ROCKLAND PSYCHIATRIC CENTER

140 OLD ORANGEBURG ROAD ORANGEBURG, NY 10962

BUILDING 1 RENOVATION AND HAZARDOUS MATERIALS ABATEMENT

100% **DESIGN**



DORMITORY AUTHORITY OF THE STATE OF NEW YORK

515 BROADWAY ALBANY, NY 12207



OFFICE OF MENTAL HEALTH 75 NEW SCOTLAND AVE, UNIT Q ALBANY, NY 12208



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6. PLUMBING

ARCHITECT

GOSHOW ARCHITECTS

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ENGINEER



HAZMAT CONSULTANT

QUALITY ENVIRONMENTAL SOLUTIONS & TECHNOLOGIES

DRAWING LIST

1. GENERAL TITLE SHEET GENERAL NOTES, SYMBOLS & ABBREVIATIONS ADA DIAGRAMS & TYPICAL MOUNTING HEIGHTS CODE ANALYSIS FIRST AND SECOND FLOOR EGRESS PLANS 2. HAZARDOUS MATERIALS BASEMENT - ACM LOCATIONS FIRST FLOOR - ACM LOCATIONS SECOND FLOOR - ACM LOCATIONS ATTIC - ACM LOCATIONS EAST AND WEST ELEVATION - ACM LOCATIONS NORTH AND SOUTH ELEVATION - ACM LOCATIONS 3. DEMOLITION DM101 BASEMENT AND ATTIC DEMOLITION PLANS FIRST AND SECOND FLOOR DEMOLITION PLANS DM111 BASEMENT AND ATTIC DEMOLITION REFLECTED CEILING PLANS DM112 FIRST AND SECOND FLOOR DEMOLITION REFLECTED CEILING PLANS 4. STRUCTURAL GENERAL NOTES AND LEGEND ELEVATOR ENLARGED PLANS SECOND FLOOR PARTIAL FRAMING PLAN EXTERIOR RAMP FOUNDATION AND FRAMING PLANS SECTIONS AND DETAILS TYPICAL DETAILS CMU WALL, NOTES AND DETAILS 5. ARCHITECTURAL BASEMENT AND ATTIC PLANS FIRST AND SECOND FLOOR PLANS BASEMENT AND ATTIC REFLECTED CEILING PLANS FIRST AND SECOND FLOOR REFLECTED CEILING PLANS EAST AND WEST ELEVATIONS NORTH AND SOUTH ELEVATIONS CAFE SEATING 105 PLAN AND ELEVATIONS TRAIN. KITCHEN 101, OFFICE 204, STAFF CONF. 220 AND TREATMENT 201 PLANS EMPLOY. / COMPUTER RM 111, RECEPTION / CHARTS 214 & WAITING RM 212 PLANS AND ELEVATIONS ENLARGED LIVING MUSEUM ELEVATIONS CORRIDOR ELEVATIONS MEN'S TOILETS 102/202, WOMEN'S TOILETS 103/203, TOILETS 104/105A, 121 & 223 PLANS AND ELEVATIONS ELEVATOR PLANS, SECTIONS AND DETAILS ELEVATOR DETAILS EXTERIOR RAMP AND STAIR PLAN, SECTIONS AND DETAILS ENLARGED SHAFT AND CHASE PLANS SIGNAGE SCHEDULE AND DETAILS MILLWORK DETAILS TYPICAL KITCHEN ELEVATION AND SECTION DETAILS CEILING DETAILS PARTITION TYPES DOOR AND WINDOW SCHEDULES WINDOW DETAILS FIRST FLOOR FINISH PLAN AND SCHEDULE SECOND FLOOR FINISH PLAN AND SCHEDULE

PLUMBING SYMBOLS, ABBREVIATIONS, NOTES, AND DRAWING LIST

PLUMBING CELLAR FLOOR REMOVAL PLAN

PLUMBING FIRST FLOOR REMOVAL PLAN PLUMBING SECOND FLOOR REMOVAL PLAN PLUMBING CELLAR FLOOR PLAN PLUMBING SECOND FLOOR PLAN PLUMBING PARTIAL DOMESTIC WATER RISER DIAGRAM PLUMBING PARTIAL SANITARY RISER DIAGRAM PLUMBING DETAILS SHEET #1

P401	PLUMBING DETAILS SHEET #1
7. MECHA	ANICAL
M001	HVAC NOTES, SYMBOLS, ABBREVIATIONS, DESIGN PARAMETERS AND DRAWING LIST
M002	HVAC SCHEDULE SHEET #1
M060	HVAC CELLAR DEMO PLAN
M061	HVAC FIRST FLOOR DEMO PLAN
M062	HVAC SECOND FLOOR DEMO PLAN
M063	HVAC ATTIC DEMO PLAN
M100	HVAC CELLAR PLAN
M101	HVAC FIRST FLOOR PLAN
M102	SECOND FLOOR PLAN
M103	HVAC ATTIC PLAN
M200	HVAC PIPING CELLAR PLAN
M201	HVAC PIPING FIRST FLOOR PLAN
M202	HVAC PIPING SECOND FLOOR PLAN
M203	HVAC PIPING ATTIC FLOOR PLAN
M401	HVAC AIR RISER DIAGRAM
M402	HVAC HOT GLYCOL RISER DIAGRAMS
M403	HVAC CHILLED GLYCOL RISER DIAGRAMS
M404	HYDRONIC FLOW DIAGRAMS
M405	HVAC CONDENSATE RISER DIAGRAMS
M406	HVAC CONTROL DIAGRAM SHEET #1
M407	HVAC CONTROL DIAGRAM SHEET #2
M501	HVAC DETAILS SHEET #1
M502	HVAC DETAILS SHEET #2
8. ELECT	RICAL
E001.00	ELECTRICAL SYMBOLS, ADDBREVIATIONS, GENERAL NOTES AND DRAWING LIST
E060.00	ELETRICAL CELLAR FLOOR REMOVAL PLAN
E061.00	ELECTRICAL FIRST FLOOR REMOVAL PLAN
E000.00	ELECTRICAL OF COND EL COD DEMOVAL DI ANI

E062.00 | ELECTRICAL SECOND FLOOR REMOVAL PLAN E101.00 ELECTRICAL FIRST FLOOR LIGHTING PLAN E102.00 | ELECTRICAL SECOND FLOOR LIGHTING PLAN E200.00 ELECTRICAL CELLAR FLOOR POWER PLAN E201.00 ELECTRICAL FIRST FLOOR POWER PLAN E202.00 | ELECTRICAL SECOND FLOOR POWER PLAN E301.00 ELECTRICAL FIRST FLOOR SYSTEMS PLAN E302.00 ELECTRICAL SECOND FLOOR SYSTEMS PLAN E401.00 ELECTRICAL LARGE SCALE PART PLANS E501.00 ELECTRICAL POWER AND LIGHTING SINGLE LINE DIAGRAM | E601.00 | ELECTRICAL LIGHTING FIXTRE AND PANEL SCHEDULE E701.00 | ELECTRICAL DETAILS SHEET #1 E702.00 ELECTRICAL DETAILS SHEET #2 9. FIRE ALARM FA001.00 FIRE ALARM SYSTEM SYMBOL LIST AND GENERAL NOTES FA100.00 FIRE ALARM SYSTEM CELLAR FLOOR PLAN FA101.00 FIRE ALARM SYSTEM FIRST FLOOR PLAN FA102.00 FIRE ALARM SYSTEM SECOND FLOOR PLAN AND ATTIC PART PLAN

