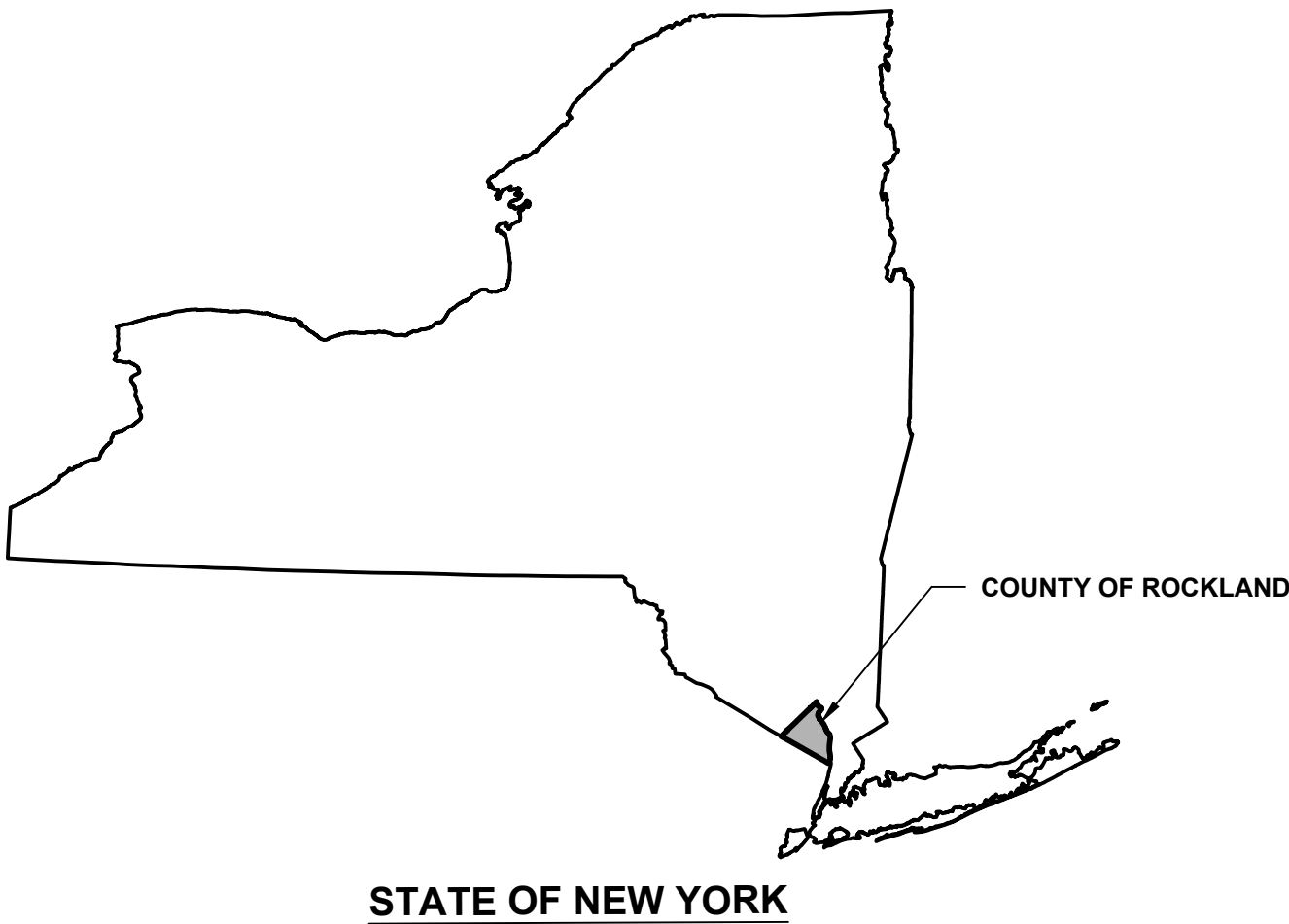


E:\SCE\Ramapo\12162.003\Sheets\12162.003 01 Cover Sheet.dwg Tue, Jun 22, 2021 - 1:47pm jwalkinson SUBURBAN CONSULTING ENGINEERS, INC.



**PRELIMINARY SITE PLAN FOR
SUEZ WATER NY PFAS COMPLIANCE
TALLMAN WELL NO. 26
VILLAGE OF AIRMONT, COUNTY OF ROCKLAND, STATE OF NEW YORK**

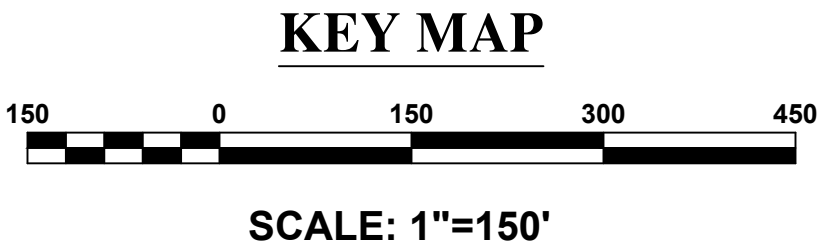


INDEX OF DRAWINGS

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14	SOIL EROSION & SEDIMENT CONTROL PLAN	-

PUBLIC UTILITIES LIST	
GAS	ORANGE AND ROCKLAND UTILITIES
WATER	SUEZ WATER NEW YORK
SEWER	TOWNSHIP OF RAMAPO
ELECTRICITY	ORANGE AND ROCKLAND UTILITIES
COMMUNICATIONS	VERIZON

REFERENCES:
1. TAX MAP - LOT 52, BLOCK 55.12, ON THE CURRENT TAX MAP OF THE TOWN OF RAMAPO, SHEET #55.12.
2. AERIAL IMAGERY - © NEARMAP US, INC. <http://go.nearmap.com>

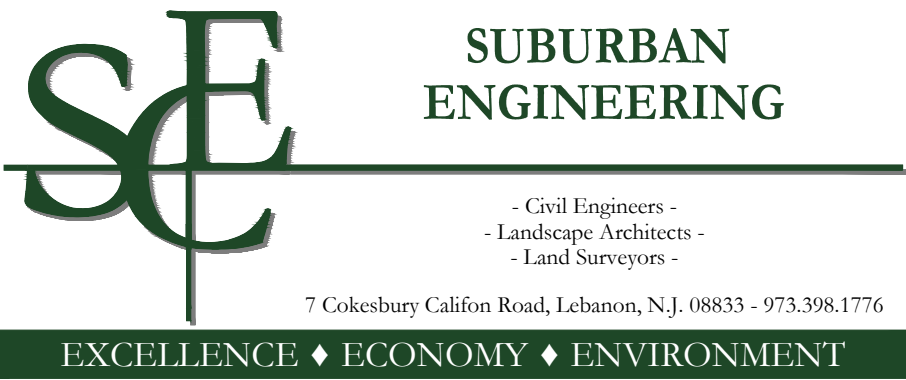


CONSULTANT:
ANDREW S. HOLT, P.E.
NY PROFESSIONAL ENGINEER - 00000000000000000000

60% DESIGN

DATE: XX/XX/2021



















**PRELIMINARY SITE PLAN FOR
SUEZ WATER NY PFAS COMPLIANCE
TALLMAN WELL #26
VILLAGE OF AIRMONT, COUNTY OF ROCKLAND, STATE OF NEW YORK
COVER SHEET**



PROJECT NUMBER: SCE-12162.003 SHEET 1 OF 14 REVISION -

LEGEND

EXISTING		PROPOSED		
W	_____	W	_____	WATER MAIN (SIZES)
G	_____	G	_____	GAS MAIN (SIZES)
T U/G	_____	T	_____	UNDERGROUND TELEPHONE LINE
T O/H	_____	T O/H	_____	OVERHEAD TELEPHONE WIRE
E	_____	E	_____	UNDERGROUND ELECTRICAL CONDUIT
O/H E	_____	O/H E	_____	OVERHEAD ELECTRICAL LINE
		UO/ U	_____	UNDERGROUND COMBINED UTILITIES
= = = = =		- - - - -		STORM DRAINS
S	_____	S	_____	SANITARY SEWERS
FMS	_____	FMS	_____	FORCE MAINS
				PAVEMENT
=====		=====		PROPERTY LINES
=====		=====		CURB LINES
X X X	_____	X X X	_____	FENCES (MTL.)
o o o o o	_____	o o o o o	_____	GUIDE RAIL (STL.)
[] [] [] []		[] [] [] []		RETAINING WALL

EXIST.	RESET	RECONSTRUCT	PROP.	
				"A" INLETS
				"B" INLETS
				"E" INLETS
				MANHOLES
NEW MANHOLE CASTING - SQUARE FRAME, CIRCULAR COVER			CAST IRON EXTENSION FRAME FOR EXIST. INLETS	 CAST IRON EXTENSION RING FOR EXIST. MANHOLES

EXIST.	PROP.	
		RADIAL PINS
		MONUMENTS
		IRON PIPE/PIN
		TEST PIT / SOIL BORING
		WATER VALVE
		WATER GATE VALVE
		GAS VALVE
		HYDRANT
		UTILITY POLES
		SIGNS
		BUSHES/TREELINE
		LIGHTS
		PROP. BLDG.
		BLDG. TO BE DEMOLISHED
		DECIDUOUS TREES
		CONIFEROUS TREES

REFERENCES:

- TAX MAP - LOT 52, BLOCK 55.12, ON THE CURRENT TAX MAP OF THE TOWN OF RAMAPO, SHEET #55.12
- AERIAL IMAGERY - © NEARMAP US, INC. <http://go.nearmap.com>
- SITE PLAN - "PACKED COLUMN AERATION WATER TREATMENT FACILITY - TALLMAN WELL NO.26 - AIRMONT WELL FIELD" PREPARED BY LAYNE CHRISTENSEN COMPANY DATED JUNE 3, 2002, LAST REVISED JULY 2, 2002 AS REVISION RvA.
- SURVEY - PERFORMED BY SUBURBAN CONSULTING ENGINEERS ON MARCH 30, 2021.

NOTE:

PRIOR TO ANY EXCAVATION, CONTRACTOR MUST HAVE ALL UTILITIES MARKED OUT BY THE APPROPRIATE UTILITY COMPANIES -> 1-800-272-1000 OR 811.

GENERAL NOTES

OWNER: UNITED WATER NEW YORK INC.
239 ROUTE 59
AIRMONT, NY 10901

APPLICANT : SUEZ WATER NEW YORK INC.
162 OLD MILL ROAD
WEST NYACK, NY 10994

- THE SUBJECT PROPERTY IS KNOWN AS LOT 52 , BLOCK 1 AS SHOWN ON THE TOWN OF RAMAPO TAX MAP SHEET # 55.12.
- THE SUBJECT PROPERTY CONTAINS 0.772 ACRES (33,641 SF), AND IS SITUATED IN FOLLOWING DISTRICTS:

ZONING: NEIGHBORHOOD SHOPPING DISTRICT (NS)
SCHOOL: RAMAPO CENTRAL SCHOOL DISTRICT/SUFFERN CENTRAL SCHOOL DISTRICT

- HORIZONTAL DATUM BASED ON NAD-83, PER GPS SATELLITE OBSERVATION.
- VERTICAL DATUM IS BASED ON NAVD-88, PER GPS SATELLITE OBSERVATION.
- PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY REFERENCED FROM SUBURBAN ENGINEERING, INC., ENTITLED "SUEZ WATER NEW YORK, INC. - PFAS COMPLIANCE - TALLMAN #26" DATED APRIL 8, 2021.
- ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE VILLAGE OF AIRMONT STANDARDS AND SPECIFICATIONS, AND ALL STRUCTURES ARE SUBJECT TO REVIEW BY THE CONSTRUCTION CODE OFFICIAL. THE CONSTRUCTION OF ALL SITE IMPROVEMENTS SHALL COMPLY WITH THE NEW YORK STATE CONSTRUCTION CODE.
- A PORTION OF THE SUBJECT PROPERTY IS SUBJECT TO FLOODING FROM THE 100 YEAR STORM, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) FOR THE VILLAGE OF AIRMONT, PANEL 151 OF 207, COMMUNITY PANEL NUMBER 360140, LAST REVISED MARCH 3, 2014.
- WORK MAY BE PERFORMED MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 AM AND 8:00 PM (TO BE CONFIRMED WITH TOWN). THE TOWN MUST APPROVE EARLY STARTS AND WORK ON SATURDAYS, SUNDAYS AND HOLIDAYS. THE COST FOR INSPECTION SERVICES BY THE TOWN CONSTRUCTION DEPARTMENT OR THE OWNER/APPLICANT ENGINEER BEYOND NORMAL WORK DAYS AND HOURS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NO MATERIAL OR EQUIPMENT IS TO BE STORED ON ANY AREA THAT HAS NOT BEEN ESTABLISHED AS A DESIGNATED STAGING AREA. ALL EXCAVATIONS SHALL BE PROTECTED AT THE END OF EACH WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY. STAGING AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR.
- ALL CONSTRUCTION MATERIALS, PRODUCTS, HOURS OF OPERATION, ETC. SHALL BE IN ACCORDANCE WITH THE OWNER, THE ON-SITE ENGINEER, AND THE VILLAGE OF AIRMONT. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL AS-BUILT SURVEYS PER TOWN REQUIREMENTS & FOR THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL LOCAL BUILDING PERMITS. THE OWNER WILL OBTAIN ALL PLANNING, ZONING AND LAND DISTURBANCE PERMITS, IF DEEMED NECESSARY.
- BUILDING PERMITS SHALL SHOW LOWEST FLOOR ELEVATIONS SUBJECT TO APPROVAL AND INSPECTION BY DEPARTMENT OF ENGINEERING & FACILITIES MAINTENANCE.
- NO BUILDING PERMIT FOR A BUILDING SUBJECT TO SITE PLAN APPROVAL SHALL BE ISSUED BY THE BUILDING INSPECTOR EXCEPT UPON AUTHORIZATION OF AND IN CONFORMITY WITH THE SITE PLAN APPROVED BY THE AIRMONT PLANNING BOARD.
- ALL EXISTING ITEMS NOT DENOTED "TO REMAIN" OR "TO BE REMOVED" SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- SUEZ WATER NEW YORK (SWNY) SHALL CONFORM TO SOIL EROSION AND SEDIMENT CONTROL PLAN ON FILE IN DEPARTMENT OF ENGINEERING & FACILITIES MAINTENANCE.
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- PRIOR TO ANY EXCAVATION, CONTRACTOR MUST HAVE ALL UTILITIES MARKED OUT BY THE APPROPRIATE UTILITY COMPANIES -> CALL 811

GENERAL ENVIRONMENTAL NOTES:


- THE CONTRACTOR MUST PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PROVISIONS AND CONDITIONS OF THE ROCKLAND COUNTY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- THE TRENCH EXCAVATION MAY BE NO WIDER THAN NECESSARY TO COMPLY WITH OSHA SAFETY STANDARDS AND THE CONSTRUCTION DETAILS UNDER THE ACTUAL SURFACE AND SUBSURFACE CONDITIONS AS MAY BE ENCOUNTERED DURING CONSTRUCTION.
- AVOID DISTURBANCE OF NATURAL VEGETATION DURING CLEARING OPERATIONS TO THE GREATEST EXTENT PRACTICABLE.
- PERFORM "SOIL EROSION AND SEDIMENT CONTROL" AS DIRECTED BY THE ENGINEER OR SOIL CONSERVATION AGENCY REPRESENTATIVE AS CALLED FOR ON THE PLANS. PERFORM WORK IN ACCORDANCE WITH THE SPECIFICATIONS AS MAY BE WARRANTED BY ACTUAL FIELD CONDITIONS AND THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE FOR ADJUSTMENTS, ADDITIONAL MATERIALS AND MAINTENANCE OF THIS WORK.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF SOIL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES OR REMEDIATION REQUIRED DUE TO EROSION OR DOWNSTREAM SEDIMENT DEPOSITION.
- MAINTAIN WORK WITHIN THE DESIGNATED LIMITS OF DISTURBANCE AS DELINEATED AND NOTED ON THE PLANS. RESTORE ANY DISTURBANCE BY WORK CONDUCTED OUTSIDE THOSE LIMITS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DISPOSE OF ALL WASTE, DEBRIS, AND UNSUITABLE EXCAVATED MATERIALS IN ACCORDANCE WITH THE SPECIFICATIONS, THE STATE AND LOCAL RULES AND REGULATIONS.

GENERAL WATER MAIN CONSTRUCTION NOTES:

- USE DUCTILE IRON RESTRAINED JOINT FITTINGS WITH MANUFACTURER RETAINER GLANDS ACCORDING TO THE CONTRACT DOCUMENTS. RESTRAIN ALL BENDS, TEES, VALVES, PLUGGED ENDS, ETC. IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- SIZE AND LOCATION OF EXISTING MAINS TO WHICH CONNECTIONS ARE BEING MADE ARE BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN. THE CONTRACTOR MUST BE PREPARED TO ACCOMMODATE CHANGES IN THE SIZE OR LOCATION OF THE CONNECTION BY MAINTAINING AT THE JOB SITE, ADDITIONAL PIPE, FITTINGS, AND VALVES IN THE RANGE OF SIZES AS MAY EXIST.

GENERAL CONSTRUCTION NOTES:

- COORDINATE ALL WATER SYSTEM CONNECTIONS, SHUT DOWNS, OR OTHER SYSTEM RELATED OPERATIONS WITH THE OWNER AND NOTIFY AFFECTED RESIDENCES AND BUSINESSES A MINIMUM OF ONE WEEK PRIOR TO THE SCHEDULED DATE FOR SAID SHUT DOWN OPERATIONS. ONLY SUEZ PERSONNEL SHALL OPERATE EXISTING VALVES AND HYDRANTS. THE CONTRACTOR MUST PROVIDE WRITTEN NOTIFICATION OF THE START OF CONSTRUCTION TO PROPERTY OWNERS WITHIN THE PROJECT LIMITS 72 HOURS PRIOR TO CONSTRUCTION OPERATIONS AND 72 HOURS PRIOR TO OPERATIONS THAT MAY AFFECT PROPERTY ACCESS.
- CONSTRUCTION SHALL CONFORM TO APPROPRIATE SECTIONS OF: 1) NATIONAL ELECTRICAL CODE; 2) NATIONAL STANDARD PLUMBING CODE; AND 3) INTERNATIONAL MECHANICAL CODE, LATEST EDITIONS.

<div>CONSULTANT:</div> <div>ANDREW S. HOLT, P.E.</div> <div>NY PROFESSIONAL ENGINEER</div> <div>60% DESIGN</div> <div>DATE: XX/XX/2021</div>	<div>NOTICE</div> <div>THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.</div> <div>THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING</div> <div>ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.</div> <div>© COPYRIGHT 2021 SUBURBAN ENGINEERING</div> <div>ALL RIGHTS RESERVED</div>					<div>DRAWN BY:</div> <div>JAW</div>	<div></div> <div>SUBURBAN ENGINEERING</div> <div><div>- Civil Engineers -</div><div>- Landscape Architects -</div><div>- Land Surveyors -</div></div> <div>7 Cokesbury Caldon Road, Lebanon, N.J. 08833 - 973.398.1776</div> <div>EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT</div>	<div>PRELIMINARY SITE PLAN FOR</div> <div>SUEZ WATER NY PFAS COMPLIANCE</div> <div>TALLMAN WELL NO. 26</div> <div>VILLAGE OF AIRMONT, COUNTY OF ROCKLAND, STATE OF NEW YORK</div>		<div>PROJECT NUMBER:</div> <div>SCE-12162.003</div>
	<div>CHECKED BY:</div> <div>SAM</div>	<div>FOR CLIENT:</div> <div>SUEZ WATER NEW YORK INC.</div>		<div>SCALE:</div> <div>N.T.S.</div>						
	<div>CHECKED BY:</div> <div>WAS</div>	<div>GENERAL NOTES</div>		<div>SHEET 2 OF 14</div>						
	<div>REVISIONS</div>			<div>REVISION</div>						
	<div>DESCRIPTION</div>	<div>NO.</div>	<div>DATE:</div>	<div>BY:</div>	<div>CHK:</div>					



PROJECT LOCATION

REFERENCE - NYSPOP 2016, TILES e_05970828, e_05970830, e_06000828, e_06000830.

KEY MAP

SCALE: 1" = 300'

REFERENCES:

- TAX MAP** - LOT 52, BLOCK 55.12, ON THE CURRENT TAX MAP OF THE TOWN OF RAMAPO, SHEET #55.12.
- ORTHOGRAPHY** - NY STATEWIDE DIGITAL ORTHOIMAGERY PROGRAM (NYSPOP) DATA (2000-2018), NYS ITS GIS PROGRAM OFFICE, AND U.S. GEOLOGICAL SURVEY NATIONAL AERIAL PHOTOGRAPHY PROGRAM (1994-1999), NAD83(2011) NY EAST STATE PLANE FEET: 1220 WASHINGTON AVENUE, BUILDING 5 - FLOOR 1, ALBANY, NY, 12226, US, <https://orthos.dhss.ny.gov/#>
- AERIAL IMAGERY** - © NEARMAP US, INC. <http://go.nearmap.com>
- SITE PLAN** - "PACKED COLUMN AERATION WATER TREATMENT FACILITY - TALLMAN WELL NO. 26 - AIRMONT WELL FIELD" PREPARED BY LAYNE CHRISTENSEN COMPANY DATED JUNE 3, 2002, LAST REVISED JULY 2, 2002 AS REVISION RVA.
- FILED MAP** - "SUBDIVISION PLAT AT TALLMAN, RAMAPO TOWNSHIP, ROCKLAND COUNTY, NEW YORK FOR F.L. WEHRAN" PREPARED BY E.E. TIEMAN & RALPH SANDOR CIVIL ENGINEERS & SURVEYORS, DATED MAY 15, 1952 AND FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON AUGUST 1, 1952 AS MAP NO. 2202.

NOTES:

- THIS SURVEY IS PREPARED IN ACCORDANCE WITH DOCUMENTS SUPPLIED BY THE CLIENT AND SUPPLEMENTAL INFORMATION OBTAINED BY SUBURBAN CONSULTING ENGINEERS, INC. THROUGH LIMITED RECORDS RESEARCH. THE DOCUMENTS USED DO NOT REPRESENT A COMPLETE TITLE SEARCH OF THE SUBJECT PROPERTY AND MAY OR MAY NOT BE ALL THE RELEVANT TITLE DOCUMENTS FOR THE SUBJECT PROPERTY.
- SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RIGHTS OF WAY, AND EXCEPTIONS OF RECORD.
- SUBJECT PROPERTY IS KNOWN AS LOT 52, BLOCK 55.12 AS SHOWN ON THE TAX MAP OF THE TOWN OF RAMAPO, ROCKLAND COUNTY, NEW YORK, SHEET 55.12.
- AREA = 33,641 SF OR 0.772 ACRES
- THIS MAP AND SURVEY WERE PREPARED FROM INFORMATION FURNISHED AND/OR OBTAINED TOGETHER WITH EVIDENCE FOUND ON THE GROUND AND IS SUBJECT TO SUCH FACTS THAT AN ACCURATE TITLE SEARCH MAY REVEAL.
- LOCATION OF UNDERGROUND UTILITIES, IF DEPICTED, ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE AT THE TIME OF THE SURVEY. THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME AND SUBURBAN CONSULTING ENGINEERS, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR ABSENCE OF UTILITIES.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- WETLAND FLAGS AS DEPICTED HEREON ARE PLACED BY SUBURBAN CONSULTING ENGINEERS, INC. (FLANDERS, NJ) ON MARCH 25, 2021.
- ON-SITE WETLANDS NOT DEPICTED ON NYSDEC REGULATORY WETLAND MAPS, NOR IS ON-SITE WETLAND CONNECTED TO AN NYSDEC MAPPED REGULATORY WETLAND.
- HORIZONTAL DATUM BASED ON NAD-83, PER GPS SATELLITE OBSERVATION.
- VERTICAL DATUM IS BASED ON NAVD-88, PER GPS SATELLITE OBSERVATION.
- DATUM SHOWN HEREON PER GPS SATELLITE OBSERVATION AND SOLUTIONS PROVIDED REAL TIME BY KEYNET GPS, INC. WHICH UTILIZES TRIMBLE VIRTUAL REFERENCE SYSTEM CONTINUALLY OPERATING HIGH PRECISION GNSS REFERENCE STATIONS. DATUM PROVIDED IS NAD 83 (2011) / NAVD 88 NEW YORK STATE PLANE COORDINATE SYSTEM EAST, ZONE 3101.
- CONDITIONS DEPICTED HEREON PER ACTUAL FIELD INSTRUMENT SURVEY PERFORMED MARCH 29, 2021.
- MISSING PROPERTY CORNERS NOT SET AT THIS TIME, PER CONTRACTUAL AGREEMENT.
- PER DB661 PG221, EASEMENT SHOWN HEREON "FOR THE PURPOSE OF MAINTAINING CONTROL FOR DRAINAGE PURPOSED TO INSURE THE NON-CONTAMINATION OF WATERS FLOWING INTO THE PARCEL FIRST ABOVE DESCRIBED".

