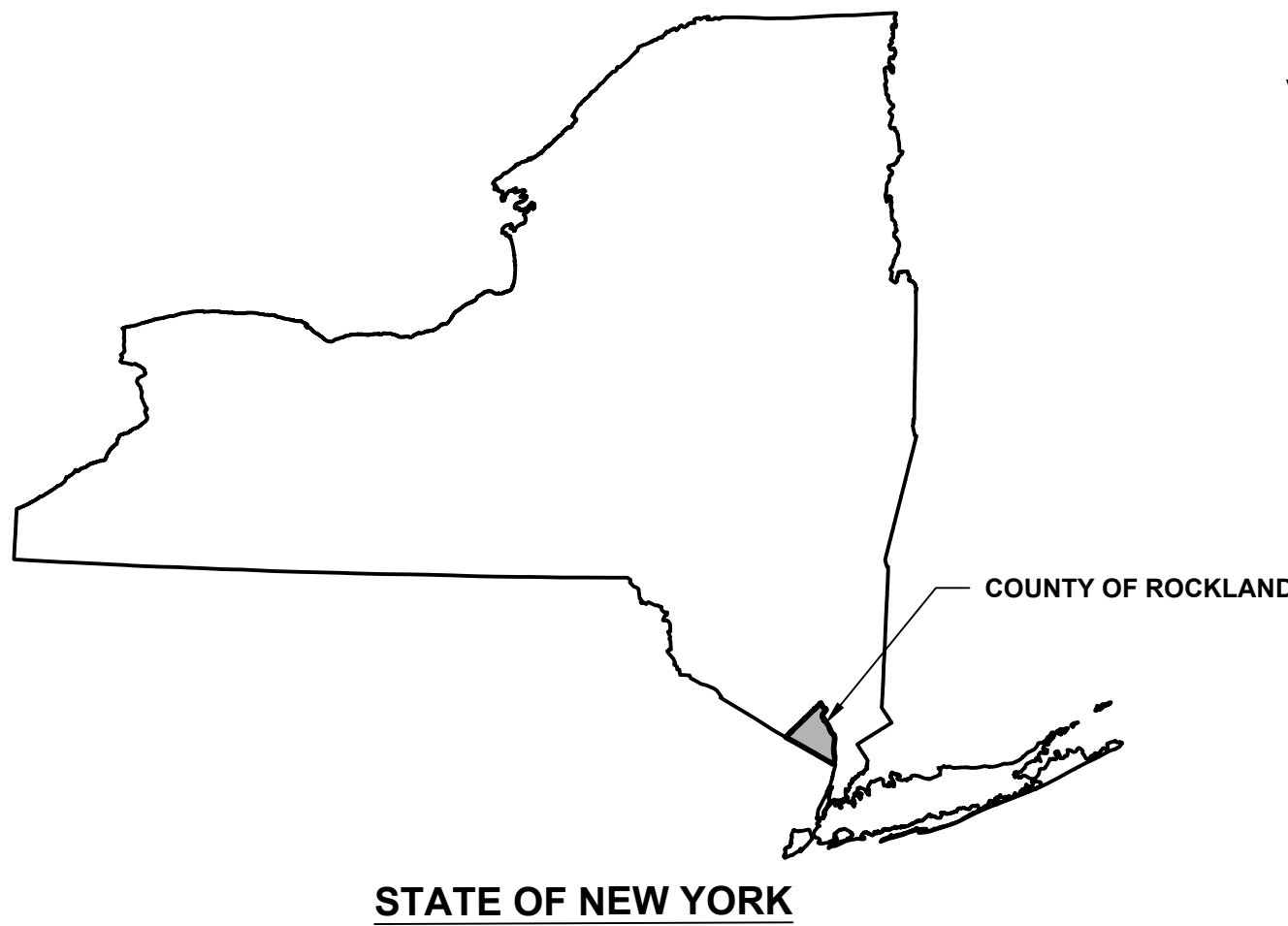


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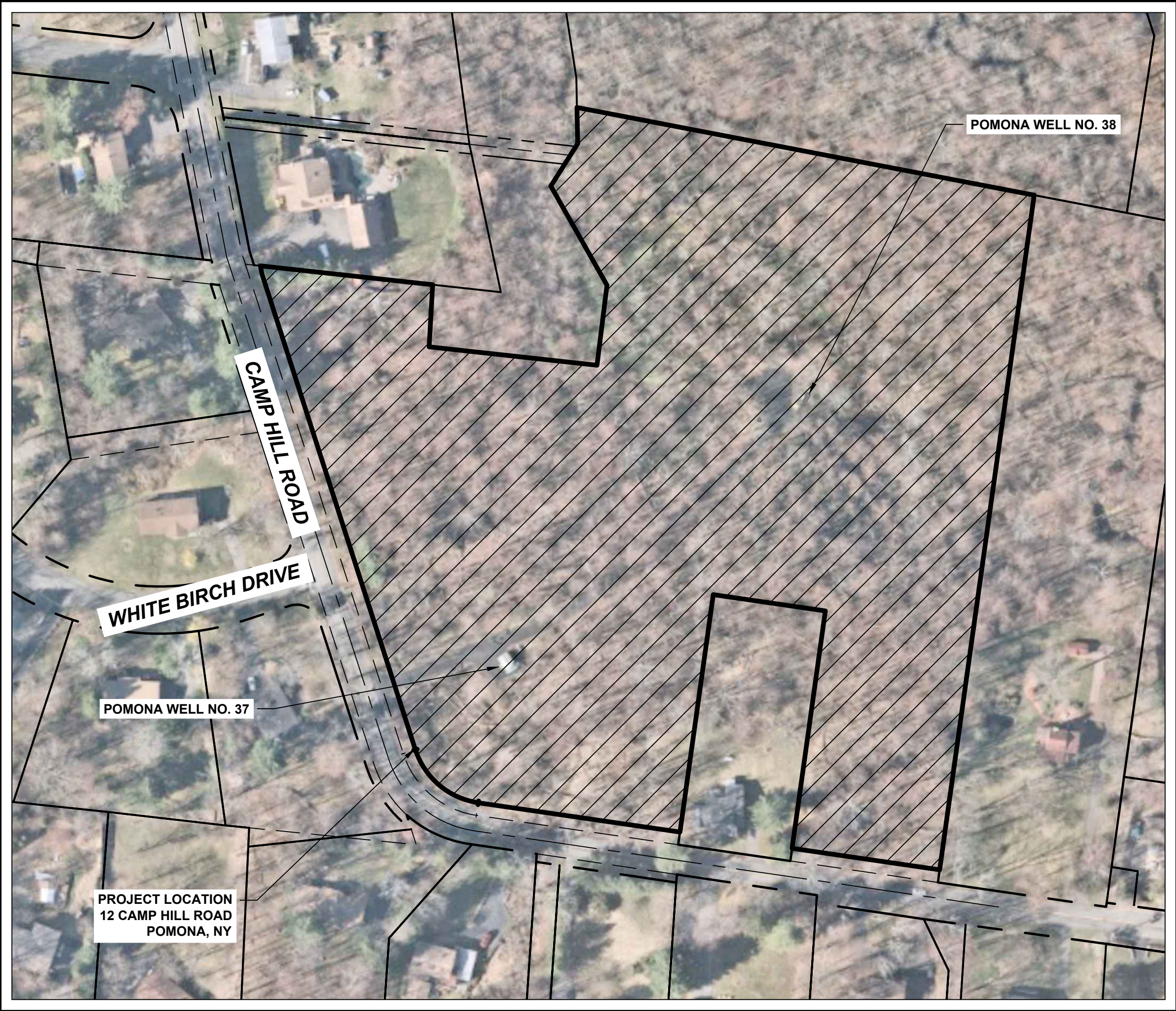
SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE  
POMONA WELL NO. 38  
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK  
FOR CONSTRUCTION



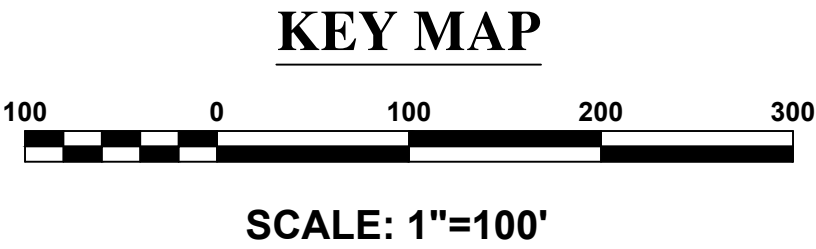
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PUBLIC UTILITIES LIST	
GAS	ORANGE AND ROCKLAND UTILITIES
WATER	SUEZ WATER NEW YORK
SEWER	TOWNSHIP OF RAMAPO
ELECTRICITY	ORANGE AND ROCKLAND UTILITIES
COMMUNICATIONS	VERIZON



- REFERENCES:
1. TAX MAP - LOT 11, BLOCK 33.13-2, ON THE CURRENT TAX MAP OF THE TOWN OF RAMAPO, SHEET #33.12.
  2. AERIAL IMAGERY - © NEARMAP US, INC. <http://go.nearmap.com>, IMAGE TAKEN APRIL 5, 2021



PROJECT DIRECTORY
OWNER/APPLICANT SUEZ WATER NEW YORK INC. 162 OLD MILL ROAD WEST NYACK, NY 10994 (845)357-4411
SITE ENGINEERING & LAND SURVEYOR SUBURBAN ENGINEERING 7 COKESBURY CALIFON ROAD LEBANON, NJ 08833 973-398-1776

SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE  
POMONA WELL NO. 38  
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK  
FOR CONSTRUCTION  
COVER SHEET



PROJECT NUMBER: SCE-12162.002 SHEET 1 OF 21 REVISION -

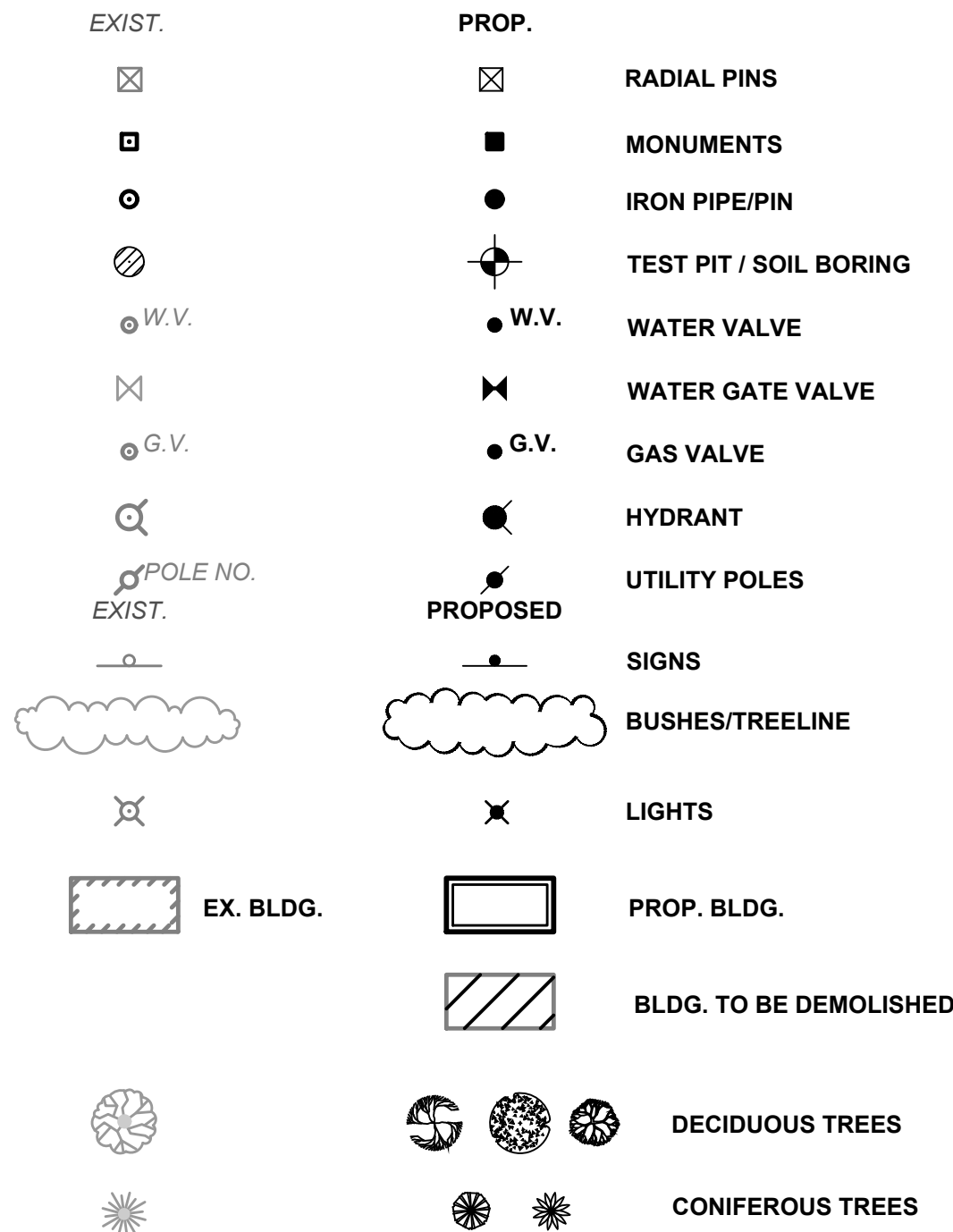
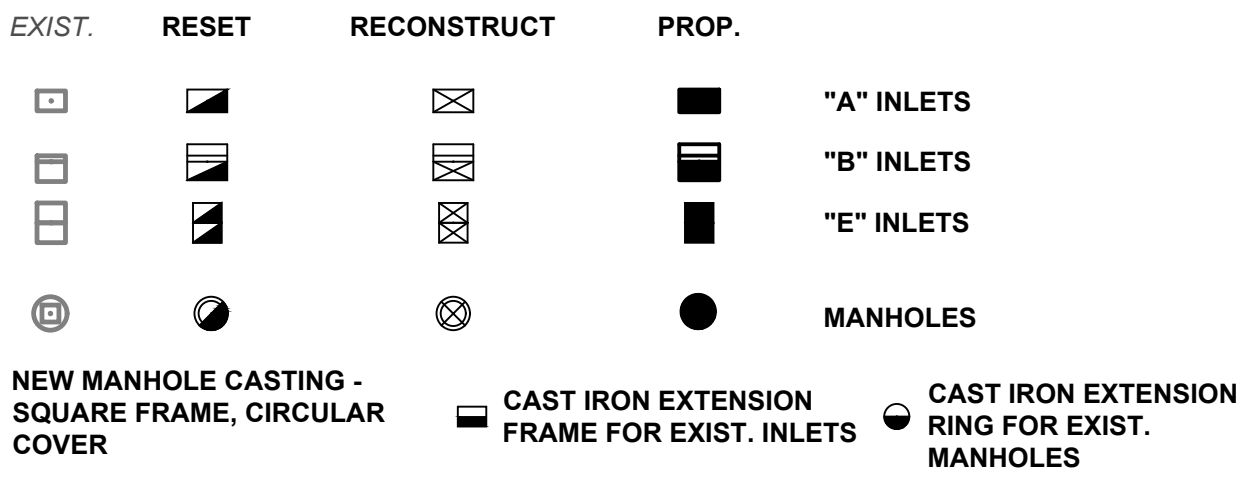
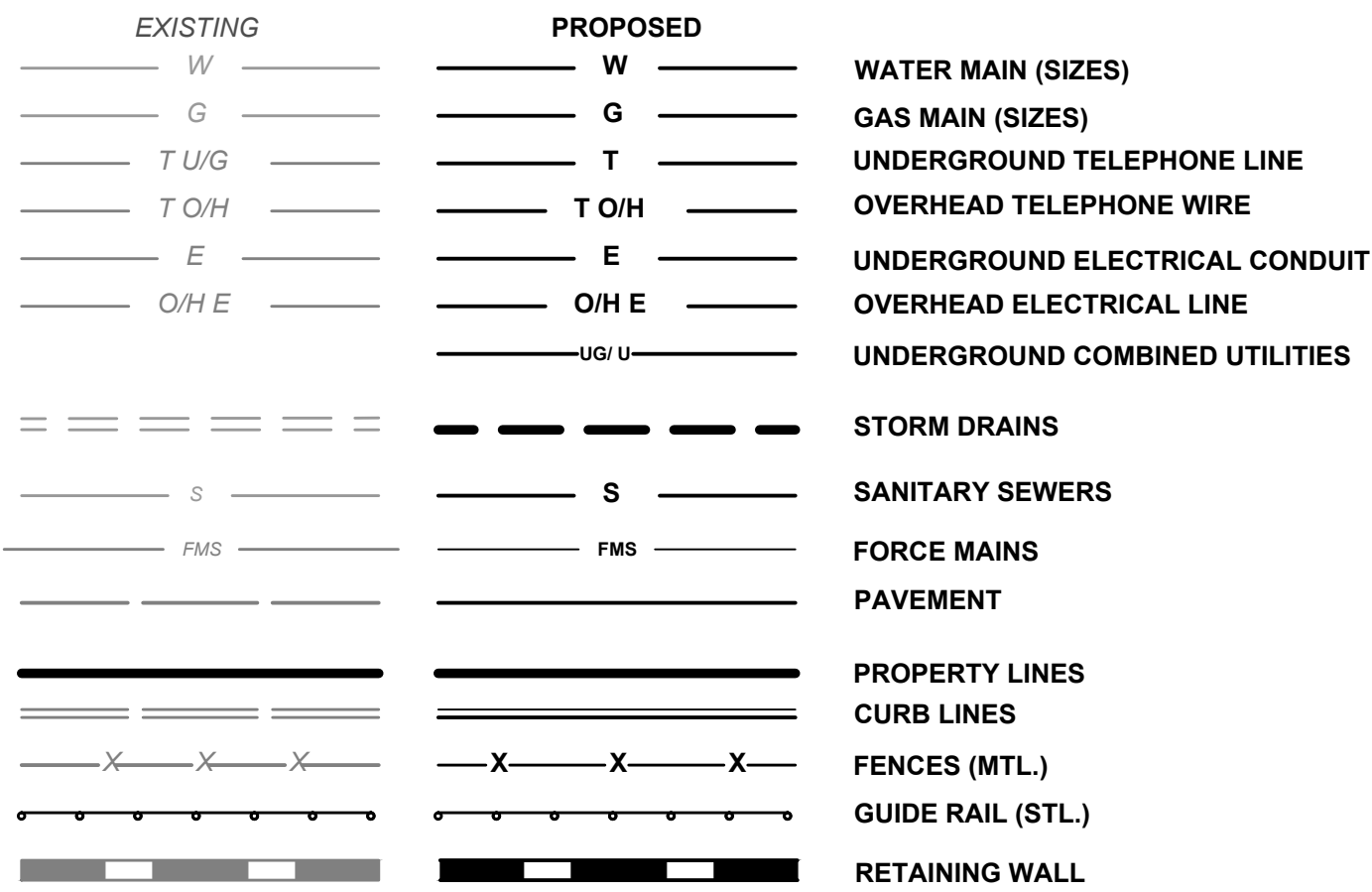
DATE:03/11/2022

CONSULTANT:  
ANDREW S. HOLT, PE  
NY PROFESSIONAL ENGINEER: 095020-1



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LEGEND



REFERENCES:

1. TAX MAP - LOT 11, BLOCK 33.13-2, ON THE CURRENT TAX MAP OF THE TOWN OF RAMAPO, SHEET #33.12
2. AERIAL IMAGERY - © NEARMAP US, INC. <http://go.nearmap.com>
3. SITE PLAN - "SPRING VALLEY WATER COMPANY INCORPORATED, SPRING VALLEY, N.Y. - POMONA WELL FIELD, RAMAPO, N.Y. PROPOSED WELL HOUSE" DATED SEPTEMBER 1974 AND LAST REVISED JUNE 7, 1977 AS REVISION 3.
4. SURVEY - "SUEZ WATER NEW YORK, INC. - PFAS COMPLIANCE - POMONA #37 & 38, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK" DATED APRIL 08, 2021 AND LAST REVISED MAY 25, 2021 AS REVISION A.

NOTE:

PRIOR TO ANY EXCAVATION, CONTRACTOR MUST HAVE ALL UTILITIES MARKED OUT BY THE APPROPRIATE UTILITY COMPANIES -> CALL 811

GENERAL NOTES

- OWNER: SUEZ WATER NEW YORK INC.  
12 CAMP HILL ROAD  
RAMAPO, NY 10970
- APPLICANT : SUEZ WATER NEW YORK INC.  
162 OLD MILL ROAD  
WEST NYACK, NY 10994
1. THE SUBJECT PROPERTY IS KNOWN AS LOT 11, BLOCK 33.13-2, ON THE CURRENT TAX MAP OF THE TOWN OF RAMAPO, SHEET #33.12.
  2. THE SUBJECT PROPERTY CONTAINS 9.514 ACRES (414,432 SF), AND IS SITUATED IN FOLLOWING DISTRICTS:
  3. HORIZONTAL DATUM BASED ON NAD-83 (2011), PER GPS SATELLITE OBSERVATION.
  4. VERTICAL DATUM IS BASED ON NAVD-88, PER GPS SATELLITE OBSERVATION.
  5. ALL UTILITIES WILL BE INSTALLED AS DIRECTED ON THE PLANS.
  6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF RAMAPO STANDARDS AND SPECIFICATIONS, AND ALL STRUCTURES ARE SUBJECT TO REVIEW BY THE CONSTRUCTION CODE OFFICIAL. THE CONSTRUCTION OF ALL SITE IMPROVEMENTS SHALL COMPLY WITH THE NEW YORK STATE CONSTRUCTION CODE.
  7. A PORTION OF THE SUBJECT PROPERTY IS SUBJECT TO FLOODING FROM THE 100 YEAR STORM, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF RAMAPO, PANEL 97 OF 207, COMMUNITY PANEL NUMBER 365340, LAST REVISED MARCH 3, 2014.
  8. WORK MAY BE PERFORMED MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 AM AND 10:00 PM. THE TOWN MUST APPROVE EARLY STARTS AND WORK ON SATURDAYS, SUNDAYS AND HOLIDAYS. WORKING HOURS ON SUEZ PROPERTY MUST BE CONFIRMED AND ANTICIPATED BETWEEN THE WORKING HOURS OF 8:00 AND 6:00 PM.
  9. NO MATERIAL OR EQUIPMENT IS TO BE STORED ON ANY AREA THAT HAS NOT BEEN ESTABLISHED AS A DESIGNATED STAGING AREA. ALL EXCAVATIONS SHALL BE PROTECTED AT THE END OF EACH WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY. STAGING AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR.
  10. ALL CONSTRUCTION MATERIALS, PRODUCTS, HOURS OF OPERATION, ETC. SHALL BE IN ACCORDANCE WITH THE OWNER, THE ON-SITE ENGINEER, THE STATE OF NEW YORK, THE COUNTY OF ROCKLAND, AND THE TOWN OF RAMAPO. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL AS-BUILTS TO THE TOWN (AS REQUIRED) AND THE OWNER OF THE SITE.
  11. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL LOCAL BUILDING PERMITS. THE OWNER WILL OBTAIN ALL PLANNING, ZONING AND LAND DISTURBANCE PERMITS, IF DEEMED NECESSARY.
  12. BUILDING PERMITS SHALL SHOW LOWEST FLOOR ELEVATIONS SUBJECT TO APPROVAL AND INSPECTION BY DEPARTMENT OF ENGINEERING & FACILITIES MAINTENANCE. NO BUILDING PERMIT FOR A BUILDING SUBJECT TO SITE PLAN APPROVAL SHALL BE ISSUED BY THE BUILDING INSPECTOR EXCEPT UPON AUTHORIZATION OF AND IN CONFORMITY WITH THE SITE PLAN APPROVED BY THE RAMAPO PLANNING BOARD.
  13. ALL EXISTING ITEMS NOT DENOTED "TO BE REMOVED" SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
  14. SUEZ WATER NEW YORK INC. AND THE CONTRACTOR SHALL CONFORM TO SOIL EROSION AND SEDIMENT CONTROL PLAN ON FILE IN DEPARTMENT OF ENGINEERING & FACILITIES MAINTENANCE.
  15. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES IF REQUIRED FOR CONSTRUCTION.

GENERAL ENVIRONMENTAL NOTES:

1. THE CONTRACTOR MUST PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PROVISIONS AND CONDITIONS OF THE ROCKLAND COUNTY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
2. THE TRENCH EXCAVATION MAY BE NO WIDER THAN NECESSARY TO COMPLY WITH OSHA SAFETY STANDARDS AND THE CONSTRUCTION DETAILS UNDER THE ACTUAL SURFACE AND SUBSURFACE CONDITIONS AS MAY BE ENCOUNTERED DURING CONSTRUCTION.
3. AVOID DISTURBANCE OF NATURAL VEGETATION DURING CLEARING OPERATIONS TO THE GREATEST EXTENT PRACTICABLE.
4. PERFORM "SOIL EROSION AND SEDIMENT CONTROL" AS DIRECTED BY THE ENGINEER OR SOIL CONSERVATION AGENCY REPRESENTATIVE AS CALLED FOR ON THE PLANS. PERFORM WORK IN ACCORDANCE WITH THE SPECIFICATIONS AS MAY BE WARRANTED BY ACTUAL FIELD CONDITIONS AND THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE FOR ADJUSTMENTS, ADDITIONAL MATERIALS AND MAINTENANCE OF THIS WORK.
5. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF SOIL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES OR REMEDIATION REQUIRED DUE TO EROSION OR DOWNSTREAM SEDIMENT DEPOSITION.
6. MAINTAIN WORK WITHIN THE DESIGNATED LIMITS OF DISTURBANCE AS DELINEATED AND NOTED ON THE PLANS. RESTORE ANY DISTURBANCE BY WORK CONDUCTED OUTSIDE THOSE LIMITS AT NO ADDITIONAL EXPENSE TO THE OWNER.
7. DISPOSE OF ALL WASTE, DEBRIS, AND UNSUITABLE EXCAVATED MATERIALS IN ACCORDANCE WITH THE SPECIFICATIONS, THE STATE AND LOCAL RULES AND REGULATIONS.

GENERAL WATER MAIN CONSTRUCTION NOTES:

1. USE DUCTILE IRON RESTRAINED JOINT FITTINGS WITH MANUFACTURER RETAINER GLANDS ACCORDING TO THE CONTRACT DOCUMENTS. RESTRAIN ALL BENDS, TEES, VALVES, PLUGGED ENDS, ETC. IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
  2. SIZE AND LOCATION OF EXISTING MAINS TO WHICH CONNECTIONS ARE BEING MADE ARE BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN. THE CONTRACTOR MUST BE PREPARED TO ACCOMMODATE CHANGES IN THE SIZE OR LOCATION OF THE CONNECTION BY MAINTAINING AT THE JOB SITE, ADDITIONAL PIPE, FITTINGS, AND VALVES IN THE RANGE OF SIZES AS MAY EXIST.
- COORDINATE ALL WATER SYSTEM CONNECTIONS, SHUT DOWNS, OR OTHER SYSTEM RELATED OPERATIONS WITH THE OWNER AND NOTIFY AFFECTED RESIDENCES AND BUSINESSES A MINIMUM OF ONE WEEK PRIOR TO THE SCHEDULED DATE FOR SAID SHUT DOWN OPERATIONS. ONLY SUEZ PERSONNEL SHALL OPERATE EXISTING VALVES AND HYDRANTS. THE CONTRACTOR MUST PROVIDE WRITTEN NOTIFICATION OF THE START OF CONSTRUCTION TO PROPERTY OWNERS WITHIN THE PROJECT LIMITS 72 HOURS PRIOR TO CONSTRUCTION OPERATIONS AND 72 HOURS PRIOR TO OPERATIONS THAT MAY AFFECT PROPERTY ACCESS.
- CONSTRUCTION SHALL CONFORM TO APPROPRIATE SECTIONS OF: 1) NATIONAL ELECTRICAL CODE; 2) NATIONAL STANDARD PLUMBING CODE; AND 3) INTERNATIONAL MECHANICAL CODE, LATEST EDITIONS.

GENERAL CONSTRUCTION NOTES:

1. COORDINATE ALL WATER SYSTEM CONNECTIONS, SHUT DOWNS, OR OTHER SYSTEM RELATED OPERATIONS WITH THE OWNER AND NOTIFY AFFECTED RESIDENCES AND BUSINESSES A MINIMUM OF ONE WEEK PRIOR TO THE SCHEDULED DATE FOR SAID SHUT DOWN OPERATIONS. ONLY SUEZ PERSONNEL SHALL OPERATE EXISTING VALVES AND HYDRANTS. THE CONTRACTOR MUST PROVIDE WRITTEN NOTIFICATION OF THE START OF CONSTRUCTION TO PROPERTY OWNERS WITHIN THE PROJECT LIMITS 72 HOURS PRIOR TO CONSTRUCTION OPERATIONS AND 72 HOURS PRIOR TO OPERATIONS THAT MAY AFFECT PROPERTY ACCESS.
2. CONSTRUCTION SHALL CONFORM TO APPROPRIATE SECTIONS OF: 1) NATIONAL ELECTRICAL CODE; 2) NATIONAL STANDARD PLUMBING CODE; AND 3) INTERNATIONAL MECHANICAL CODE, LATEST EDITIONS.

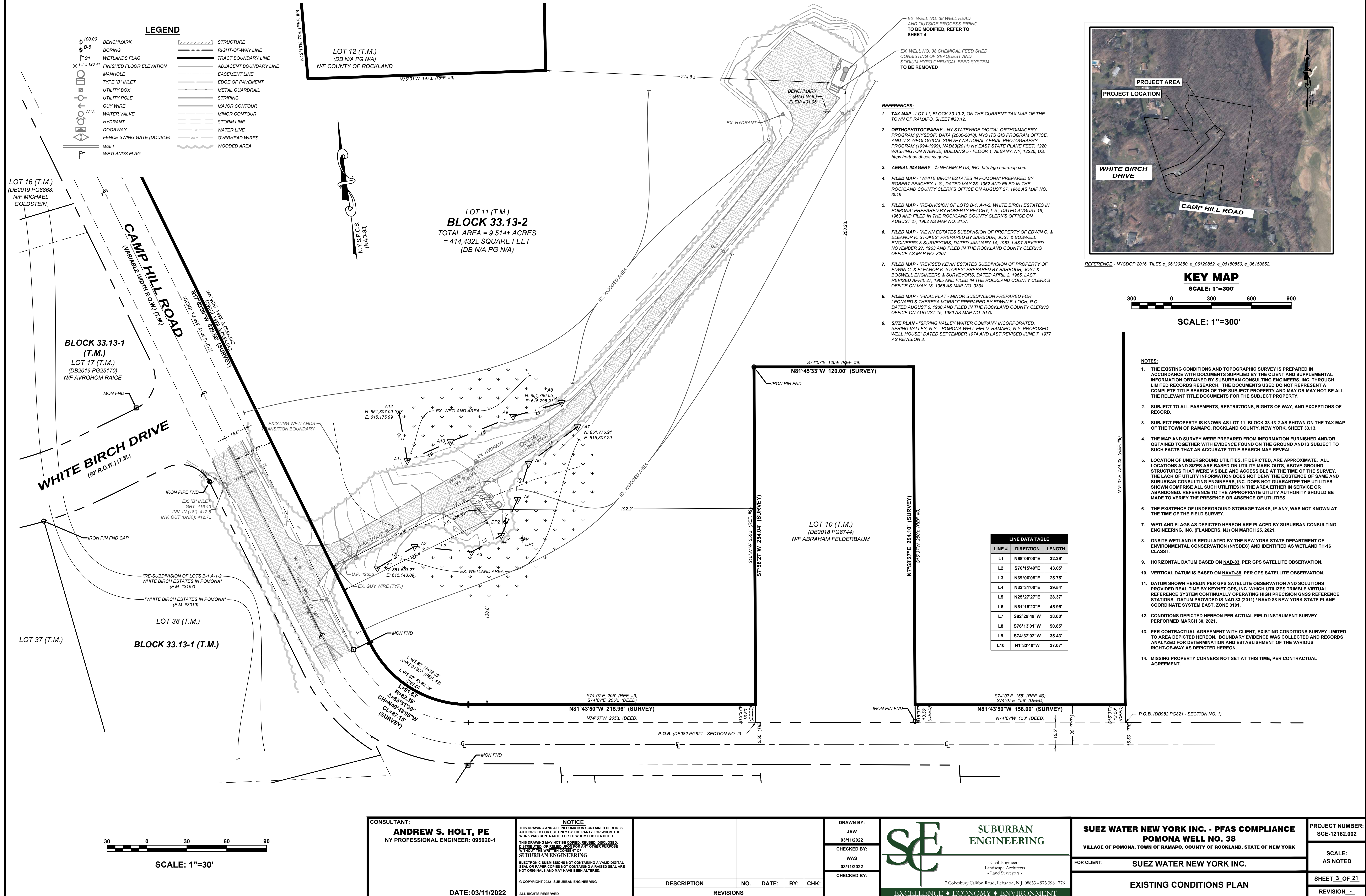
CERTIFIED PROPERTY OWNERS LIST WITHIN 500 FT.

09/33.17-1-18 ROMAN ALMA S 5 CAMP HILL RD POMONA, NY 10970	09/33.17-1-8 PUTKOSKI JOAN C/O J. FORLINI 5 GALILEO CT SUFFERN, NY 10901	09/33.13-1-29 WEBER PINCHAS & ESTHER 7 GALILEO COURT SUFFERN, NY 10901
09/33.13-1-47 SANTOS JAVIER & HELEN 7 CAMP HILL RD POMONA, NY 10970	09/33.13-1-46 WACK CHERYL & WILLIAM J 9 CAMP HILL RD POMONA, NY 10970	09/33.13-1-45 STANTON ARTHUR E & ELLEN 11S. CAMP HILL RD POMONA, NY 10970
09/33.13-1-44 SANDHAUS CHAYA LEAH 13 CAMP HILL RD POMONA, NY 10970	09/33.13-1-43 STATE OF NEW YORK ROCKLAND COUNTY FINANCE OFFICE 50 SANATORIUM ROAD BUILDING A - 8TH FLOOR	89/33.13-2-8 ROCKLAND COUNTY SEWER DIST #1 4 RT 340 ORANGEBURG, NY 10962
09/33.13-1-42 KHALEGHIAN DAISY TRUST 17 CAMP HILL RD POMONA, NY 10970	09/33.13-1-41 DE TORRE EDWARD 17A CAMP HILL RD POMONA, NY 10970	09/33.13-1-40 EDLOW HOWARD E & JEANETTE M L/E 19 CAMP HILL POMONA, NY 10970
09/33.13-1-39 VAN HALEM BOROECHE & CHANA 21 CAMP HILL RD POMONA, NY 10970	09/33.13-1-30 LASKAR MENACHEM 561 ALBANY AVE BROOKLYN, NY 11203	09/33.13-1-31 MONTMORANO MICHAEL & SUSAN 11 GALILEO CT SUFFERN, NY 10901
09/33.13-1-32 SIMON JOYCE 13 GALILEO CT SUFFERN, NY 10901	09/33.13-1-35 LIEBLICH EDITH & DAVID AS TRUSTEES OF THE DAVID 43 WHITE BIRCH DR POMONA, NY 10970	09/33.13-1-17 RAICE AVROHOM & TARA 48 WHITE BIRCH RD POMONA, NY 10970
89/33.13-2-7 ROCKLAND COUNTY SEWER DIST #1 4 RT 340 ORANGEBURG, NY 10962	09/33.13-1-37 BAJADA KATHLEEN 47 WHITE BIRCH DR POMONA, NY 10970	09/33.13-1-34 KATZ BRIAN & LIZA 6 ANDERS LA POMONA, NY 10970
09/33.13-1-38 KIM YOUNG K 49 WHITE BIRCH DR POMONA, NY 10970	89/33.13-2-10 FELBERBAUM ABRAHAM 8 CAMP HILL ROAD POMONA, NY 10970	09/33.13-1-36 BLACKMAN NAOMI 45 WHITE BIRCH DR POMONA, NY 10970
09/33.13-1-18 FLOHR DEVORA 46 WHITE BIRCH DR POMONA, NY 10970	09/33.13-1-16 GOLDSTEIN MICHAEL S & HABER KAYLA 27 CAMP HILL RD POMONA, NY 10970	09/33.13-1-19 HUGHEY ALICE M 44 WHITE BIRCH DRIVE POMONA, NY 10970
89/33.13-2-9 EGGER ALBA & BELANDRIA EDUARDO 69 BANK ST. APT. 202 NEW YORK, NY 10014	89/33.13-2-11 SUEZ WATER NY 461 FROM RD PARAMUS, NJ 07652	89/33.13-2-13 DAGRACALOBO CARLOS V & JO-ANNE M 22 CAMP HILL RD POMONA, NY 10970
09/33.13-1-15 GLASER ALVIN & HELEN 3 TARA DR POMONA, NY 10970	09/33.13-1-13 LAMSTEIN JONATHAN & JILL 5 TARA DR POMONA, NY 10970	89/33.13-2-14 PLAISTED JAMES A + CHARLOTTE 24 CAMP HILL RD POMONA, NY 10970
89/33.13-2-15 SILVERSTEIN YISROEL 26 CAMP HILL RD POMONA, NY 10970	09/33.13-1-9 GREENBERG MARC & YOCHAVED 2 TARA DR POMONA, NY 10970	09/33.13-1-10 DEFRANCESCO DAVID & AMAR SOLANGE 4 TARA DR POMONA, NY 10970
89/33.13-2-12 ROCKLAND COUNTY OF 50 SANATORIUM ROAD BUILDING A- 8TH FLOOR POMONA, NY 10970	89/33.13-2-16 JACOBSON GRETTA J 28 CAMP HILL RD POMONA, NY 10970	89/33.13-2-4 ROCKLAND COUNTY OF C/O COUNTY TREASURER 50 SANATORIUM ROAD BUILDING A- 8TH FLOOR POMONA, NY 10970
89/33.13-2-3 LAINE YAAKOV 30 CAMP HILL RD POMONA, NY 10970	89/33.13-2-6 MOUNT IVY LLC & LINDIFRIM (POMONA) LP 286B CEDARBRIDGE AVE LAKEWOOD, NJ 08701	

<div>CONSULTANT:</div> <div>ANDREW S. HOLT, PE</div> <div>NY PROFESSIONAL ENGINEER: 095020-1</div> <div>DATE: 03/11/2022</div>	<div>NOTICE</div> <div>THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.</div> <div>THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING</div> <div>ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.</div> <div>© COPYRIGHT 2022 SUBURBAN ENGINEERING</div> <div>ALL RIGHTS RESERVED</div>	<div>DESCRIPTION</div> <div>NO.</div> <div>DATE:</div> <div>BY:</div> <div>CHK:</div> <div>REVISIONS</div>	<div>DRAWN BY:</div> <div>JAW</div> <div>03/11/2022</div> <div>CHECKED BY:</div> <div>WAS</div> <div>03/11/2022</div> <div>CHECKED BY:</div>	<div><div><div>SE</div><div>E</div></div><div>SUBURBAN ENGINEERING</div><div><div>- Civil Engineers -</div><div>- Landscape Architects -</div><div>- Land Surveyors -</div></div><div>7 Cokesbury Calicut Road, Lebanon, N.J. 08833 - 973.398.1776</div><div>EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT</div></div>	<div>SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE</div> <div>POMONA WELL NO. 38</div> <div>VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK</div>	<div>PROJECT NUMBER:</div> <div>SCE-12162.002</div>
					<div>FOR CLIENT:</div> <div>SUEZ WATER NEW YORK INC.</div>	<div>SCALE:</div> <div>N.T.S.</div>
					<div>GENERAL NOTES &amp; LEGEND</div>	
					<div>SHEET 2 OF 21</div>	
					<div>REVISION -</div>	

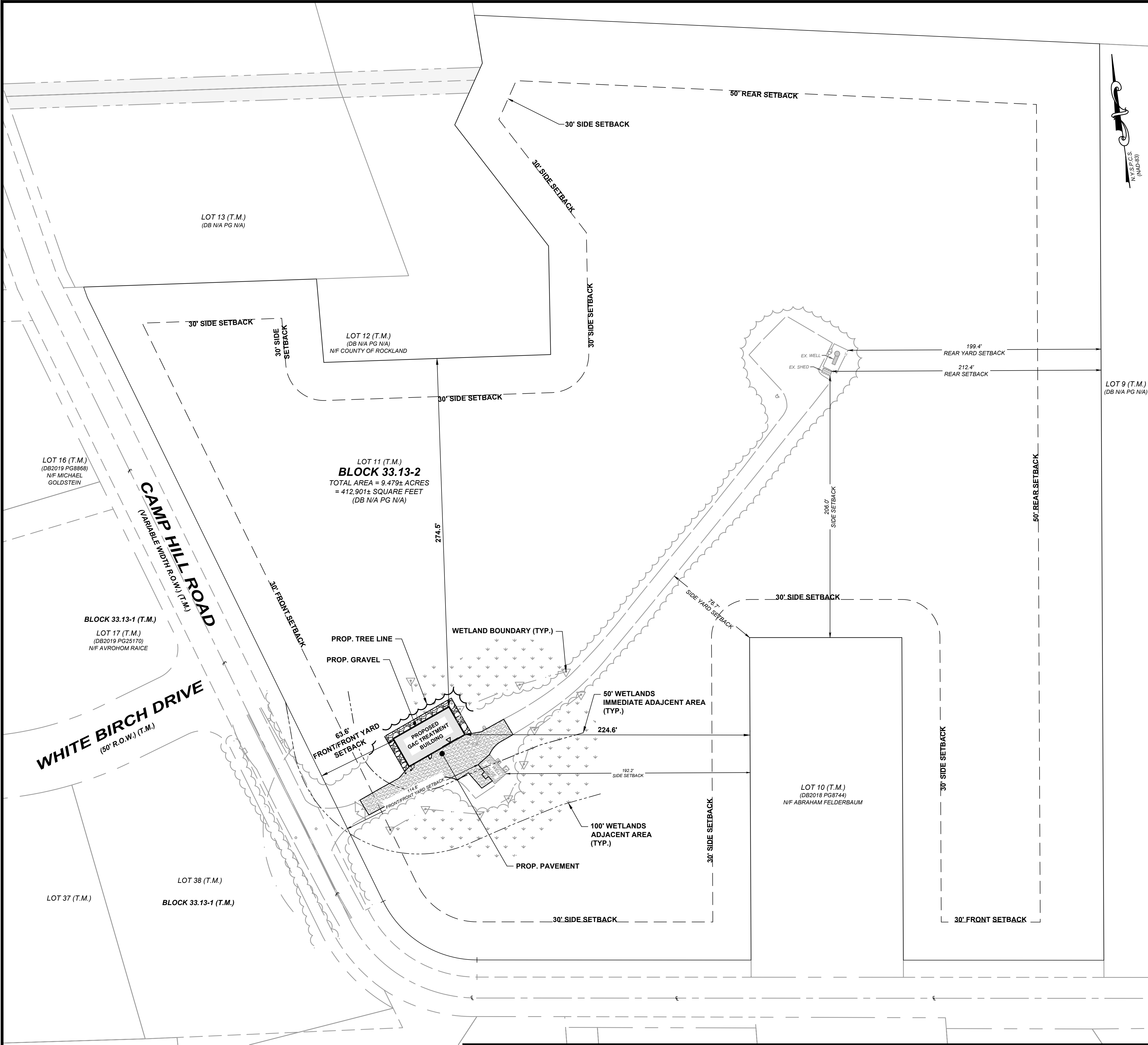


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STANDARD SITE DEVELOPMENT PLAN NOTES

- THIS IS LOT 11 IN SECTION 33.13-2 AS SHOWN ON THE TOWN OF RAMAPO TAX MAP.
- AREA OF TRACT: 9.479 ACRES = 412,901 SQUARE FEET
- ZONE: RURAL-RESIDENTIAL - 80,000 SQ.FT. PER LOT (RR-80)
- PROPOSED USE: PUBLIC UTILITY WELL INFRASTRUCTURE
- RECORD OWNER/APPLICANT: SUEZ WATER NEW YORK INC.  
162 OLD MILL ROAD  
WEST NYACK, NY 10994
- FIRE DISTRICT: MOLESTON/HILLCREST
- SCHOOL DISTRICT: EAST RAMAPO CENTRAL SCHOOL DISTRICT
- WATER DISTRICT: SUEZ WATER NEW YORK
- WATER SUPPLY BY: SUEZ WATER NEW YORK
- SEWER DISTRICT: ROCKLAND COUNTY SEWER DISTRICT NO. 1
- DATUM:  
HORIZONTAL: NAVD83 (2011)  
VERTICAL: NAVD88
- ALL UTILITIES UNDERGROUND. ELECTRIC SERVICE SHALL BE IN CONDUIT OF NOT LESS THAN 2 INCH DIAMETER.
- THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE, EXCEPT AS SHOWN ON THIS PLAN. SUBJECT TO THE FINDINGS OF A COMPLETE AND UP-TO-DATE TITLE SEARCH.
- THE ZONING BOARD OF APPEALS, ON 12/16/2021 AS CASE NUMBER 21-234 IN THE APPLICATION OF "SUEZ WATER NY PFAS COMPLIANCE - POMONA WELL #38" GRANTED VARIANCES FOR MAXIMUM BUILDING HEIGHT.
- NO SIGN(S) OTHER THAN THOSE SHOWN ON THIS DRAWING ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE PLANNING BOARD (TENANTS ARE TO BE ADVISED OF THIS CONDITION).
- THE OWNER AND/OR APPLICANT, AS A CONDITION OF APPROVAL OF THIS SITE PLAN, AGREES TO COMPLETE THE WITHIN SITE DEVELOPMENT PLAN AS DRAWN AND ALL IMPROVEMENTS SHOWN THEREON, AS A CONDITION OF THE ISSUANCE OF A BUILDING PERMIT. THE APPLICANT/OWNER IS AWARE THAT NO CHANGES IN THIS PLAN MAY BE MADE UNLESS APPROVED BY THE PLANNING BOARD.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN AS-BUILT LANDSCAPING DRAWING SHALL BE SUBMITTED WHICH IS CERTIFIED BY A LANDSCAPE ARCHITECT LICENSED TO PRACTICE IN THE STATE OF NEW YORK. SAID CERTIFIED LANDSCAPING DRAWING SHALL INDICATE THE DEGREE OF COMPLETION OF SAID LANDSCAPING IMPROVEMENTS IN ACCORDANCE WITH THE APPROVED SITE PLAN.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN AS-BUILT LANDSCAPING DRAWING SHALL BE SUBMITTED TO THE BUILDING INSPECTOR, PLANNING BOARD AND DEPARTMENT OF PUBLIC WORKS WHICH IS CERTIFIED BY A LANDSCAPE ARCHITECT LICENSED TO PRACTICE IN THE STATE OF NEW YORK. SAID CERTIFIED LANDSCAPING DRAWING SHALL INDICATE THE DEGREE OF COMPLETION OF SAID LANDSCAPING IMPROVEMENTS IN ACCORDANCE WITH THE APPROVED SITE PLAN.
- PLANS ARE BASED ON FIELD ENGINEERING DATA PROVIDED AND COLLECTED DURING FIELD INVESTIGATIONS.

ZONING ANALYSIS - TOWN OF RAMAPO				
LAND USE REGULATION (PER CHAPTER 376 ATTACHMENT 5)	REQUIRED/PERMITTED RR-80 DISTRICT USE GROUP A	EXISTING	PROPOSED	VARIANCE
MINIMUM LOT AREA	NONE	412,901 SF	412,901 SF	NO
LOT WIDTH (FEET)	N/A	N/A	N/A	NO
FRONT SETBACK (FEET)	30 FT	114.6 FT	63.6 FT	NO
FRONT YARD SETBACK (FEET)	0 FT	114.6 FT	63.6 FT	NO
SIDE SETBACK (FEET)	30 FT	192.2 FT	192.2 FT	NO
TOTAL SIDE SETBACK (FEET)	60 FT	398.18 FT	398.18 FT	NO
SIDE YARD (FEET)	0 FT	76.7 FT	76.7 FT	NO
REAR SETBACK (FEET)	50 FT	212.4 FT	212.4 FT	NO
REAR YARD (FEET)	0 FT	199.4 FT	199.4 FT	NO
STREET FRONTAGE (FEET)	15 FT	1004.2 FT	1004.2 FT	NO
MAXIMUM HEIGHT (FEET)	15 FT	13.5 FT	30.4 FT	APPROVED*
DEVELOPMENT COVERAGE	5%	2.41%	2.89%	NO
FLOOR AREA RATIO (FAR)	N/A	N/A	N/A	NO

1. DEVELOPMENT COVERAGE = IMPERVIOUS COVERAGE/ LOT AREA  
EXISTING = 9,998 SF / 412,901 SF x 100 = 2.41%  
PROPOSED = 11,977 SF / 412,901 SF x 100 = 2.89%.
2. §376-5: HEIGHT: THE VERTICAL DISTANCE FROM THE AVERAGE ELEVATION OF THE PROPOSED FINISHED GRADE ALONG THE WALL OF A BUILDING (OR ADJACENT TO THE SIDE OF THE NONBUILDING USE) TO THE HIGHEST POINT IF THE ROOF FOR FLAT ROOFS AND TO THE MEAN HEIGHT BETWEEN EAVES AND RIDGE FOR GABLE, HIP, AND GAMBREL ROOFS OF SUCH BUILDING (OR NONBUILDING USES, EXCEPT AS SPECIFICALLY EXEMPTED IN §376-60).
3. BUILDING HEIGHT CALCULATION:  
- AVERAGE GRADE = (410.87'+405.90'+409.10'+409.10')/4 = 408.74'  
- PROPOSED PEAK ELEVATION = 34.00'+409.10' = 443.10'  
- PROPOSED EAVE ELEVATION = 26.08'+409.10' = 435.18'  
- MEAN BUILDING ELEVATION = (443.10'+435.18')/2 = 439.14  
- BUILDING HEIGHT = 439.14' - 408.74' = 30.40'
4. THE ZONING BOARD APPEALS ON 12/16/21, AS ZBA CASE NUMBER 21-234, GRANTED VARIANCE FOR MAXIMUM BUILDING HEIGHT.