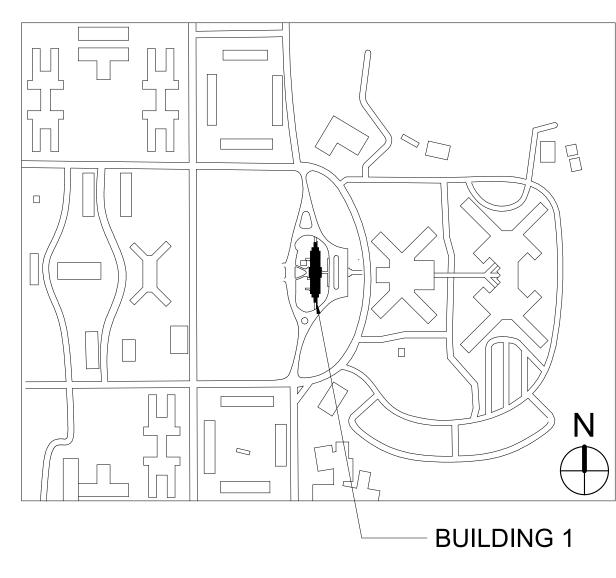
FA201.00 FIRE ALARM SYSTEM RISER DIAGRAM

FA301.00 FIRE ALARM SYSTEM SEQUENCE OF OPERATIONS AND DETAILS

LOCATION PLAN

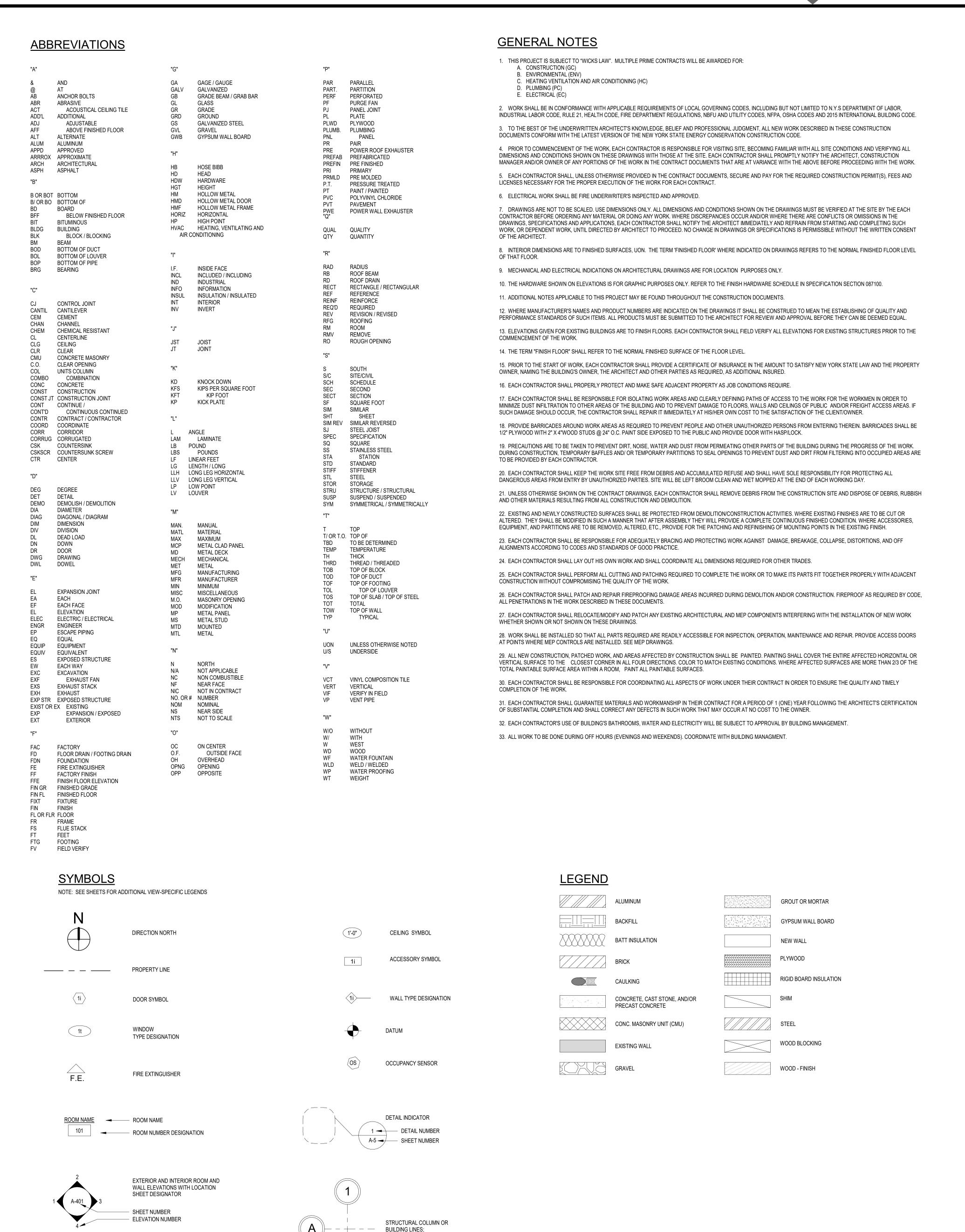






DOB APPROVAL STAMPS

Drawing 001 of 032



GRID LINES AND INDICATOR

SECTION WITH LOCATION SHEET

DESIGNATOR

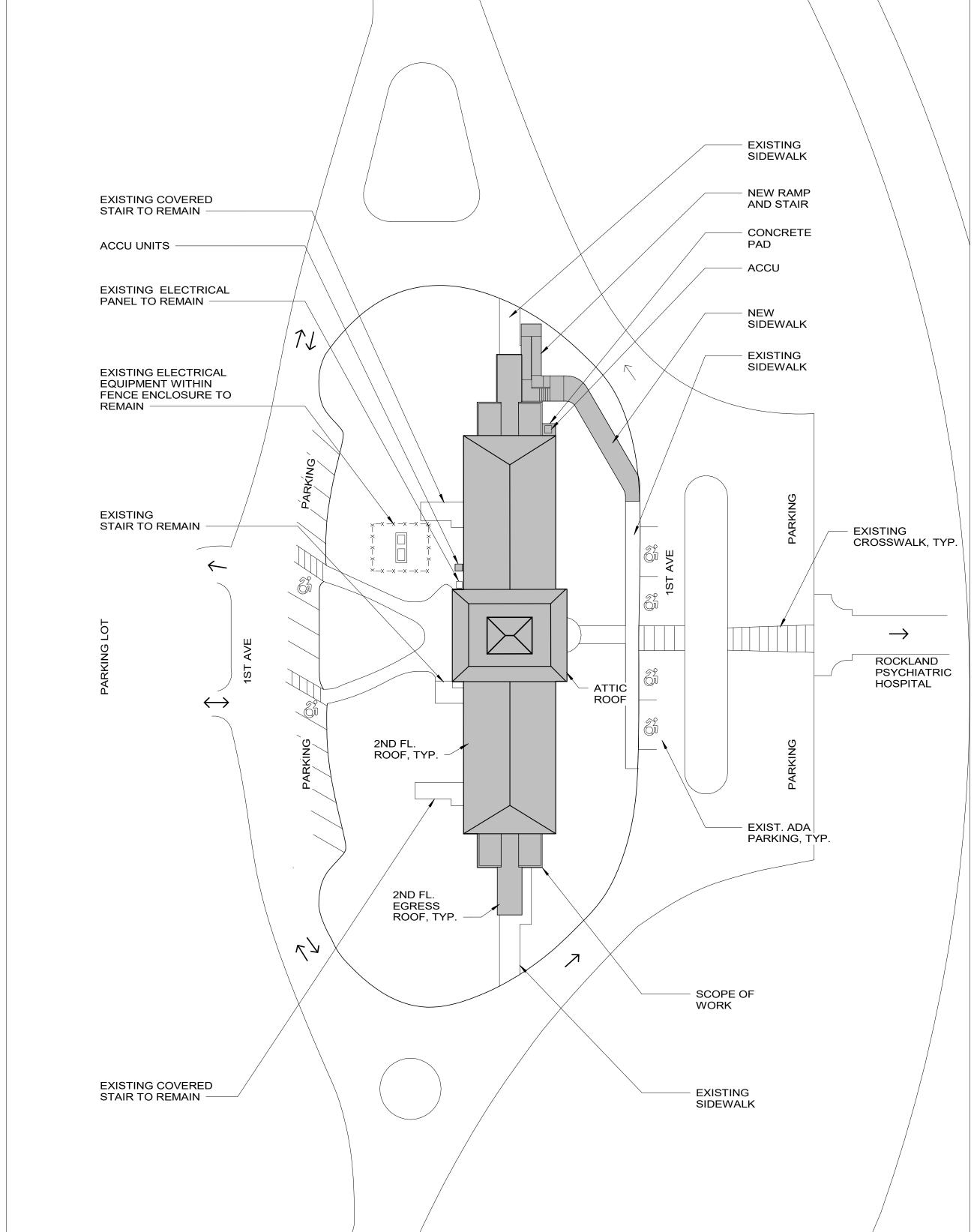
SHEET NUMBER ELEVATION NUMBER

GENERAL DEMOLITION NOTES

- 1. REFER TO HAZMAT DRAWINGS AND SPECIFICATIONS.
- 2. REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED BY EACH CONTRACTOR.
- 3. ALL CONSTRUCTION TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE EACH CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- 4. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. EACH CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC.. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- 5. WHERE APPLICABLE, LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.
- 6. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT U.O.N.
- 7. FOR MEP REMOVALS REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION REGARDING REMOVALS.
- 8. COORDINATE ALL WORK ON THIS DRAWING WITH MECHANICAL, ELECTRICAL, AND PLUMBING REMOVALS SHOWN ON MEP REMOVAL DRAWINGS.
- 9. FOR ANY REMOVAL WORK INCLUDING MEP REMOVAL WORK PATCH, REPAIR, AND RESTORE ANY ADJACENT ELEMENTS TO REMAIN, INCLUDING BUT NOT LIMITED TO EXTERIOR/INTERIOR WALLS, FLOOR SLABS, PLASTER CELINGS, ECT. REPAIR/RESTORE ELEMENTS TO MATCH ORIGINAL SURFACE CONDITION OR AS INDICATED IN DRAWINGS.
- 10. SEE STRUCTURAL DWGS FOR EXTENT OF REMOVAL WORK RELATED TO NEW ELEVATOR SHAFT. ALL REMOVAL WORK TO BE COORDINATED WITH REQUIRED ELEVATOR, ELEVATOR SHAFT DIMENSIONS AND LOCATIONS OF ELEVATOR SUPPORT BEAMS.