NYSPCS
(NAD-83)

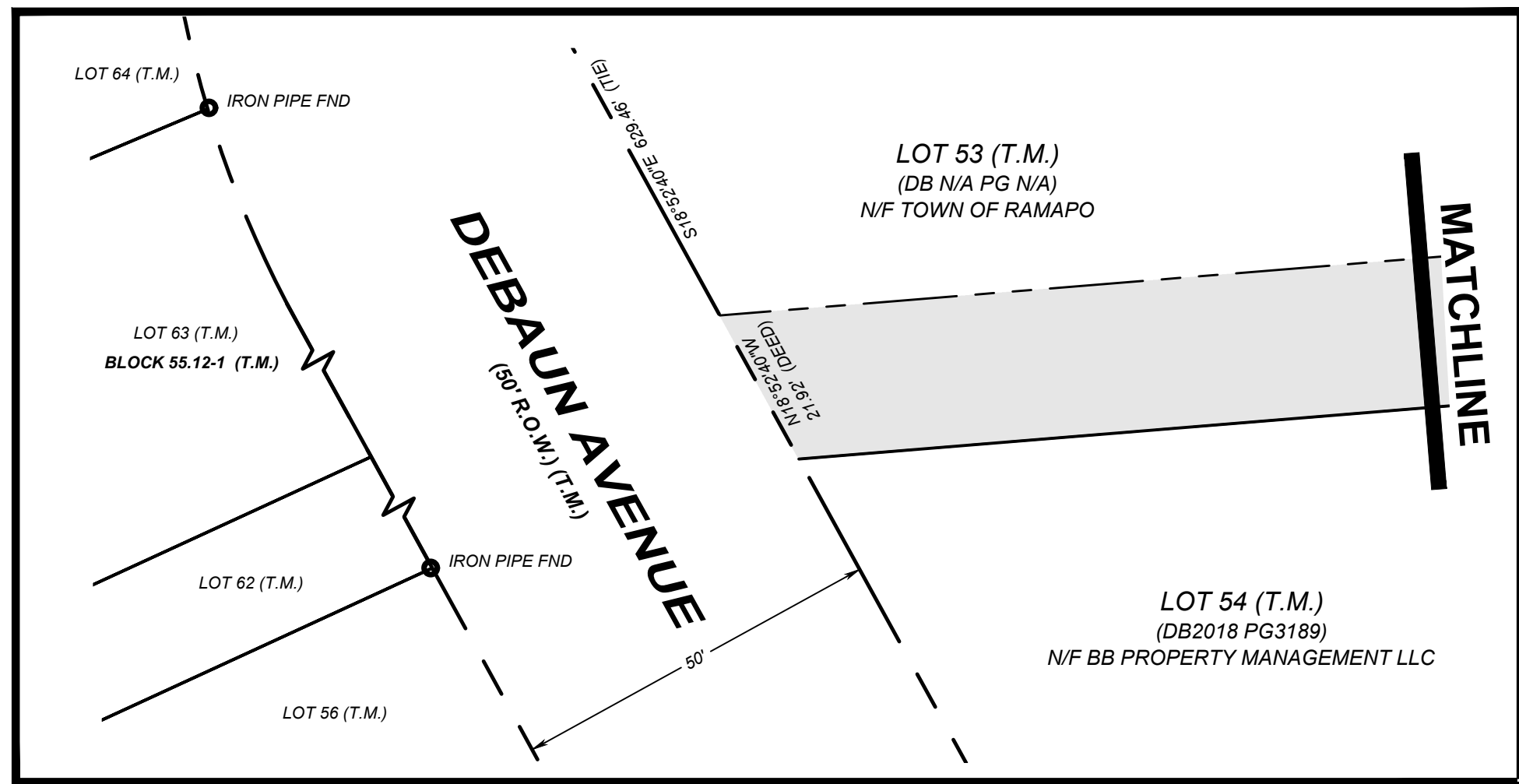
LOT 53 (T.M.)
(DB N/A PG N/A)
N/F TOWN OF RAMAPO

LOT 52 (T.M.)
BLOCK 1
SECTION 55.12
TOTAL AREA = 0.772 ACRES
= 33,641 SQUARE FEET
(DB661 PG221)

LOT 51 (T.M.)
(DB2011 PG28427)
N/F THE TALLMAN TRUST

MATCHLINE

"SUBDIVISION PLAT AT TALL, RAMAPO TOWNSHIP,
ROCKLAND COUNTY, NEW YORK FOR F.L. WEHRAN"
(F.M. #2202)



SCALE: 1"=20'

CONSULTANT:

ANDREW S. HOLT, P.E.
NY PROFESSIONAL ENGINEER

60% DESIGN

DATE: XX/XX/2021

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REVISIONS				

DRAWN BY:	JAW
CHECKED BY:	SAM
CHECKED BY:	WAS



**SUBURBAN
ENGINEERING**

- Civil Engineers -
- Landscape Architects -
- Land Surveyors -

7 Cokesbury Calicut Road, Lebanon, N.J. 08853 - 973.398.1776

EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

**PRELIMINARY SITE PLAN FOR
SUEZ WATER NY PFAS COMPLIANCE
TALLMAN WELL NO. 26
VILLAGE OF AIRMONT, COUNTY OF ROCKLAND, STATE OF NEW YORK**

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

EXISTING CONDITIONS PLAN

PROJECT NUMBER:
SCE-12162.003

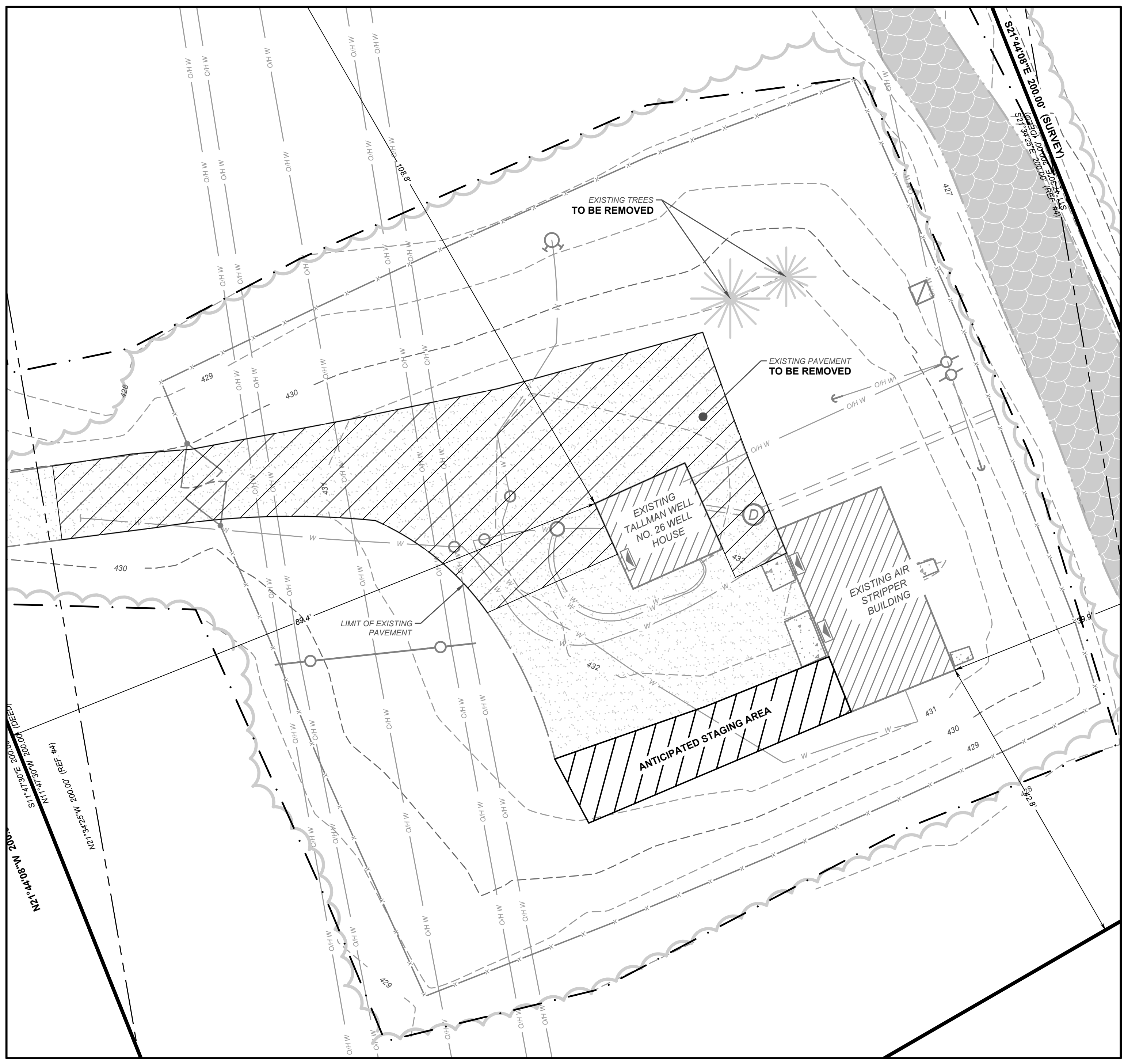
SCALE:
1" = 20'

SHEET **3** OF **14**
REVISION -

LINE DATA TABLE		
LINE #	DIRECTION	LENGTH
L1	S25°39'25"E	43.28'
L2	S26°51'41"E	38.57'

LINE DATA TABLE		
LINE #	DIRECTION	LENGTH
L4	S13°26'37"E	53.12'
L5	N78°23'39"E	17.66'
L6	N62°06'17"E	27.14'
L7	N66°08'09"E	54.20'
L8	N82°31'21"E	31.13'
L9	S23°46'02"E	59.56'
L10	S17°02'13"E	42.45'
L11	S68°31'21"W	32.43'
L12	S62°16'07"W	49.35'
L13	S76°20'29"W	31.71'
L14	N22°31'18"W	20.62'
L15	N24°12'49"W	46.60'
L16	N88°23'38"W	33.68'

E:\SCE\Ramapo\12162.003\Sheets\12162.003 05 Landscape & Grading Plan.dwg Tue, Jun 22, 2021 - 1:48pm jwatkinson SUBURBAN CONSULTING ENGINEERS, INC.



STAGING PLAN

SCALE: 1" = 10'



SCALE: 1"=10'

NOTE:

- EXISTING VALVE BOXES SHALL BE RAISED TO PROPOSED GRADE AS NEEDED.
- STAGING AREA TO BE CONFIRMED WITH SWNY AND ENGINEER PRIOR TO CONSTRUCTION.

CONSULTANT:

ANDREW S. HOLT, P.E.
NY PROFESSIONAL ENGINEER

60% DESIGN

DATE: XX/XX/2021

NOTICE

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DESCRIPTION	NO.	DATE:	BY:	CHK:
REVISIONS				

DRAWN BY:

JAW

CHECKED BY:

SAM

CHECKED BY:

WAS



**SUBURBAN
ENGINEERING**

- Civil Engineers -
- Landscape Architects -
- Land Surveyors -

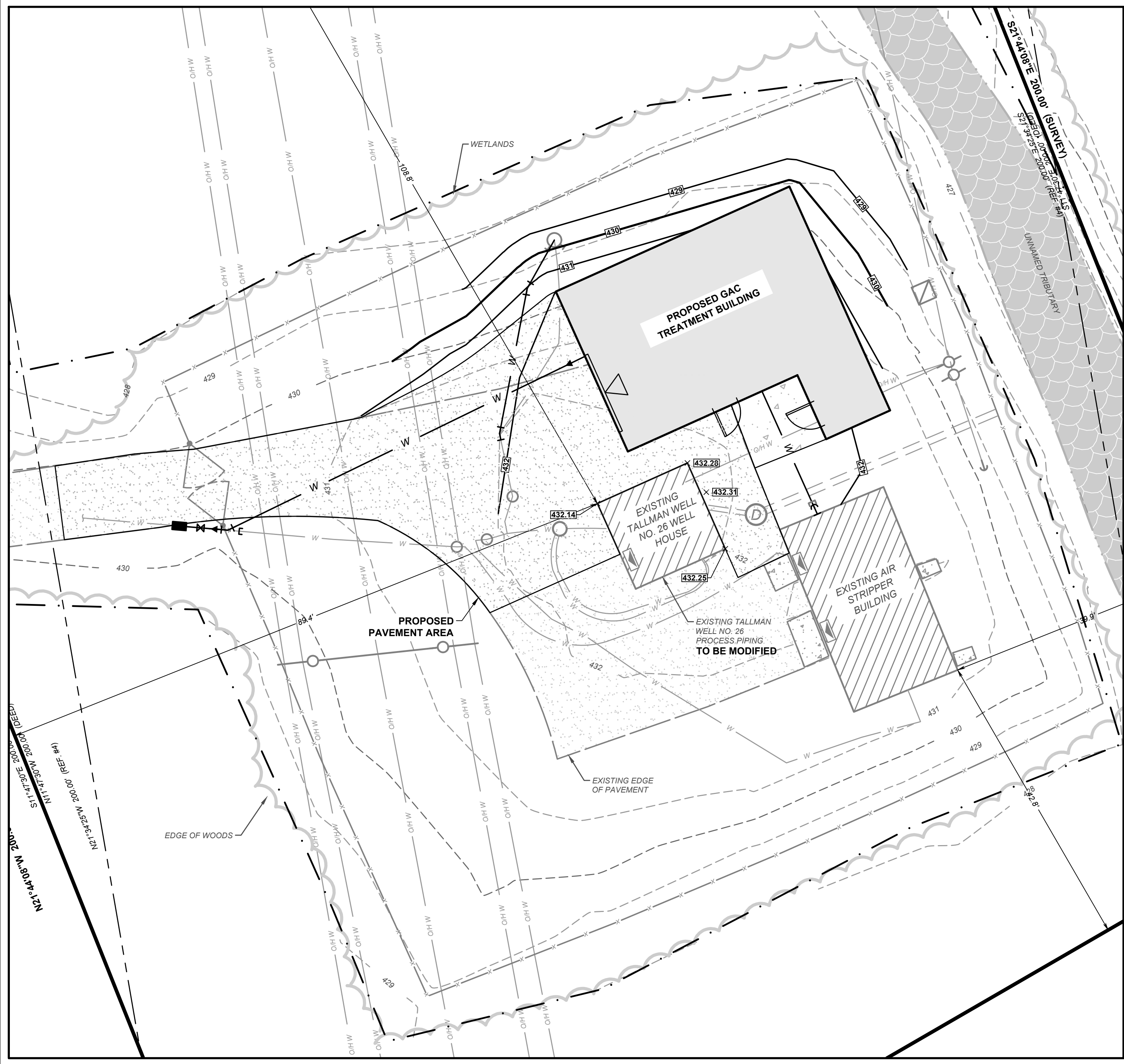
7 Cokesbury Calton Road, Lebanon, NJ 08833 - 973.398.1776
EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

LANDSCAPE AND GRADING PLAN

SCALE: 1" = 10'



SCALE: 1"=10'



**PRELIMINARY SITE PLAN FOR
SUEZ WATER NY PFAS COMPLIANCE
TALLMAN WELL NO. 26
VILLAGE OF AIRMONT, COUNTY OF ROCKLAND, STATE OF NEW YORK**

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

LANDSCAPE & GRADING PLAN

PROJECT NUMBER:

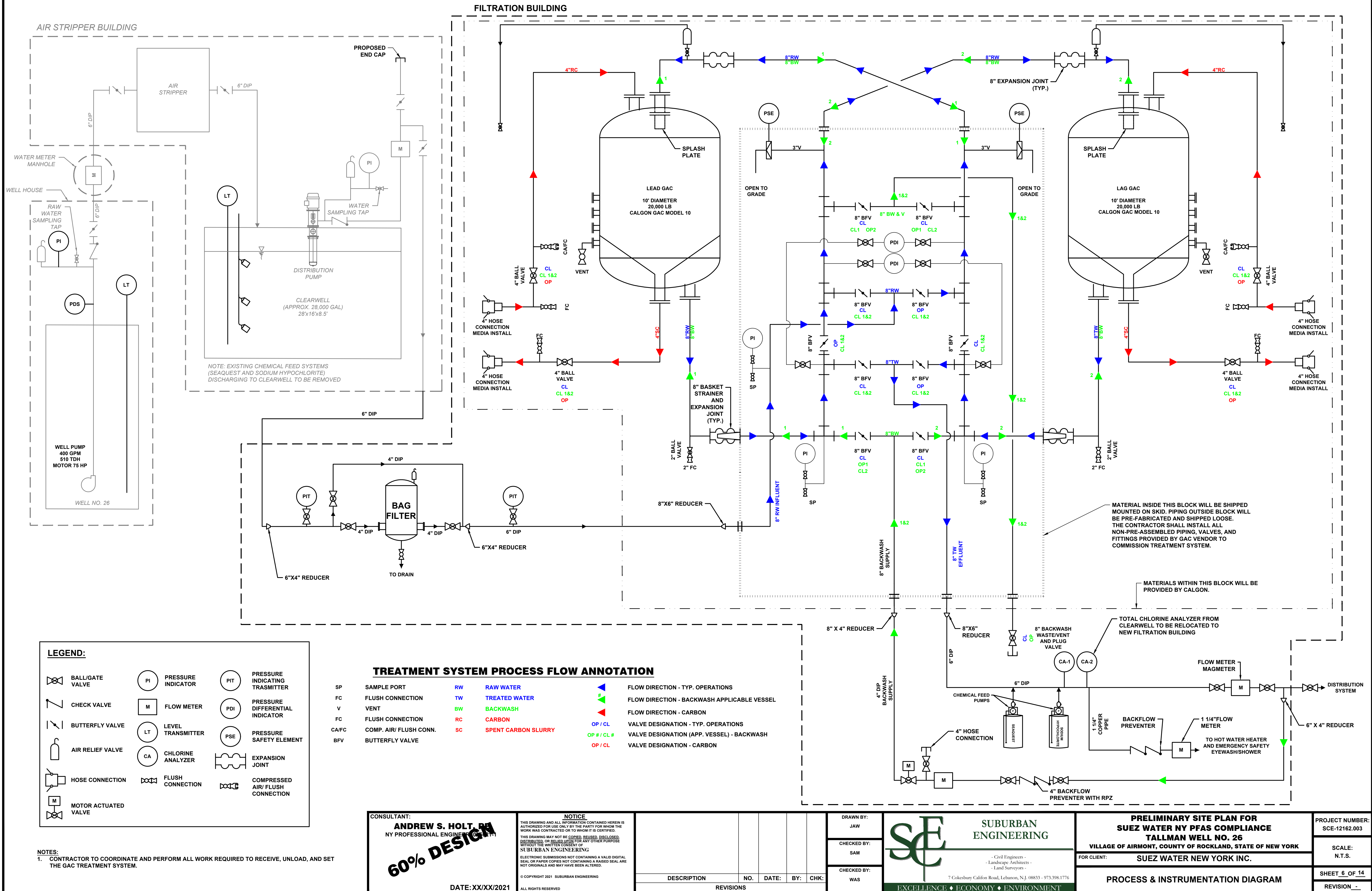
SCE-12162.003

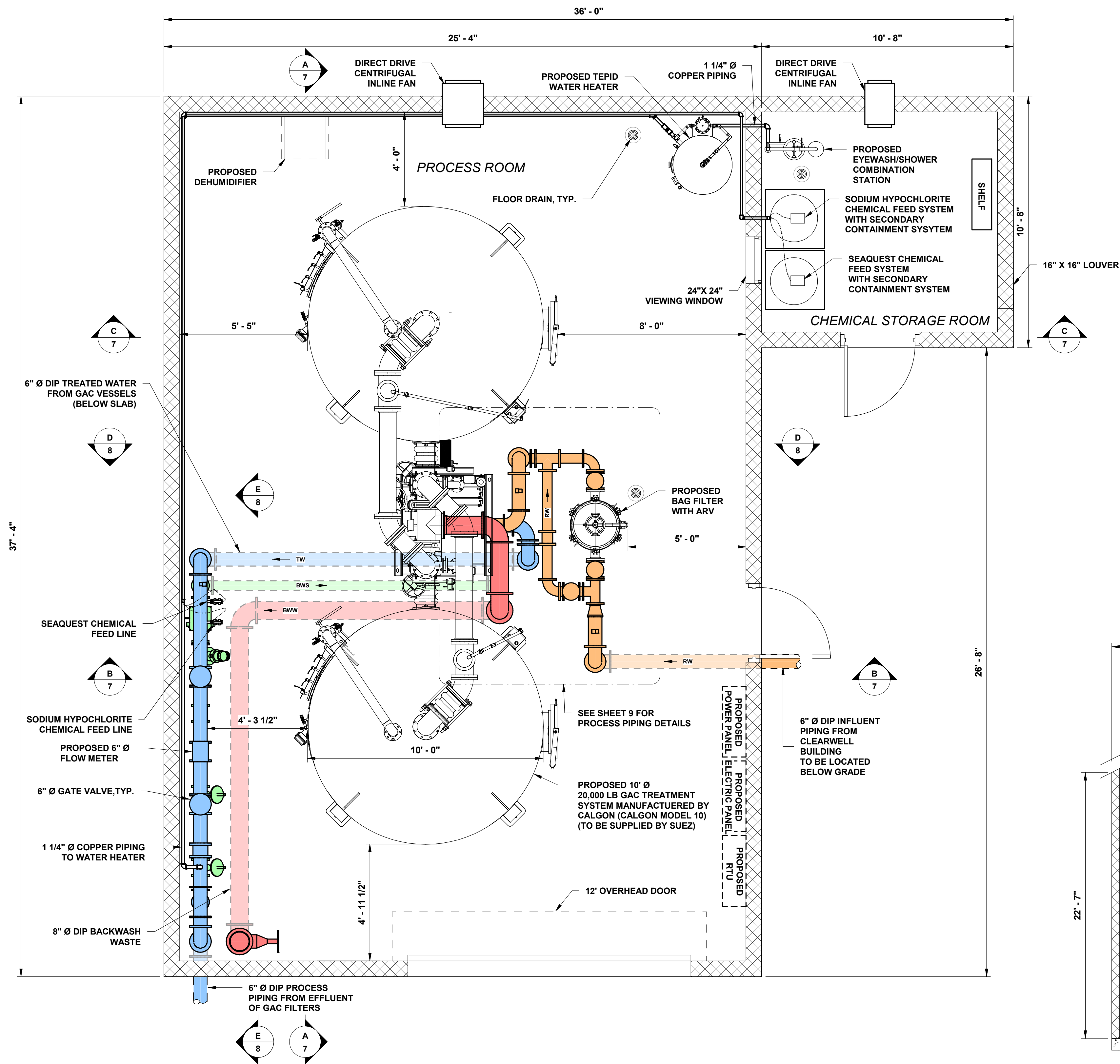
SCALE:

1" = 10'

SHEET 5 OF 14

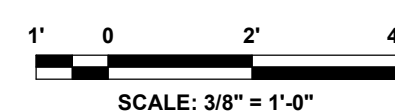
REVISION





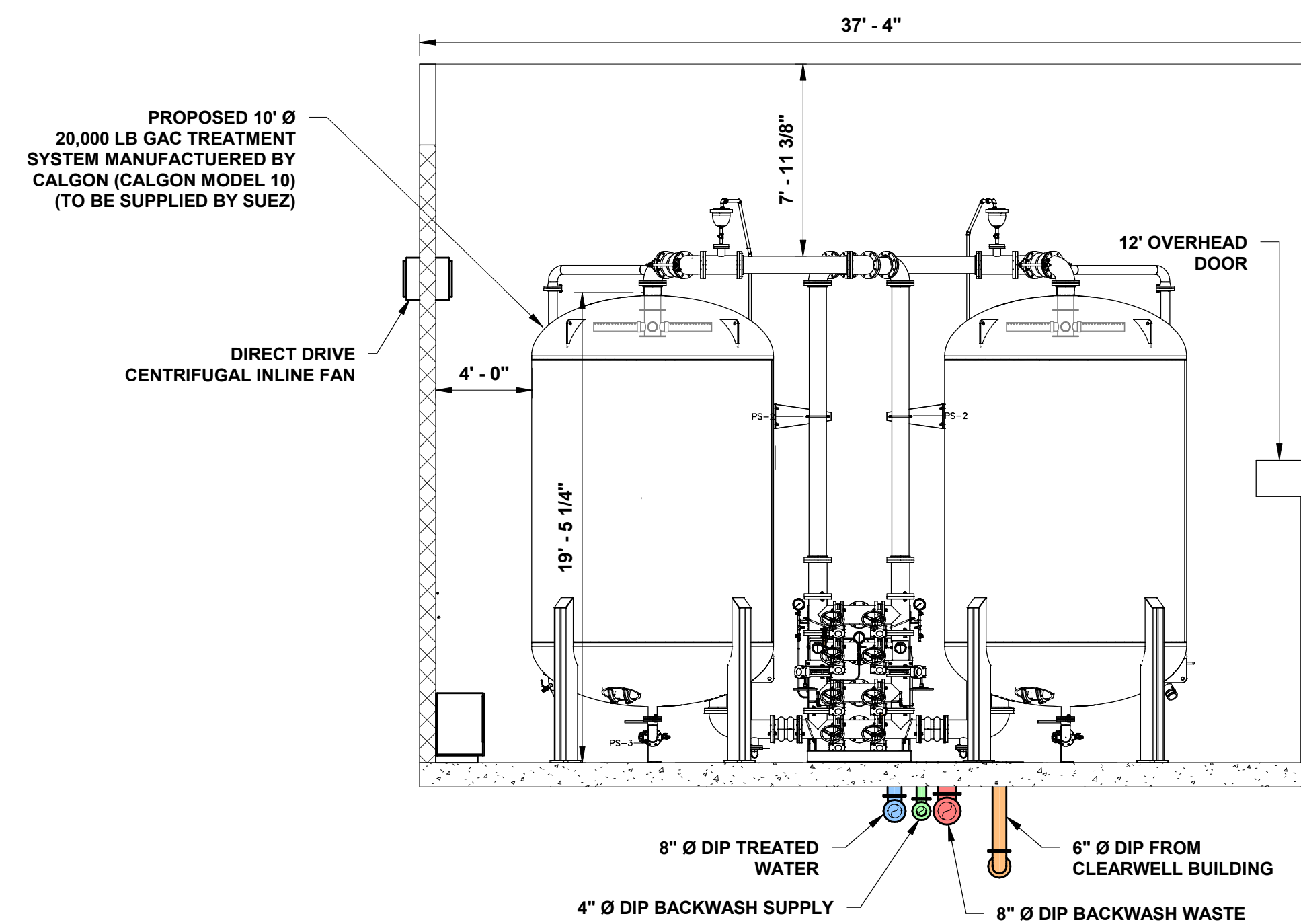
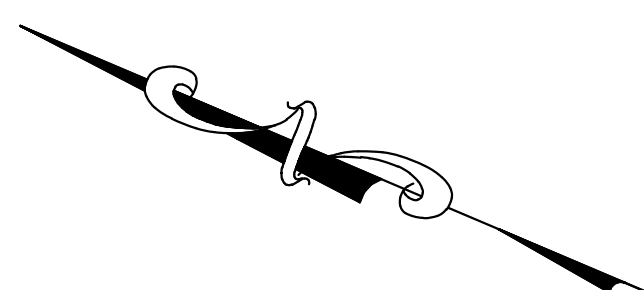
GAC TREATMENT BUILDING PLAN VIEW