CONSULTANT:  
**ANDREW S. HOLT, PE**  
NY PROFESSIONAL ENGINEER: 095020-1

DATE: 03/11/2022

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**SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE  
POMONA WELL NO. 38**  
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

**SITE LAYOUT PLAN**

PROJECT NUMBER:  
SCE-12162.002

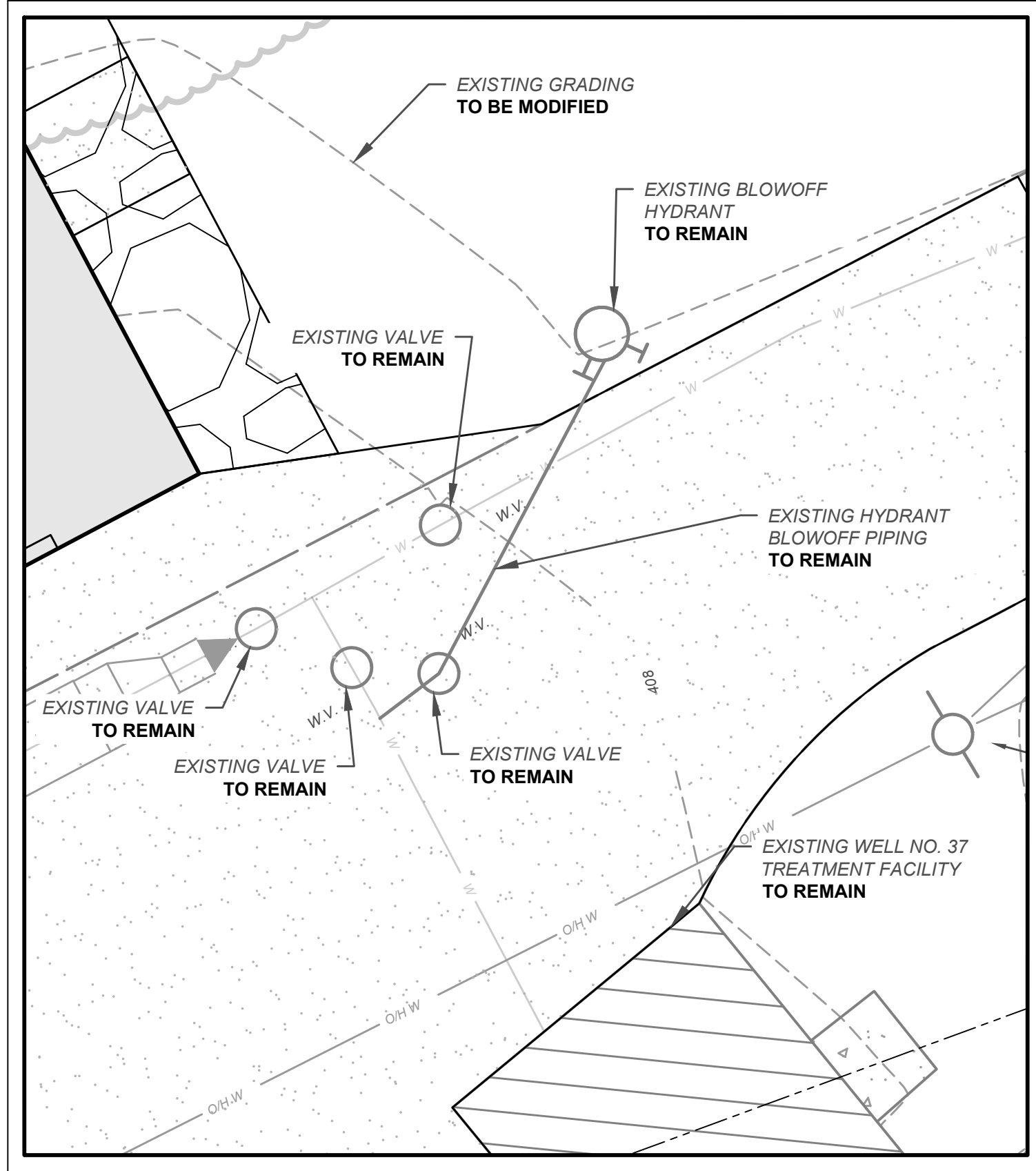
SCALE:

SHEET 4 OF 21

REVISION -

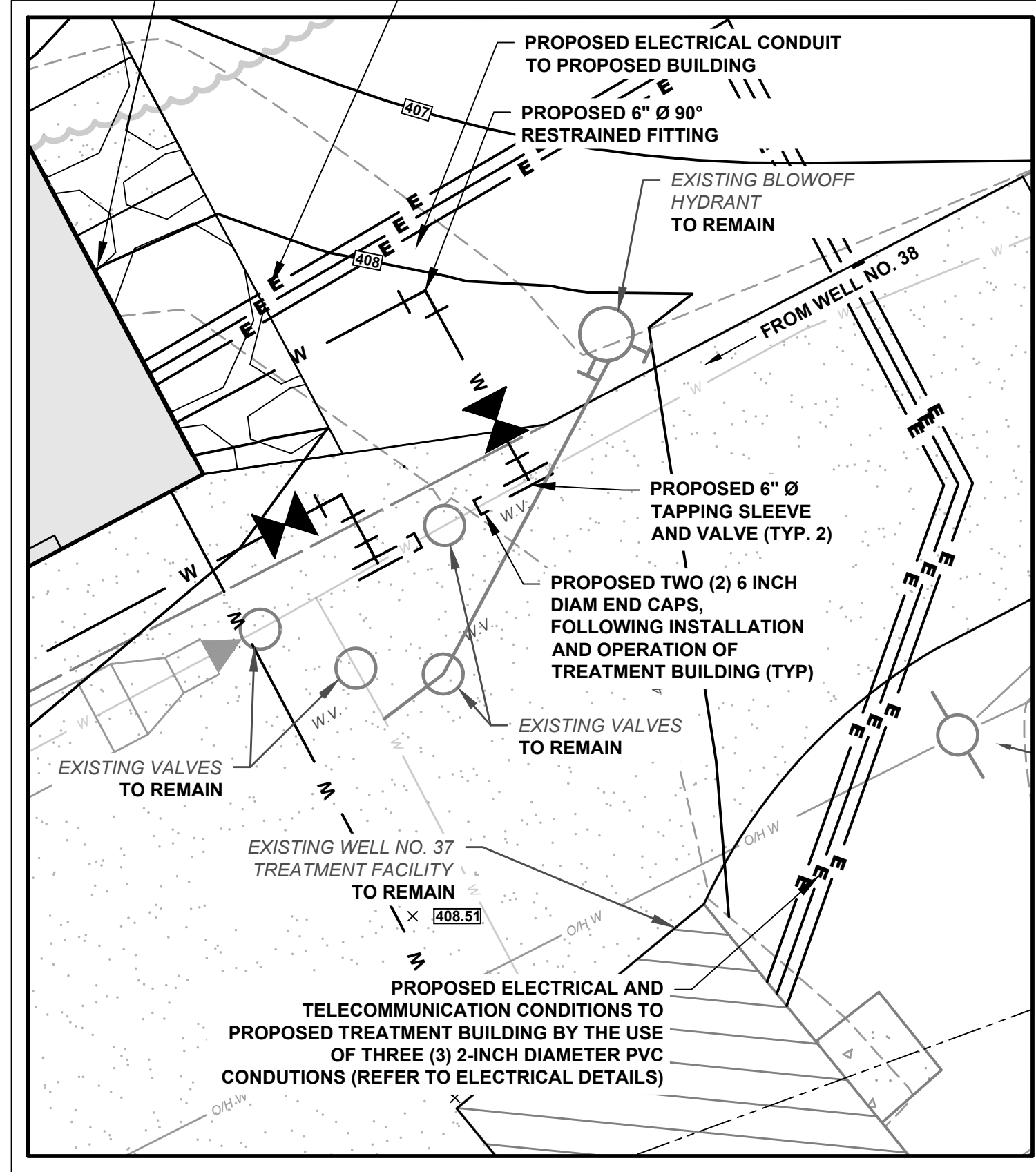


E:\SCE\Ramapo\12162.002\Sheets\construction set\12162.002.05 Yard Piping Plan.dwg Thu, Mar 10, 2022 - 5:10pm dfahey SUBURBAN CONSULTING ENGINEERS, INC.



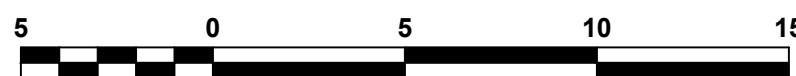
EXISTING YARD DEMO CONFIGURATION

SCALE: 1" = 5'

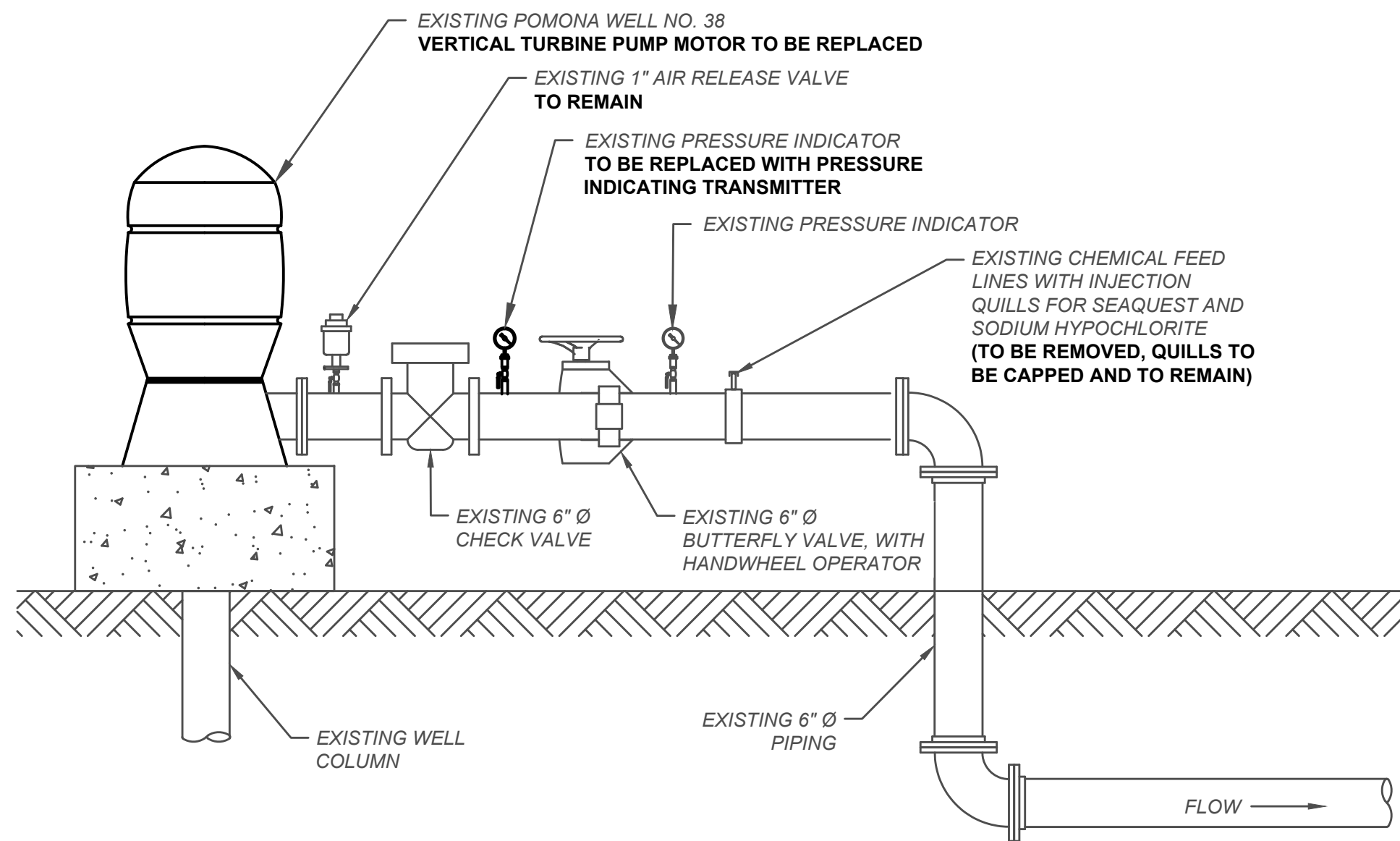


PROPOSED UTILITY PLAN CONFIGURATION

SCALE: 1" = 5'

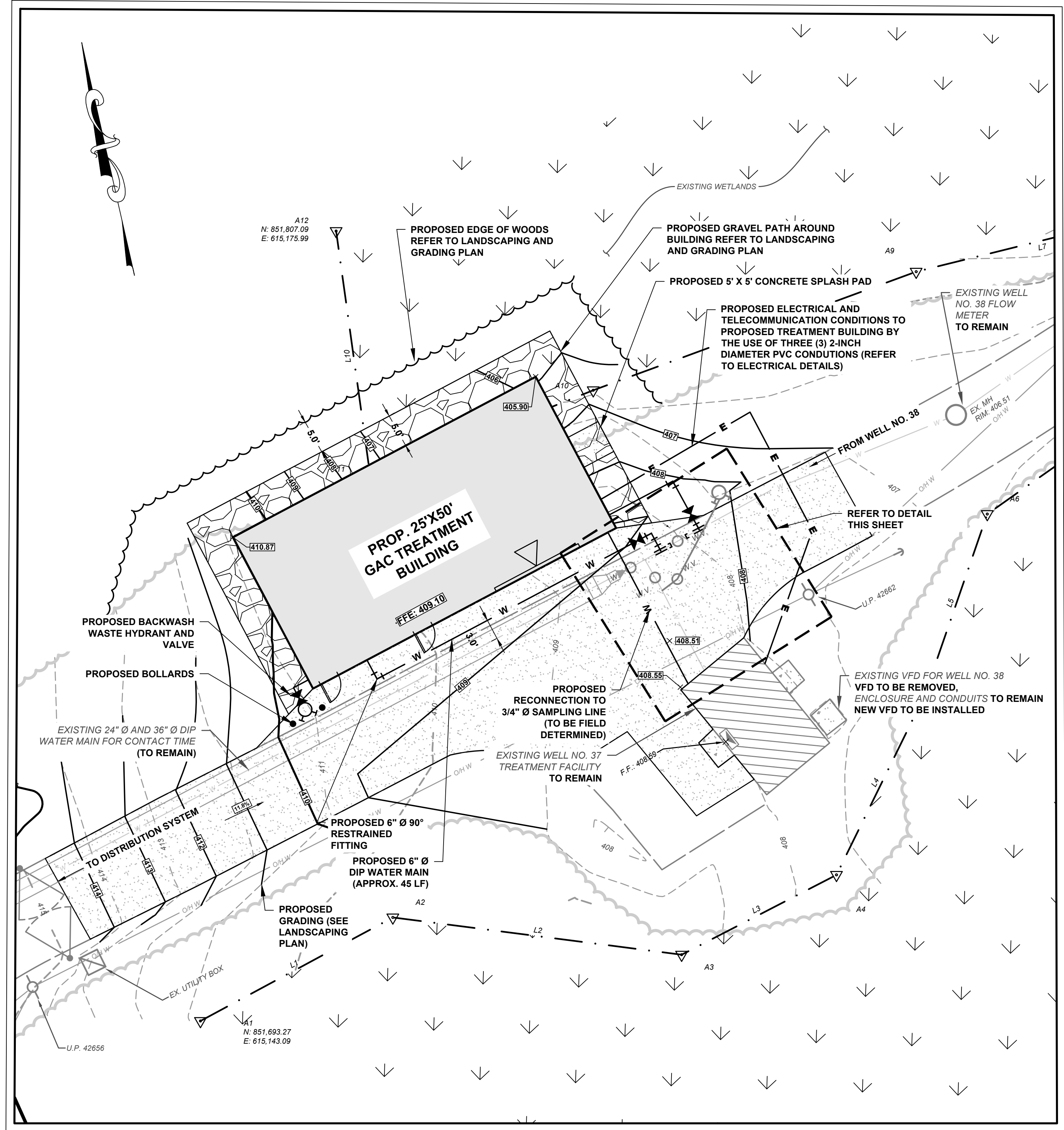


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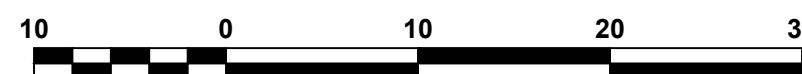
POMONA WELL NO. 38 PROCESS PIPING

SCALE: N.T.S.




UTILITY PIPING PLAN

SCALE: 1" = 10'

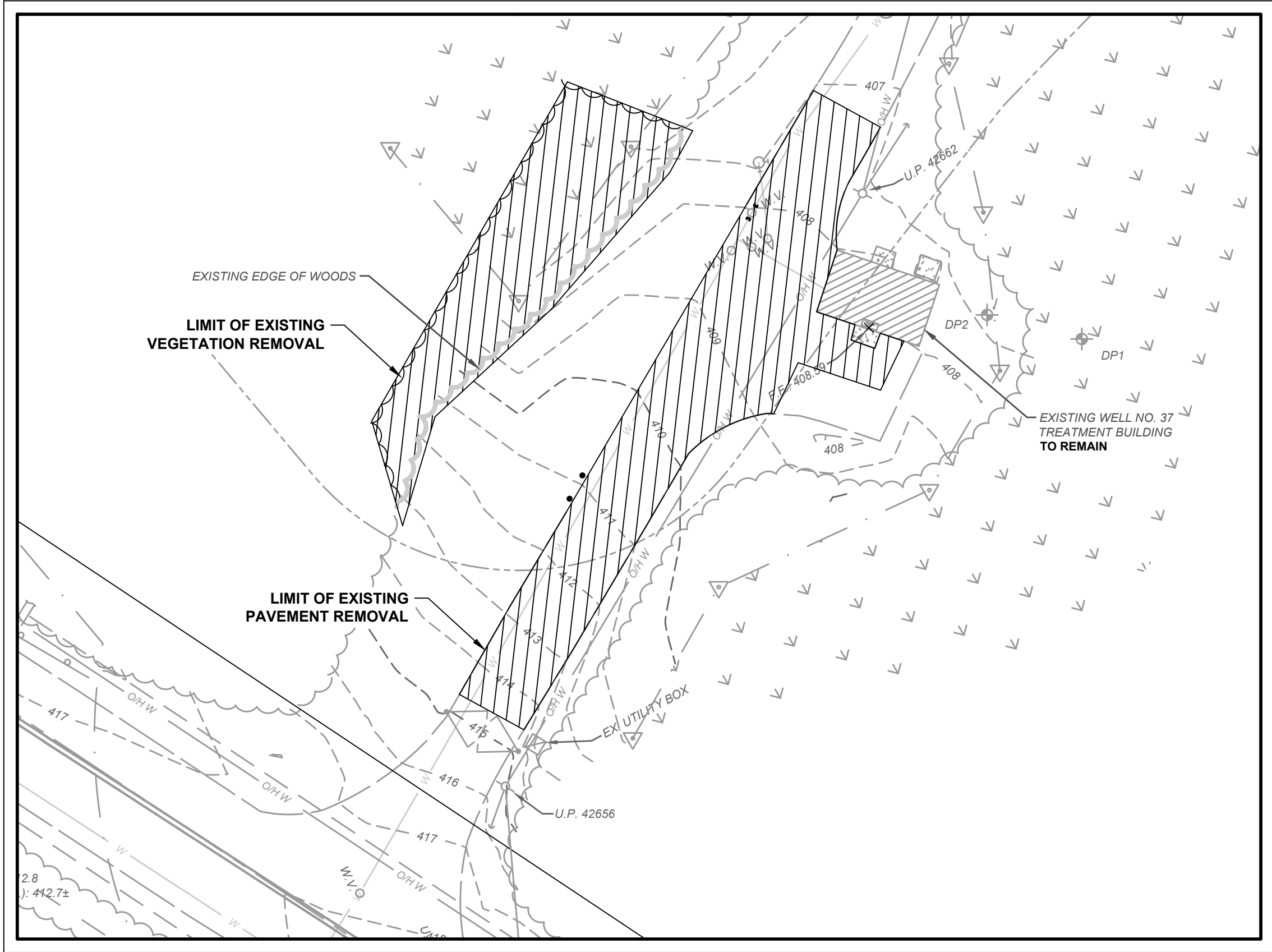


SCALE: 1"=10'

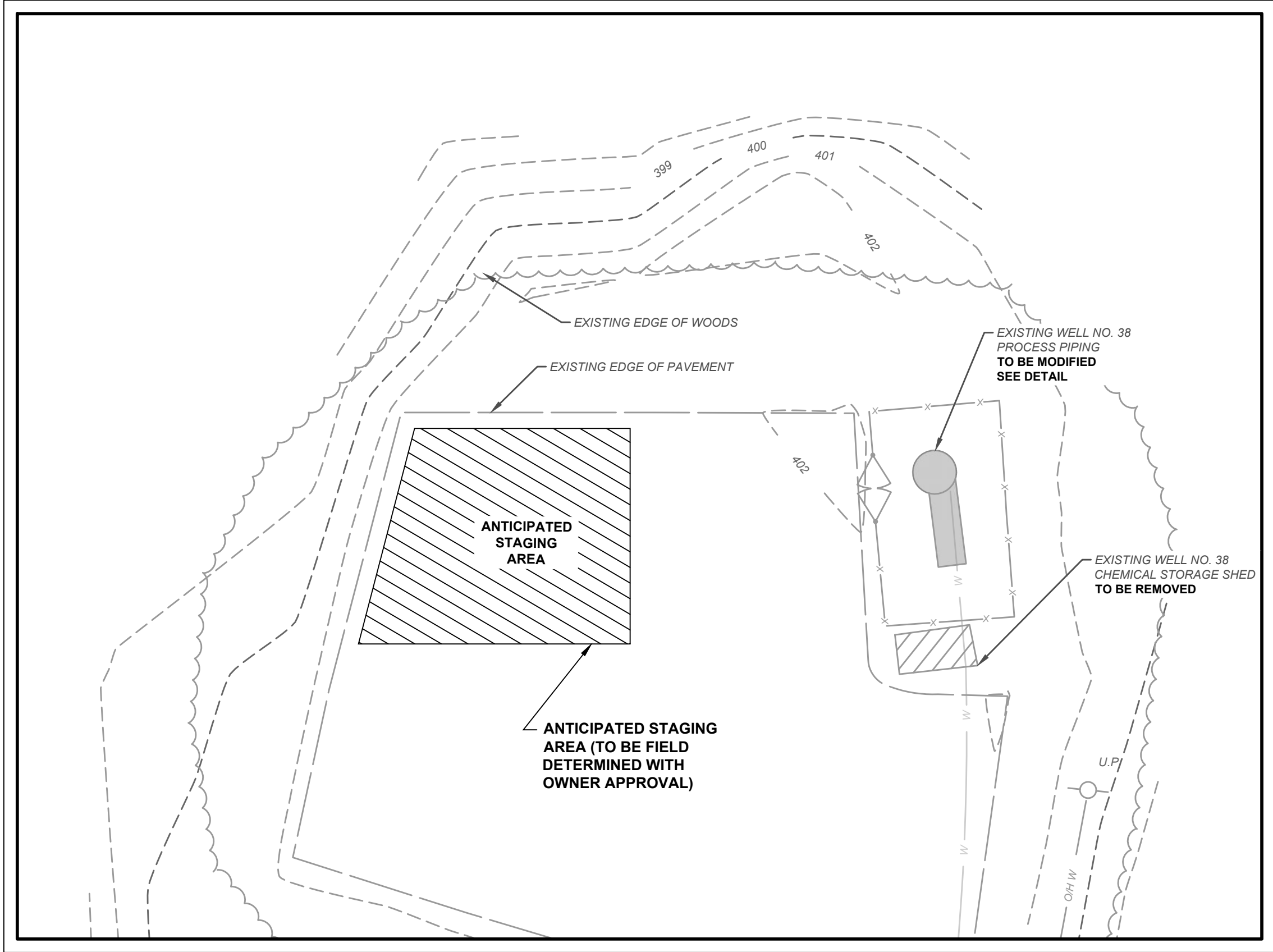
CONSULTANT: <b>ANDREW S. HOLT, PE</b> NY PROFESSIONAL ENGINEER: 095020-1	<b>NOTICE</b> THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.				DRAWN BY: JAW 03/11/2022	 <div><b>SUBURBAN ENGINEERING</b></div> <div>- Civil Engineers - - Landscape Architects - - Land Surveyors -</div> <div>7 Colesbury Caliform Road, Lebanon, N.J. 08833 - 973.398.1776</div> <div>EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT</div>	<b>SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE</b> <b>POMONA WELL NO. 38</b> VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK	PROJECT NUMBER: SCE-12162.002
	© COPYRIGHT 2022 SUBURBAN ENGINEERING				CHECKED BY: WAS 03/11/2022		FOR CLIENT: <b>SUEZ WATER NEW YORK INC.</b>	SCALE: AS SHOWN
	ALL RIGHTS RESERVED				CHECKED BY:			SHEET <u>5</u> OF <u>21</u>
	DATE: 03/11/2022	DESCRIPTION	NO.	DATE:	BY:		CHK:	UTILITY PLAN



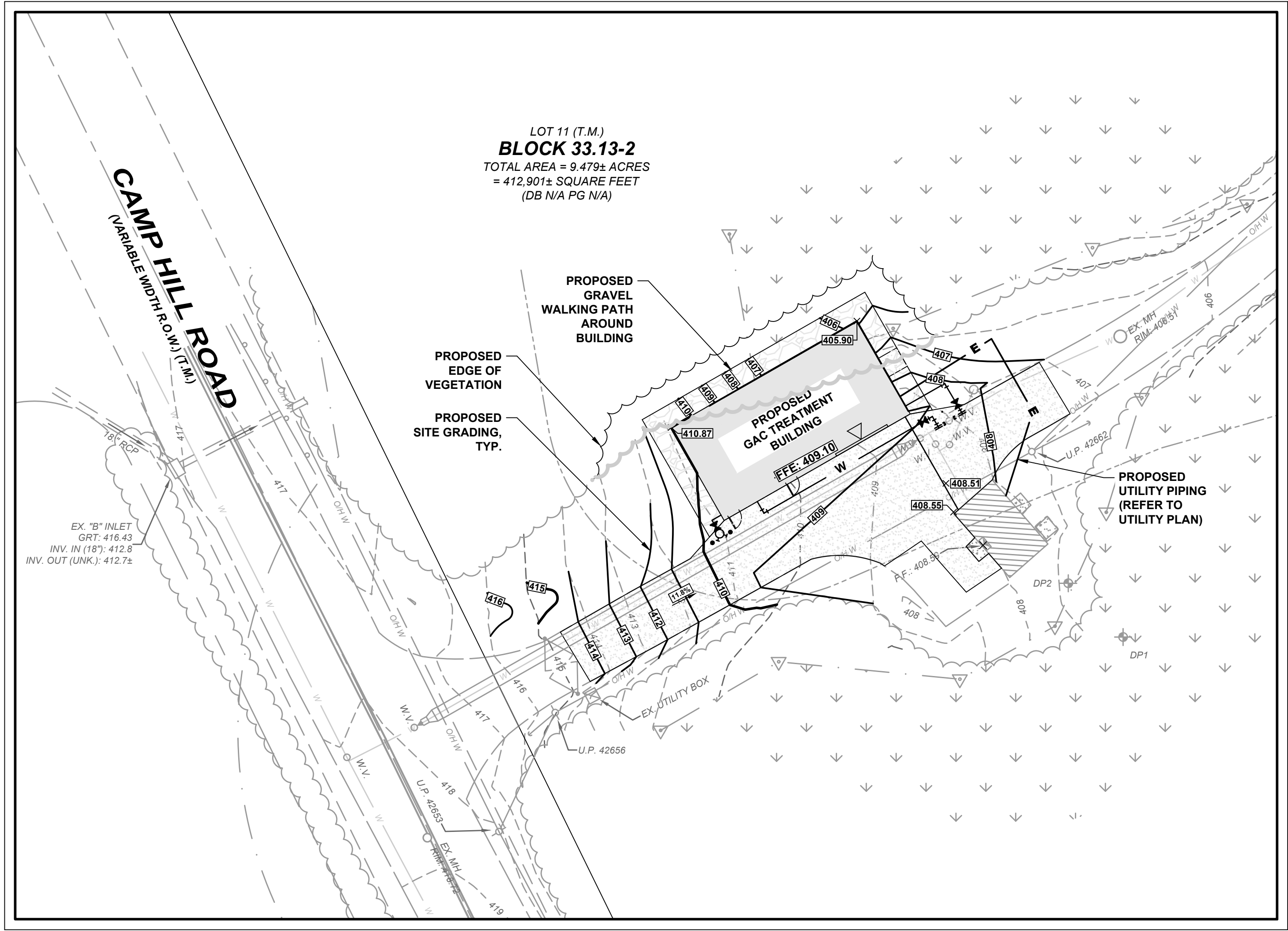
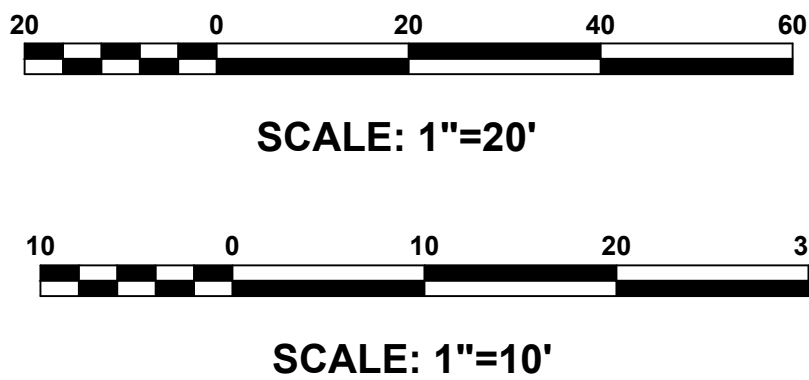
E:\SCE\Ramapo\12162.002\Sheets\construction set\12162.002 06 Demo & Staging Plan.dwg Thu, Mar 10, 2022 - 5:17pm efahey SUBURBAN CONSULTING ENGINEERS, INC.



**DEMOLITION PLAN**  
SCALE 1" = 20'



**STAGING PLAN**  
SCALE 1" = 10'



**LANDSCAPE & GRADING PLAN**  
SCALE 1" = 20'

CONSULTANT:  
**ANDREW S. HOLT, PE**  
NY PROFESSIONAL ENGINEER: 095020-1

DATE: 03/11/2022

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POMONA WELL NO. 38**

VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

**DEMO, STAGING AND LANDSCAPING PLAN**

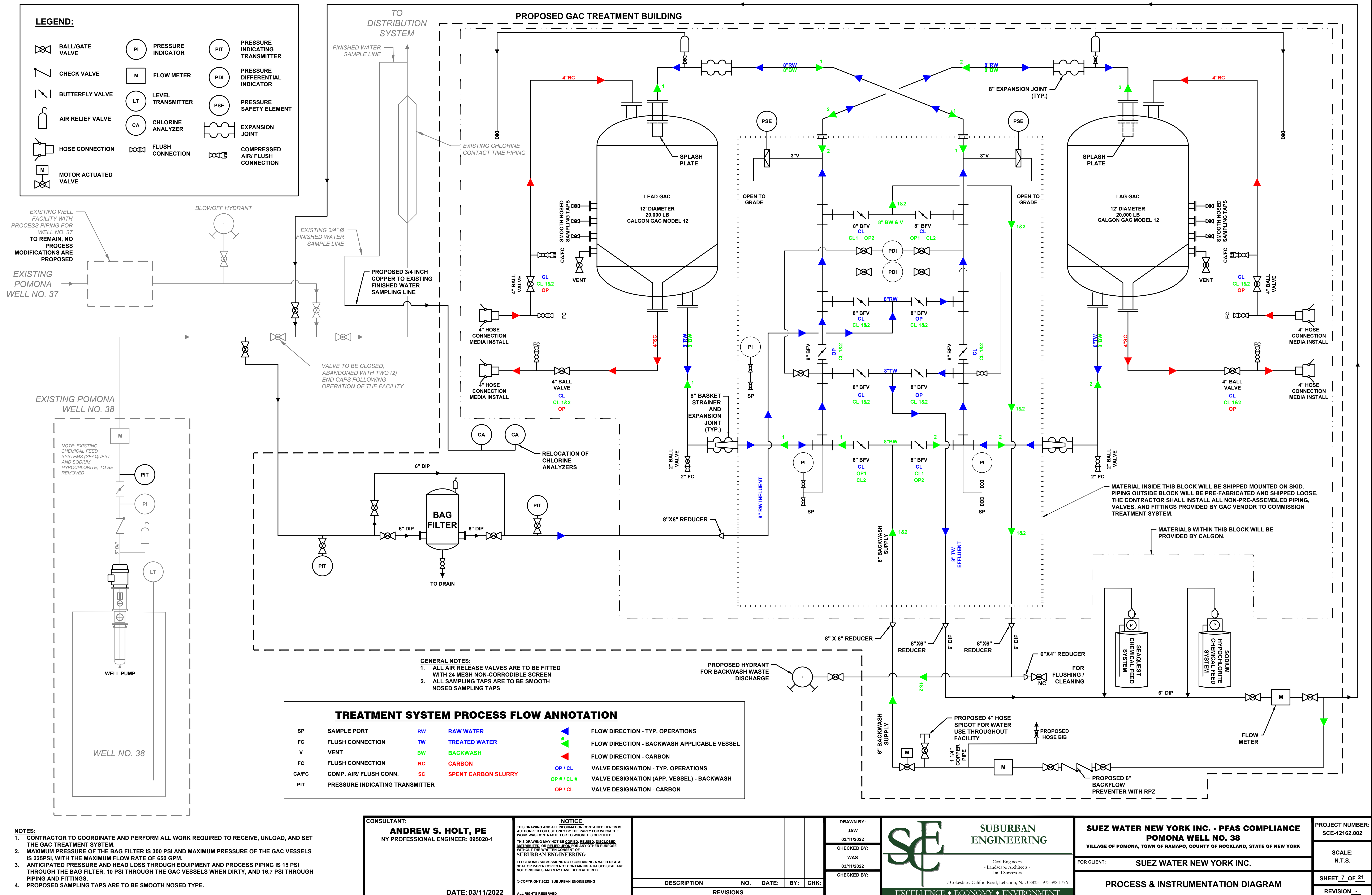
PROJECT NUMBER:  
SCE-12162.002

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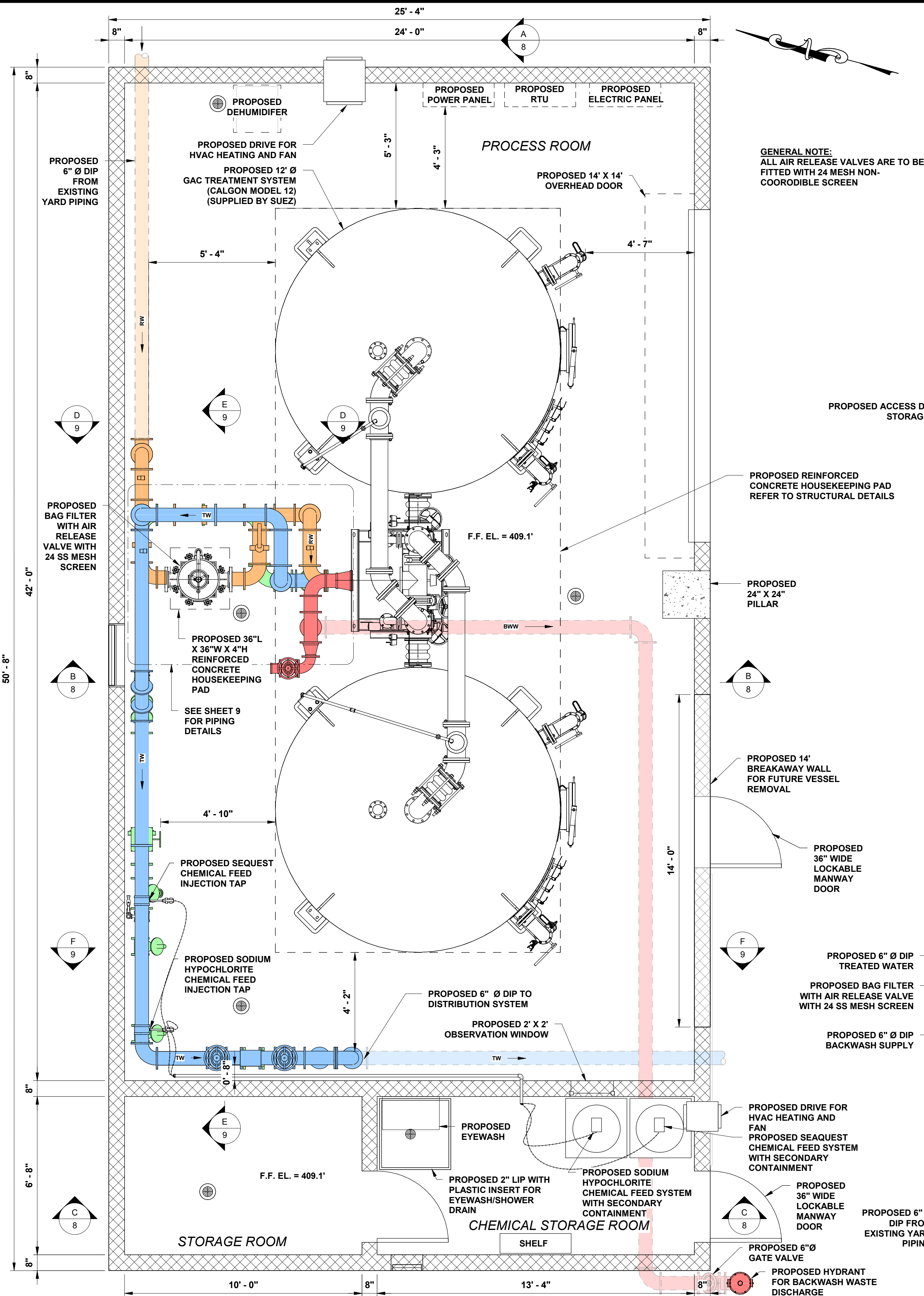
SHEET **6** OF **21**

REVISION -

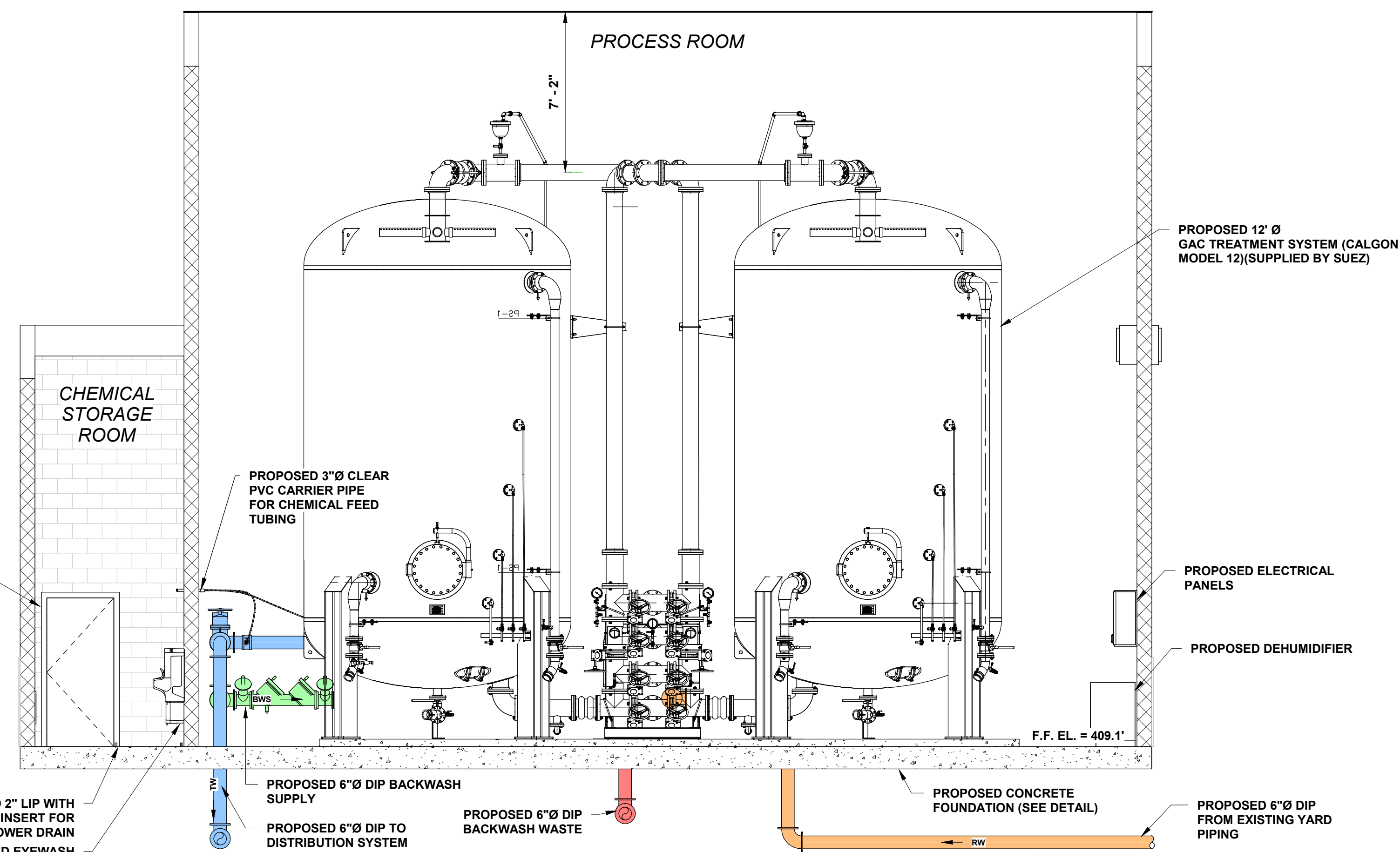




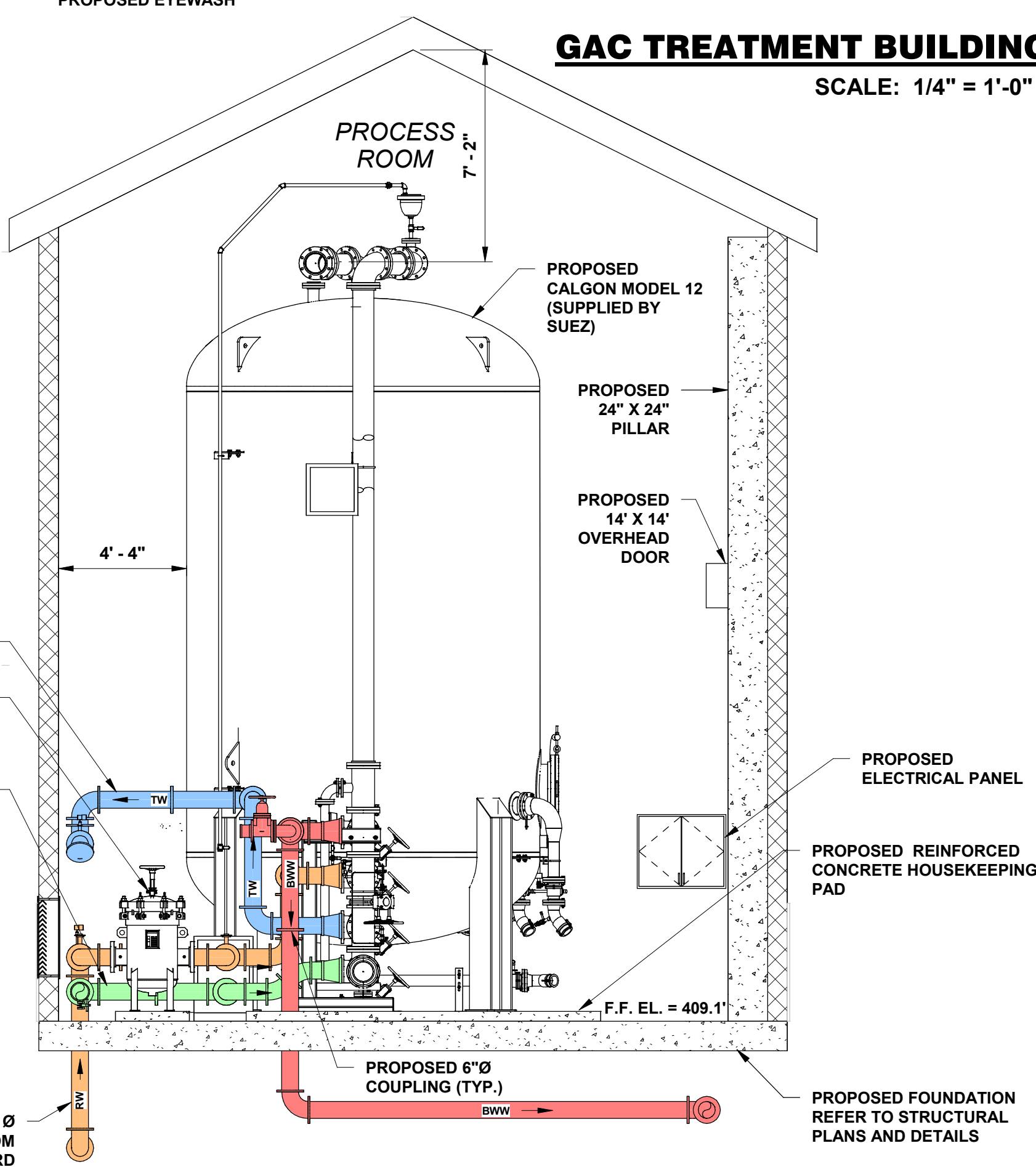




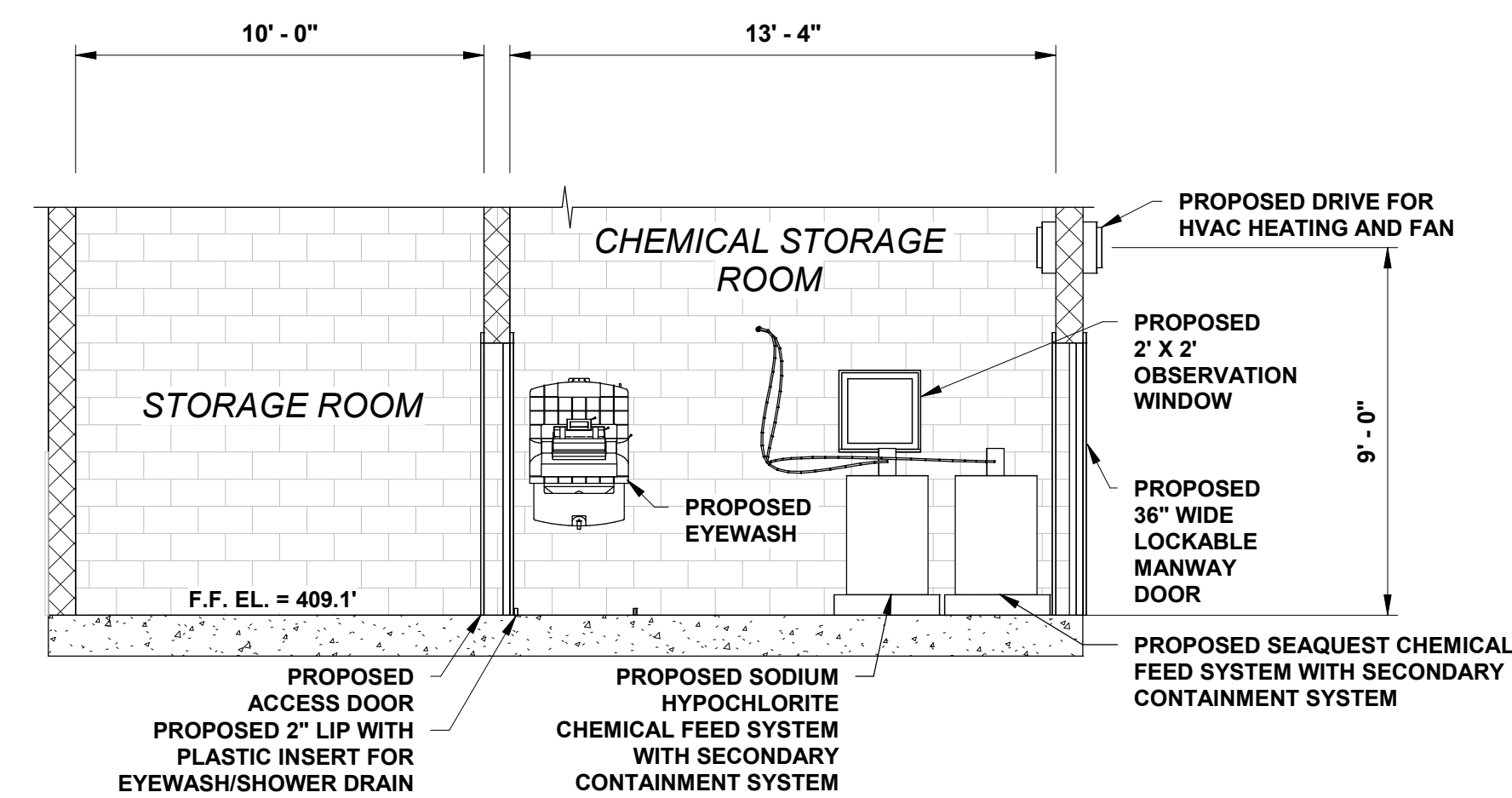
**GAC TREATMENT BUILDING PLAN VIEW**  
SCALE: 3/8" = 1'-0"



