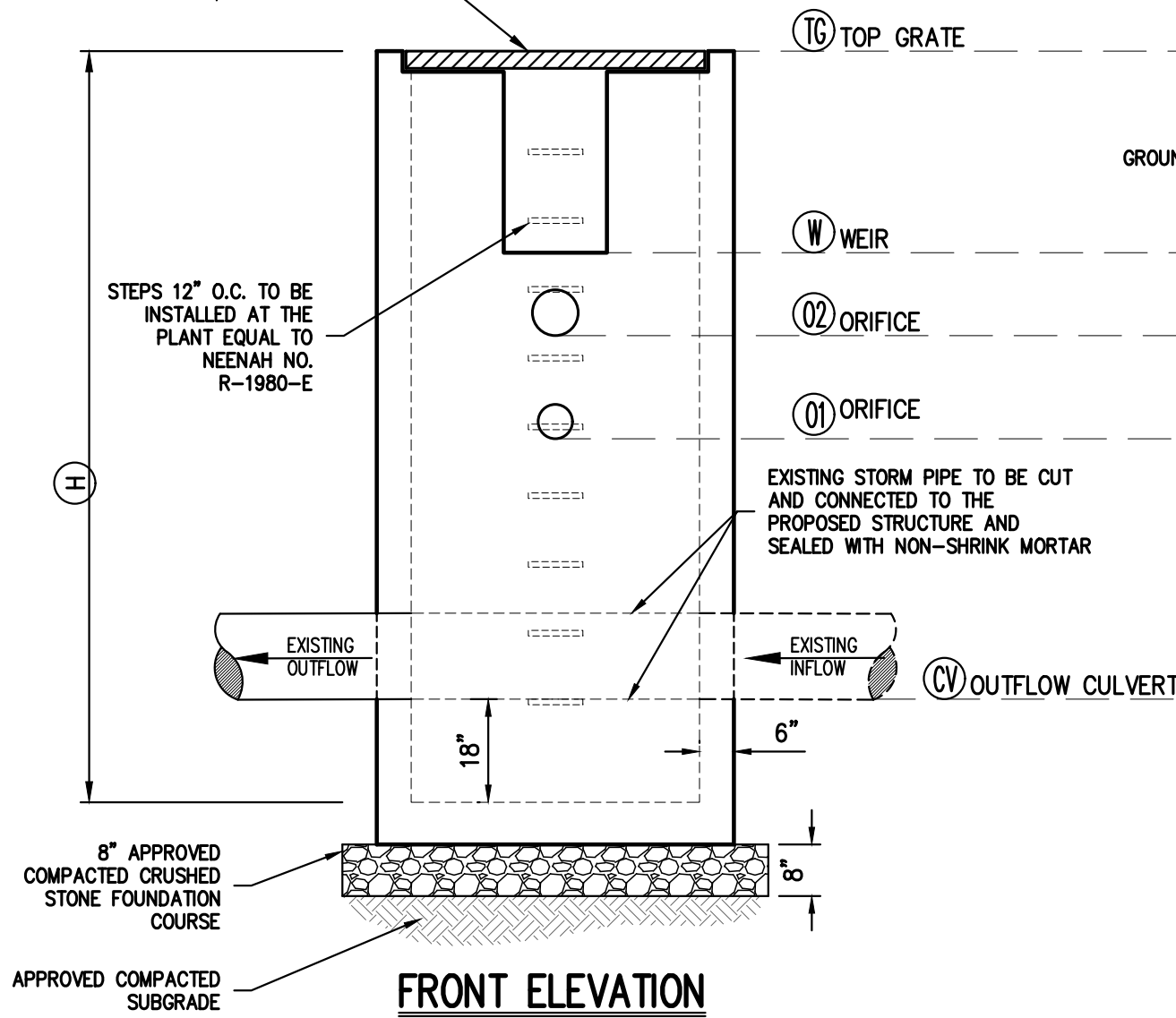
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PLAN VIEW



FRONT ELEVATION

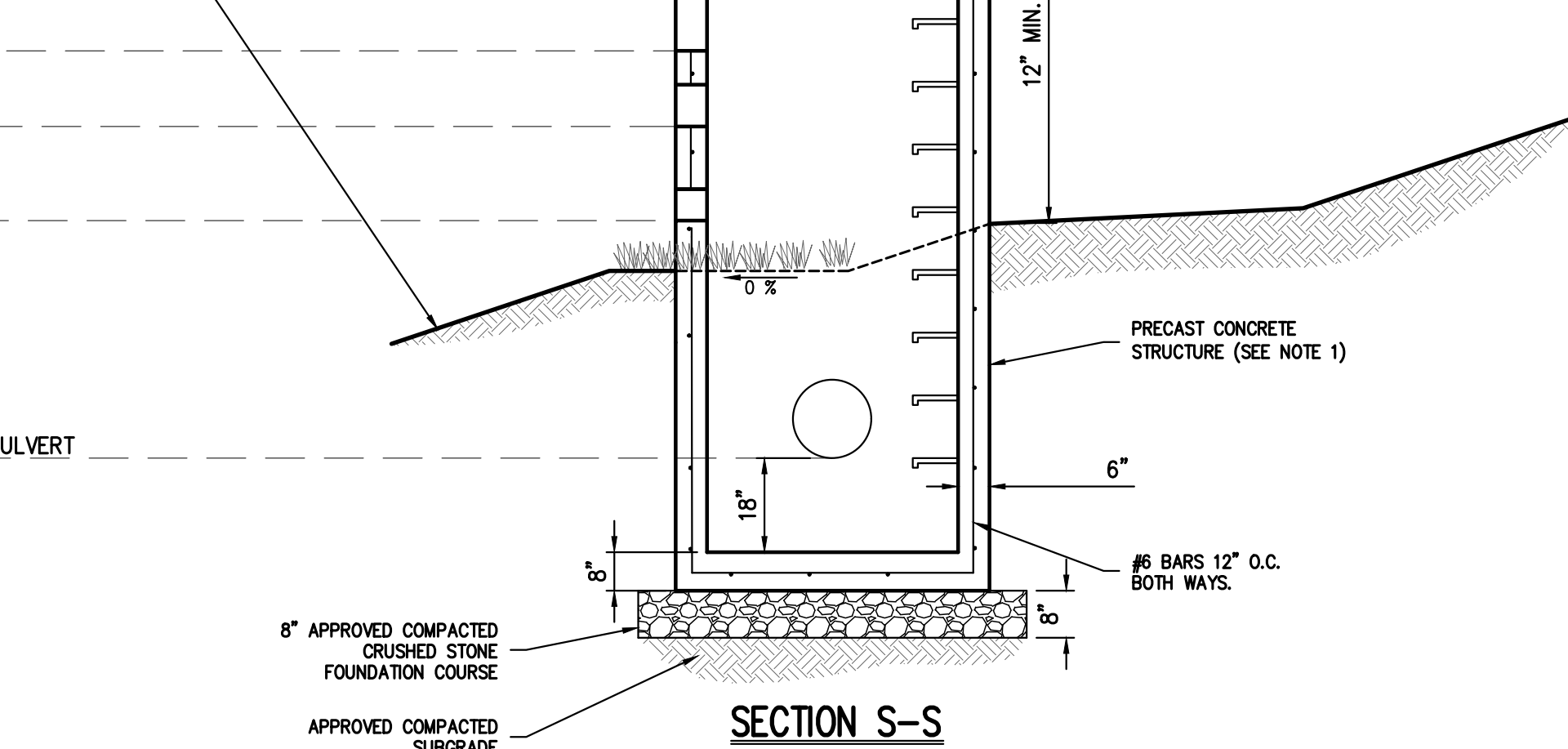
STRUCTURE CHART

STRUCTURE	STRUCTURE				RECT. WEIR		CIRCULAR ORIFICE				OUTLET CULVERT	
	(A) x (B)	(H)	(TG)	(W)		(D1)		(D2)		(CV)		
	SIZE	HEIGHT	TOP GRATE	LENGTH	ELEV.	DIA.	INVERT ELEV.	DIA.	INVERT ELEV.	DIA.	INVERT ELEV.	
OCS D-3-1	4.00'x4.00'	8.40'	208.40	4'	207.55	3"	204	8"	206.00	12"	201.50	

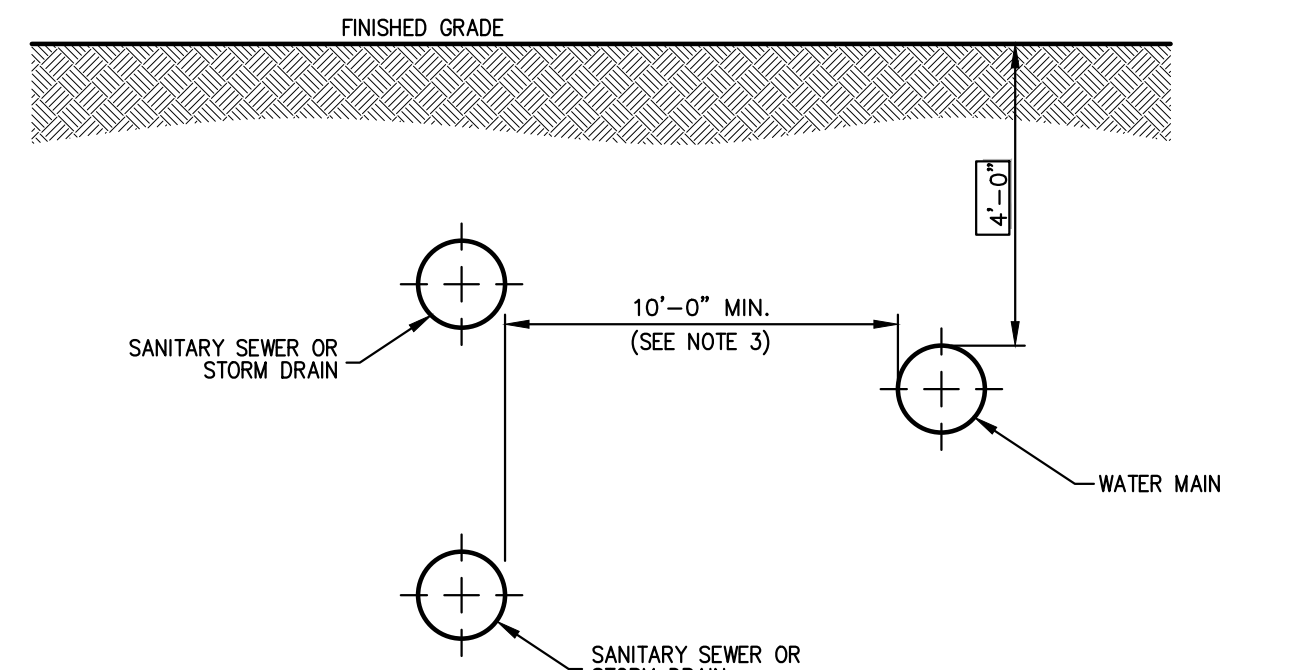
NOTES:

1. PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.

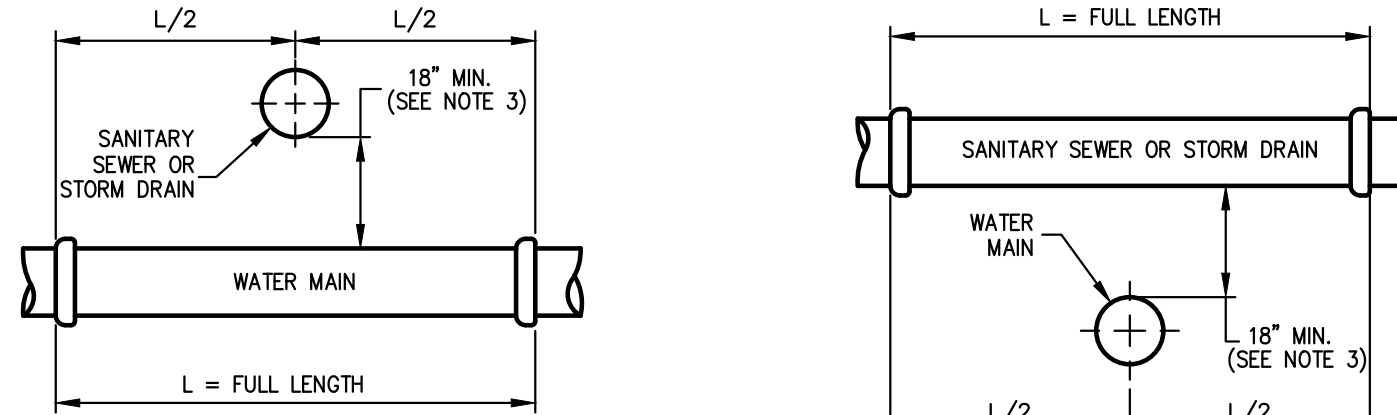
SECTION S-S



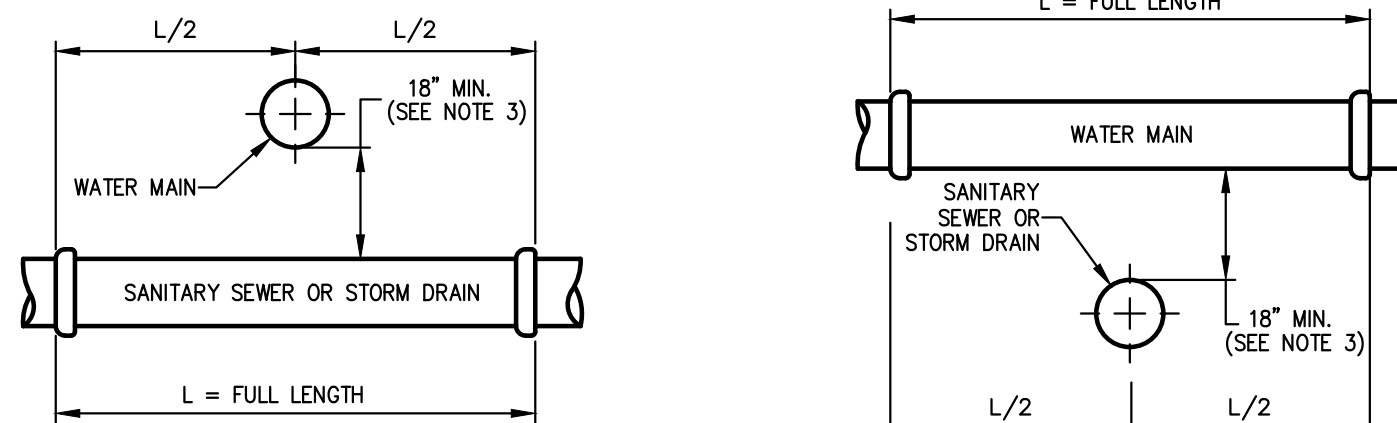
SECTION S-S



HORIZONTAL SEPARATION



SANITARY SEWER OR STORM DRAIN OVER WATER MAIN

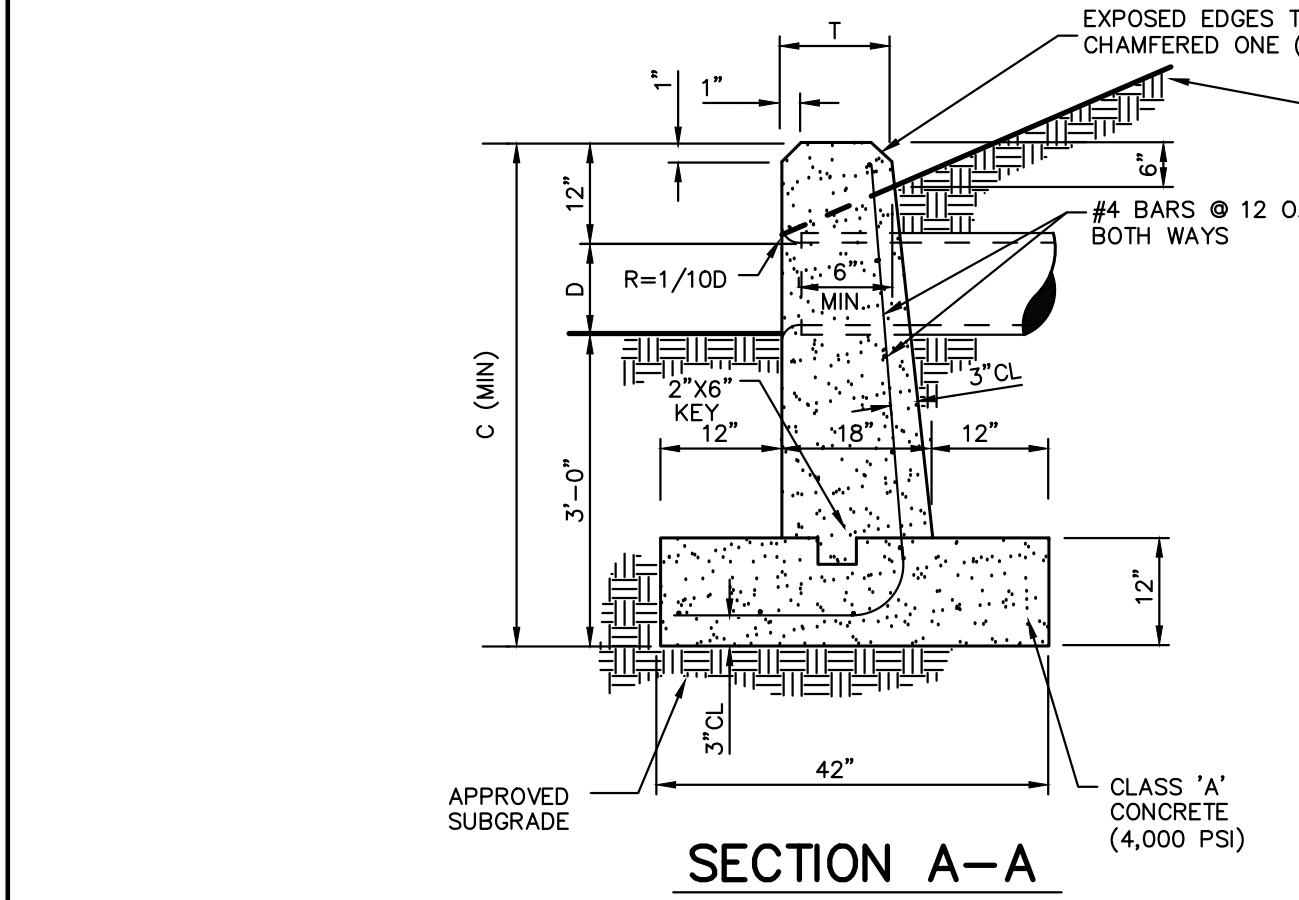


WATER MAIN OVER SANITARY SEWER OR STORM DRAIN

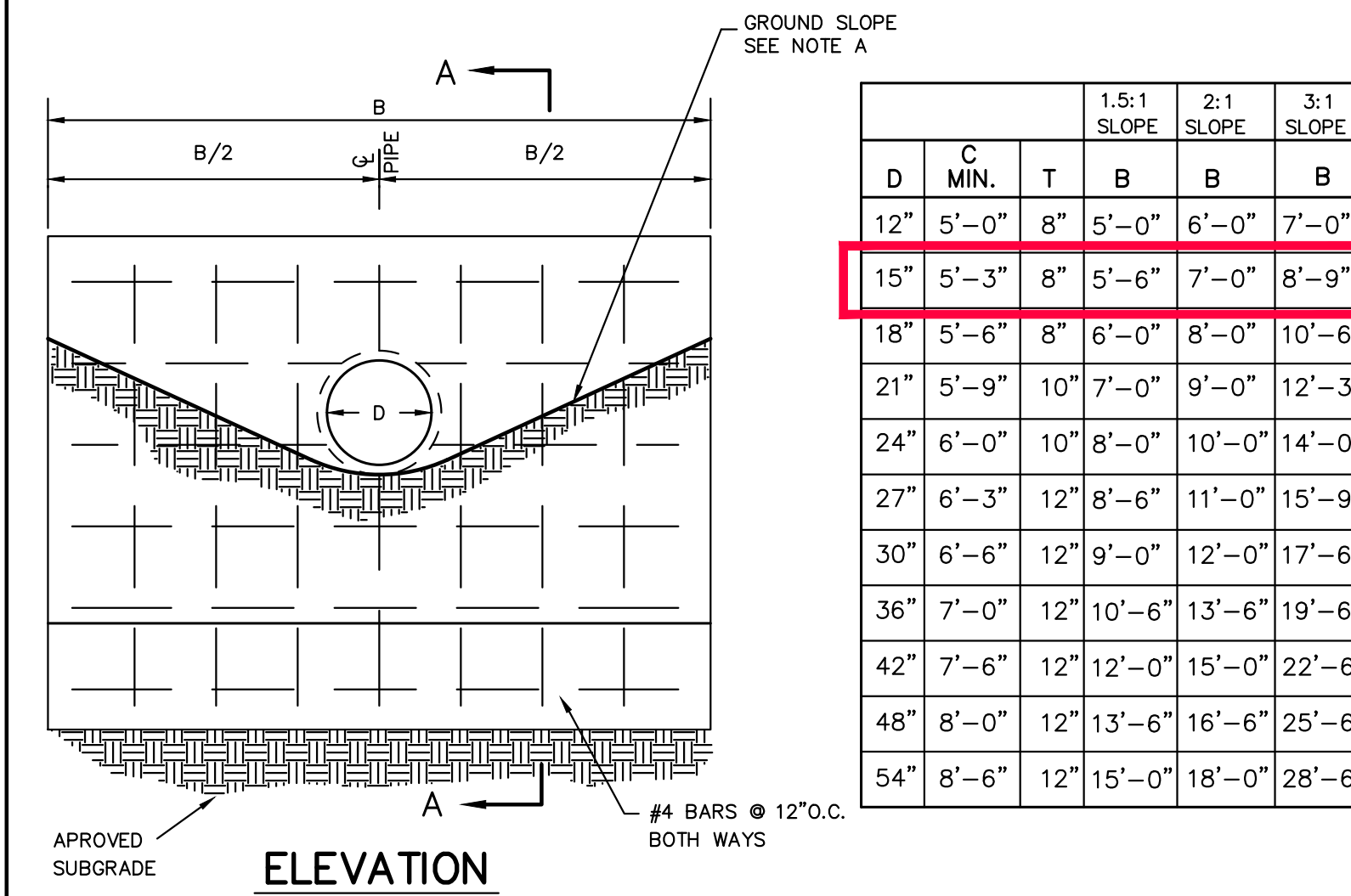
NOTES:

- NORMAL CONDITIONS:
  - WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
  - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
- WATER MAIN CROSSING UNDER SANITARY SEWERS:
  - VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
  - ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
  - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
- IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL IN WRITING ADVISE JMC OF THE SPECIFIC CONDITIONS. DISCOUNTED APPROVAL OF ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE TOWN OF MOUNT PLEASANT AND COUNTY DEPARTMENT OF HEALTH PRIOR TO INSTALLATION.