SCALE: 3/8" = 1'-0"



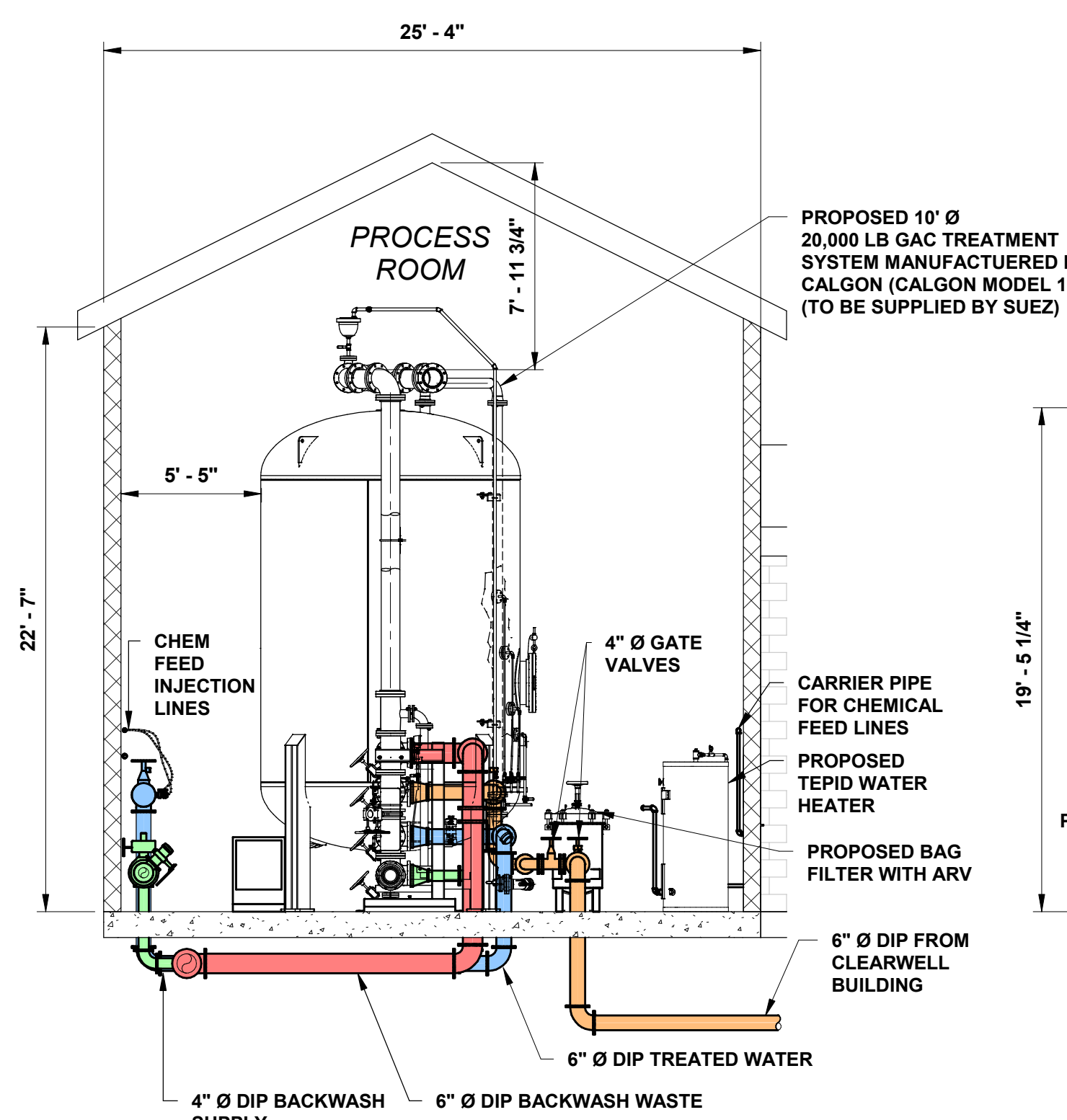
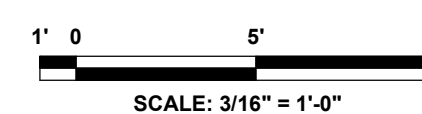
PIPING COLOR LEGEND

- RAW WATER (RW)
- TREATED WATER (TW)
- BACKWASH SUPPLY (BWS)
- BACKWASH WASTE (BWW)



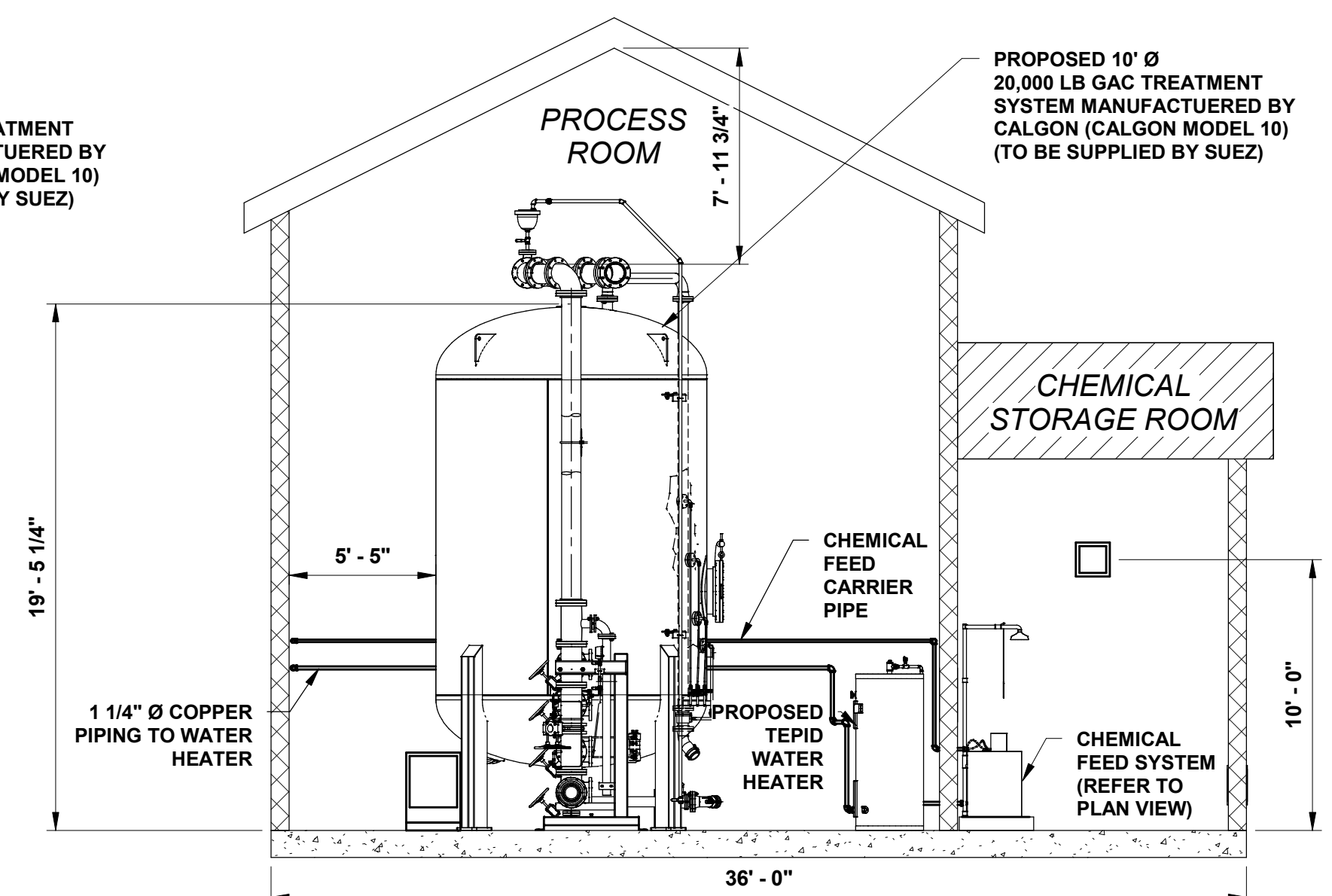
GAC TREATMENT BUILDING SECTION A-A

SCALE: 3/16" = 1'-0"



GAC TREATMENT BUILDING SECTION B-B

SCALE: 3/16" = 1'-0"



GAC TREATMENT BUILDING SECTION C-C

SCALE: 3/16" = 1'-0"

CONSULTANT:
ANDREW S. HOLT
NY PROFESSIONAL ENGINEER NO. 1321-1

60% DESIGN

DATE: XX/XX/2021

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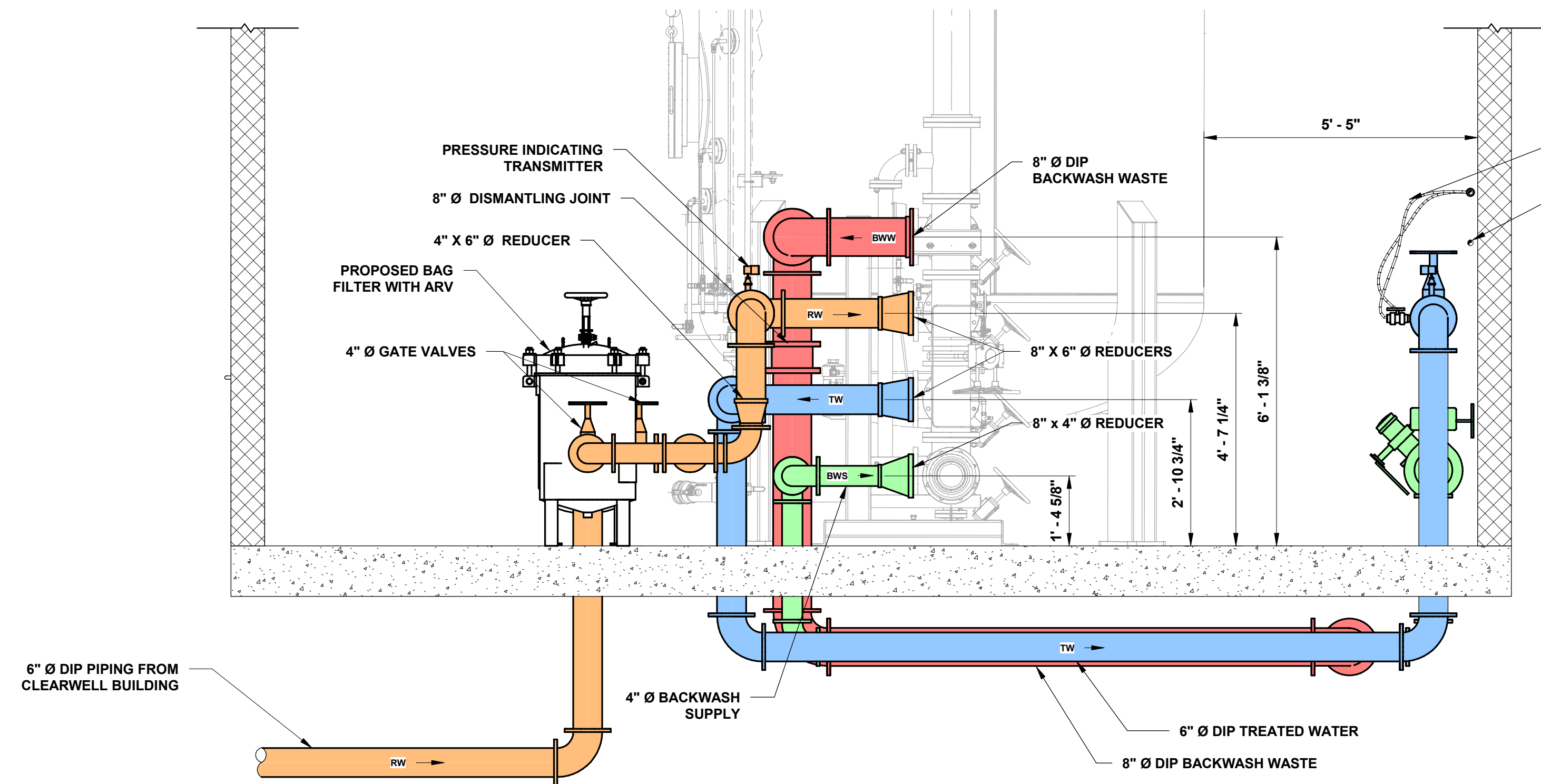
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REVISIONS				

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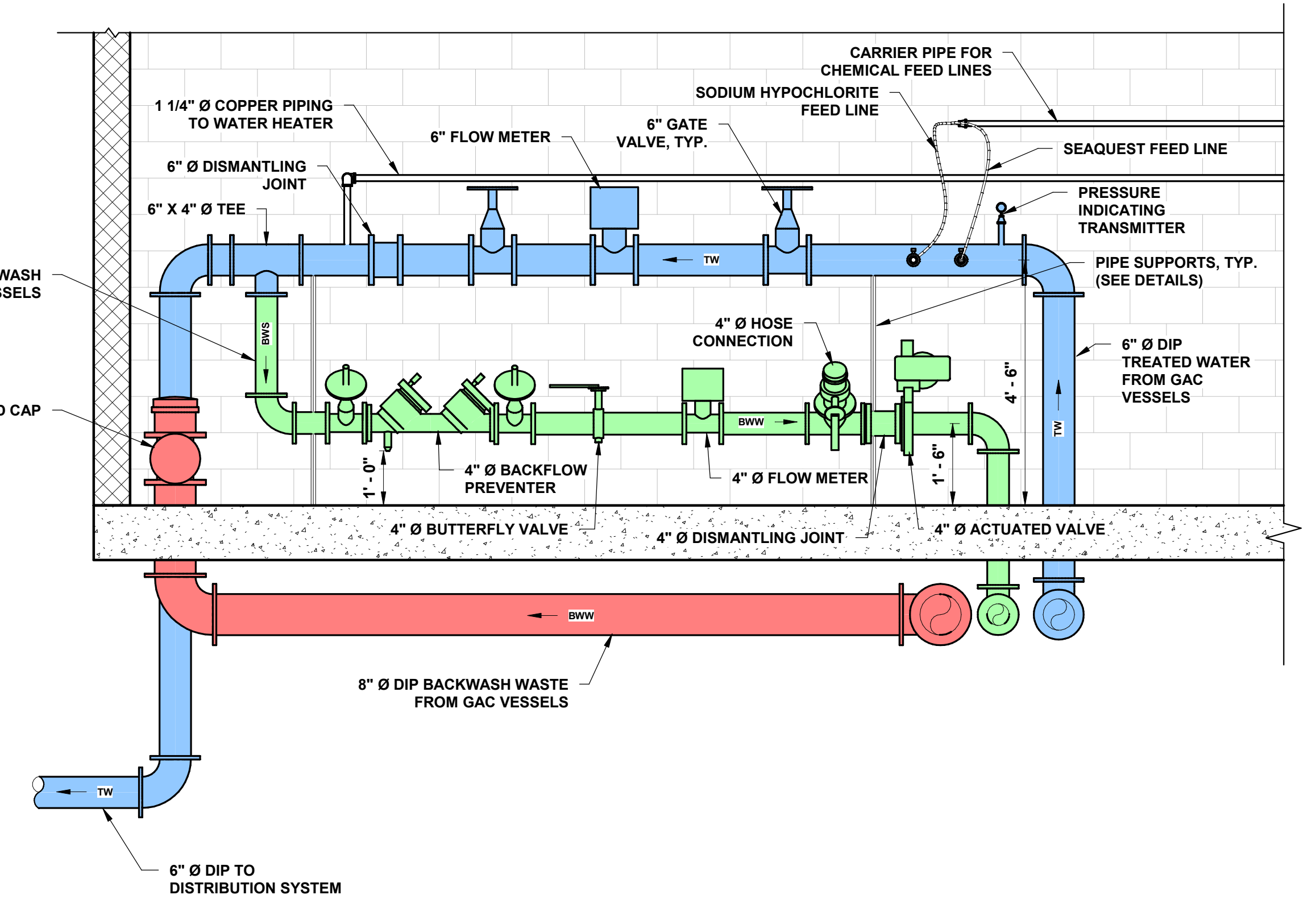
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**PRELIMINARY SITE PLAN FOR
SUEZ WATER NY PFAS COMPLIANCE
TALLMAN WELL NO. 26
VILLAGE OF AIRMONT, COUNTY OF ROCKLAND, STATE OF NEW YORK**
FOR CLIENT: **SUEZ WATER NEW YORK INC.**
GAC TREATMENT BUILDING PLAN AND SECTIONS

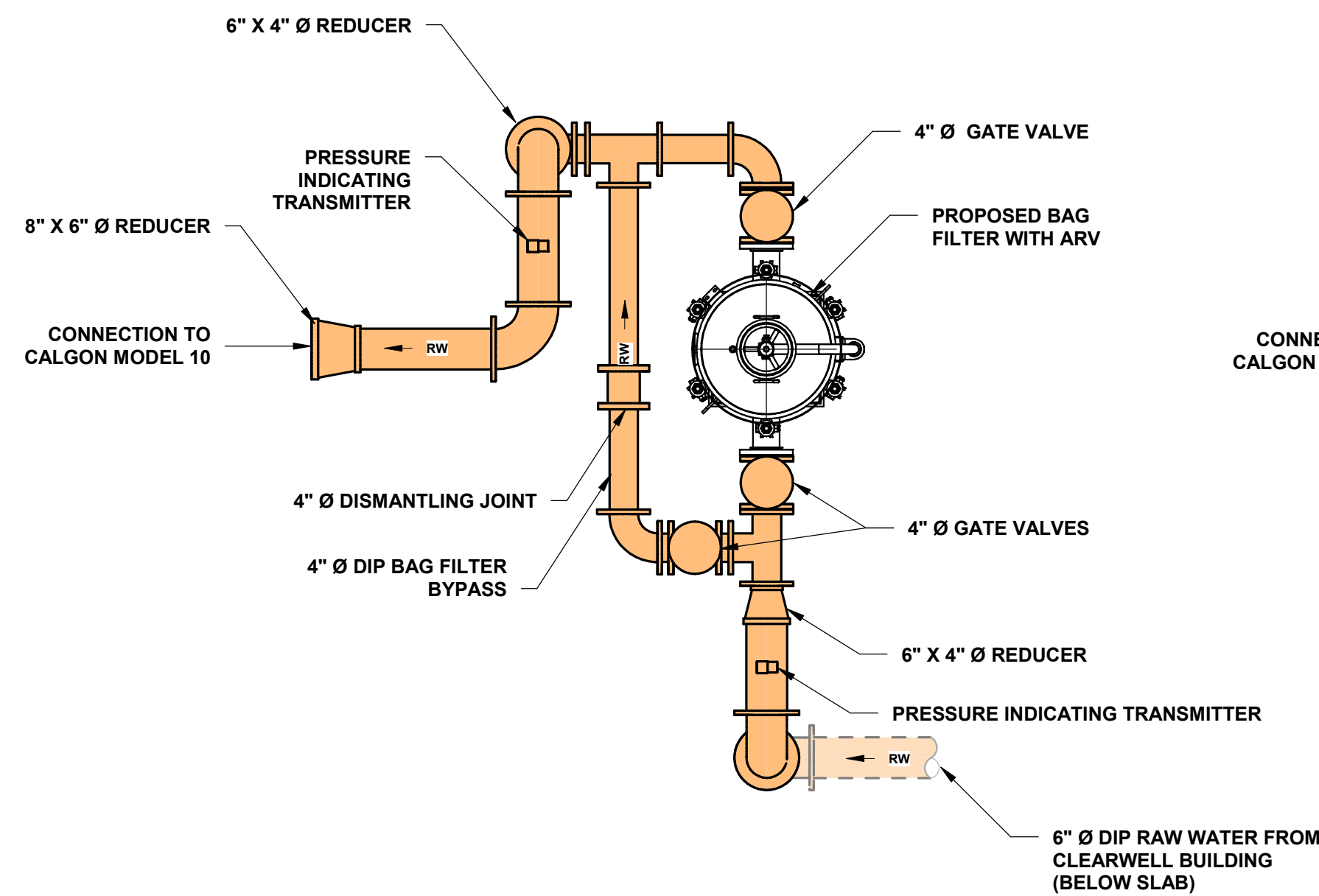
PROJECT NUMBER:
SCE-12162.003
SCALE:
As indicated
SHEET **7** OF **14**
REVISION



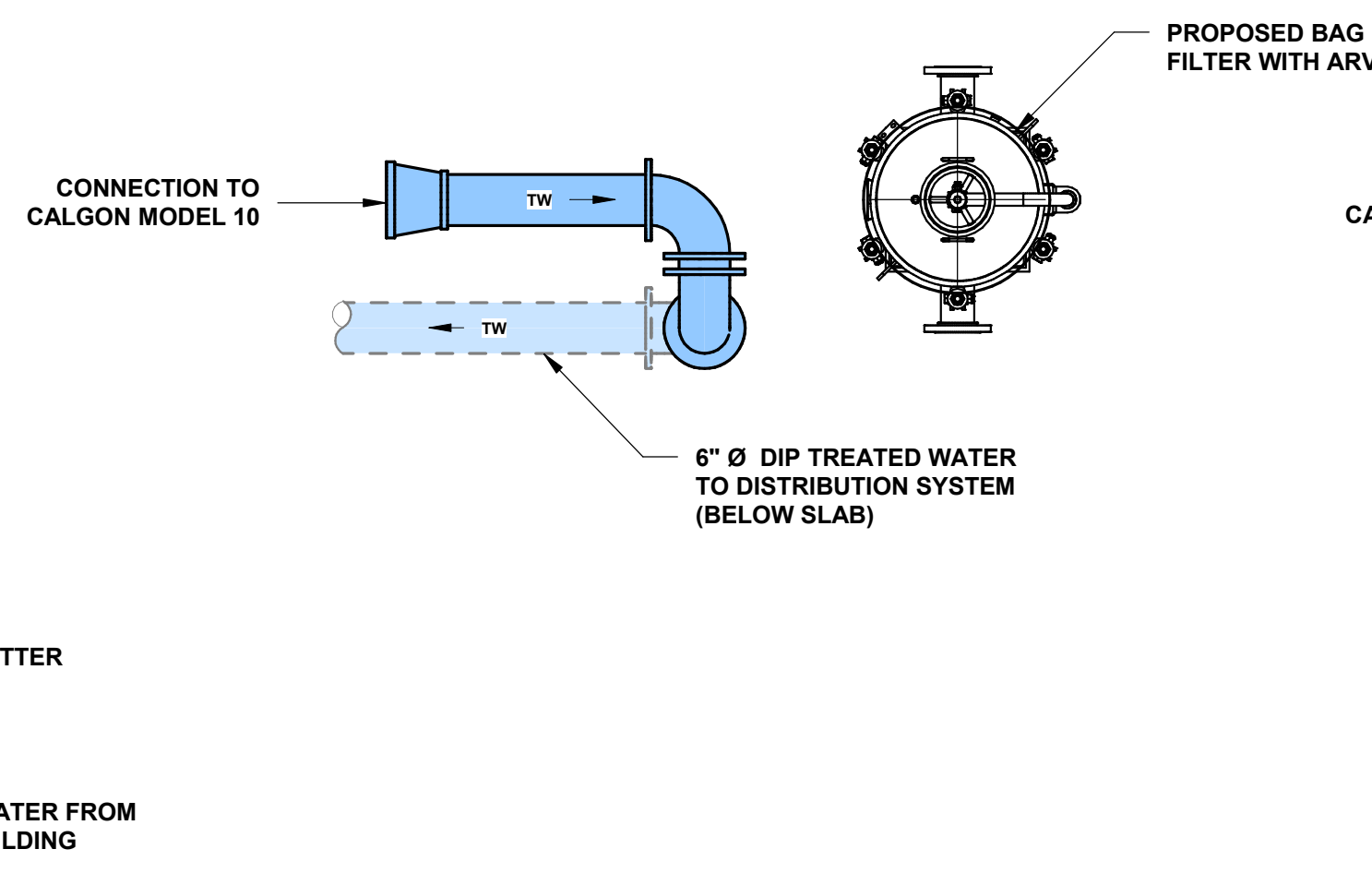
PROCESS PIPING SECTION D-D
SCALE: 1/2" = 1'-0"