- 11. PRIOR TO REMOVAL OF WINDOWS, OR LOAD BEARING ELEMENTS, GENERAL CONTRATOR TO VERIFY ACTUAL SIZE AND LOCATION OF EXISTING COMPONENTS ARCHITECT SHALL BE NOTIFIED OF ANY UNUSUAL OR HAZARDOUS CONDITIONS, INCLUDING BUT NOT LIMITED TO CRACKS, ABSENCE OF BRACING, LOOSE ELEMENTS AND COMPONENTS.
- 12. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND OPENINGS PRIOR TO BEGINING OPERATIONS. EXTENT OF SELECTIVE DEMOLITION SHALL BE AS REQUIRED FOR INSTALLATION OF NEW WORK.
- 13. WHEN ITEMS TO BE REMOVED ARE ANCHORED TO THE FLOOR SLAB BY PINS OR BOLTS, THE CONTRACTOR SHALL COMPLETELY REMOVE THESE ITEMS OR CUT THEM BELOW FINISH FLOOR LEVEL AND FLASH PATCH ALL HOLES FLUSH WITH SURROUNDING SURFACES.
- 14. THE CONTRACTOR SHALL COORDINATE REMOVAL OF ALL ITEMS WITH ENVIRONMENTAL DRAWINGS AND REMOVAL WORK. WHEN ITEMS ABUT, BEAR, OR ARE FASTENED THROUGH OR ADHERED TO WORK INDICATED ON THE ENVIRONMENTAL DRAWINGS AND / OR THE ASSOCIATED SPECIFICATION SECTIONS, THE GENERAL CONTRACTOR SHALL COORDINATE SUCH REMOVALS AND PREVENT DAMAGE / DISTURBANCE OF THESE MATERIALS BY UNQUALIFIED WORKMEN.

HAZARDOUS MATERIAL REMOVAL NOTES

1. ENV. CONTRACTOR TO PROVIDE UNIT PRICES FOR ALL HAZMAT WORK ITEMS - REFER TO SPECIFICATIONS FOR MORE INFORMATION.



D 2 AREA PLAN - BUILDING 1

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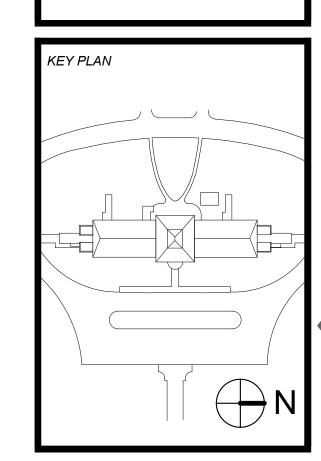
420 PAULDING AVENUE | NORTHVALE NJ 07647 PHONE 201.768.7331

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COST ESTIMATOR

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PHONE 716.823.0006

HIRANI ENGINEERING & LAND SURVEYING, P.C. LAND SURVEY CONSULTANT 120 WEST JOHN STREET | HICKSVILLE NY 11801 PHONE 516.248.1010