**GAC TREATMENT BUILDING SECTION A-A**  
SCALE: 1/4" = 1'-0"

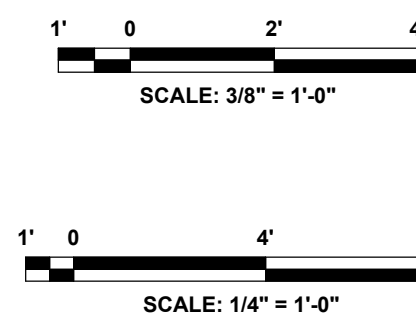


**GAC TREATMENT BUILDING SECTION B-B**  
SCALE: 1/4" = 1'-0"



**GAC TREATMENT BUILDING SECTION C-C**  
SCALE: 1/4" = 1'-0"

PIPING COLOR LEGEND	
<span style="color: orange;">—</span>	RAW WATER (RW)
<span style="color: blue;">—</span>	TREATED WATER (TW)
<span style="color: green;">—</span>	BACKWASH SUPPLY (BWS)
<span style="color: red;">—</span>	BACKWASH WASTE (BWW)



CONSULTANT:  
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NY PROFESSIONAL ENGINEER: 095020-1

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**POMONA WELL NO. 38**  
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

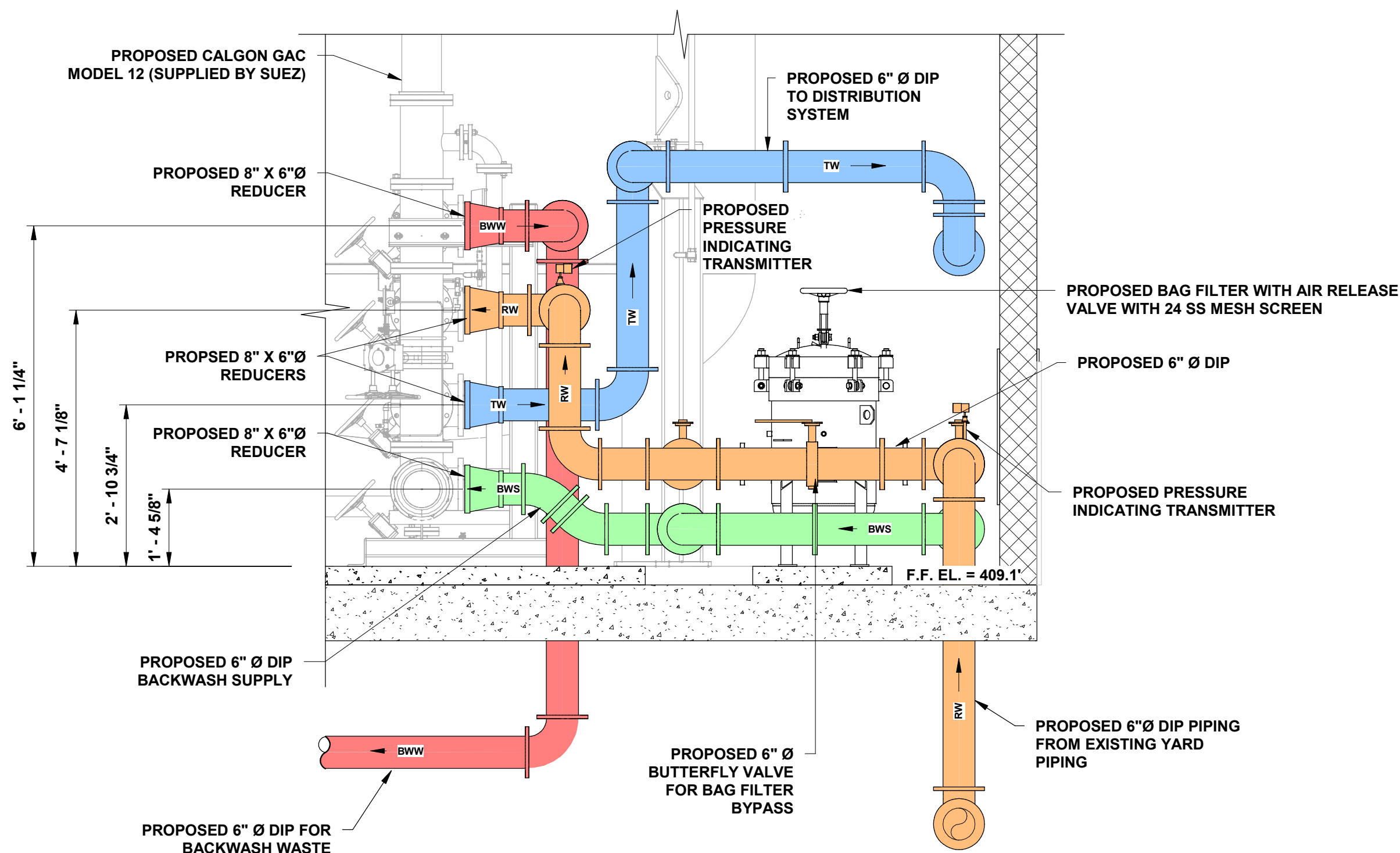
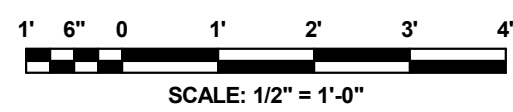
**GAC TREATMENT BUILDING PLAN & SECTIONS**

PROJECT NUMBER:  
SCE-12162.002  
SCALE:  
As indicated  
SHEET **8** OF **21**  
REVISION **—**



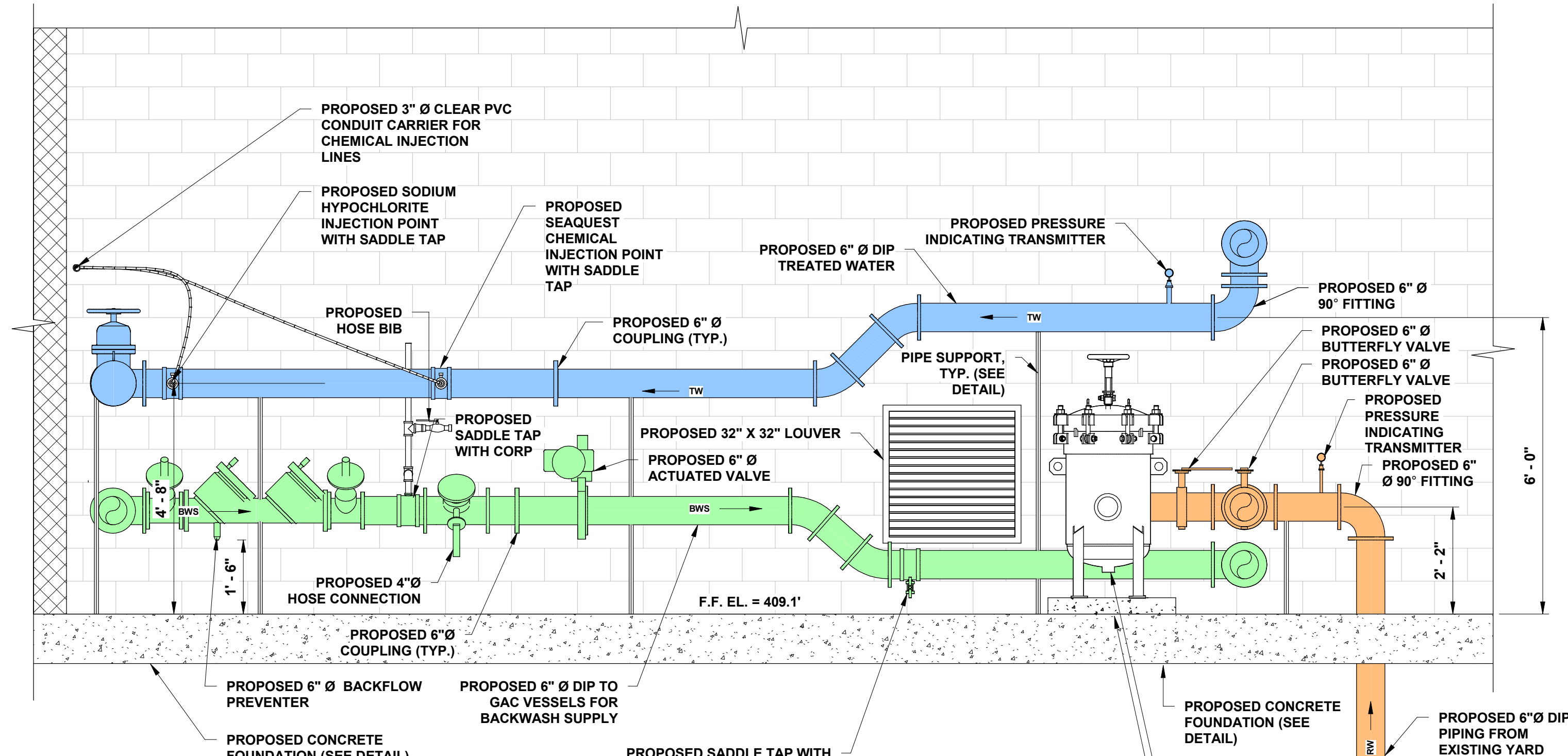
# PIPING COLOR LEGEND

- RAW WATER (RW)
- TREATED WATER (TW)
- BACKWASH SUPPLY (BWS)
- BACKWASH WASTE (BWV)



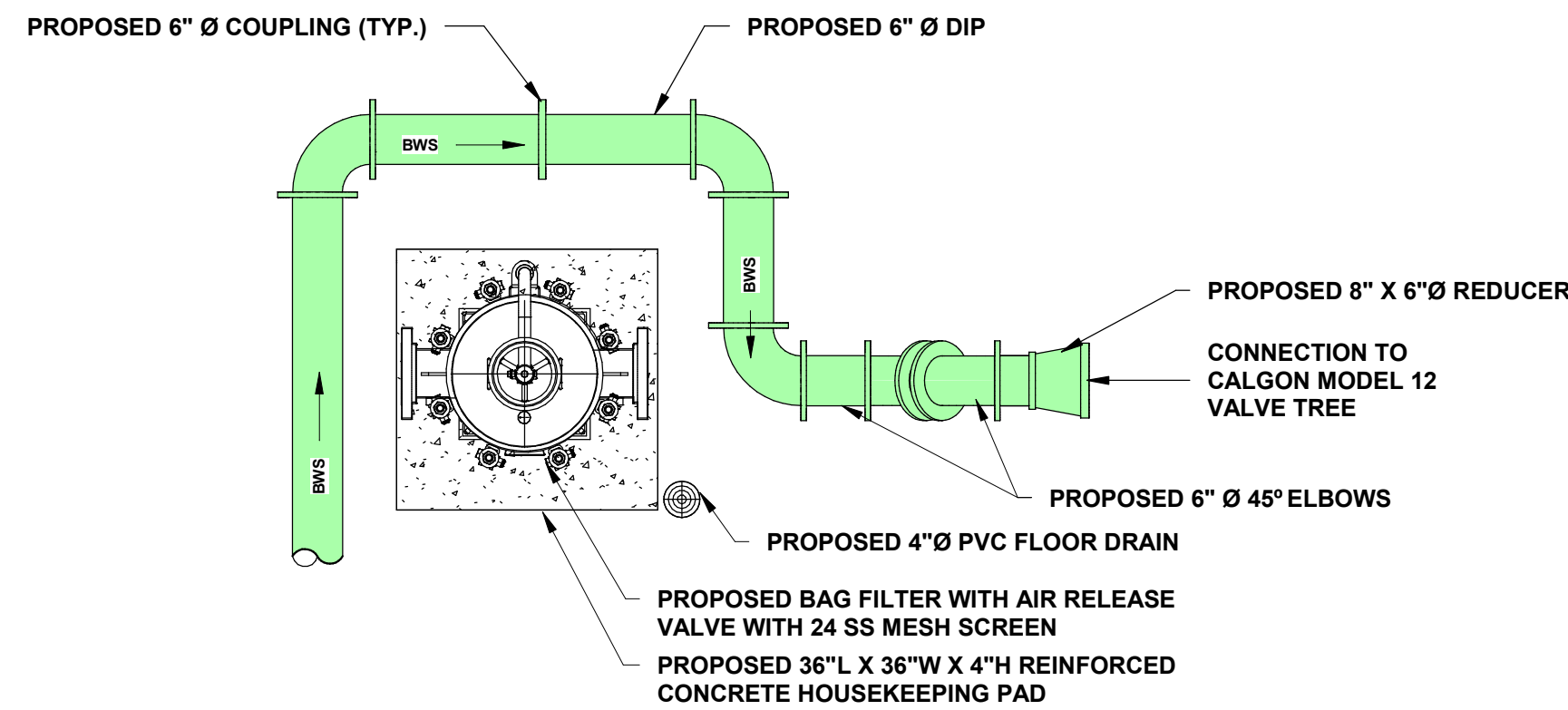
PROCESS PIPING SECTION D-D

SCALE: 1/2" = 1'-0"



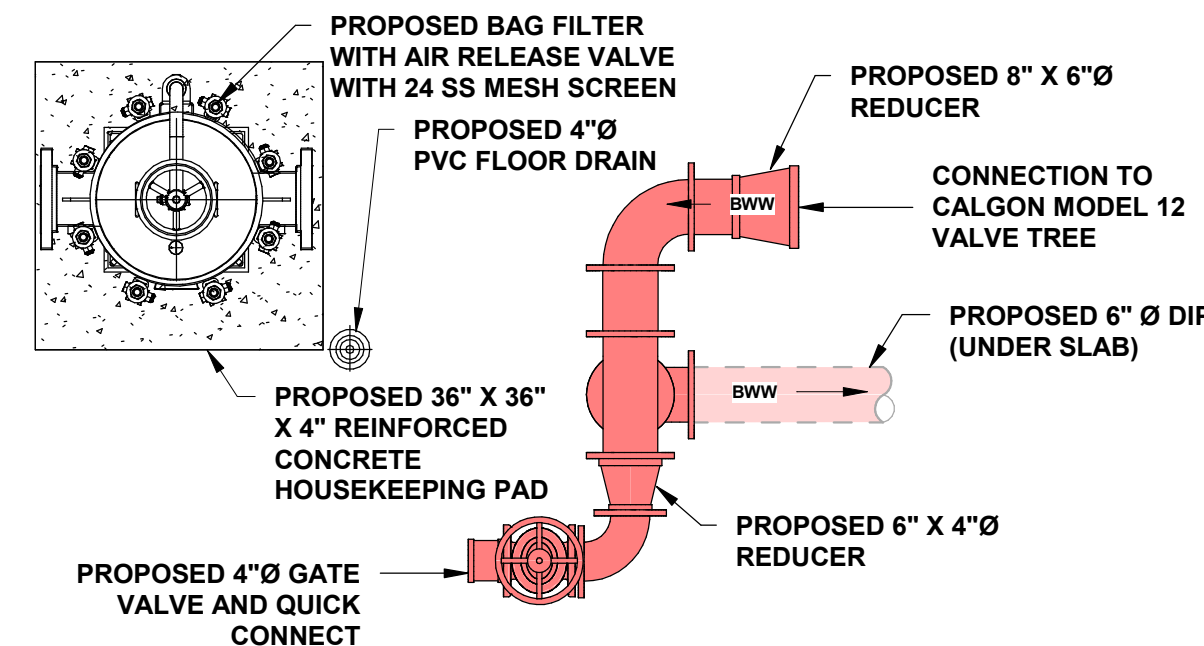
PROCESS PIPING SECTION E-E

SCALE: 1/2" = 1'-0"



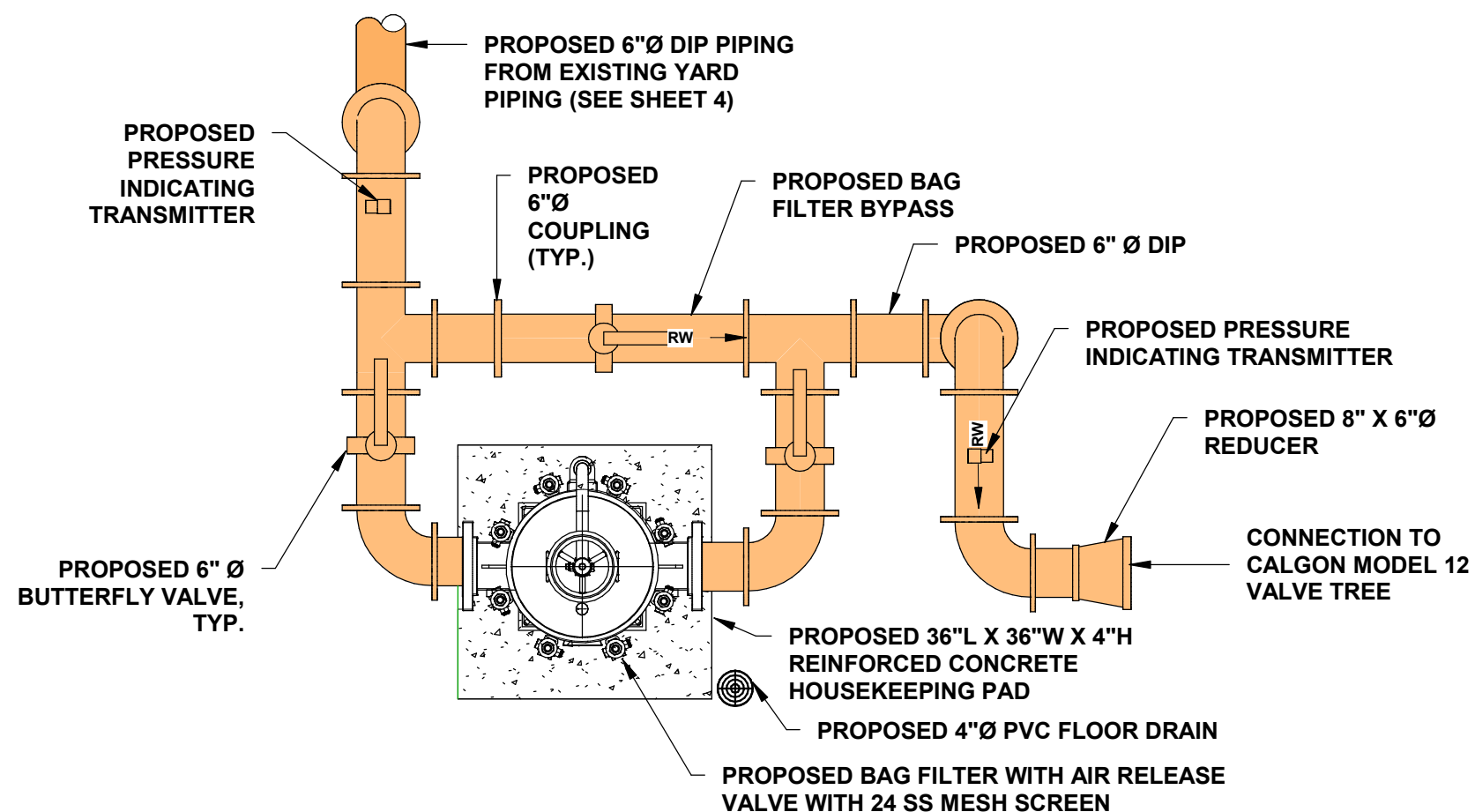
BACKWASH SUPPLY PIPING PLAN

SCALE: 1/2" = 1'-0"



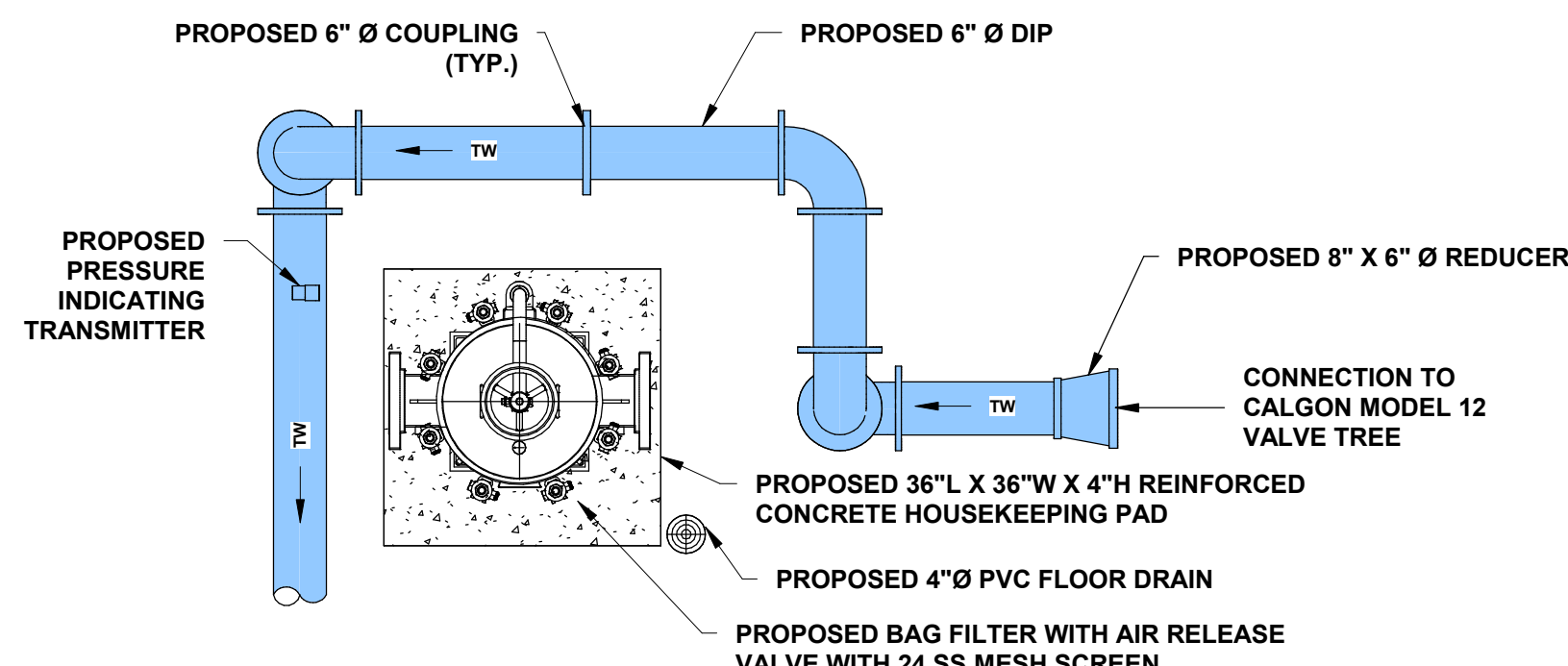
BACKWASH WASTE PIPING PLAN

SCALE: 1/2" = 1'-0"



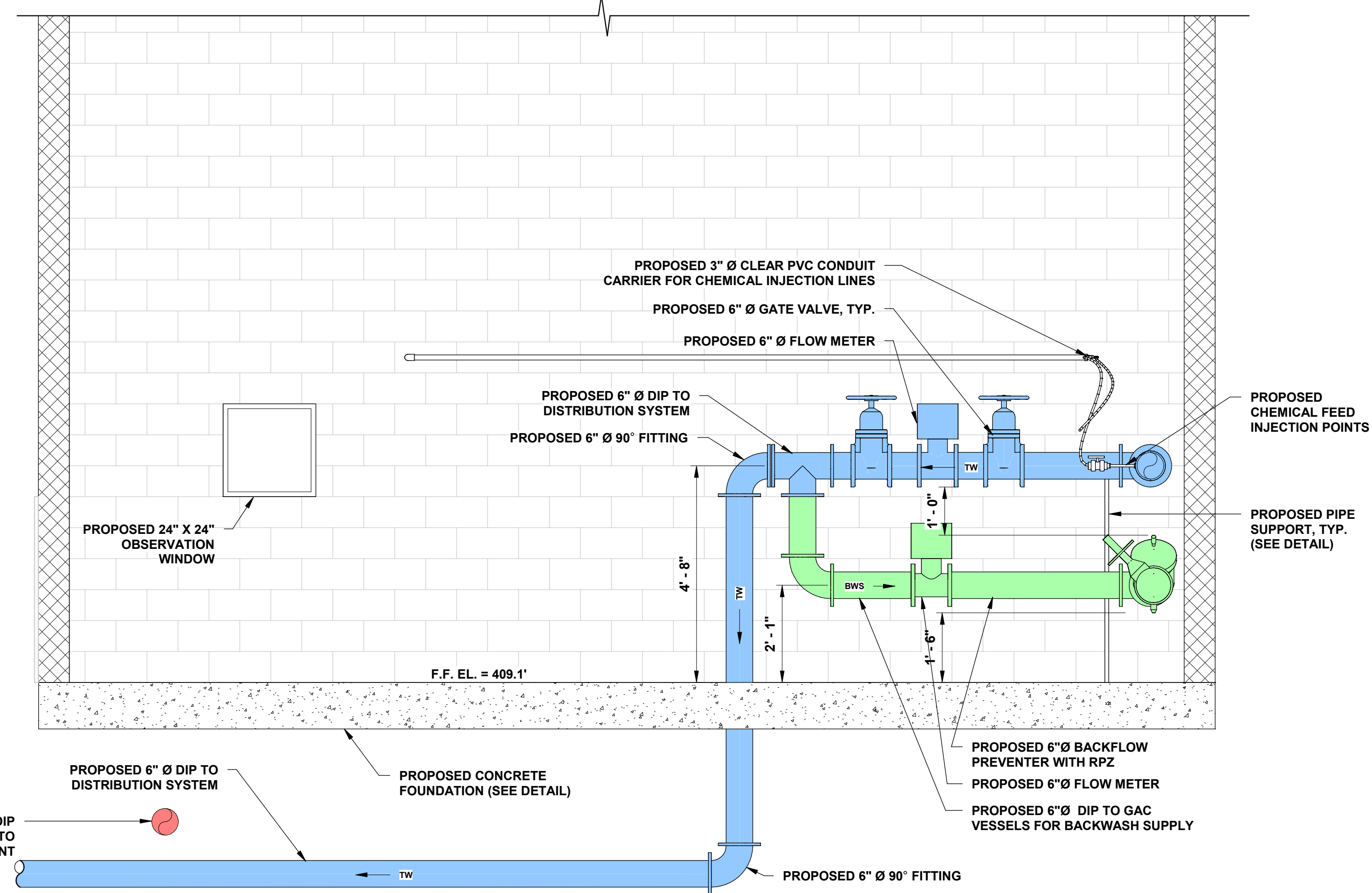
RAW WATER AND BAG FILTER BYPASS PIPING PLAN

SCALE: 1/2" = 1'-0"



TREATED WATER EFFLUENT PIPING PLAN

SCALE: 1/2" = 1'-0"

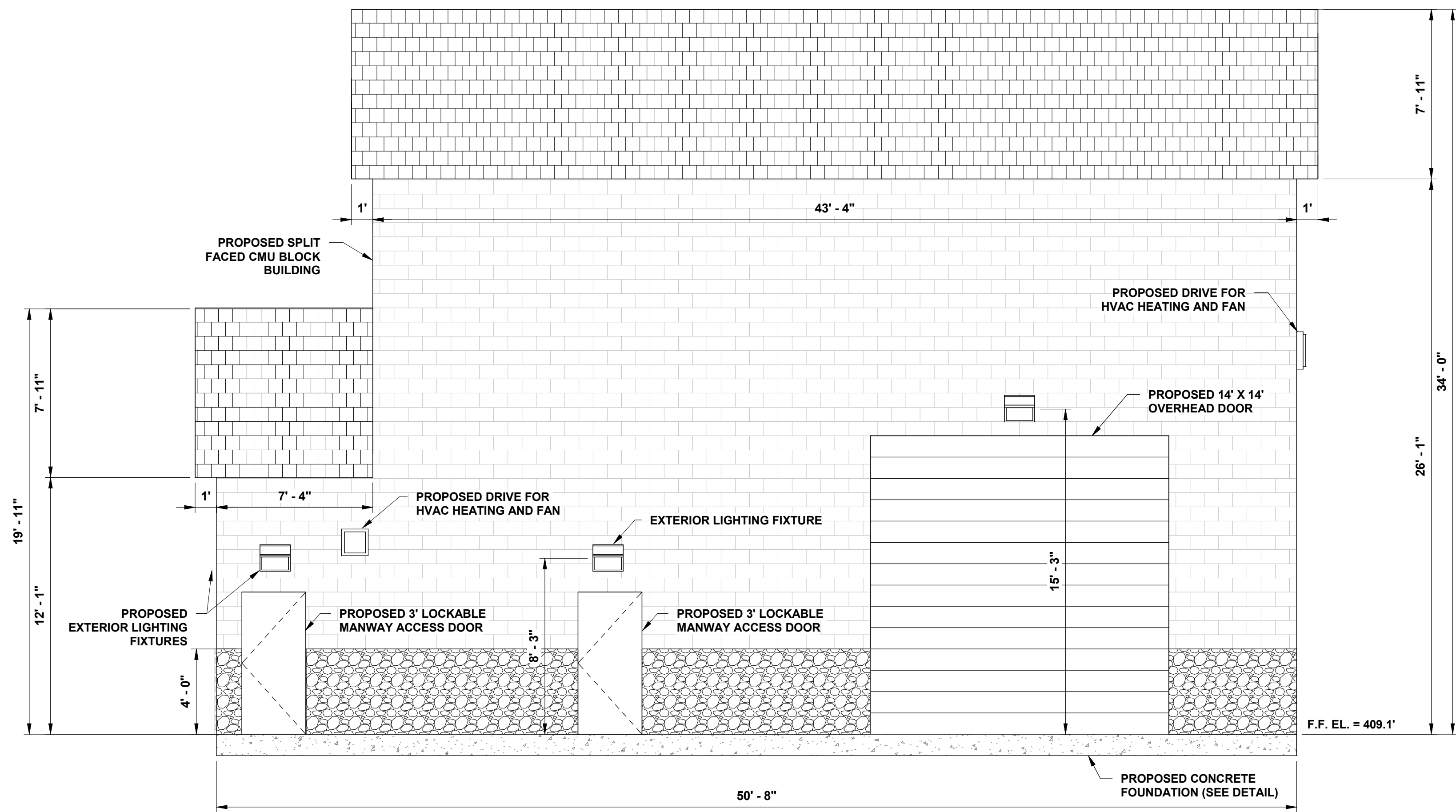


PROCESS PIPING SECTION F-F

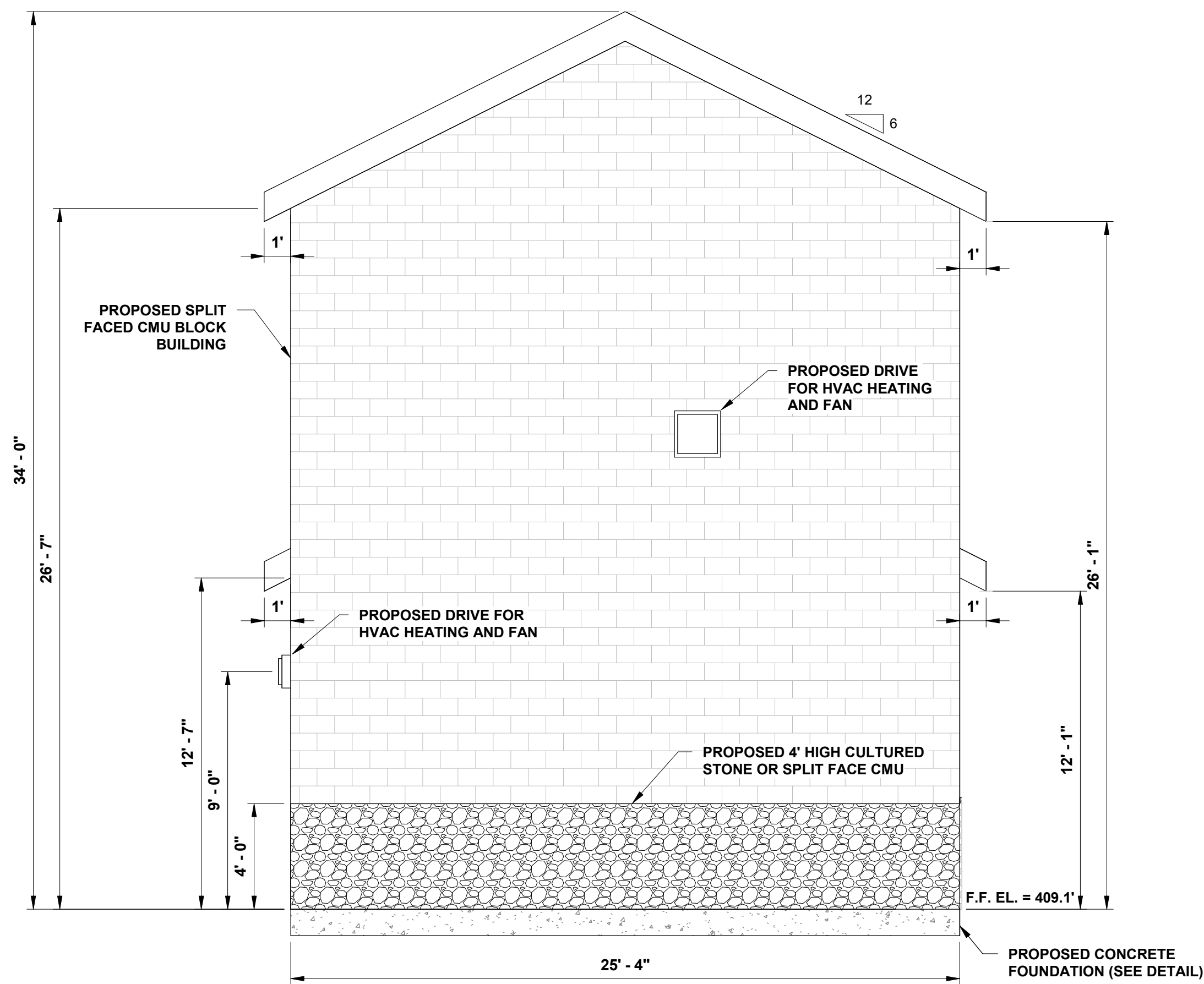
SCALE: 1/2" = 1'-0"

<b>CONSULTANT:</b> <b>ANDREW S. HOLT, PE</b> NY PROFESSIONAL ENGINEER: 095020-1		<b>NOTICE</b> THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REPRODUCED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED. © COPYRIGHT 2021 SUBURBAN CONSULTING ENGINEERS, INC.™ ALL RIGHTS RESERVED		DRAWN BY: JAW 03/11/2022 CHECKED BY: WAS 03/11/2022 CHECKED BY:		 SUBURBAN ENGINEERING - Civil Engineers - - Landscape Architects - - Land Surveyors - 7 Cockebury Calton Road, Lebanon, N.J. - 973.398.1776 EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT		<b>SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE</b> <b>POMONA WELL NO. 38</b> VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK FOR CLIENT: <b>SUEZ WATER NEW YORK INC.</b>		PROJECT NUMBER: SCE-12162.002
DATE: 03/11/2022		REVISIONS		SHEET 9 OF 21		SCALE: As indicated		REVISION		SHEET 9 OF 21

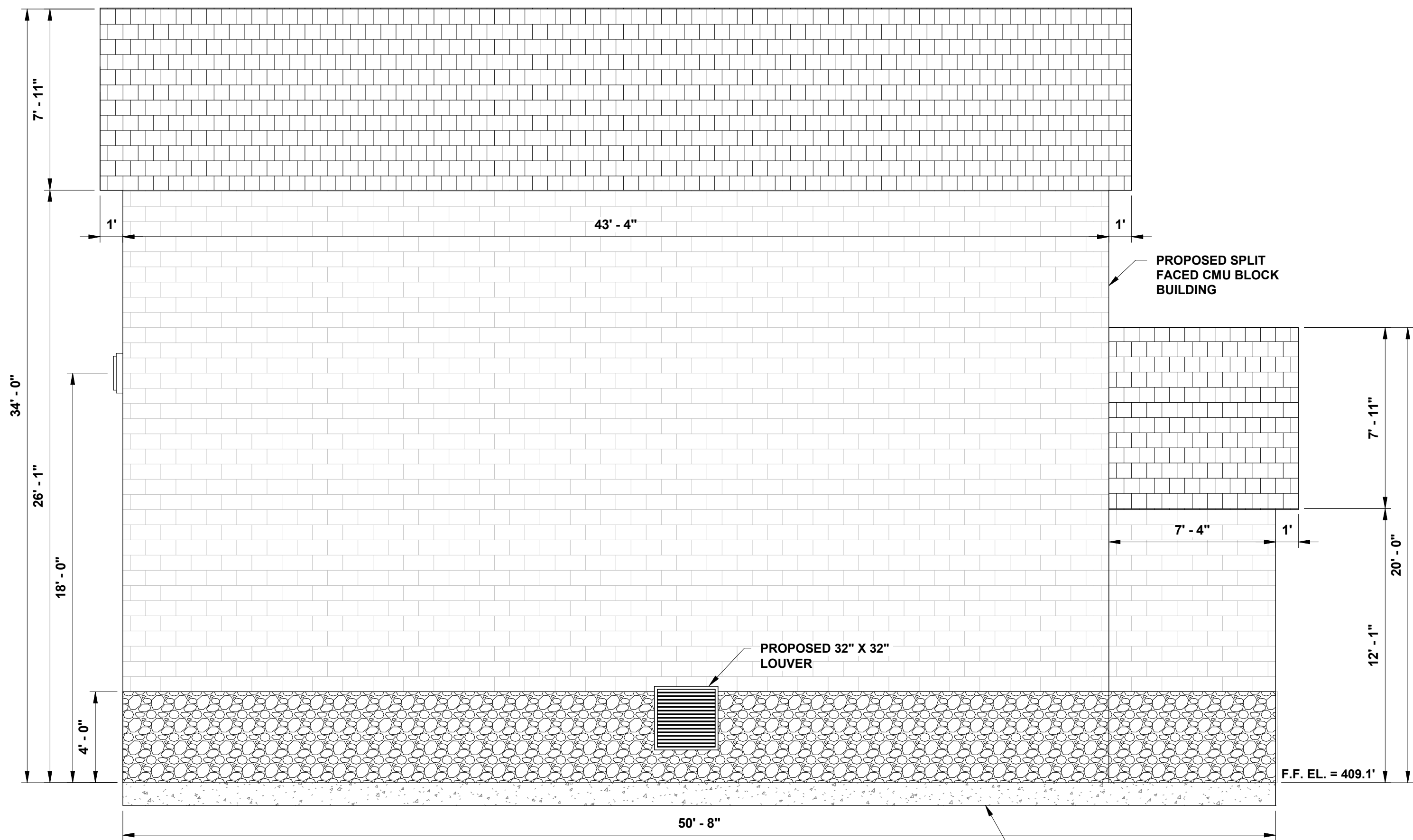




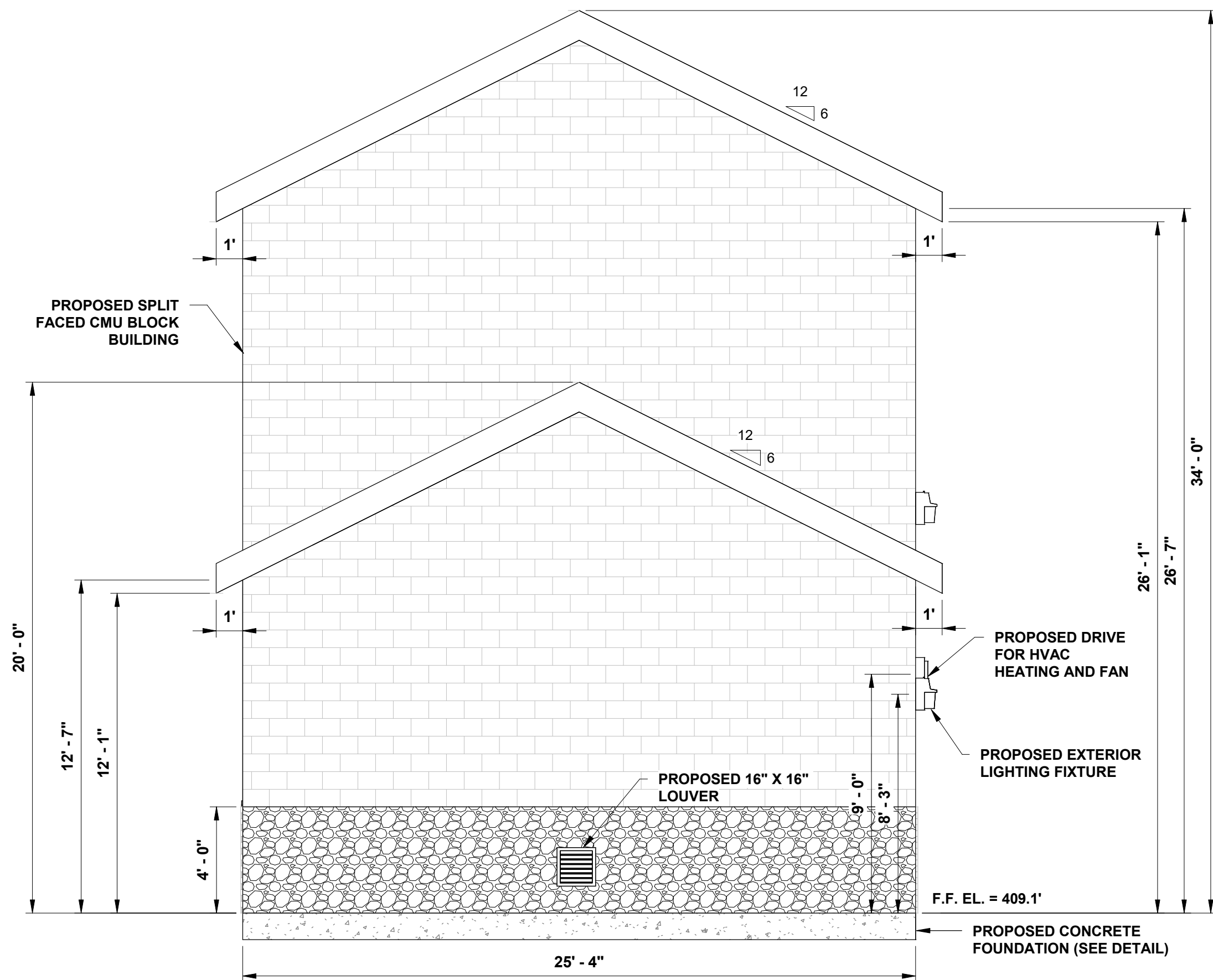
**SOUTH ELEVATION VIEW**  
SCALE: 1/4" = 1'-0"



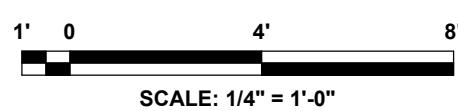
**EAST ELEVATION VIEW**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION VIEW**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION VIEW**  
SCALE: 1/4" = 1'-0"



CONSULTANT:  
**ANDREW S. HOLT, PE**  
NY PROFESSIONAL ENGINEER: 095020-1

DATE:03/11/2022

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**SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE**  
**POMONA WELL NO. 38**  
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: SUEZ WATER NEW YORK INC.

GAC TREATMENT BUILDING ELEVATION VIEWS

PROJECT NUMBER:  
SCE-12162.002

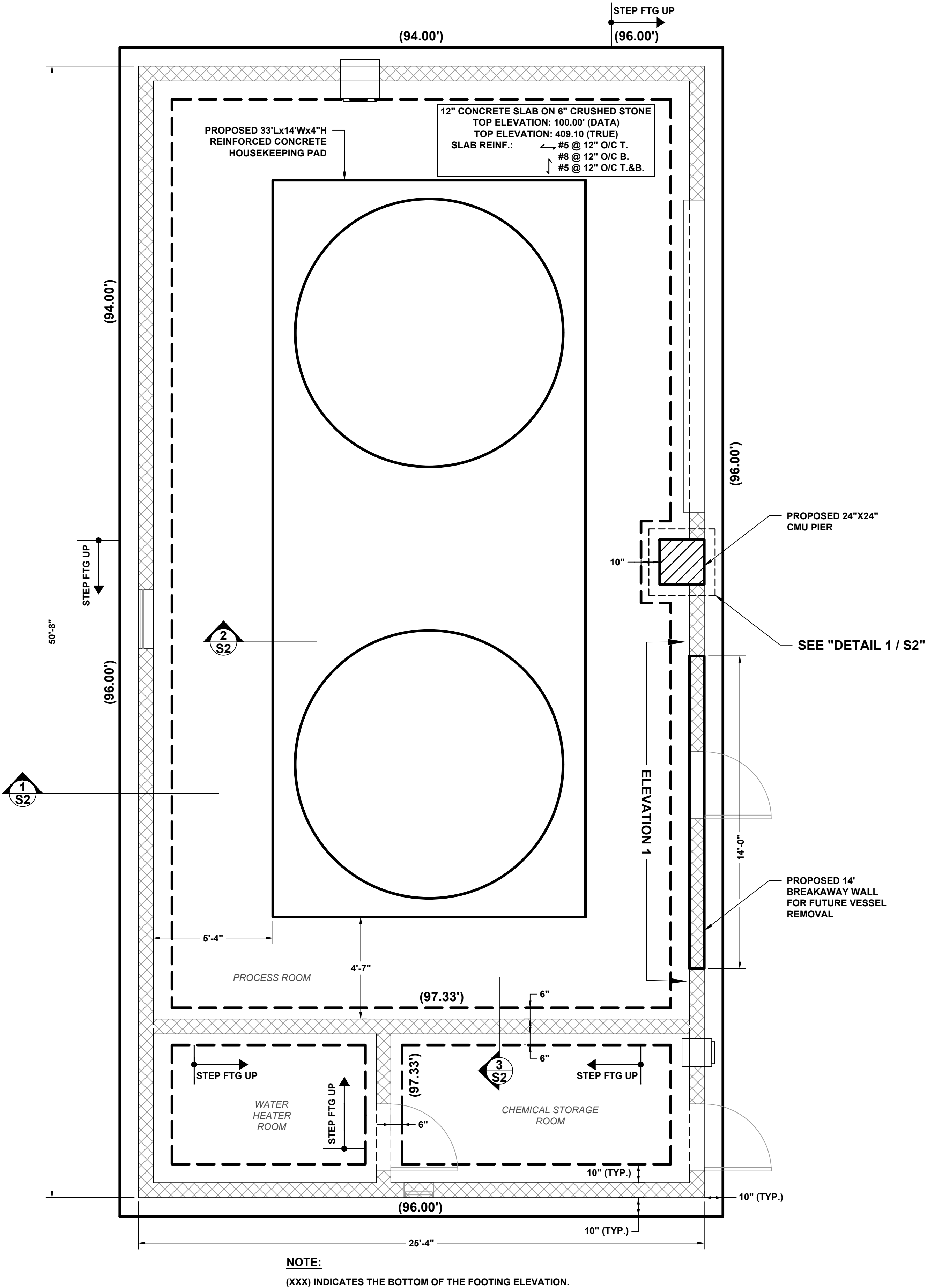
SCALE:  
1/4" = 1'-0"

SHEET 18 OF 21

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## GENERAL NOTES

### GENERAL

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CHECK ALL MEASUREMENTS ON JOB AND SHALL BE RESPONSIBLE FOR SAME.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT BUILDING CODE OF ALL GOVERNING AUTHORITIES.
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH MECHANICAL DRAWINGS.
- ALL OPENINGS IN WALLS, FLOORS, ROOF, ETC. TO BE LOCATED, SIZED, FURNISHED AND INSTALLED AS PER MECHANICAL REQUIREMENTS EVEN IF NOT SHOWN AS SUCH ON STRUCTURAL AND ARCHITECTURAL DRAWINGS.
- WHERE CONSTRUCTION SEQUENCING / PHASING REQUIREMENTS ARE INDICATED OR IMPLIED IN THE CONTRACT DOCUMENTS, COORDINATE CONSTRUCTION OF BUILDING STRUCTURE TO SUIT SEQUENCING / PHASING REQUIREMENTS AND PROVIDE ALL NECESSARY AND TEMPORARY SUPPORTS AS REQUIRED TO SAFELY CONSTRUCT THE STRUCTURE.
- ALL WALLS SHALL BE ADEQUATELY BRACED UNTIL ROOF OR FLOOR THEY SUPPORT ARE COMPLETELY INSTALLED AND ARE STRUCTURALLY SOUND.
- APPROVAL OF SHOP DRAWINGS SHALL NOT RELIEVE CONTRACTOR OF ANY CONTRACT REQUIREMENTS EVEN IF SUCH ITEMS ARE NOT SHOWN ON SHOP DRAWINGS.
- ALL REVISIONS TO SHOP DRAWINGS AFTER FIRST SUBMISSION MUST BE SO IDENTIFIED ON SUBSEQUENT SUBMISSIONS.
- REPRODUCTION OF STRUCTURAL CONTRACT DRAWINGS IS NOT TO BE SUBMITTED AS SHOP DRAWINGS.