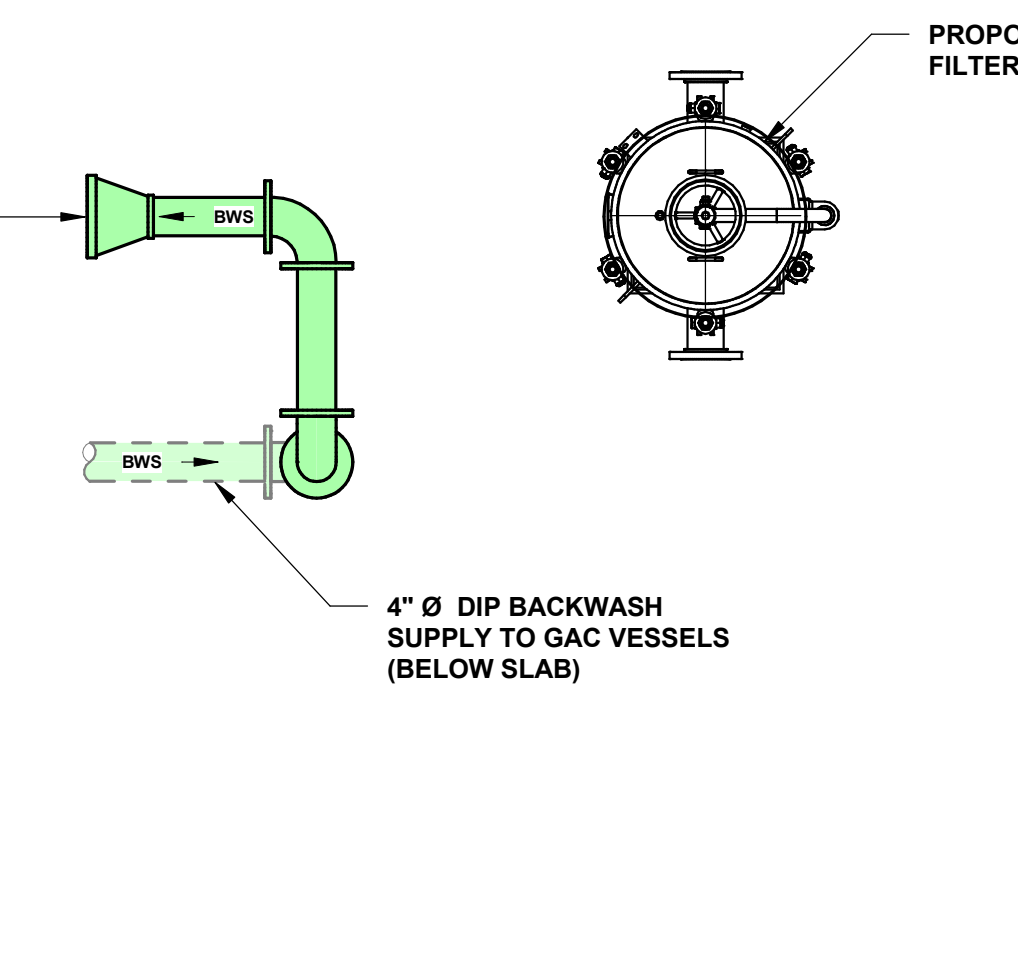
PROCESS PIPING SECTION E-E
SCALE: 1/2" = 1'-0"



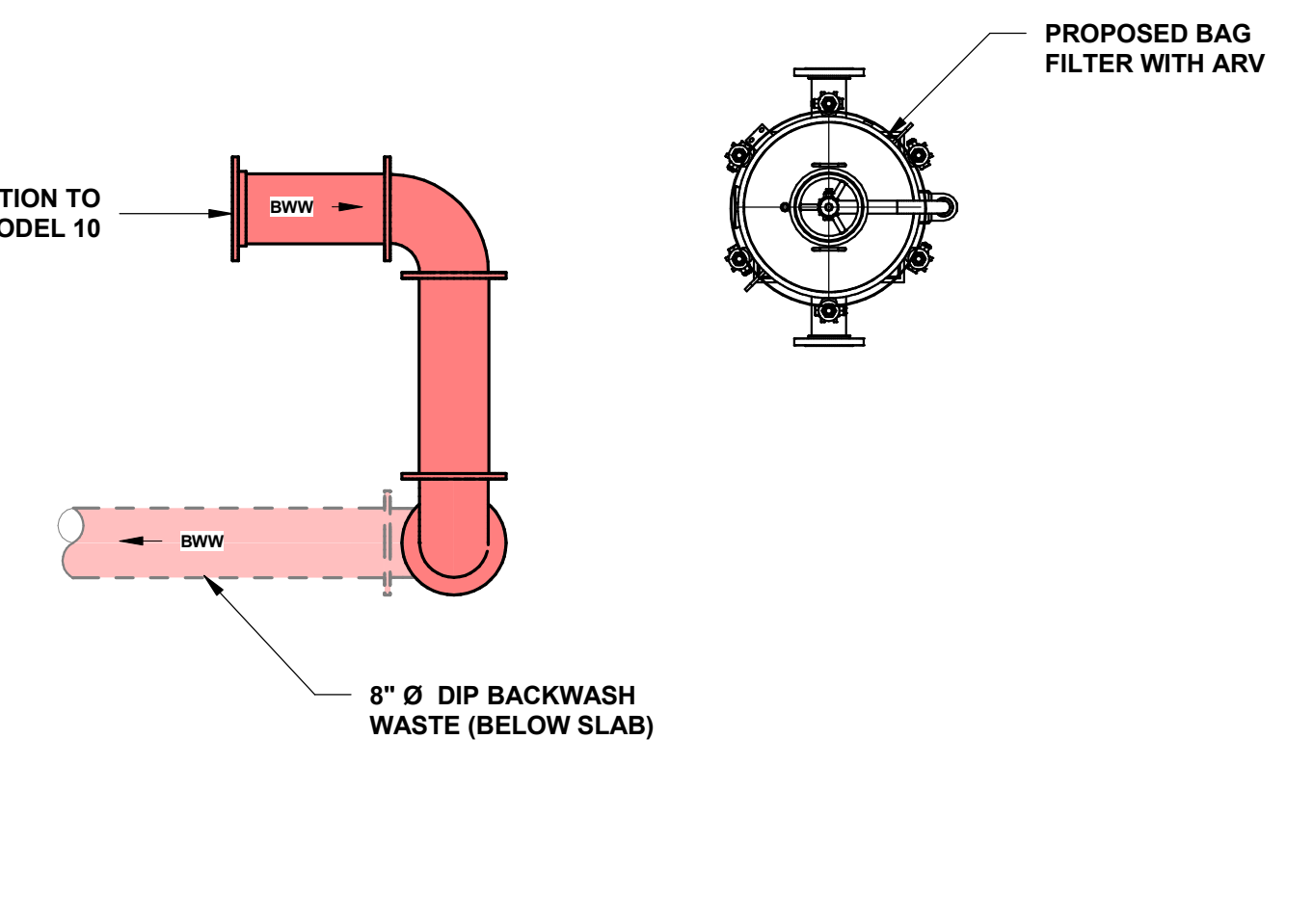
RAW WATER AND BAG FILTER BYPASS PIPING PLAN
SCALE: 1/2" = 1'-0"



TREATED WATER EFFLUENT PIPING PLAN
SCALE: 1/2" = 1'-0"



BACKWASH SUPPLY PIPING PLAN
SCALE: 1/2" = 1'-0"



BACKWASH WASTE PIPING PLAN
SCALE: 1/2" = 1'-0"

PIPING COLOR LEGEND

- RAW WATER (RW)
- TREATED WATER (TW)
- BACKWASH SUPPLY (BWS)
- BACKWASH WASTE (BW)

1' 6" 0 1' 2' 3' 4'
SCALE: 1/2" = 1'-0"

CONSULTANT:
ANDREW S. HOLT
NY PROFESSIONAL ENGINEER
60% DESIGN
DATE: XX/XX/2021

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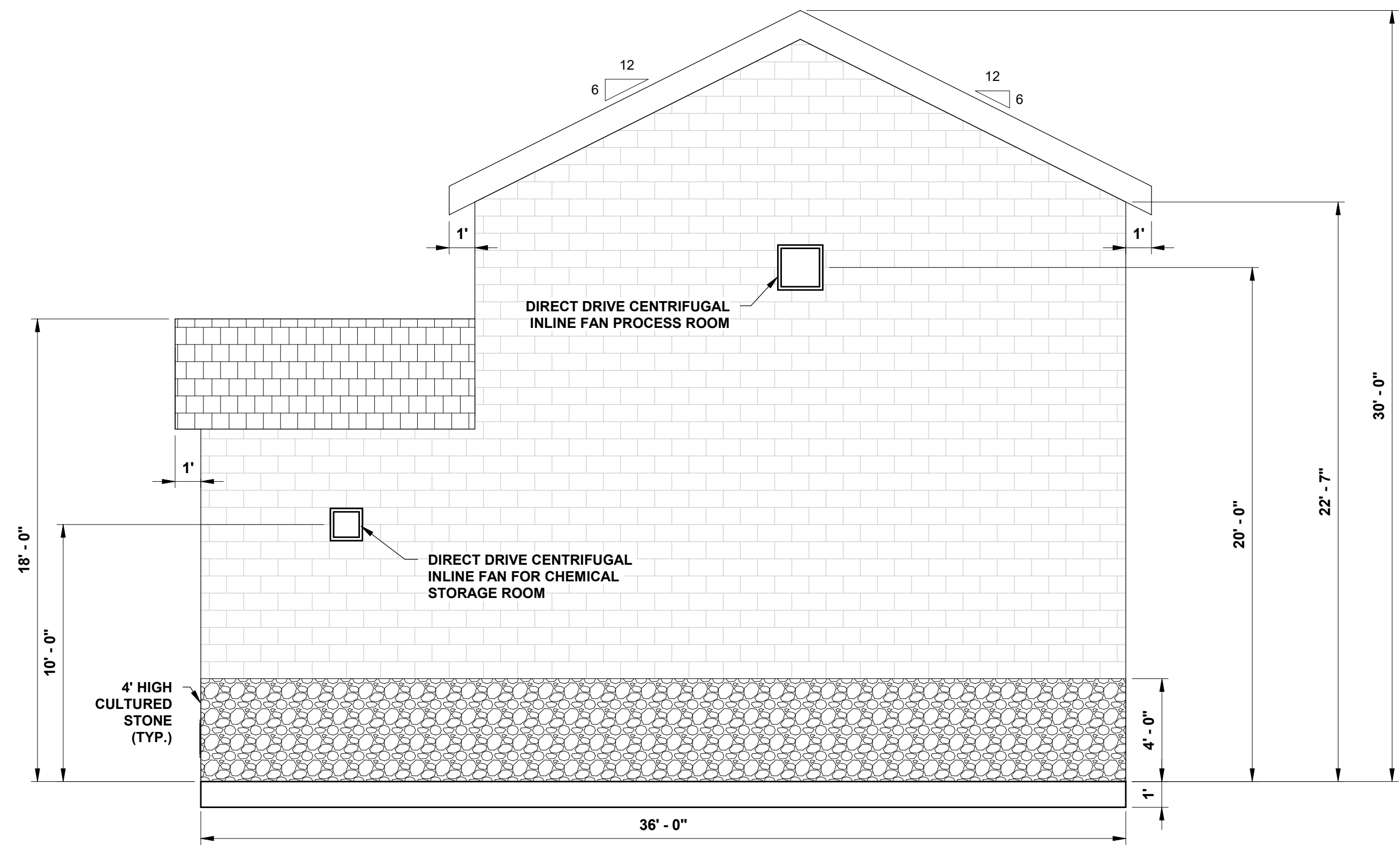
DESCRIPTION	NO.	DATE	BY:	CHK:
REVISIONS				

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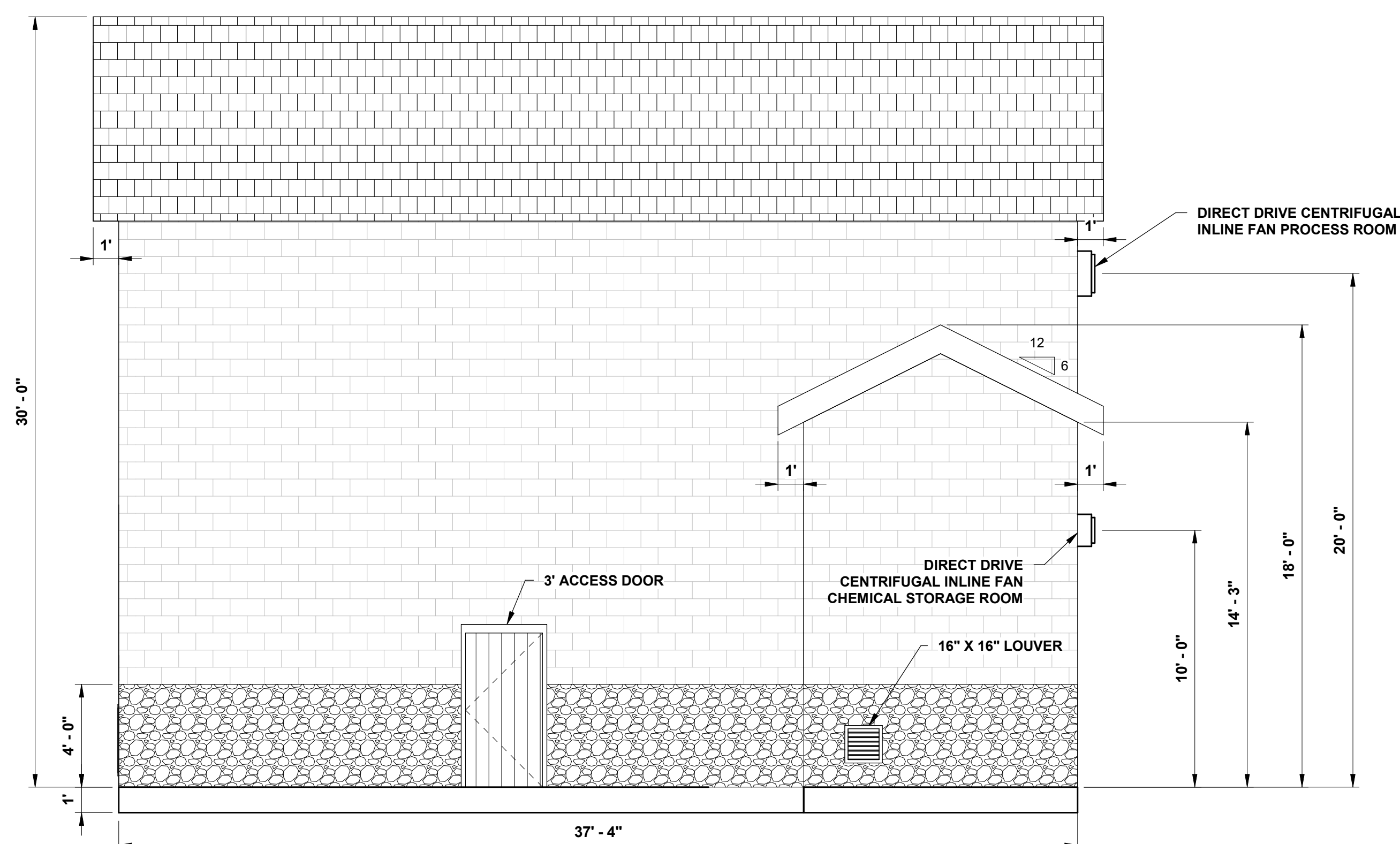
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PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE TALLMAN WELL NO. 26
VILLAGE OF AIRMONT, COUNTY OF ROCKLAND, STATE OF NEW YORK
FOR CLIENT: SUEZ WATER NEW YORK INC.
PROCESS PIPING PLAN AND SECTIONS

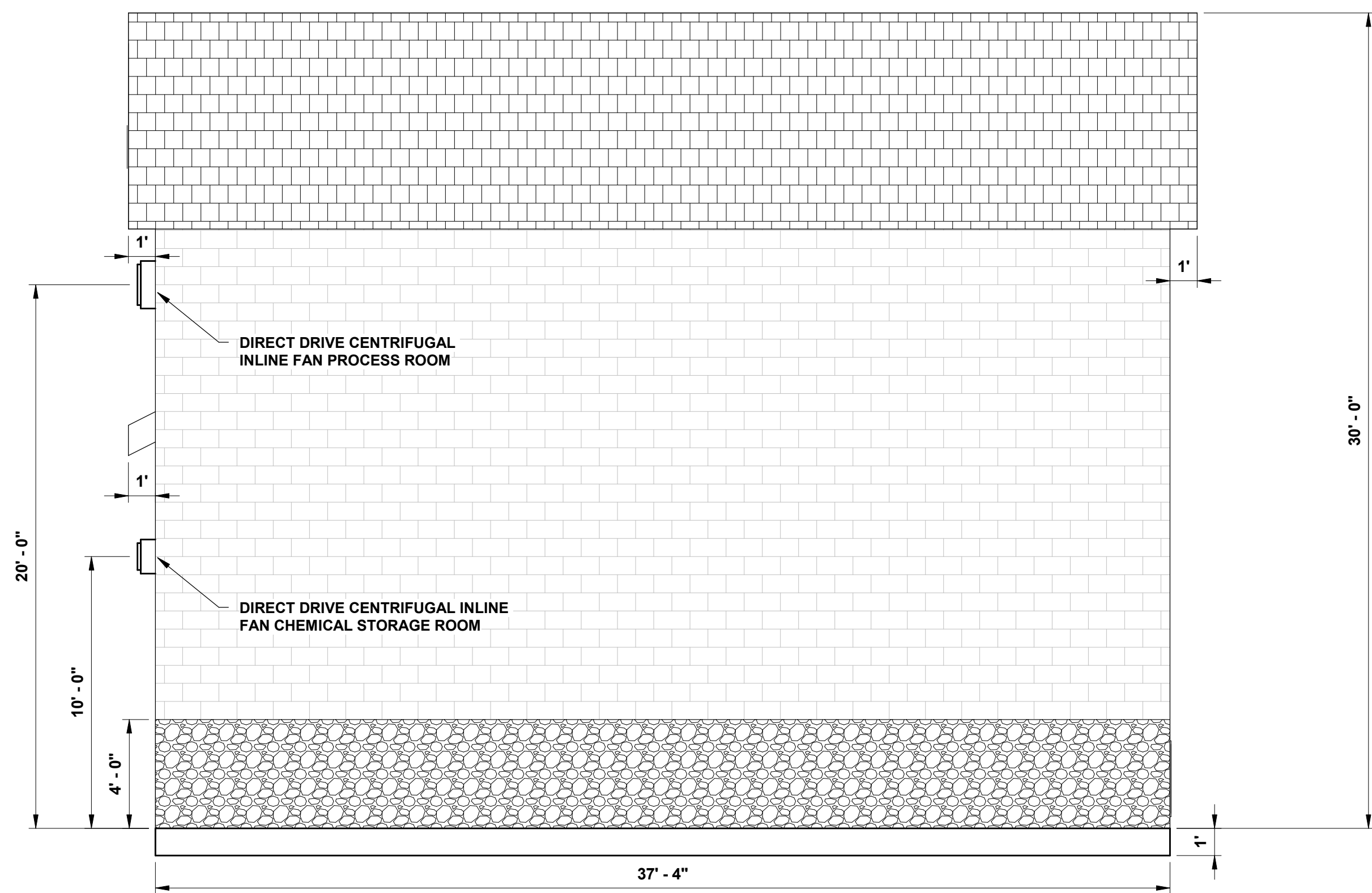
PROJECT NUMBER: SCE-12162.003
SCALE: 1/2" = 1'-0"
SHEET 8 OF 14
REVISION



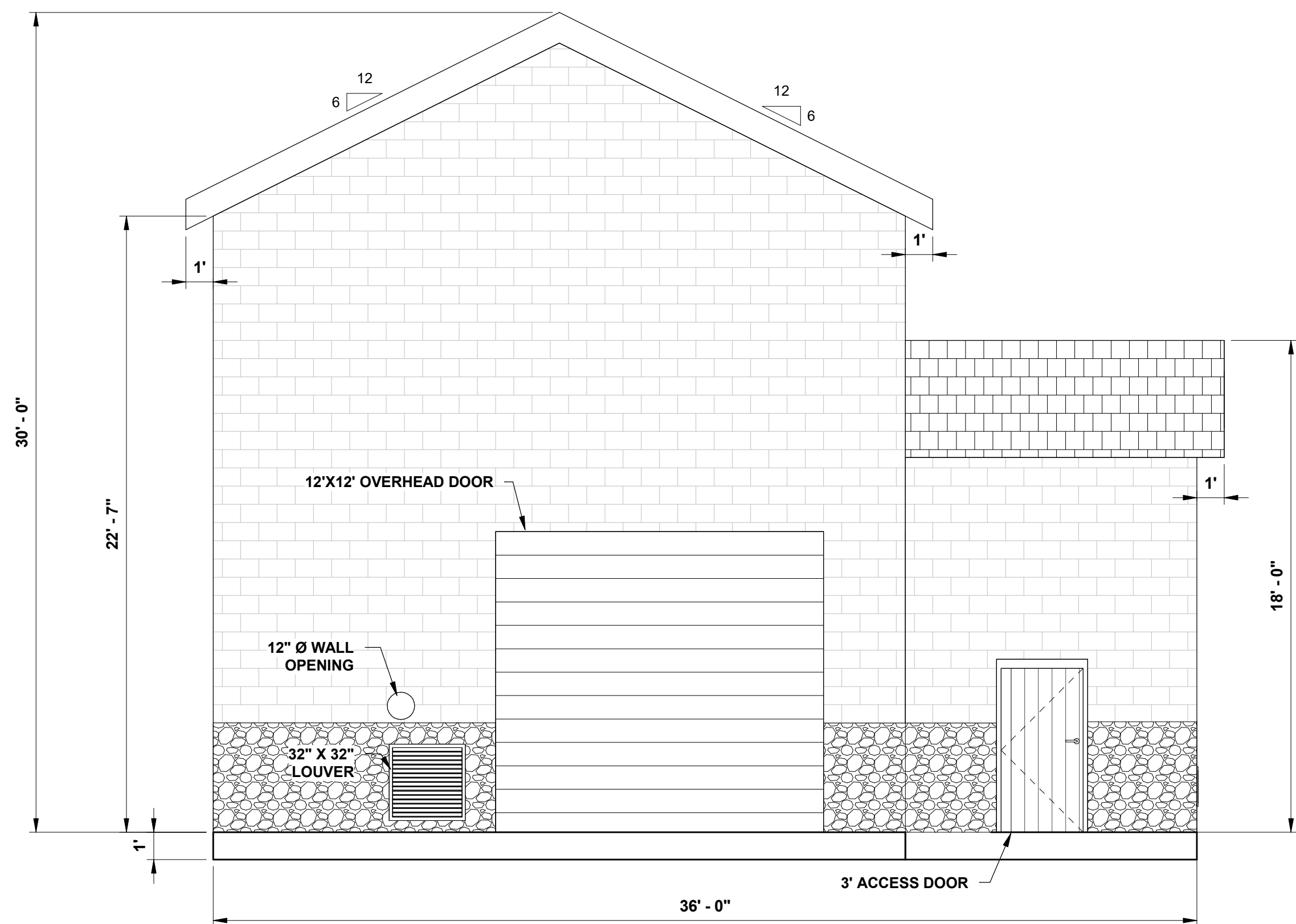
NORTH ELEVATION VIEW
SCALE: 1/4" = 1'-0"



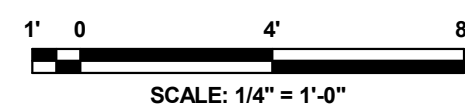
WEST ELEVATION VIEW
SCALE: 1/4" = 1'-0"



EAST ELEVATION VIEW
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION VIEW
SCALE: 1/4" = 1'-0"



CONSULTANT:
ANDREW S. HOLT
NY PROFESSIONAL ENGINEER NO. 21-1


60% DESIGN

DATE:XX/XX/2021

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**PRELIMINARY SITE PLAN FOR
SUEZ WATER NY PFAS COMPLIANCE
TALLMAN WELL NO. 26
VILLAGE OF AIRMONT, COUNTY OF ROCKLAND, STATE OF NEW YORK**

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

GAC TREATMENT BUILDING ELEVATION VIEWS

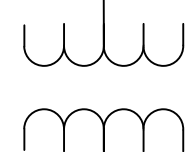
PROJECT NUMBER:
SCE-12162.003

SCALE:
1/4" = 1'-0"