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Drawing Title

GENERAL NOTES,

NEW YORK

Project Title

515 BROADWAY

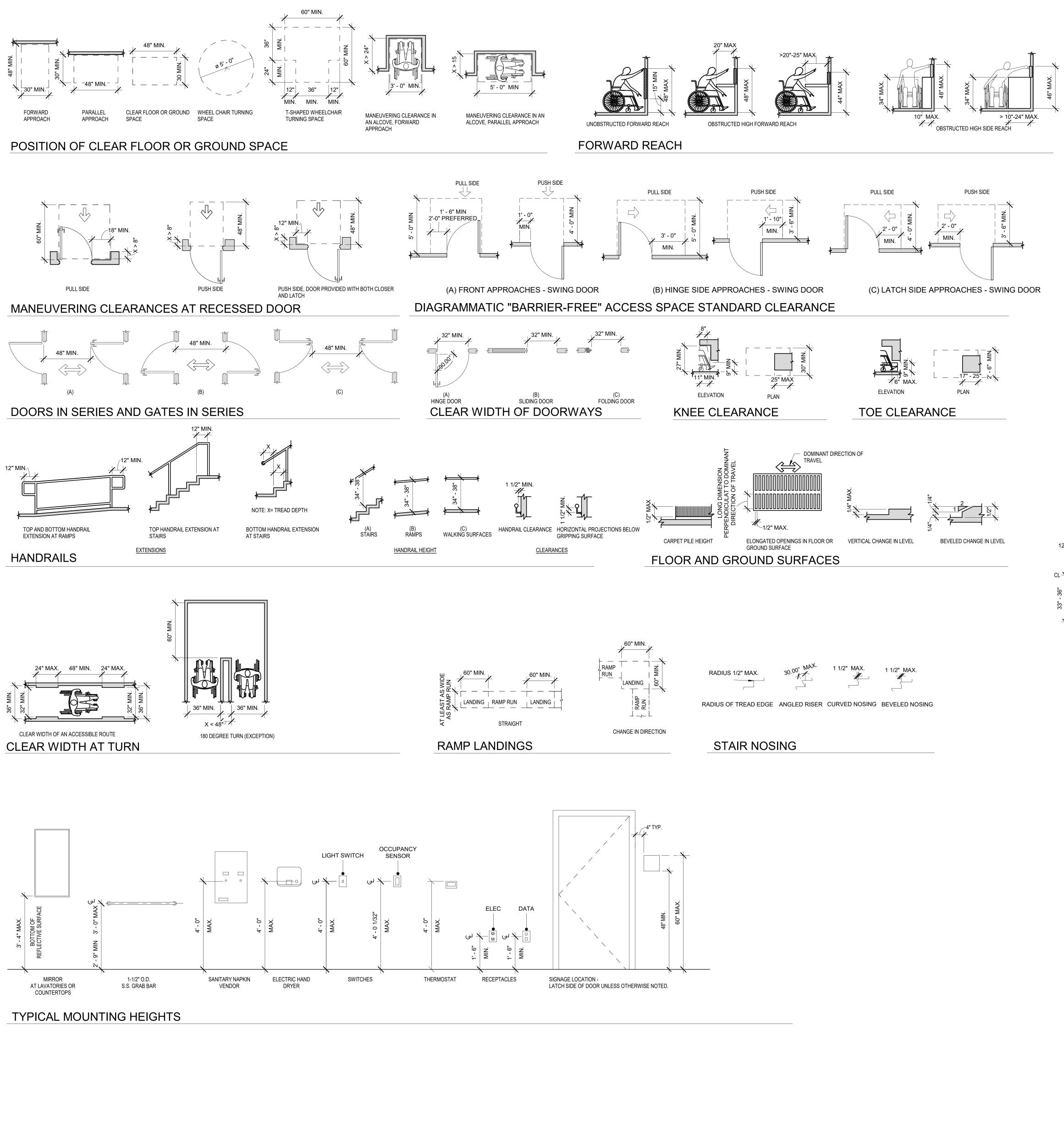
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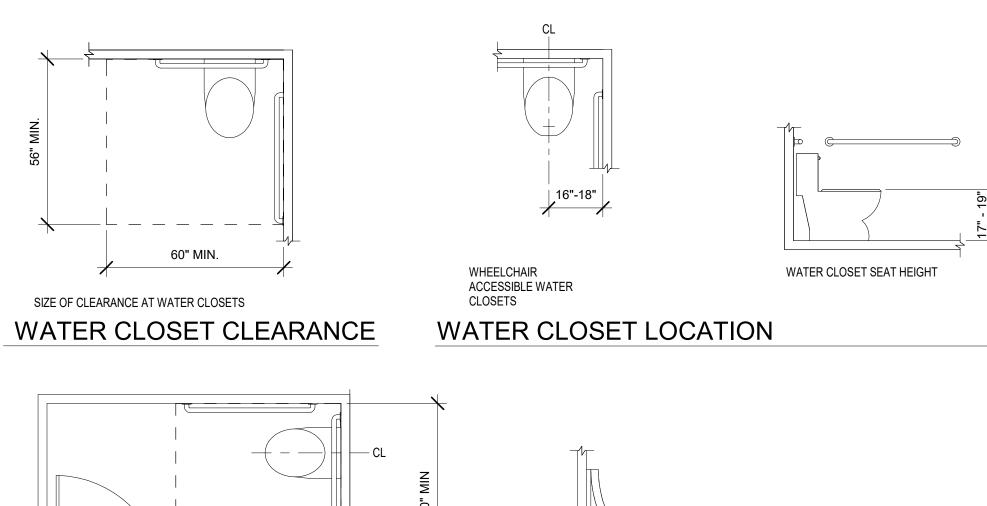
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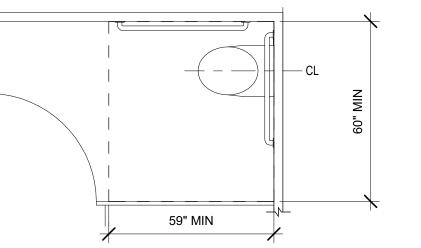
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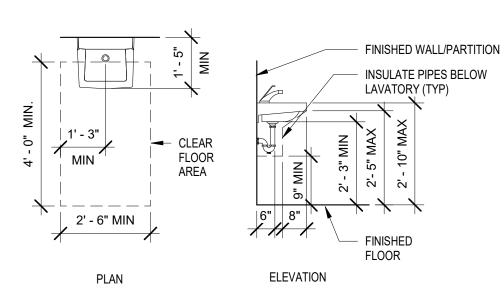
Drawing



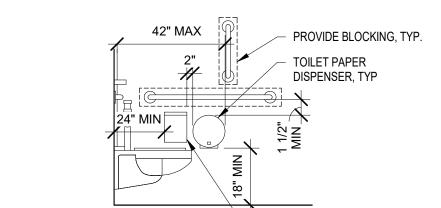




FLOOR MOUNTED WATER CLOSET - ADULT WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT



TYPICAL LAVATORY



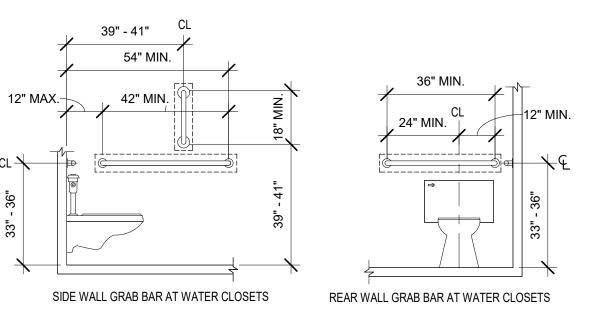
WALL HUNG TYPE

URINAL HEIGHT

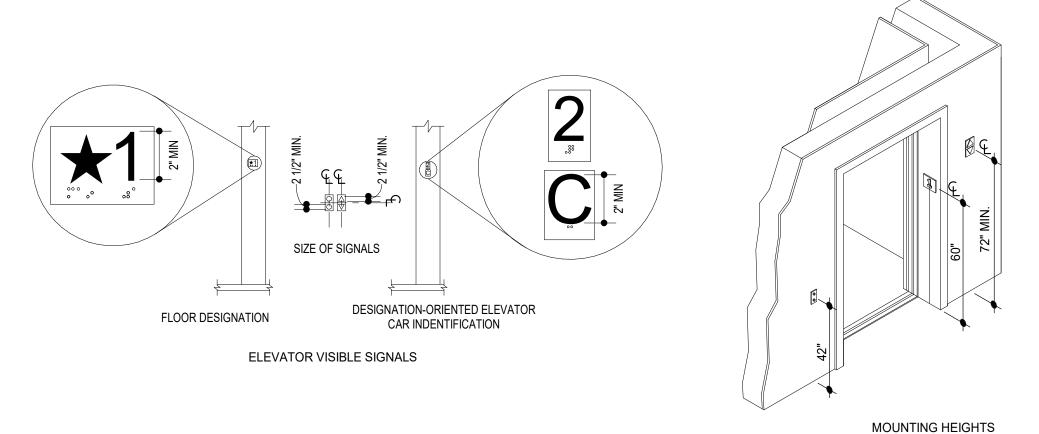
SIDE ELEVATION NOTE: ALL DIMENSIONS FROM FINISH SURFACE UNLESS OTHERWISE NOTED. TYPICAL TOILET ACCESSORY LOCATION

- SAN. NAPKIN DISPOSAL, TYP. IN WOMEN'S RM

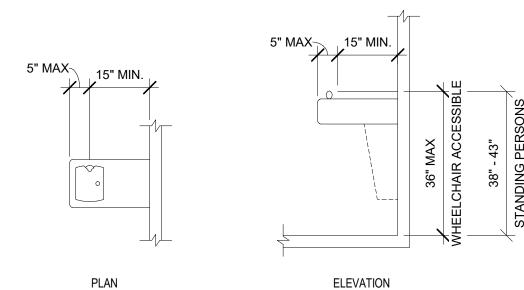
ONLY



TYPICAL GRAB BAR LOCATION



ELEVATOR SIGNAGE AND ACCESS CONTROLS



DRINKING FOUNTAIN SPOUT LOCATION



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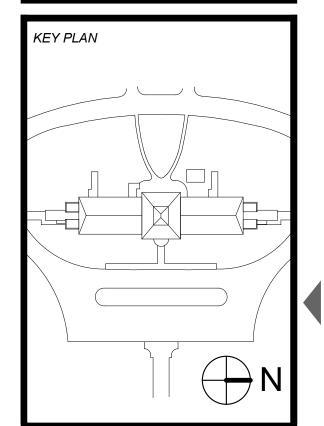
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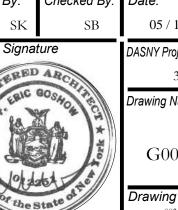