VERTICAL SEPARATION



SECTION A-A



ELEVATION

NOTE A  
GROUND SLOPE TO BE  
3 HORIZONTAL TO 1  
VERTICAL UNLESS OTHERWISE  
SPECIFIED (SEE CHART)

OUTLET CONTROL STRUCTURE

(OS D-3-1)

14

SEPARATION OF WATER & SANITARY  
SEWER/STORM DRAIN LINES

15

PRECAST CONCRETE HEADWALL  
(TYPE B)

16

NOTES PERTAINING TO DRAIN INLETS

- STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A"(4000 psi) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SIKKA-SET AS MANUFACTURED BY THE SIKKA CHEMICAL CORP.
- FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

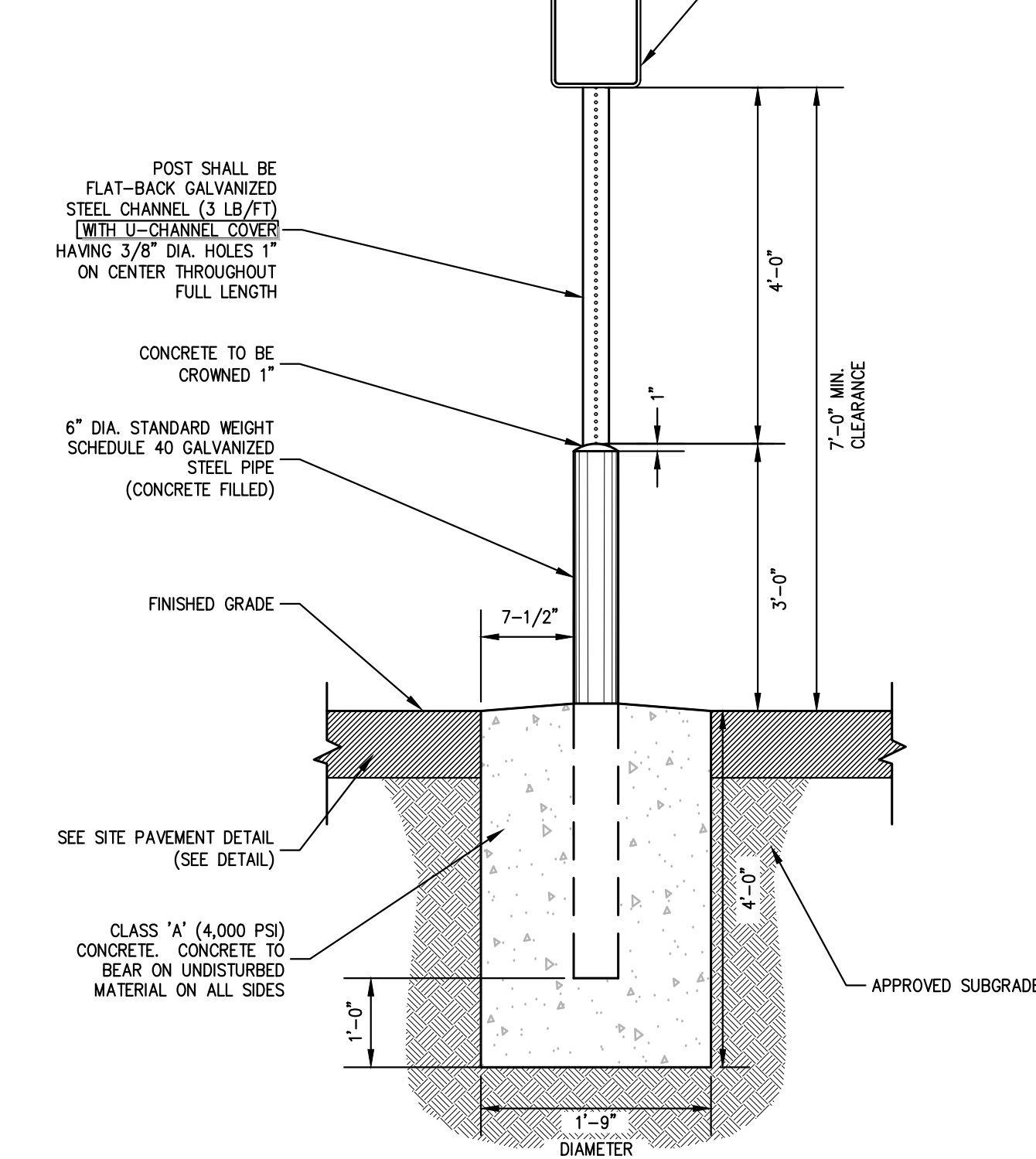
NOTES PERTAINING TO MANHOLES

- PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
- FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
- TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
- NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR  
STORM DRAINS, SANITARY SEWERS AND WATER LINES

- ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

CHANNEL  
CROSS SECTION



NOTES:

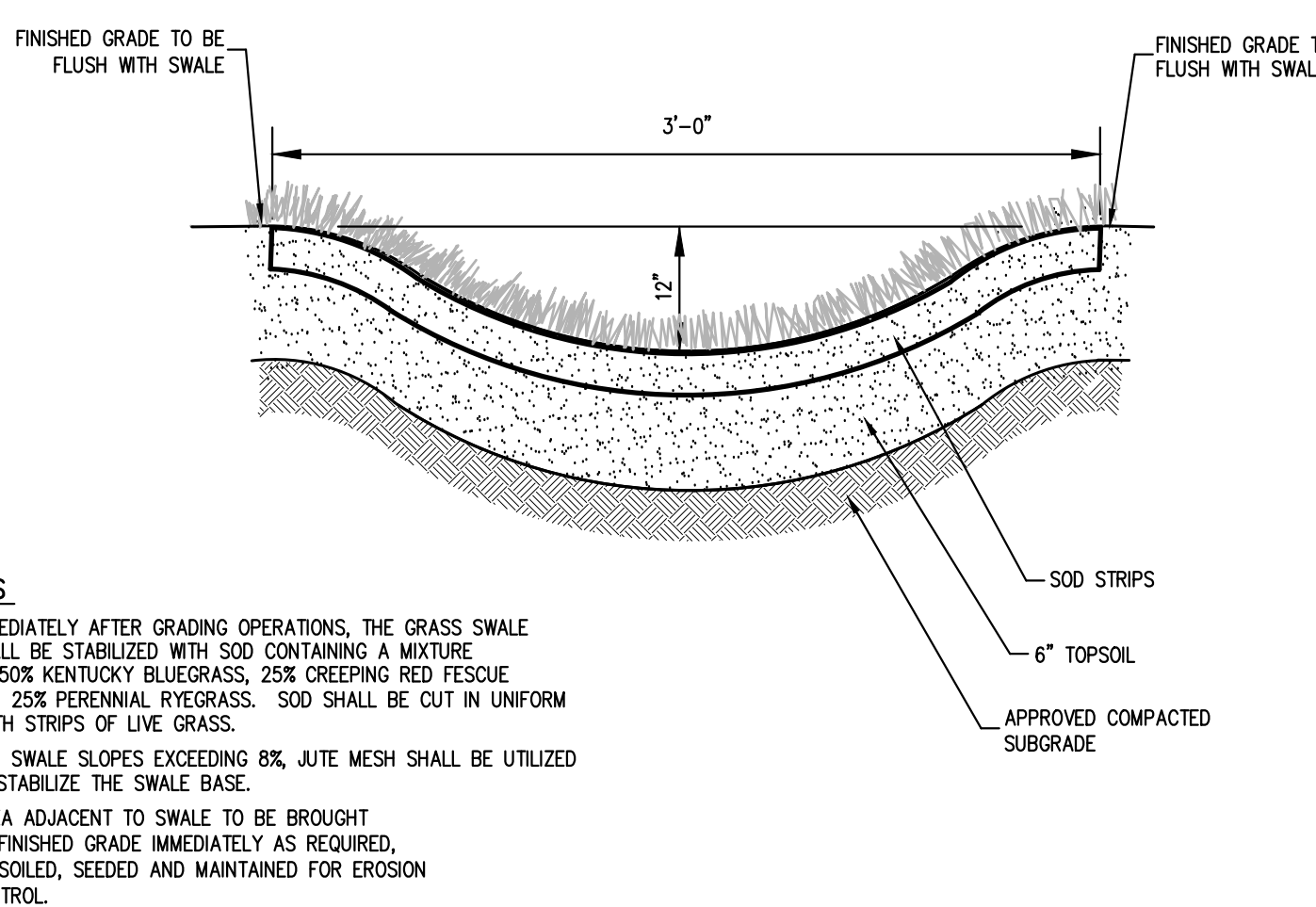
- GALVANIZED STEEL CHANNEL SHALL BE EMBEDDED A MIN. OF 3 FT. INTO THE CONCRETE
- STEEL PIPES FOR HANDICAP PARKING STALLS AND ACCESS AISLES SHALL BE PAINTED BLUE, AND STEEL PIPES FOR EV PARKING STALLS SHALL BE PAINTED GREEN AS FOLLOWS:
  - SOLVENT CLEAN TO REMOVE OIL, GREASE AND OTHER CONTAMINANTS.
  - APPLY METAL PRIMER FOR GALVANIZED SURFACES.
  - APPLY TWO (2) FINISH COATS OF APPROVED EXTERIOR PAINT FOR METAL SURFACES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF THE PARKING SIGNS, BOLLARDS AND FOUNDATIONS WITH THE DESIGN AND INSTALLATION OF THE SITE SIDEWALKS, CURBING, PAVEMENT AND ANY OTHER SITE FEATURES SHOWN ON THE PLANS.
- FASTEN SIGN TO POSTS WITH GALVANIZED STEEL BOLTS, LOCK WASHERS, AND NUTS (5/16" DIA.)
- U-CHANNEL COVERS FOR POSTS SHALL BE BLUE WITH WHITE STRIPE FOR HANDICAP PARKING STALLS AND HANDICAP ACCESS AISLES.
- U-CHANNEL COVERS FOR POSTS SHALL BE GREEN WITH WHITE STRIPE FOR EV PARKING STALLS.

NOTE

- COLOR OF PAINT SHALL BE WHITE

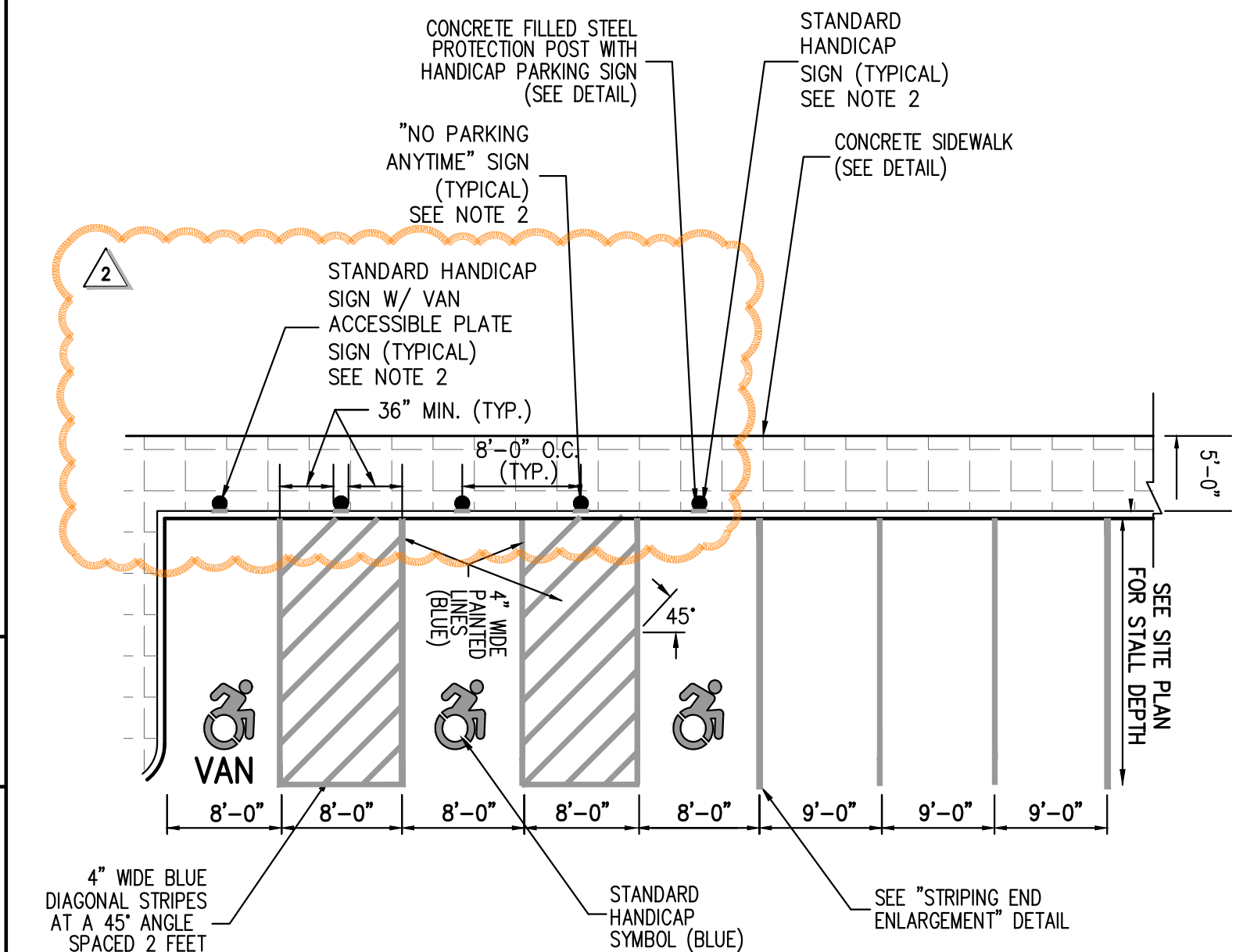
90° PARKING  
(SINGLE STRIPING - CURBED PERIMETER)

20



NOTES

- IMMEDIATELY AFTER GRADING OPERATIONS, THE GRASS SWALE SHALL BE STABILIZED WITH SOG CONTAINING A MIXTURE OF 50% KENTUCKY BLUEGRASS, 20% CREEPING RED FESCUE AND 30% PERENNIAL RYEGRASS. SOG SHALL BE CUT IN UNIFORM WIDTH STRIPS OF LINE GRASS.
- FOR SWALE SLOPES EXCEEDING 8%, JUTE MESH SHALL BE UTILIZED TO STABILIZE THE SWALE BASE.
- AREA ADJACENT TO SWALE TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY AS REQUIRED, TOPSOILED, SEEDED AND MAINTAINED FOR EROSION CONTROL.



NOTES:

- RAMPS AND SIDE RAMPS SHALL HAVE DETECTABLE WARNINGS CONSISTING OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
- THEY SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.29.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), DATED JULY 26, 1991 AND SUBSEQUENT REVISIONS.
- SLOPES IN HANDICAP PARKING AREAS SHALL NOT EXCEED 1.5%.
- SEE SITE PLANS/SIGN TABLE FOR SIGN DESIGNATIONS, LOCATIONS AND SPECIFICATIONS.

UTILITY NOTES

17

ACCESSIBLE/EV PARKING SIGN

18

GRASS SWALE

19

HANDICAP PARKING

21

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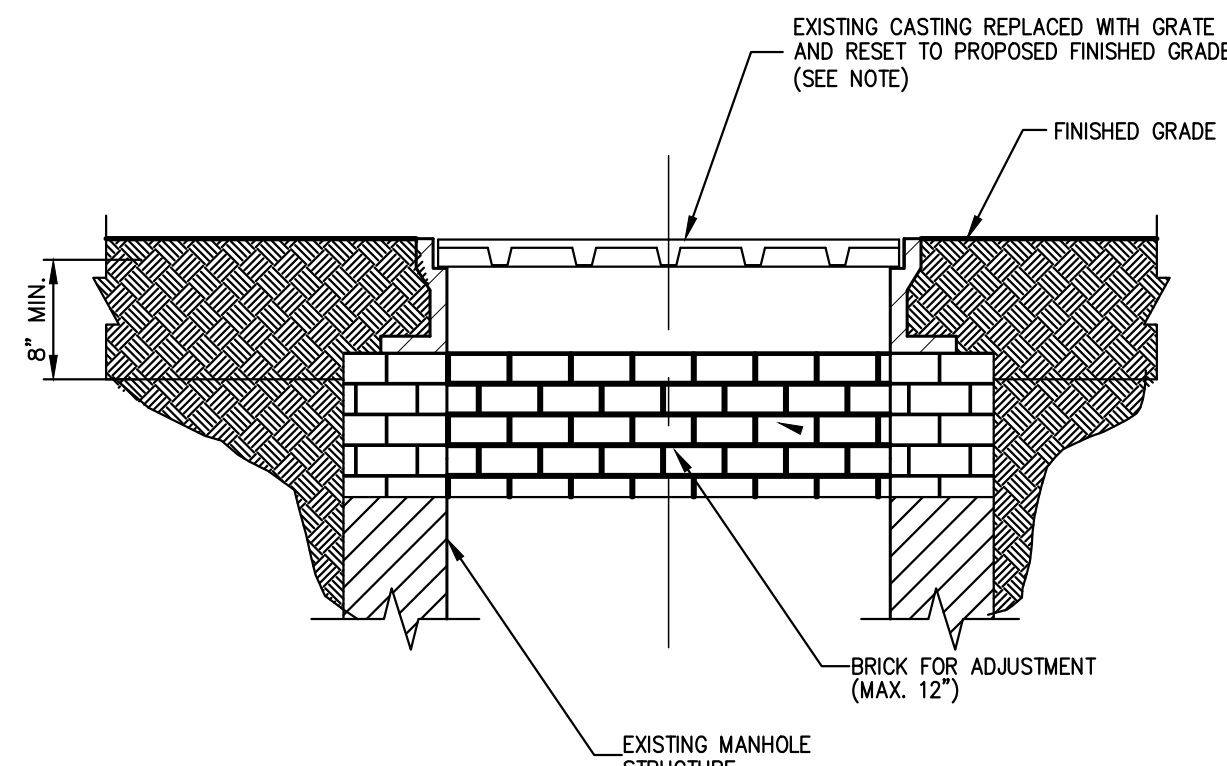
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Discipline: Civil  
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Drawn By: TC

CONSTRUCTION DETAILS

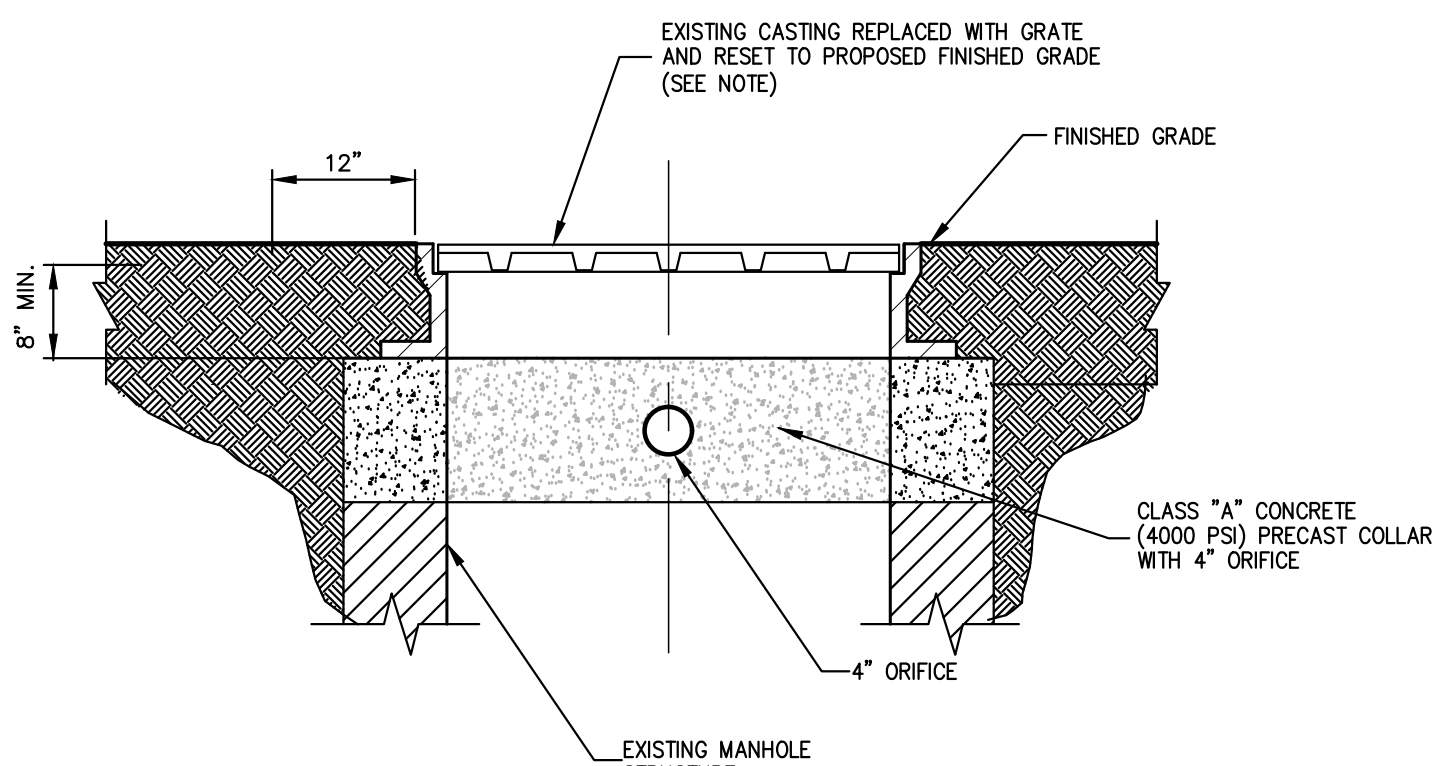
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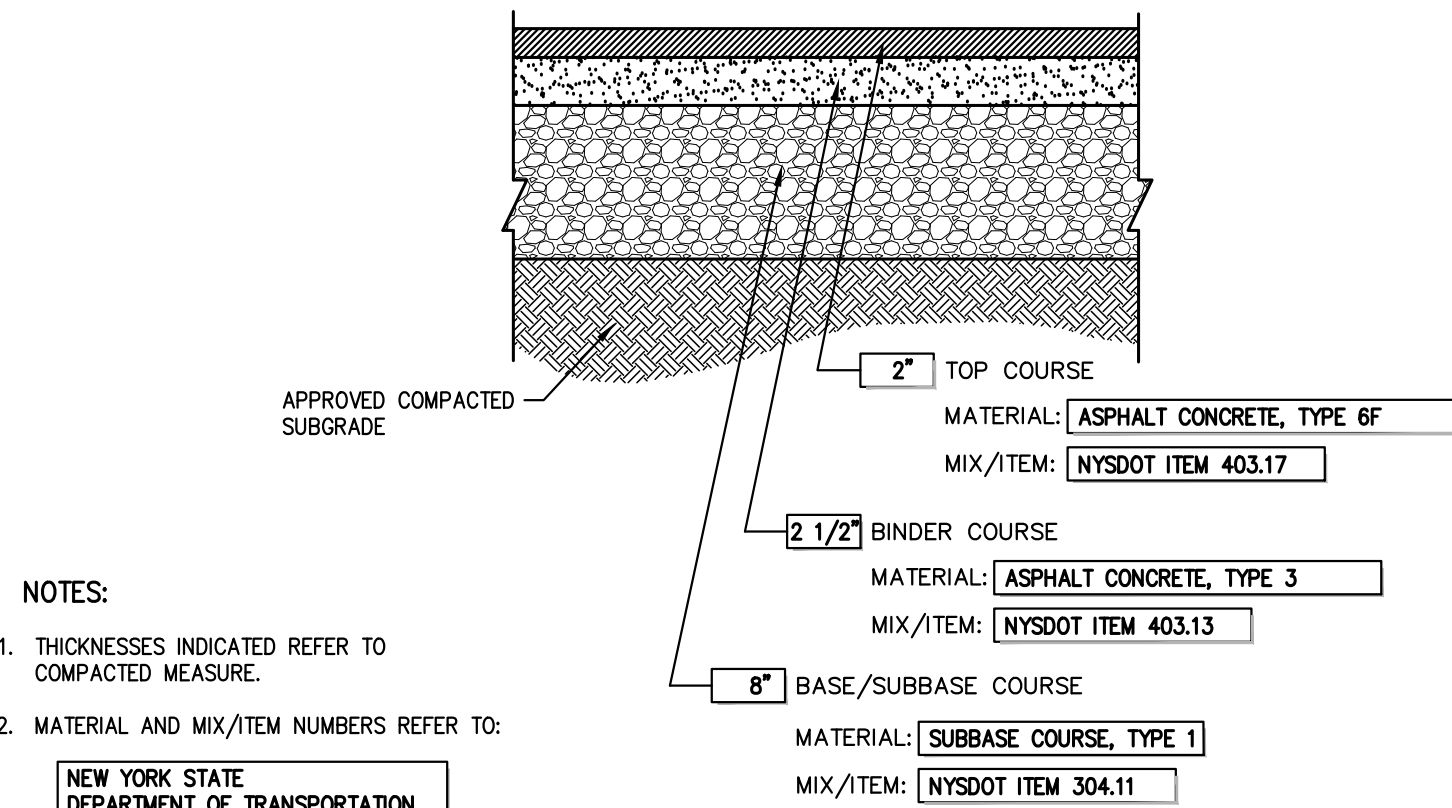