SHEET **9** OF **14**

REVISION

400AF	CIRCUIT BREAKER
400AT	FRAME AND TRIP 512
HTR	SPACE HEATER
LP	LIGHTING PANEL
CT	CURRENT TRANSFORMER



TRANSFORMER

FUSE

DISCONNECT SWITCH

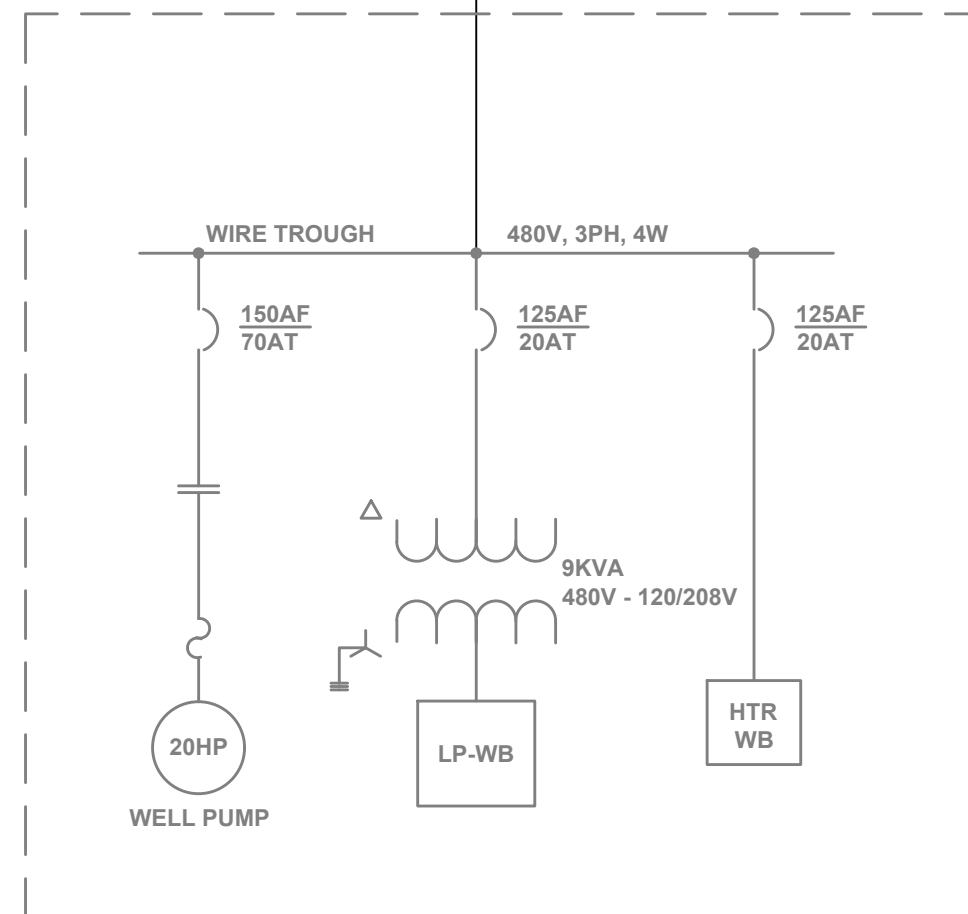
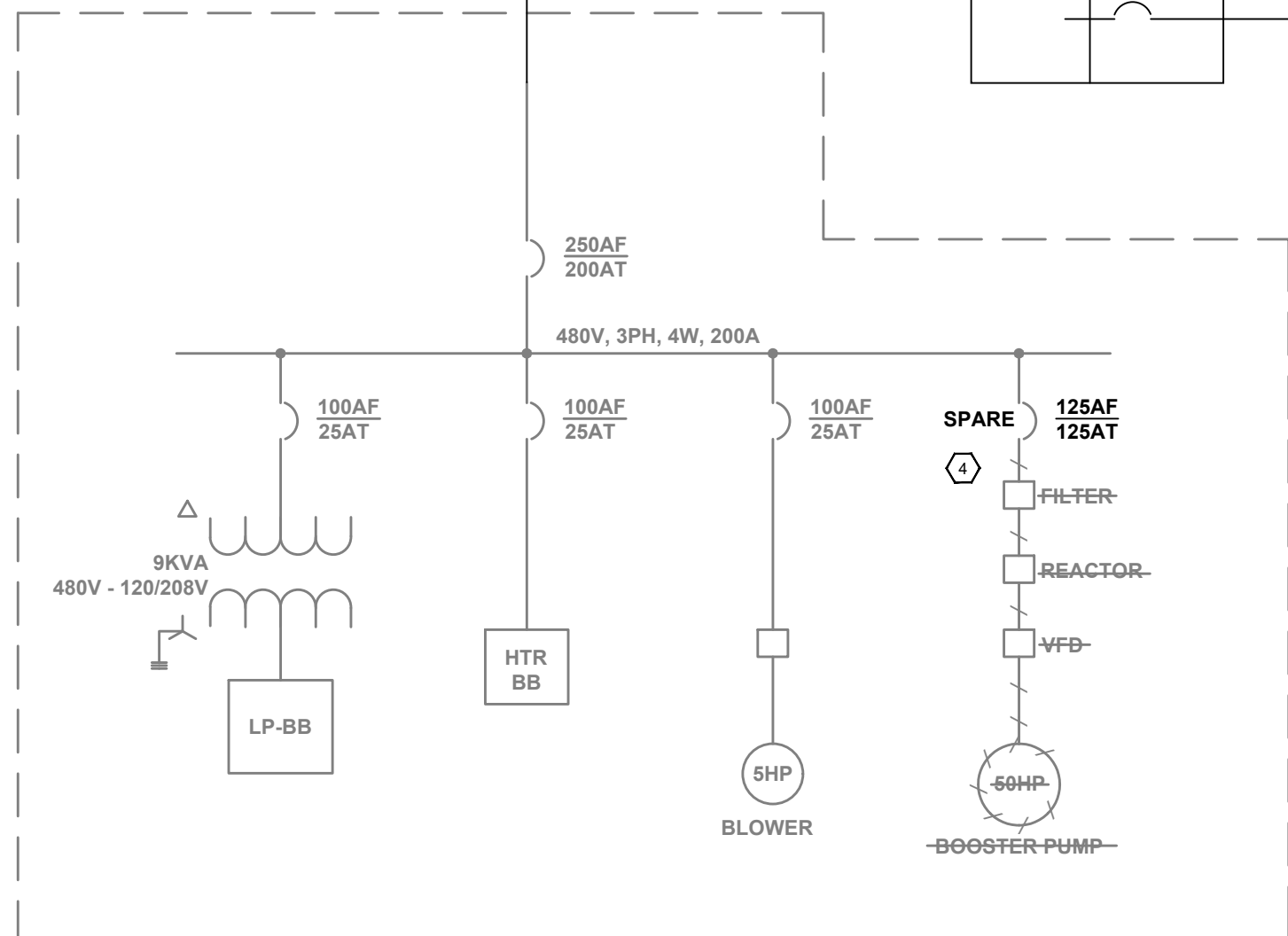
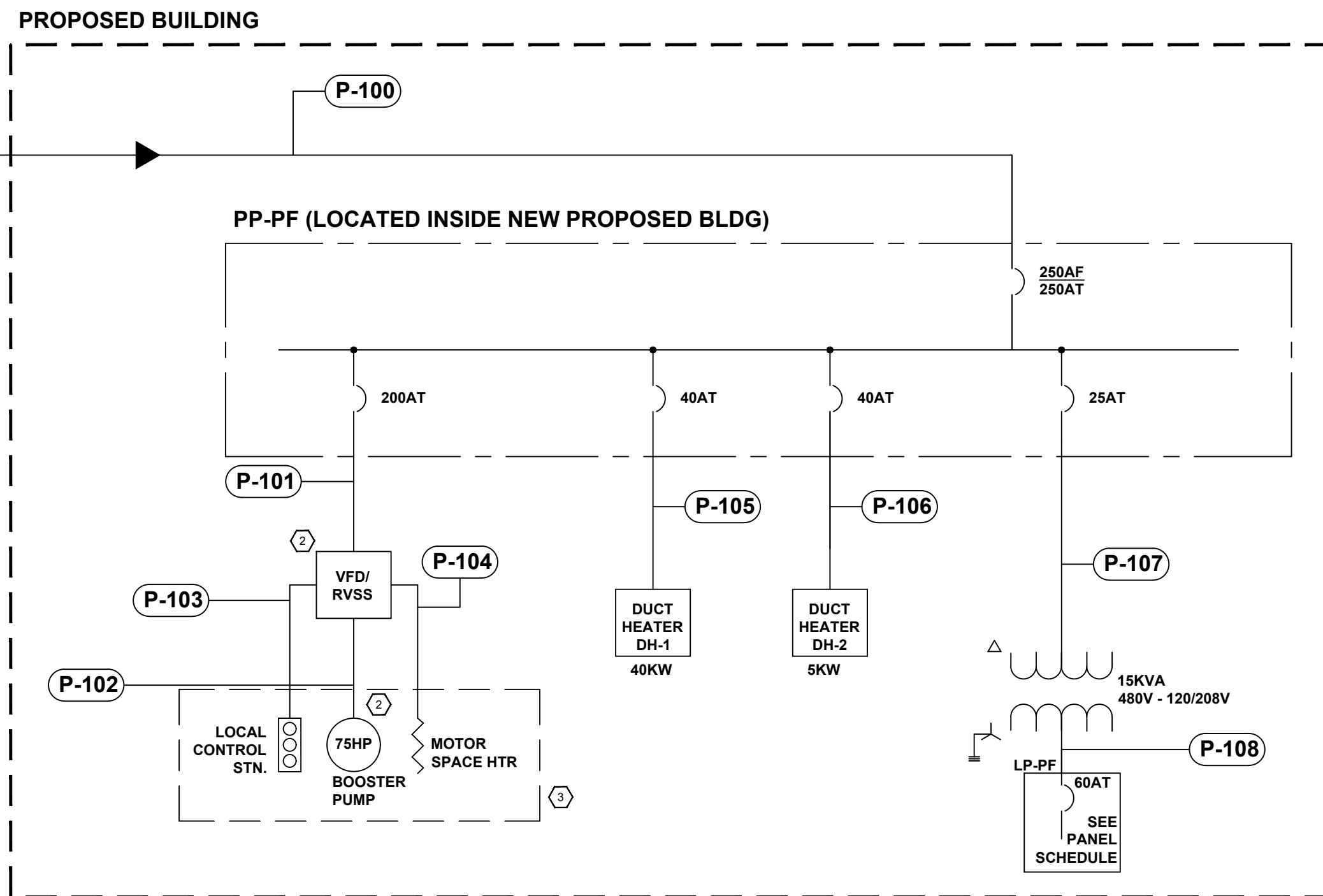
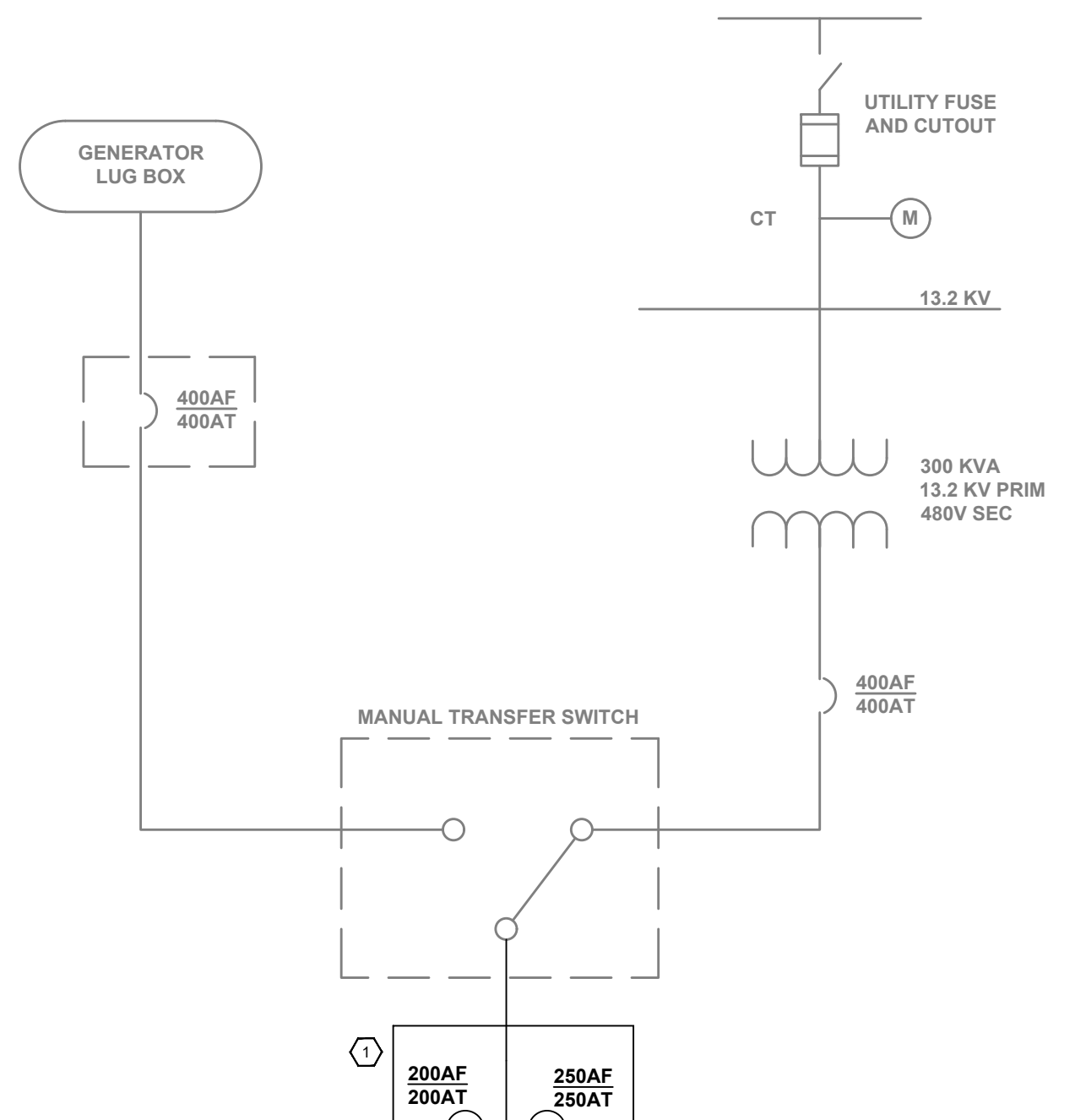
REVENUE METER



EMERGENCY LIGHT

 **EMERGENCY LIGHTS & EXIT
SIGN COMBINATION**

CIRCUIT BREAKER



KEY NOTES:

- ① INSTALL NEMA-3R, 400A, 3PH, 4W PANEL CONSISTING OF BRANCH BREAKERS AS SHOWN IN THE DRAWING.
- ② VFD/RVS LOCATED INSIDE NEW FILTRATION BUILDING.
- ③ BOOSTER PUMP IS LOCATED INSIDE EXISTING BOOSTER PUMP BUILDING.
- ④ REMOVE & DISCARD ALL EXISTING VFD & RELATED ITEMS. TAG CIRCUIT BREAKER AS SPARE.

GENERAL NOTES:

1. ALL NEW PANELS AND CIRCUIT BREAKERS MUST MEET OR EXCEED EXISTING SHORT CIRCUIT RATINGS.

HVAC SCHEDULE		
ITEM NAME	VOLTAGE	DESCRIPTION
DH-1	480V	3PH, 40KW MAIN ROOM DUCT HEATER
DH-1 INTAKE FAN	208V	1PH, MAIN ROOM DUCT HEATER INTAKE FAN
DH-2	480V	3PH, 5KW CHEMICAL ROOM DUCT HEATER
DH-2 INTAKE FAN	115V	1PH, CHEMICAL ROOM DUCT HEATER INTAKE FAN

TALLMAN WELL STATION SCADA SYSTEM I/O LIST							
No.	DESCRIPTION	WIRE NUMBER & SIZE	DIGITAL		ANALOG		
			INPUT	OUTPUT	INPUT	OUTPUT	
1	TALLMAN PRESSURE (DISCHARGE)	T/S			1		
2	WELL 26 CLEARWELL AND DISCHARGE FLOWS (DISCHARGE)	(2) #14 THHN			1		
3	BOOSTER PUMP BP-1 FAULT	(2) #14 THHN	1				
4	BOOSTER PUMP BP-1 RUNNING	(2) #14 THHN	1				
5	BOOSTER PUMP BP-1 HOA IN AUTO	(2) #14 THHN	1				
6	BOOSTER PUMP BP-1 SPEED	T/S			1		
7	BOOSTER PUMP BP-1 CALLED FOR	(2) #14 THHN	1				
8	BOOSTER PUMP BP-1 SPEED CONTROL	T/S				1	
9	BOOSTER PUMPS DISCHARGE FLOW RATE	T/S			1		
10	HIGH DISCHARGE PRESSURE	(2) #14 THHN	1				
11	REPLACE AIR FILTERS	(2) #14 THHN	1				
12	BLOWER MECHANICAL FAILURE	(2) #14 THHN	1				
13	CLEARWELL LOW LEVEL	(2) #14 THHN	1				
14	CLEARWELL HIGH LEVEL	(2) #14 THHN	1				
15	BLOWER AIR FLOW	T/S			1		
16	WELL PUMP WP-1 FAULT	(2) #14 THHN	1				
17	WELL PUMP WP-1 RUNNING	(2) #14 THHN	1				
18	WELL PUMP WP-1 HOA IN AUTO	(2) #14 THHN	1				
19	WELL PUMP WP-1 SPEED	T/S			1		
20	WELL PUMP WP-1 CALLED FOR	(2) #14 THHN	1				
21	WELL PUMP WP-1 SPEED CONTROL	T/S				1	
22	WELL LEVEL WL-1	T/S			1		
23	BAG FILTER CF-1 INLET PRESSURE	(2) #14 THHN	1				
24	BAG FILTER CF-1 OUTLET PRESSURE	(2) #14 THHN	1				
25	BAG FILTER BY-PASS STATUS	(2) #14 THHN	1				
26	GAC FILTER GF-1 INLET PRESSURE	(2) #14 THHN	1				
27	GAC FILTER GF-1 OUTLET PRESSURE	(2) #14 THHN	1				
28	GAC FILTER GF-2 INLET PRESSURE	(2) #14 THHN	1				
29	GAC FILTER GF-2 OUTLET PRESSURE	(2) #14 THHN	1				
30	GAC FILTER CF-1 INLET VALVE STATUS	(2) #14 THHN	1				
31	GAC FILTER CF-2 INLET VALVE STATUS	(2) #14 THHN	1				
32	CHEMICAL FEED PUMP CFP-1 FAULT	(2) #14 THHN	1				
33	CHEMICAL FEED PUMP CFP-1 RUNNING	(2) #14 THHN	1				
34	CHEMICAL FEED PUMP CFP-1 HOA IN AUTO	(2) #14 THHN	1				
35	CHEMICAL FEED PUMP CFP-1 SPEED	T/S			1		
36	CHEMICAL FEED PUMP CFP-1 CALLED FOR	(2) #14 THHN	1				
37	CHEMICAL FEED PUMP CFP-1 SPEED CONTROL	T/S				1	
38	CHEMICAL FEED PUMP CFP-1 DISCHARGE FLOW RATE	T/S			1		
39	CHEMICAL FEED PUMP CFP-2 FAULT	(2) #14 THHN	1				
40	CHEMICAL FEED PUMP CFP-2 RUNNING	(2) #14 THHN	1				
41	CHEMICAL FEED PUMP CFP-2 HOA IN AUTO	(2) #14 THHN	1				
42	CHEMICAL FEED PUMP CFP-2 SPEED	T/S			1		
43	CHEMICAL FEED PUMP CFP-2 CALLED FOR	(2) #14 THHN	1				
44	CHEMICAL FEED PUMP CFP-2 SPEED CONTROL	T/S				1	
45	CHEMICAL FEED PUMP CFP-2 DISCHARGE FLOW RATE	T/S			1		
46	CHLORINE ANALYZER CA-1 READING	T/S					
47	CHLORINE ANALYZER CA-2 READING	T/S					
48	POWER FAIL	NONE	1				
49	BUILDING INTRUSION ALARM BI-1	(2) #14 THHN	1				
50	BUILDING INTRUSION ALARM BI-2	(2) #14 THHN	1				
51	BUILDING INTRUSION ALARM BI-3	(2) #14 THHN	1				
52	BUILDING INTRUSION ALARM BI-4	(2) #14 THHN	1				
53	BUILDING INTRUSION ALARM BI-5	(2) #14 THHN	1				
54	BUILDING INTRUSION ALARM BI-6	(2) #14 THHN	1				
55	BACKWASH MODULATED VALVE				1		
56	EYEWASH ALERT	(2) #14 THHN	1				
57	FLOW SWITCH	(2) #14 THHN	1				
TOTAL MINIMUM TO BE PROVIDED W/ SPARE POINTS (20% MIN)			TOTAL	42	5	17	5
NOTE: T/S = TWISTED SHIELDED							

SCADA SYSTEM I/O LIST

DUCT HEATER DH-1

HEATER INTAKE FAN

PROPOSED HEATER FAN CONTROLLER

PROPOSED DH-1 DISCONNECT SWITCH

PROPOSED HEATER FAN CONTROLLER

HEATER INTAKE FAN

DUCT HEATER DH-2

CHEMICAL ROOM

PROPOSED DH-2 DISCONNECT SWITCH

PROPOSED INDOOR LIGHTING

FLOOR DRAINS, TYP.

PROPOSED OUTDOOR LIGHTING

PROPOSED POWER PANEL

PROPOSED RTU


PROPOSED GARAGE DOOR

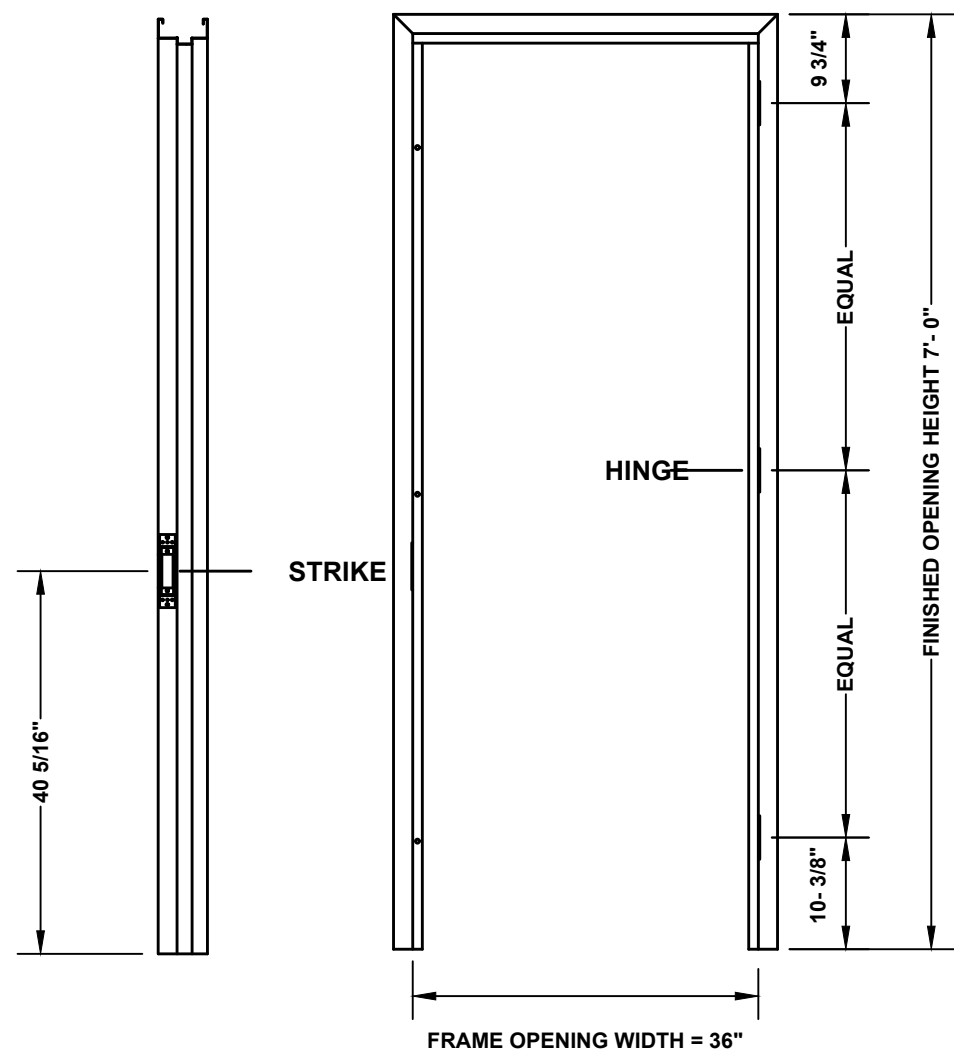
ELECTRICAL FLOOR PLAN

SCALE 1" = 10'