### FOUNDATIONS

- A COPY OF THE SOIL INVESTIGATION REPORTS BY CARLIN, SIMPSON & ASSOCIATES, LLC DATED JULY 22, 2021, VISIT THE SITE AND THOROUGHLY FAMILIARIZE YOURSELF WITH ALL SURFACE AND SUBSURFACE CONDITIONS. THIS INFORMATION IS GIVEN SOLELY AS A GUIDE. NO RESPONSIBILITY IS ACCEPTED BY THE OWNER AND THE CONSULTANT FOR ITS CORRECTNESS, NOR SHALL ITS ACCURACY OR ANY OMISSIONS AFFECT THE PROVISION OF THIS CONTRACT.
- ALL FOOTINGS SHALL REST ON SOIL OF ONE (1) TON PER SQUARE FOOT (2,000 PSF) BEARING CAPACITY MINIMUM. SOILS ENGINEER, PAID FOR BY THE OWNER, MUST VERIFY ALL FOOTING BOTTOMS PRIOR TO POURING ANY CONCRETE FOOTINGS.
- ALL FILLED AREAS SHALL BE COMPACTED LAYER BY LAYER TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY WHEN TESTED IN ACCORDANCE WITH ASTM D1557.
- FOUND EXTERIOR FOOTING AND OTHER FOOTINGS SUSCEPTIBLE TO DAMAGE RESULTING FROM FROST ACTION 42 INCHES BELOW GRADE.
- FOUND NEW FOOTINGS WHICH ARE LOCATED ADJACENT TO EXISTING FOOTINGS, AT THE SAME ELEVATION AS THE EXISTING FOOTINGS, UNLESS NOTED OTHERWISE.
- PROVIDE STEPPED FOOTINGS NOT EXCEEDING A RISE OF 1 IN A RUN OF 2, OR AS PER DETAIL WHERE NECESSARY.
- BACKFILLING AGAINST FOUNDATION WALLS SHALL NOT BE PERMITTED UNTIL FLOORS OR ROOF THEY SUPPORT HAS BEEN COMPLETELY INSTALLED AND ATTAINED 100% OF ITS DESIGN STRENGTH, UNLESS OTHERWISE APPROVED BY ENGINEER.
- PROVIDE 15 MIL THICK VAPOR BARRIER ON 6 INCHES POROUS FILL UNDER ALL CONCRETE SLABS ON EARTH.
- ALL FOOTING DOWELS TO BE SAME SIZE, NUMBER AND GRADE AS VERTICAL REINFORCEMENT IN COLUMNS, PIERS, OR WALLS, WHICH THE FOOTING SUPPORT.

### CONCRETE

- ALL CONCRETE SHALL BE CONTROLLED CONCRETE COMPLYING WITH ACI BUILDING CODE REQUIREMENT.
  - FOUNDATION CONCRETE (FOOTING, WALLS, PIERS POURED INTEGRALLY WITH WALL, SLAB ON GRADE, ETC): 4000 PSI NORMAL WEIGHT CONCRETE.
  - SLUMP 4" MIN. AIR CONTENT 6%.
- REINFORCING BARS SHALL BE NEW STEEL BILLET, DEFORMED TYPE, ASTM A615 GRADE 60. WELDED WIRE FABRIC SHALL CONFORM WITH ASTM A1064.
- WHEN CONSTRUCTION JOINTS ARE USED IN SLABS, WALLS, OR BEAMS, THEY SHALL BE LOCATED AT POINTS OF MINIMUM SHEAR AND SHALL BE KEYS.
- CONTRACTOR SHALL SUBMIT PLAN SHOWING POURING SEQUENCE AND TYPE AND LOCATION OF PROPOSED JOINTS IN ALL SLABS TO ENGINEER FOR APPROVAL.
- PLACE SLAB-ON-GRADE ON MATERIAL CAPABLE OF SUSTAINING 2000 PSF WITHOUT SETTLEMENT RELATIVE TO THE BUILDING FOOTINGS.
- PROVIDE MINIMUM REINFORCING IN ALL CONCRETE AS PER ACI BUILDING CODE REQUIREMENTS.
- THE REINFORCING SPLICING LENGTH SHALL CONFORM TO ACI BUILDING CODE REQUIREMENTS.
- PROVIDE #4 NOSING BAR IN EACH CONCRETE STEP.

### MASONRY

- ALL MASONRY WALL UNITS SHALL CONFORM TO THE LATEST EDITION OF ASTM C-90 REQUIREMENTS. THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF THE CONCRETE (fm) SHALL BE 1500 PSI ACROSS THE NET AREA (UNLESS NOTED OTHERWISE ON PLANS). AGGREGATE FOR CONCRETE SHALL BE LIGHTWEIGHT U.N.O. ALL MASONRY IN CONTACT WITH EARTH SHALL BE CONVENTIONAL NORMAL WEIGHT CONCRETE.
- USE TYPE M MORTAR ASTM C-270 FOR REINFORCED MASONRY WALLS.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, AND JOINT REINFORCEMENT SHALL CONFORM TO ASTM A82.
- PRISM TESTS FOR MASONRY SHALL BE REQUIRED AT RATE OF 1 TEST PER 5000 SQUARE FEET (MINIMUM ONE TEST PER FLOOR) PRISM SHALL BE TESTED IN ACCORDANCE WITH ACI 530-92 SPECIFICATIONS.
- PROVIDE MINIMUM REINFORCING WHERE REQUIRED IN ACCORDANCE WITH THE TYPICAL DETAILS.
- ALL CONCRETE MASONRY UNITS SHALL BE BRACED DURING CONSTRUCTION UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED.
- PROVIDE JOINT REINFORCING OF STANDARD 9 GAUGE LADDER TYPE REINFORCING AT 16" ON CENTER MAXIMUM VERTICAL SPACING IN ALL MASONRY UNLESS SHOWN OTHERWISE.
- PROVIDE MINIMUM 2-#6 @ 2'-8" O/C VERTICAL FULL HEIGHT, AND 4-#6 AT ALL WALL ENDS, CORNERS, INTERSECTIONS, OPENINGS AND EACH SIDE OF CONTROL JOINTS.
- VOIDS IN REINFORCED MASONRY WALLS SHALL BE FILLED WITH GROUT OF MINIMUM ULTIMATE STRENGTH OF 3000 PSI, AT REINFORCING BARS AND ELSEWHERE AS SHOWN ON DRAWINGS.
- THE MINIMUM SPLICE LENGTH FOR ALL RE-BARS SHALL BE 48 BAR DIAMETERS.
- CALCIUM CHLORIDE SHALL NOT BE USED IN MORTAR OR GROUT.

### ASCE 7-16 MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES

ROOF LIVE LOAD = 20 PSF

ROOF SNOW LOAD

GROUND SNOW LOAD (Pg) = 30 PSF  
SLOPED ROOF SNOW LOAD (Ps) = 21 PSF  
UNBALANCED SNOW LOAD FOR GABLE ROOF = 6.3 PSF  
SNOW THERMAL FACTOR (Ct) = 1.0  
SNOW EXPOSURE FACTOR (Ce) = 1.0  
SNOW LOAD IMPORTANCE FACTOR (Is) = 1.1

WIND LOAD

ASCE 7-16 RISK CATEGORY III  
WIND SPEED = 121 MPH  
WIND LOAD IMPORTANCE FACTOR (Iw) = 1.0  
WIND EXPOSURE = "C"  
EXTERIOR WALL COMPONENTS & CLADDING FACTORED PRESSURE:  
AT GENERAL AREA = 29 PSF  
CORNER AREA = 36 PSF

EARTHQUAKE DESIGN DATA

0.2 SEC SPECTRAL RESPONSE ACCELERATION - (Ss) = 0.290  
1.0 SEC SPECTRAL RESPONSE ACCELERATION - ((S1) = 0.061  
ASCE 7-16 RISK CATEGORY III  
SEISMIC DESIGN CATEGORY = "B"  
SEISMIC IMPORTANCE FACTOR = 1.25  
SITE CLASS = D  
DESIGN SPECTRAL ACCELERATION PARAMETERS: S DS = 0.303  
S DI = 0.098

BASIC STRUCTURAL SYSTEM = INTERMEDIATE REINFORCED SHEAR WALLS:  
RESPONSE MODIFICATION FACTOR (R) = 3 1/2  
SYSTEM OVER-STRENGTH FACTOR (Qo) = 2 1/2  
DEFLECTION AMPLIFICATION FACTOR (Cd) = 2 1/4

## GAC TREATMENT BUILDING FOUNDATION PLAN VIEW

N.T.S.

CONSULTANT:  
**ANDREW S. HOLT, PE**  
NY PROFESSIONAL ENGINEER: 095020-1

DATE: 03/11/2022

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**SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE**  
**POMONA WELL NO. 38**  
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

**STRUCTURAL PLAN & GENERAL NOTES**

PROJECT NUMBER:  
SCE-12162.002

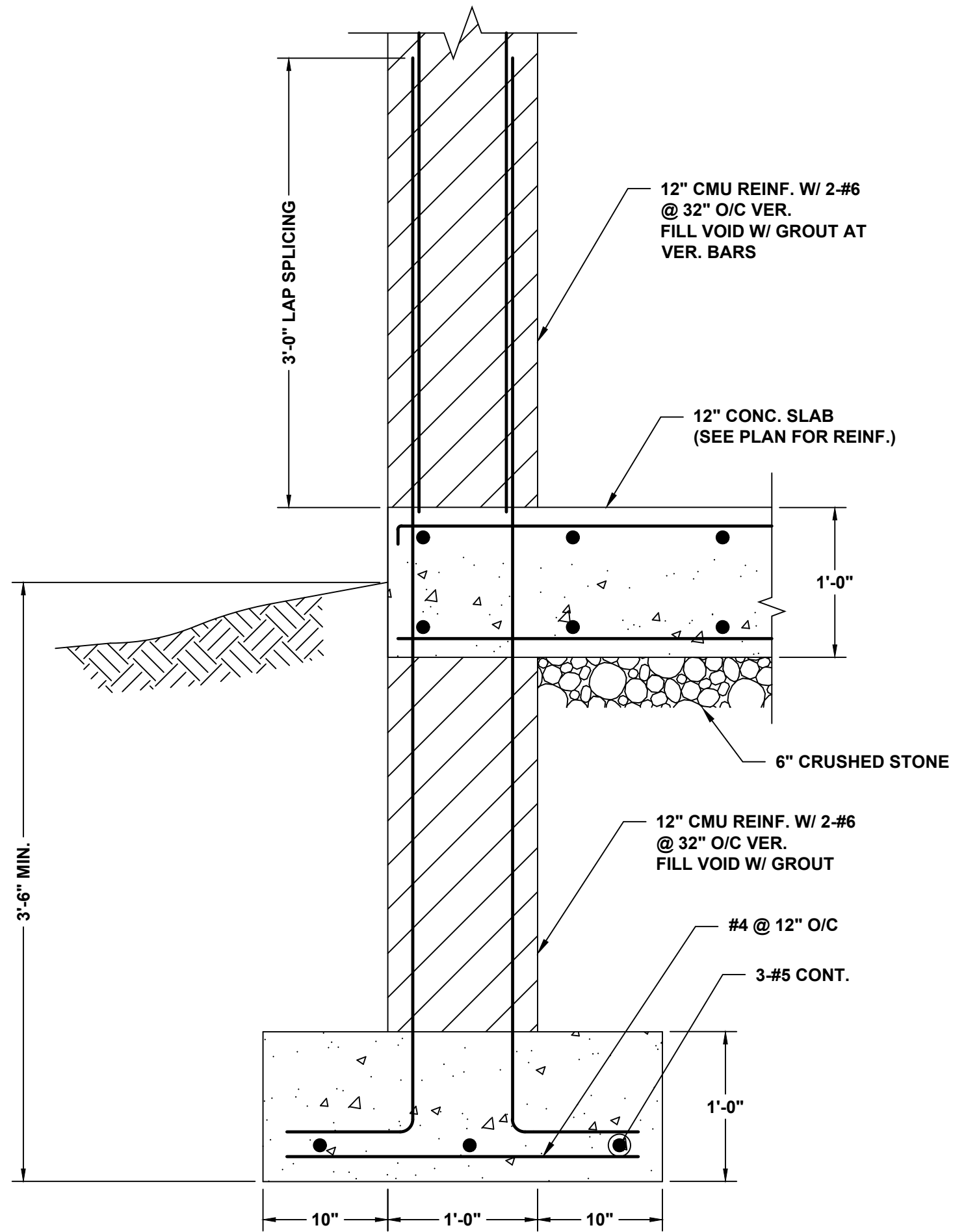
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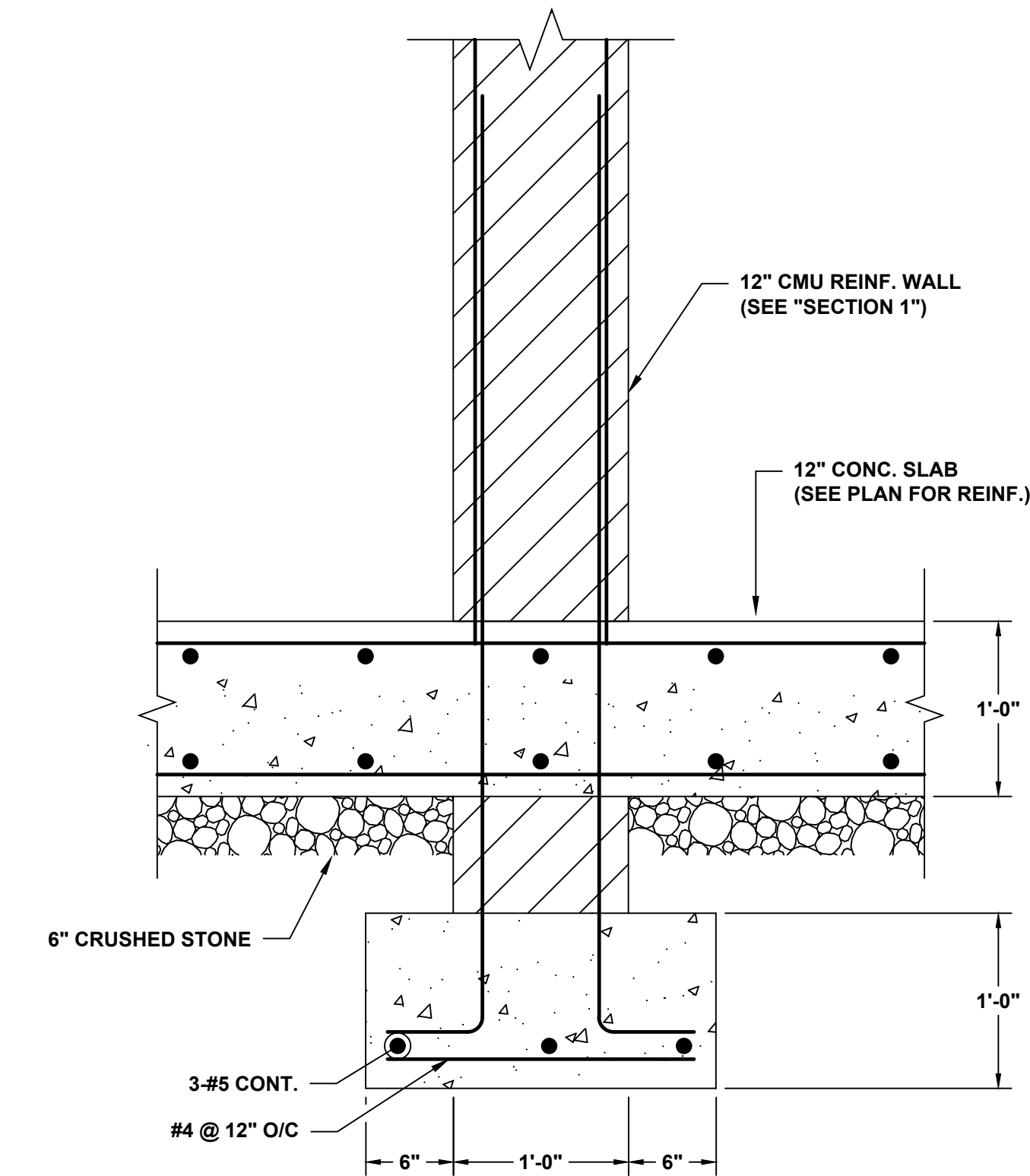
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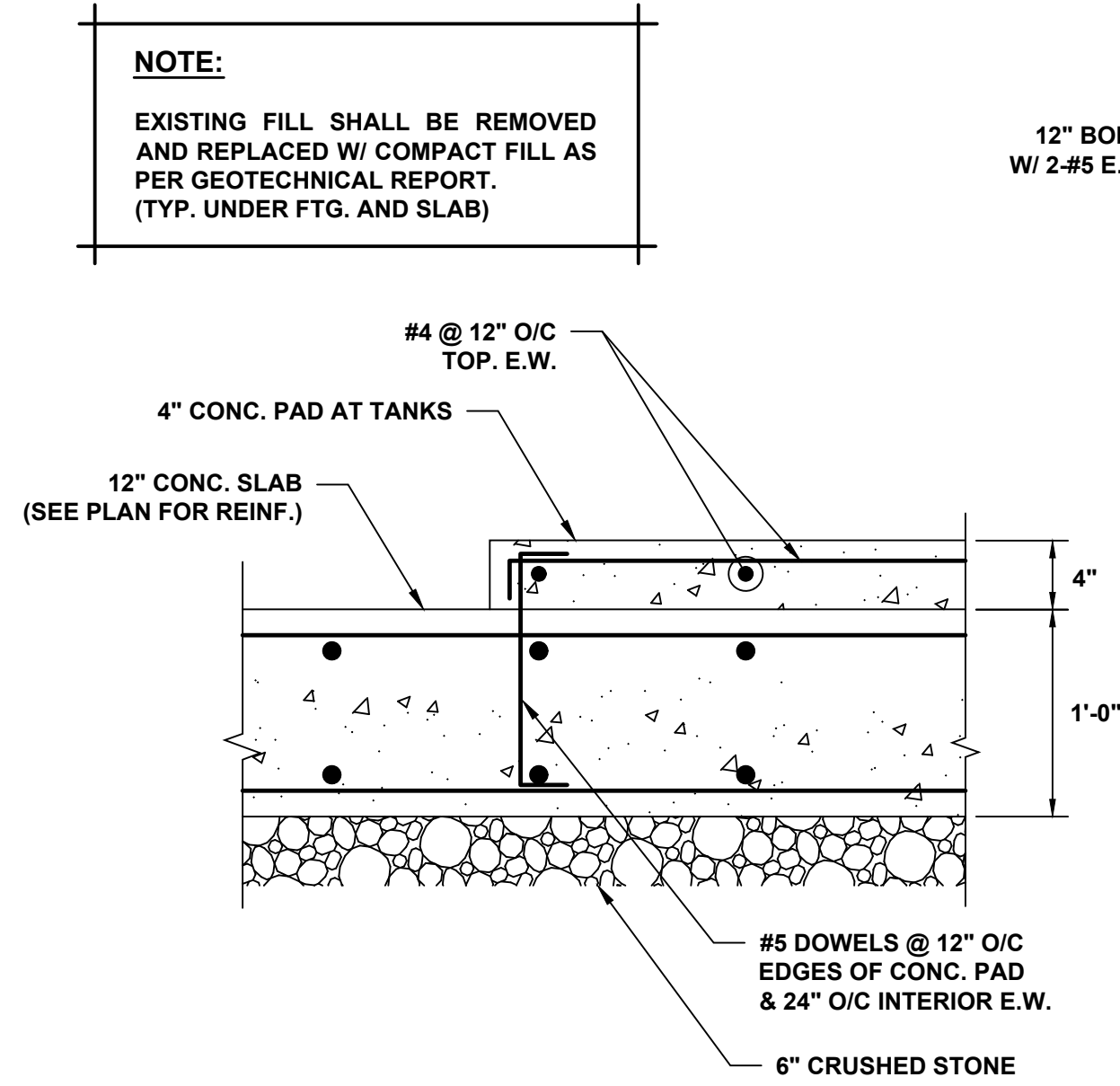
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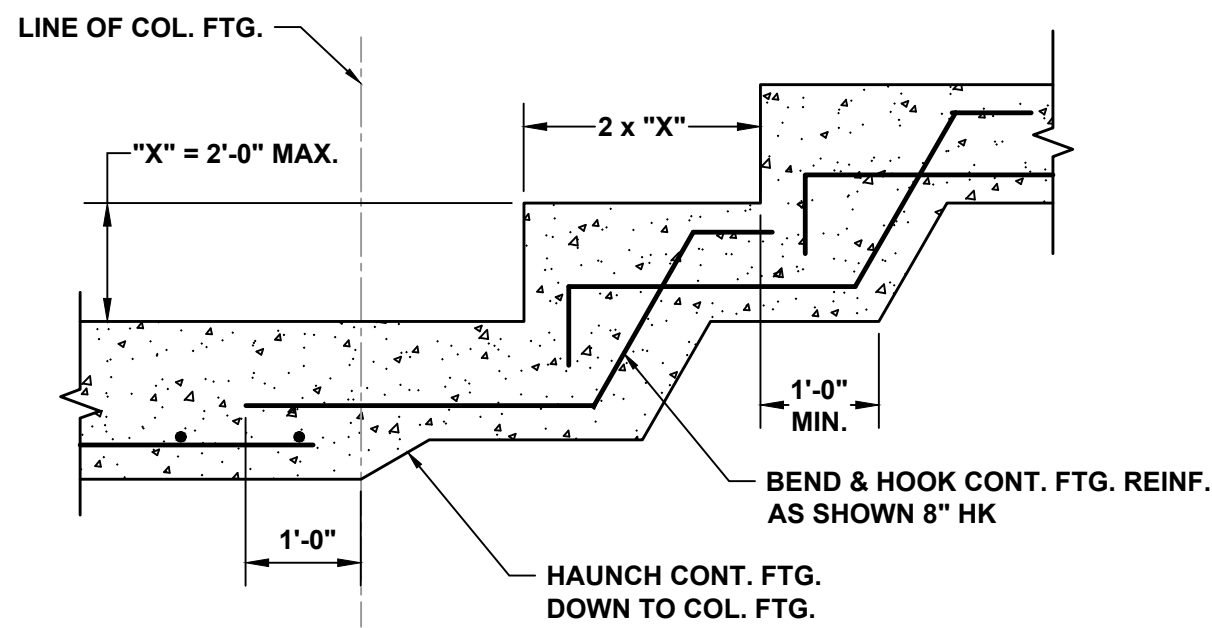
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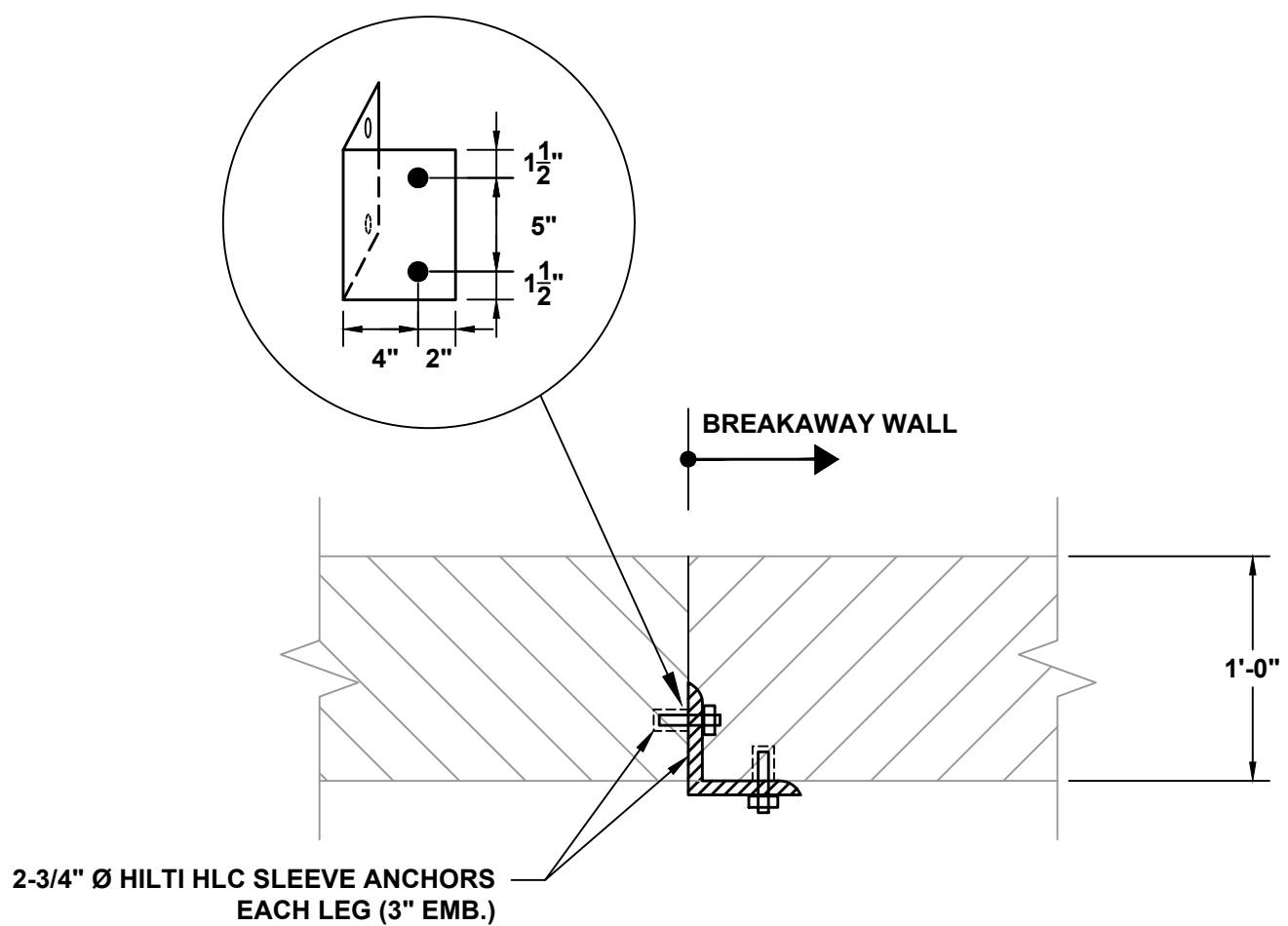
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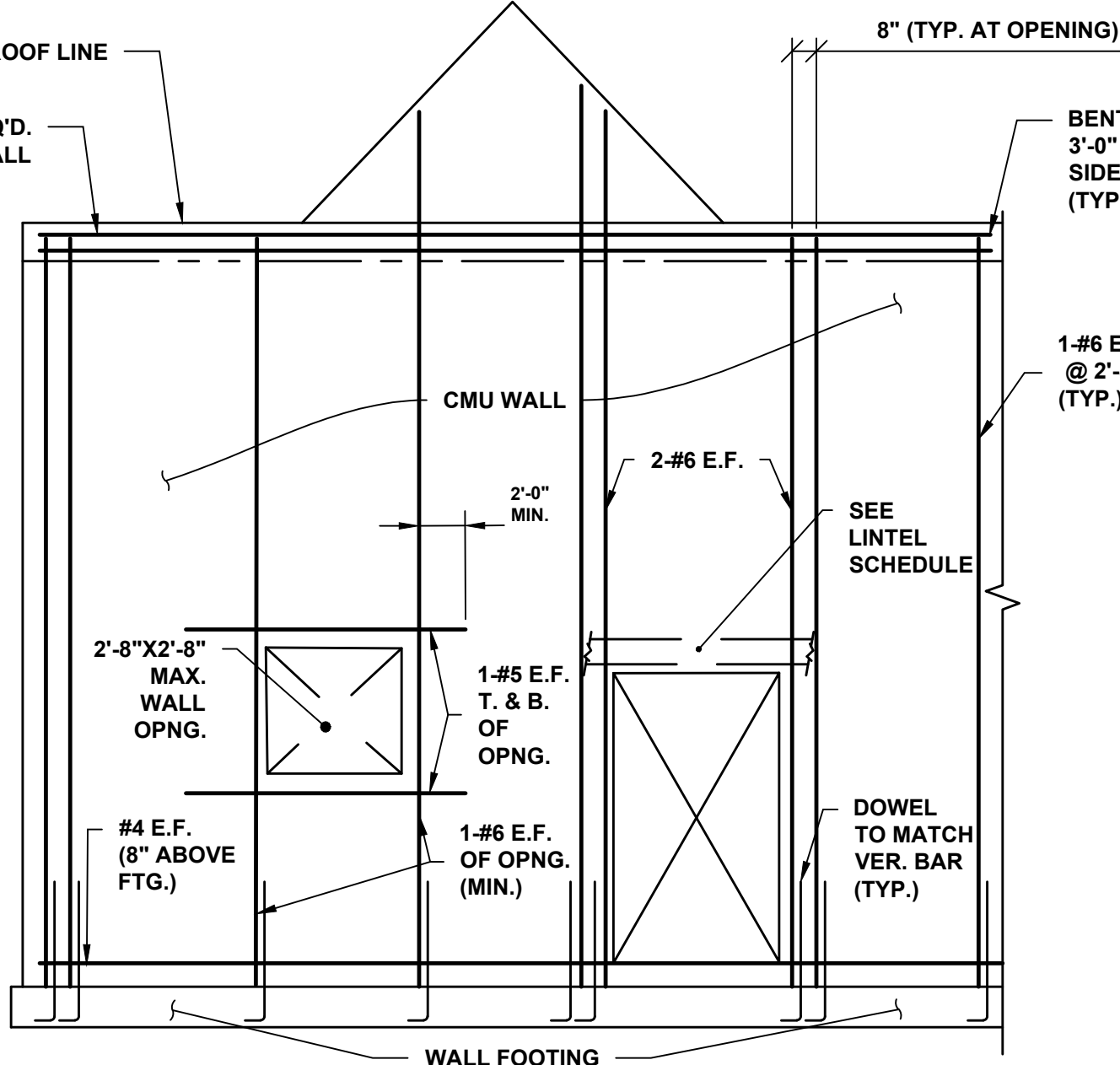
**SECTION 2**  
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**TYPICAL STEPPED FOOTING DETAIL**  
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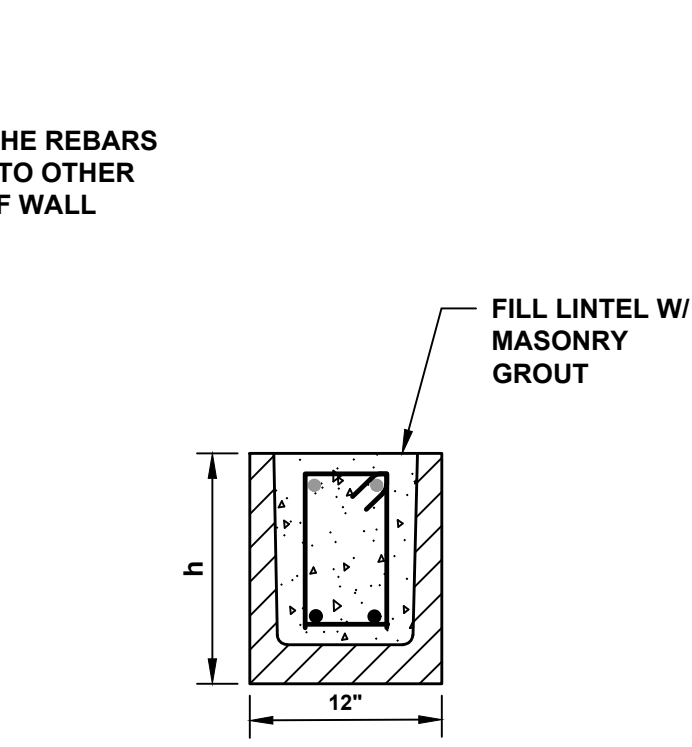


**SECTION 4**  
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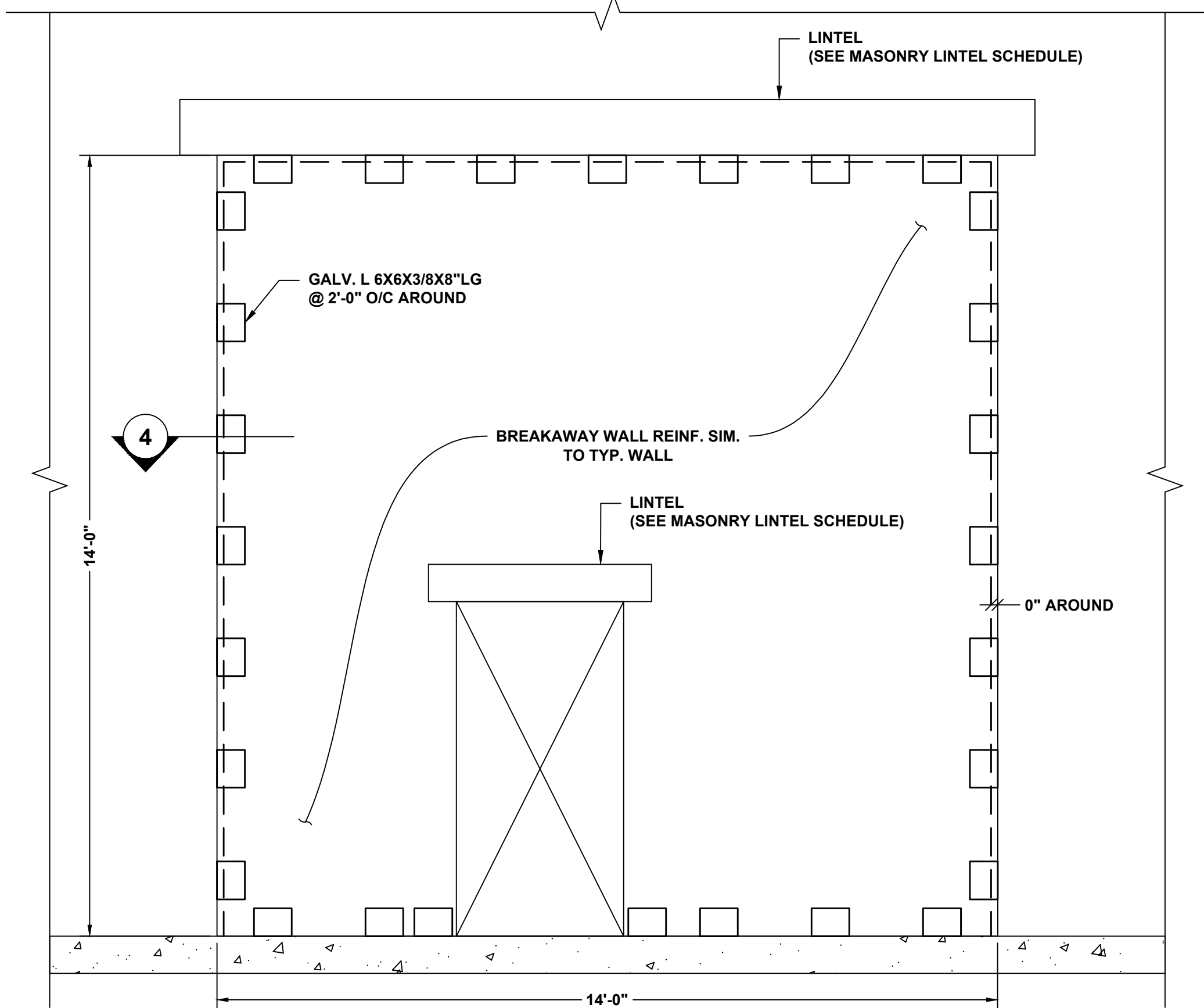
- NOTES:**
- SEE GENERAL NOTE FOR HORIZONTAL JOINT REINFORCEMENT.
  - E.F. INDICATES EACH FACE OF THE WALL.

**TYPICAL 12" CMU WALL  
REINFORCING ELEVATION**  
N.T.S.

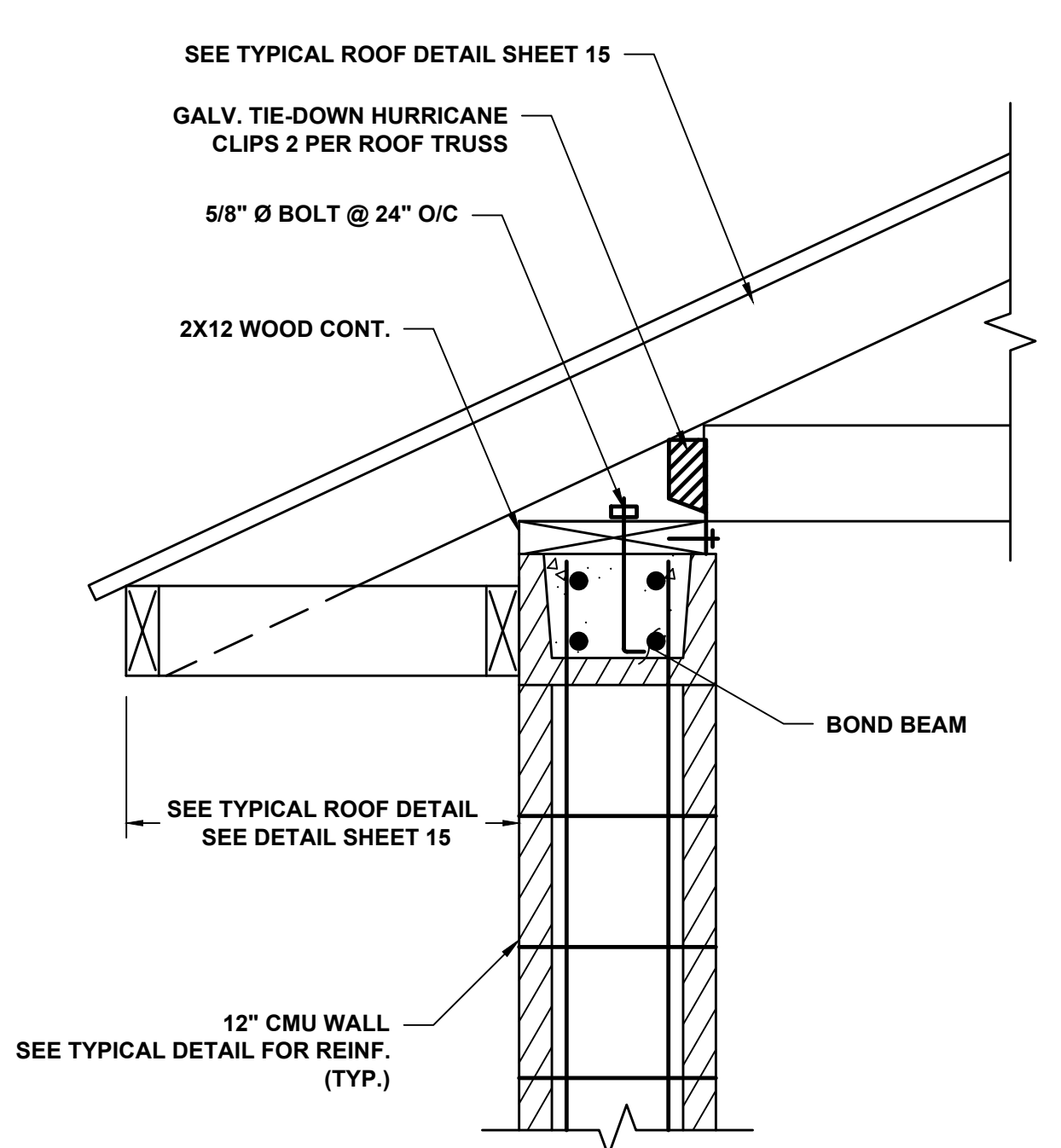


- NOTE:**
- MIN. LINTEL END BEARING 8".

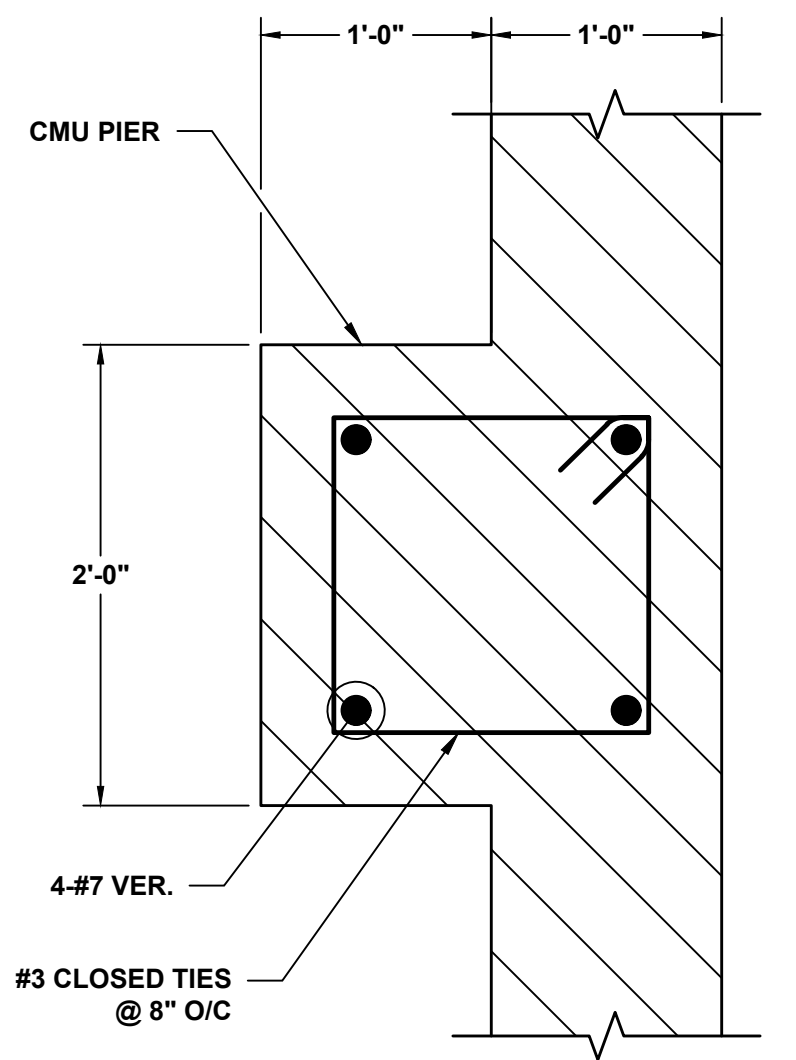
MASONRY LINTEL SCHEDULE		
CLEAR SPAN	h (in)	REINFORCEMENT
UP TO 4'-0"	8"	2-#4 B.
>4'-0" TO 6'-0"	8"	2-#5 B.
>6'-0" TO 8'-0"	8"	2-#6 B.
8'-0" TO 12'-0"	1'-4"	2-#6 T. & B.
>12'-0" TO 14'-0"	1'-4"	2-#7 T. & B. & #3 CLOSED TIES @ 12" O/C



**ELEVATION 1**  
N.T.S.



**PRE-ENGINEERED ROOF TRUSS  
TO CMU WALL**  
N.T.S.



**DETAIL 1**  
N.T.S.

CONSULTANT:  
**ANDREW S. HOLT, PE**  
NY PROFESSIONAL ENGINEER: 095020-1

DATE: 03/11/2022

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**SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE**  
**POMONA WELL NO. 38**  
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