EXISTING STRUCTURE IN DRY SWALE

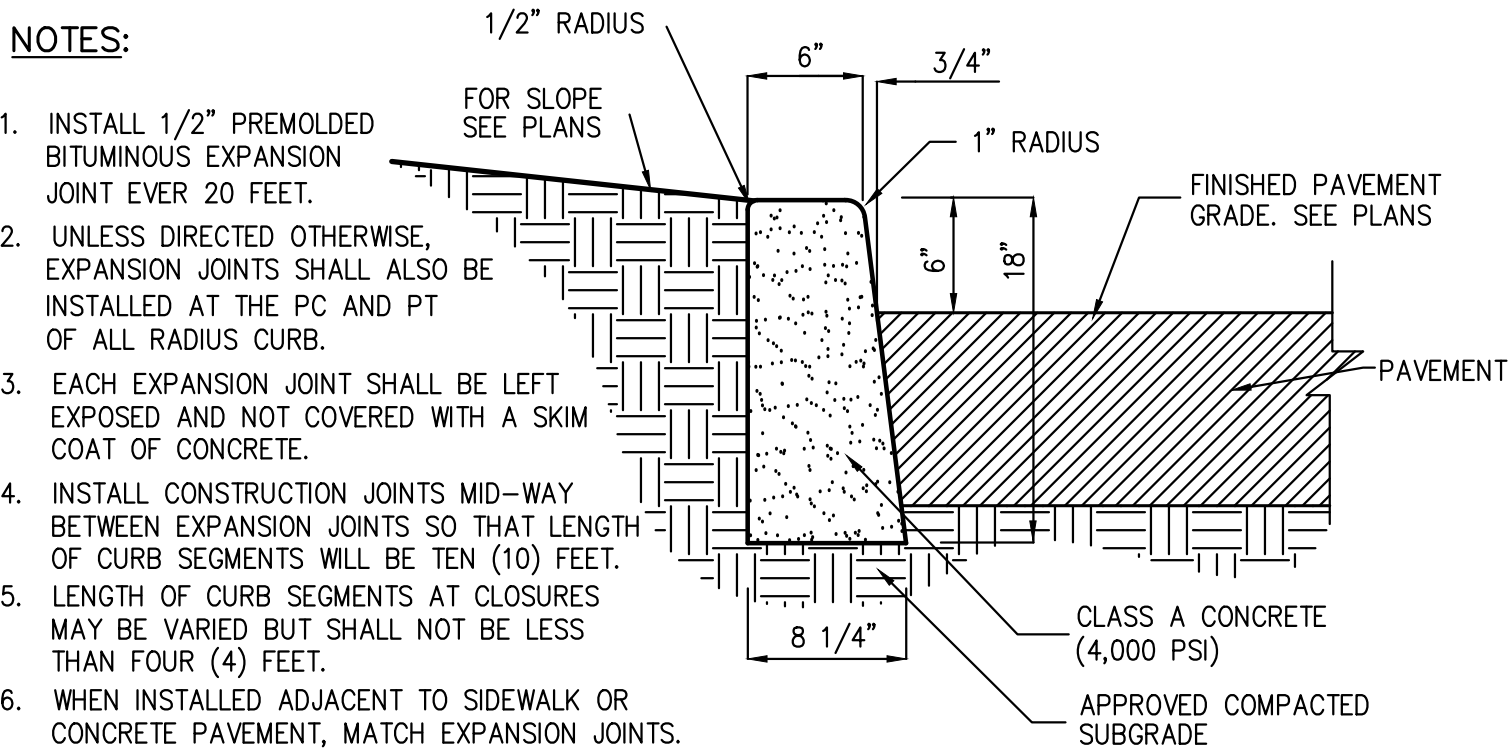


EXISTING STRUCTURE IN BIORETENTION BASIN

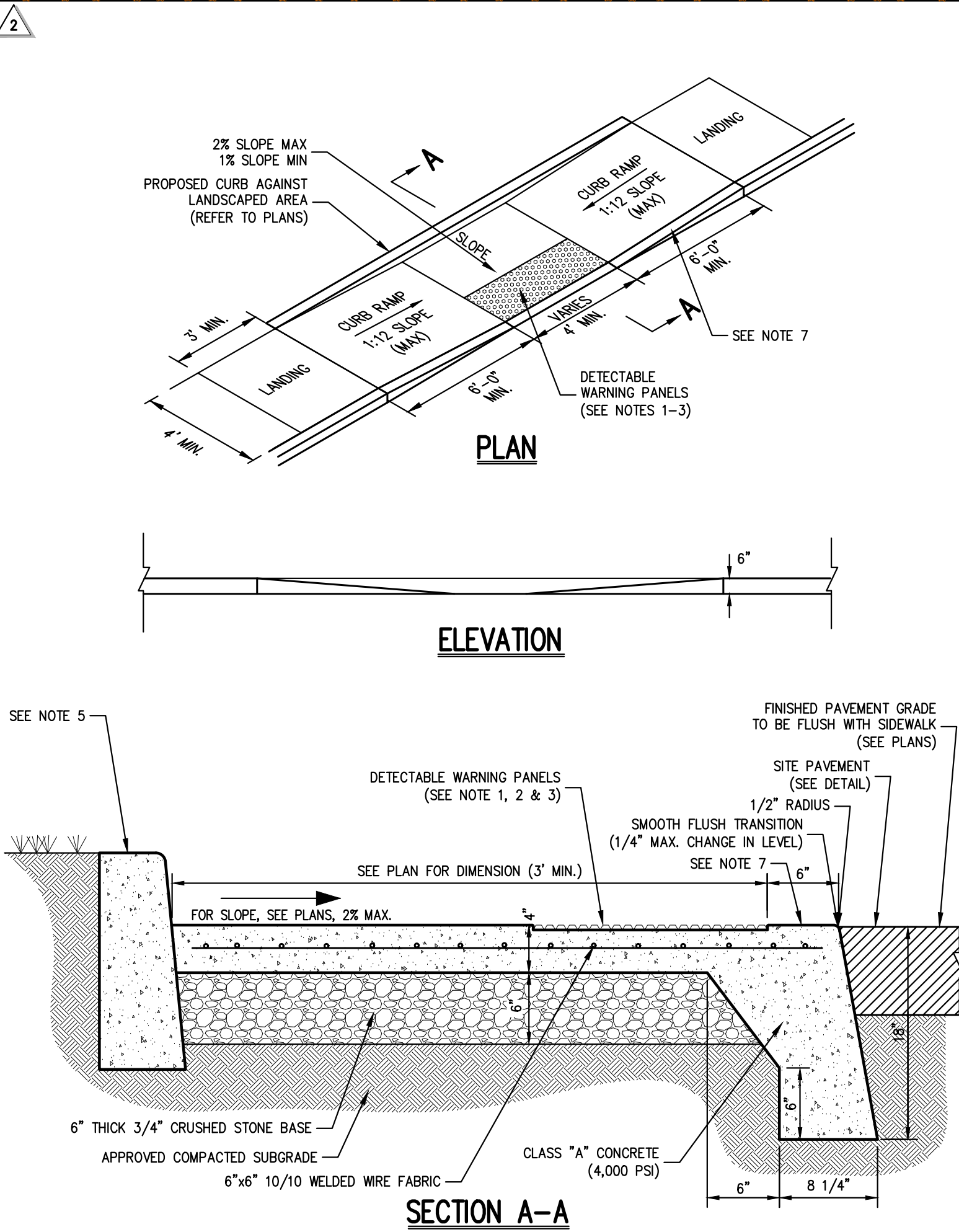
NOTE:  
1. IF EXISTING CASTING IS UNFIT FOR RESETTING IN THE NEW CONSTRUCTION, AS DETERMINED BY THE OWNER'S FIELD REPRESENTATIVE, CONTRACTOR SHALL FURNISH AND SET NEW CASTING.



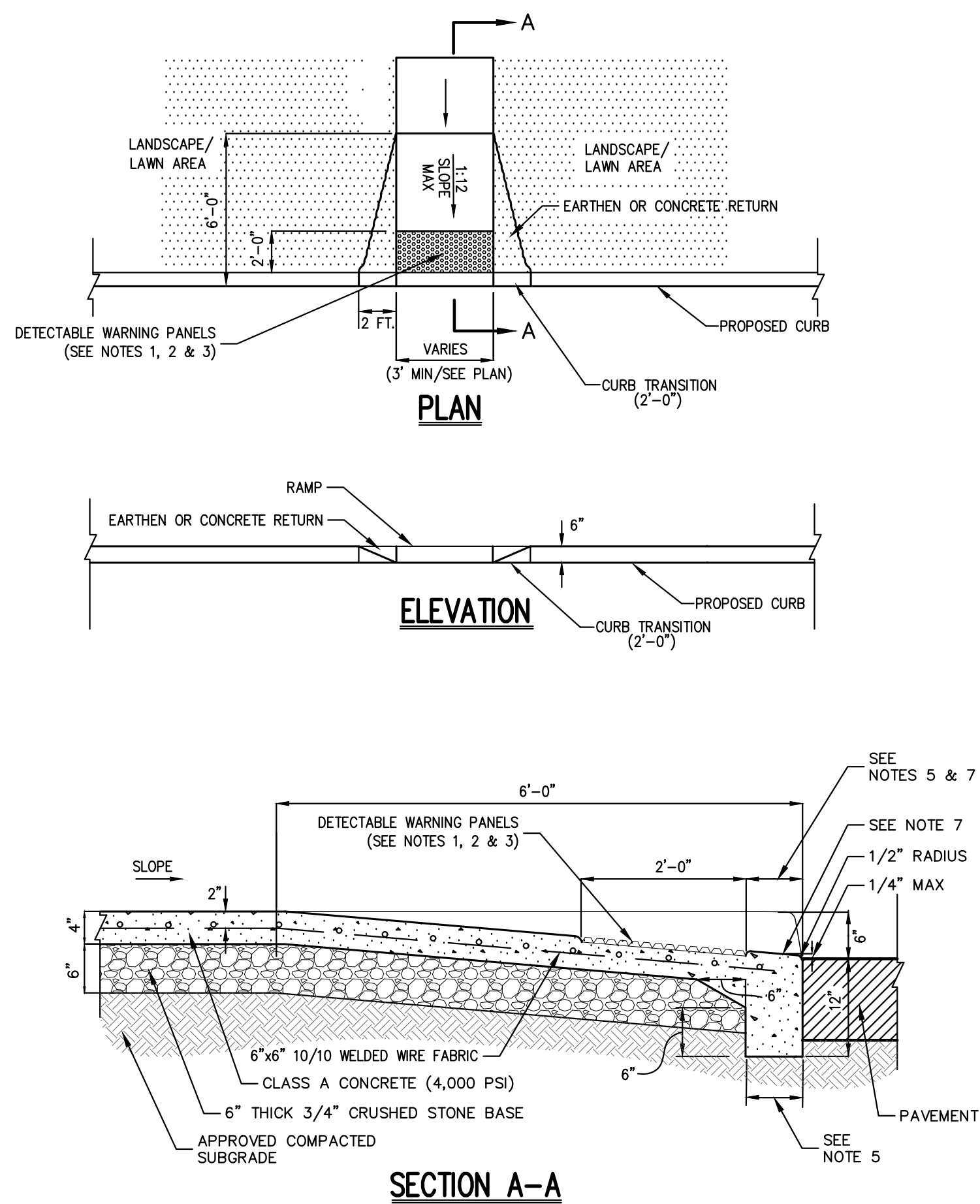
SITE PAVEMENT



CAST-IN-PLACE CONCRETE CURB



DROP CURB & RAMP  
(TYPE B/PERPENDICULAR)



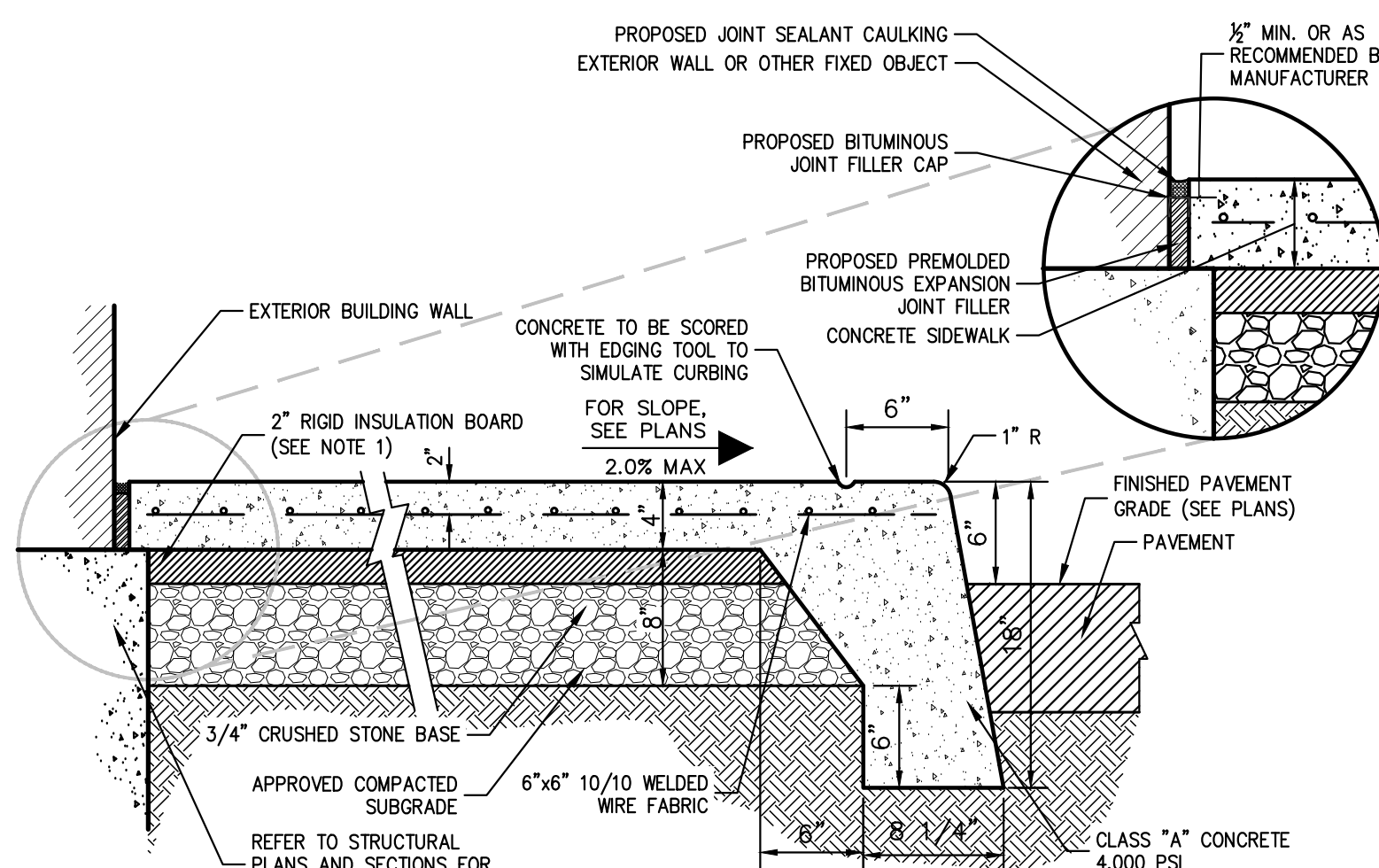
DROP CURB & RAMP  
(TYPE D/PARALLEL IN-LINE)

RAISE AND RESET MANHOLE CASTING

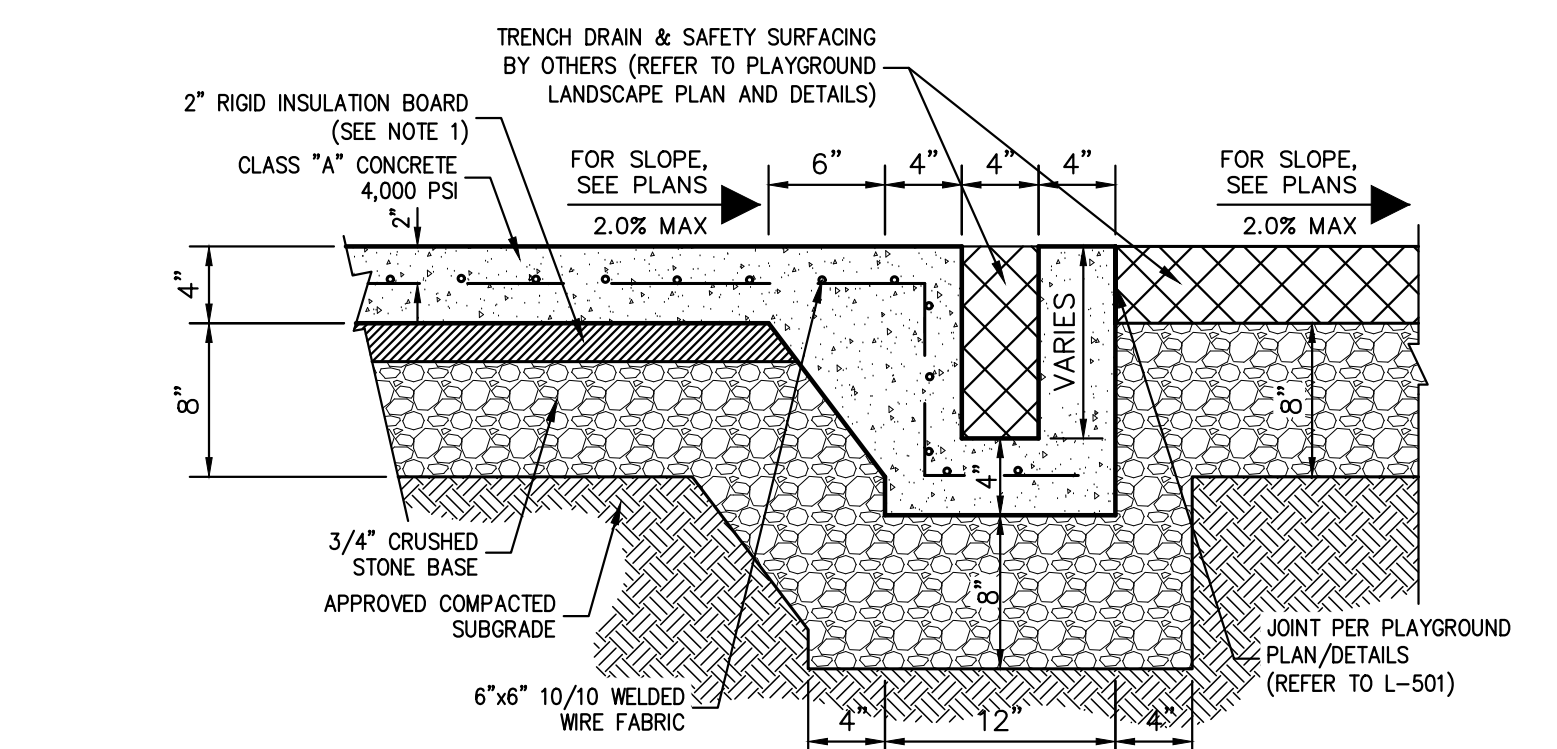
CAST-IN-PLACE CONCRETE CURB

DROP CURB & RAMP  
(TYPE B/PERPENDICULAR)

DROP CURB & RAMP  
(TYPE D/PARALLEL IN-LINE)



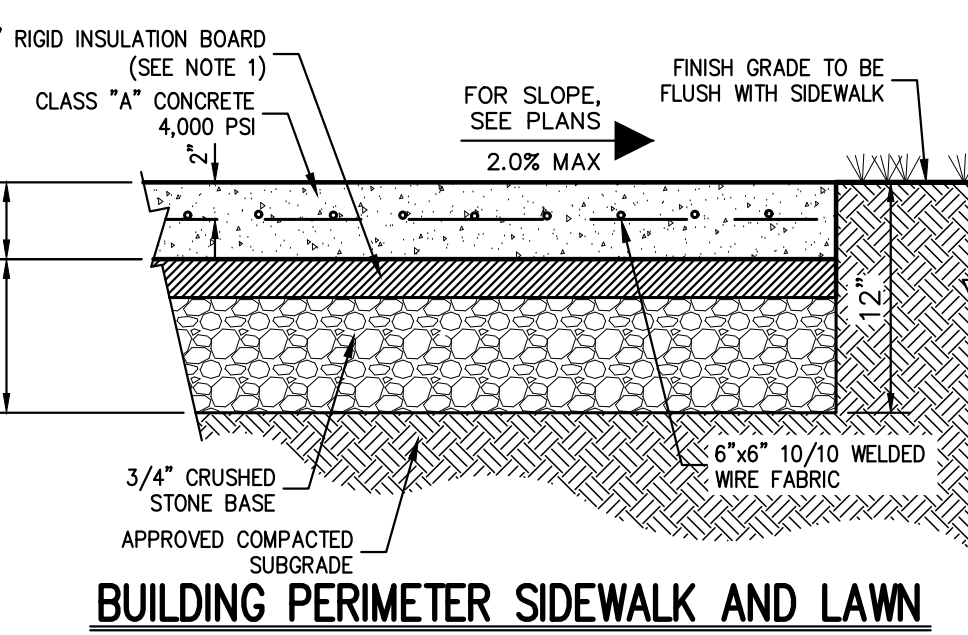
BUILDING PERIMETER SIDEWALK AND MONOLITHIC CURB