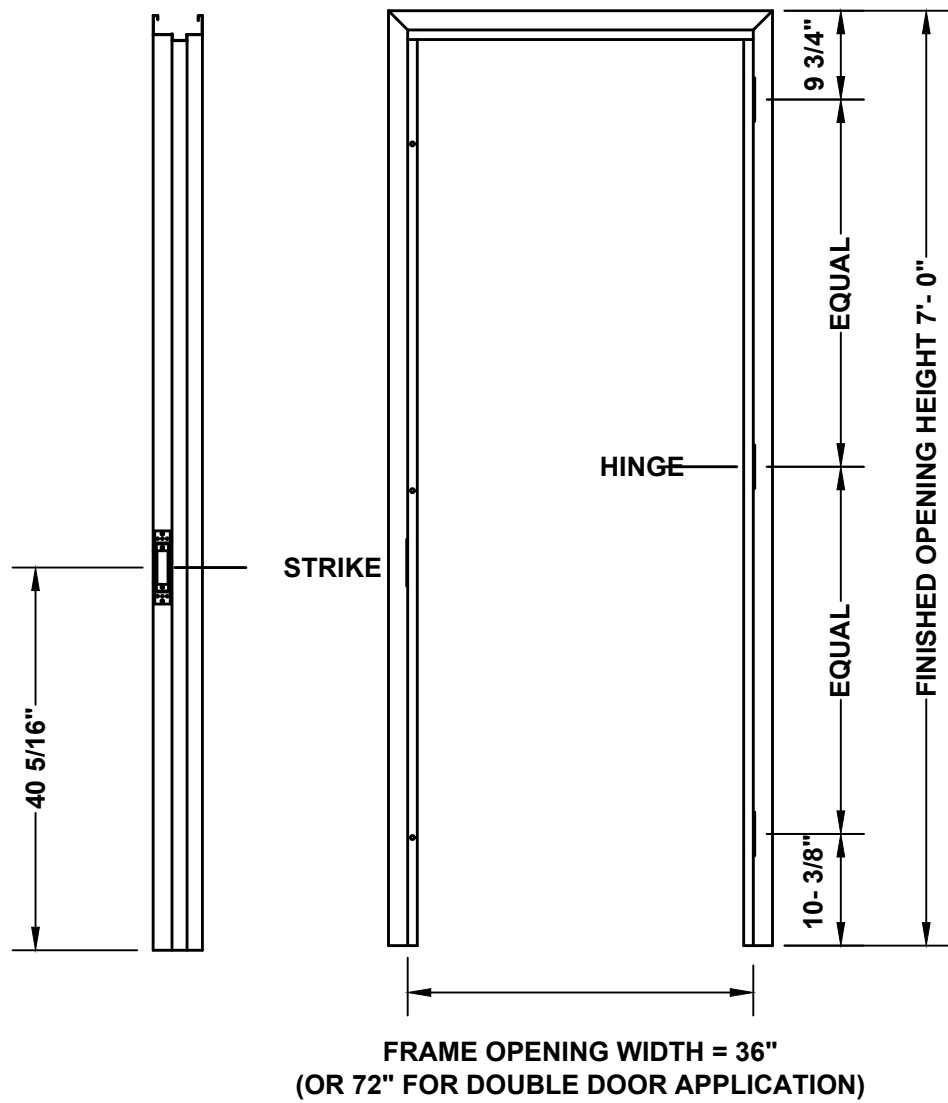
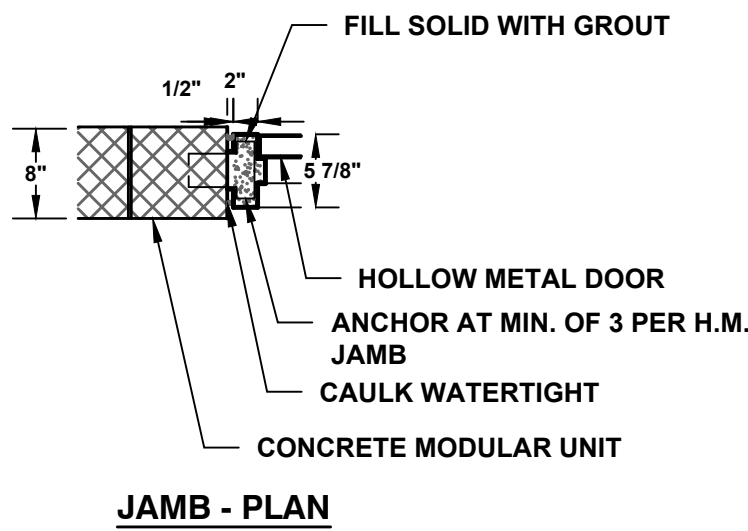
PANEL LP-PF, 100A, 3PH, 4W				MCB: 60A/3P			NEMA ENCLOSURE-1			
LOCATION: PROPOSED BLDG				SC RATING: 22KAIC			MOUNTING: SURFACE			
CB NO.	AMP/ POLE	SERVICE	CONDUIT/WIRE	LOAD (VA)			CONDUIT/WIRE	SERVICE	AMP/ POLE	CB NO.
				ØA	ØB	ØC				
1	20/1	HYPOCHLORITE PUMP	3/4" C 2#12 + 1#12G	120	-	-	3/4" C 2#12 + 1#12G	CORROSION INHIBITOR PUMP	20/1	2
3	20/1	FLOW METER	3/4" C 2#12 + 1#12G	-	2000	-	3/4" C 2#12 + 1#12G	CHLORINE RESIDUAL ANALYZER		4
5	20/2	DEHUMIDIFIER	3/4" C 2#12 + 1#12G	-		1350	2#12 + 1#12G	INDOOR LIGHTS	20/1	6
7				1350	-	-	2#12 + 1#12G	OUTDOOR LIGHTS	20/1	8
9	20/1	RECEPTACLES	3/4" C 2#12 + 1#12G	-	1000	-	2#12 + 1#12G	DH-1 INTAKE FAN	20/1	10
11	20/1	EMERGENCY LIGHTS	3/4" C 2#12 + 1#12G				3/4" C 2#12 + 1#12G	DH-2 INTAKE FAN	20/1	12
12										14
15										16
17										18
19										20
21										22
23										24
TOTAL				1470	3000	1350				
TOTAL LOAD: 7.1 AMPS										
TOTAL LOAD: 5820 KVA										
NOTE: PROVIDE INTEGRAL SPD WITHIN THE PANEL										

LP-PF PANEL CONDUIT SCHEDULE

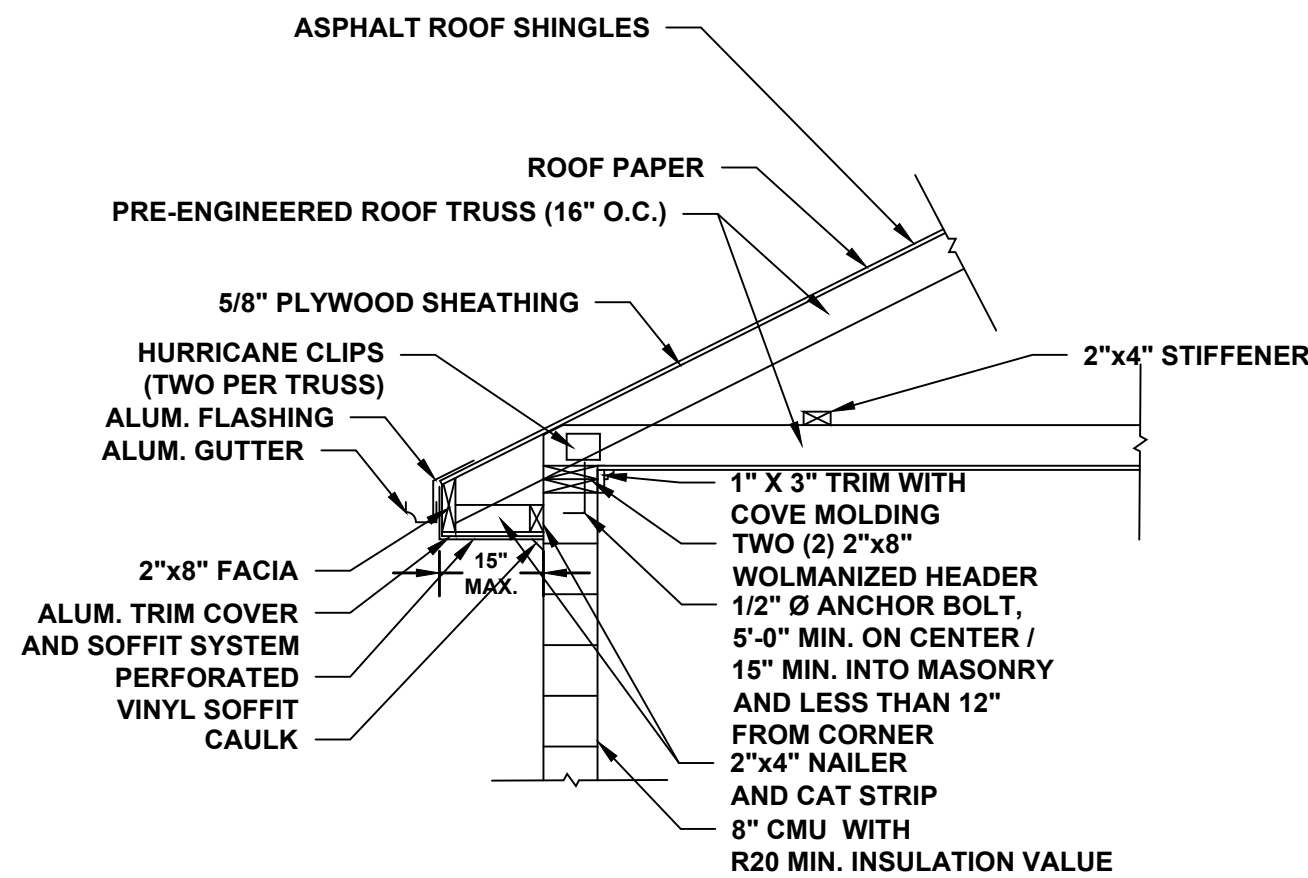
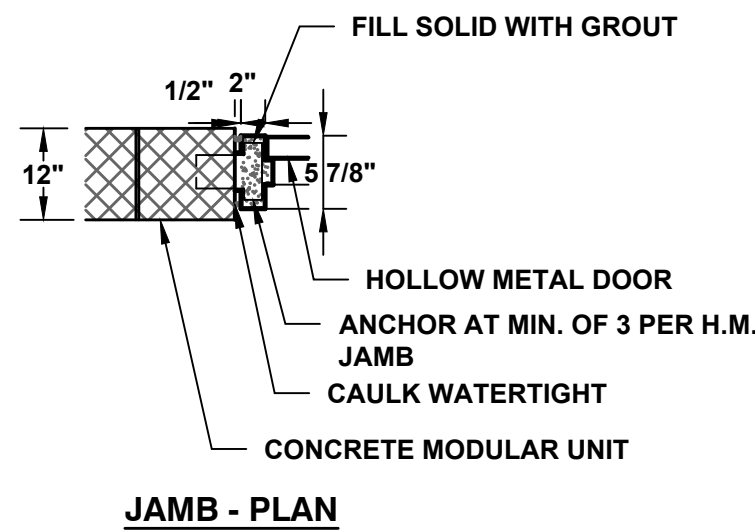
<div>CONSULTANT:</div> <div>ANDREW S. HOLT, P.E.</div> <div>NY PROFESSIONAL ENGINEER</div> <div>60% DESIGN</div> <div>DATE: XX/XX/2021</div>	<div>NOTICE</div> <div>THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.</div> <div>THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR SOLD AGAIN FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING.</div> <div>ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.</div> <div>© COPYRIGHT 2021 SUBURBAN ENGINEERING</div>						<div>DRAWN BY:</div> <div>JAW</div>	<div></div> <div>SUBURBAN ENGINEERING</div> <div><div>- Civil Engineers -</div><div>- Landscape Architects -</div><div>- Land Surveyors -</div></div> <div>7 Cokesbury Calhoun Road, Lebanon, N.J. 08833 - 973.398.1776</div> <div>EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT</div>	<div>PROJECT NUMBER:</div> <div>SCE-12162.003</div>
							<div>CHECKED BY:</div> <div>SAM</div>		<div>SCALE:</div> <div>AS NOTED</div>
							<div>CHECKED BY:</div> <div>WAS</div>		<div>FOR CLIENT:</div> <div>SUEZ WATER NEW YORK INC.</div>
									<div>ELECTRICAL PLAN</div>
									<div>SHEET 100F 14</div>
							<div>REVISION</div>		



**MASONRY WALL INTERIOR DOOR
INSTALLATION DETAIL**
N.T.S.

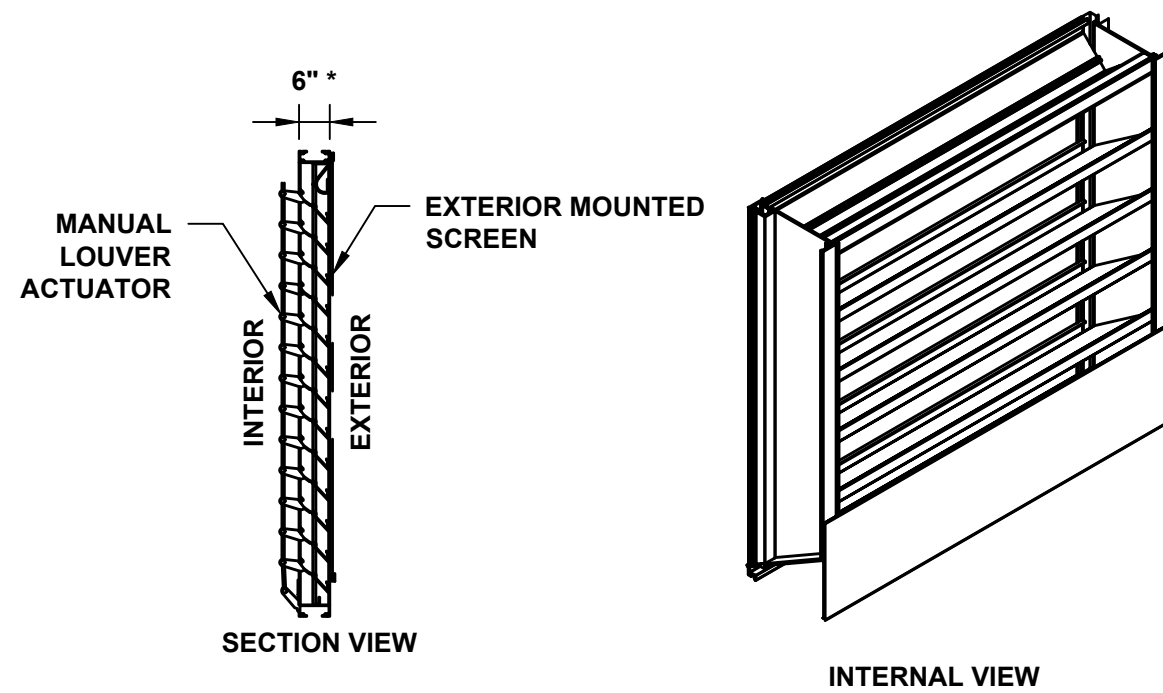


**MASONRY WALL EXTERIOR DOOR
INSTALLATION DETAIL**
N.T.S.

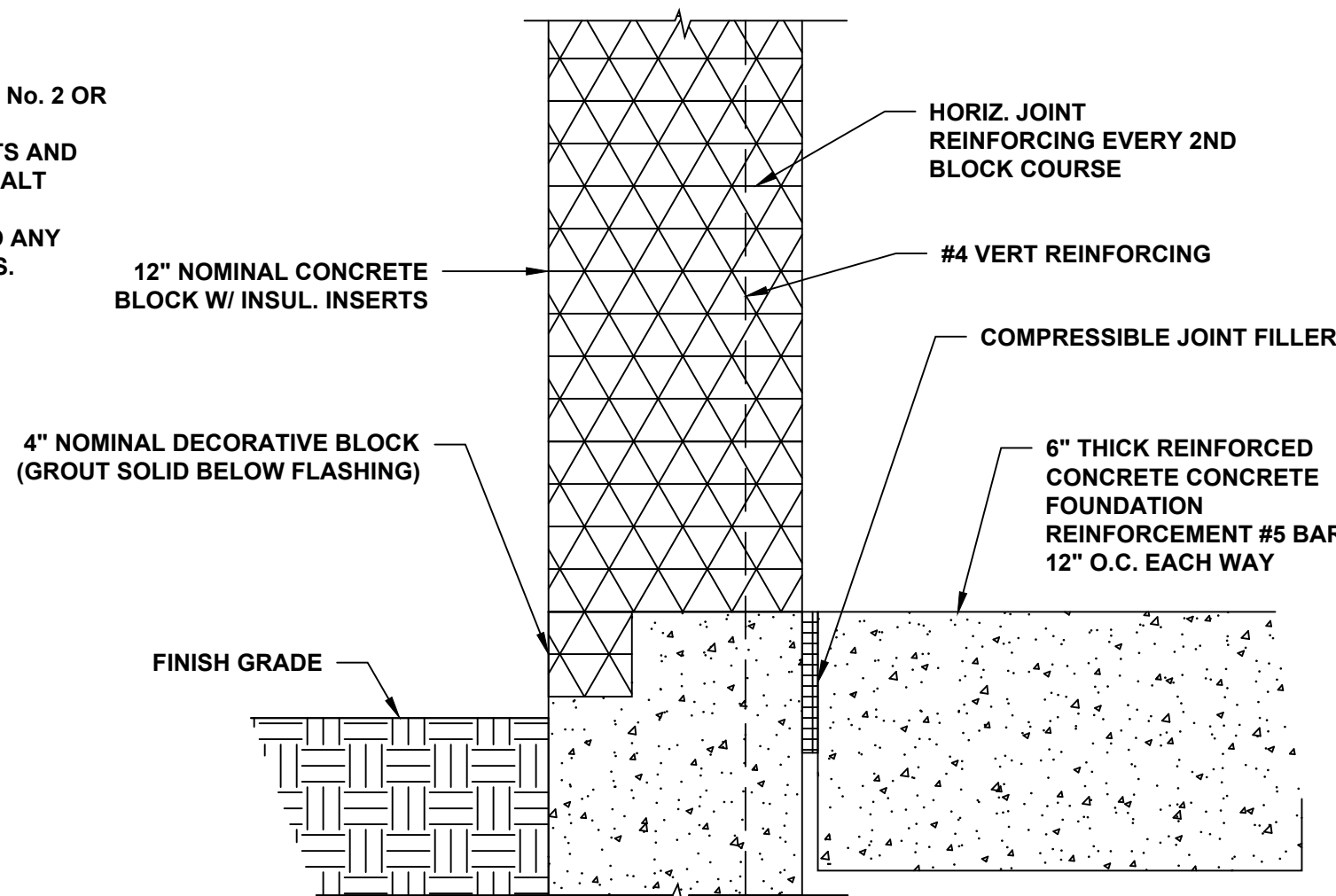


- NOTES:
1. LUMBER SHALL BE CONSTRUCTION GRADE DOUGLAS FIR No. 2 OR BETTER.
 2. ROOF PANEL CLIPS, TRIM, FASCIA, CLOSURES, SEALANTS AND OTHER ACCESSORIES SHALL BE CONSISTENT WITH ASPHALT SHINGLE ROOF MANUFACTURER RECOMMENDATIONS.
 3. PROVIDE 20" X 30" ACCESS HATCH FOR ATTIC ACCESS TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES.

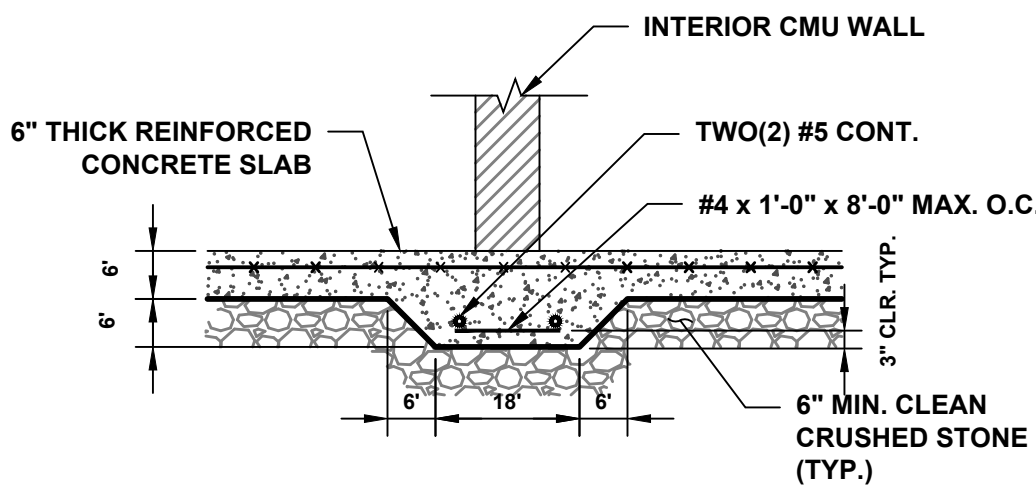
TYPICAL ROOF DETAIL
N.T.S.



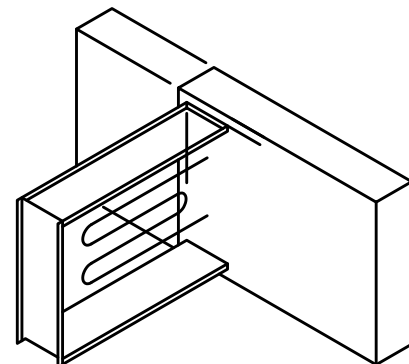
MANUAL OPERATED LOUVER DETAIL
N.T.S.



BASE OF WALL SECTION DETAIL
N.T.S.

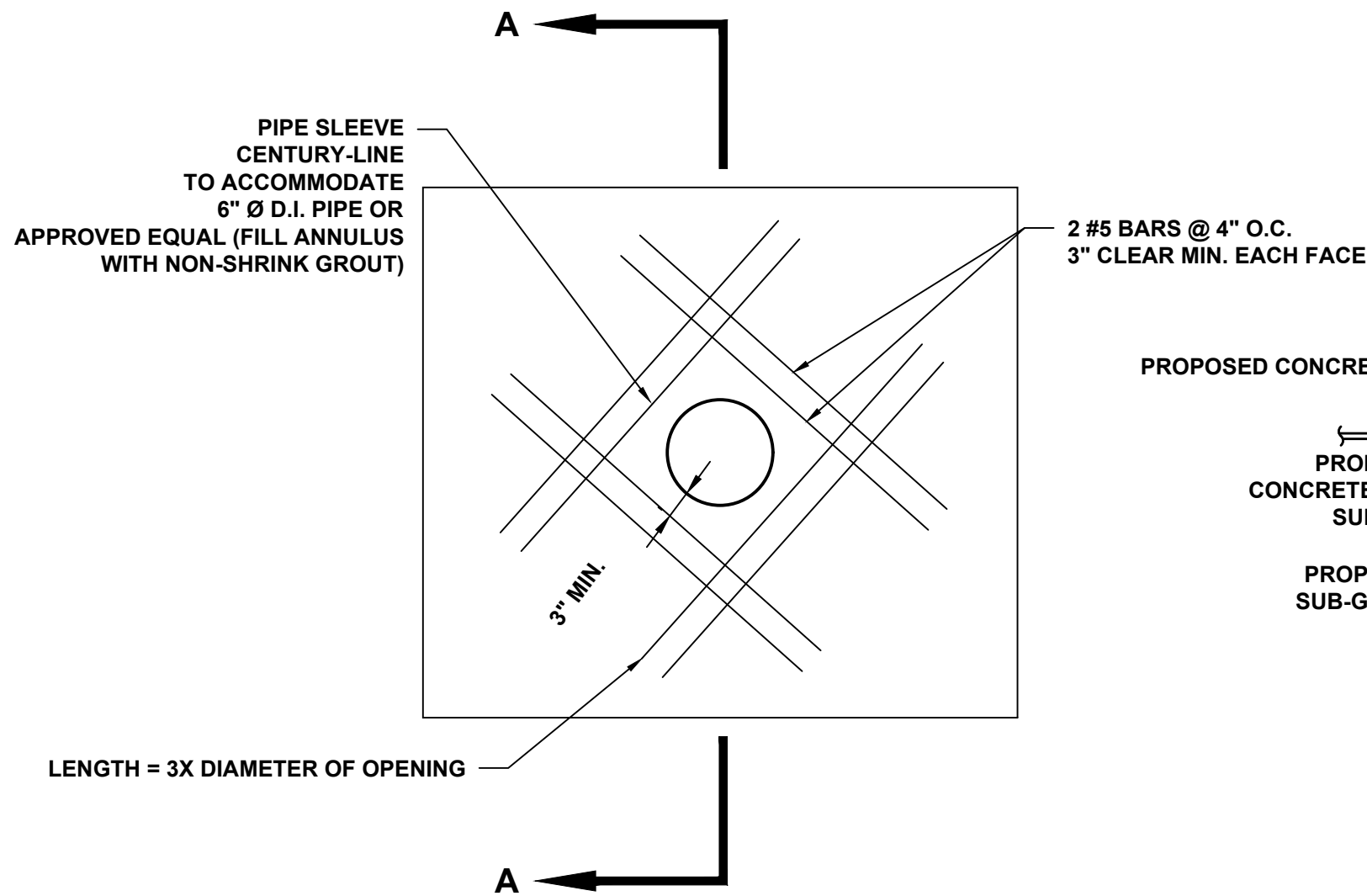


HAUNCHED FOOTING DETAIL
N.T.S.

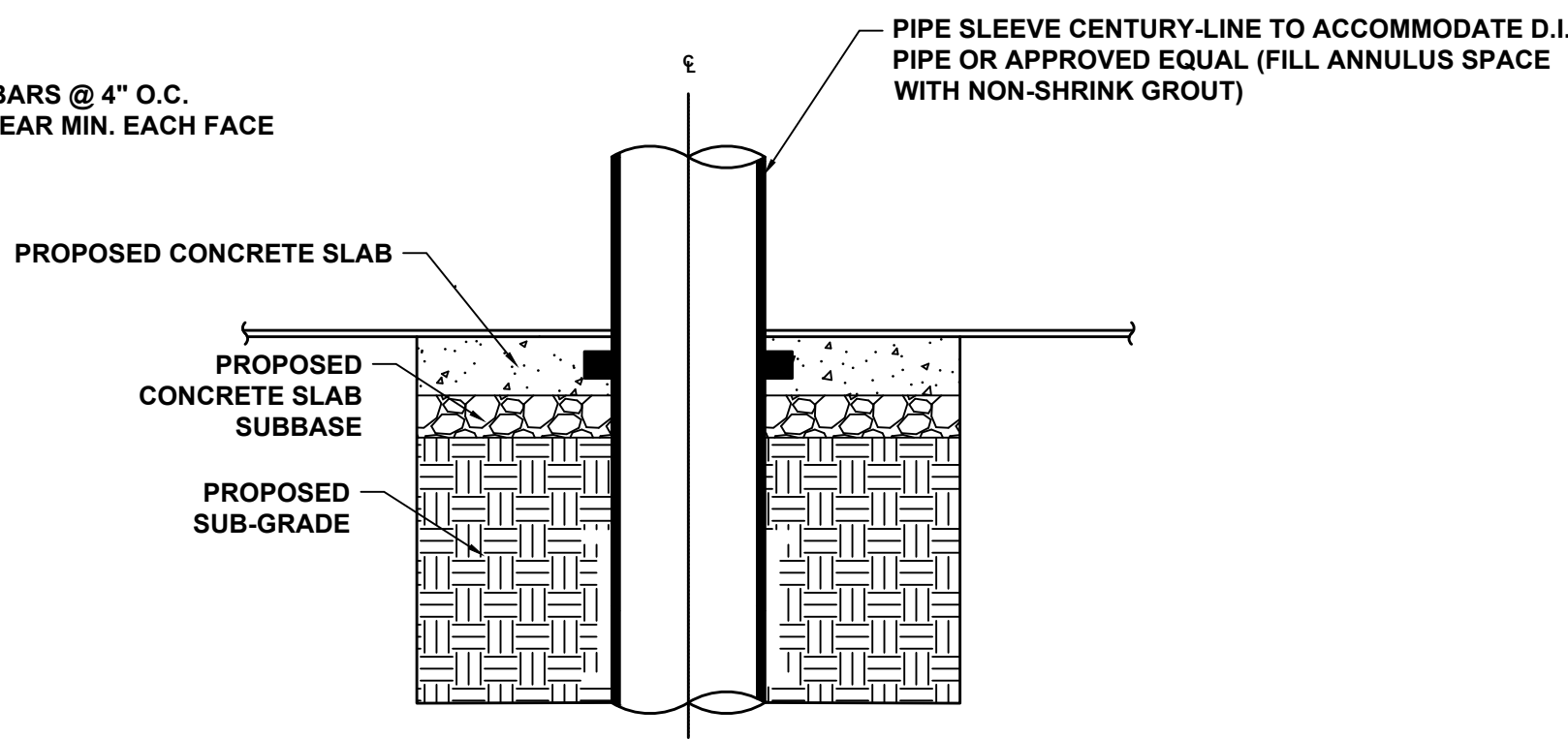


- NOTES:
1. 480V, 3PH, DUCT HEATERS SHALL BE USED TO PROVIDE HEAT AND VENTILATION FOR THE SITE.