TABLE 403.1 PLUMBING FIXTURE CALCULATIONS

FLOOR				WATER CLOSE	ETS				LAVATORIES (SINKS)					DRINKING F	FOUNTAINS	SERVIC	CE SINK			
	UN	IISEX	UNISE	EX (ADA)	M	ALE	FEM	ALE	UN	IISEX	UNISI	EX (ADA)	MA	ALE	FEN	MALE				
FIRST FLOOR OCCUPANTS: 60	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
	0	1	0	2	2	3	2	3	0	1	0	2	2	2	2	2	1	2	1	1
	UN	IISEX	UNISE	EX (ADA)	MA	ALE*	FEMA	ALE*	UN	IISEX	UNISI	EX (ADA)	MA	LE*	FEN	//ALE*				
SECOND FLOOR OCCUPANTS: 58	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
	0	1	0	0	2	2	2	2	0	1	0	0	1	2	1	2	0	2	0	0

MINIMUM NUMBER OF FIXTURES FOR CLASSIFICATION 'BUSINESS' OCCUPANCY

- WATER CLOSETS: 1 PER 25 FOR THE FIRST 50 OCCUPANTS, AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50

- LAVATORIES: 1 PER 40 FOR THE FIRST 80, AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80

- DRINKING FOUNTAIN: 1 PER 100

- SERVICE SINK: 1

NOTE: (*) SECOND FLOOR MEN'S AND WOMEN'S TOILETS ARE ACCESSIBLE.

APPLICABLE CODES: 2015 EXISTING BUILDING CODE OF NEW YORK STATE ALTERATION LEVEL 2 (CAFE SEATING & ACCESSIBLE RAMP ENTRANCE) 2015 BUILDING CODE OF NEW YORK STATE WHERE APPLICABLE AND REFERENCED IN EXISTING BUILDING CODE 2015 ENERGY CONSERVATION CODE OF NEW YORK STATE	2017 UNIFORM CODE SUPPLEMENT 2016 SUPPLEMENT TO NEW YORK STATE ENERGY CONSER' 2015 INTERNATIONAL FIRE CODE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN 2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND F	
CODE REFERENCE	REQUIREMENT	PROVIDED
USE AND OCCUPANCY CLASSIFICATION / CHAPTER 3		
OCCUPANCY CLASSIFICATION IBC-304		GROUP B - BUSINESS
GENERAL BUILDING HEIGHTS AND AREAS / CHAPTER 5		
ALLOWABLE HEIGHT ABOVE GRADE PLANE / IBC-TABLE 504.3		
	TYPE IIB, NON-SPRINKLERED	TYPE IIB, NON-SPRINKLERED
	GROUP B: 55 FEET	33' - 4"
ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE / IBC-TABLE 504.3		
	TYPE IIB, NON-SPRINKLERED	TYPE IIB, NON-SPRINKLERED
	GROUP B: 3 STORIES	3 STORIES
ALLOWABLE AREA FACTOR / IBC-TABLE 506.2		
	TYPE IIB, NON-SPRINKLERED	TYPE IIB, NON-SPRINKLERED
	GROUP B: 23,000 SF	7,800 SF
TYPES OF CONSTRUCTION / CHAPTER 6		
FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS / IBC-TABLE 601	TYPE IIB - NONCOMBUSTIBLE	TYPE IIB - NONCOMBUSTIBLE
	FIRE RESISTANCE	FIRE RESISTANCE
PRIMARY STRUCTURAL FRAME	(0) HOURS	(0) HOURS
BEARING WALLS EXTERIOR	(0) HOURS	(0) HOURS
INTERIOR	(0) HOURS	(0) HOURS
NONBEARING WALLS AND PARTITIONS EXTERIOR	(0) HOURS	(0) HOURS
INTERIOR	(0) HOURS	(0) HOURS
FLOOR CONSTRUCTION	(0) HOURS	(0) HOURS
ROOF CONSTRUCTION	(0) HOURS	(0) HOURS
INTERIOR FINISHES / CHAPTER 8		
INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY / IBC TABLE 803.11	NON-SPRINKLERED	NON-SPRINKLERED
INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	GROUP B: CLASS A	CLASS A
CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS	GROUP B: CLASS B	CLASS B
ROOMS AND ENCLOSED SPACES	GROUP B: CLASS C	CLASS C
	GROUP B. CLASS C	CLASS C
FIRE PROTECTION SYSTEMS / CHAPTER 9	(ODOUBLE NOT DECUMPED)	ODDINIZED IN DAGEMENT AND LIVENO MUCEUM ZOT
AUTOMATIC SPRINKLER SYSTEMS / IBC 903.2	(GROUP B - NOT REQUIRED)	SPRINKLER IN BASEMENT AND LIVING MUSEUM (1ST
MEANS OF EGRESS / CHAPTER 10	ON OUR ATER COOLIDANT LOAD	LACTUAL COCUPANT LOAD
OCCUPANT LOAD / IBC TABLE 1004.1.2	CALCULATED OCCUPANT LOAD	ACTUAL OCCUPANT LOAD
	SEE EGRESS PLANS	SEE EGRESS PLANS
MEANS OF EGRESS SIZING / IBC-SECTION 1005	a a Maurea PER GOOURANT	or or winty
STAIRWAYS	0.3 INCHES PER OCCUPANT 36" MINIMUM	3' - 6" WIDTH
OTHER EGRESS COMPONENTS	0.2 INCHES PER OCCUPANT	
	DOORS - 32" MIN. CLEAR (IBC 1010.1.1) CORRIDORS - 44" MIN. (IBC TABLE 1020.2)	32" MIN. CLEAR 48" MIN.
	, ,	
COMMON PATH OF EGRESS TRAVEL FOR SPACES WITH ONE EXIT OR EXIT ACCESS / IBC TABLE 1006.2.1	MAXIMUM OCCUPANT LOAD OF SPACE WITH SINGLE EXIT: 49 OCCUPANTS	MAXIMUM OCCUPANT LOAD OF SPACE WITH SINGLE 25 OCCUPANTS
OCCUPANY GROUP B; WITHOUT SPRINKLER SYSTEM	MAX. COMMON PATH: 100 FT (OCC. LOAD < 30) MAX. COMMON PATH: 75 FT (OCC. LOAD > 30)	
	1000. LOND <u>2</u> 00)	
	TRAVEL DISTANCE WITHOUT SPRINKLER SYSTEM:	TRAVEL DISTANCE: 109 FEET (SEE EGRESS PLAN)
EXIT ACCESS TRAVEL DISTANCE / IBC TABLE 1017.2		
	200 FEET MAXIMUM (OCCUPANCY GROUP B)	,
EXIT ACCESS TRAVEL DISTANCE / IBC TABLE 1017.2 ACCESSIBLE MEANS OF EGRESS REQUIRED / IEBC SECTION 705		(1) ACCESSIBLE MEANS OF EGRESS PROVIDED FOR FIRST FLOOR (SEE EGRESS PLAN)
	200 FEET MAXIMUM (OCCUPANCY GROUP B) ALTERATION SHALL PROVIDE ACCESSIBLE ACCESS TO	(1) ACCESSIBLE MEANS OF EGRESS PROVIDED FOR
	200 FEET MAXIMUM (OCCUPANCY GROUP B) ALTERATION SHALL PROVIDE ACCESSIBLE ACCESS TO THE MAXIMUM EXTENT THAT IS TECHNICALLY FEASIBLE. SLOPE STEEPER THAN 1:10 BUT NOT STEEPER THAN 1:8;	(1) ACCESSIBLE MEANS OF EGRESS PROVIDED FOR FIRST FLOOR (SEE EGRESS PLAN) ACCESSIBLE RAMP PROVIDED WITH SLOPE OF 1:12
ACCESSIBLE MEANS OF EGRESS REQUIRED / IEBC SECTION 705	200 FEET MAXIMUM (OCCUPANCY GROUP B) ALTERATION SHALL PROVIDE ACCESSIBLE ACCESS TO THE MAXIMUM EXTENT THAT IS TECHNICALLY FEASIBLE. SLOPE STEEPER THAN 1:10 BUT NOT STEEPER THAN 1:8; WITH MAXIMUM RISE OF 3 INCHES ALLOWED	(1) ACCESSIBLE MEANS OF EGRESS PROVIDED FOR FIRST FLOOR (SEE EGRESS PLAN)
ACCESSIBLE MEANS OF EGRESS REQUIRED / IEBC SECTION 705	200 FEET MAXIMUM (OCCUPANCY GROUP B) ALTERATION SHALL PROVIDE ACCESSIBLE ACCESS TO THE MAXIMUM EXTENT THAT IS TECHNICALLY FEASIBLE. SLOPE STEEPER THAN 1:10 BUT NOT STEEPER THAN 1:8;	(1) ACCESSIBLE MEANS OF EGRESS PROVIDED FOR FIRST FLOOR (SEE EGRESS PLAN) ACCESSIBLE RAMP PROVIDED WITH SLOPE OF 1:12
ACCESSIBLE MEANS OF EGRESS REQUIRED / IEBC SECTION 705 MAXIMUM SLOPE AND RISE ALLOWED FOR EXISTING BUILDINGS / IEBC TABLE 705.1.4	200 FEET MAXIMUM (OCCUPANCY GROUP B) ALTERATION SHALL PROVIDE ACCESSIBLE ACCESS TO THE MAXIMUM EXTENT THAT IS TECHNICALLY FEASIBLE. SLOPE STEEPER THAN 1:10 BUT NOT STEEPER THAN 1:8; WITH MAXIMUM RISE OF 3 INCHES ALLOWED SLOPE STEEPER THAN 1:12 BUT NOT STEEPER THAN 1:10;	(1) ACCESSIBLE MEANS OF EGRESS PROVIDED FOR FIRST FLOOR (SEE EGRESS PLAN) ACCESSIBLE RAMP PROVIDED WITH SLOPE OF 1:12
ACCESSIBLE MEANS OF EGRESS REQUIRED / IEBC SECTION 705 MAXIMUM SLOPE AND RISE ALLOWED FOR EXISTING BUILDINGS / IEBC TABLE 705.1.4 MINIMUM NUMBER OF EXITS / IBC-SECTION 1006	200 FEET MAXIMUM (OCCUPANCY GROUP B) ALTERATION SHALL PROVIDE ACCESSIBLE ACCESS TO THE MAXIMUM EXTENT THAT IS TECHNICALLY FEASIBLE. SLOPE STEEPER THAN 1:10 BUT NOT STEEPER THAN 1:8; WITH MAXIMUM RISE OF 3 INCHES ALLOWED SLOPE STEEPER THAN 1:12 BUT NOT STEEPER THAN 1:10; MAXIMUM RISE OF 6 INCHES ALLOWED	(1) ACCESSIBLE MEANS OF EGRESS PROVIDED FOR FIRST FLOOR (SEE EGRESS PLAN) ACCESSIBLE RAMP PROVIDED WITH SLOPE OF 1:12
ACCESSIBLE MEANS OF EGRESS REQUIRED / IEBC SECTION 705 MAXIMUM SLOPE AND RISE ALLOWED FOR EXISTING BUILDINGS / IEBC TABLE 705.1.4	200 FEET MAXIMUM (OCCUPANCY GROUP B) ALTERATION SHALL PROVIDE ACCESSIBLE ACCESS TO THE MAXIMUM EXTENT THAT IS TECHNICALLY FEASIBLE. SLOPE STEEPER THAN 1:10 BUT NOT STEEPER THAN 1:8; WITH MAXIMUM RISE OF 3 INCHES ALLOWED SLOPE STEEPER THAN 1:12 BUT NOT STEEPER THAN 1:10;	(1) ACCESSIBLE MEANS OF EGRESS PROVIDED FOR FIRST FLOOR (SEE EGRESS PLAN) ACCESSIBLE RAMP PROVIDED WITH SLOPE OF 1:12