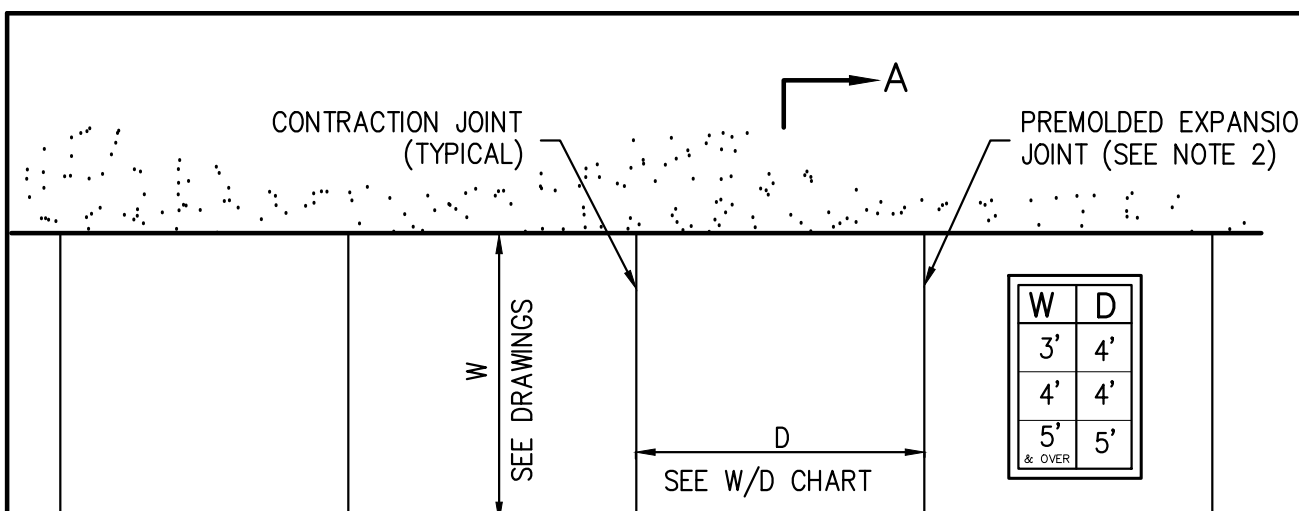
BUILDING PERIMETER SIDEWALK AND PLAYGROUND

- NOTES:
1. PROVIDE 2" RIGID INSULATION BOARD AT ALL DOORWAY OPENINGS AND EXTEND 8' MIN. IN ALL DIRECTIONS OR TO CONSTRUCTION/CONTRACTION JOINT, WHICHEVER IS GREATER.
  2. JOINT SEALANT CAULKING SHALL BE SIKAFLEX-2C NS TO OR APPROVED EQUAL. COLOR SHALL BE GRAY AS APPROVED BY THE OWNER'S FIELD REPRESENTATIVE. PREMOULDED BITUMINOUS EXPANSION JOINT FILLER SHALL BE FLEXCELL OR APPROVED EQUAL.
  3. PRIOR TO INSTALLING JOINT SEALANT, CONTRACTOR SHALL REMOVE TOP PORTION OF EXPANSION JOINT FILLER CAP AND THOROUGHLY CLEAN JOINT OF ANY DEBRIS.
  4. PROVIDE JOINT SEALER & PREMOULDED EXPANSION JOINT AT ALL BLDG. WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.).
  5. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.
  6. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. 2% MAX.
  7. FOR SIDEWALK WIDTH SEE PLAN. SIDEWALK SHALL HAVE A 3' MIN. WIDTH CLEAR FROM BACK OF CURBING.
  8. CONTRACTION JOINTS SHALL BE EVERY 5' ON-CENTER WITH EXPANSION JOINTS EVERY 20' ON-CENTER.

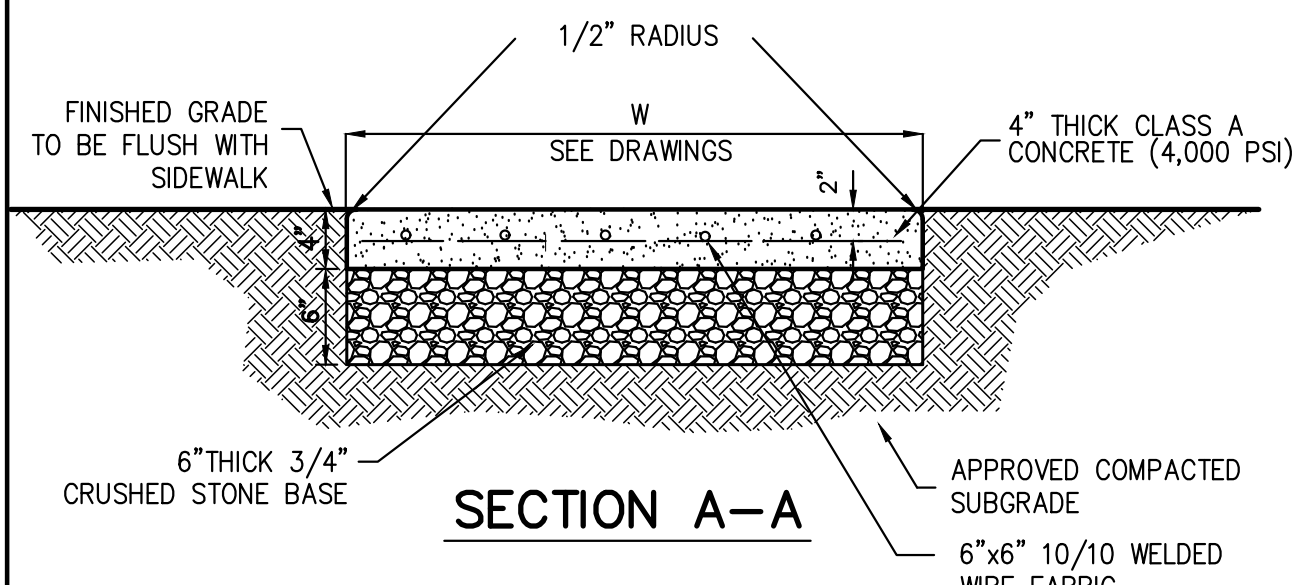
BUILDING PERIMETER SIDEWALK



BUILDING PERIMETER SIDEWALK AND LAWN

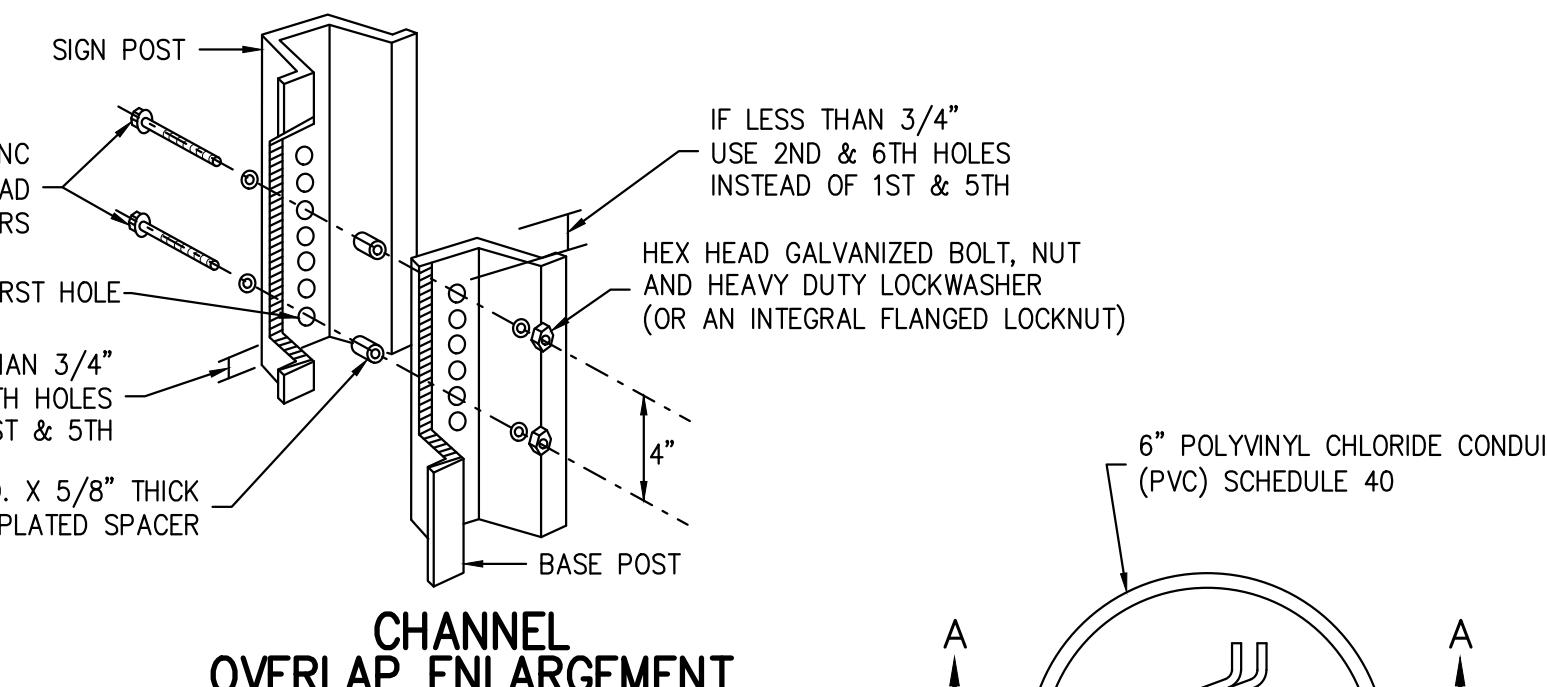


CONCRETE SIDEWALK

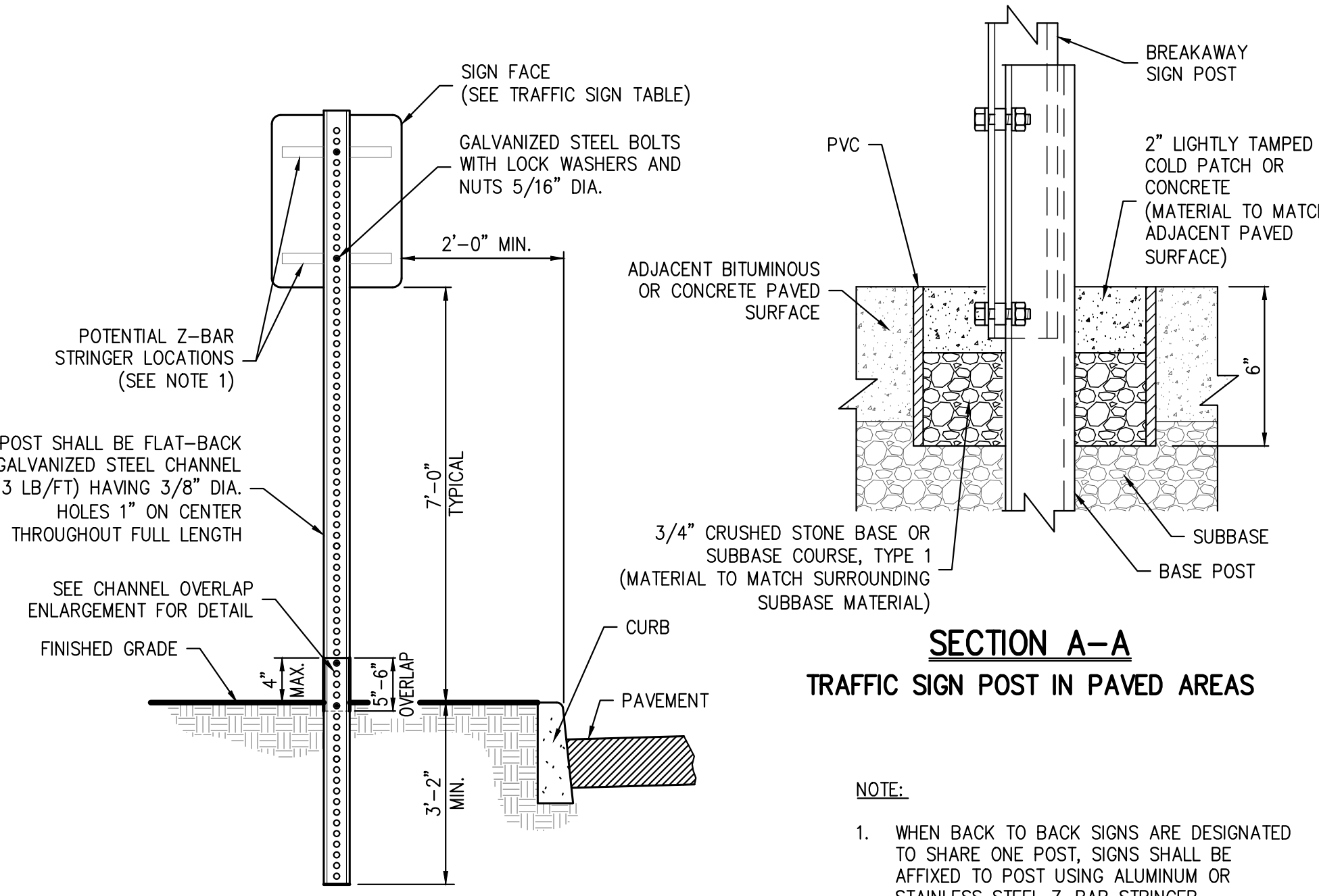


- NOTES:
1. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
  2. PROVIDE 1/2" PREMOULDED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
  3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
  4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.

CONCRETE SIDEWALK



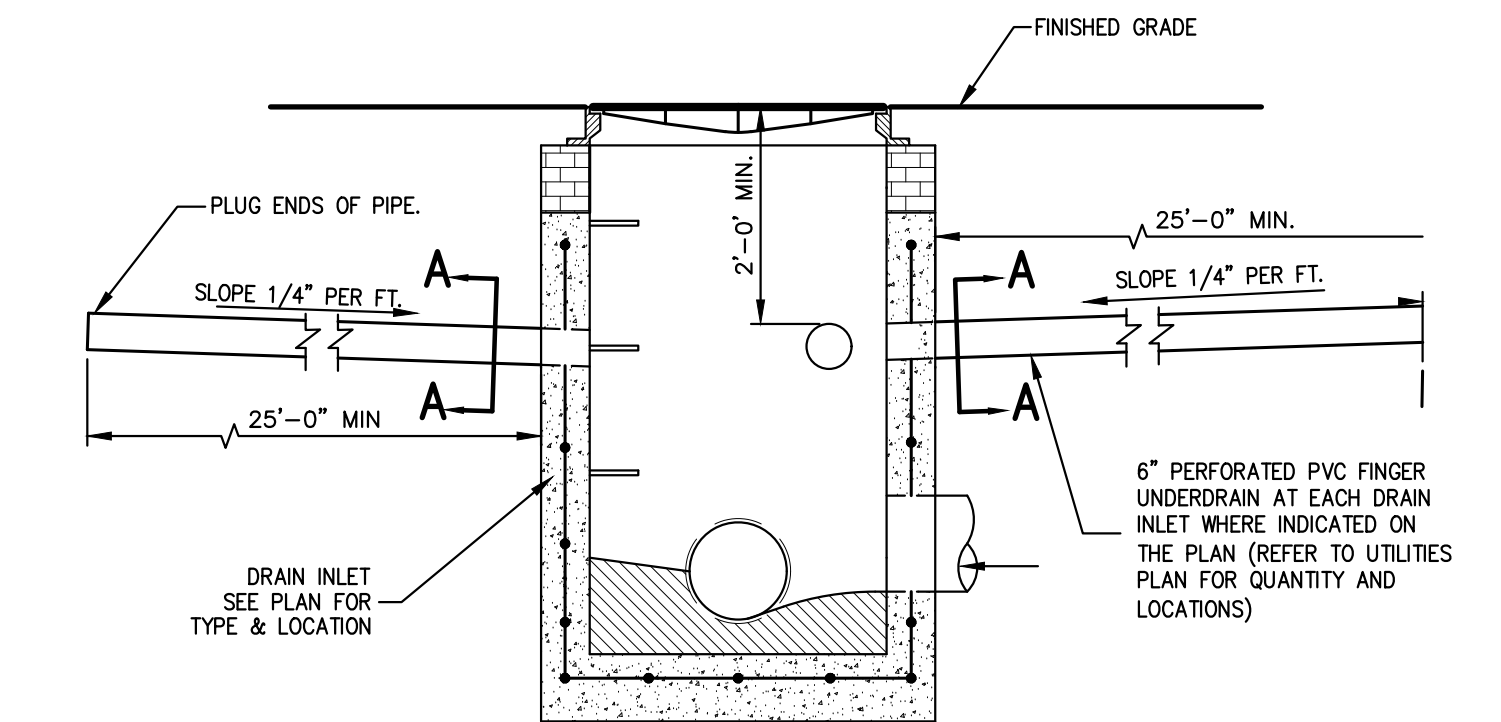
TRAFFIC SIGN POST IN PAVED AREAS



TRAFFIC SIGN POST IN PAVED AREAS

- NOTE:
1. WHEN BACK TO BACK SIGNS ARE DESIGNATED TO SHARE ONE POST, SIGNS SHALL BE ATTACHED TO POST USING ALUMINUM OR STAINLESS STEEL Z-BAR STRINGER.

TRAFFIC SIGN POST  
(BREAKAWAY STEEL CHANNEL)



FINGER UNDERDRAIN

- NOTES:
1. LOCATIONS OF FINGER DRAINS MAY VARY FROM THAT AS SHOWN DEPENDING UPON NUMBER AND SIZE OF STORM DRAIN LINES ENTERING AND EXITING THE STRUCTURE. REFER TO UTILITIES PLAN FOR LOCATION AND QUANTITY.
  2. REFER TO GEOTECHNICAL DRAWINGS.

FINGER UNDERDRAIN

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DAY-CARE CENTER

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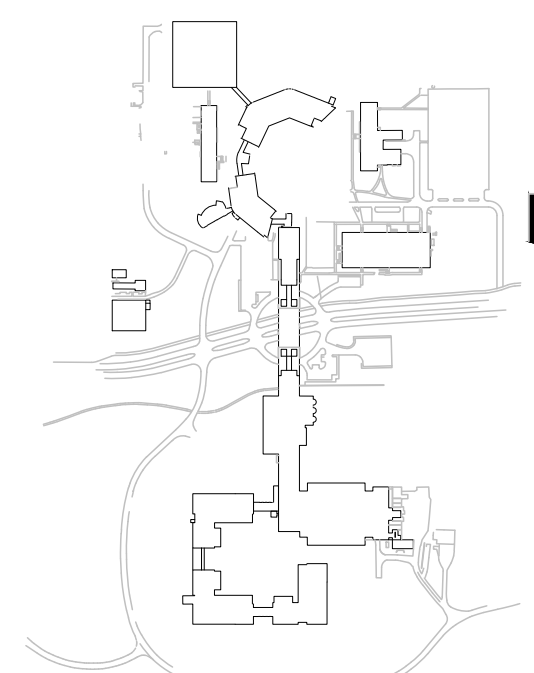
Landscape Architect (Playground):