ELECTRIC DUCT HEATER DETAIL
N.T.S.

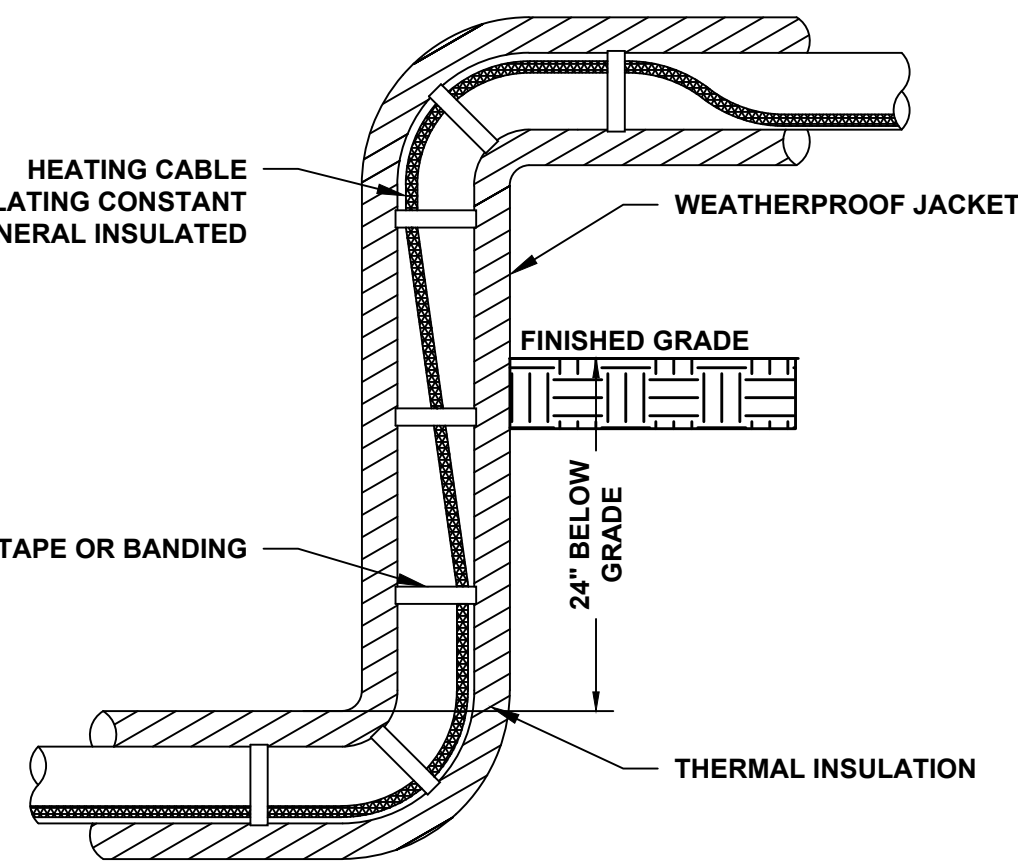


PLAN VIEW



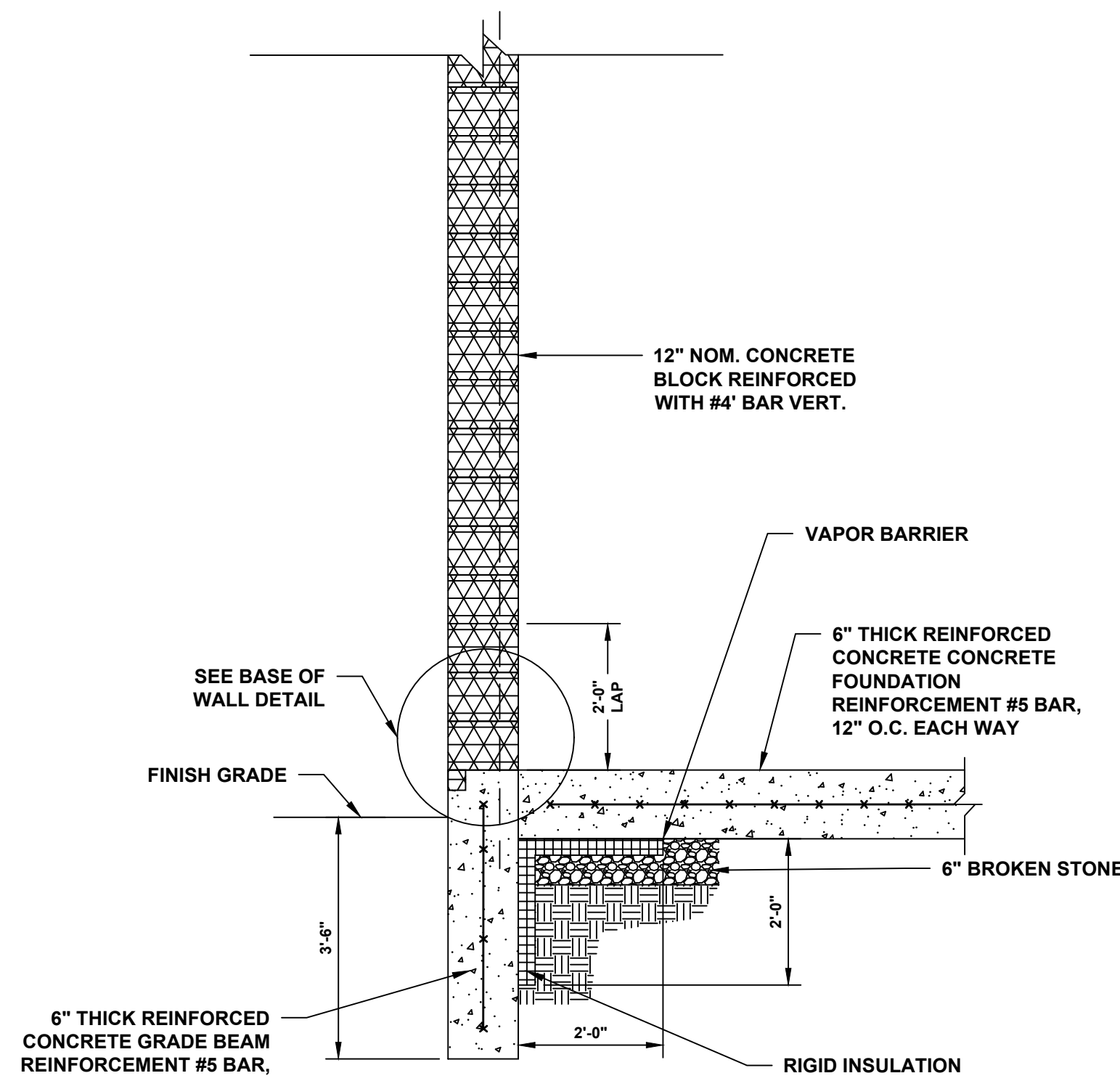
SECTION A-A

FLOOR PENETRATION DETAIL
N.T.S.



- NOTES:
1. HEATING CABLE IS APPLIED TO THE OUTSIDE (LONG) RADIUS OF THE PIPE ELBOW.

HEAT TRACE - ELBOW DETAIL
N.T.S.



TYPICAL WALL SECTION DETAIL
N.T.S.

CONSULTANT:
ANDREW S. HOLT, P.E.
NY PROFESSIONAL ENGINEER

60% DESIGN

DATE: XX/XX/2021

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SAM
CHECKED BY:
WAS

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- Civil Engineers -
- Landscape Architects -
- Land Surveyors -

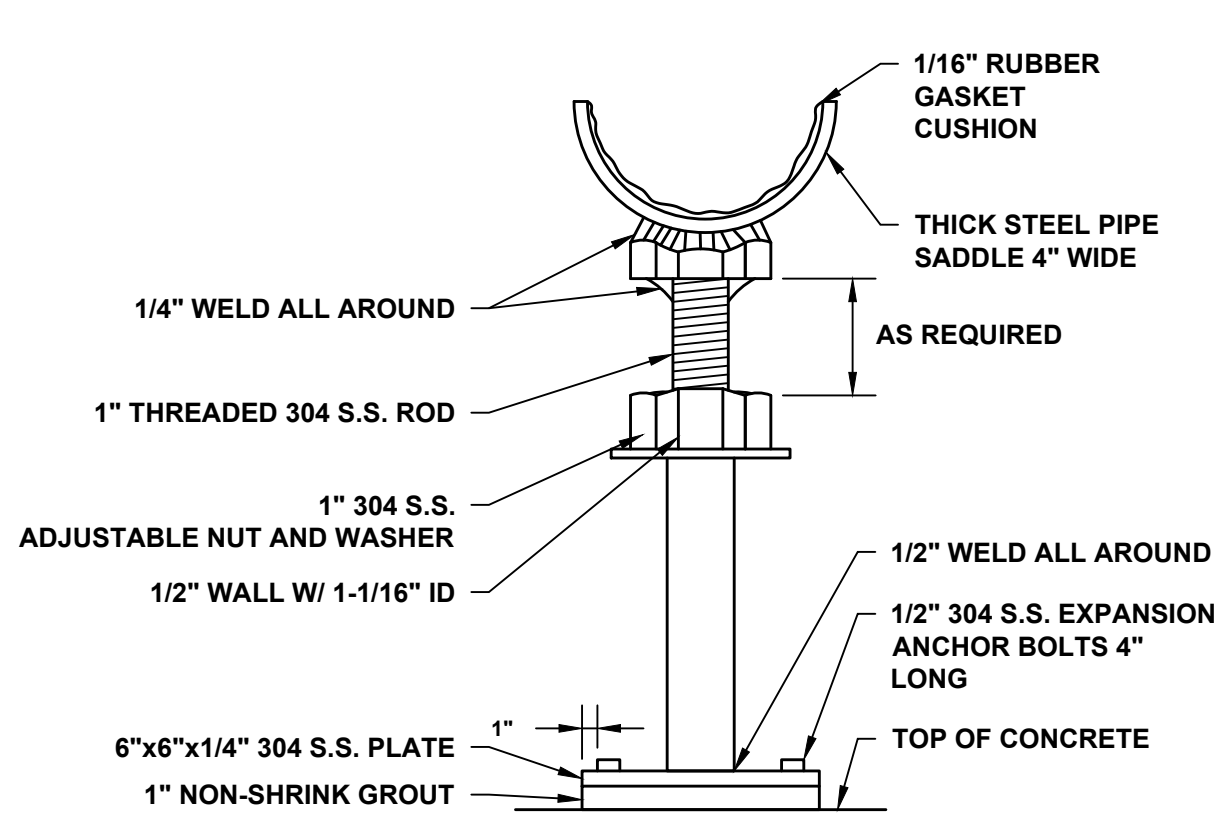
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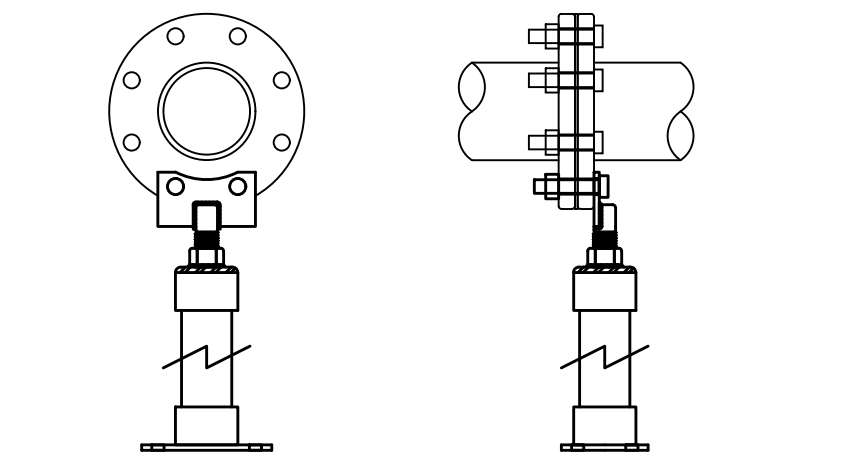
PROJECT NUMBER: SCE-12162.003	
SCALE: N.T.S.	
SHEET 11 OF 14	
REVISION -	

PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE TALLMAN WELL NO. 26 VILLAGE OF AIRMONT, COUNTY OF ROCKLAND, STATE OF NEW YORK	
FOR CLIENT: SUEZ WATER NEW YORK INC.	
CONSTRUCTION DETAILS I	

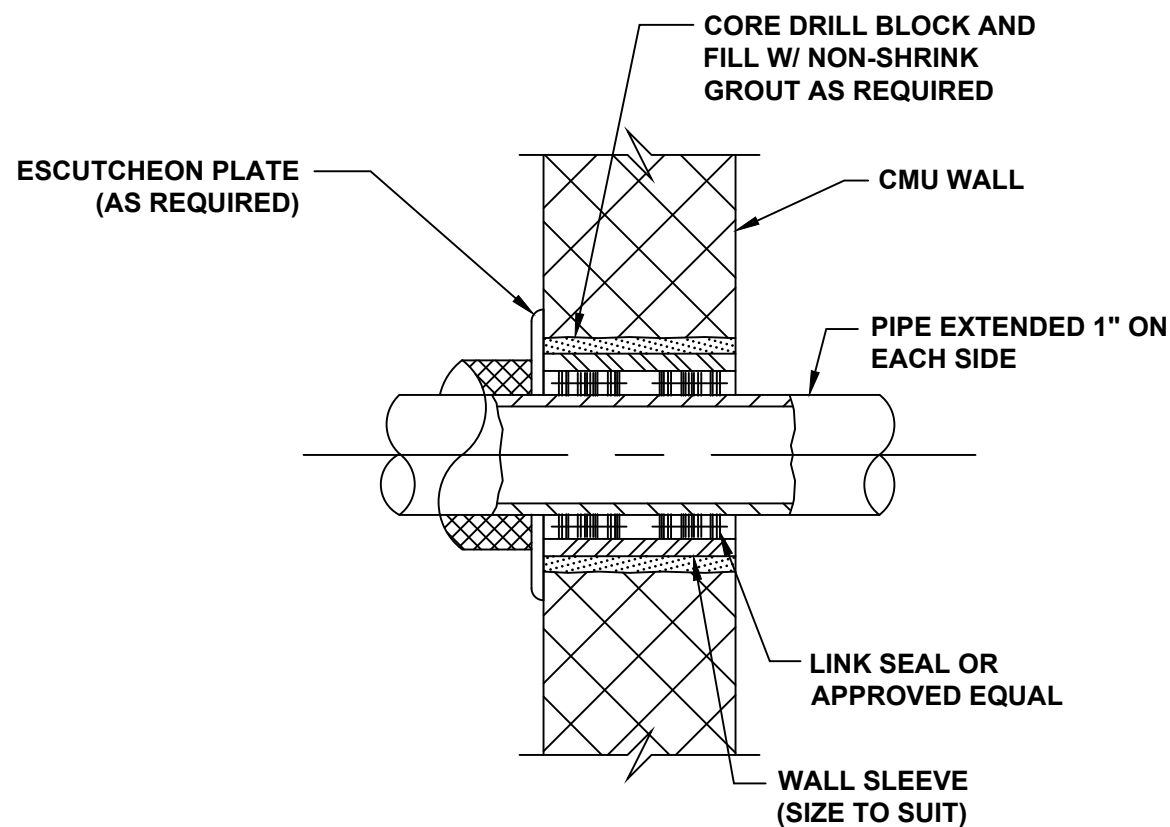
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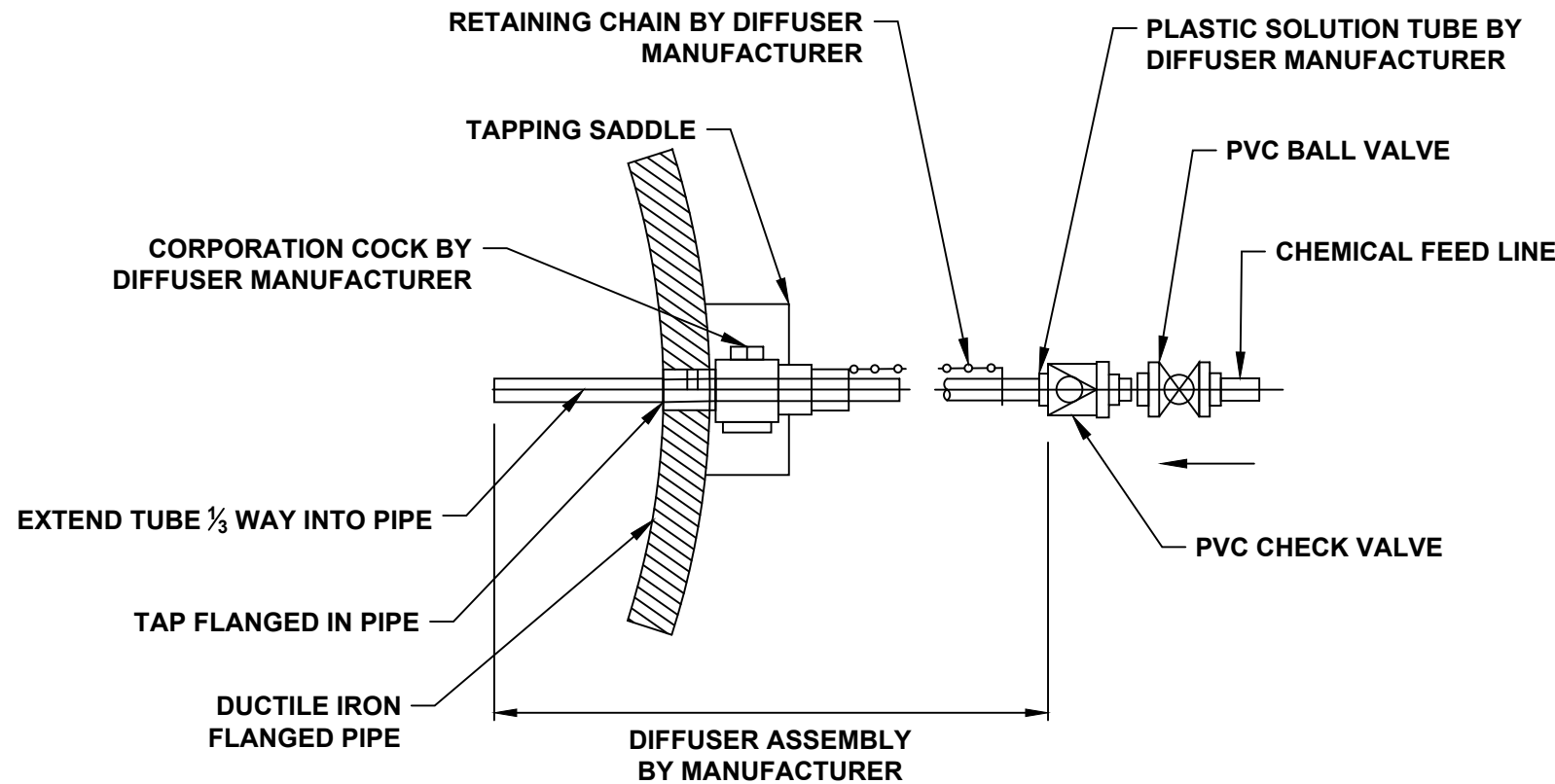
PIPE SUPPORT DETAIL
N.T.S.



FLANGE SUPPORT DETAIL
N.T.S.



WALL PENETRATION DETAIL
SCALE = N.T.S.



DIP CHEMICAL INJECTION DETAIL
SCALE = N.T.S.

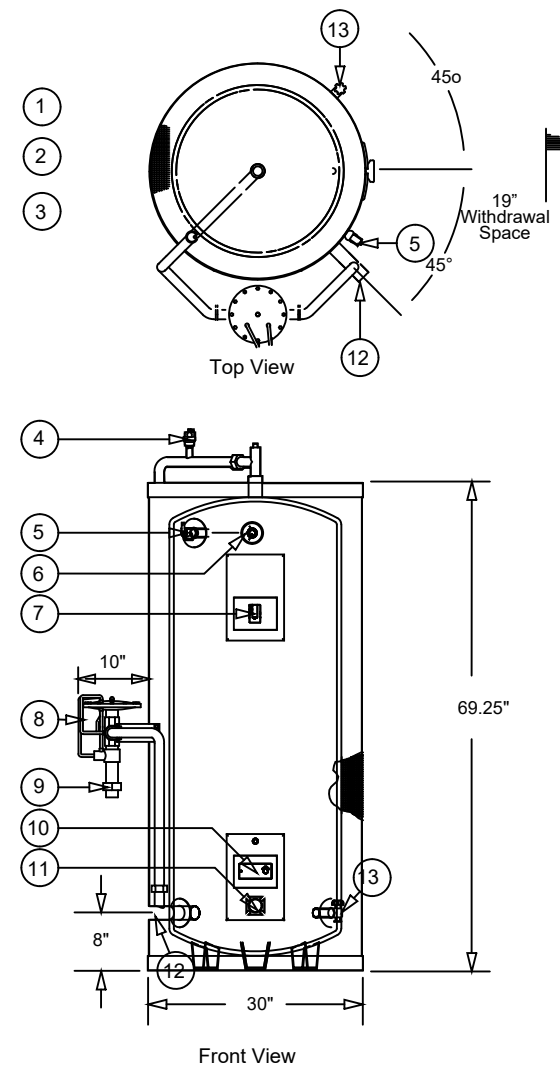
- CHEMICAL INJECTION NOTES:**
1. CONTRACTOR SHALL PROVIDE A SAF-T-FLOW RETRACTABLE INJECTION QUILL MODEL, OR APPROVED EQUAL. THE SADDLE FOR TEE FITTING SHALL BE 3/4"Ø FOR INJECTION QUILL, OR OTHERWISE DIRECTED FOR THE PROPER INSTALLATION OF THE QUILL. THE CHEMICAL RESISTANT TUBING FOR THE QUILL IS 3/8", CONTRACTOR SHALL PROVIDE REDUCER TO 1/4" TUBING AS REQUIRED.
 2. INJECTION SHALL BE INSTALLED AT THE 90-DEGREE MARK ON THE PIPE PER SUEZ PREFERENCE.