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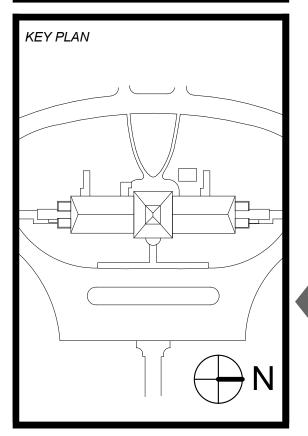
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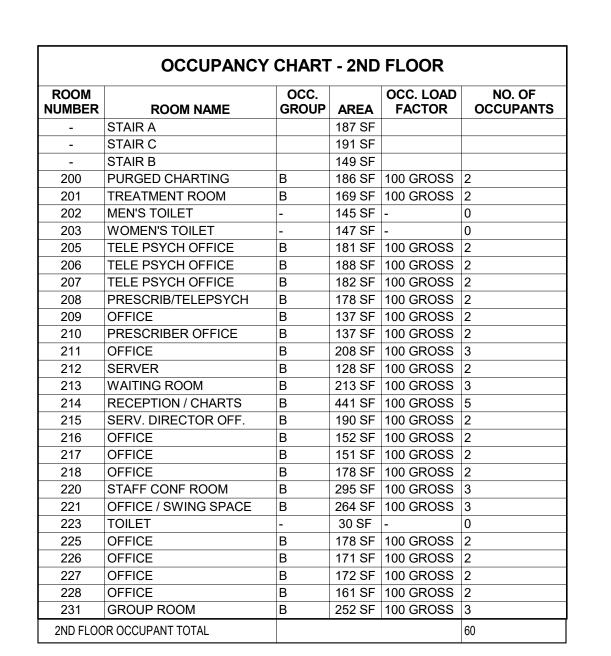
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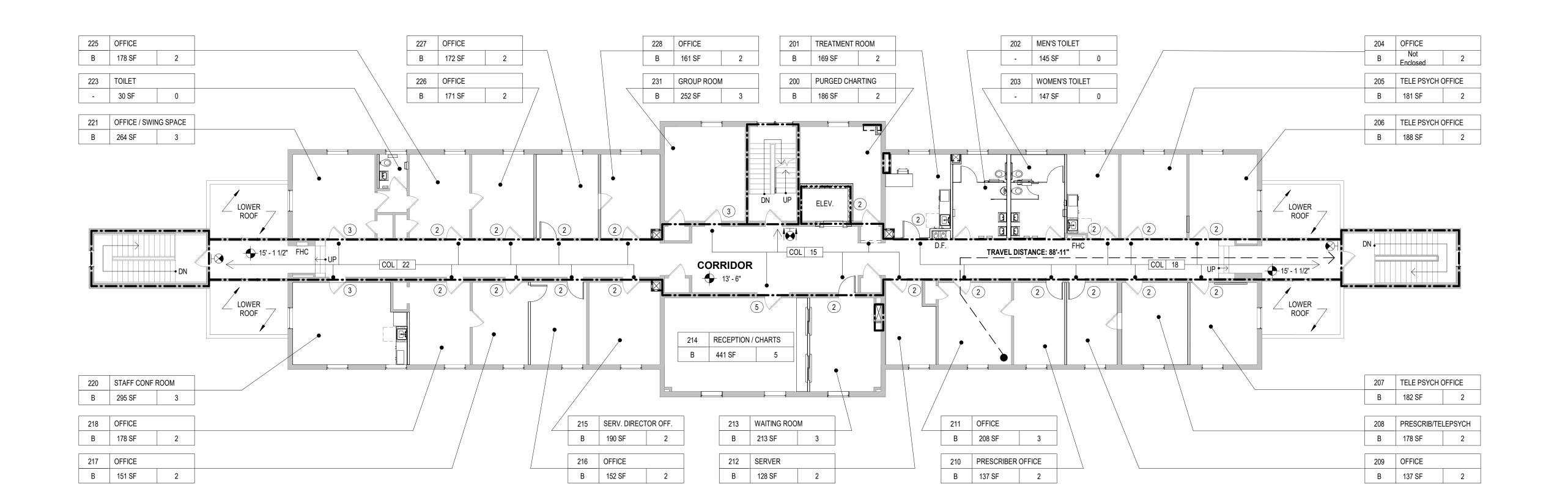