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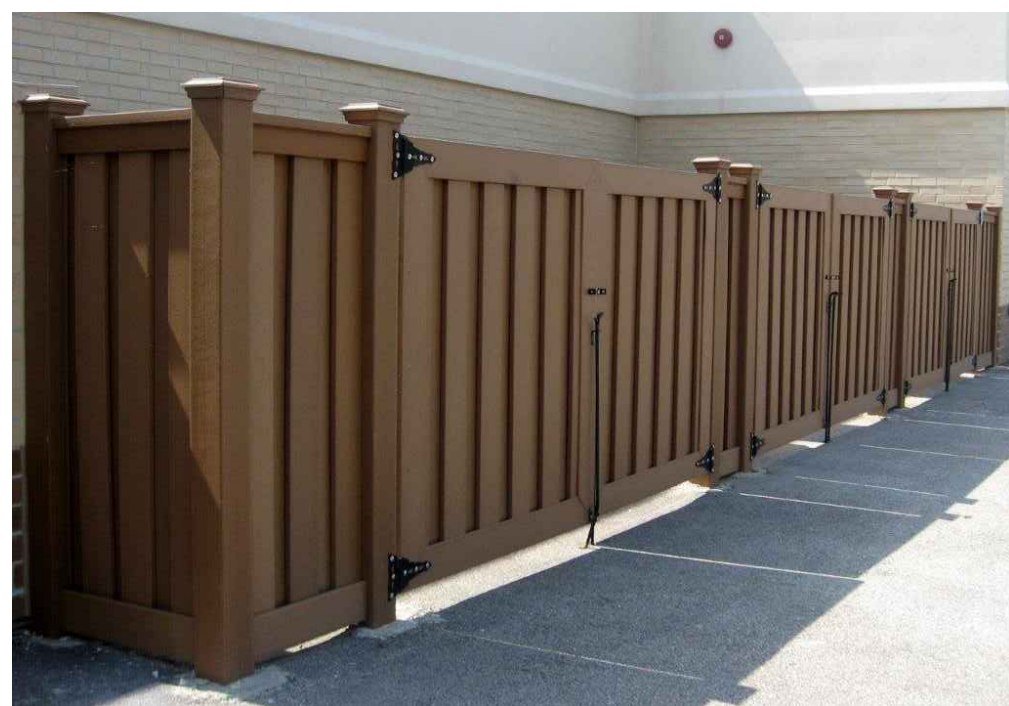
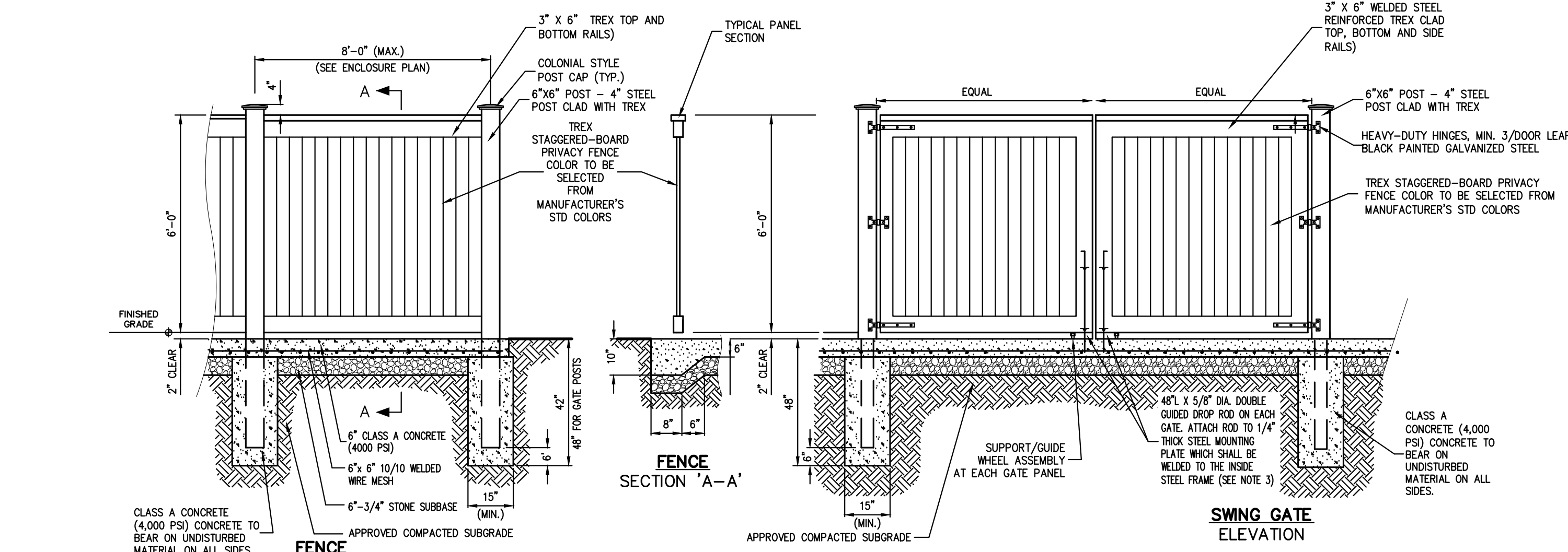
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Discipline: Civil Drawn By: TC  
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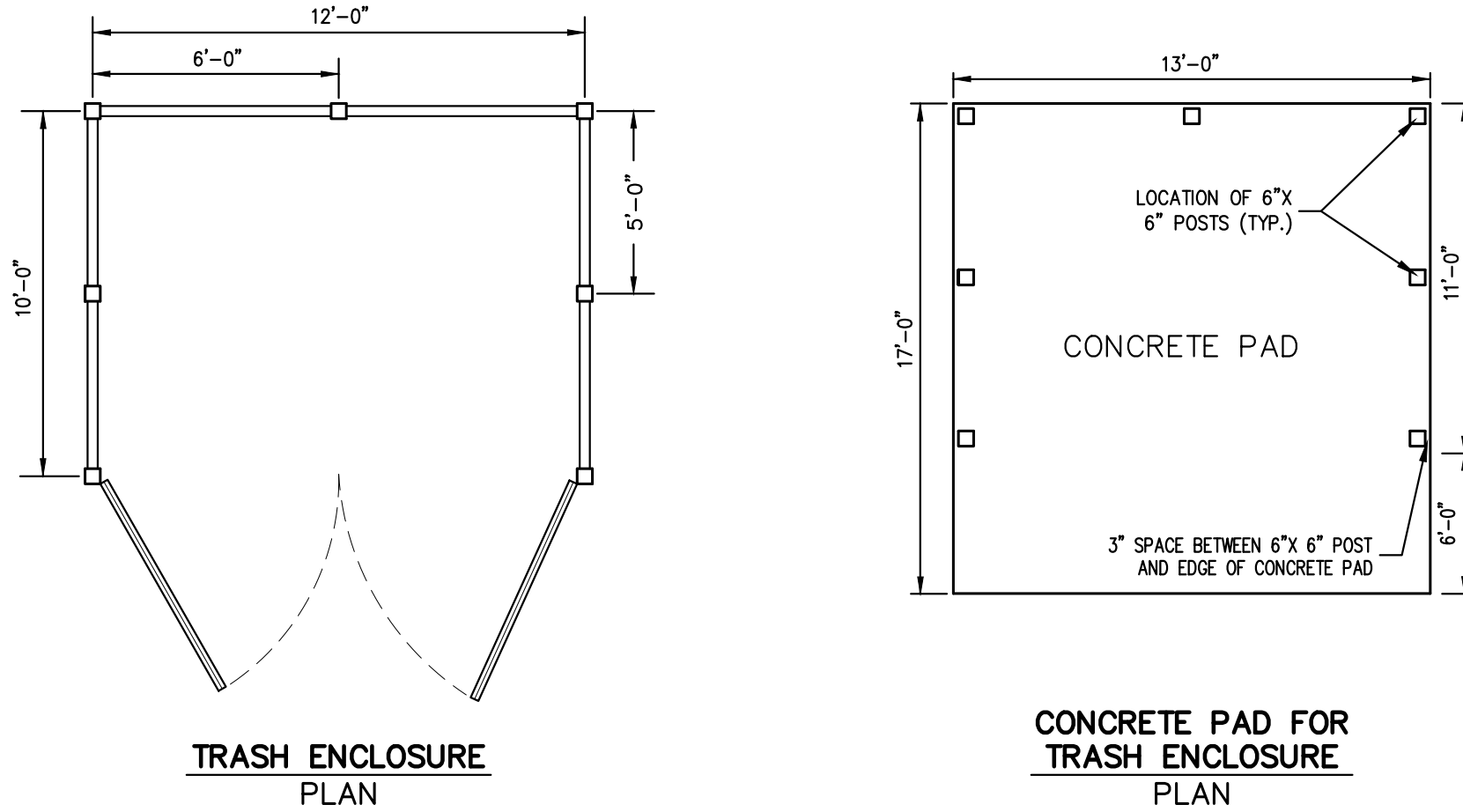
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TYPICAL FENCE IMAGE (FOR REFERENCE ONLY)

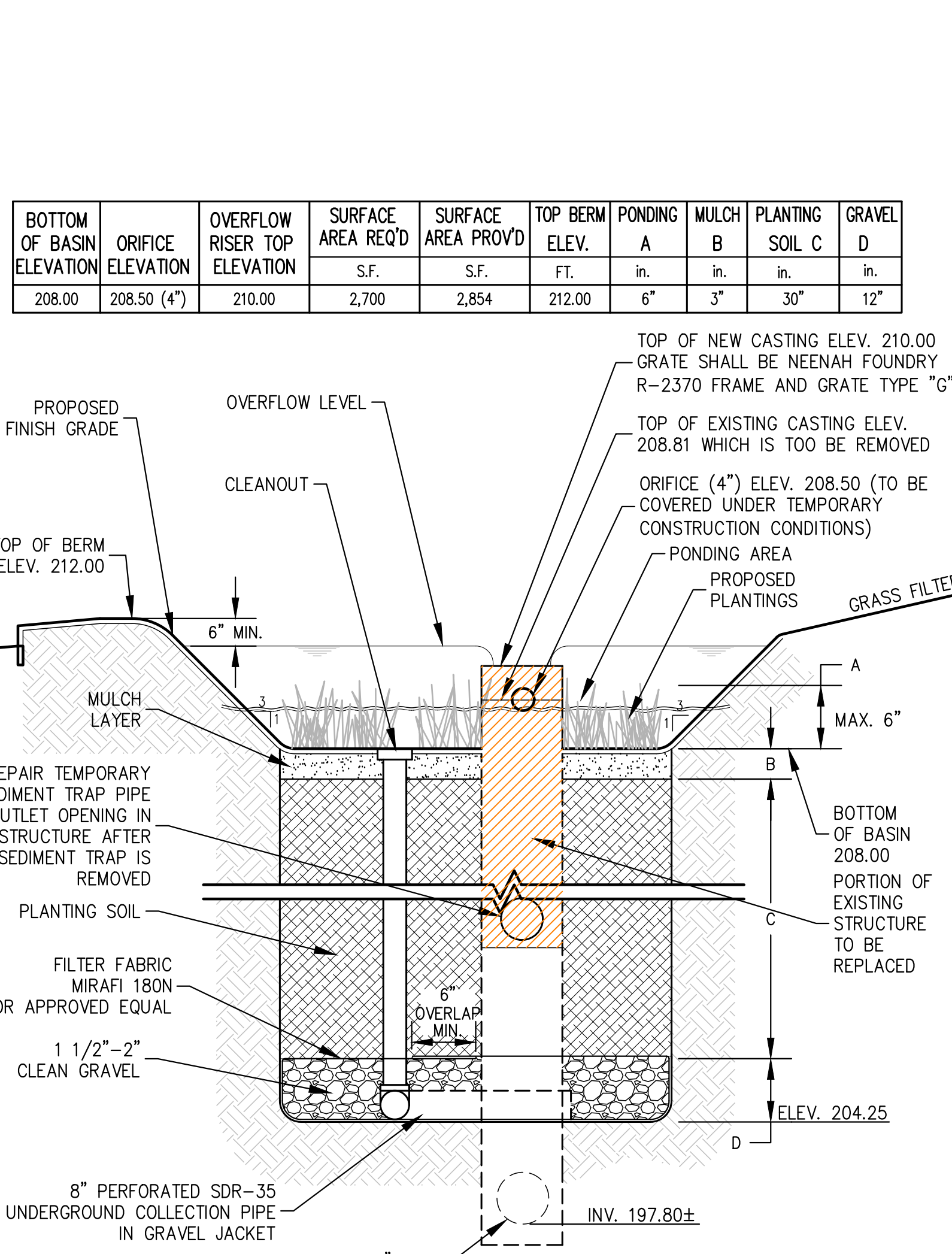
NOTES:

1. METAL FLANGES, CLEATS, BOLTS, SCREWS, ETC. SHALL BE STAINLESS STEEL OR GALVANIZED STEEL.
2. SEE SITE LAYOUT PLANS FOR LOCATION. REFER TO ELECTRICAL PLANS FOR EXACT DIMENSIONS OF GENERATOR ENCLOSURE. CONCRETE PADS FOR GENERATOR BY OTHERS.
3. CONTRACTOR SHALL DRILL TWO (2) HOLES IN THE CONCRETE TO ALLOW FOR DROP RODS TO HOLD GATES IN THE OPEN AND CLOSED POSITION.



GENERATOR ENCLOSURE / TRASH ENCLOSURE WITH CONCRETE PAD

30



NOTE:

1. SEE PLAN FOR ELEVATIONS OF BIORETENTION AREA.
2. PRIOR TO CONSTRUCTION REMOVE EXISTING CASTING AND CONFIRM TOP ELEVATION OF EXISTING STRUCTURE.
3. A NEW CONCRETE COLLAR IS TO BE FABRICATED WITH ORIFICE AND NEW GRATE TO BE PLACED ON TOP.

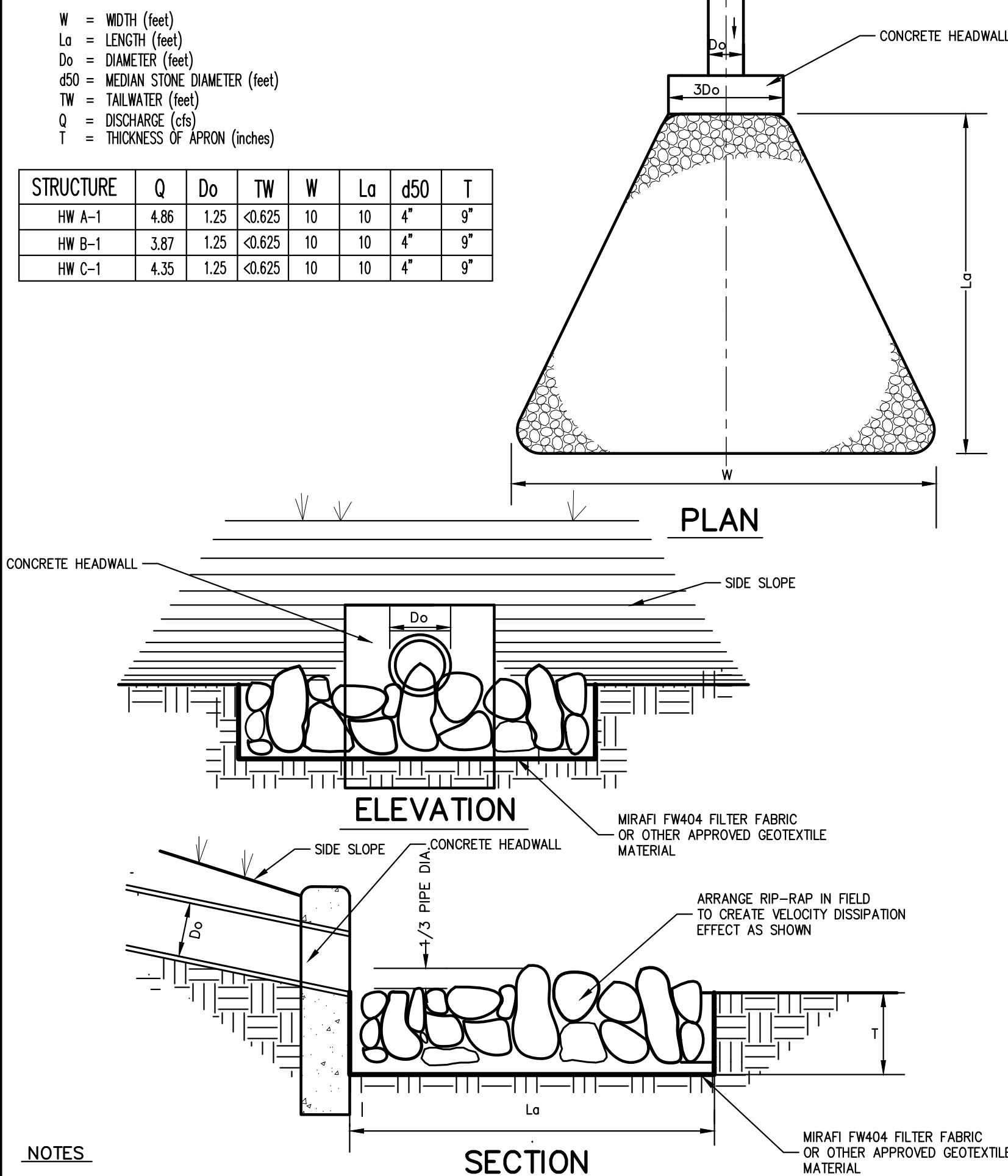
BIORETENTION BASIN

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STEEL PIPE PROTECTION POST

32

STRUCTURE	Q	Do	TW	W	Lo	d50	T
HW A-1	4.86	1.25	Ø.625	10	10	4"	9"
HW B-1	3.87	1.25	Ø.625	10	10	4"	9"
HW C-1	4.35	1.25	Ø.625	10	10	4"	9"



NOTES:

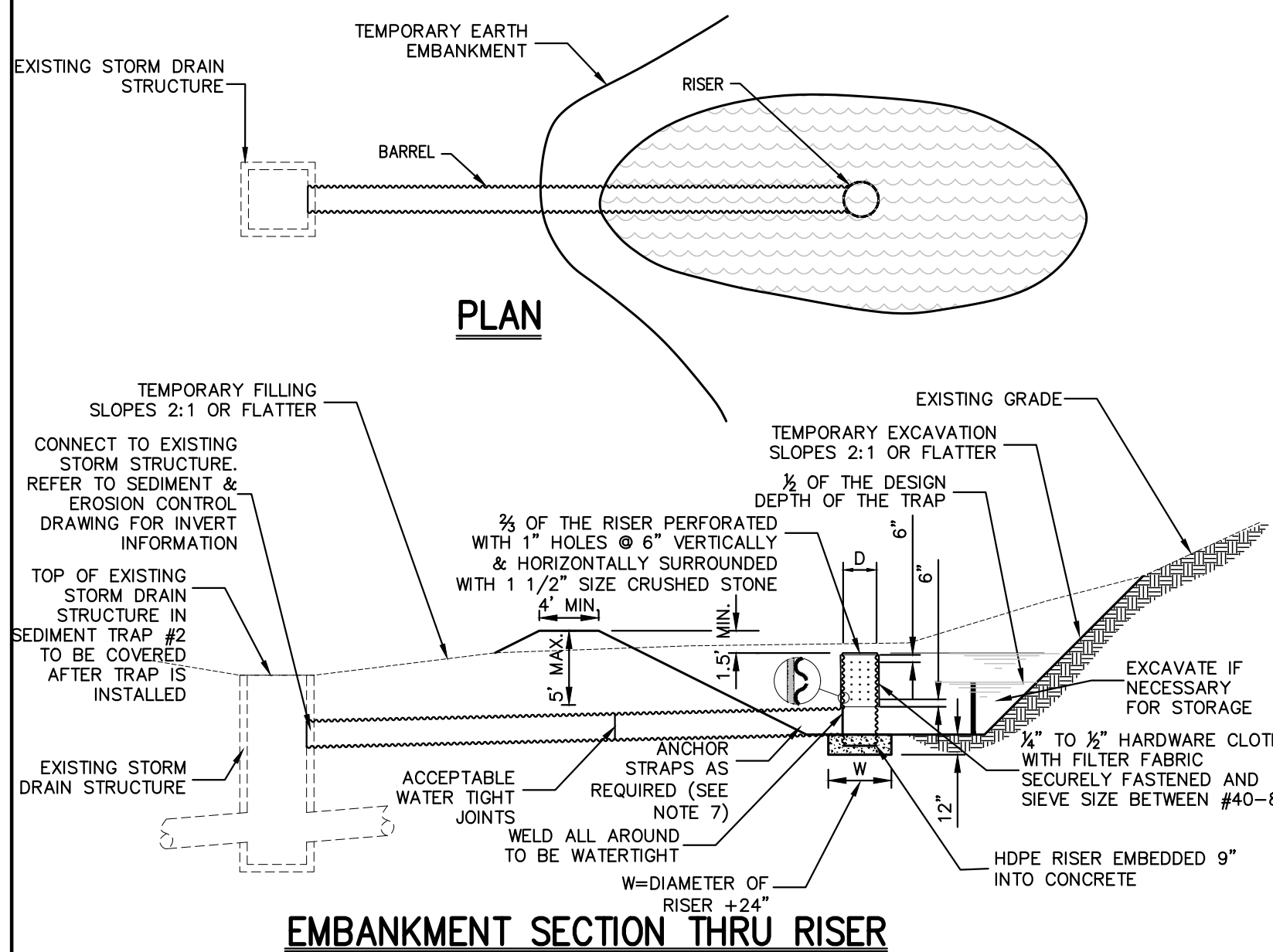
1. STONE OBTAINED FROM THE SITE EXCAVATION WHICH CONFORMS TO THE SPECIFICATIONS MAY BE USED AS RIP-RAP.
2. REFER TO HEADWALL DETAIL FOR ADDITIONAL INFORMATION.

RIP-RAP APRON/ENERGY DISSIPATOR HEADWALL

33

SEDIMENT TRAP INFORMATION						
TRAP	DRAINAGE AREA (ACRES)	STORAGE REQUIRED (CU YD)	STORAGE PROVIDED (CU YD)	OUTLET LENGTH OR PIPE SIZE	STORAGE DEPTH BELOW OUTLET OR CLEANOUT ELEVATION (FEET)	RISER/OUTLET ELEVATION (FEET)
1.	2.1	7,560	10,356	24" DIA. RISER, 18" DIA. BARREL	3	211.00
2.	2.2	7,820	10,375	24" DIA. RISER, 18" DIA. BARREL	3	209.00

SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO THE ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 3/4 OF THE DESIGN DEPTH OF TRAP #1 AND 1/3 THE DEPTH FOR TRAP #2. SEDIMENT REMOVED FROM THE TRAP SHALL BE DEPOSITED IN A PROTECTED AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

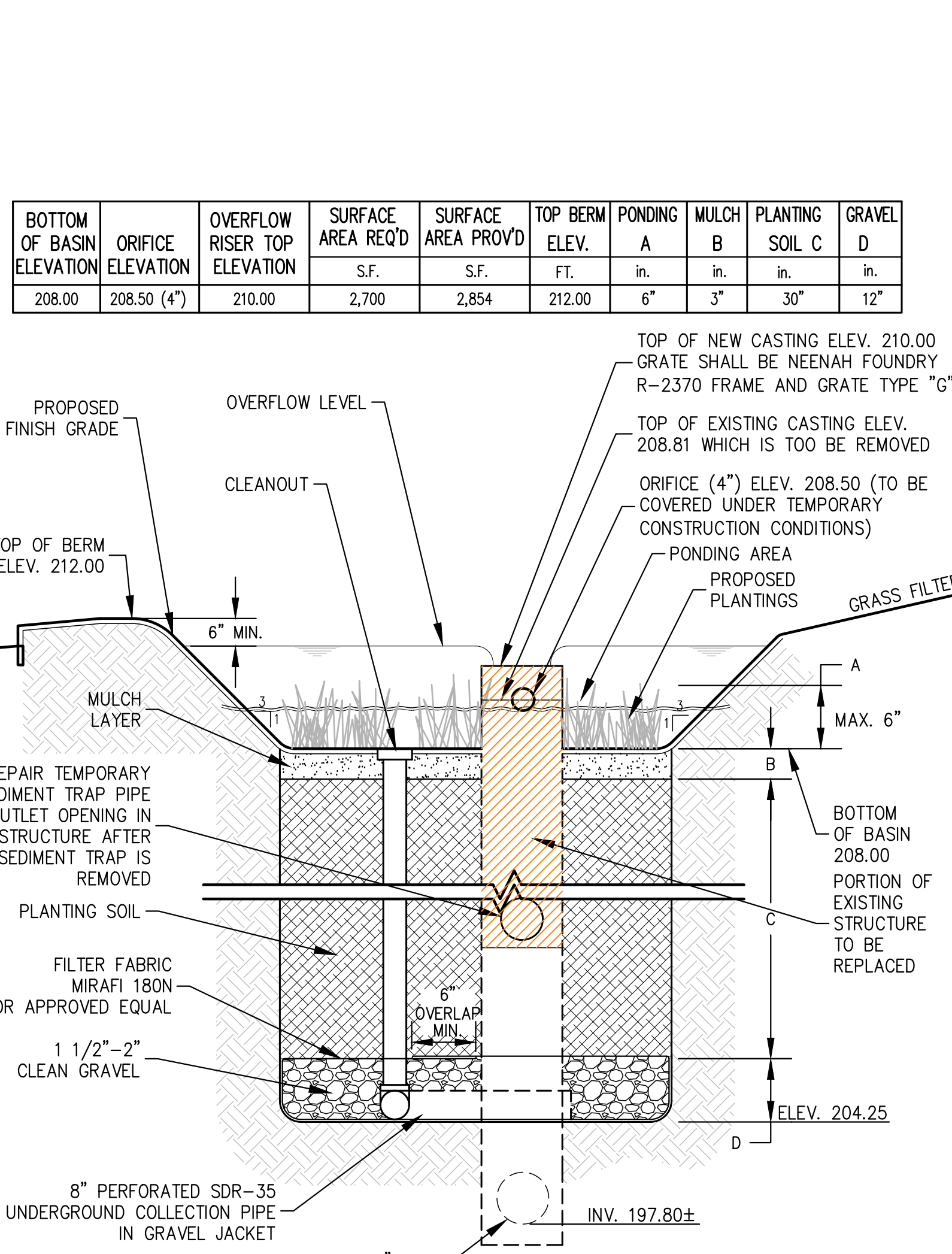


NOTES:

1. MAXIMUM DRAINAGE AREA 5 ACRES.
2. W = DIAMETER OF RISER + 24"
3. FOR THE RISER DIAMETER 18", THE NUMBER OF ORIFICE BY ROW WILL BE 8.
4. REFER TO EROSION & SEDIMENT CONTROL PLANS FOR SPECIFIC INFORMATION ON EACH SEDIMENT TRAP.
5. ALL SIDE SLOPES SHALL BE STABILIZED WITH SEED, MULCH, STONE, HYDROSEED OR OTHER ACCEPTABLE MEASURE TO PROJECT ENGINEER.
6. RISER AND OUTLET PIPES FOR TRAPS SHALL BE WATER-TIGHT HDPE PIPE.
7. ANCHOR STRAPS ARE REQUIRED IF MORE THAN 7 FEET OF PIPE IS EXPOSED IN BOTH DIRECTIONS. STRAPS SHALL BE EMBEDDED IN 36"X36"X8" CONCRETE PAD.