**STRUCTURAL DETAILS**

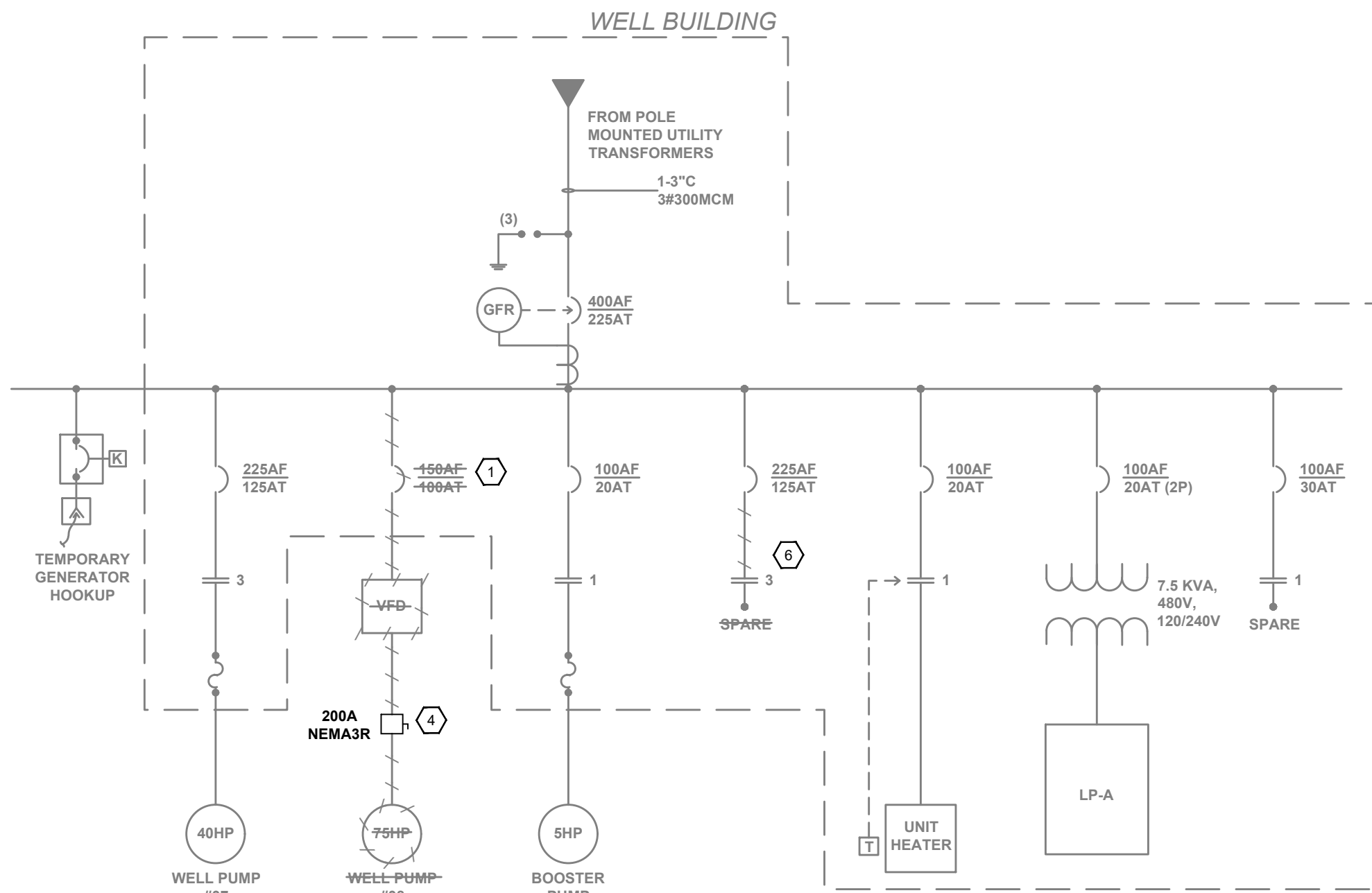
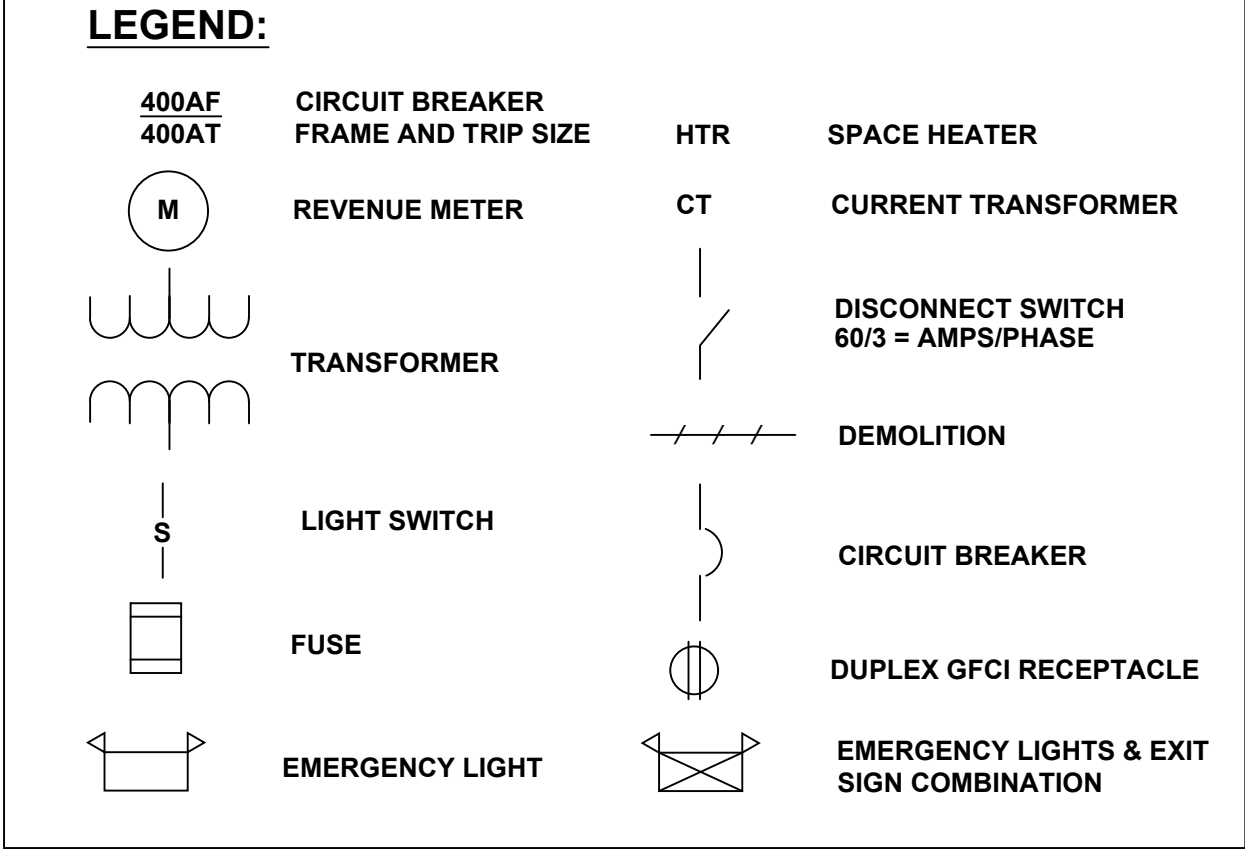
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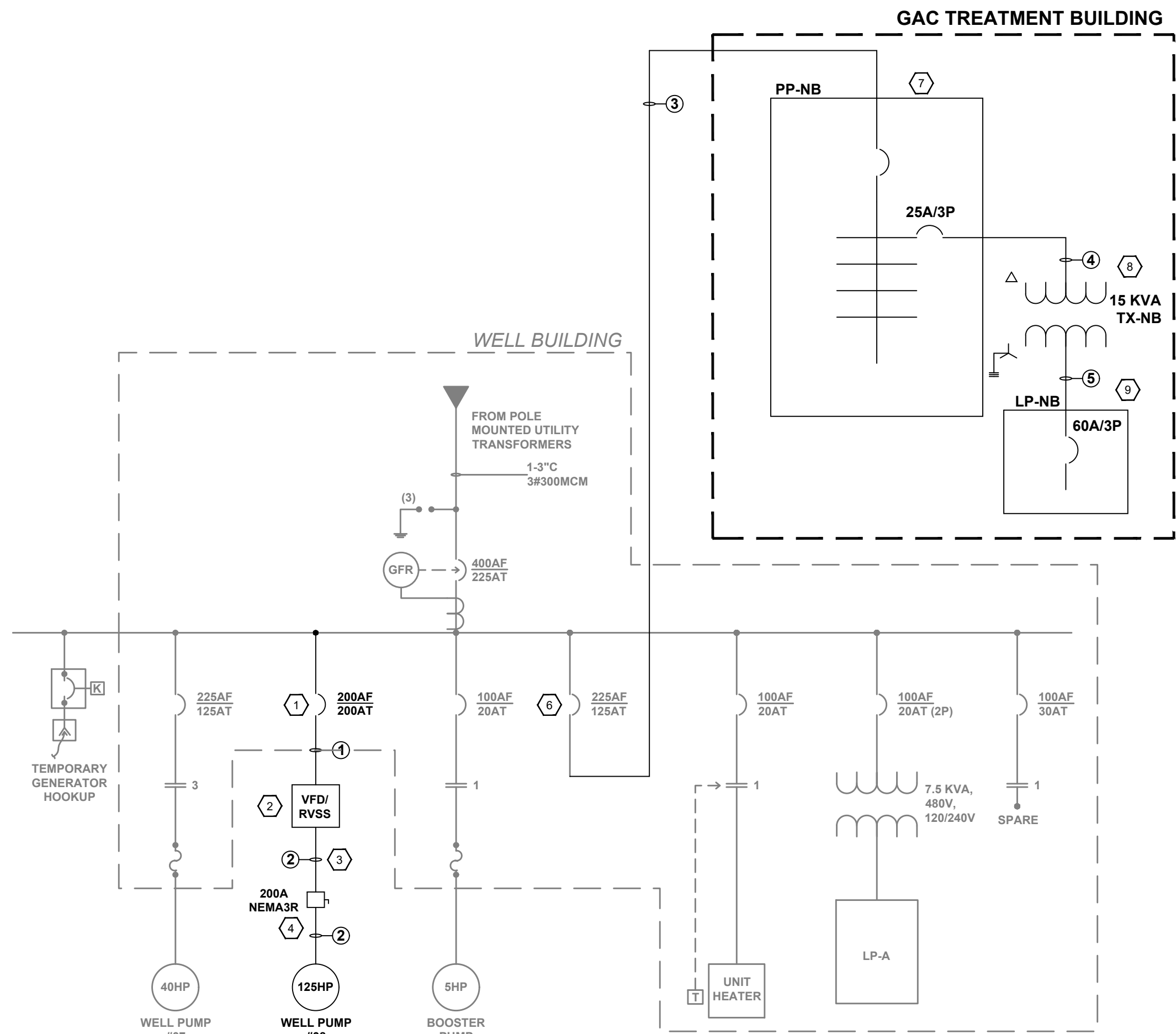
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**EXISTING & DEMOLITION ONE  
LINE DIAGRAM**



**MODIFIED ONE LINE DIAGRAM**

**KEY NOTES:**

- REPLACE EXISTING CIRCUIT BREAKER WITH 225AF/200AT CIRCUIT BREAKER.
- NEW VFD SHALL BE IN NEMA - 3R ENCLOSURE SUITABLE FOR OUTDOOR INSTALLATION AND SHALL BE PROVIDED WITH A MOTOR PROTECTION FILTER (LOAD SIDE DU/DT FILTER) DUE TO THE LONG MOTOR LEADS AND SHALL BE EQUIPPED WITH RVSS FOR BYPASS OPERATION.
- REMOVE EXISTING MOTOR LEADS AND REPLACE WITH NEW FEEDER. REUSE EXITING CONDUIT.
- EXISTING 200A DISCONNECT SHALL BE REUSED. PROVIDE NEW FEEDER FROM DISCONNECT SWITCH TO MOTOR TERMINAL BOX.
- REPLACE WITH 225AF/200AT CIRCUIT BREAKER.
- DISCONNECT THE STARTER PORTION AND USE EXISTING 225AF/125AT CIRCUIT BREAKER.
- NEW 225A, 480V, 3PH, 4W POWER PANEL PP-NB.
- NEW 15KVA, 480-120/208V STEP DOWN TRANSFORMER.
- NEW 100A, 120/208V, 3PH, 4W PANEL.

**GENERAL NOTES:**

- ALL NEW CIRCUIT BREAKERS SHALL MEET OR EXCEED THE EXISTING SHORT CIRCUIT RATINGS.

CONDUIT & CABLE SCHEDULE				
CONDUIT NO.	FROM	TO	CONDUIT/WIRE	REMARKS
①	200A CB	OUTDOOR VFD	2"C, 3#3/0 + 1#6G	
②	OUTDOOR VFD	EXISTING 200A DISCONNECT SWITCH	2"C, 3#2/0 + 1#6 + 2#12	USE EXISTING CONDUIT
③	225AF/125AT CB	PP-NB	1 1/2"C, 4#1 + 1#6	
④	PP-NB	15KVA TX-NB	3/4"C 3#10 + 1#10G	
⑤	15KVA TX-NB	LP-NB	1"C, 4#6 + 1#10G	

CONSULTANT:  
**ANDREW S. HOLT, PE**  
NY PROFESSIONAL ENGINEER: 095020-1

DATE: 03/11/2022

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**SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE**  
**POMONA WELL NO. 38**  
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: SUEZ WATER NEW YORK INC.

ELECTRICAL PLAN

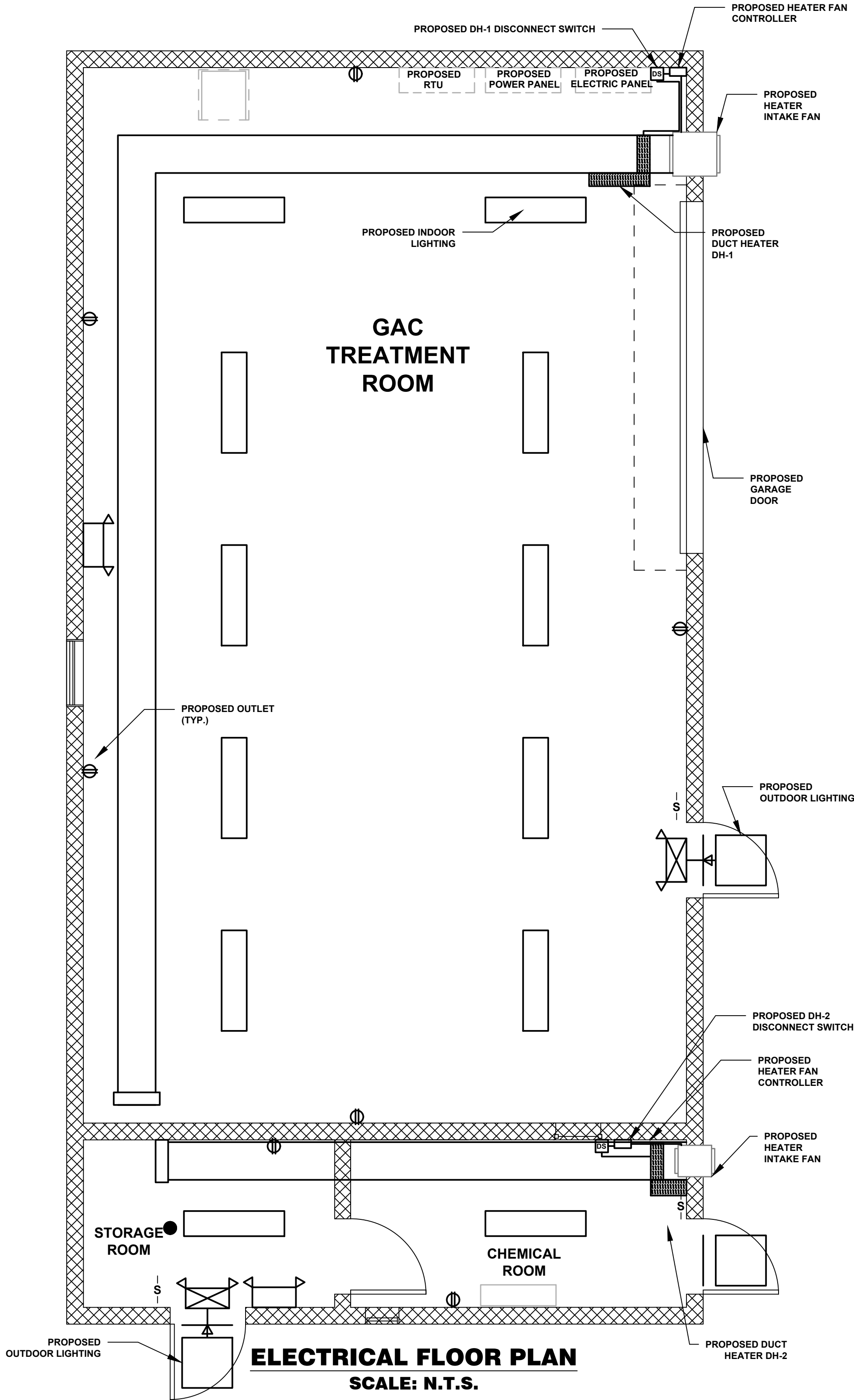
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**ELECTRICAL FLOOR PLAN**  
SCALE: N.T.S.

POMONA WELL STATION SCADA SYSTEM I/O LIST						
No.	DESCRIPTION	WIRE NUMBER & SIZE	DIGITAL		ANALOG	
			INPUT	OUTPUT	INPUT	OUTPUT
1	POMONA #38 PRESSURE (DISCHARGE)	T/S			1	
2	POMONA #38 FLOW (DISCHARGE)	T/S			1	
3	POMONA #38 HIGH DISCHARGE PRESSURE	(2) #14 THHN	1			
4	WELL LEVEL WL-1	T/S			1	
5	BAG FILTER CF-1 INLET PRESSURE	T/S			1	
6	BAG FILTER CF-1 OUTLET PRESSURE	T/S			1	
7	BAG FILTER BY-PASS STATUS	(2) #14 THHN	1			
8	GAC FILTER GF-1 INLET PRESSURE	T/S			1	
9	GAC FILTER GF-1 OUTLET PRESSURE	T/S			1	
10	GAC FILTER GF-2 INLET PRESSURE	T/S			1	
11	GAC FILTER GF-2 OUTLET PRESSURE	(2) #14 THHN	1			
12	GAC FILTER CF-1 INLET VALVE STATUS	(2) #14 THHN	1			
13	GAC FILTER CF-2 INLET VALVE STATUS	(2) #14 THHN	1			
14	CHEMICAL FEED PUMP CFP-1 FLOW PACING	(2) #14 THHN		1		
15	CHEMICAL FEED PUMP CFP-1 REMOTE START/STOP	(2) #14 THHN		1		
16	CHEMICAL FEED PUMP CFP-1 FLOW INPUT	(2) #14 THHN			1	
17	CHEMICAL FEED PUMP CFP-2 FLOW PACING	(2) #14 THHN		1		
18	CHEMICAL FEED PUMP CFP-2 REMOTE START/STOP	(2) #14 THHN		1		
19	CHEMICAL FEED PUMP CFP-2 FLOW INPUT	(2) #14 THHN			1	
20	CHLORINE ANALYZER CA-1 READING	T/S			1	
21	CHLORINE ANALYZER CA-2 READING	T/S			1	
22	POWER FAIL	NONE	1			
23	BUILDING INTRUSION ALARM BI-1	(2) #14 THHN	1			
24	BUILDING INTRUSION ALARM BI-2	(2) #14 THHN	1			
25	BUILDING INTRUSION ALARM BI-3	(2) #14 THHN	1			
26	BUILDING INTRUSION ALARM BI-4	(2) #14 THHN	1			
27	BUILDING INTRUSION ALARM BI-5	(2) #14 THHN	1			
28	BACKWASH MODULATED VALVE	T/S			1	
29	EYEWASH ALERT	(2) #14 THHN	1			
30	FLOW SWITCH	(2) #14 THHN	1			
TOTAL MINIMUM TO BE PROVIDED W/ SPARE POINTS (20% MIN)		TOTAL	16	5	14	0

**SCADA SYSTEM I/O LIST**

LP-A PANEL						
1P 120/208V/3Ø/4W						
SERVES	A	POLE	CKT#	CKT#	POLE	SERVES
TELEMETRY (FUTURE)	15	1	1	2	1	DH-2 INTAKE FAN
DH-1 INTAKE FAN	20	1	3	4	1	CHLORINE RM RECEPTACLE
INTERIOR LIGHTS - PUMP ROOM	20	1	5	6	1	CHEMICAL DOSAGE PUMP #1 (RELAYED ON RTU)
INTERIOR LIGHTS - CHLORINE ROOM	20	1	7	8	1	CHEMICAL DOSAGE PUMP #2 (RELAYED ON RTU)
EXTERIOR LIGHTS	20	1	9	10	1	CONTROLS
DEHUMIDIFIER	20	1	11	12	1	SPARE
HOT WATER HEATER	20	1	13	14	1	SPARE
AUTOMATIC 12" DOOR	20	1	15			

**PANEL: LP-A SCHEDULE**

LIGHTING FIXTURE SCHEDULE						
PLAN SYMBOL	TYPE	LOCATION	DESCRIPTION	MANUFACTURER	CATALOG NO.	REMARKS
	RECESSED	INDOORS	1FT X 4FT	LITHONIA	CPX-1X4-3200LMHE 80CRI-40K-SWL-MV OR APPROVED EQUAL	
	SURFACE MOUNTED	INDOORS	1FT X 4FT	HOLOPHANE	EMSL48-6000LU- LPACL-MD-MV-4K OR APPROVED EQUAL	
	WALL MOUNTED	INDOORS	EXIT SIGN	HOLOPHANE	QM LED-W-R-HO OR APPROVED EQUAL	
	WALL MOUNTED	OUTDOORS	WALL PACK	HOLOPHANE	HLWPC2-P10P40K-AS-T2M-BZ OR APPROVED EQUAL	
	WALL MOUNTED	INDOORS	TWIN HEAD EMG LIGHT	HOLOPHANE	QMLEDR OR APPROVED EQUAL	
	WALL MOUNTED	INDOORS	TWIN HEAD COMBINATION EXIT & EMG LIGHT	HOLOPHANE	QMLEDR HO WITH ELA QM WP OR APPROVED EQUAL	WITH WP REMOTE HEAD SYMBOL

HVAC SCHEDULE		
ITEM NAME	VOLTAGE	DESCRIPTION
DH-1	480V	3PH, 45KW MAIN ROOM DUCT HEATER
DH-1 INTAKE FAN	208V	1PH, MAIN ROOM DUCT HEATER INTAKE FAN
DH-2	480V	3PH, 5KW CHEMICAL ROOM DUCT HEATER
DH-2 INTAKE FAN	115V	1PH, CHEMICAL ROOM DUCT HEATER INTAKE FAN

PANEL: PP-NB, 480V, 100A				MCB: 300A/3P				NEMA ENCLOSURE-1 MOUNTING SURFACE			
CB NO.	AMP/ POLE	SERVICE	CONDUIT/WIRE	LOAD (VA)	CONDUIT/WIRE	SERVICE	AMP/ POLE	CB NO.	AMP/ POLE	SERVICE	CB NO.
1				16038				2			2
3	15/3	CHEMICAL ROOM DUCT HEATER	3/4"C 3#12 + 1#12 G	16038		3/4"C 3#10 + 1#10 G		4			4
5				16038				6			6
7		15KVA STEP DOWN TRANSFORMER	3/4"C 3#10 + 1#10 G	1910				8			8
9	25/3			3150				10			10
11				3450				12			12
13								14			14
15								16			16
17								18			18
19								20			20
21								22			22
23								24			24
25								26			26
27								28			28
29								30			30
TOTAL				17948	19188	17488					
TOTAL LOAD: 65.7 AMPS											
TOTAL LOAD: 54624 VA											
NOTE: KAIC OF THIS PANEL SHALL MEET OR EXCEED UTILITY SC LEVEL.											

**PANEL: PP-NB SCHEDULE**

PANEL LP-NB: 120/208V, 300A SC RATINGS: 22KAIC				MCB: 60A/3P				NEMA ENCLOSURE-1 MOUNTING SURFACE			
CB NO.	AMP/ POLE	SERVICE	CONDUIT/WIRE	LOAD (VA)	CONDUIT/WIRE	SERVICE	AMP/ POLE	CB NO.	AMP/ POLE	SERVICE	CB NO.
1	20/1	HYPOCHLORITE PUMP	3/4"C 3#12 + 1#12 G	110		3/4"C 3#12 + 1#12 G		2			2
3	20/1	FLOW METER	3/4"C 3#12 + 1#12 G	150		3/4"C 3#12 + 1#12 G		4			4
5	20/1	CHEMICAL ROOM (DH-2) DUCT FAN	3/4"C 3#12 + 1#12 G		1150	3/4"C 3#12 + 1#12 G		6			6
7	20/1	INDOOR LIGHTS	3/4"C 3#12 + 1#12 G	1500		3/4"C 3#12 + 1#12 G		8			8
9	20/1	OUTDOOR LIGHTS	3/4"C 3#12 + 1#12 G	1500		3/4"C 3#12 + 1#12 G		10			10
11	15/2	MAIN ROOM (DH-1)	3/4"C 3#12 + 1#12 G	300				12			12
13								14			14
15	20/1	ELECTRIC HOT WATER HEATER	3/4"C 3#10 + 1#10 G	1500				16			16
17	20/1	SPARE						18			18
19		SPARE						20			20
21		SPARE						22			22
23		SPARE						24			24
25		SPARE						26			26
27		SPARE						28			28
29		SPARE						30			30
TOTAL				1910	3150	3450					
TOTAL LOAD: 18 AMPS											
TOTAL LOAD: 6510 VA											
NOTE: PROVIDE INTEGRAL SPD INSIDE THE PANEL.											

**PANEL: PP-NB SCHEDULE**

**GENERAL NOTES:**

- ALL NEW CIRCUIT BREAKERS SHALL MEET OR EXCEED THE EXISTING SHORT CIRCUIT RATINGS.


CONSULTANT:  
**ANDREW S. HOLT, PE**  
NY PROFESSIONAL ENGINEER: 095020-1

DATE: 03/11/2022

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FOR CLIENT: **SUEZ WATER NEW YORK INC.**

**ELECTRICAL FLOOR PLAN**

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SCE-12162.002

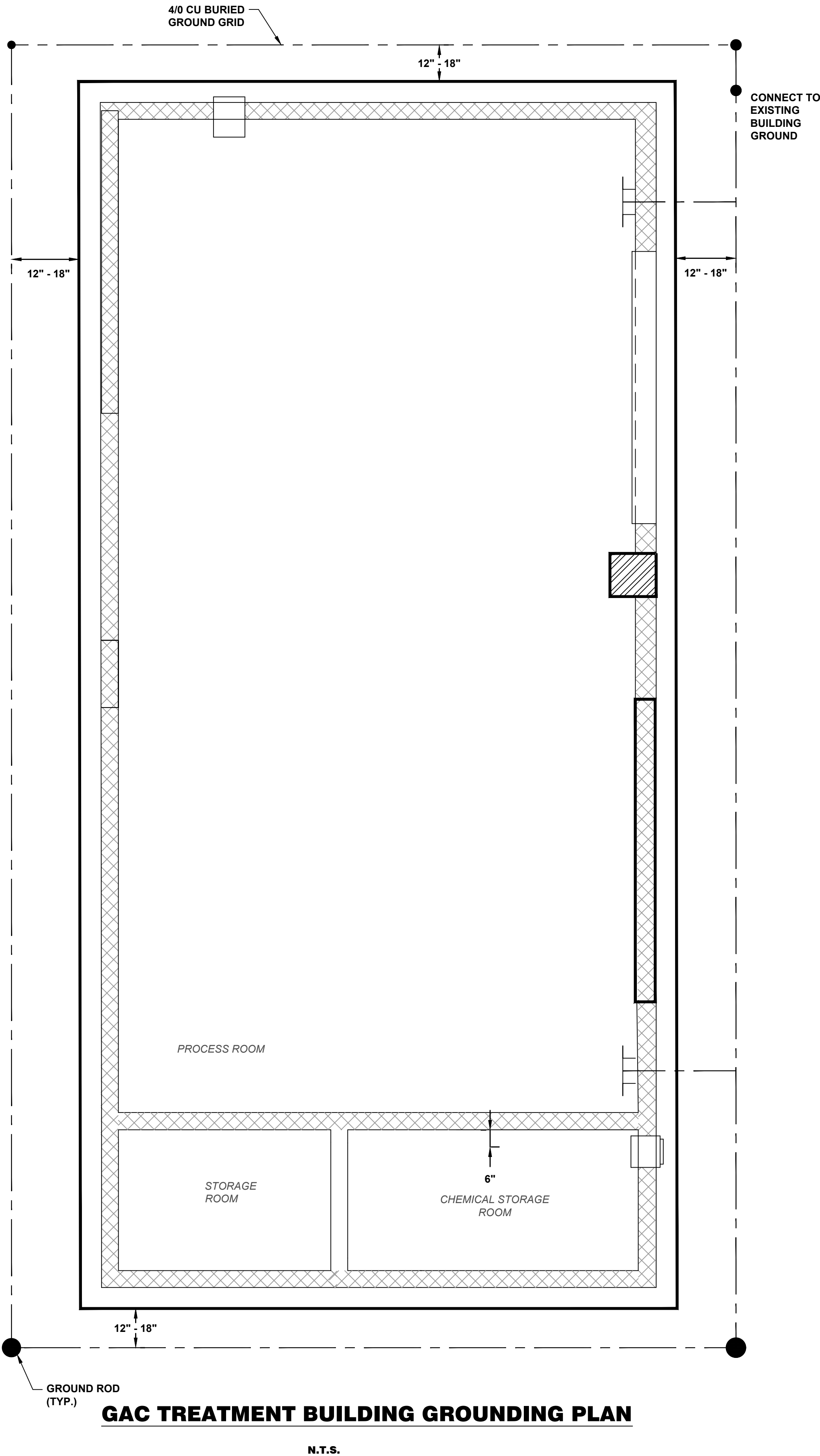
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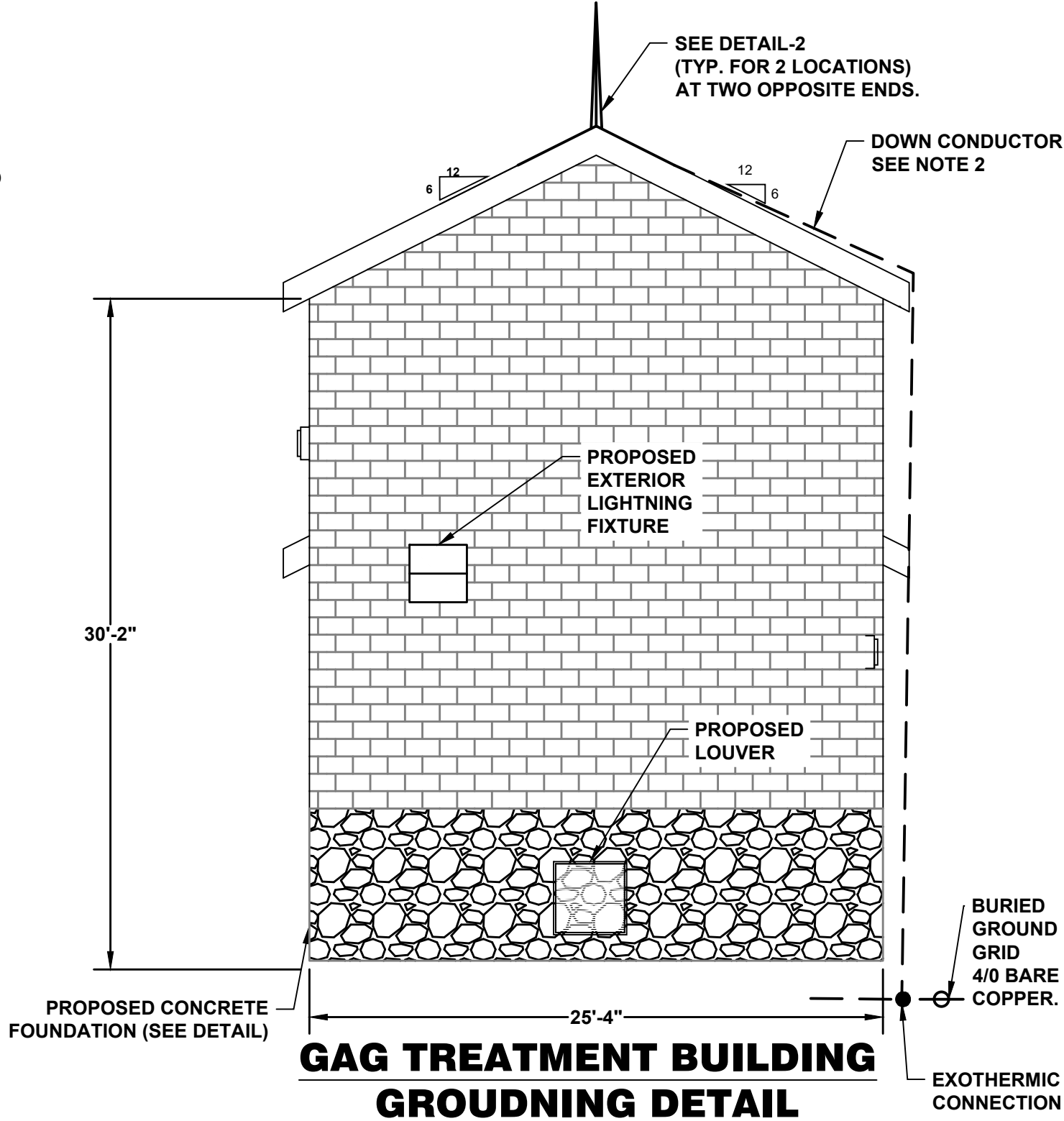


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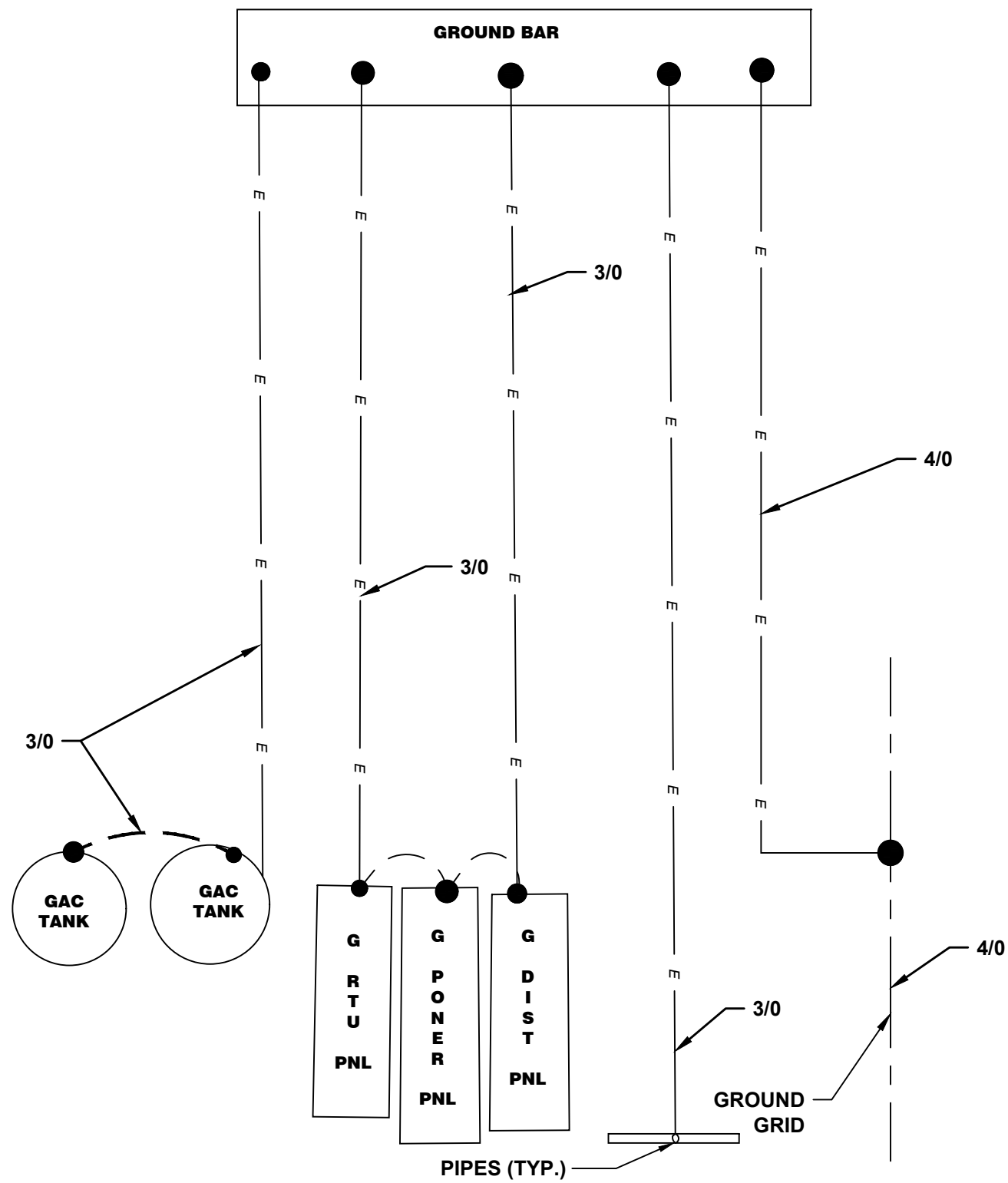
**GAC TREATMENT BUILDING GROUNDING PLAN**

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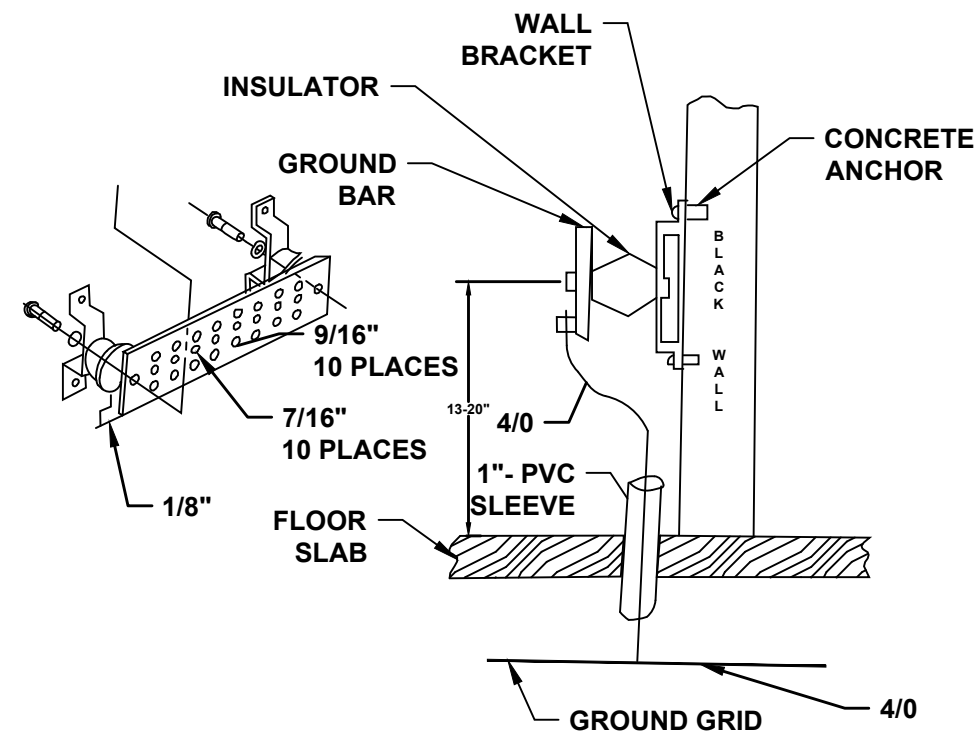
**GAG TREATMENT BUILDING GROUNING DETAIL**

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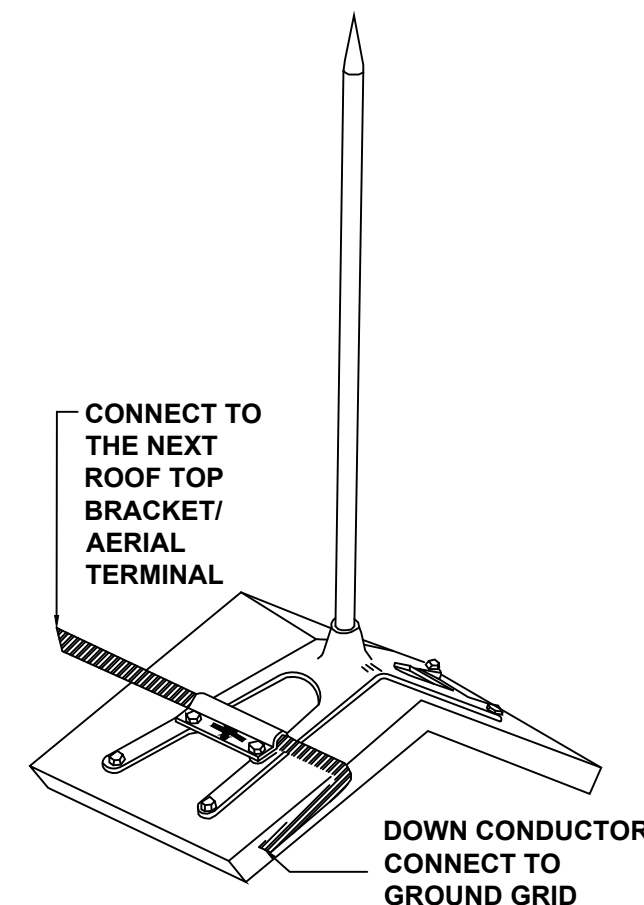
**DETAIL-4 GROUNDING DISTRIBUTION**

N.T.S.



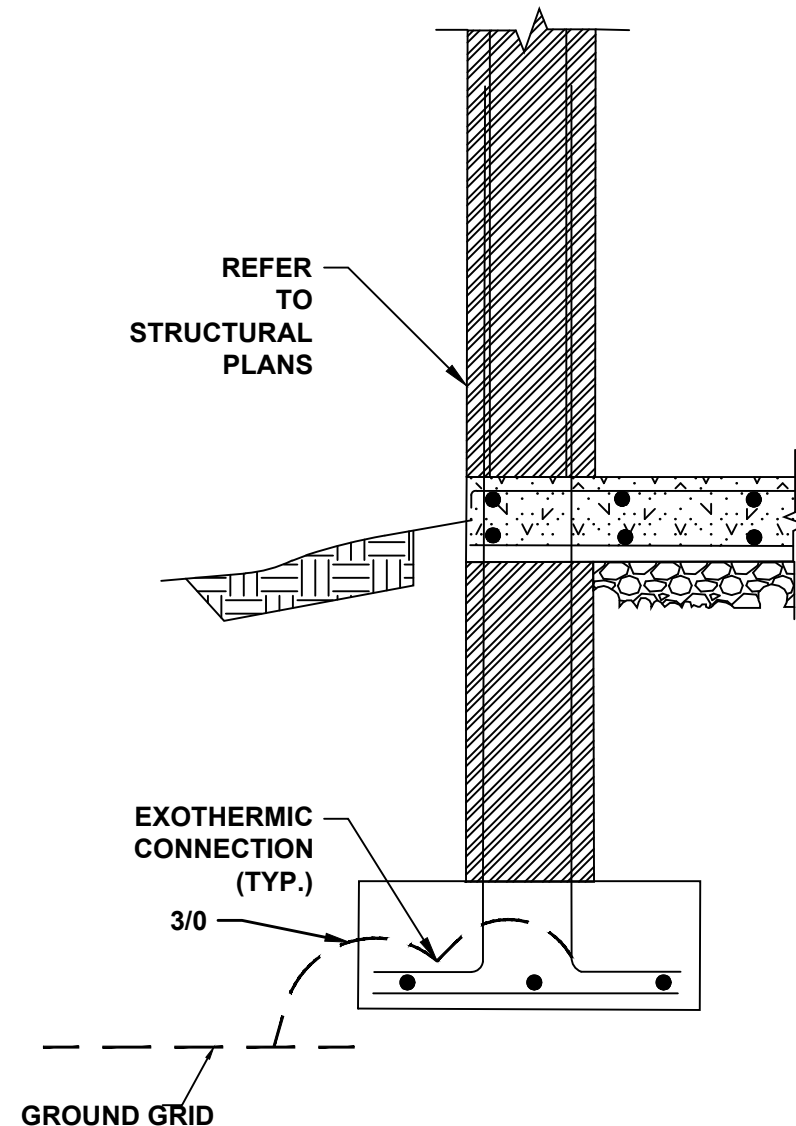
**GROUND BAR INSTALLATION**

N.T.S.



**ROOF TOP LIGHTNING PROTECTION - DETAIL 2**

N.T.S.



**BUILDING STEEL GROUNDING  
TYPICAL FOR ALL CORNERS AND  
INTERMEDIATE LOCATIONS - DETAIL 1**

N.T.S.

**GENERAL NOTES:**

1. REFER TO GROUNDING AND LIGHTNING PROTECTION NOTES AND DETAILS HERE IN.
2. LOCATION OF DOWN CONDUCTORS SHALL BE DECIDED BY THE OWNER IN THE FIELD.

**GENERAL ELECTRICAL NOTES:**

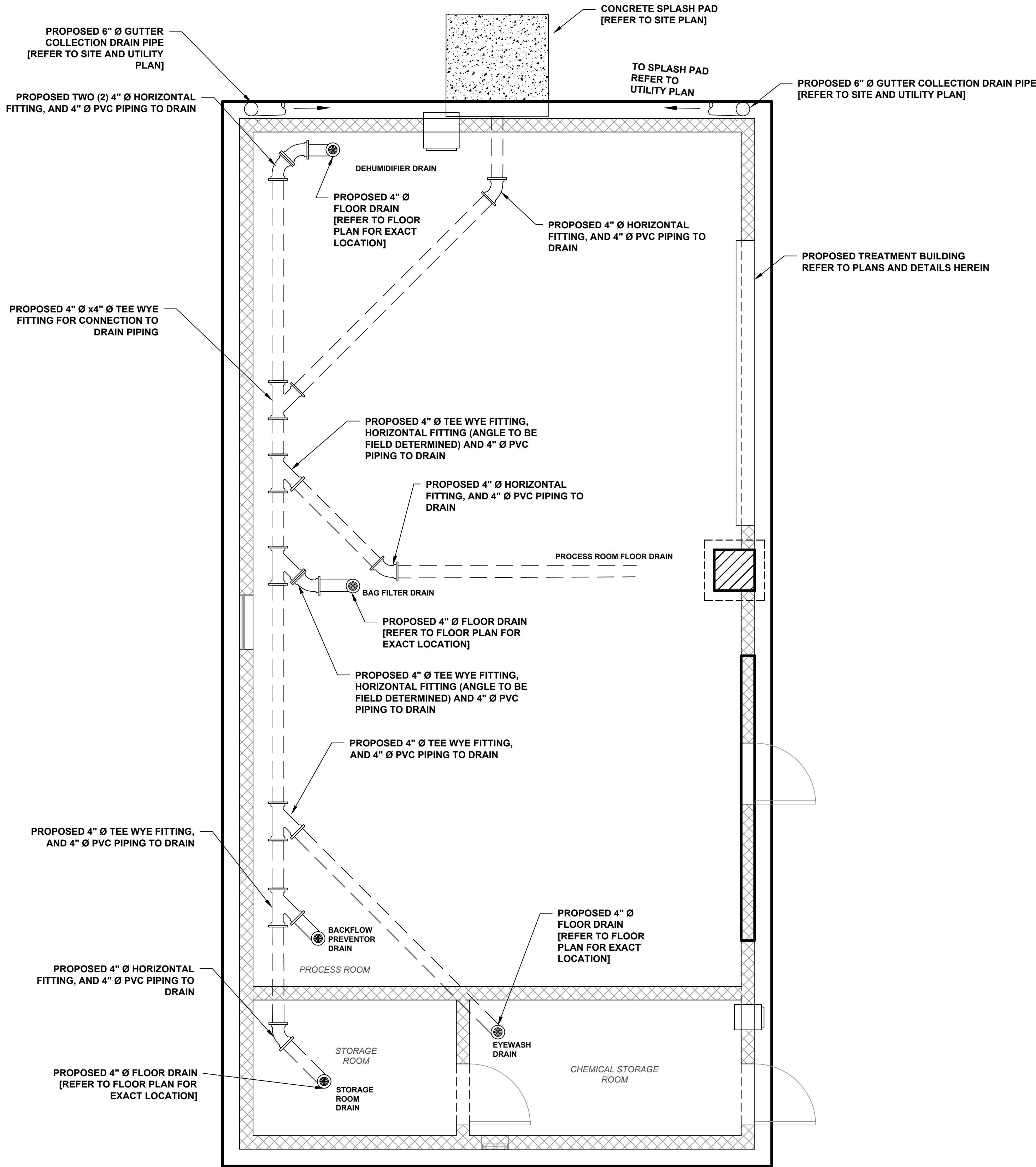
1. ELECTRICAL SYSTEM INSTALLATION SHALL CONFORM TO ARTICLE 300 OF NFPA 70, WIRING METHODS, AND TO OTHER APPLICABLE ARTICLES OF NFPA 70 GOVERNING METHODS OF WIRING.
2. GROUND THE CONDUIT SYSTEMS, METAL ENCLOSURES, EQUIPMENT FRAMES, MOTORS AND RECEPTACLES IN ACCORDANCE WITH ARTICLE 250 OF NFPA 70, GROUNDING.
3. GROUNDING CONDUITS:
  - 3.1. GROUND ALL METRIC CONDUITS, WIRING CHANNELS, AND ARMORED CABLES CONTINUOUSLY FROM OUTLET TO OUTLET, AND FROM OUTLETS TO CABINETS, JUNCTION BOXES, OR PULL BOXES.
  - 3.2. BOND EACH RUN OF RACEWAYS TO FORM A CONTINUOUS PATH FOR GROUND FAULTS END TO END.
  - 3.3. WHEN LIQUID TIGHT FLEXIBLE METAL CONDUIT SIZES LARGER THAN 1-INCH OR FLEXIBLE METAL CONDUIT ARE INSTALLED, PROVIDE EXTERNAL BOND WIRES.
4. GROUNDING BUSHINGS
  - 4.1. PROVIDE ALL 1-INCH OR LARGER METALLIC CONDUITS WITH GROUNDING BUSHINGS UNLESS THEY ENTER METALLIC ENCLOSURES VIA INTEGRAL THREADED HUBS.
  - 4.2. PROVIDE GROUNDING BUSHINGS FOR CONDUITS ENTERING THE BOTTOM OF FREESTANDING EQUIPMENT.
  - 4.3. BOND WIRE FROM EVERY GROUNDING BUSHING TO THE EQUIPMENT GROUND STUD OR GROUND BUS IN THE ENCLOSURE.
  - 4.4. BIND THE GROUNDING BUSHINGS TO GROUND STUDS OR GROUND BUSES IN THE ENCLOSURES.
5. PROVIDE INSULATED, INTERNAL WIRE TO ALL PULLBOXES, JUNCTION BOXES, EQUIPMENT ENCLOSURES, AND OTHER ENCLOSURES AS REQUIRED BY NFPA 70.
6. EQUIPMENT GROUNDING
  - 6.1. DESIGN ALL FEEDERS AND BRANCH CIRCUITS TO INCLUDE AN EQUIPMENT GROUNDING CONDUCTOR CONSISTING OF A COPPER WIRE WITHIN A RACEWAY OR CABLE AND SIZES AS SPECIFIED HEREIN.
  - 6.2. WHERE CONDUCTORS ARE RUN IN PARALLEL IN MULTIPLE RACEWAYS, RUN THE EQUIPMENT GROUNDING CONDUCTOR IN PARALLEL TO THE RELATED CONDUCTORS.
  - 6.3. SIZE EACH OF THE PARALLEL EQUIPMENT GROUNDING CONDUCTORS ON THE BASIS OF THE AMPERE RATING OF THE CIRCUIT OVER CURRENT PROTECTING DEVICE.
  - 6.4. GROUND ENCLOSING CASES, MOUNTING FRAMES, RACK MOUNTED COMPONENTS, RACK STRUTS, SWITCHES, BREAKERS, CONTROL PANELS, MOTORS, AND OTHER ELECTRICAL OR ELECTRICALLY OPERATED EQUIPMENT BY PROVIDING AN EQUIPMENT GROUNDING CONDUCTOR WITH PHASE CONDUCTORS FROM AN ESTABLISHED EQUIPMENT GROUND SOURCE.
7. GROUND WIRE SIZES:
  - 7.1. THE MINIMUM SIZE FOR BONDING JUMPERS, EQUIPMENT GROUND CONDUCTORS, GROUNDING ELECTRODE CONDUCTORS, AND GROUND GRID CONDUCTORS IS AS FOLLOWS:
    - 7.1.1. UNDER 600 VOLTS:
      - 7.1.1.1. PROVIDE #12 AWG, MINIMUM.
      - 7.1.1.2. CONTROL POWER CIRCUITS, PROVIDE #14 AWG, MINIMUM.
    - 7.1.2. OVER 600 VOLTS
      - 7.1.2.1. FOR TRANSFORMERS, PROVIDE #2 AWG GROUND WIRE, MINIMUM.
      - 7.1.2.2. FOR MOTORS, PROVIDE #4 AWG GROUND WIRE, MINIMUM.
  - 7.2. WHEN THE GROUND WIRE SIZE IS NOT SPECIFIED OR INDICATED ON THE CONTRACT DRAWINGS, PROVIDE WIRE SIZED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 70.
8. GROUND RODS: PROVIDE 3/4" IN DIAMETER BY 10'- 0" LARGE RODS
9. PROVIDE AN APPROVED TYPE OF NON-CORROSIVE METAL FASTENER.
10. ALL BURIED UNDERGROUND CONNECTIONS SHALL BE EXOTHERMIC.
11. DERIVE GROUND CONNECTIONS FROM THE NEAREST GROUND BAR. FOLLOWING EQUIPMENT SHALL BE GROUNDED.
  - 12.1. METALLIC TANKS AND PIPES
  - 12.2. NON-METALLIC TANKS OF LARGE SURFACE AREA
  - 12.3. ALL ELECTRIC MOTOR BASES
  - 12.4. ALL ELECTRICAL PANELS
  - 12.5. ALL CONTROL SYSTEM PANELS

**LIGHTING PROTECTION INSTITUTE (LPI)**

1. THE SYSTEM DESIGN AND INSTALLATION SHALL BE PERFORMED UNDER DIRECT SUPERVISION OF A MASTER INSTALLER DESIGNER CERTIFIED BY LIGHTING PROTECTION INSTITUTE. (LPI) PROVIDE A UL MASTER LABEL FOR THE SYSTEM.
2. PROVIDE LIGHTING PROTECTION EQUIPMENT MANUFACTURES BY ONE OF THE FOLLOWING:
  - 2.1. HANGER LIGHTING PROTECTION, INC.
  - 2.2. ERICA LIGHTING PROTECTION SYSTEM
  - 2.3. ROBBINS LIGHTING PROTECTION SYSTEM OR APPROVED EQUAL
3. PROVIDE COPPER OR ALUMINUM MATERIALS WHICH CONFORMS TO UL 96. SIZE, WEIGHT AND CONSTRUCTION SHALL SUIT THE APPLICATION IN ACCORDANCE WITH LPI & NFPA CODE REQUIREMENTS FOR CLASS 1 STRUCTURES.
4. CONDUCTORS:
  - 4.1. ROOF CONDUCTORS: UL LISTED CONDUCTORS OF 28 STRANDS OF 14 GA ALUMINUM WIRE WEIGHING 114 LBS PER 1000 FT
  - 4.2. DOWN CONDUCTORS FROM ROOF TO GROUND 29 STANDS OF 17 GAGE COPPER WIRE, MINIMUM.
5. AIR TERMINALS:
  - 5.1. ROOF RIDGE: 1/2 INCHED BY 18 INCHED SOLID ALUMINUM.
  - 5.2. AIR TERMINAL BASE: CASE ALUMINUM WELT BOLT PRESSURE CABLE CONNECTIONS. CRIMP TYPE CONNECTIONS ARE NOT ACCEPTABLE.
6. CONDUCTOR FASTENED SHALL BE OF NON-CORROSIVE METAL FASTENERS WITH AMPLE STRENGTH TO SUPPORT THE CONNECTORS.
7. LIGHTING PROTECTION INSTALLATION AND MATERIALS SHALL COMPLY WITH:
  - 7.1. LPI 175, LIGHTING PROTECTION INSTITUTE INSTALLATION CODE
  - 7.2. NFPA -780, LIGHTING PROTECTION SYSTEMS
  - 7.3. UL 96, LIGHTING PROTECTION COMPONENTS
  - 7.4. UL 96A, INSTALLATION REQUIREMENTS OF LIGHTING PROTECTION SYSTEMS.
  - 7.5. ALL APPLICABLE ASTM STANDARDS.