REVIS	SIONS	
REV NO	DESCRIPTION	DATE

DORMITORY AUTHORITY STATE OF NEW YORK 515 BROADWAY ALBANY, NY 12207 BUILDING 1 RENOVATION AND HAZARDOUS MATERIALS ABATEMENT 140 OLD ORANGEBURG RD ORANGETOWN, NY 10962

Drawing Title
CODE ANALYSIS

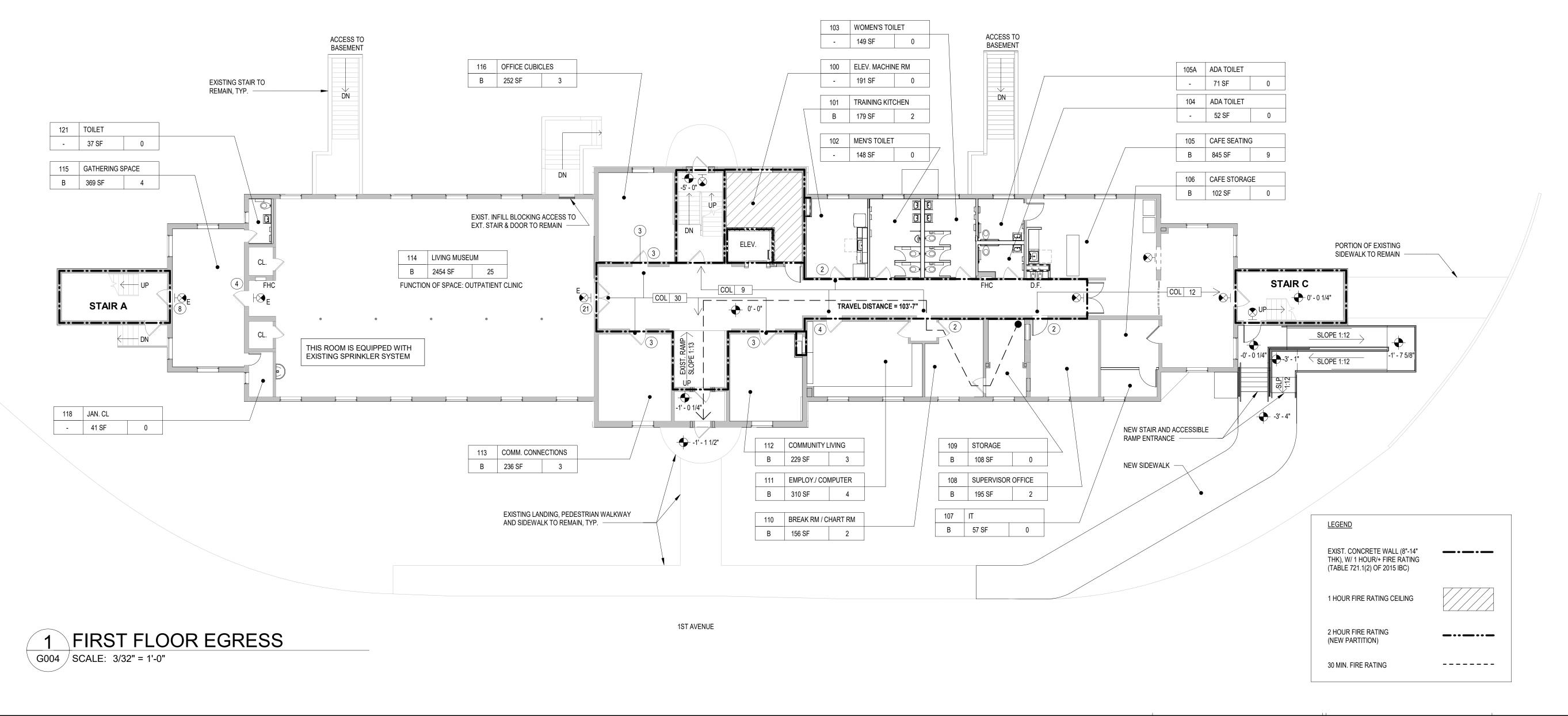






	OCCUPANCY CHART - 1ST FLOOR								
ROOM NUMBER	ROOM NAME	OCC. GROUP	AREA	OCC. LOAD FACTOR	NO. OF OCCUPANTS				
100	ELEV. MACHINE RM	-	191 SF	0	0				
101	TRAINING KITCHEN	В	179 SF	100 GROSS	2				
102	MEN'S TOILET	-	148 SF	0	0				
103	WOMEN'S TOILET	-	149 SF	0	0				
104	ADA TOILET	-	52 SF	0	0				
105	CAFE SEATING	В	845 SF	100 GROSS	9				
105A	ADA TOILET	-	71 SF	0	0				
106	CAFE STORAGE	В	102 SF	300 GROSS	0				
107	IT	В	57 SF	100 GROSS	0				
108	SUPERVISOR OFFICE	В	195 SF	100 GROSS	2				
109	STORAGE	В	108 SF	300 GROSS	0				
110	BREAK RM / CHART RM	В	156 SF	100 GROSS	2				
111	EMPLOY./ COMPUTER	В	310 SF	100 GROSS	4				
112	COMMUNITY LIVING	В	229 SF	100 GROSS	3				
113	COMM. CONNECTIONS	В	236 SF	100 GROSS	3				
114	LIVING MUSEUM	В	2454 SF	100 GROSS	25				
115	GATHERING SPACE	В	369 SF	100 GROSS	4				
116	OFFICE CUBICLES	В	252 SF	100 GROSS	3				
118	JAN. CL	-	41 SF	0	0				
121	TOILET	-	37 SF	0	0				
1ST FLOO	OR OCCUPANT TOTAL				57				