PIPE OUTLET SEDIMENT TRAP: ST-I

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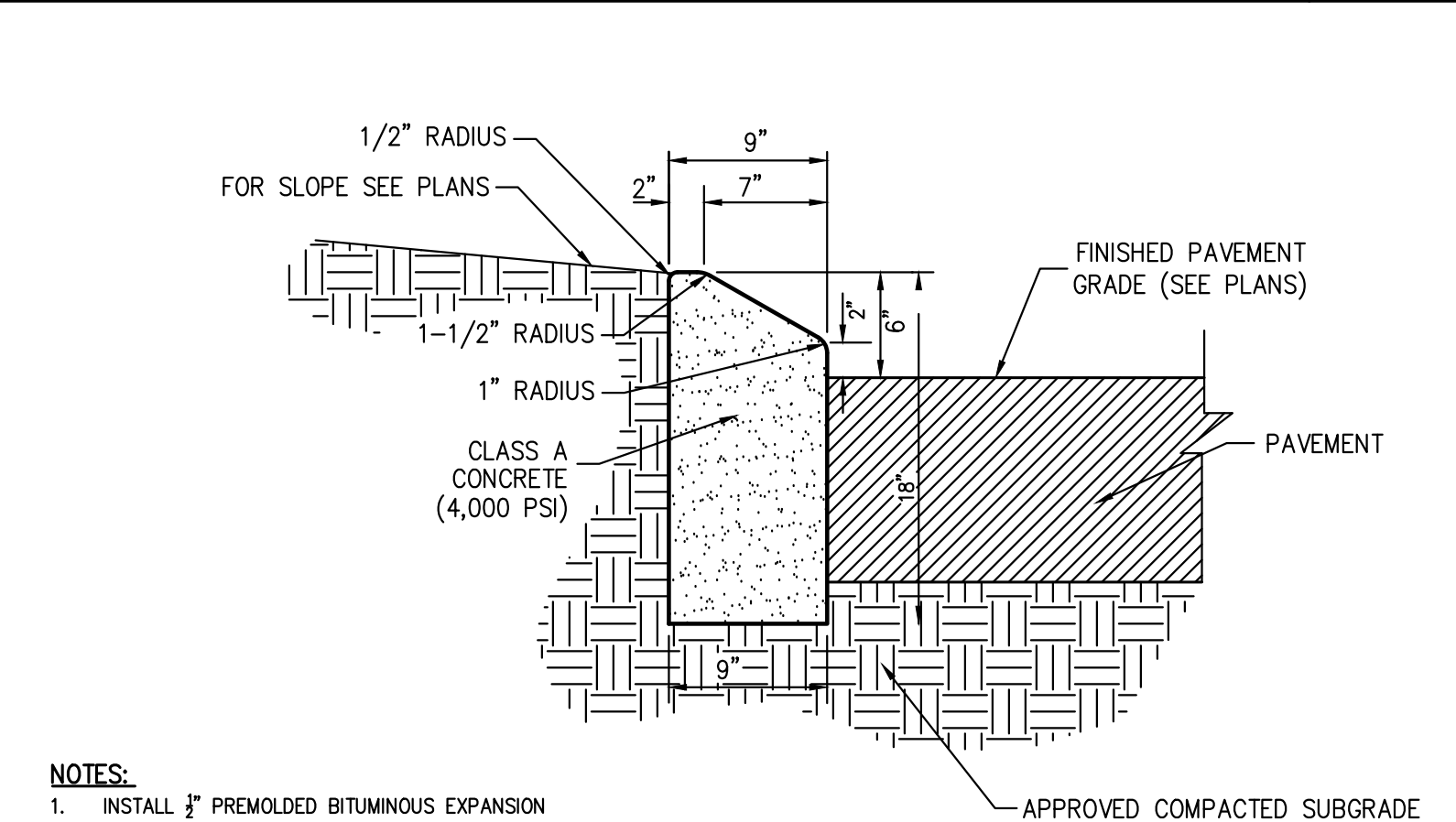


NOTE:

1. INSTALL 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET. MATCH EXPANSION JOINTS ADJACENT TO SIDEWALK.
2. INSTALL CONSTRUCTION JOINTS MIDWAY BETWEEN EXPANSION JOINT.

EXPOSED CONCRETE CURB

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NOTES:

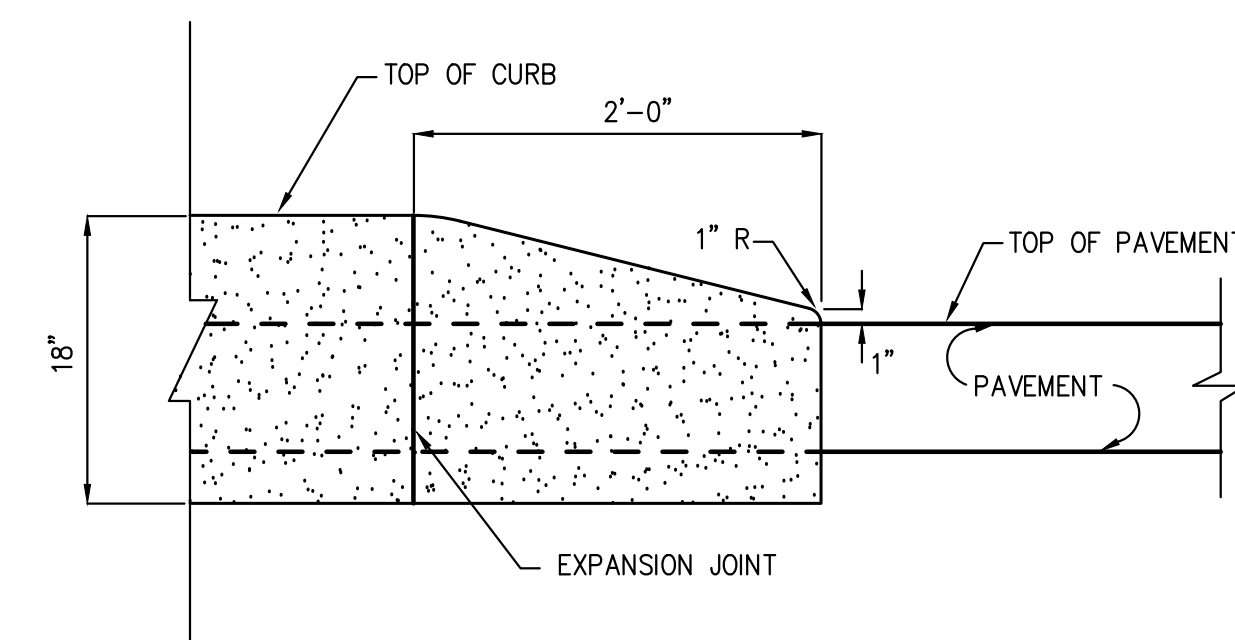
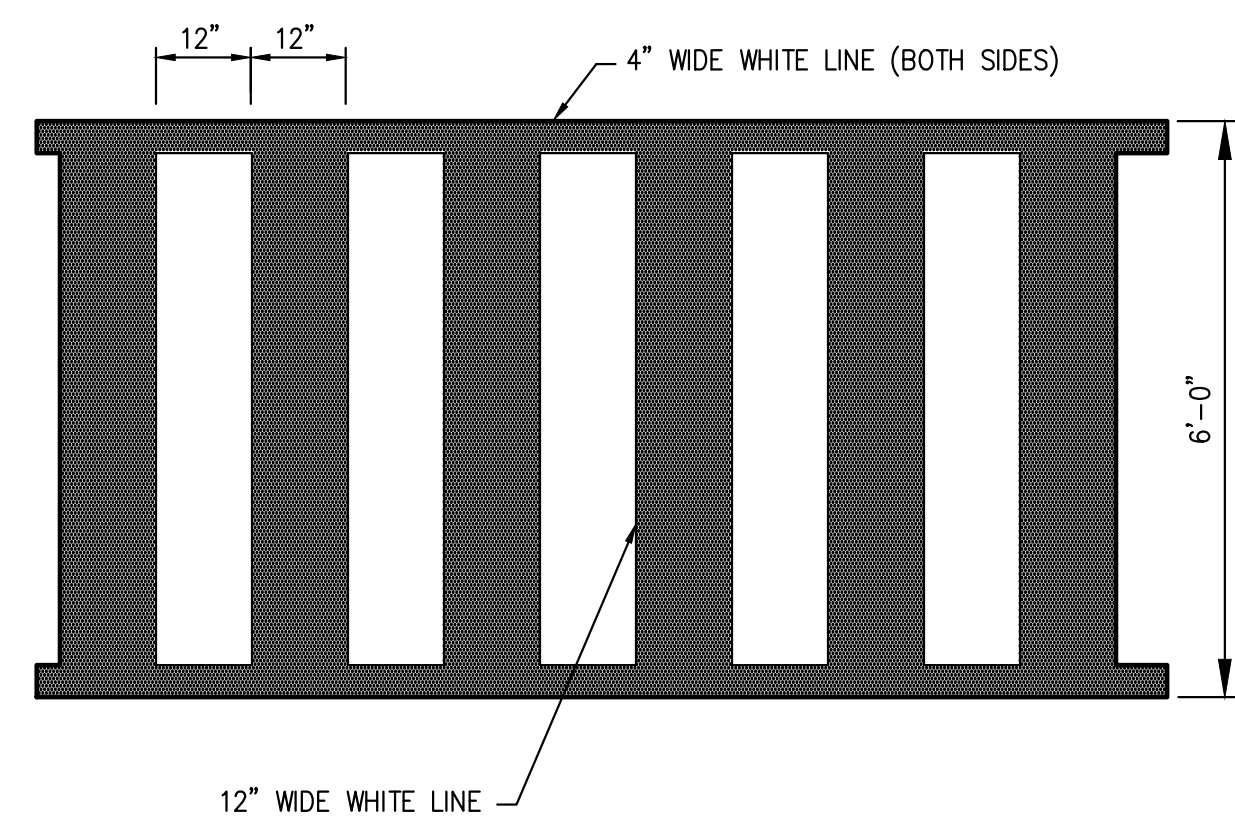
1. INSTALL 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
2. INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT THE LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
3. LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
4. WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.

MOUNTABLE CONCRETE CURB (NYSDOT TYPE M150 PROFILE)

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PEDESTRIAN CROSSING

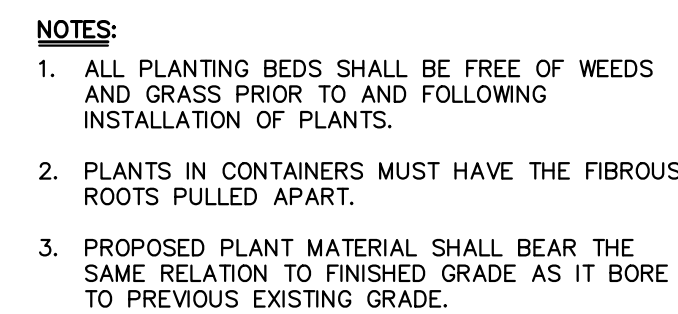
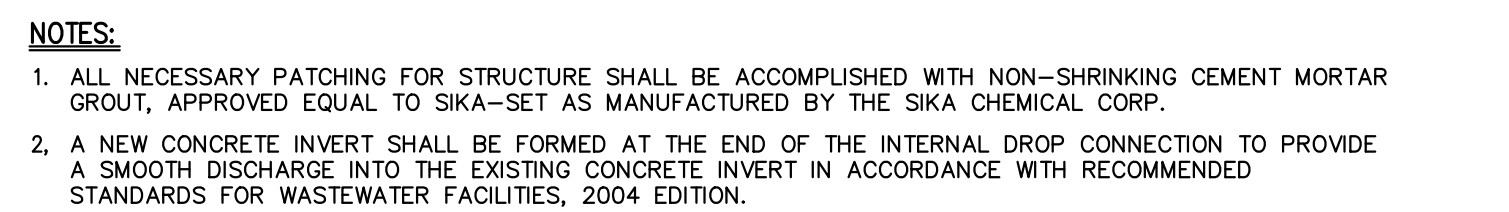
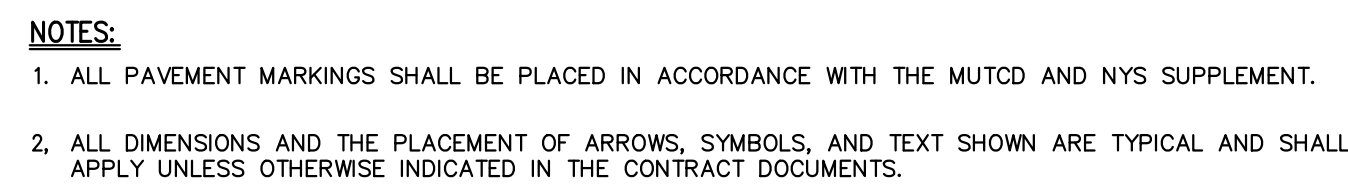
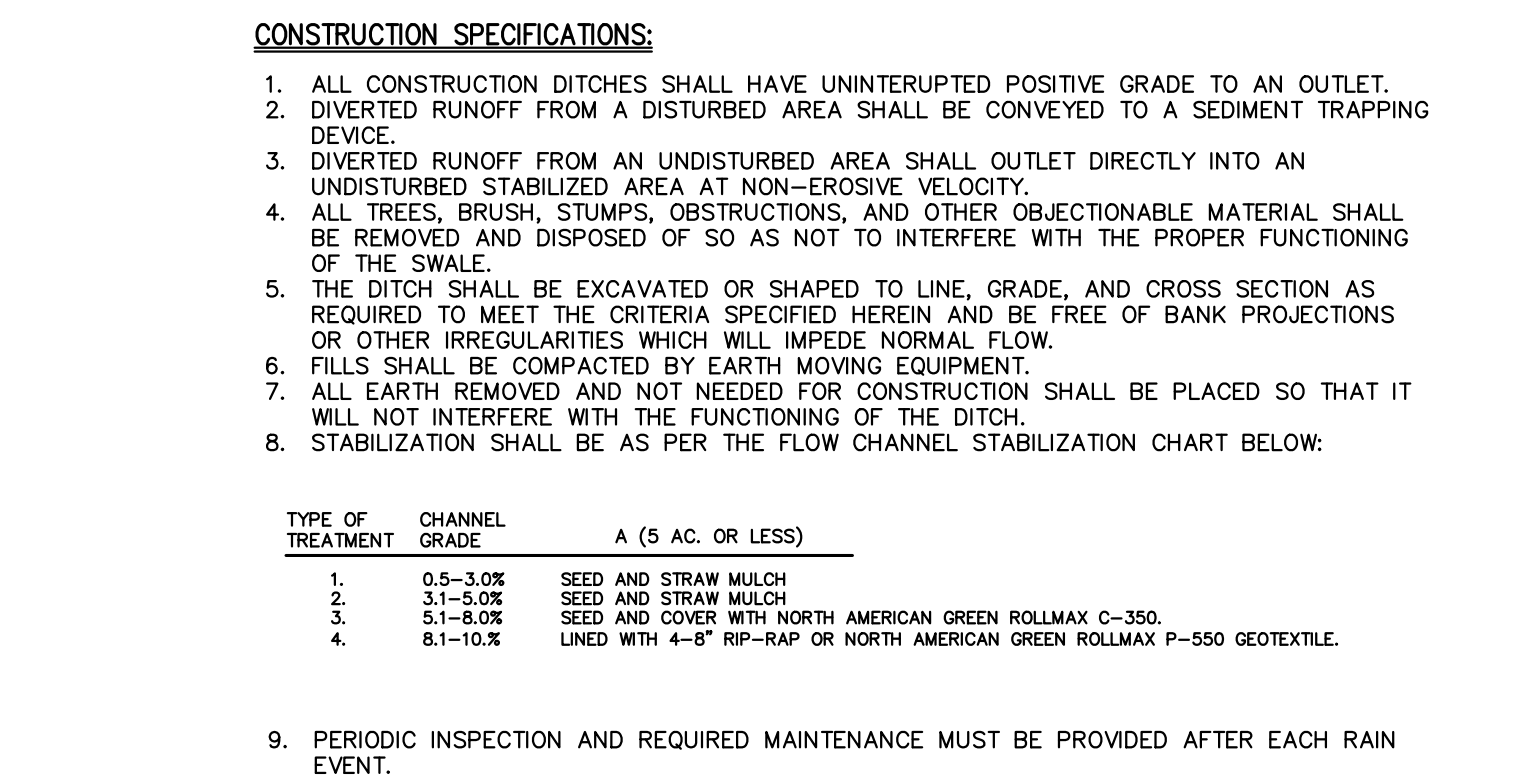
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CONCRETE CURB ENDING

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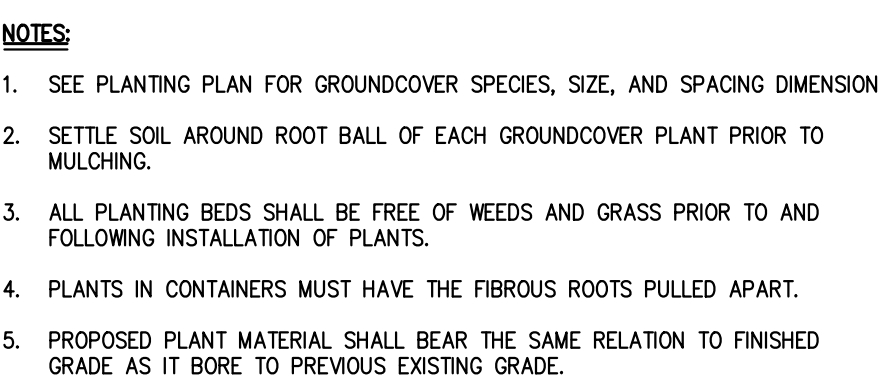


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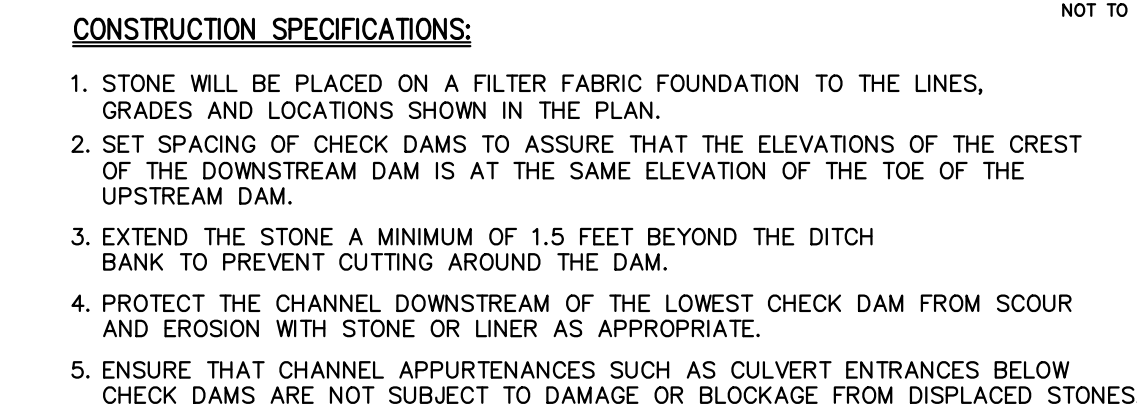
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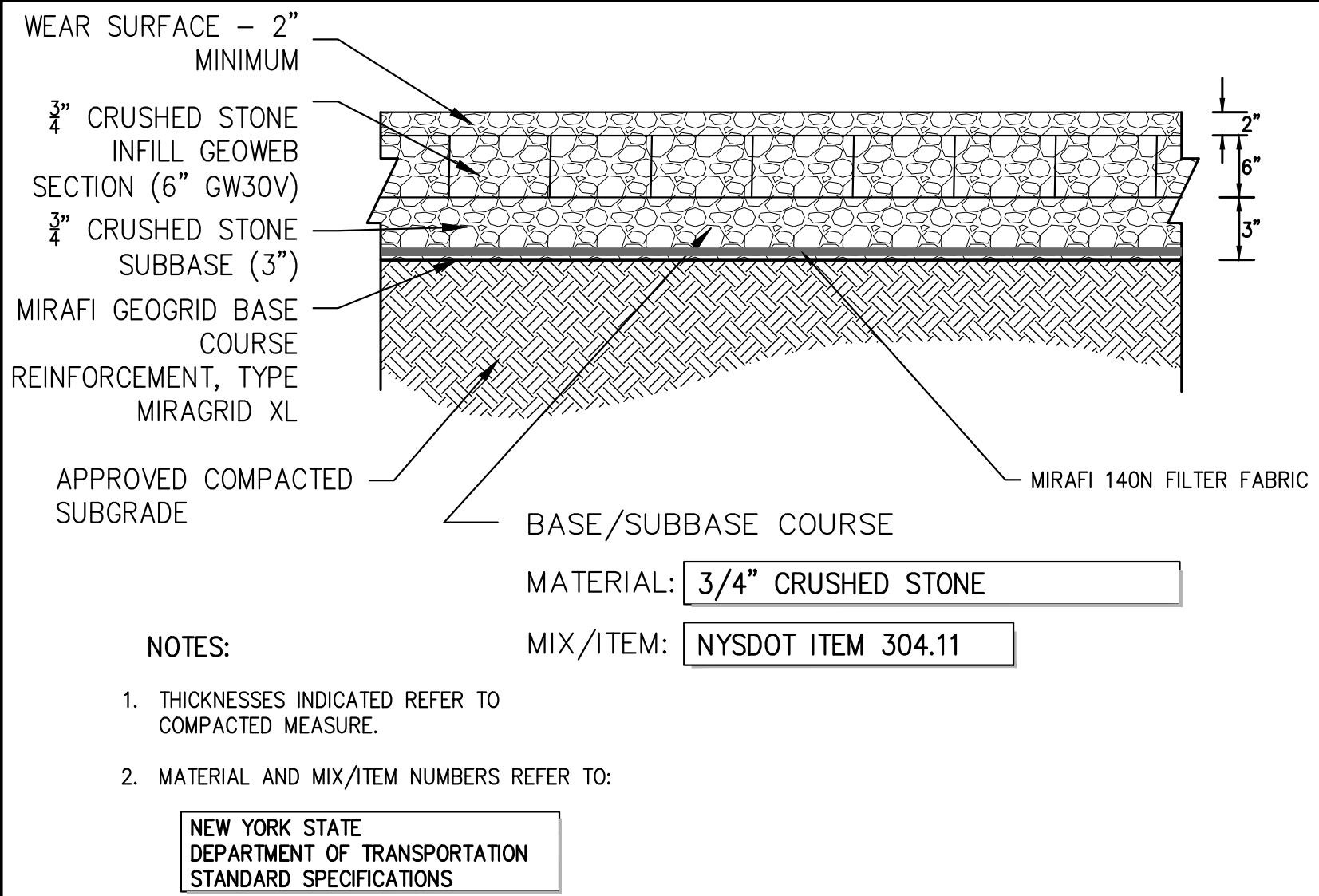