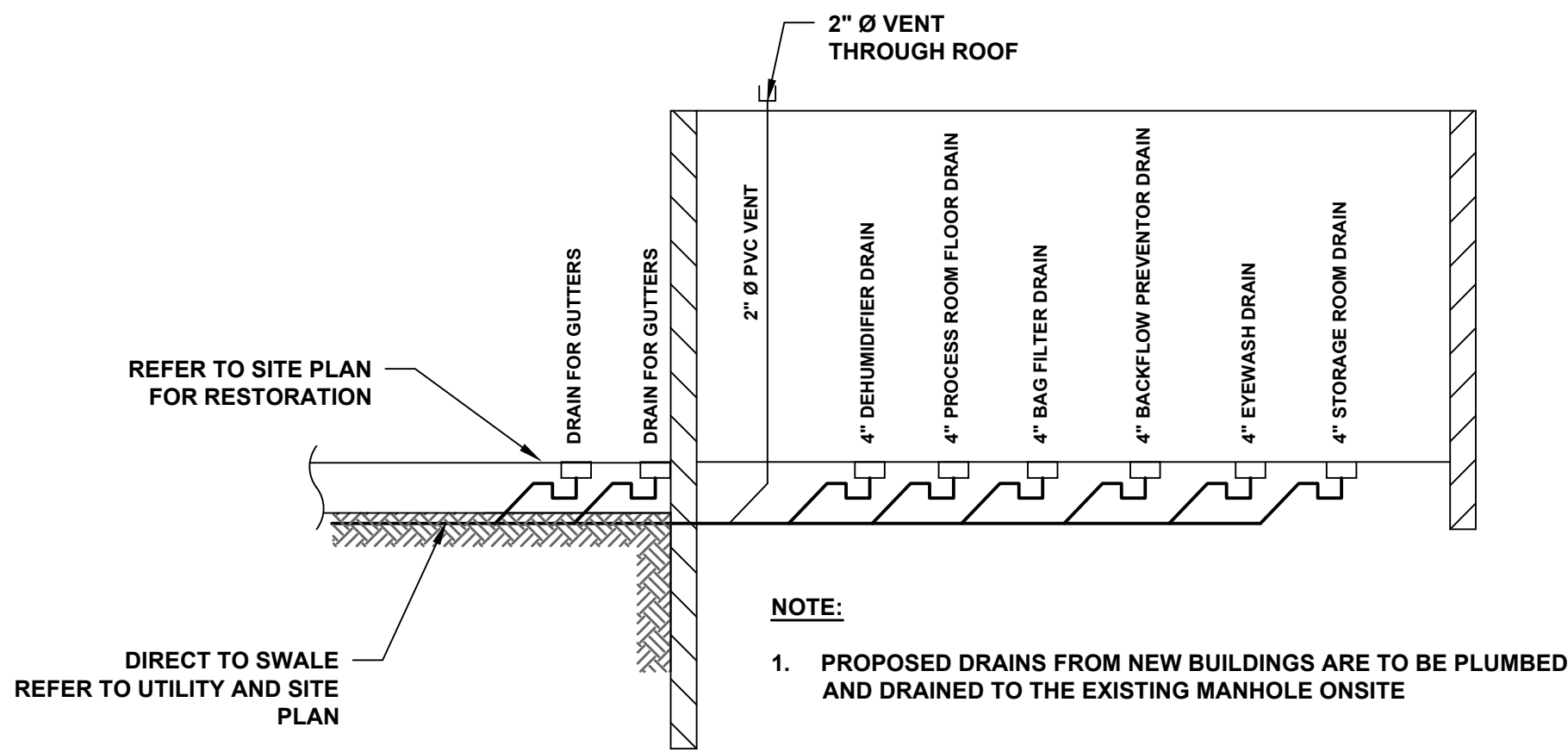


E:\SCE\Ramapo\12162.002\Sheets\Construction Set\12162.002 17 Plumbing Plan.dwg Thu, Mar 10, 2022 - 5:22pm wschurmann SUBURBAN CONSULTING ENGINEERS, INC.




**NOTE:**  
(XXX) INDICATES THE BOTTOM OF THE FOOTING ELEVATION.

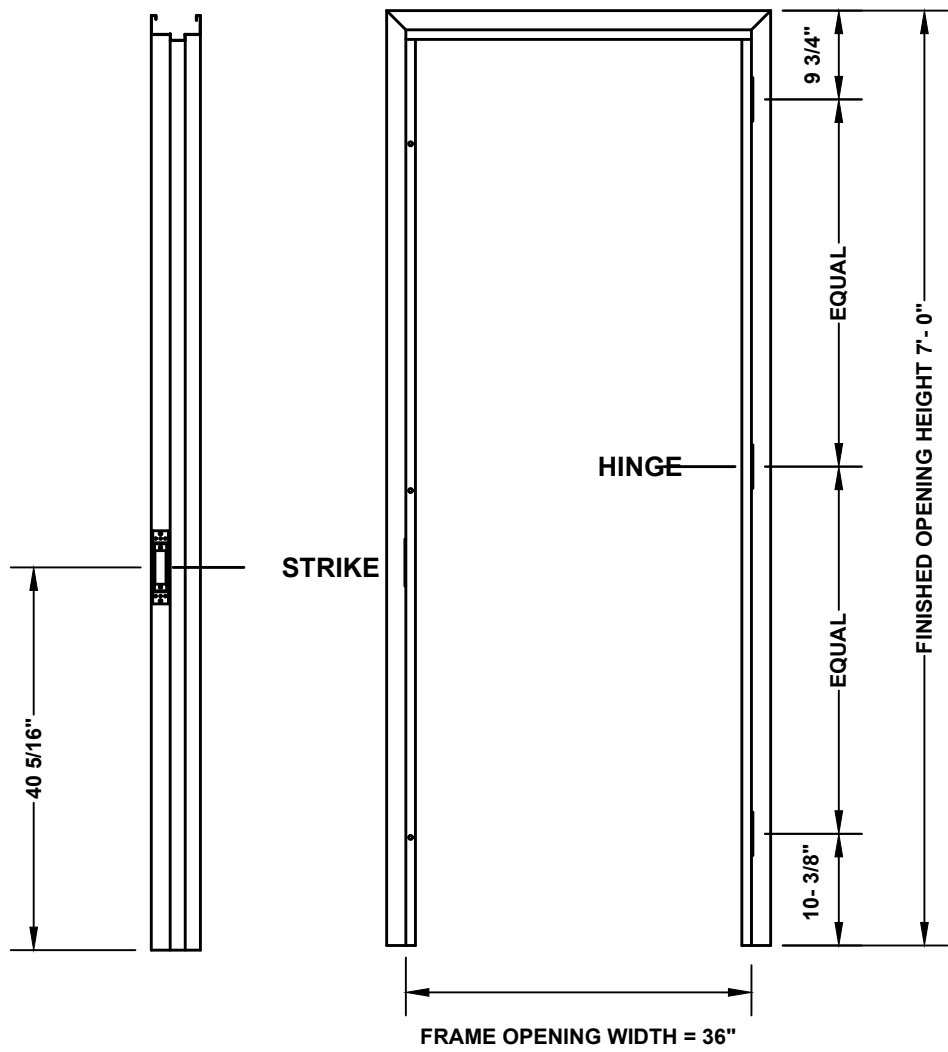
**GAC TREATMENT BUILDING FOUNDATION PLAN VIEW**  
**N.T.S.**



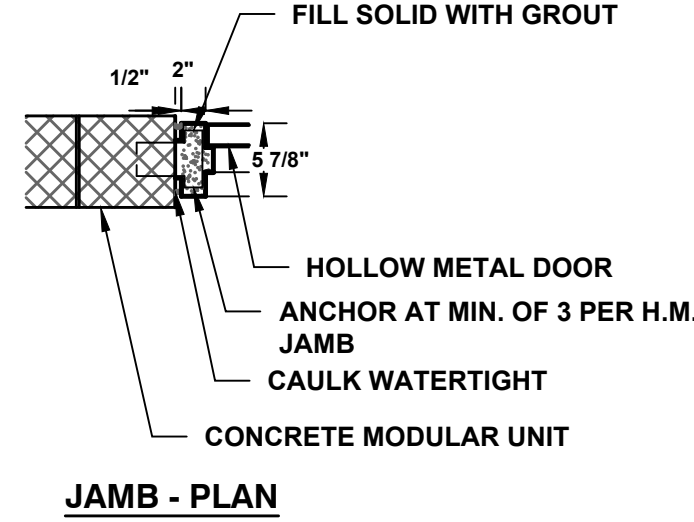
**FLOOR DRAIN RISER DIAGRAM**  
**N.T.S.**

CONSULTANT: <b>ANDREW S. HOLT, PE</b> NY PROFESSIONAL ENGINEER: 095020-1	<b>NOTICE</b> THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELEASED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.					DRAWN BY: JAW 03/11/2022	 <div>SUBURBAN ENGINEERING</div> <div>- Civil Engineers - - Landscape Architects - - Land Surveyors -</div> <div>7 Cokesbury Caldon Road, Lebanon, NJ, 08833 - 973.398.1776</div> <div>EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT</div>	<b>SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE</b> <b>POMONA WELL NO. 38</b> VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK	PROJECT NUMBER: SCE-12162.002
	© COPYRIGHT 2022 SUBURBAN ENGINEERING				CHECKED BY: WAS 03/11/2022	FOR CLIENT: <b>SUEZ WATER NEW YORK INC.</b>		SCALE: AS NOTED	
	DATE: 03/11/2022							PLUMBING PLAN	SHEET 16 OF 21
									REVISION -

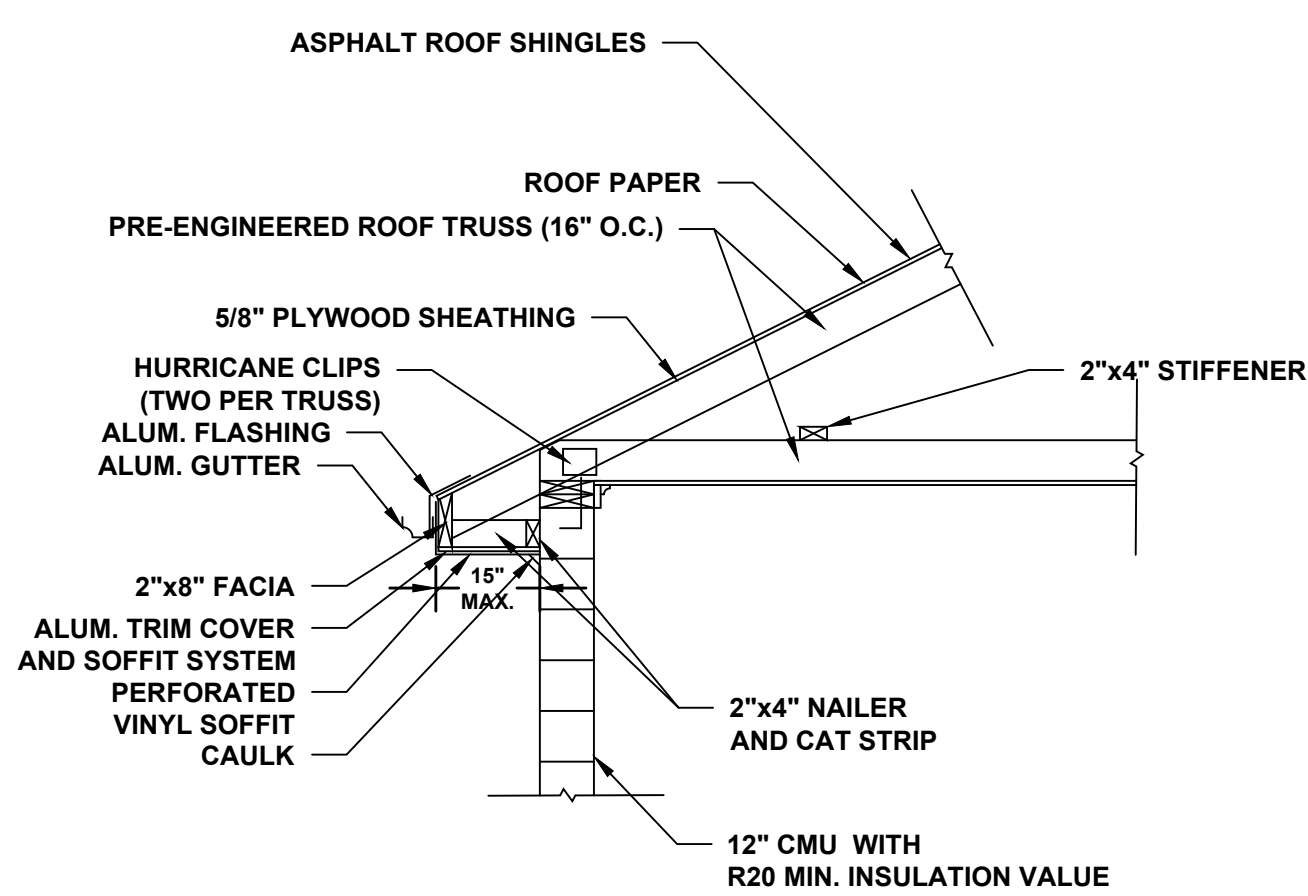




**MASONRY WALL  
DOOR INSTALLATION DETAIL**  
N.T.S.

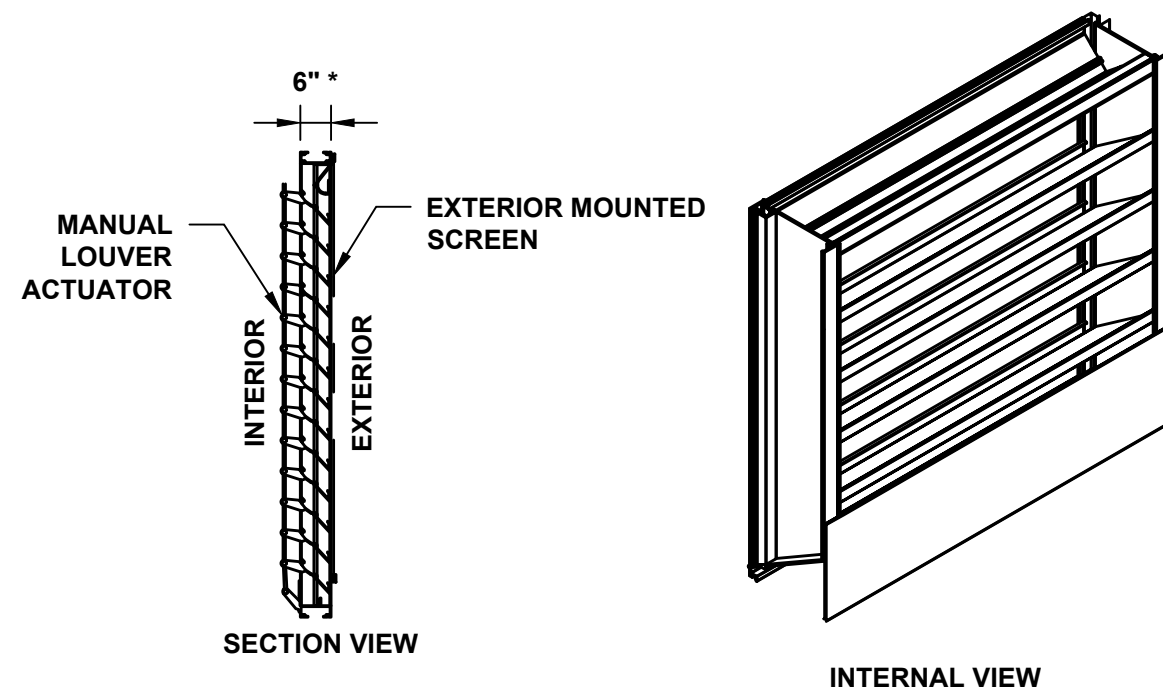


- NOTES:**
1. HINGES SHALL BE 5 KUNCLE BALL BEARING HINGES, STAINLESS STEEL IN A SATIN FINISH, MANUFACTURED BY STANLEY OR APPROVED EQUAL.
  2. EXIT DEVICE SHALL BE A YALE 6000 SERIES, MODEL 6100F SERIES (WIDE STYLE) WITH A 10 YEAR WARRANTY. DEVICE SHALL HAVE A SQUARE BOLT OPTION, SATIN STAINLESS STEEL.
  3. EXIT DEVICE SHALL BE YALE SERIES 620F/+50F OR APPROVED EQUAL WITH LOCKABLE DEVICES.
  4. DOOR CLOSER SHALL BE NORTON 8000 SERIES OR APPROVED EQUAL.
  5. DOOR SHALL HAVE DUTY STEEL KICK PLATE OR APPROVED EQUAL.

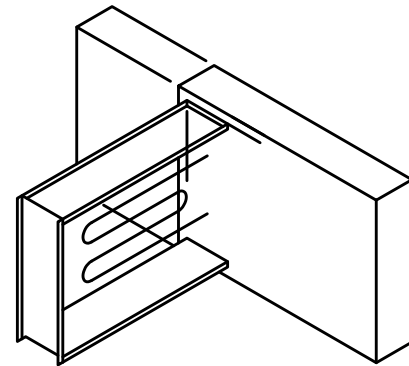


- NOTES:**
1. LUMBER SHALL BE CONSTRUCTION GRADE DOUGLAS FIR No. 2 OR BETTER.
  2. ROOF PANEL CLIPS, TRIM, FASCIAS, CLOSURES, SEALANTS AND OTHER ACCESSORIES SHALL BE CONSISTENT WITH ASPHALT SHINGLE ROOF MANUFACTURER RECOMMENDATIONS.
  3. PROVIDE 20" X 30" ACCESS HATCH ABOVE AIR RELEASE VALVE LOCATIONS ON THE TWO (2) PRESSURE VESSELS, FOR ADEQUATE MAINTENANCE AND OPERATIONS.
  4. REFER TO PRE-ENGINEERED ROOF TRUSS DETAIL ON STRUCTURAL PLANS.

**TYPICAL ROOF DETAIL**  
N.T.S.

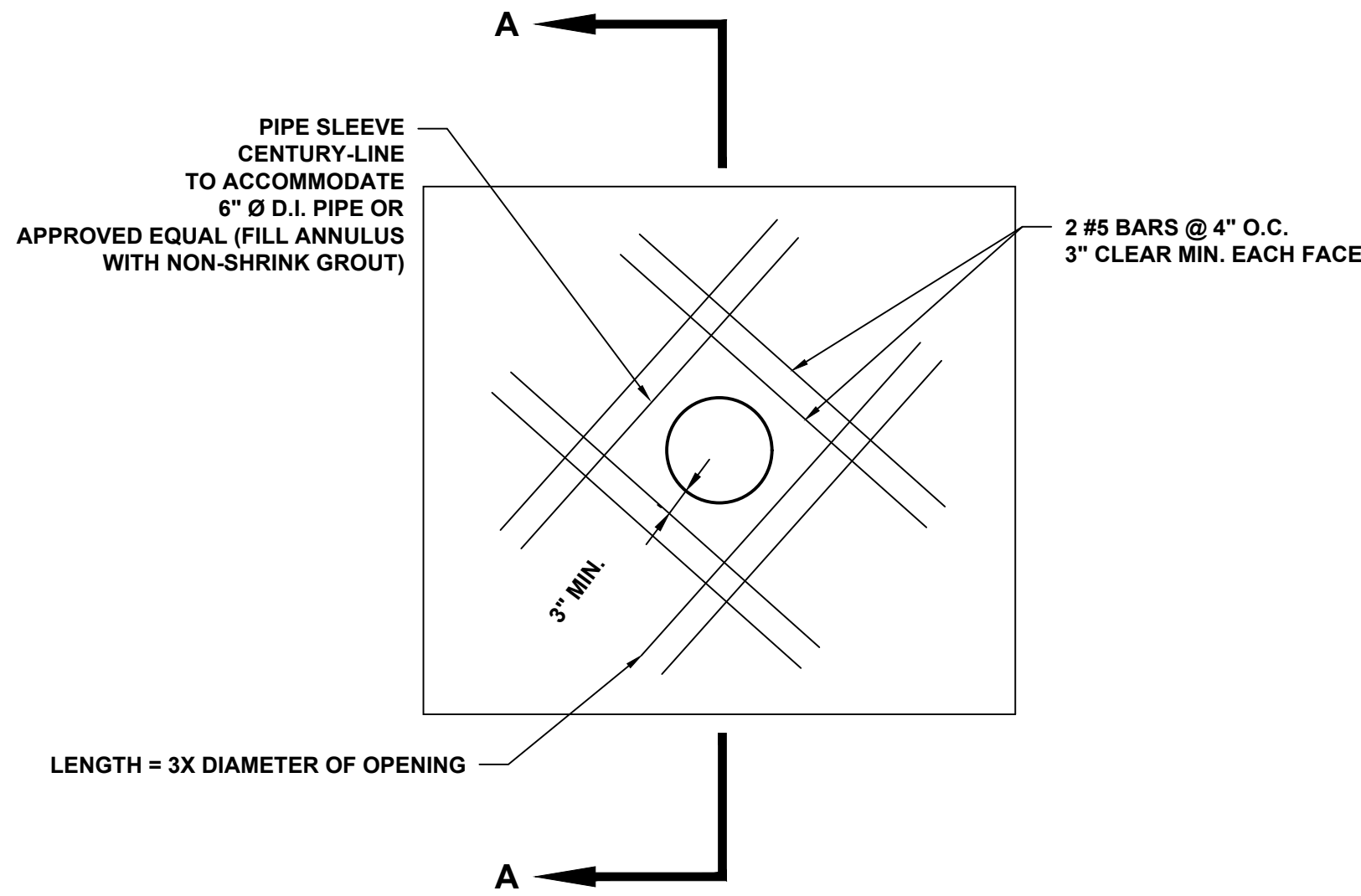


**MANUAL OPERATED LOUVER DETAIL**  
N.T.S.

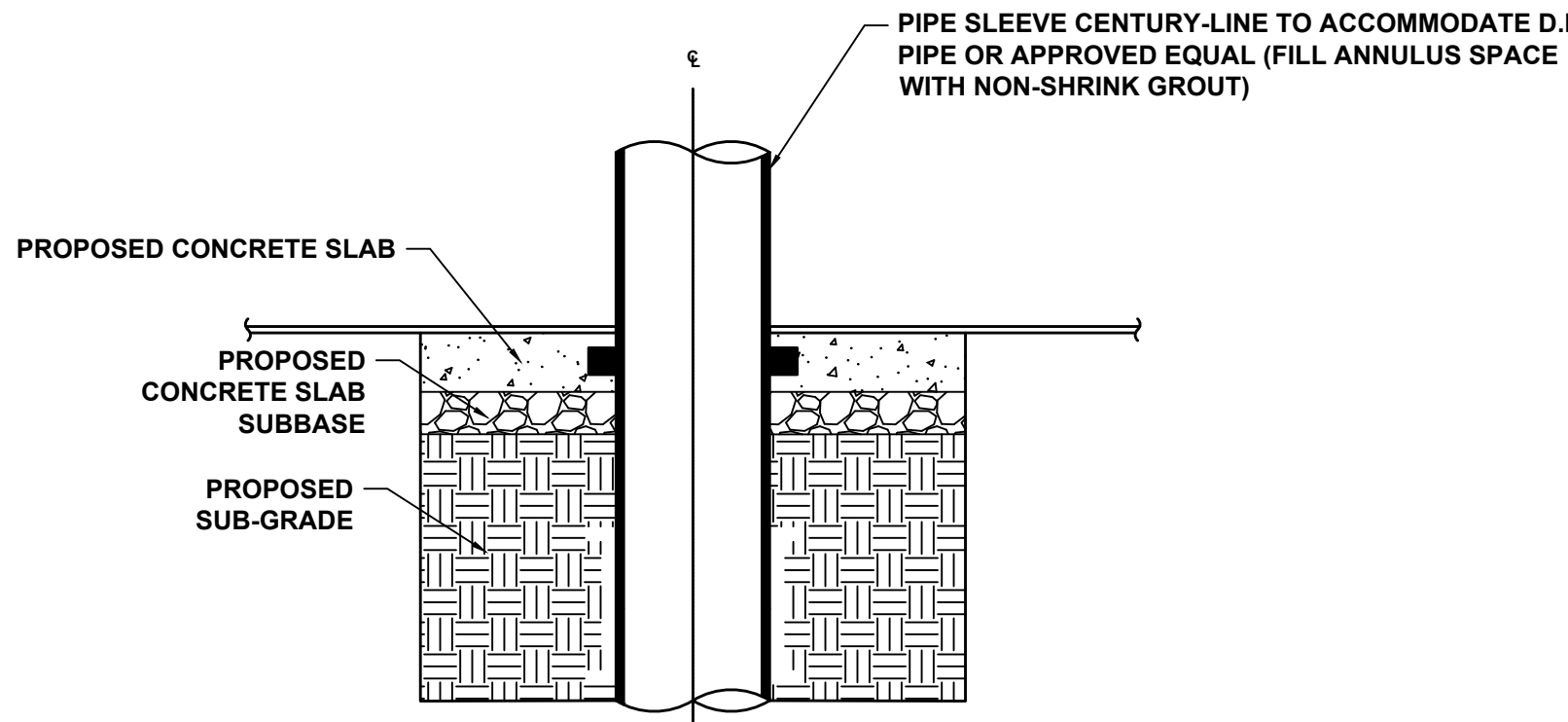


- NOTES:**
1. HEATERS SHALL BE 480V, 3PH, DUCT HEATERS TO PROVIDE HEAT AND VENTILATION FOR THE SITE.
  2. HEATERS SIZES SHALL BE 12"x12" FOR THE CHEMICAL FEED ROOM AND STORAGE ROOM ,AND 18"x18" FOR THE MAIN ROOM.
  3. DUCT HEATERS SHALL BE CONNECTED TO DUCTS SHALL BE 18"x18" AND SUPPORTED BY STEEL STRAPS, AS DIRECTED BY THE MANUFACTURER.

**ELECTRIC DUCT HEATER DETAIL**  
N.T.S.

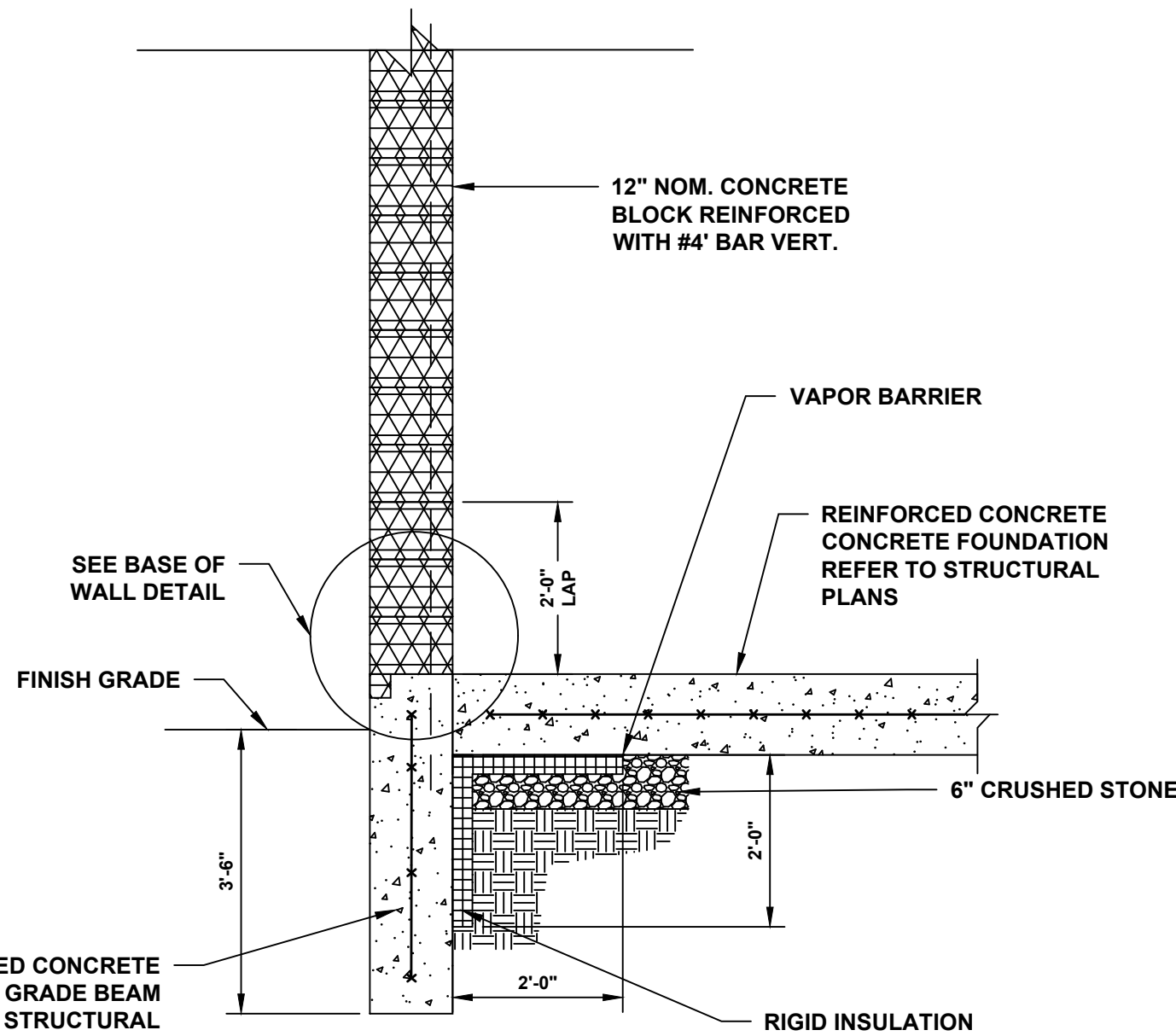


**PLAN VIEW**

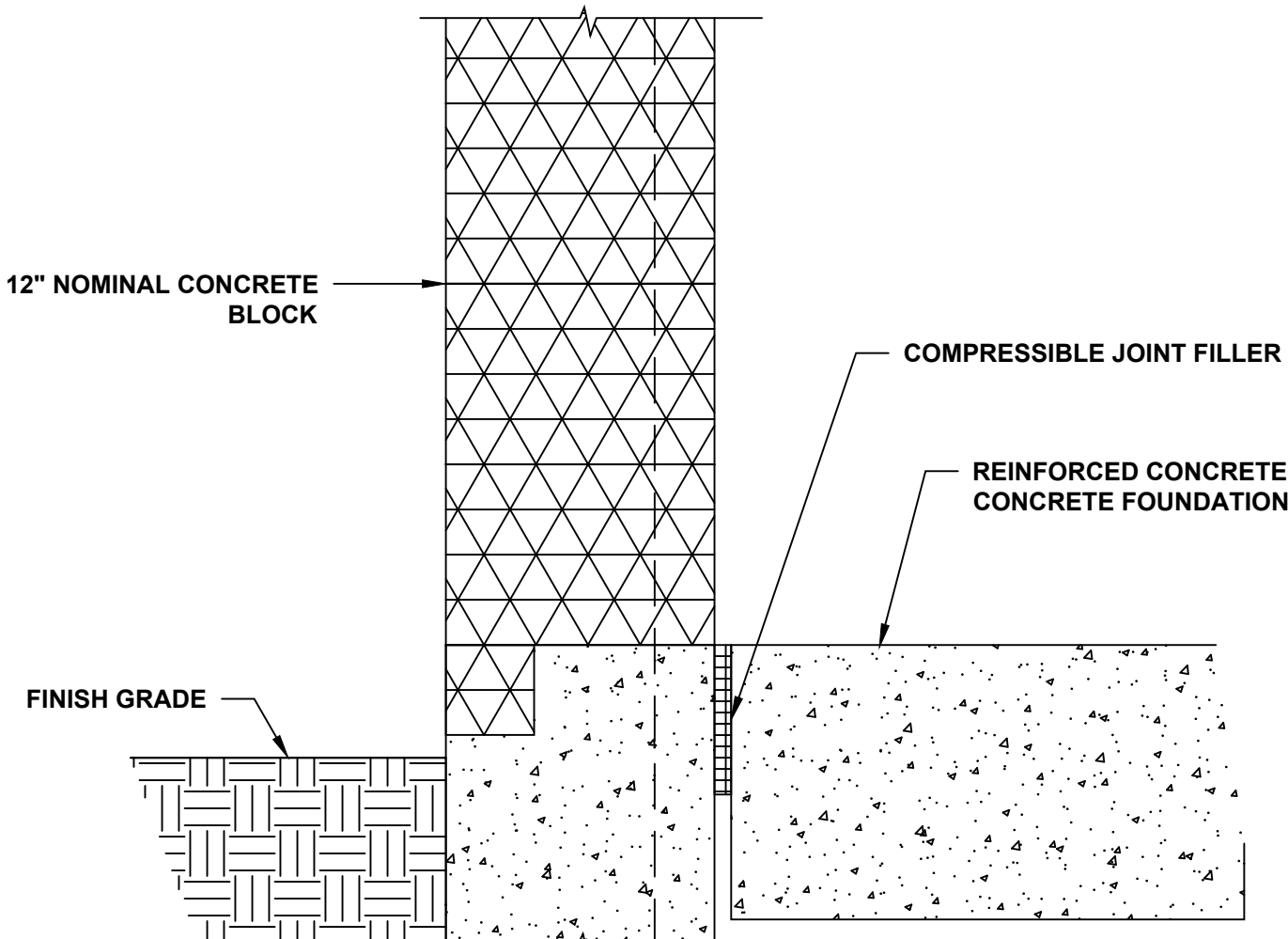


**SECTION A-A**

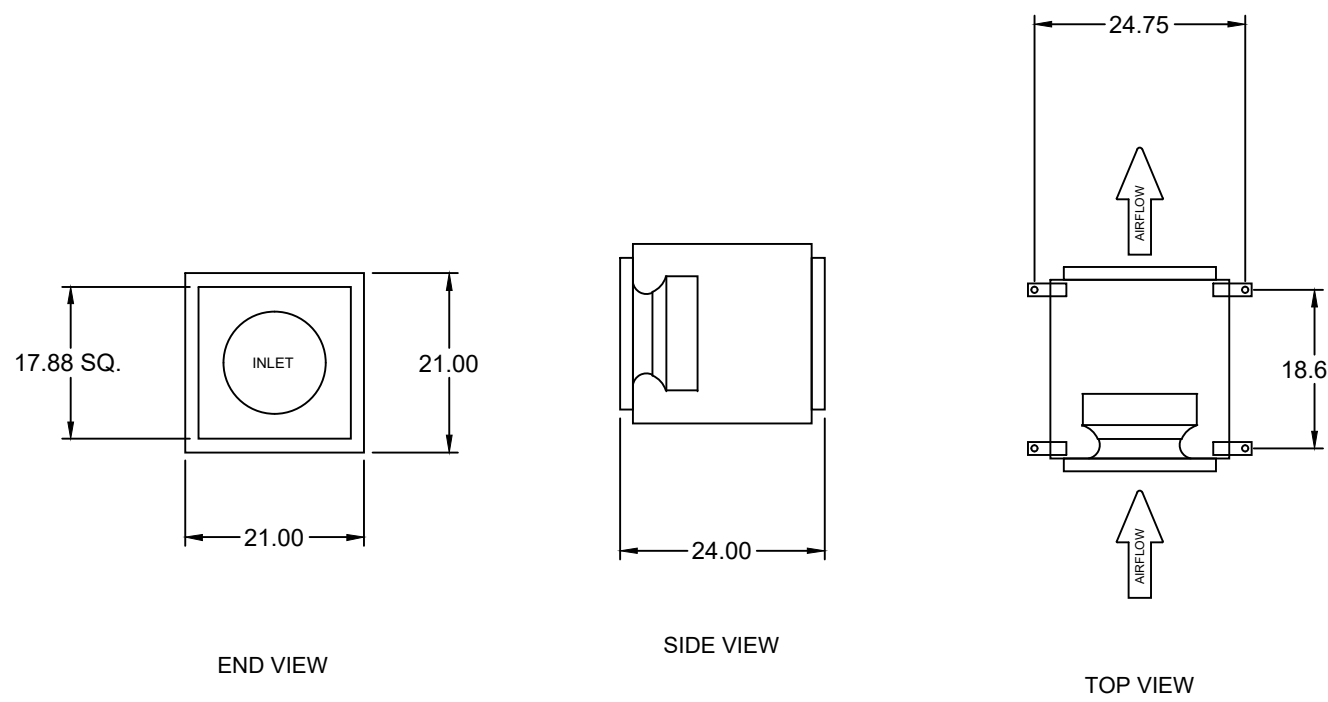
**FLOOR PENETRATION DETAIL**  
N.T.S.



**TYPICAL WALL SECTION DETAIL**  
N.T.S.

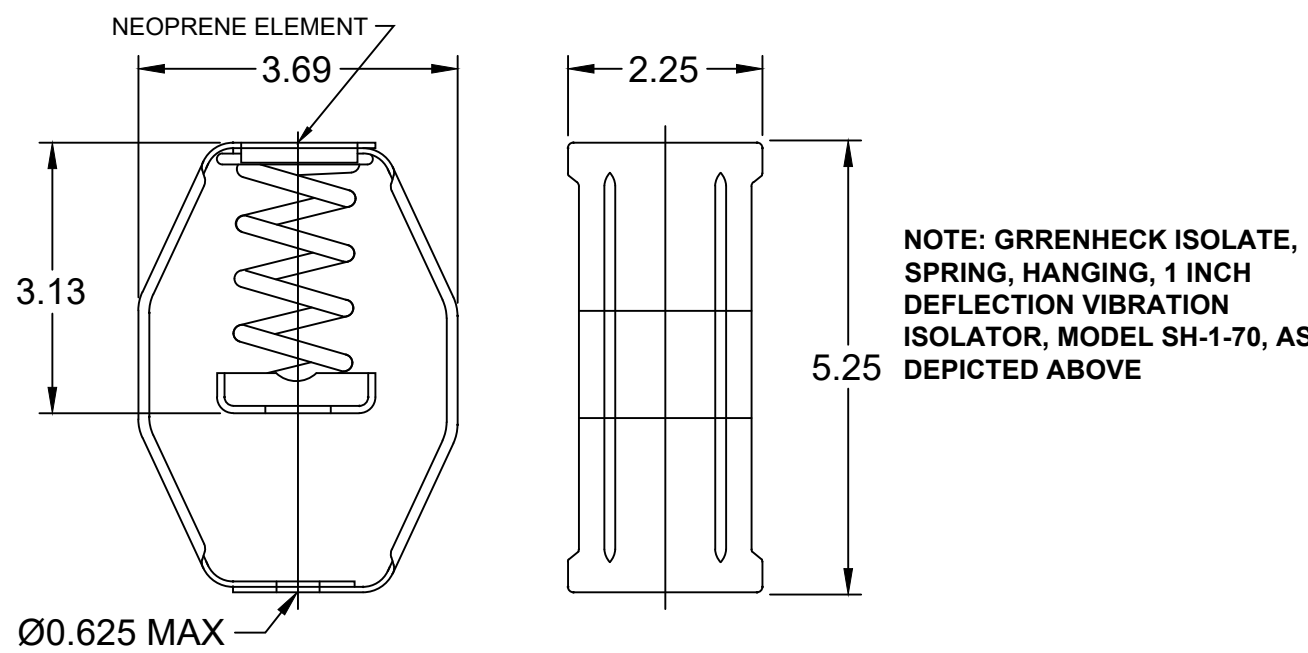


**BASE OF WALL SECTION DETAIL**  
N.T.S.



NOTE: GRRENHECK DIRECT DRIVE CENTRIFUGAL INLINE FAN, MODEL SQ-130-VG AS DEPICTED ABOVE

**INLINE FAN DETAIL**  
N.T.S.



**VIBRATION ISOLATORFOR DUCT  
DETAIL**  
N.T.S.

CONSULTANT:  
**ANDREW S. HOLT, PE**  
NY PROFESSIONAL ENGINEER: 095020-1

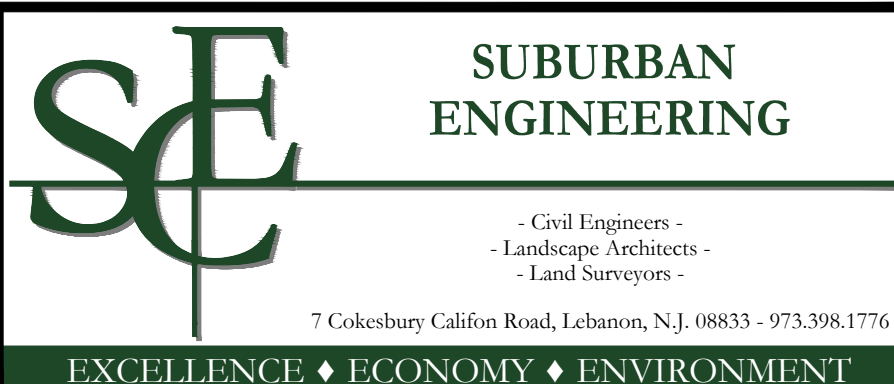
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JAW  
03/11/2022  
CHECKED BY:  
WAS  
03/11/2022  
CHECKED BY:



**SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE  
POMONA WELL NO. 38**

VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

**CONSTRUCTION DETAILS I**

PROJECT NUMBER:  
SCE-12162.002

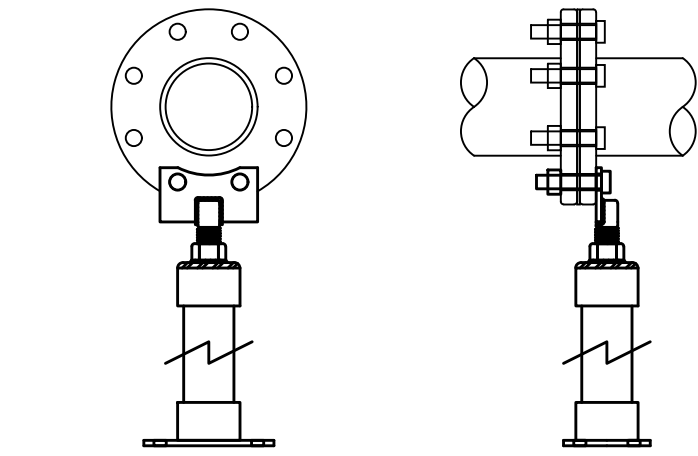
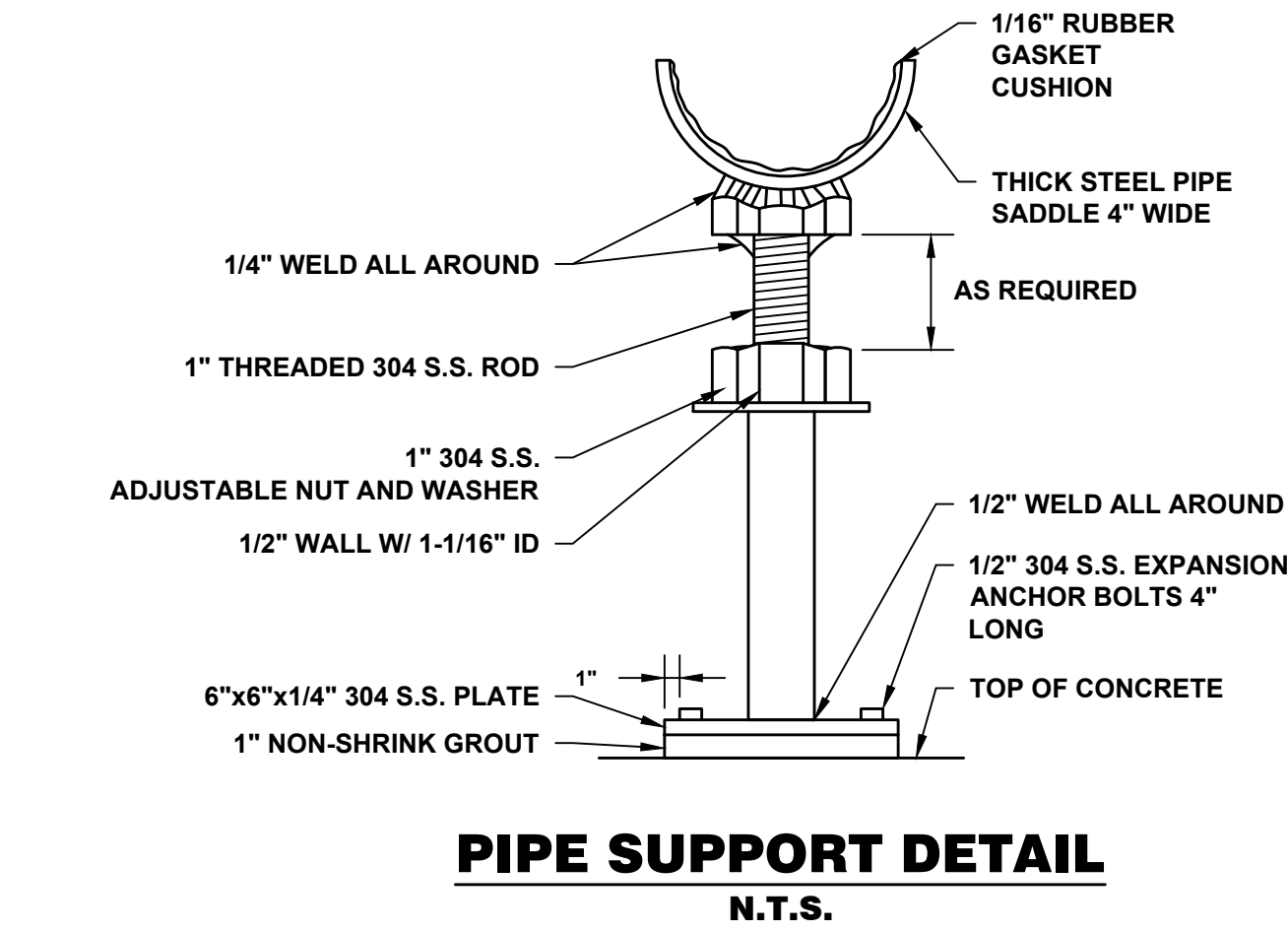
SCALE:  
N.T.S.