NOTE:
ATTIC AND CELLAR FLOORS ARE UNOCCUPIED SPACES



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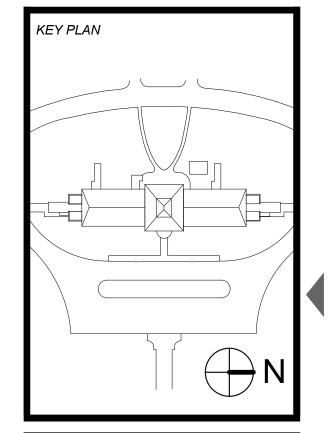
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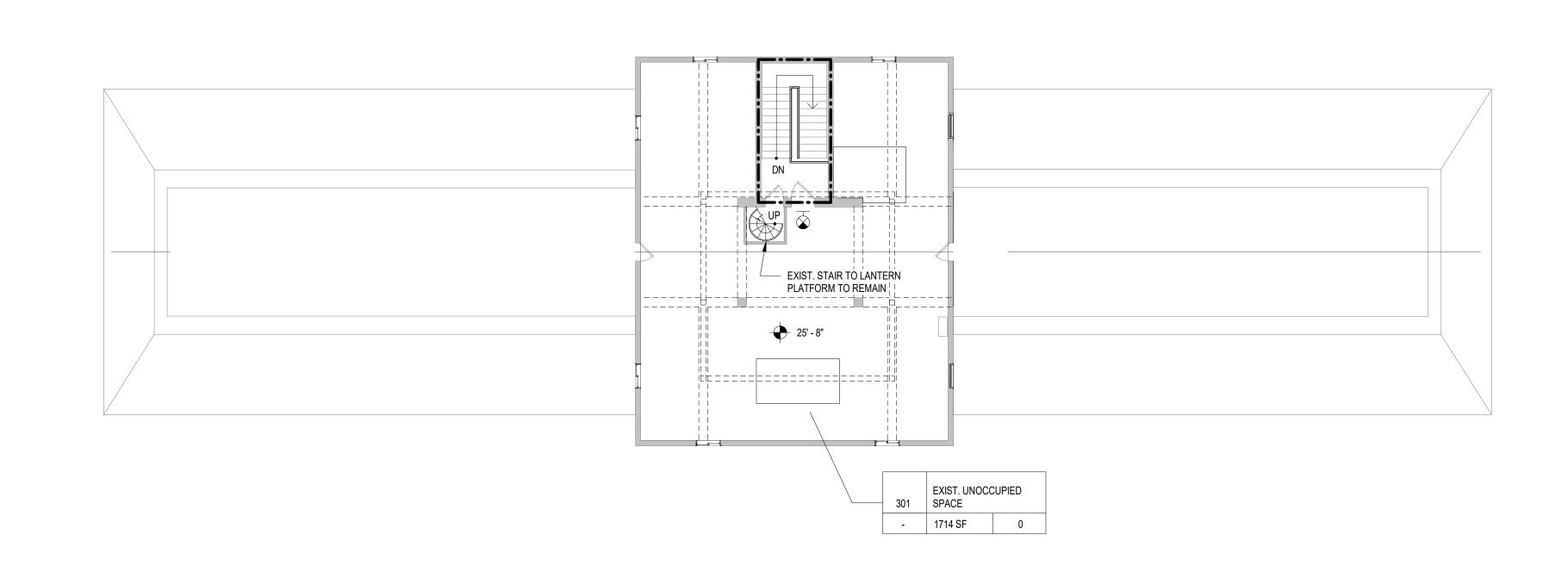
HAZARDOUS MATERIALS ABATEMENT						
140 OLD ORANGEBURG RD						
ORANGETOWN, NY 10962						
Drawing Title						
FIRST AND SECON	ND .					
FLOOR EGRESS PI	LANS					
Disease						
Phase						
100% DESIGN						
Drawn By: Checked By:	Date:					
SK SB	05 / 13 / 22					
Seal & Signature	DASNY Project No:					
TERED ARCA	353630					
CIA LEIC GOSHO	Drawing Number					
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or the State of	Drawing					
	004 OF 047					

NEW YORK

Project Title

515 BROADWAY ALBANY, NY 12207

BUILDING 1 RENOVATION AND



2 ATTIC FLOOR EGRESS

G005 | SCALE: 3/32" = 1'-0"

OCCUPANCY CHART - ATTIC LEVEL

ROOM NUMBER ROOM NAME GROUP AREA FACTOR OCCUPANTS

OCCUPANCY CHART - BASEMENT

ROOM NAME

B02 EXIST. TRANSFORMER ROOM

B03 EXIST. UNOCCUPIED ROOM

B04 EXIST. UNOCCUPIED ROOM

B05 EXIST. UNOCCUPIED ROOM

B06 EXIST. UNOCCUPIED ROOM

B14 EXIST. UNOCCUPIED ROOM B15 EXIST. UNOCCUPIED ROOM

B16 EXIST. UNOCCUPIED ROOM

B17 EXIST. UNOCCUPIED ROOM

B18 EXIST. UNOCCUPIED ROOM

B07 CRAWL SPACE

B07A EXISTING VAULT

B08 CRAWL SPACE

B08B CRAWL SPACE

B09 CRAWL SPACE

B10 CRAWL SPACE

B11 CRAWL SPACE B12 CRAWL SPACE

B13 EXISTING MECH.

B19 EXISTING MECH.

GROUP AREA

167 SF

309 SF

131 SF

368 SF 0

360 SF 0

714 SF 0

55 SF 228 SF 0 168 SF

167 SF 0

228 SF

449 SF

491 SF 0

360 SF 0 229 SF 0

176 SF 0

121 SF 0

132 SF 0

244 SF 0

171 SF 0

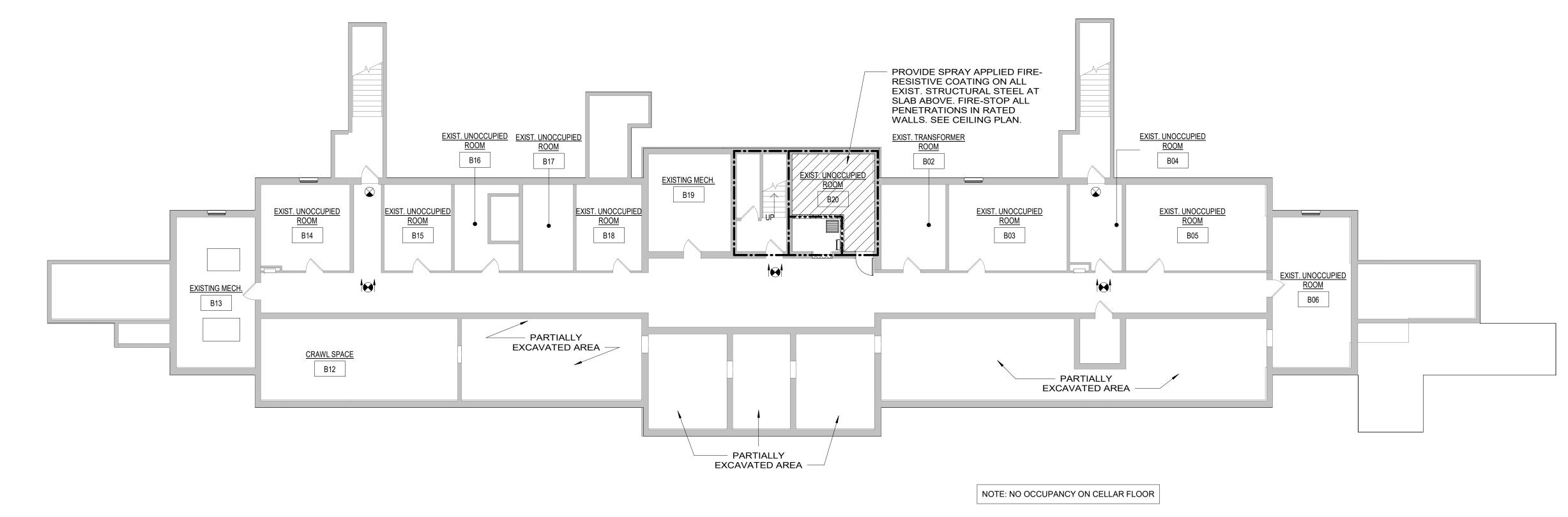
ROOM

NUMBER

OCC. LOAD NO. OF FACTOR OCCUPANTS

1714 SF

301 EXIST. UNOCCUPIED - SPACE



1 CELLAR FLOOR EGRESS

<u>LEGEND</u> EXIST. CONCRETE WALL (8"-14" THK), W/ 1 HOUR/+ FIRE RATING (TABLE 721.1(2) OF 2015 IBC) 1 HOUR FIRE RATING CEILING 1 HOUR FIRE RATING (NEW PARTITIONS) 30 MIN. FIRE RATING ----- NEW YORK STATE OF OPPORTUNITY.

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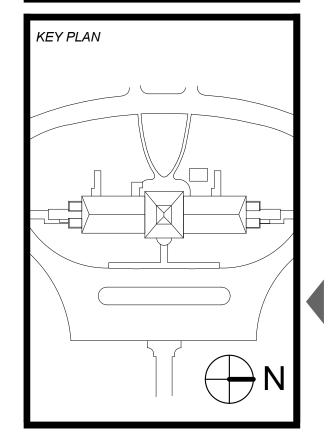
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REV NO	DESCRIPTION	DATE
Client		

Client
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Project Title
BUILDING 1 RENOVATION AND HAZARDOUS MATERIALS ABATEME
140 OLD ORANGEBURG RD

Drawing Title		
CELLAR	AND ATT	IC
EGRESS :	PLANS	
Phase		
100% DESIG	SN	
Drawn By:	Checked By:	Date:
SK	SB	05 / 13
Seal & Signat	ture	DASNY Projec
MERED	ARCA	35
1/25	0.4/1	

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