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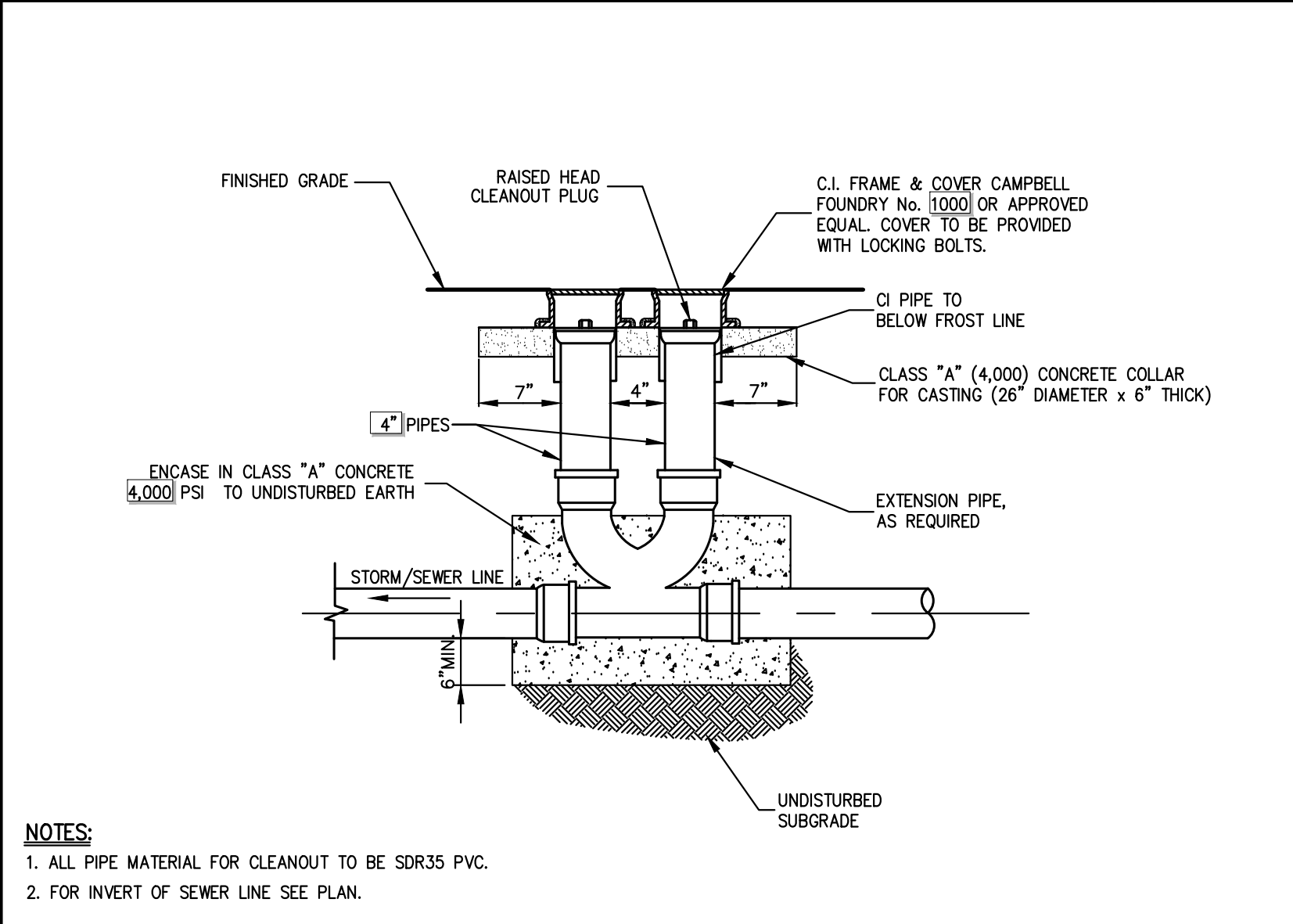


## 46

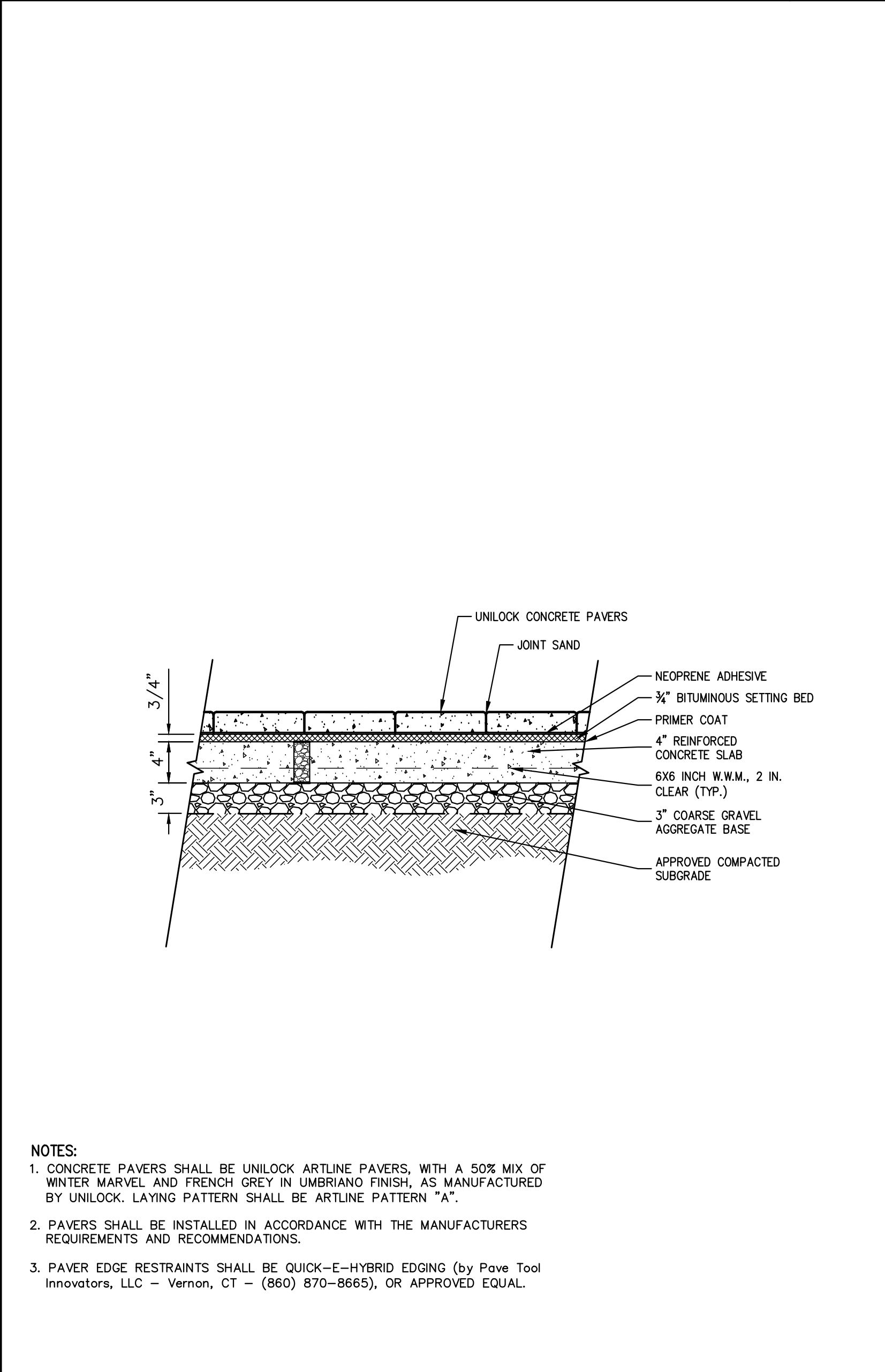




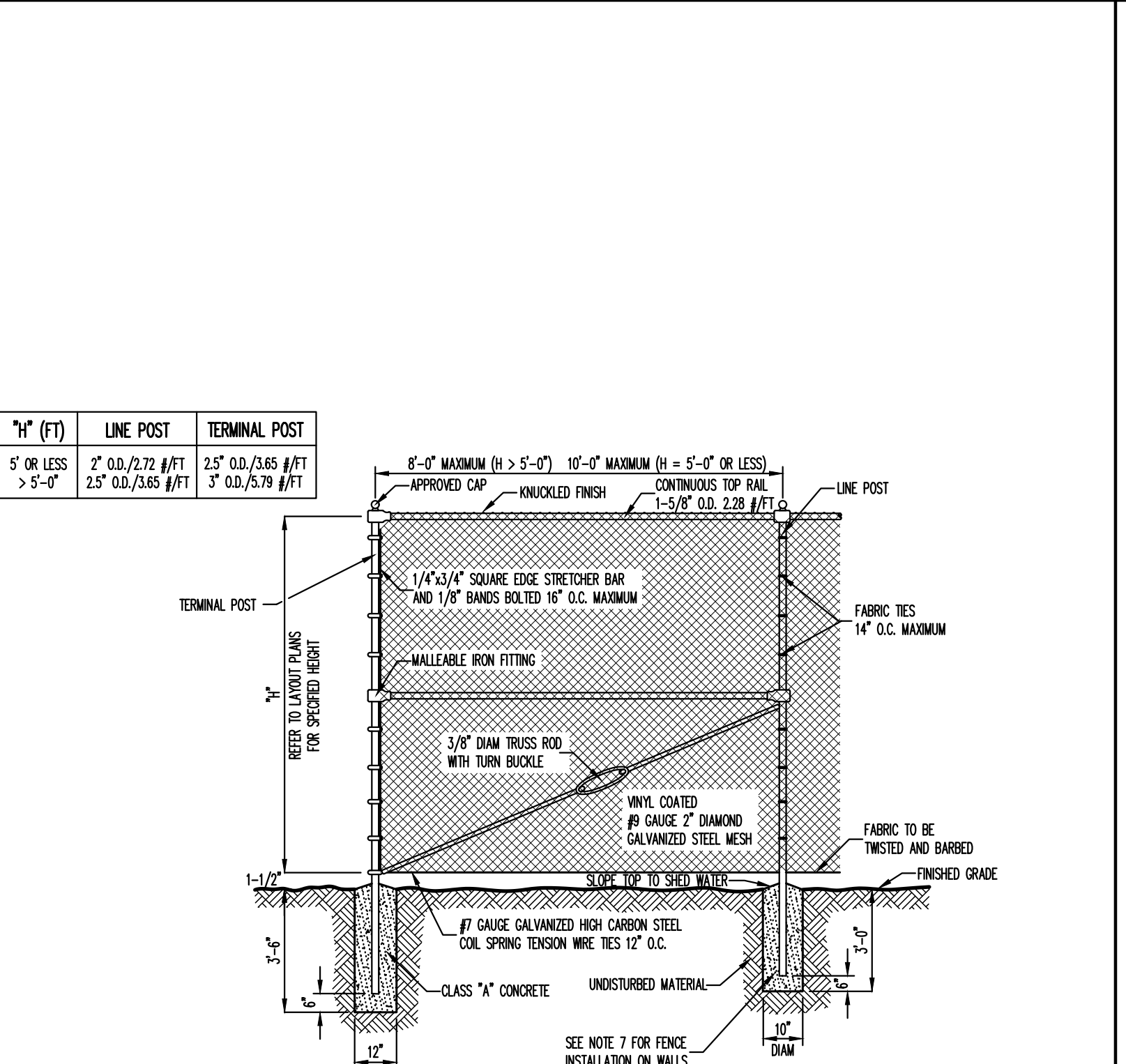
PROPOSED MAINTENANCE ACCESS PATH 47



DOUBLE HANDHOLE CLEANOUT (STORM AND SANITARY) 48

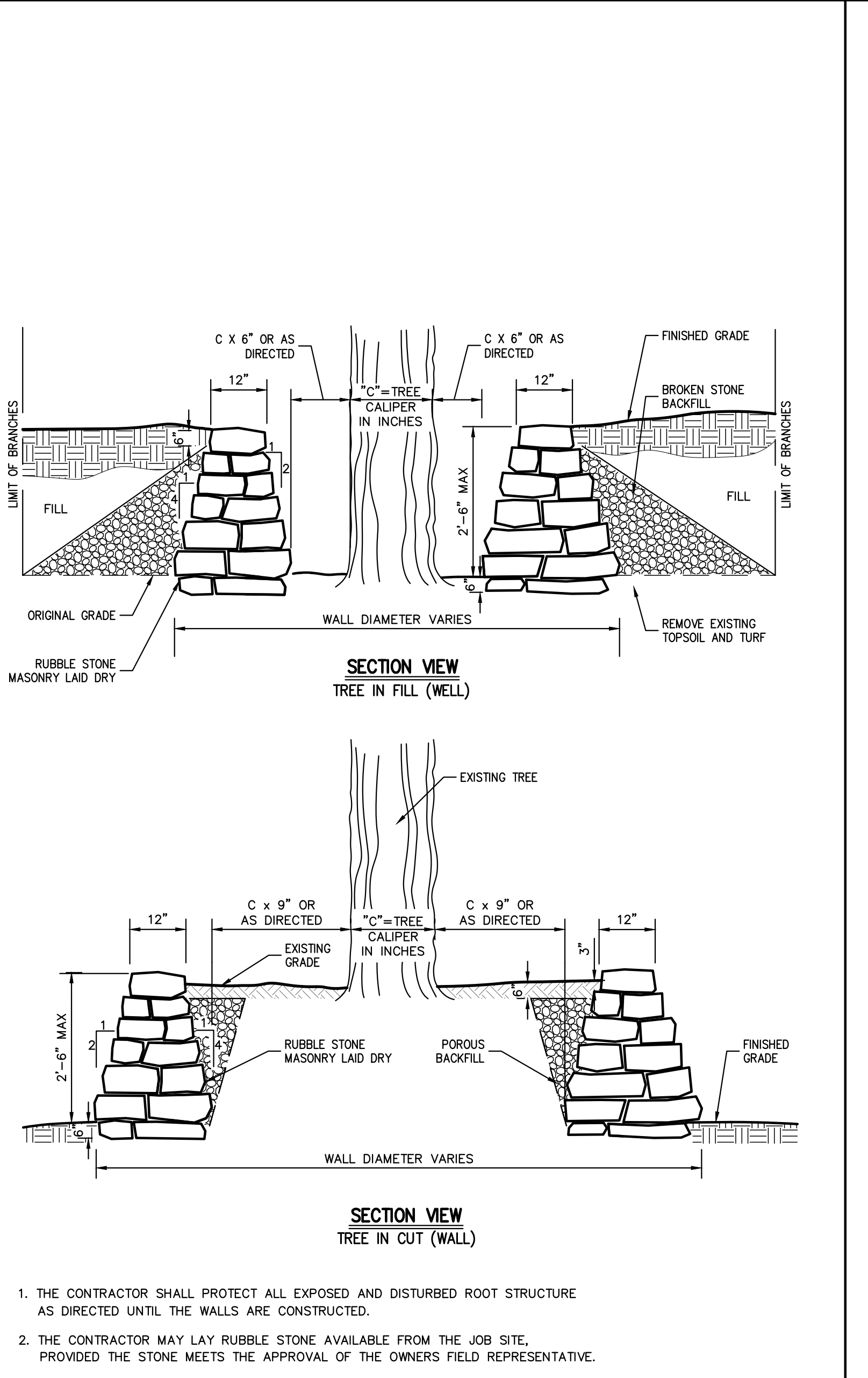


CONCRETE PAVERS (PAVER ALTERNATE ONE) 52



- NOTES:
1. ALL POSTS, RAILS, FABRIC AND ACCESSORIES SHALL BE VINYL COATED. COLOR OF VINYL COATING SHALL BE BLACK.
  2. POST AND RAILS SHALL BE STANDARD FULL WEIGHT VINYL COATED GALVANIZED SCHEDULE 40 PIPE MANUFACTURED AND GALVANIZED IN ACCORDANCE WITH ASTM A-120. ALL MATERIALS SHALL BE NEW AND FIRST CLASS AND SHALL NOT INCLUDE RECONDITIONED OR REROLLED PIPE.
  3. FITTINGS SHALL BE VINYL COATED WALLEABLE IRON FITTINGS CONFORMING TO THE REQUIREMENTS OF ASTM A-47 GALVANIZED IN ACCORDANCE WITH ASTM A-153.
  4. FABRIC SHALL BE 6 GAUGE GALVANIZED 2\"/>
  5. TENSION WIRE SHALL BE VINYL COATED 7 GAUGE MEETING THE REQUIREMENTS OF ASTM A-641 AS MODIFIED HEREIN. THE TENSILE STRENGTH SHALL BE AT LEAST 80,000 PSI WITH A GALVANIZED COATING OF NOT LESS THAN 0.7 OZ. PER SQUARE FOOT.
  6. FABRIC TIES SHALL BE MINIMUM 9 GAUGE VINYL COATED GALVANIZED STEEL OR ALUMINUM. MINIMUM SPACING SHALL BE AS FOLLOWS:  
A. 14\"/>
  7. WHERE CHAIN LINK FENCE IS TO BE INSTALLED ON WALLS, THE FENCE POSTS SHALL BE IMBEDDED A MINIMUM OF TWELVE (12) INCHES IN THE WALL. NEWLY CONSTRUCTED WALLS SHALL BE PROVIDED WITH PROPER SIZE SLEEVES TO ACCOMMODATE FENCE POSTS. FENCE POSTS SHALL BE SECURELY GROUTED IN PLACE USING AN APPROVED HIGH STRENGTH, NON-SHRINKING, NON-STAINING GROUT.
  8. THE CONTRACTOR WILL BE REQUIRED TO SUBMIT SHOP AND ERECTION DRAWINGS INDICATING MATERIALS, SIZES AND DIMENSIONS OF FENCING TO THE OWNER'S FIELD REPRESENTATIVE PRIOR TO ORDERING MATERIALS FOR HIS REVIEW AND APPROVAL.
  9. PRIOR TO INSTALLATION OF THE FENCE, THE CONTRACTOR SHALL CHECK THE FENCE LAYOUT WITH THE OWNER'S FIELD REPRESENTATIVE, WHO MUST APPROVE THE LAYOUT BEFORE ANY OF THE WORK IS TO BE DONE.

CHAIN LINK FENCE (VINYL COATED) 49



TREE WELL AND WALL 50

Owner's Manual & Installation Guide

JuiceBar Gen 3  
Level 2  
Electric Vehicle Supply Equipment (EVSE)

INSTALLATION REQUIREMENTS

**MOUNTING INSTRUCTIONS** (continued)

**Precast Foundation**

For simplicity of installation, JuiceBar can provide a standard precast foundation (sold separately) that can be shipped within certain regions. The casting specifications can also be provided to your local foundry.

- The JuiceBar precast foundation measures 1' round by 4' tall.
- The data & power conduits are included and exit the foundation at a depth of 18 inches.
- Check local code for required conduit depth.
- The stainless steel anchor bolts are pre installed.
- The package will include washers and nuts to secure the JuiceBar unit.
- The foundation weighs 400lbs.

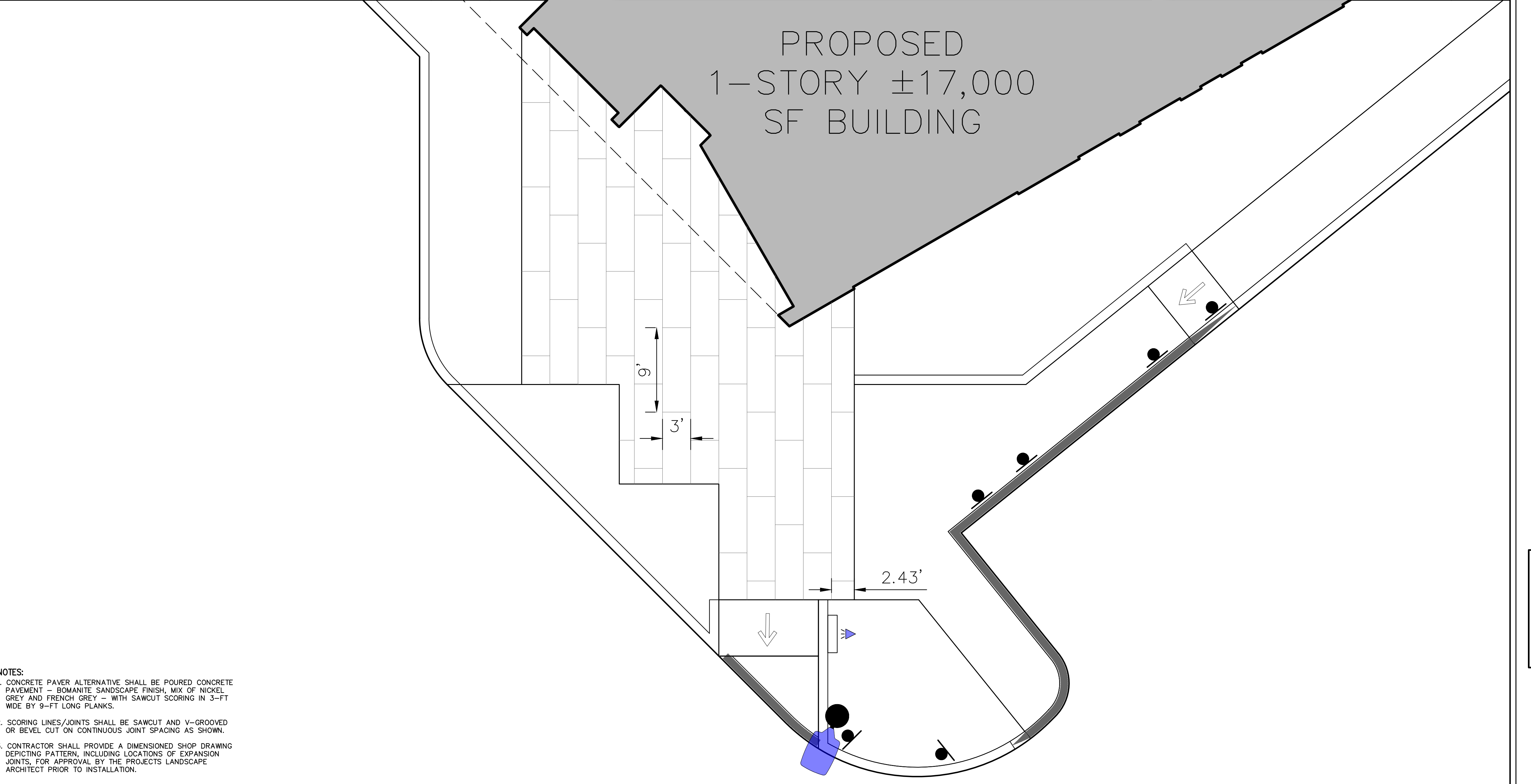
REFER TO MANUFACTURER'S SPECIFICATIONS AND INSTALLATION GUIDELINES FOR DETAILS ON THE ANCHOR BOLTS, CONDUIT, ETC.