SHEET **17** OF **21**

REVISION -

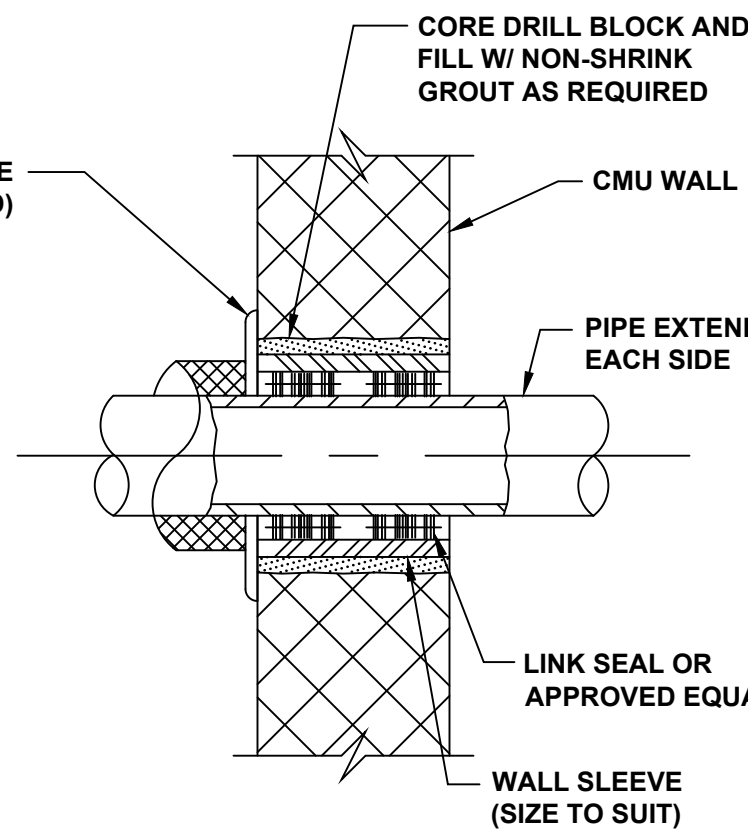


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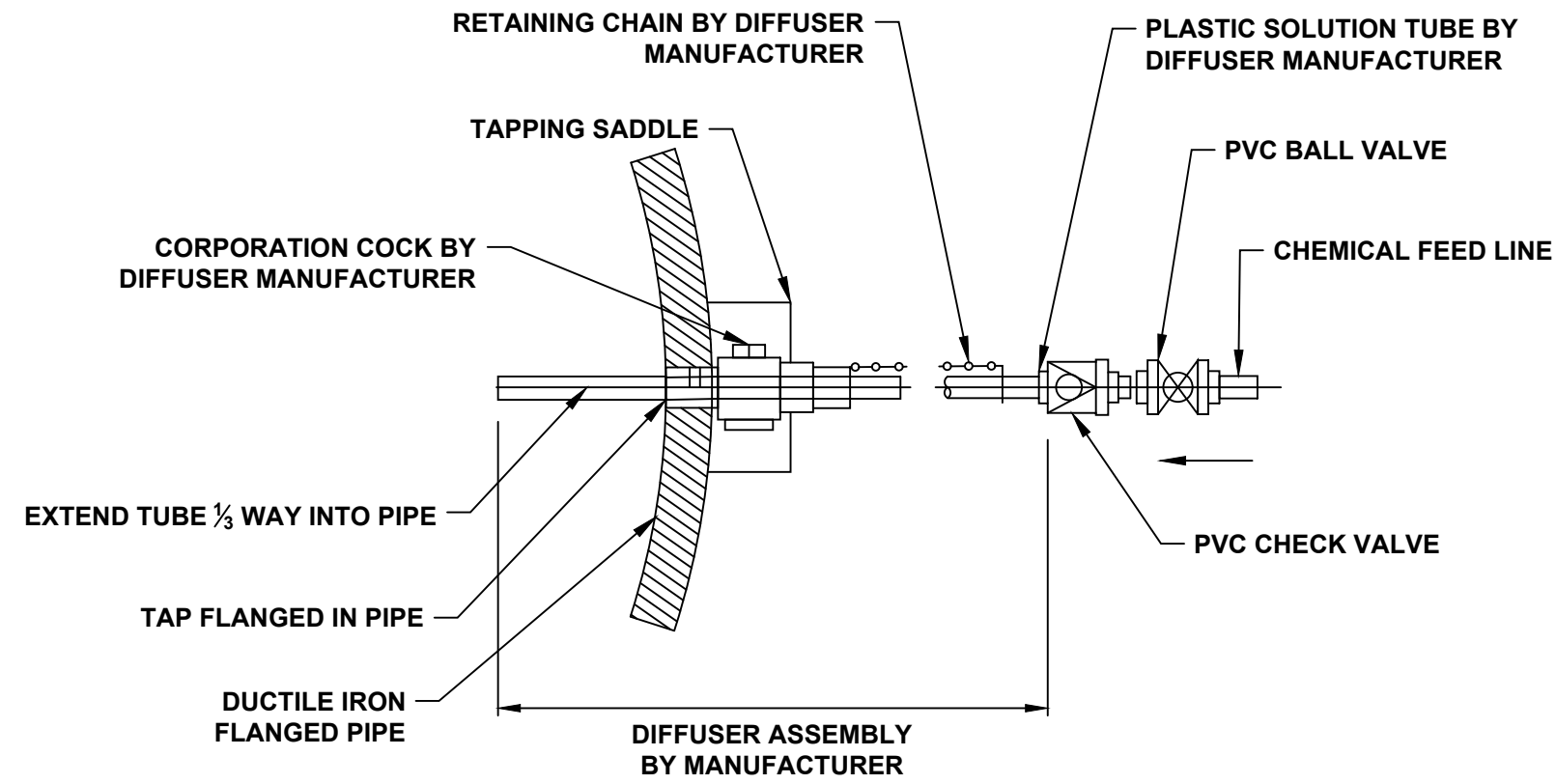


FLANGE SUPPORTS ARE TO BE FACTORY FABRICATED UNITS. NO CONTRACTOR FABRICATED SUPPORTS ARE ALLOWED. MATERIAL TO BE A36 STEEL WITH A GALVANIZED FINISH UNLESS INDICATED OTHERWISE IN SPECIFICATIONS. SUPPORT DESIGN SHALL HAVE BEEN TESTED TO WITHSTAND A MINIMUM OF 10,000 POUNDS COMPRESSIVE LOAD. SUPPORTS SHALL BE STANDON MODEL S89 AS MANUFACTURED BY -MATERIAL RESOURCES INC., FOREST GROVE, OR 503-533-5256 P. 503-533-5501 F

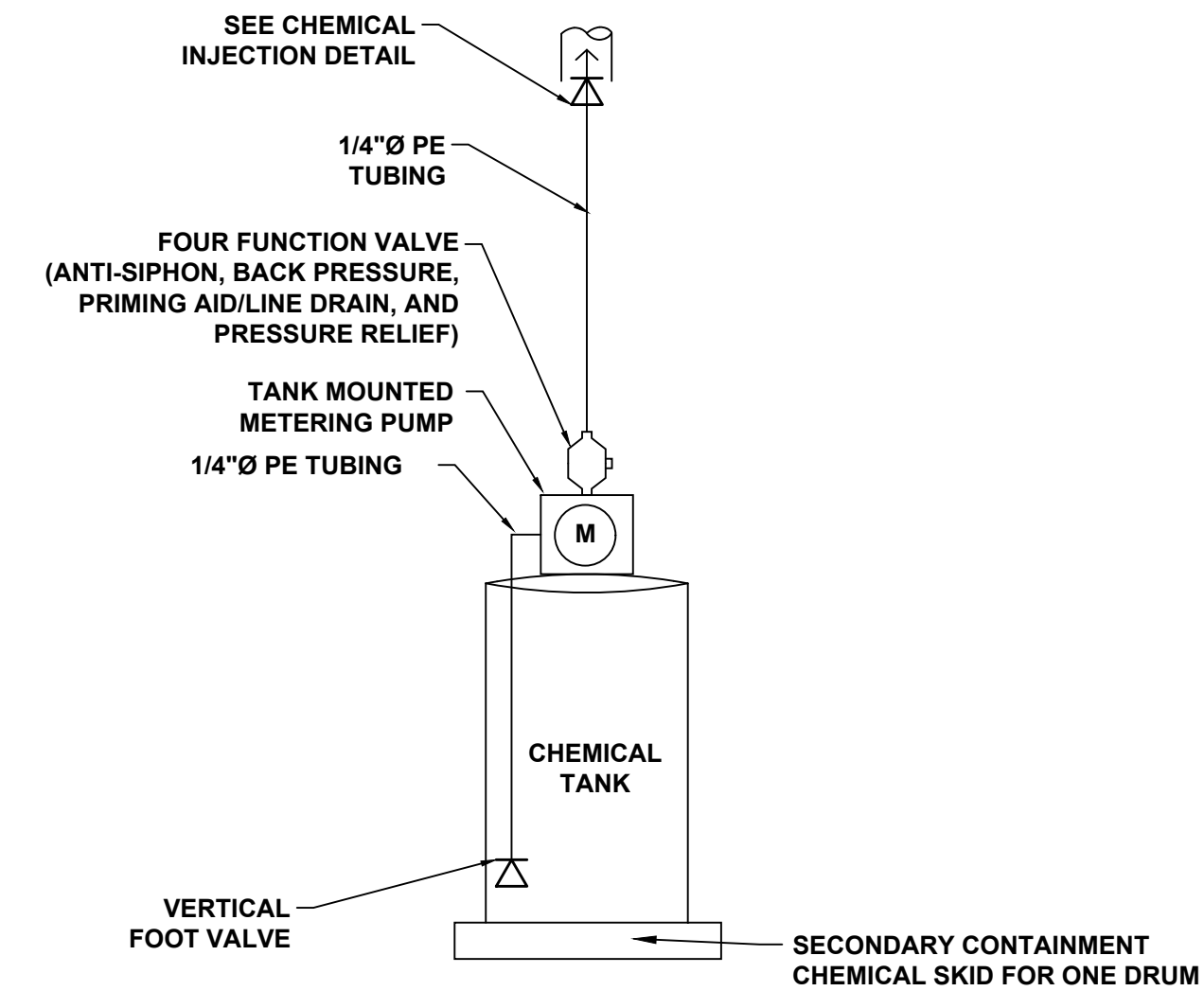
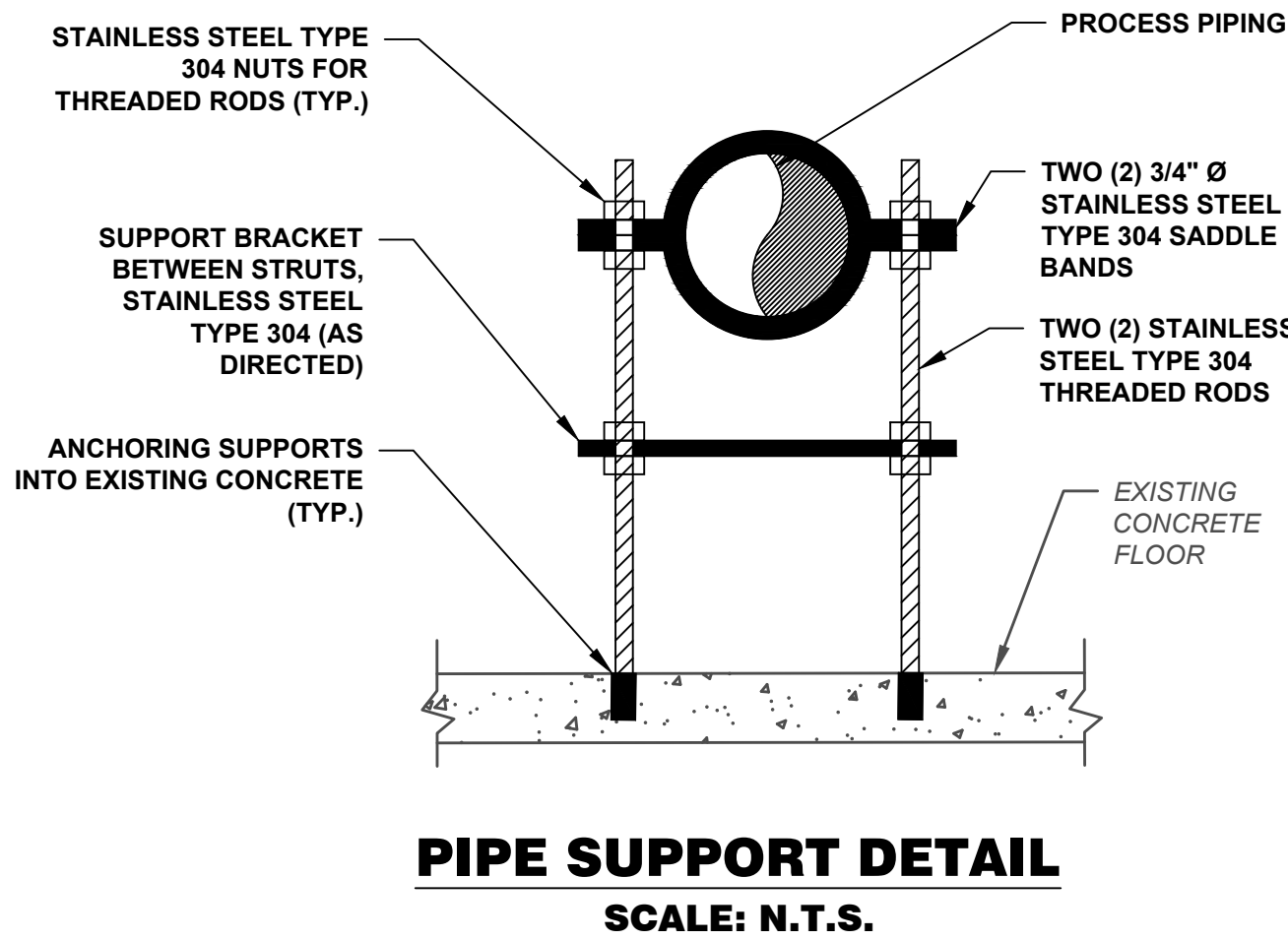
FLANGE SUPPORT DETAIL  
N.T.S.



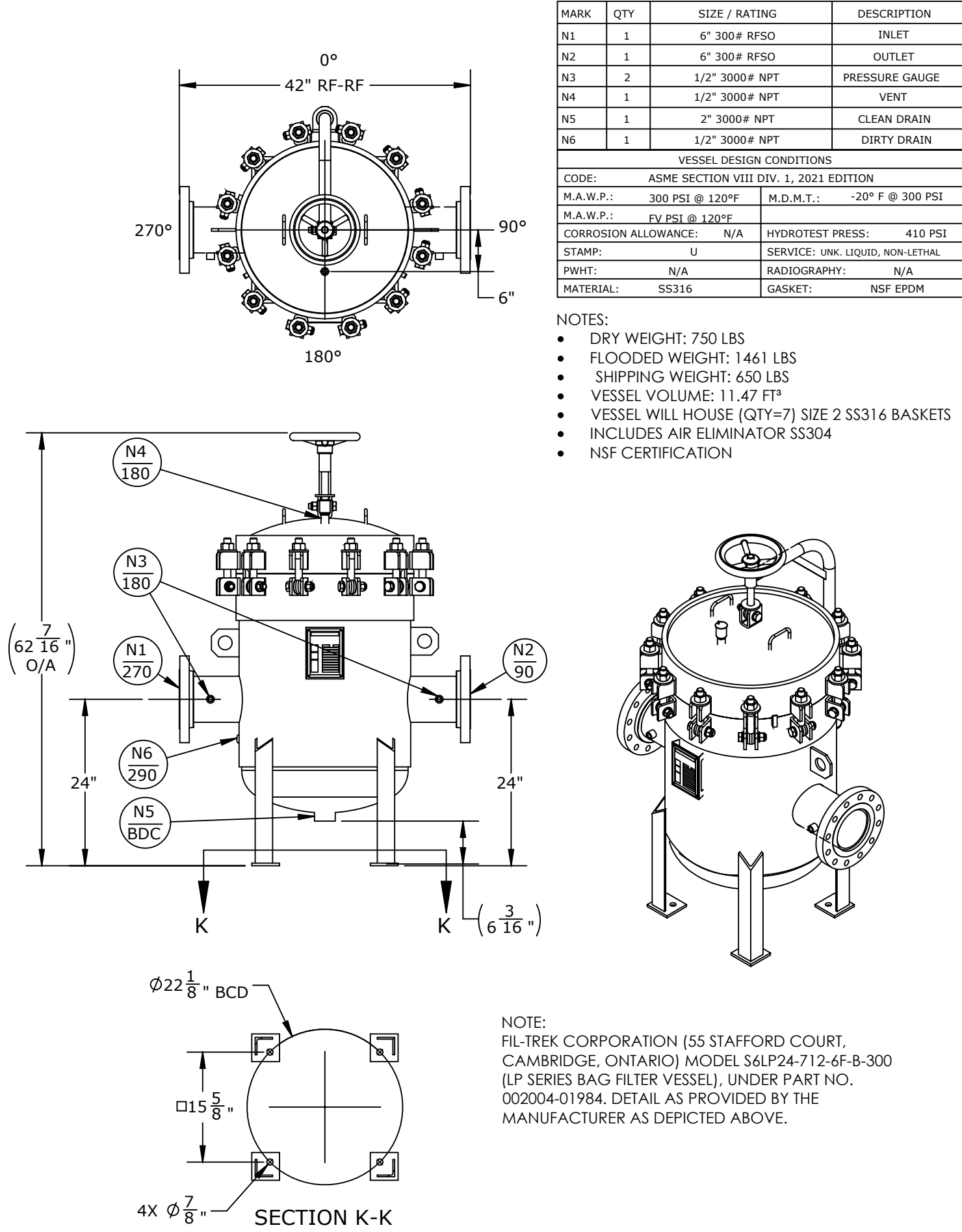
WALL PENETRATION DETAIL  
SCALE = N.T.S.



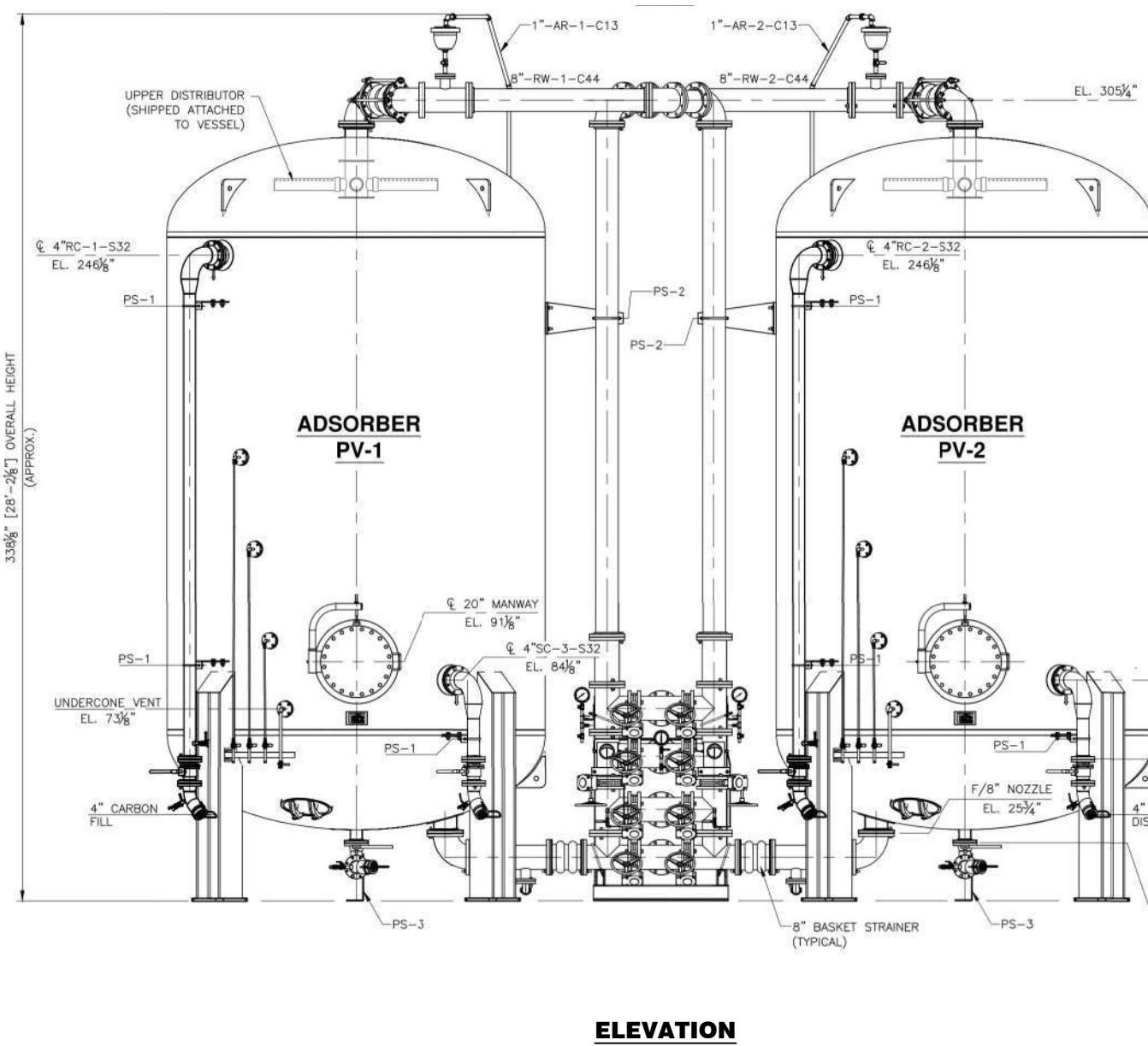
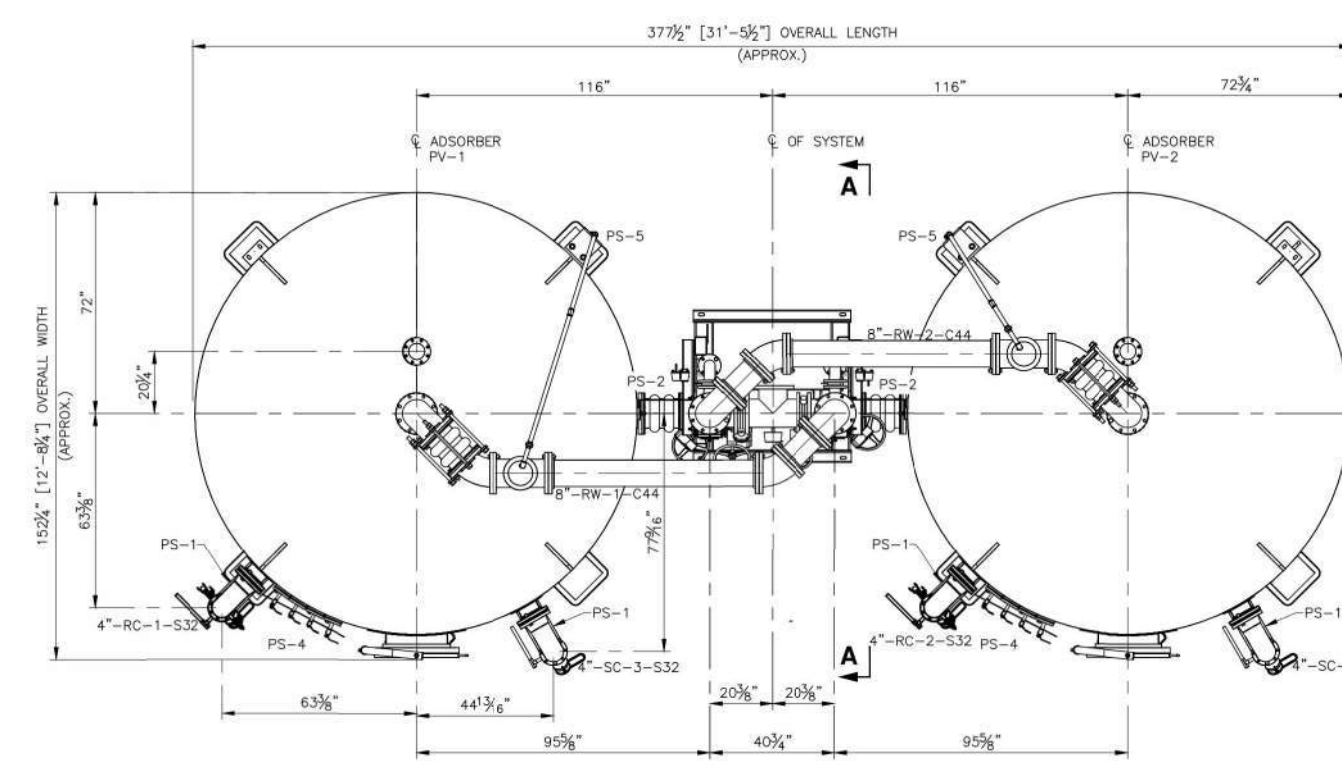
DIP CHEMICAL  
INJECTION DETAIL  
SCALE = N.T.S.



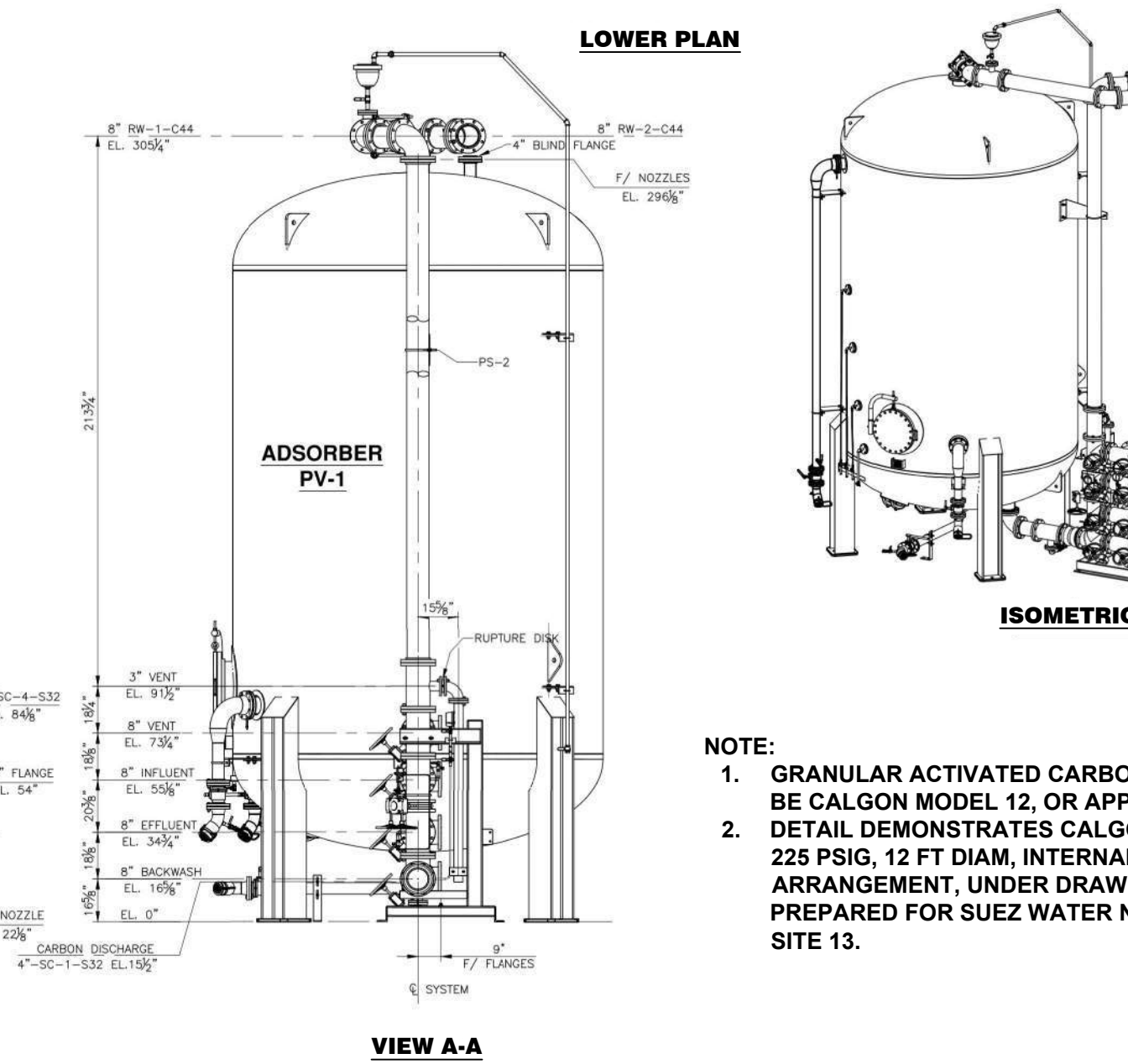
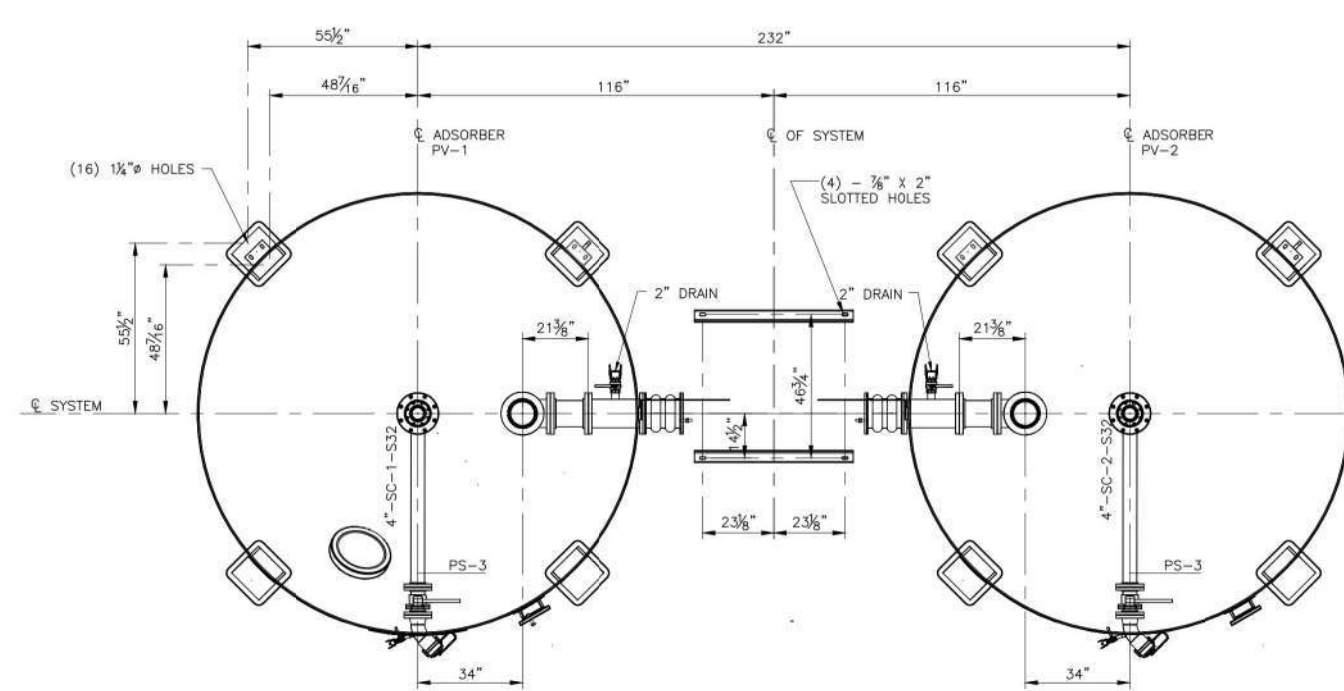
CHEMICAL SUPPLY/FEED SYSTEM SCHEMATIC  
SCALE = N.T.S.



PROPOSED FILTREK BAG FILTER  
SCALE = N.T.S.



GRANULAR ACTIVATED CARBON FILTRATION VESSELS DETAIL  
SCALE = N.T.S.



NOTE:  
1. GRANULAR ACTIVATED CARBON (GAC) VESSELS SHALL BE CALGON MODEL 12, OR APPROVED EQUAL.  
2. DETAIL DEMONSTRATES CALGON MODEL 12-40, PV-1, 225 PSIG, 12 FT DIAM, INTERNAL CONE VESSEL ARRANGEMENT, UNDER DRAWING NO. 91210504, PREPARED FOR SUEZ WATER NEW YORK, POMONA 38 - SITE 13.

CONSULTANT:  
**ANDREW S. HOLT, PE**  
NY PROFESSIONAL ENGINEER: 095020-1

DATE: 03/11/2022

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03/11/2022  
CHECKED BY:  
WAS  
03/11/2022  
CHECKED BY:



**SUBURBAN  
ENGINEERING**

- Civil Engineers -  
- Landscape Architects -  
- Land Surveyors -

7 Cokesbury Calicut Road, Lebanon, N.J. 08833 - 973.398.1776

EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

**SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE  
POMONA WELL NO. 38**  
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

**CONSTRUCTION DETAILS II**

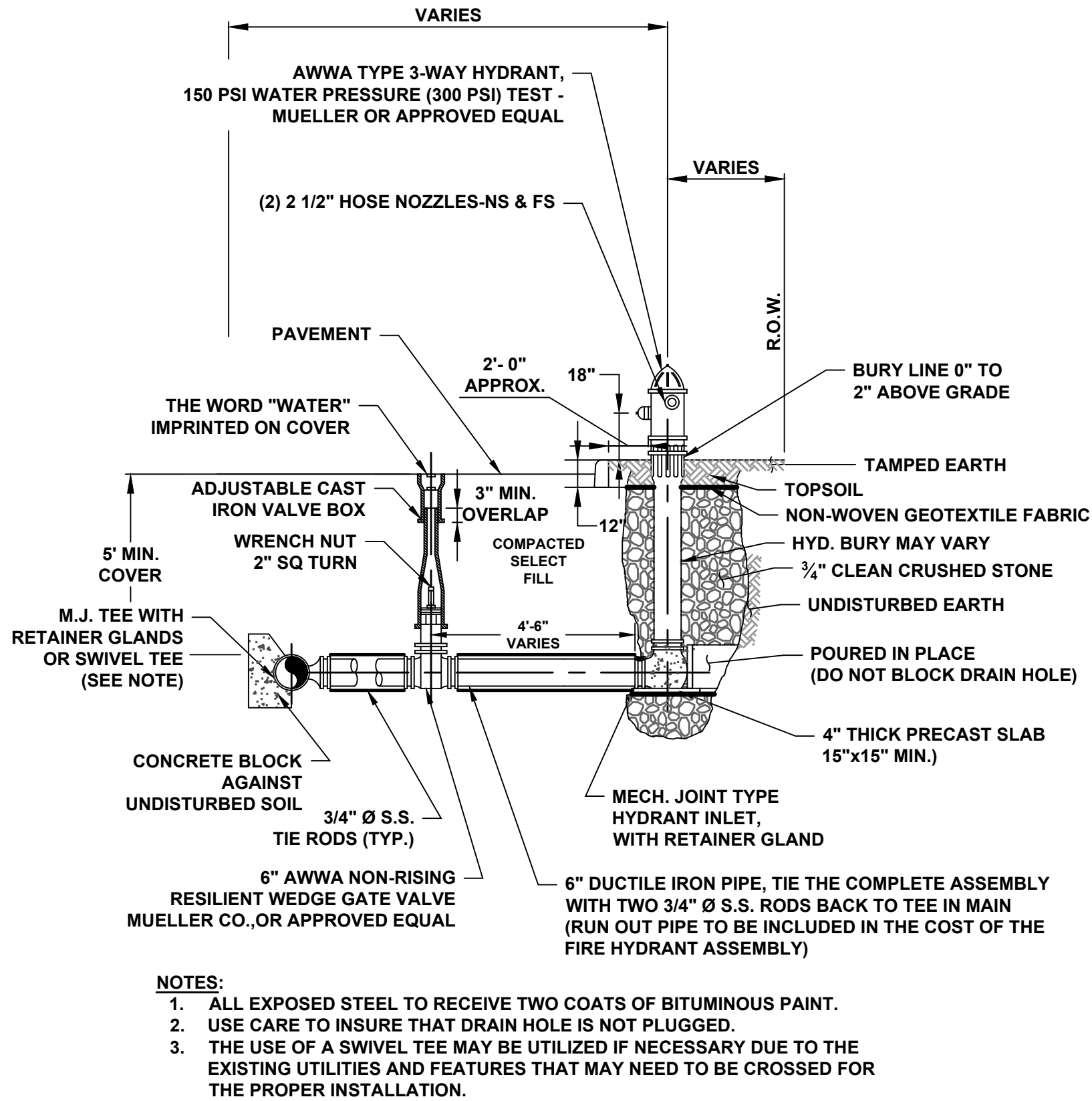
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SCE-12162.002

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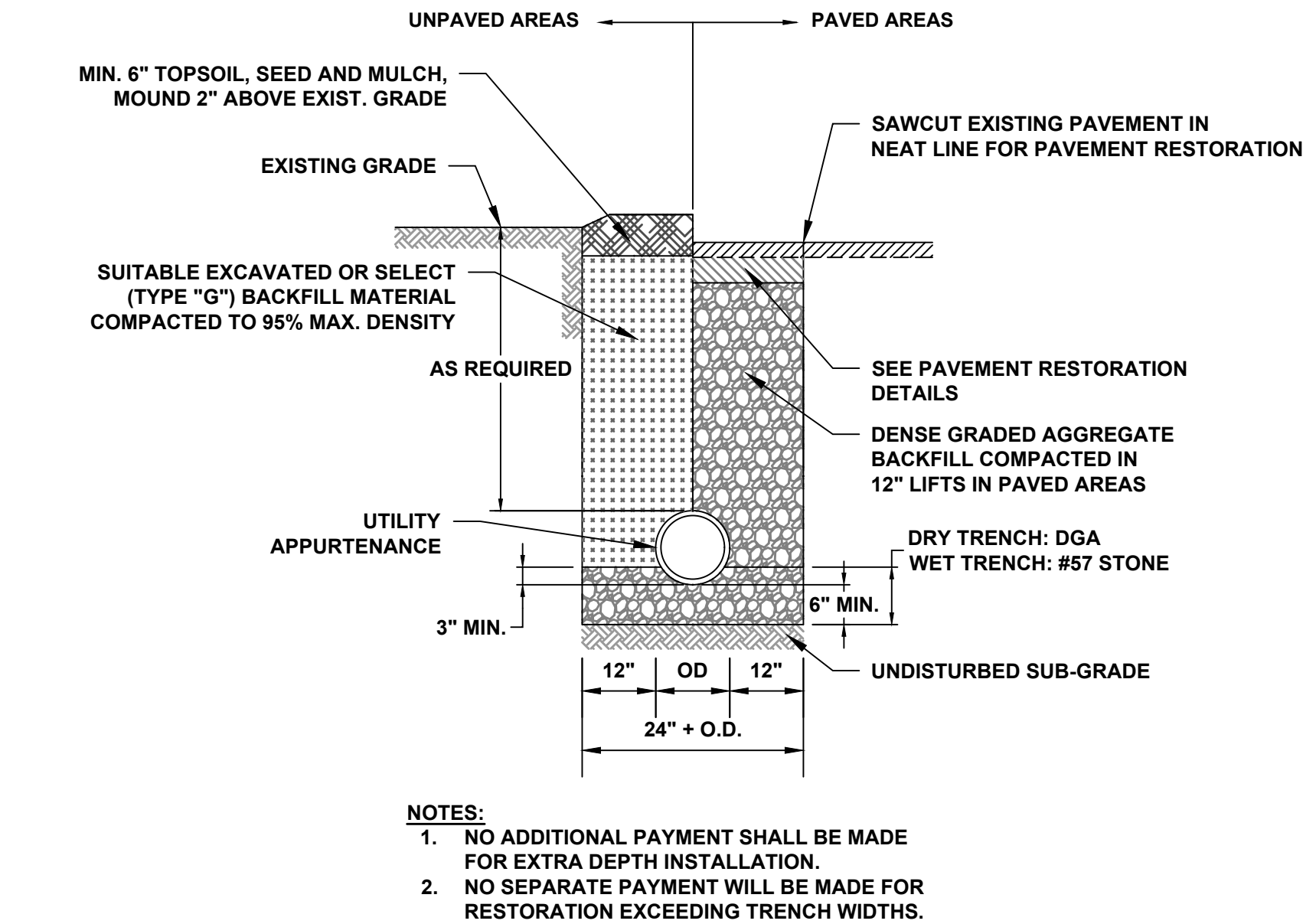
SHEET **18** OF **21**

REVISION -

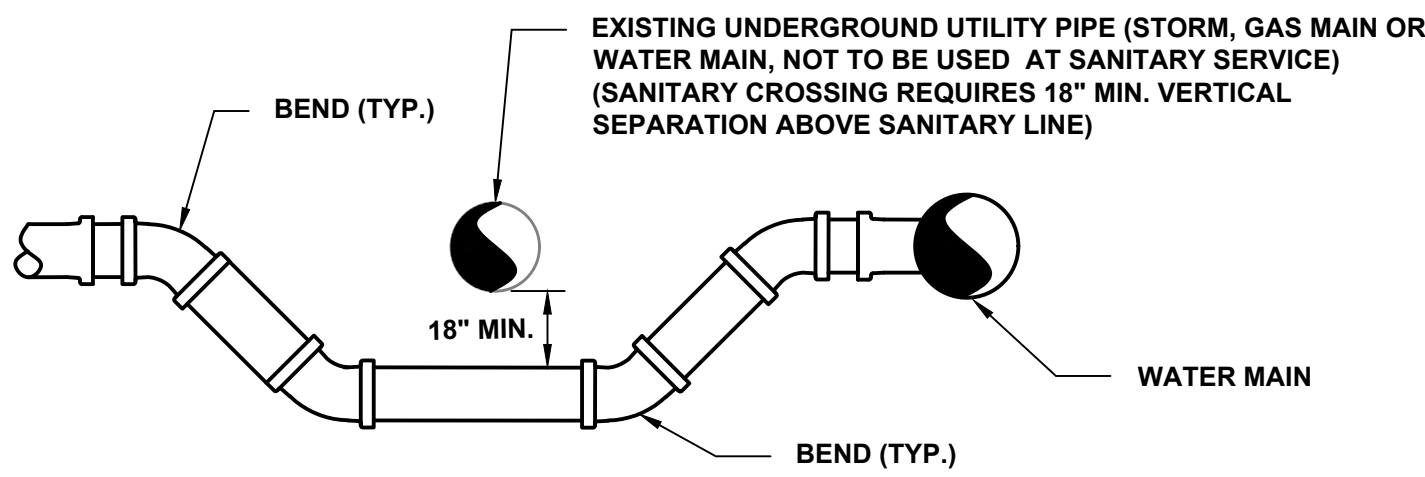




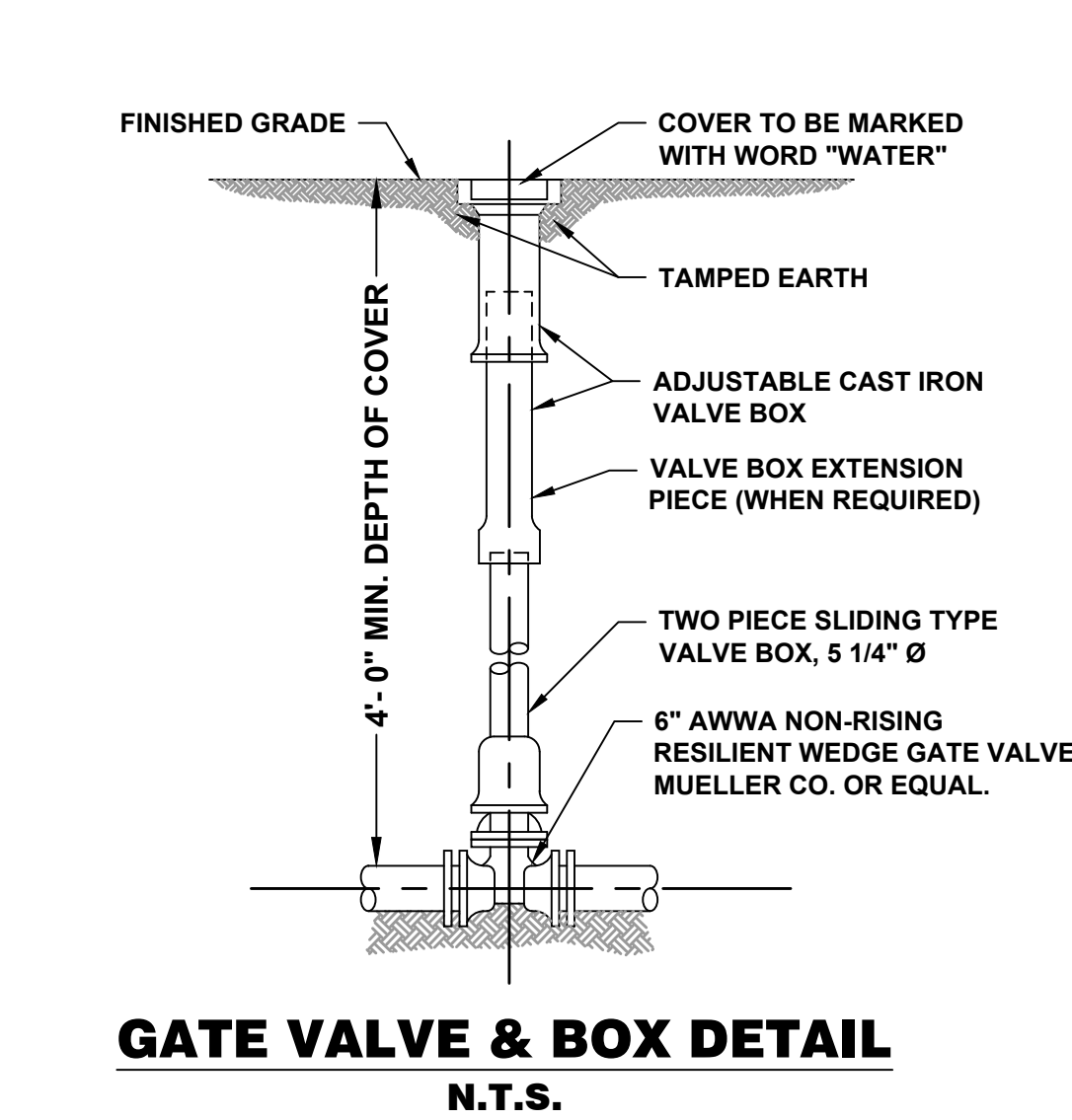
**TYPICAL HYDRANT INSTALLATION DETAIL**  
N.T.S.



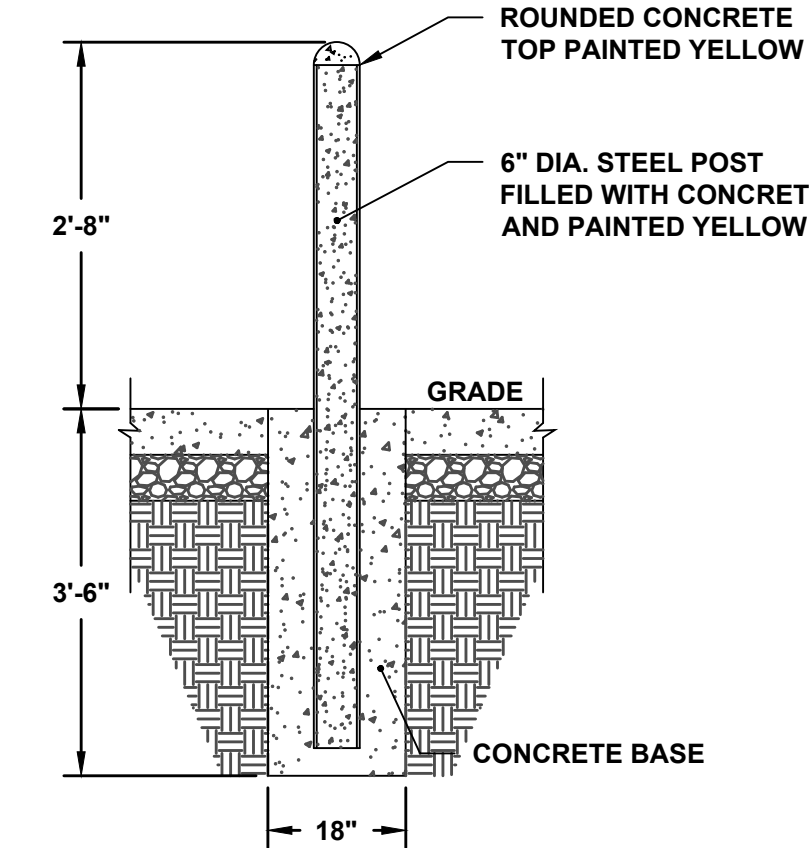
**TYPICAL TRENCH DETAIL**  
N.T.S.



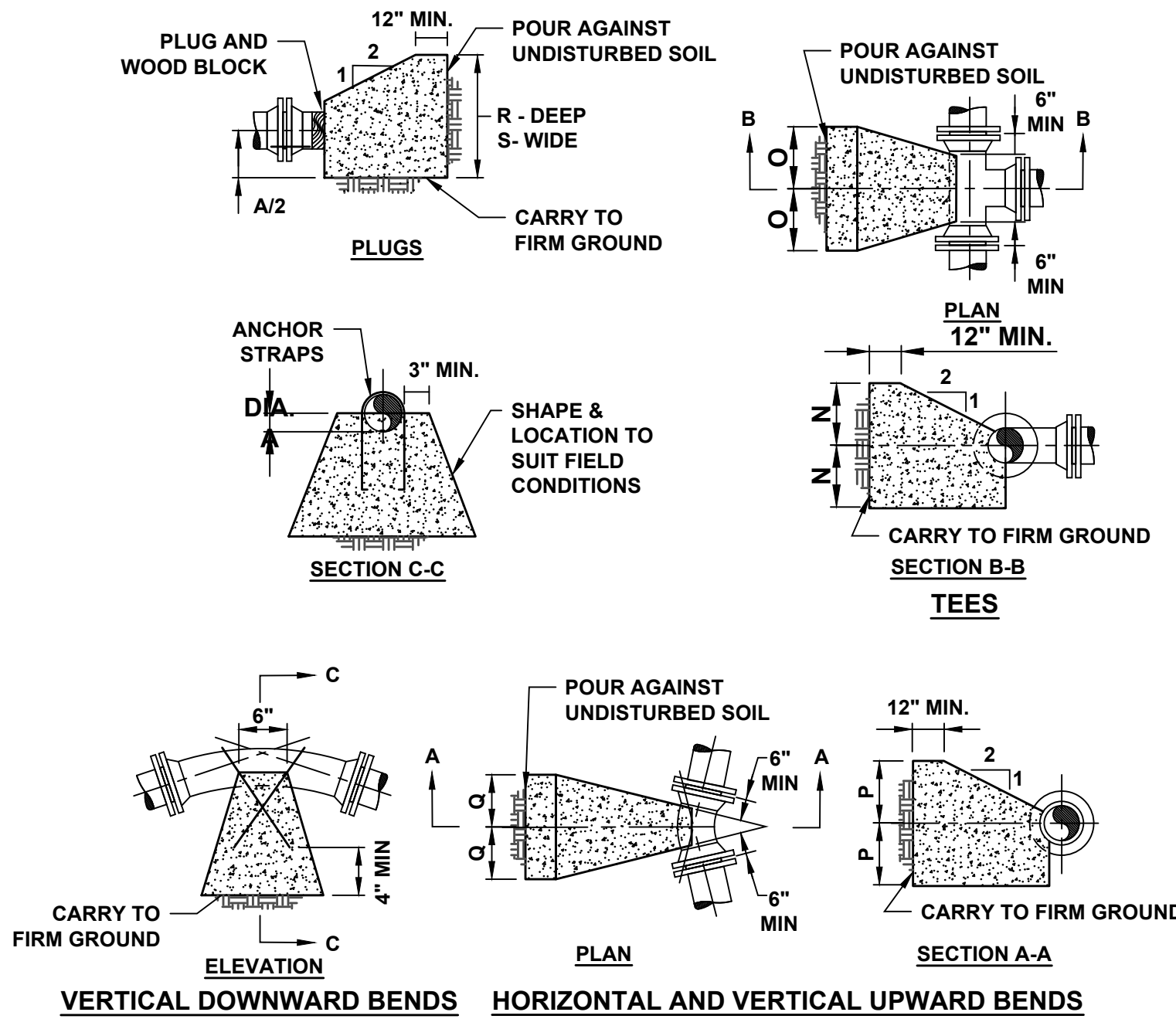
**TYPICAL UTILITY CROSSING DETAIL**  
N.T.S.



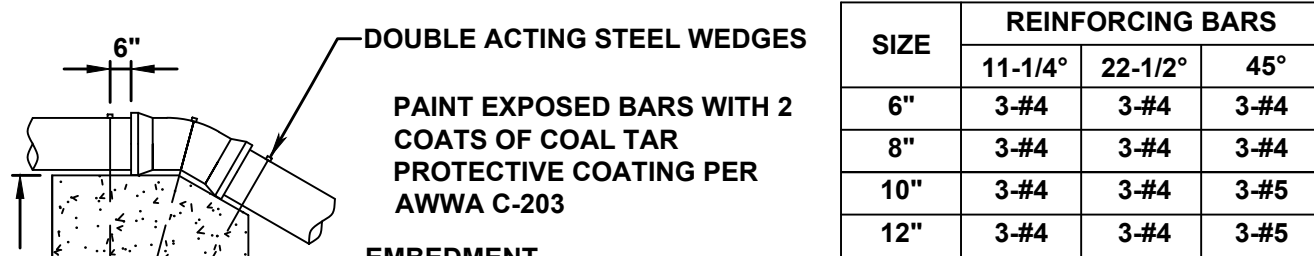
**GATE VALVE & BOX DETAIL**  
N.T.S.



**BOLLARD DETAIL**  
N.T.S.



**VERTICAL DOWNWARD BENDS**   **HORIZONTAL AND VERTICAL UPWARD BENDS**

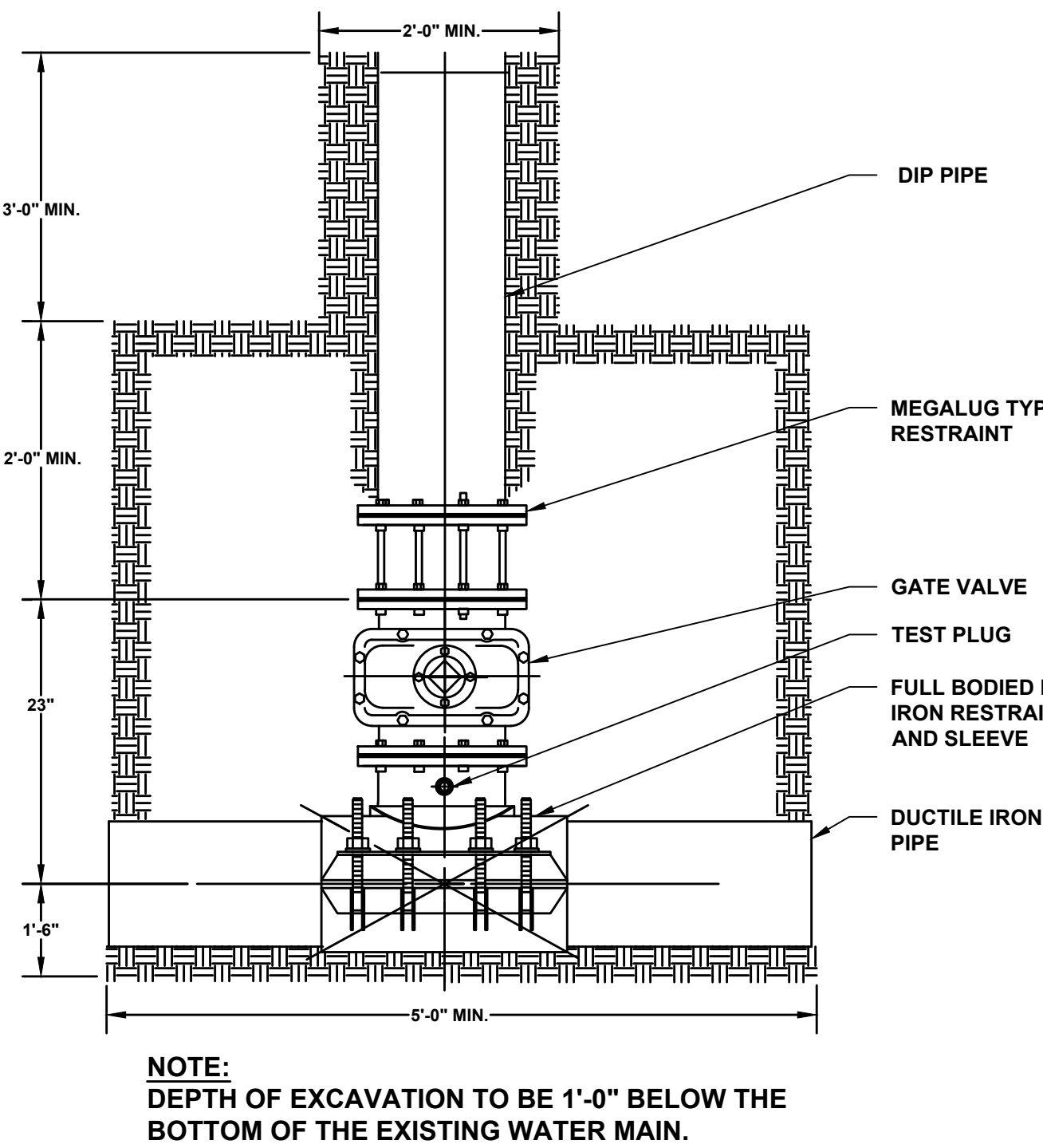


SIZE	REINFORCING BARS
6"	11-1/4" 22-1/2" 45"
8"	3-#4 3-#4 3-#4
10"	3-#4 3-#4 3-#5
12"	3-#4 3-#4 3-#5

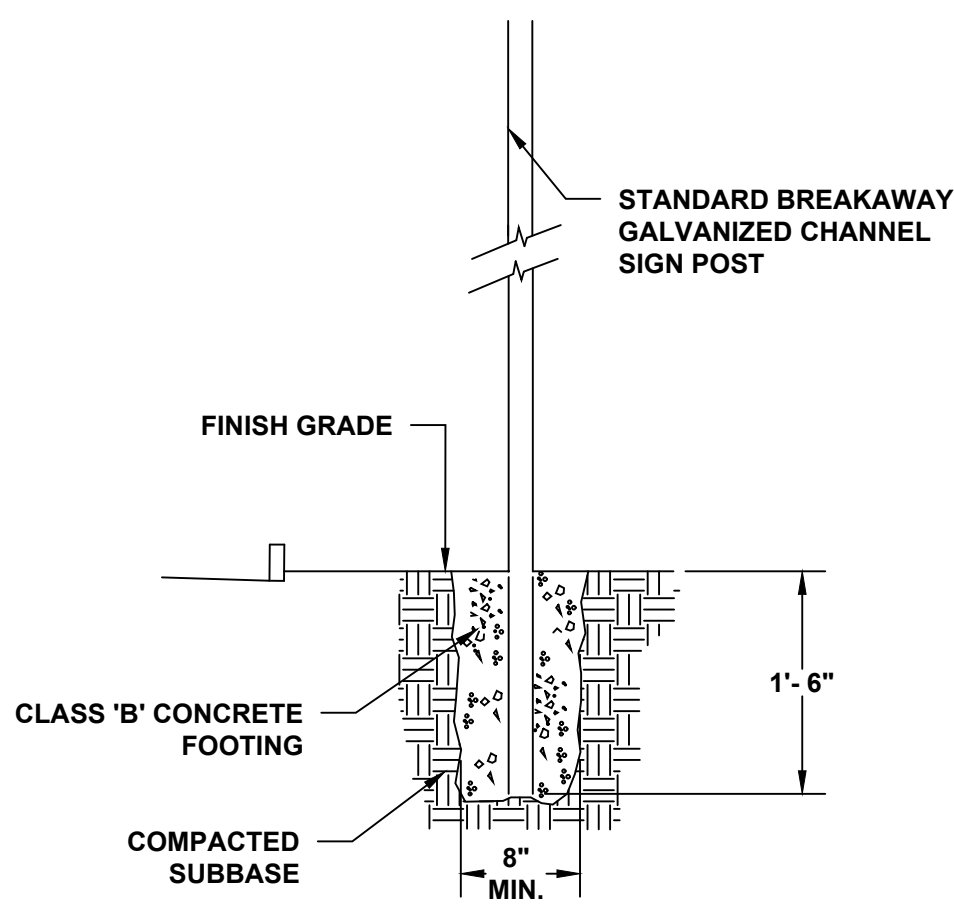
ANCHORS FOR VERTICAL BENDS					
BEND		SIZE			
		6"	8"	10"	12"
1/32 (11-3/4")	A	1'-6"	1'-6"	1'-8"	1'-11"
	B	1'-6"	2'-2"	2'-7"	2'-11"
	C	2'-0"	2'-2"	2'-7"	2'-11"
1/16 (22-1/2")	A	2'-0"	2'-2"	2'-4"	2'-6"
	B	2'-4"	2'-10"	3'-4"	3'-8"
	C	2'-4"	2'-10"	3'-4"	3'-8"
1/8 (45")	A	2'-0"	2'-5"	2'-8"	3'-0"
	B	3'-0"	3'-7"	4'-2"	4'-8"
	C	3'-0"	3'-7"	4'-2"	4'-8"

**ANCHORAGE FOR VERTICAL BENDS**  
**THRUST BLOCK DETAIL**  
N.T.S.

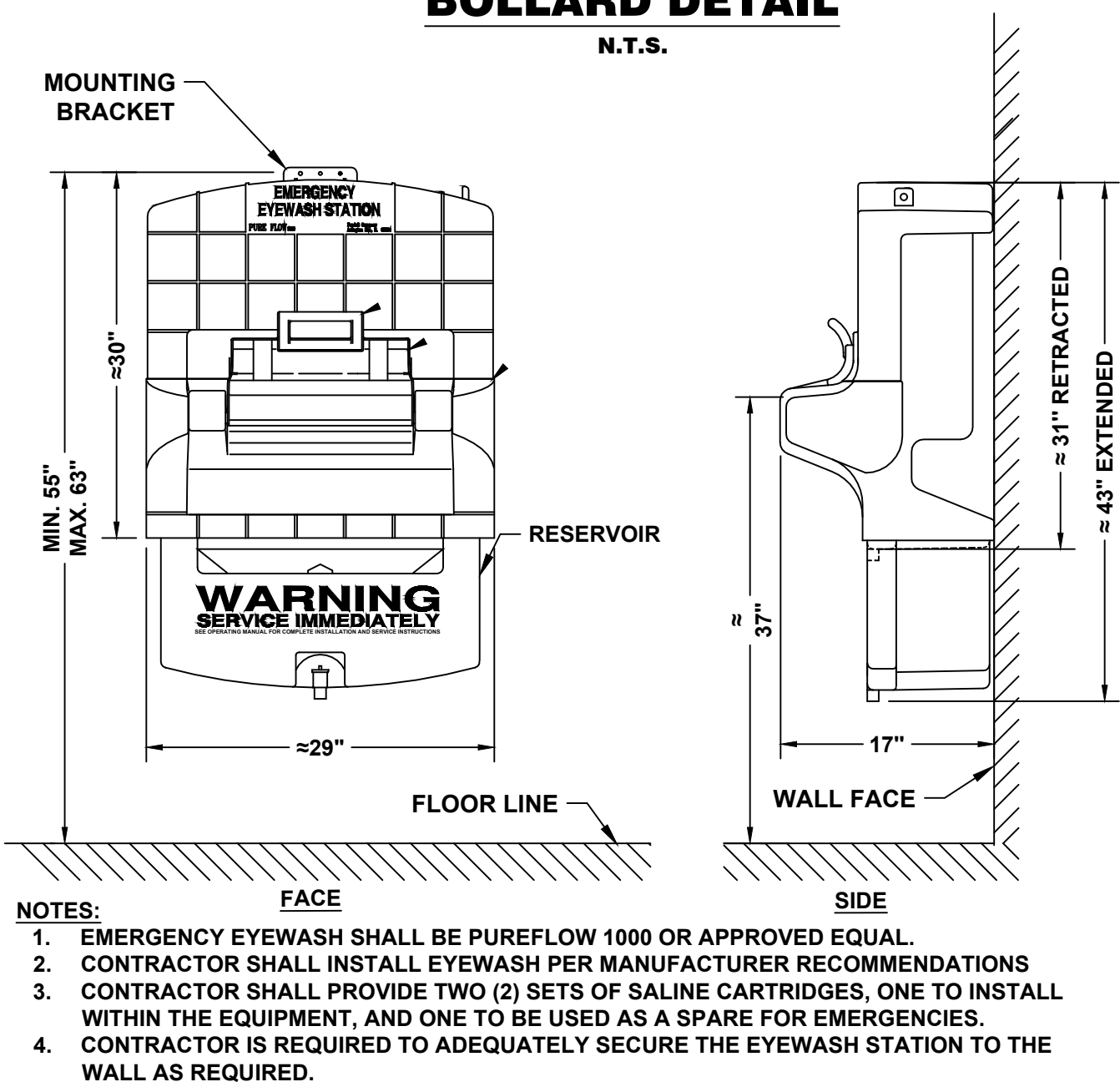
- WATER MAIN RESTRAINT NOTES:**
1. JOINT RESTRAINT IS REQUIRED AT ALL FITTINGS, VALVES, AND AS NOTED ON THE PLANS.
  2. UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR CAN USE EITHER THRUST BLOCKS AND MECHANICAL JOINT GASKETS OR JOINT RESTRAINT PIPE, FOLLOWING THE RESTRAINT JOINT PIPE LENGTH FOR STANDARD PIPE FOUND ABOVE.
  3. EXISTING VALVES AND FITTINGS EXPOSED IN THE PROCESS OF WATER MAIN INSTALLATION SHALL BE PROPERLY RESTRAINED PER THE ENGINEER'S DIRECTION IN THE FIELD.



**WET TAP**  
N.T.S.



**SIGN INSTALLATION DETAIL**  
N.T.S.

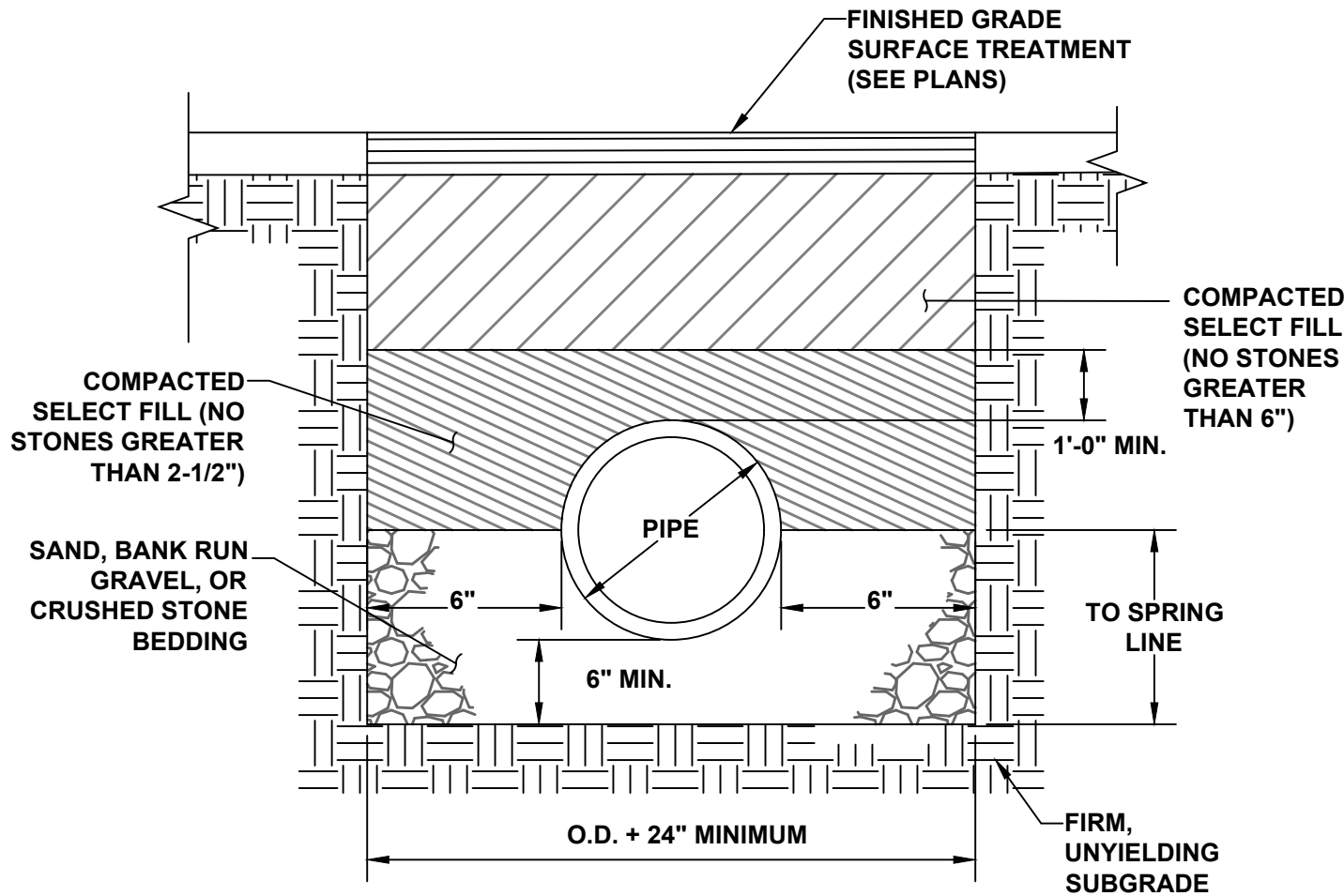


**EMERGENCY SALINE EYEWASH STATION**  
SCALE = N.T.S.

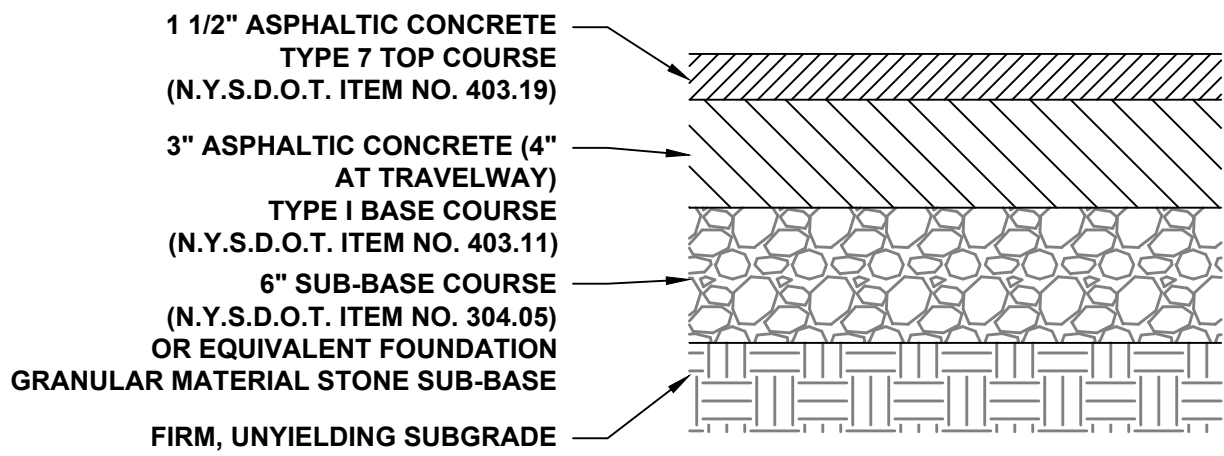
<div>CONSULTANT:</div> <div>ANDREW S. HOLT, PE</div> <div>NY PROFESSIONAL ENGINEER: 095020-1</div>	<div>NOTICE</div> <div>THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.</div> <div>THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING</div> <div>ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.</div> <div>© COPYRIGHT 2022 SUBURBAN ENGINEERING</div>									<div>DRAWN BY:</div> <div>JAW</div> <div>03/11/2022</div> <div>CHECKED BY:</div> <div>WAS</div> <div>03/11/2022</div> <div>CHECKED BY:</div>	<div><div>SE</div><div>SUBURBAN ENGINEERING</div><div>- Civil Engineers - - Landscape Architects - - Land Surveyors -</div><div>7 Cokesbury Caldon Road, Lebanon, N.J. 08833 - 973.398.1776</div><div>EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT</div></div>	<div>SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE</div> <div>POMONA WELL NO. 38</div> <div>VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK</div>		<div>PROJECT NUMBER:</div> <div>SCE-12162.002</div>
								<div>FOR CLIENT:</div> <div>SUEZ WATER NEW YORK INC.</div>	<div>SCALE:</div> <div>N.T.S.</div>					
									<div>SHEET 19 OF 21</div>					
									<div>REVISION</div>					
	<div>DATE: 03/11/2022</div>					<div>ALL RIGHTS RESERVED</div>								
		<div>DESCRIPTION</div>	<div>NO.</div>	<div>DATE:</div>	<div>BY:</div>	<div>CHK:</div>								
		<div>REVISIONS</div>												



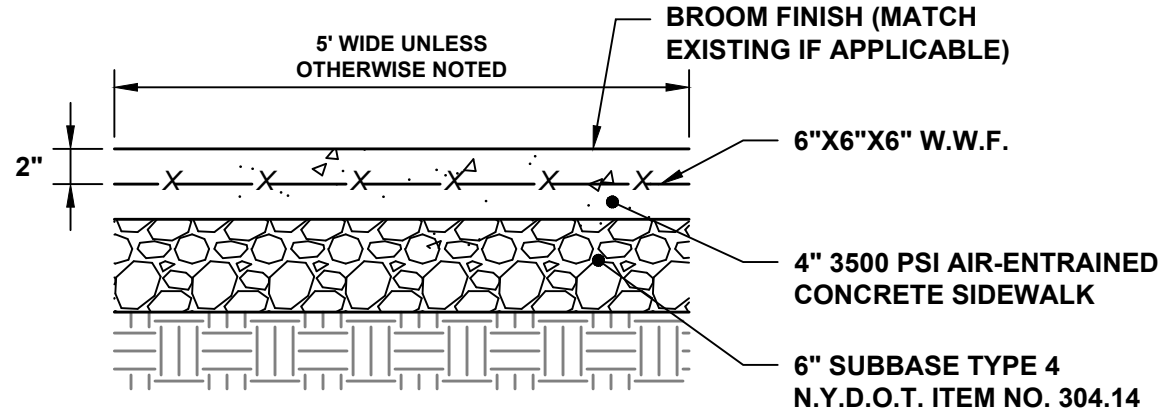
E:\SCE\Ramapo\12162.002\Sheets\construction set\12162.002 21 Construction Details III.dwg Thu, Mar 10, 2022 - 5:18pm cfahey SUBURBAN CONSULTING ENGINEERS, INC.



**SOLID DRAINAGE PIPE TRENCH**  
N.T.S.



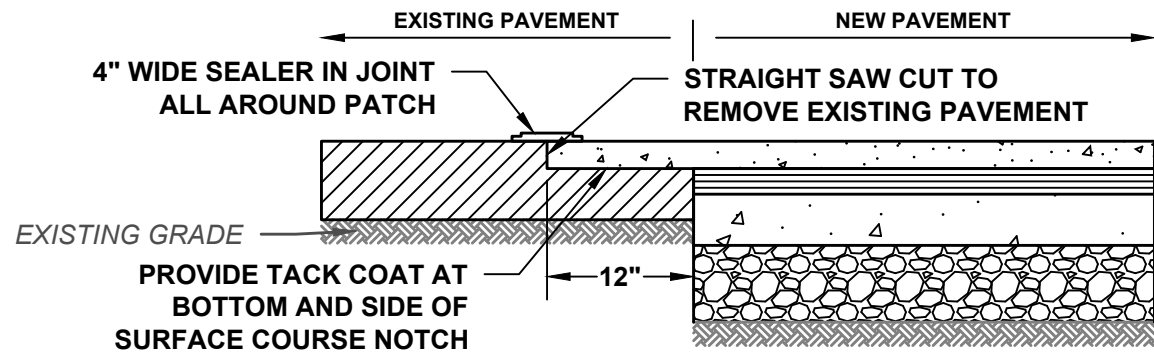
**PAVEMENT SECTION**  
N.T.S.



**NOTES:**

- SUBBASE SHALL BE COMPACTED TO THE SATISFACTION OF THE ENGINEER.
- EXPANSION JOINTS OF 1/2" WIDE BITUMINOUS CELLULAR TYPE JOINT FILLER WILL BE PROVIDED EVERY 12' MAX IN BOTH DIRECTIONS.
- CONCRETE SURFACE SHALL BE SCORED AND TOOLED EVERY 5 FEET.
- ALL EDGES SHALL BE FINISHED WITH AN EDGING TOOL WITH A RADIUS OF 1/4 INCH.
- A 3/4 INCH BITUMINOUS JOINT FILLER SHALL BE PLACED AT ALL JOINTS BETWEEN SIDEWALK, CURB, PAVEMENT, BUILDING, ETC.
- THE CONCRETE SHALL BE FINISHED TO PRODUCE A SMOOTH FINISH AND THEN LIGHTLY BROOMED TO A UNIFORM TEXTURE.
- A CLEAR MEMBRANE CURING COMPOUND SHALL BE USED UPON COMPLETION OF FINISHING.
- ALL SIDEWALKS SHALL ADHERE TO ADA GUIDELINES.

**CONCRETE SIDEWALK DETAIL**  
N.T.S.



**PAVEMENT BUTTING DETAIL**  
N.T.S.

CONSULTANT:  
**ANDREW S. HOLT, PE**  
NY PROFESSIONAL ENGINEER: 095020-1


DATE: 03/11/2022

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**SUBURBAN  
ENGINEERING**

- Civil Engineers -  
- Landscape Architects -  
- Land Surveyors -

7 Cokesbury Caliban Road, Lebanon, N.J. 08833 - 973.398.1776

EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

**SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE  
POMONA WELL NO. 38**  
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

**CONSTRUCTION DETAILS IV**

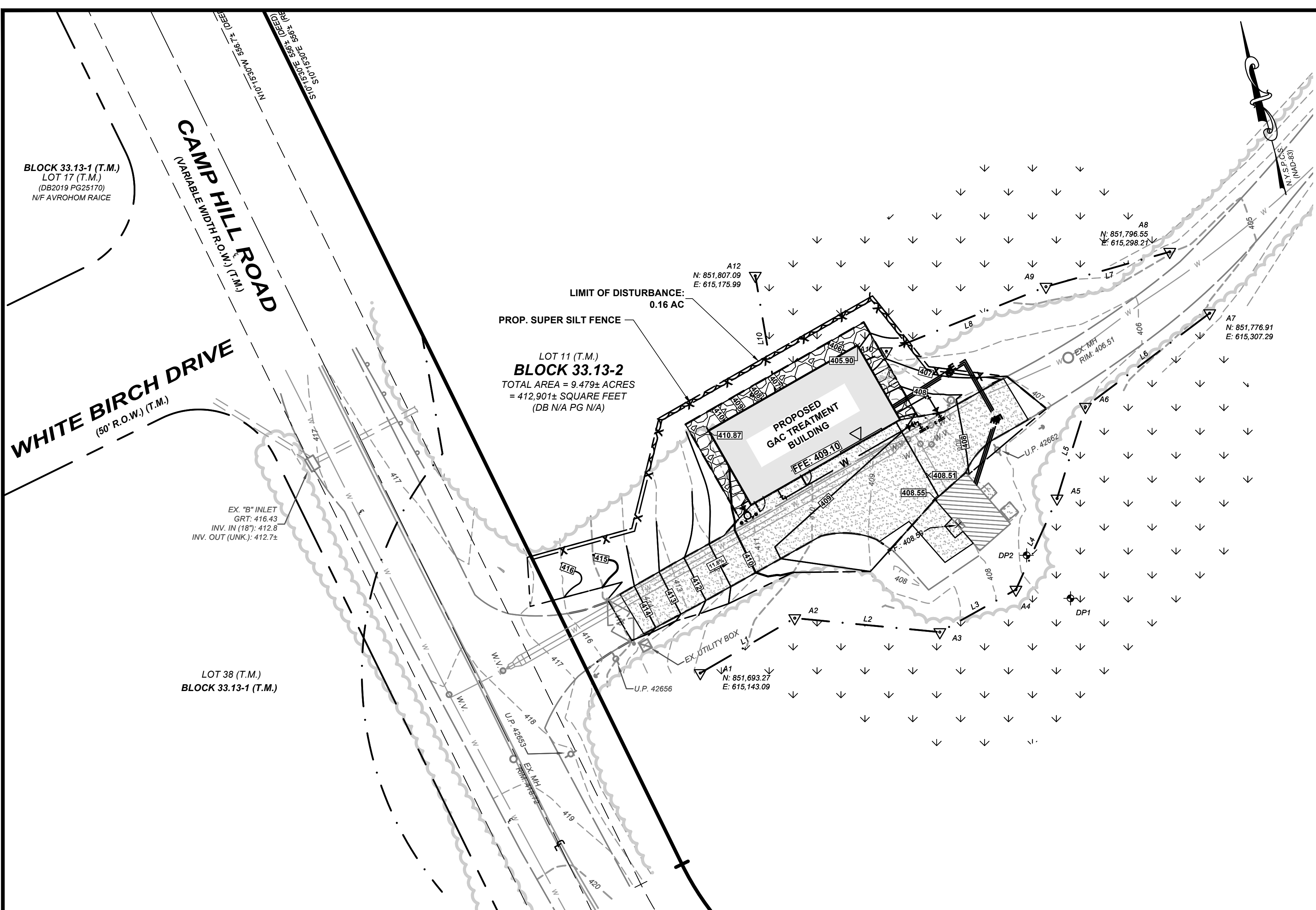
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SCE-12162.002

SCALE:  
N.T.S.

SHEET **20** OF **21**

REVISION **A**



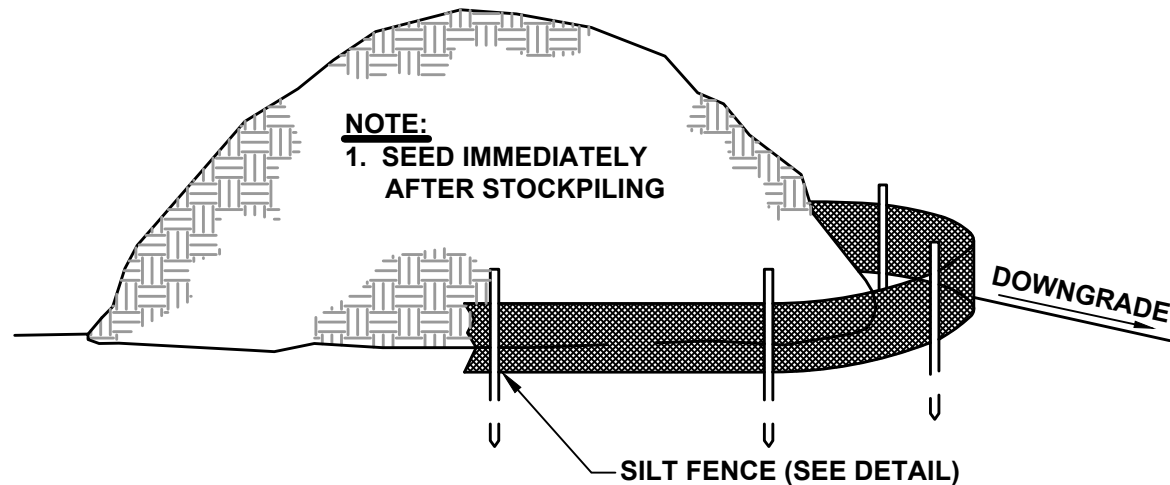


TOTAL DISTURBANCE = 0.16 AC

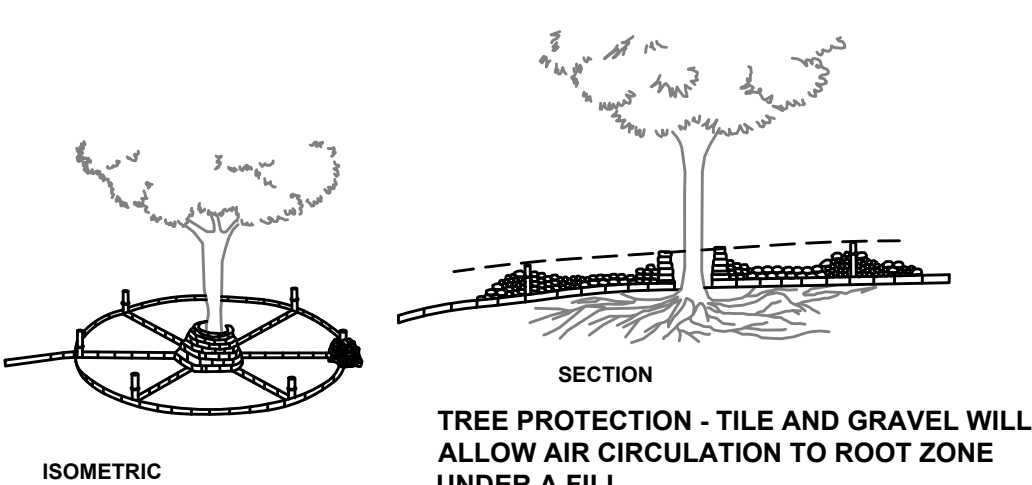
SOIL TYPES  
WeC - WETHERSFIELD GRAVELLY SILT LOAM, 8 TO 15 PERCENT SLOPES (HSG C)

LEGEND

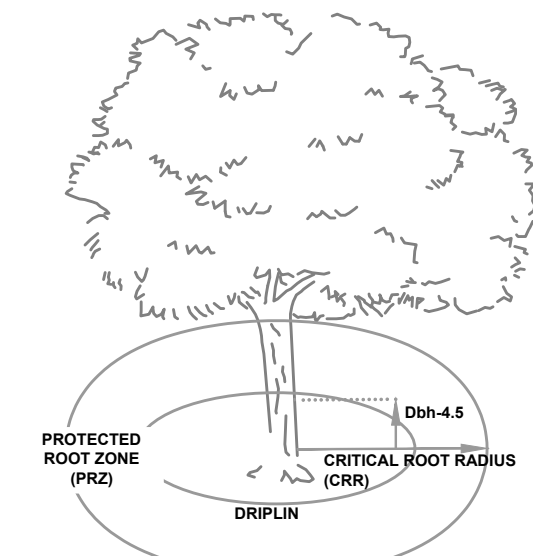
--- LIMIT OF DISTURBANCE  
-X-X- SUPER SILT FENCE



TYPICAL TOPSOIL STOCKPILE  
N.T.S.



TREE PROTECTION IN FILL AREAS  
N.T.S.



TREE PROTECTION  
N.T.S.

ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).

1. MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

DBH X 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.

DBH X 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY, OR TOLERANT SPECIES.

ROCKLAND COUNTY SOIL & WATER CONSERVATION DISTRICT SOIL EROSION & SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AND SHALL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. THE SITE AT ALL TIME SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND INSPECTING ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ON REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
4. STOCKPILES ARE NOT TO BE LOCATED WITHIN A FLOODPLAIN, BUFFER, ON A SLOPE, ROADWAY, OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAY BALE SEDIMENT BARRIER OR SILT FENCE.
5. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
6. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE WORK AREA OR ONTO PUBLIC RIGHT-OF-WAY, SHALL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
7. DUST SHALL BE CONTROLLED AT ALL TIMES IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
8. TREES TO REMAIN AFTER CONSTRUCTION WITHIN THE WORK AREA SHALL BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
9. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTION SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
10. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN OPEN OR UNFINISHED FOR MORE THAN 10 DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE. A TEMPORARY SEEDING AND/OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.
11. SILT THAT LEAVES THE SITE SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
12. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED, OR TREATED IN ACCORDANCE WITH APPROVED PLANS.
13. ALL AREAS DISTURBED BY ON SITE GRADING, THAT ILL NOT BE CONSTRUCTED UPON, SHALL BE STABILIZED WITH PERMANENT VEGETATIVE COVER, USING THE FOLLOWING SEEDING SCHEDULE, OR EQUIVALENT:

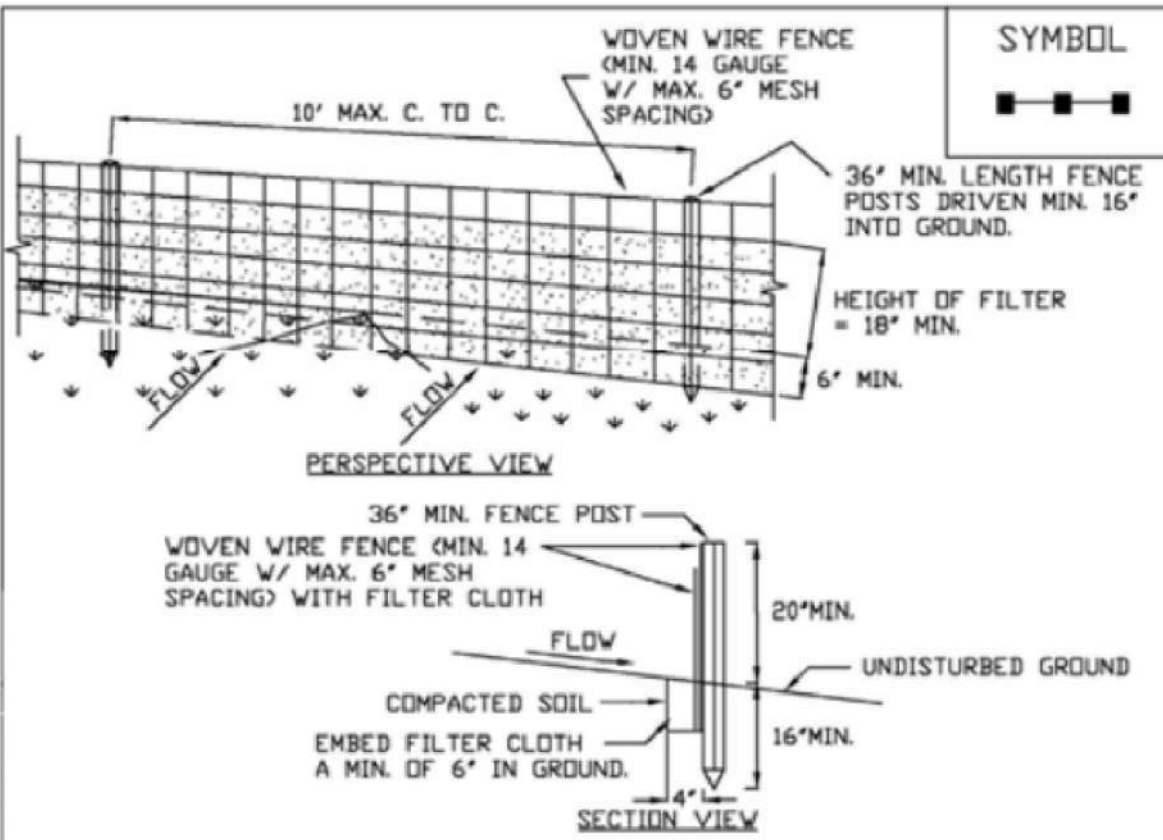
	1 LB. PER ACRE	1 LB PER 1,000 SF
KENTUCKY BLUE GRASS -	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYE GRASS -	5	0.10
14. ALL SEEDED AREAS TO HAVE AN APPLICATION OF THE FOLLOWING:  
LIME - AMOUNT NEEDED TO OBTAIN A pH OF 5.5  
FERTILIZER - 15 LBS. PER 1,000 SF OF 10-20-10 FERTILIZER OR APPROVED EQUAL.  
IF NOT LANDSCAPED OTHERWISE, ALL NEW CONSTRUCTED STEEP PERMANENT SLOPED LESS THAN 1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE SEEDED WITH THE FOLLOWING:

	1 LB. PER ACRE	1 LB PER 1,000 SF
CREeping RED FESCUE -	10	0.45
TALL FESCUE OR SMOOTH BROMEGRASS -	15	0.35
W/ PERENNIAL RYE GRASS	5	0.10
15. ALL SLOPES 1 (VERTICAL): 2.5 (HORIZONTAL) TO BE MULCHED AND STABILIZED WITH CLOTH FABRIC AND PINNED TO THE GROUND.
16. SOD CAN BE USED INSTEAD OF SEED CONSTRUCTION SEQUENCE
  - a. CONSTRUCTION STABILIZING CONSTRUCTION ENTRANCE.
  - b. INSTALL SEDIMENT BARRIERS AS PER NOTE 1 ABOVE.
  - c. CONSTRUCT DIVERSNS SWALES AND DRAINAGE SYSTEMS WITH MINIMUM NECESSARY CLEARING.
  - d. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS O BE DISTURBED.
  - e. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE. INSTALL STORM DRAINAGE SYSTEM.
  - f. INSTALL SEDIMENT CONTROL BARRIERS AROUND ALL STORM DRAIN INLETS.
  - g. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OR 30 DAYS AS PER NOTE 2 ABOVE.
  - h. AFTER COMPLETION OF SITE CONSTRUCTION FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTES 13 AND 14 ABOVE.
  - i. REMOVE SEDIMENT BARRIERS AS PER NOTE 12 ABOVE.
  - j. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE SPECS.
17. ALL CONSTRUCTION TO MEET CURRENT TOWN SPECS.
18. 4" OF TOP SOIL TO BE SPREAD PRIOR TO SEEDING IN ALL DISTURBED AREAS.

TOWN OF RAMAPO STANDARD EROSION CONTROL NOTES

AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING, AS APPLICABLE:

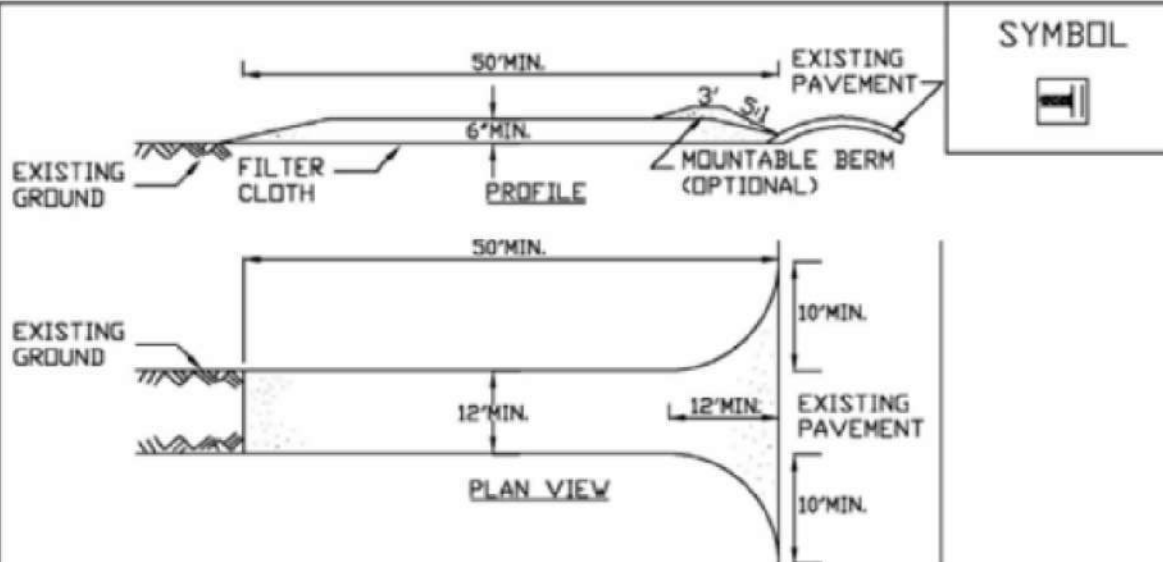
1. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
2. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
3. SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
4. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.



1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFIT 100X, STABILINKA T140X, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY USDA - NRCS,  
NEW YORK STATE DEPARTMENT OF TRANSPORTATION,  
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,  
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

REINFORCED  
SILT FENCE



1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM DETAILS PROVIDED BY USDA - NRCS,  
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NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,  
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STABILIZED  
CONSTRUCTION  
ACCESS

SUEZ WATER NEW YORK INC. - PFAS COMPLIANCE  
POMONA WELL NO. 38  
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: SUEZ WATER NEW YORK INC.

SOIL EROSION & SEDIMENT CONTROL PLAN

PROJECT NUMBER:  
SCE-12162.002

SCALE:  
N.T.S.

SHEET 21 OF 21  
REVISION A

CONSULTANT:  
ANDREW S. HOLT, PE  
NY PROFESSIONAL ENGINEER: 095020-1

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DATE: 03/11/2022

DESCRIPTION NO. DATE: BY: CHK:

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- Landscape Architects -  
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