EV CHARGER MODEL # IS J83.0-402 DUAL CONNECTOR CHARGER.

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EV CHARGER FOUNDATION 51



POURED CONCRETE PAVEMENT (PAVER ALTERNATE TWO) 53

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Tarrytown, NY 10591-6707  
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BUILDING #17  
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1 06/20/2022 100% CONSTRUCTION DOCUMENTS

2 07/01/2022 100% CONSTRUCTION DOCUMENTS - 1

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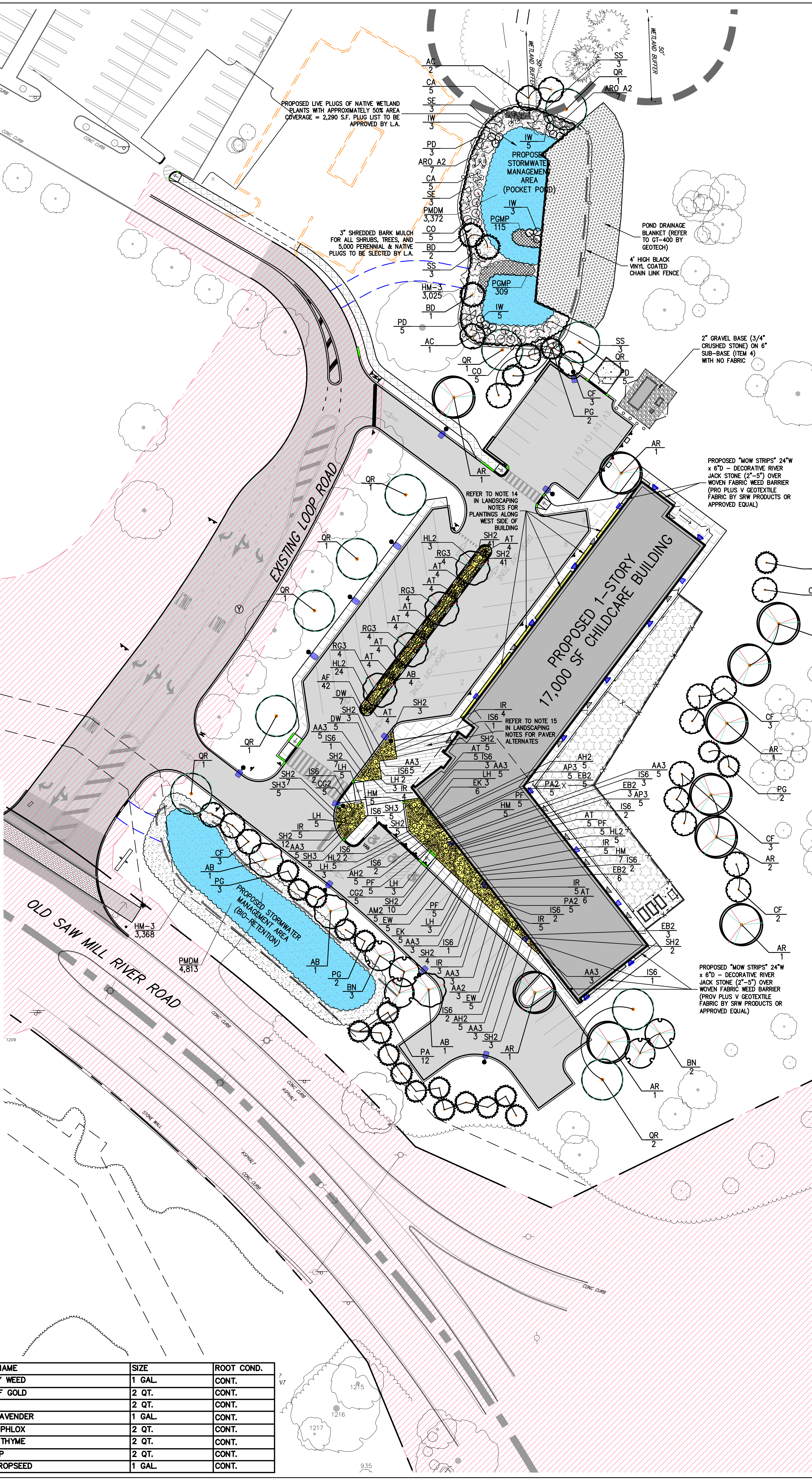


20090-3-LAND.dwg LAND:ISS: J.LAND:JLF

LANDSCAPING NOTES:

1. ALL PLANT MATERIAL SHALL BE FIRST QUALITY NURSERY STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY, AND SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY AMERICAN HORT (AND 2001), LATEST EDITION.
2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
3. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF CLEAN, NON-DYED, TOXIC FREE, ORGANIC MATERIAL, CONSISTING OF SHREDDED HARDWOOD, ROTT MUCK, SHREDDED CEDAR OR BARK CHIPS.
4. PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.
5. ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
6. ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND ALL AUTHORITIES HAVING JURISDICTION.
7. PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGURING DEFECTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
8. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
9. ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED. SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIAL.
10. ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.
11. ALL DISTURBED AREAS THAT ARE NOT IDENTIFIED WITH A SPECIFIC SEED MIX, SHALL BE A DROUGHT TOLERANT LAWN MIX TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
12. ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTOR'S WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO THE OWNER.
13. PERENNIALS AND ORNAMENTAL GRASSES @ 1 GAL. EACH TO COVER 1,072 S.F. ALONG THE SOUTHWEST FACE OF THE BUILDING @ 2" TO 3" SPACING FOR A TOTAL OF 500 1-GALLON PLANTS TO BE SELECTED BY THE L.A. - SEE PLANS.
14. PLUGS IN POCKET POND SHALL BE @ 1' SPACING FOR A TOTAL OF 2,900 PLUGS, LIST TO BE APPROVED BY L.A. PRIOR TO ORDERING.
15. PAVEMENT ALTERNATES:
  - 15.1. ALTERNATE ONE: CONCRETE PAVERS SHALL BE UNLOCK ARTLINE PAVERS, WITH A 50% MIX OF WINTER MARBLE AND FRENCH GREY IN UNBROKEN FINISH.
  - 15.2. ALTERNATE TWO: CONCRETE PAVEMENT ALTERNATIVE SHALL BE POURED CONCRETE PAVEMENT - ROMANIAN SANDSCAPE FINISH, MIX OF NICOLE GREY AND FRENCH GREY - WITH SAWCUT SCORING IN 3-FT WIDE BY 9-FT LONG PLANKS.
16. THE CONTRACTOR SHALL SUPPLY THE FOLLOWING PLANT MATERIAL TO BE PLACED IN THE FIELD BY THE LANDSCAPE ARCHITECT AS FOLLOWS:

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.
15	ASCLEPIAS TUBEROSA	BUTTERFLY WEED	1 GAL.	CONT.
25	AURINIA SAXATILIS 'COMPACTA'	BASKET OF GOLD	2 QT.	CONT.
25	DIANTHUS FIREWITCH	PINKS	2 QT.	CONT.
10	LA VANDULA HIDECOTE	ENGLISH LAVENDER	1 GAL.	CONT.
25	PHLOX STOLONIFERA	CREEPING PHLOX	2 QT.	CONT.
35	THYMUS SERPYLLUM	CREEPING THYME	2 QT.	CONT.
35	SEDUM TERNATUM	STONECROP	2 QT.	CONT.
30	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL.	CONT.



LEGEND	
	PROPOSED DECIDUOUS TREE
	PROPOSED ORNAMENTAL/FLOWERING TREE
	PROPOSED EVERGREEN TREE
	PROPOSED SHRUBS
	PROPOSED PERENNIAL AND ORNAMENTAL GRASS PLANTS 1 GAL. EACH
	PRAIRIE MOON DETENTION BASIN SEED MIX WITH SEED ENHANCEMENT FOR WETTER SOILS (PMDM)
	PROPOSED HM-3 MIX
	AREA OF DRP IRRIGATION

TREE REPLACEMENT CALCULATIONS	
DENSITY FACTOR FOR SITE: DFC = 5.10 AC * 15 = 76.50	
EXISTING DENSITY FACTOR: EDF = (TWELVE 10" TREES * 0.6) + (EIGHT 12" TREES * 0.8) + (SEVEN 14" TREES * 1.1) + (TEN 16" TREES * 1.4) + (TEN 18" TREES * 1.8) + (SIX 20" TREES * 2.2) + (EIGHT 22" TREES * 2.6) + (NINE 24" TREES * 3.1) + (TWO 26" TREES * 3.7) + (THREE 28" TREES * 4.3) + (THREE 30" TREES * 4.8) + (THREE 32" TREES * 5.5) + (THREE 36" TREES * 7.0) + (THREE 38" TREES * 7.5) + (THREE +40" TREES * 8.0) = 234.20	
REQUIRED REPLACEMENT DENSITY FACTOR: RDF = 76.50 - 234.20 = -157.70	
PROPOSED REPLACEMENT DENSITY FACTOR: PDF = (6 PA * 0.7) + (10 PG * 0.7) + (7 AB * 0.7) + (9 AR * 0.5) + (6 BN * 0.7) + (15 CF * 0.7) + (8 QR * 0.5) = 39.3	

- SEED MIX NOTES:**
- PMDM DETENTION BASIN SEED MIX (80% - 9.39 LBS/AC) WITH SEED MIX ENHANCEMENT FOR WETTER SOILS (20% - 2.03 LBS/AC) BY PRAIRIE MOON NURSERY, WINONA, MN (886) 417-8156. FOR A COVER CROP USE ONE OF THE FOLLOWING:  
- GRAIN RYE (SEP-APR; 30 LBS/AC),  
- JAPANESE MILLET (MAY-AUG; 10 LBS/AC), OR  
- BARNYARD GRASS (MAY-AUG; 10 LBS/AC),  
AND/OR AS PER THE MANUFACTURER'S RECOMMENDATION FOR AN APPROPRIATE COVER CROP.
- HM-3 NYSDEC STORMWATER BASIN MIX #3 [HERBACEOUS] (20-40 LBS/ACRE OR 1 LB PER 1,000 SF)  
ELYMUS RIPARIUS (RIVERBANK WILD RICE)(20%)  
ELYMUS VIRGINICUS (VIRGINIA WILD RYE)(20%)  
POA PALUSTRIS (FOWL BLUEGRASS)(20%)  
Panicum CANDESTRUM (DEER TONGUE)(10%)  
Panicum VIRGATUM (SWITCHGRASS)(10%)  
Senna HEBECARPA (WILD SENNA)(10%)  
ANDROPOGON GERARDI (BIG BLUESTEM)(2%)  
DESCHAMPSIA CAESPITOSA (TUFTED HAIRGRASS)(2%)  
GLYCERIA STRIATA (FOWL MANNAGRASS)(2%)  
LOBELIA CARDINALIS (CARDINAL FLOWER)(2%)  
JUNCUS EFFUSUS (SOFT RUSH)(1%)  
POLYGONUM SPP. (SMARTWEED)(1%)
- WETLAND BUFFER MITIGATION NOTES:**
1. INSTALL EROSION CONTROL MEASURES.
  2. REMOVE ALL TRASH, DEBRIS, AND DEAD/OVERGROWN VEGETATION.
  3. EVANS ASSOCIATES WILL IDENTIFY AND TAG INVASIVE PLANTS TO BE REMOVED FROM WITHIN THE BUFFER AREA.
  4. REMOVE INVASIVE PLANTS. REMOVAL TO INCLUDE ENTIRE PLANT AND ROOT SYSTEM.
  5. ALL INVASIVE PLANTS SHALL BE A CUT STUMP APPLICATION OF NYSDEC APPROVED ORGANIC HERBICIDE IMMEDIATELY AFTER CUTTING. CUT STUMP TREATMENTS SHOULD BE CONDUCTED DURING THE GROWING SEASON AFTER FULL LEAF EXPANSION WHEN NUTRIENTS ARE ACTIVELY BEING TRANSPORTED TO THE ROOTS. DELAY IN APPLICATION AFTER CUTTING MAY RESULT IN REDUCED EFFECTIVENESS. SPECIAL AQUATIC FORMULATIONS ARE REQUIRED FOR ALL WETLAND ZONES. THE CONTRACTOR SHALL BE REQUIRED TO HAVE A STATE ISSUED PESTICIDE APPLICATOR LICENSE WHEN APPLYING THE ORGANIC CHEMICAL AND PERMITS AS REQUIRED.
  6. IF INVASIVE VINES ARE TWINING AROUND OTHER HOST SHRUBS OR TREES, AVOID APPLYING HERBICIDE TO THE PLANT.
  7. DISPOSAL: REMOVE ALL PLANT PARTS FROM SITE IN COVERED TRUCK PER NYSDEC APPROVED DISPOSAL METHODS. DISPOSAL OF IN APPROVED LANDFILL OR INCINERATE WITH APPROPRIATE PERMITS.
  8. SANITATION: CLEAN ALL CLOTHING, BOOTS, AND EQUIPMENT TO PREVENT SPREAD OF SEED.
  9. INVASIVE PLANT MATERIALS TO BE DISCARDED OFF SITE.
  10. INSTALL PLANT MATERIALS AS PER APPROVED PLAN AND PLANT SCHEDULE.
  11. CONTRACTOR TO REMOVE ALL EXISTING INVASIVE VEGETATION FROM WITHIN THE DISTURBED BUFFER AREAS. SURFACE AREA TO BE ROUGH-GRADED AS PER PLAN. REMOVE ALL ROOTS WITHIN 6-12 INCHES OF SURFACE. ENTIRE SURFACE AREA TO BE POWER RAKED AND FIRST (6) INCHES OF SOIL TILLED AND ANY WEEDY MATERIAL OF ROOTS TO BE REMOVED.
  12. ENGINEER OR ENVIRONMENTAL CONSULTANT TO RENEW AND APPROVE ROUGH GRADES PRIOR TO HERBICIDE TREATMENT AND PLANTING.
  13. ONCE ROUGH GRADES ARE APPROVED, THE ENTIRE SURFACE AREA WILL BE SPRAYED WITH AN APPROVED GLYPHOSATE BASED HERBICIDE FOR WETLAND USE (I.E. RODEO OR ACCORD). AREA TO SIT FOR TWO WEEKS PRIOR TO PLANTINGS FOR SEEDING.
  14. SEED AREA AS PER PLANS AND RATES AFTER TWO WEEKS MINIMUM FROM INITIAL SPRAYING OF HERBICIDE.
  15. HAND BROADCASTING SEED METHODS AS FOLLOWS: WILDFLOWER AND GRASS SEED MIXES AS NOTED ON PLANS (APPLIED AT A RATE OF 40 LBS/ACRE) TO INCLUDE A NURSE CROP OF ANNUAL RYE GRASS AT A RATE OF 1 LB PER 5,000 SQ.FT. MIX ALL SEED WITH A CARRIER TO CONSIST OF SLIGHTLY DAMPENED SAWDUST OR VERMICULITE (APPROXIMATELY TWO BUSHEL BASKETS OF SAWDUST PER 1,000 SQ.FT.).
  - 15.1. THE SEED CARRIER MIXTURE TO BE DAMPENED WITH WATER, JUST UNTIL IT IS SLIGHTLY DAMP TO THE TOUCH. THE WATER IS NECESSARY SO THE SEED ADHERES TO THE CARRIER, WHICH AIDS IN EVEN DISTRIBUTION OF THE SEED.
  - 15.2. AFTER MIXING YOUR SEED INTO THE CARRIER, DIVIDE THIS MIXTURE INTO TWO EQUAL PARTS.
  - 15.3. HAND BROADCAST ONE HALF OF THE SEED MIXTURE OVER THE ENTIRE SITE (I.E. IN A NORTH TO SOUTH DIRECTION).
  - 15.4. HAND BROADCAST THE SECOND HALF OF THE SEED OVER THE SITE, WALKING PERPENDICULAR TO THE DIRECTION YOU SEED IN THE FIRST HALF. THIS "CROSS PATTERN" SEEDING ENSURES EVEN SEED DISTRIBUTION.
  - 15.5. RAKE OR GRAB THE AREA WITH 1/4"-1/2" OF SOIL. (DO NOT BRING IN TOPSOIL TO ACHIEVE THIS, AS THIS WILL POTENTIALLY INTRODUCE MORE WEED SEED ON SITE).
  - 15.6. FIRM THE SEEDING AREA BY ROLLING THE SITE WITH A HAND ROLLER. WILDFLOWER SEED AND GRASSES REQUIRES FIRM SEED TO SOIL CONTACT FOR GOOD GERMINATION.
  - 15.7. MULCH THE PLANTING AREA WITH APPROXIMATELY 1" OF WEEP FREE STRAW. MULCH CAN BE LAID BY HAND OR BLOWN INTO THE SITE, MECHANICALLY.

PLANT SCHEDULE					
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND. REMARKS
BD	4	Betula Nigra	Dura Heat River Birch	8' - 10' HT.	B & B
EVERGREEN TREES					
PA	12	Picea Abies	Norway Spruce	8'-10' HT	B & B
PG	10	Picea Glauca	White Spruce	8'-10' HT	B & B
DECIDUOUS TREES					
AB	7	Acer rubrum 'Bowhall'	Bowhall Red Maple	6'-8" HT.	B & B
AR	10	Acer Rubrum 'Red Sunset'	Red Maple	3" - 3 1/2" Cal.	B & B
AC	4	Amelanchier Canadensis	Shadblow Serviceberry	6'-10' HT.	B & B
BN	5	Betula Nigra 'Heritage'	Heritage River Birch	7'-8" HT.	B & B
CF	11	Cornus Florida	Flowering Dogwood	6'-8" HT.	B & B
QR	15	Quercus Rubra	Red Oak	2.5-3"	B & B
ANNUALS/PERENNIALS					
AA2	3	Alchemilla mollis	Lady's Mantle	1 gal.	CONT.
AM2	5	Allium x 'Millenium'	Millenium Ornamental Onion	1 gal.	CONT.
AH2	15	Amonia tubrichtii	Arkansas Bluestar	1 gal.	CONT.
AA3	37	Aronia melanocarpa 'Moundscape'	Dwarf Chokeberry	2 gal.	CONT.
AT	48	Asclepias tuberosa	Butterfly Milkweed	1 gal.	CONT.
AP3	10	Aster 'Purple Dome'	Fall Blooming Aster	1 gal.	CONT.
CO	21	Cephalanthus Occidentalis	Buttonbush	5 GAL.	CONT.
CG2	10	Coreopsis grandiflora	Tickseed	5 gal.	CONT.
CA	15	Cornus Amomum	Silky Dogwood	3 GAL.	CONT.
DW	12	Dianthus gratianopolitanus 'Firewitch'	Firewitch Pink	1 gal.	CONT.
EW	10	Echinacea purpurea 'White Swan'	White Swan Coneflower	1 gal.	CONT.
EB2	17	Eupatorium dubium 'Baby Joe'	Baby Joe Joe-Pye Weed	2 gal.	CONT.
HM	17	Heuchera americana	Coral Bells	1 gal.	CONT.
HL2	37	Hydrangea paniculata 'Little Lamb'	Little Lamb Hydrangea	5 gal.	CONT.
IS6	27	Ilex crenata 'Soft Touch'	Soft Touch Japanese Holly	5 gal.	CONT.
IR	31	Itea virginica 'Fizzy Mizzy'	Dwarf Sweetpire	3 gal.	CONT.
LH	25	Lavandula angustifolia 'Hidcote'	English Lavender	1 gal.	CONT.
PF	20	Pennisetum alopecuroides 'Foxrot'	Foxrot Fountain Grass	1 gal.	CONT.
PA2	10	Pervokalia abrotanoides	Russian Sage	5 gal.	CONT.
PD	21	Physocarpus Opulifolius 'Diablo'	Diablo Ninebark	5 GAL.	CONT.
SS	9	Salix Sericea	Silky Willow	3 GAL.	CONT.
SE	14	Sambucus Canadensis	Elderberry	5 GAL.	CONT.
SH2	143	Sporobolus heterolepis	Prairie Dropseed	1 gal.	CONT.
SH3	15	Stachys byzantina 'Helen von Stein'	Lamb's Ear	1 gal.	CONT.
EK	11	Echinacea purpurea 'Kim's Knee High' TM	Purple Coneflower	1 gal.	CONT.
AF	42	Agastache x 'Blue Fortune'	Blue Fortune Anise Hyssop	1 gal.	CONT.
AF					
DECIDUOUS SHRUBS					
ARO A2	33	Aronia Arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry/Red Chokeberry	3 GAL.	CONT.
IW	16	Ilex Verticillata 'Winter Red'	Winter Red Holly	5 GAL.	CONT.
GROUND COVERS					
HM-3	7,721	NYSDEC Stormwater Basin Mix #3	Highest Zone	seed	
PGMP	424	Perennial and Grass Mix Plugs		Plug	2" PLUG
PMDM	9,394	Prairie Moon Detention Basin Seed Mix	Lowest Zone	seed	

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No. Date Description

0	05/20/2022	ISSUED FOR PERMIT
1	06/20/2022	100% CONSTRUCTION DOCUMENTS
2	07/01/2022	100% CONSTRUCTION DOCUMENTS - 1

Professional Seal and Signature

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Vendor Name: JMC, PLLC  
Vendor Project No.: 20090-3  
Discipline: Civil  
Drawn By: TC  
Drawing Title:

LANDSCAPING PLAN

Scale: 1" = 30'

L-100