HOT WATER HEATER DEPICTED: HUBBELL HOT WATER MODEL EMV OR APPROVED EQUAL: 1500 WATT EMV SINGLE PHASE MODEL. HOT WATER HEATER SHALL SERVICE EMERGENCY EYEWASH AND SHOWER ONLY

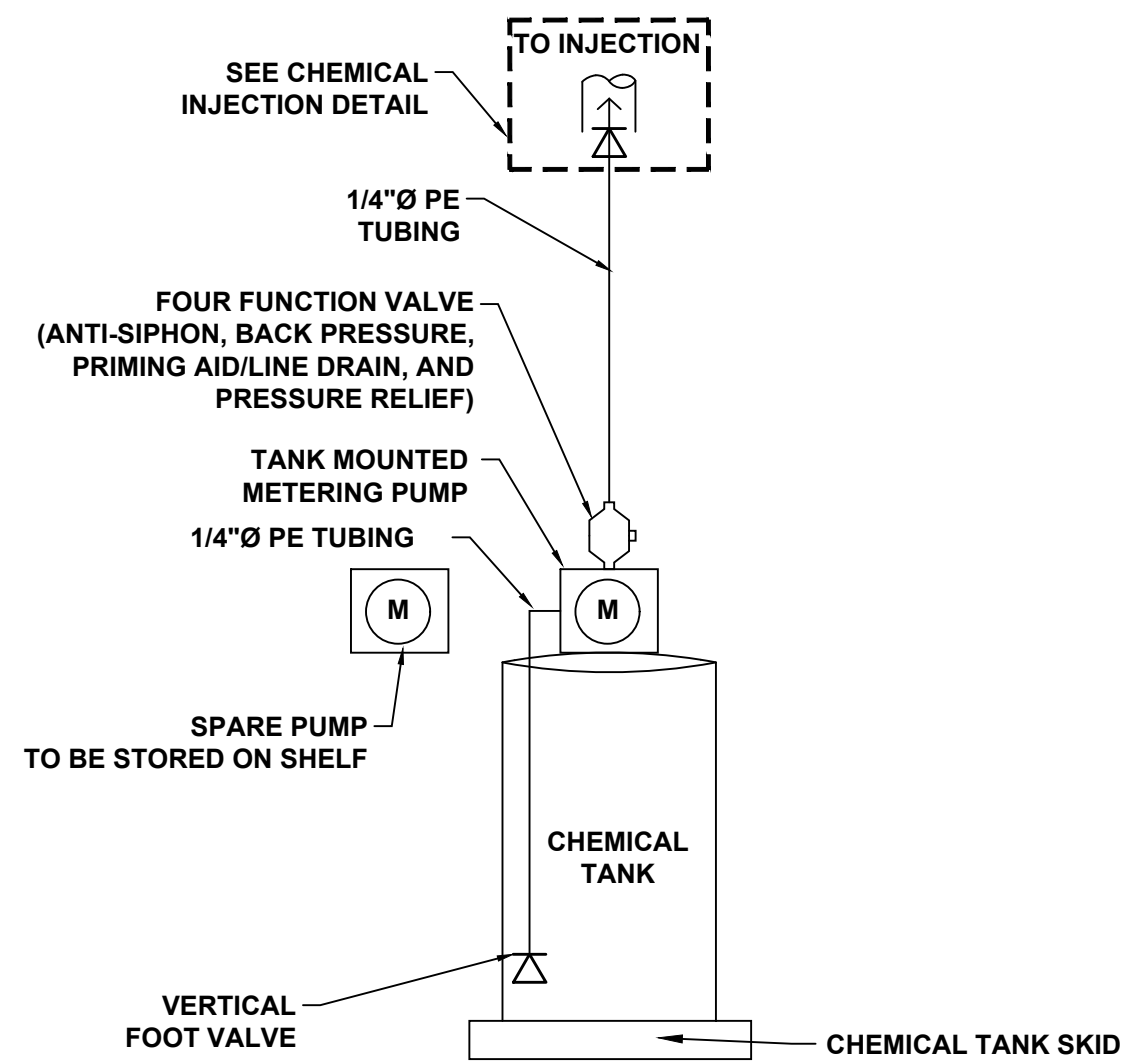
NOTES:

1. STORAGE TANK RATED FOR 150 PSI WP
2. ASME RATED T&P RELIEF VALVE FACTORY INSTALLED AND PIPED TO 12" FROM FLOOR
3. ALL ELECTRICAL CONTROLS ARE INSIDE AND PRE-WIRED
4. MIXING VALVE (8) IS FACTORY SET, CALIBRATED AND TESTED TO DELIVER 85°F WATER

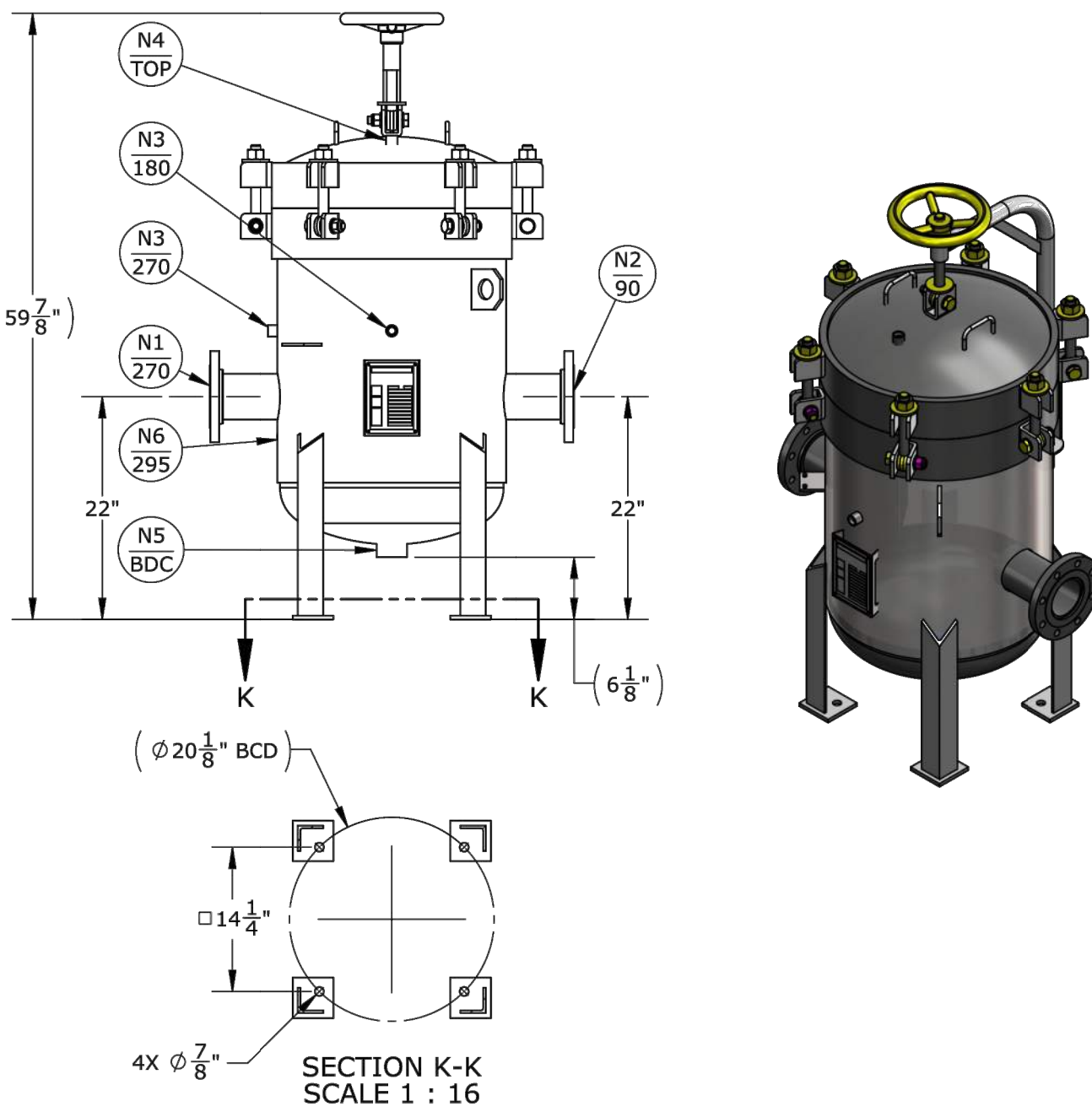
Number	Description
1	Hydrastone cement Lined Tank
2	3" Polyurethane Foam Insulation
3	Corrosion Resistant Jacket
4	Air Vent Valve
5	Relief Valve Connection
6	Dial Temperature Pressure Gauge
7	Hi-Limit Thermostat
8	Mixing Valve
9	Temid Water Outlet
10	Tank Operating Thermostat
11	Heating Element
12	Cold Water Inlet
13	Drain Connection



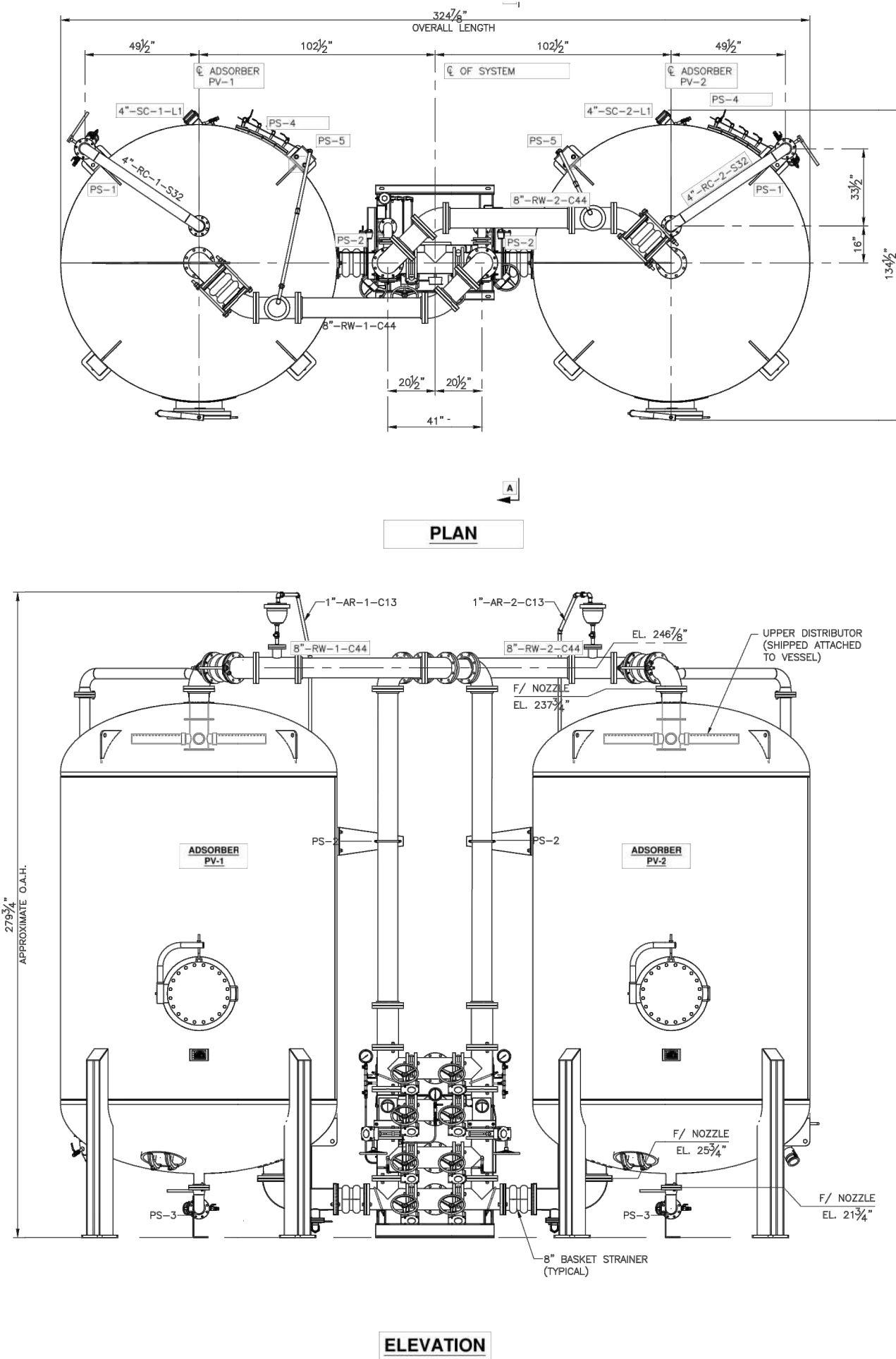
TEPID WATER HEATING SYSTEM DETAIL
N.T.S.



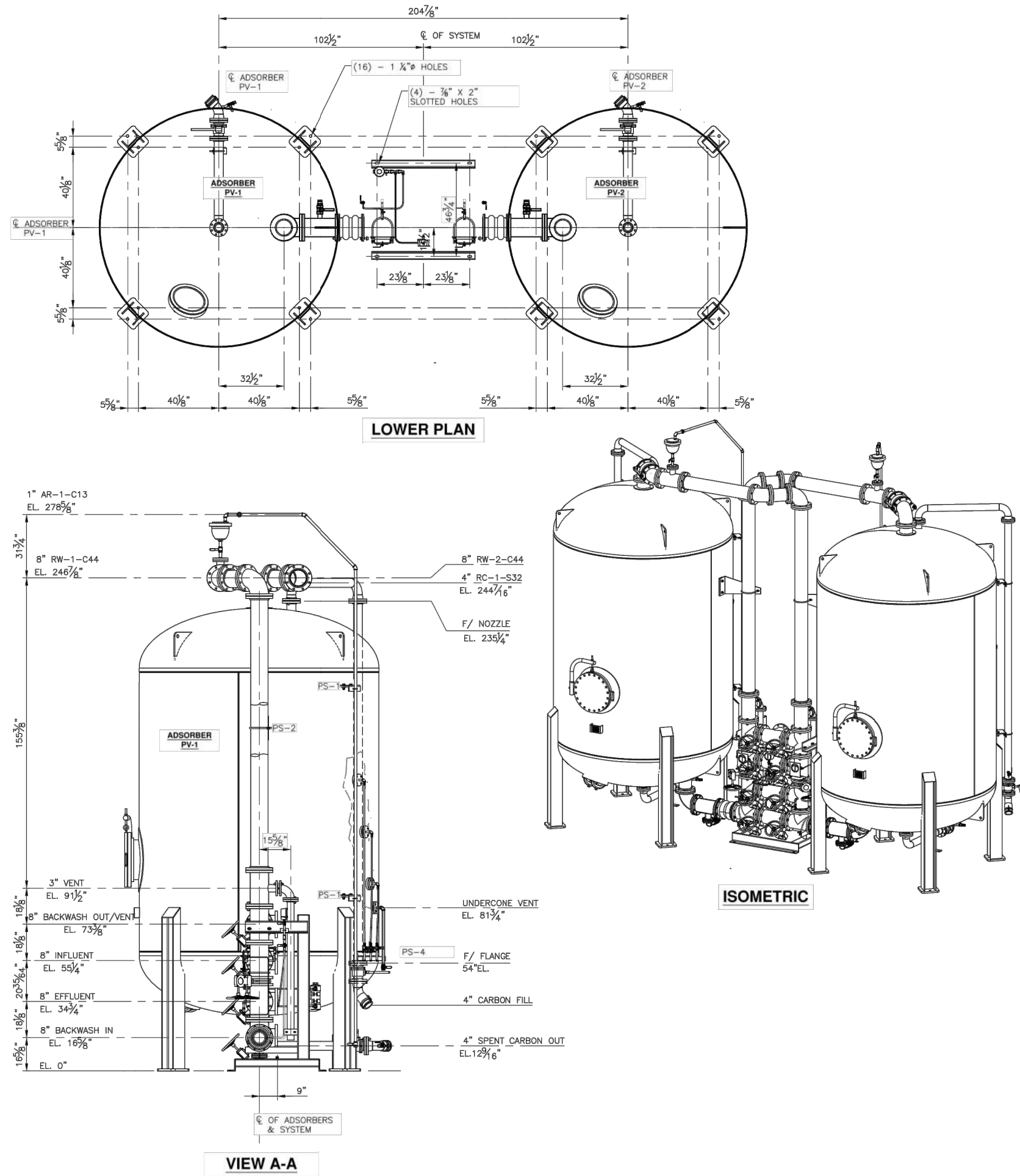
CHEMICAL SUPPLY/FEED SYSTEM SCHEMATIC
SCALE = N.T.S.



PROPOSED FILTREK BAG FILTER
SCALE = N.T.S.



CALGON MODEL 10 GAC UNIT DETAIL
SCALE = N.T.S.



CONSULTANT:
ANDREW S. HOLT, P.E.
NY PROFESSIONAL ENGINEER

60% DESIGN

DATE: XX/XX/2021

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REVISIONS				

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CHECKED BY: SAM
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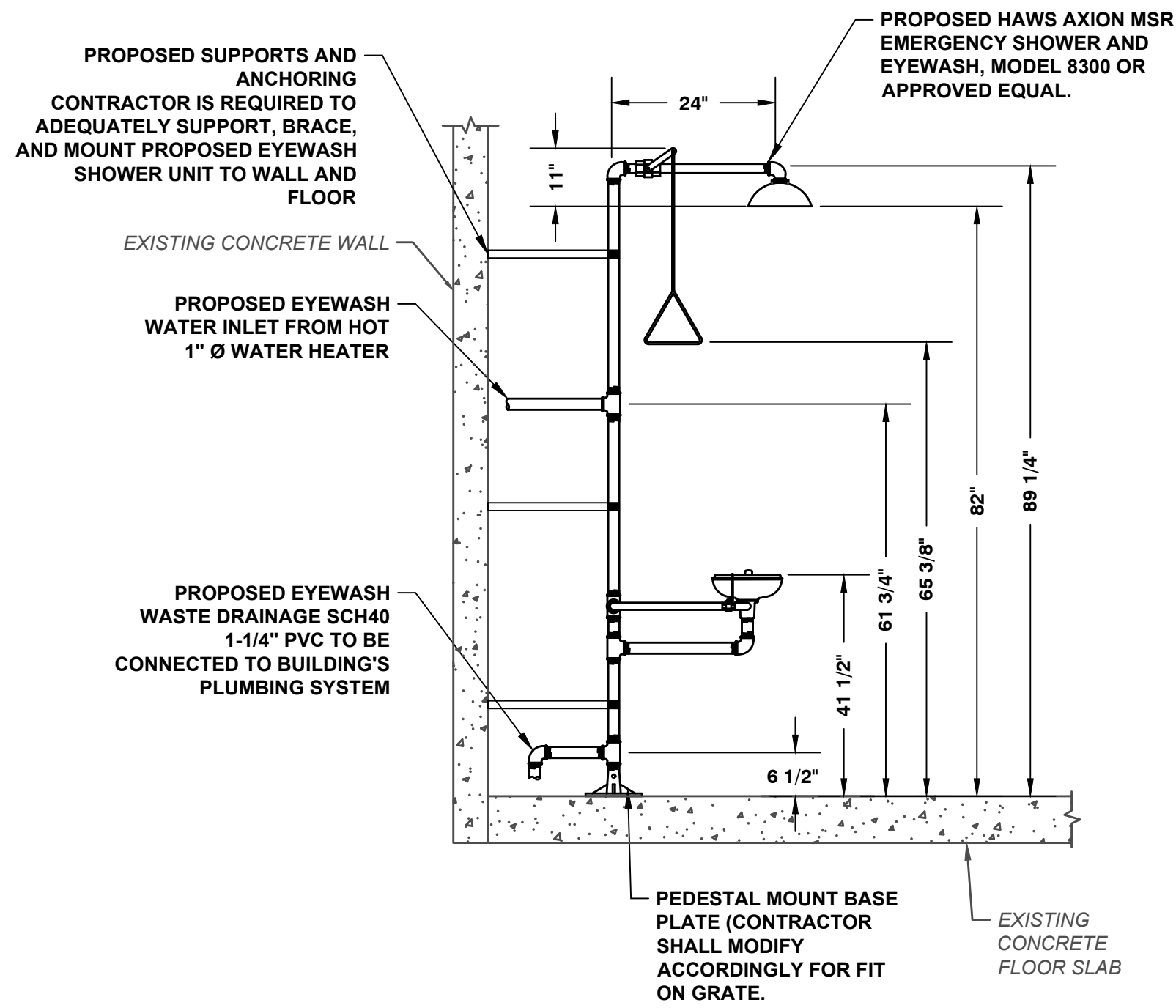
**PRELIMINARY SITE PLAN FOR
SUEZ WATER NY PFAS COMPLIANCE
TALLMAN WELL NO. 26
VILLAGE OF AIRMONT, COUNTY OF ROCKLAND, STATE OF NEW YORK**

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

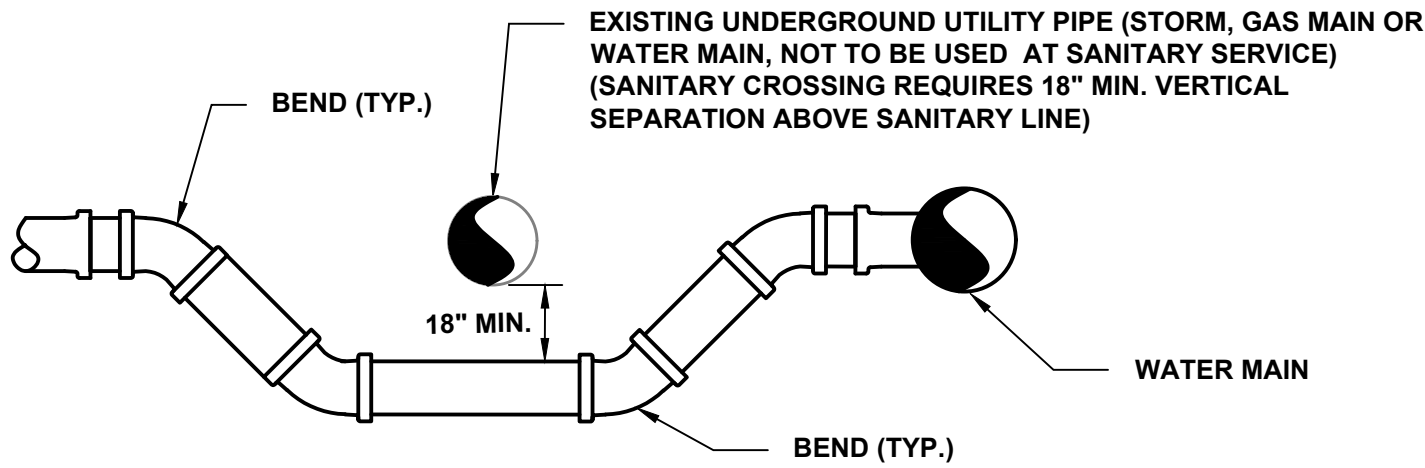
CONSTRUCTION DETAILS II

PROJECT NUMBER: SCE-12162.003
SCALE: N.T.S.
SHEET 12 OF 14
REVISION -

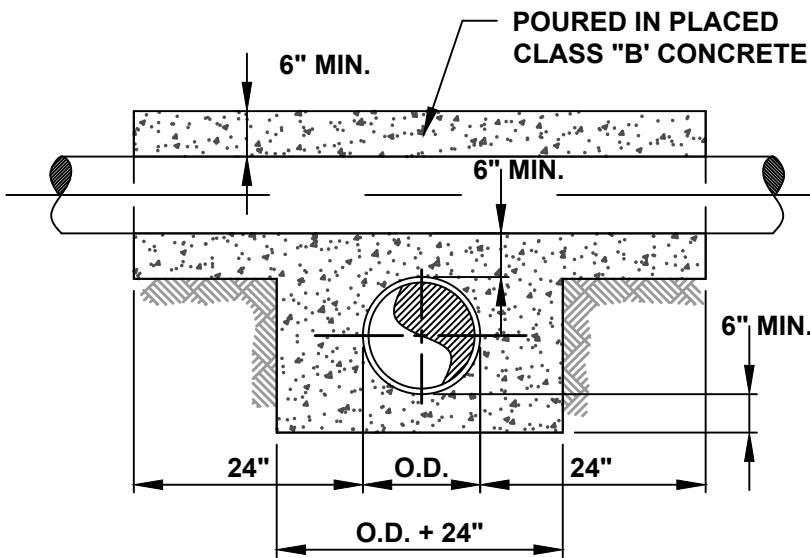
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EYEWASH AND SHOWER DETAIL
SCALE = N.T.S.

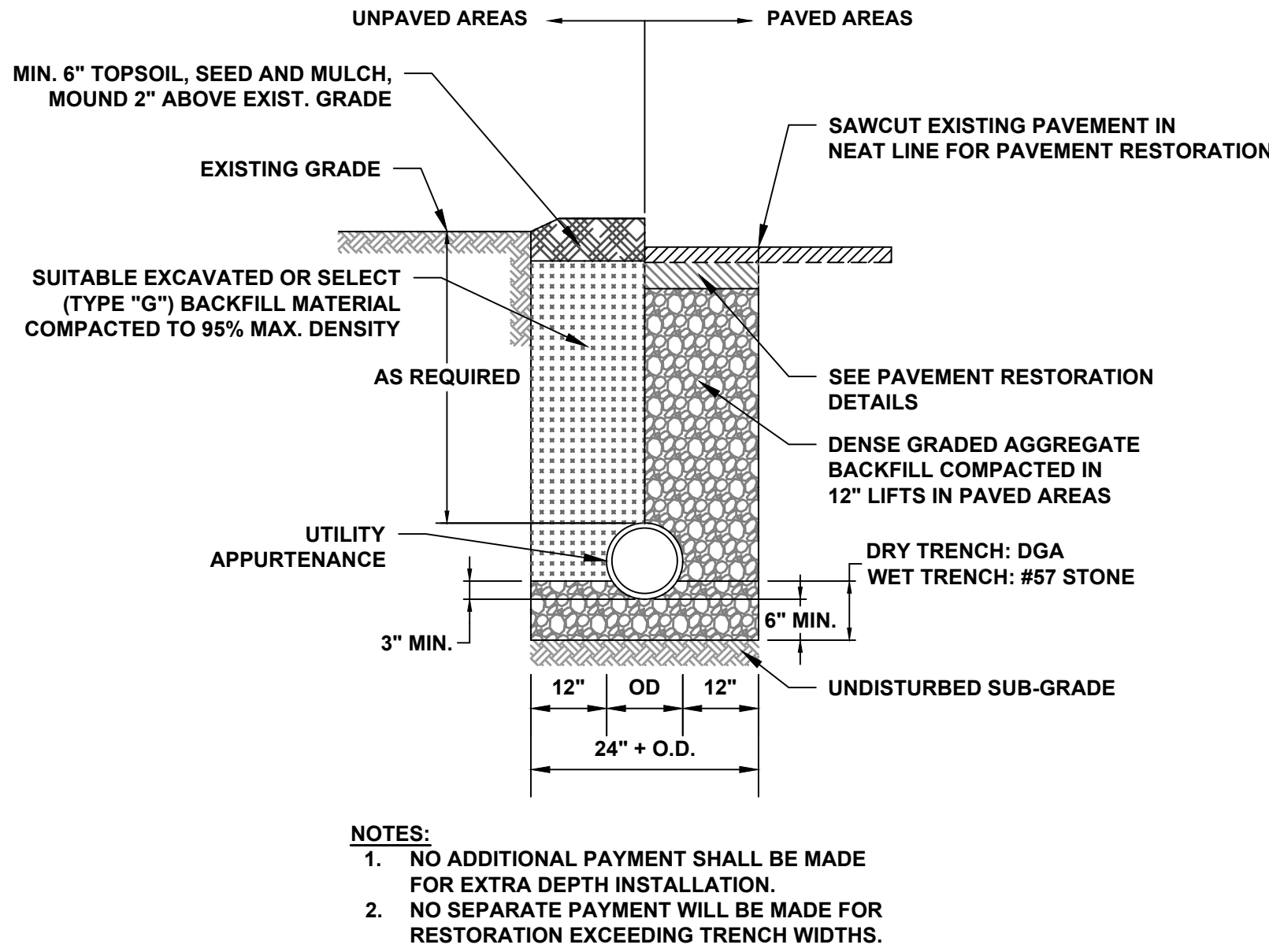


TYPICAL UTILITY CROSSING DETAIL
N.T.S.



UTILITY CROSSING DETAIL
N.T.S.

- NOTES:
1. AS REQUIRED BASED ON TEST PIT ANALYSIS.
 2. ENCASEMENT OF LOWER PIPE TO BE CARRIED 24\"
 3. THE ENCASEMENT SHOWN SHALL BE REQUIRED WHERE THE CLEARANCE BETWEEN PIPES IS 12\"

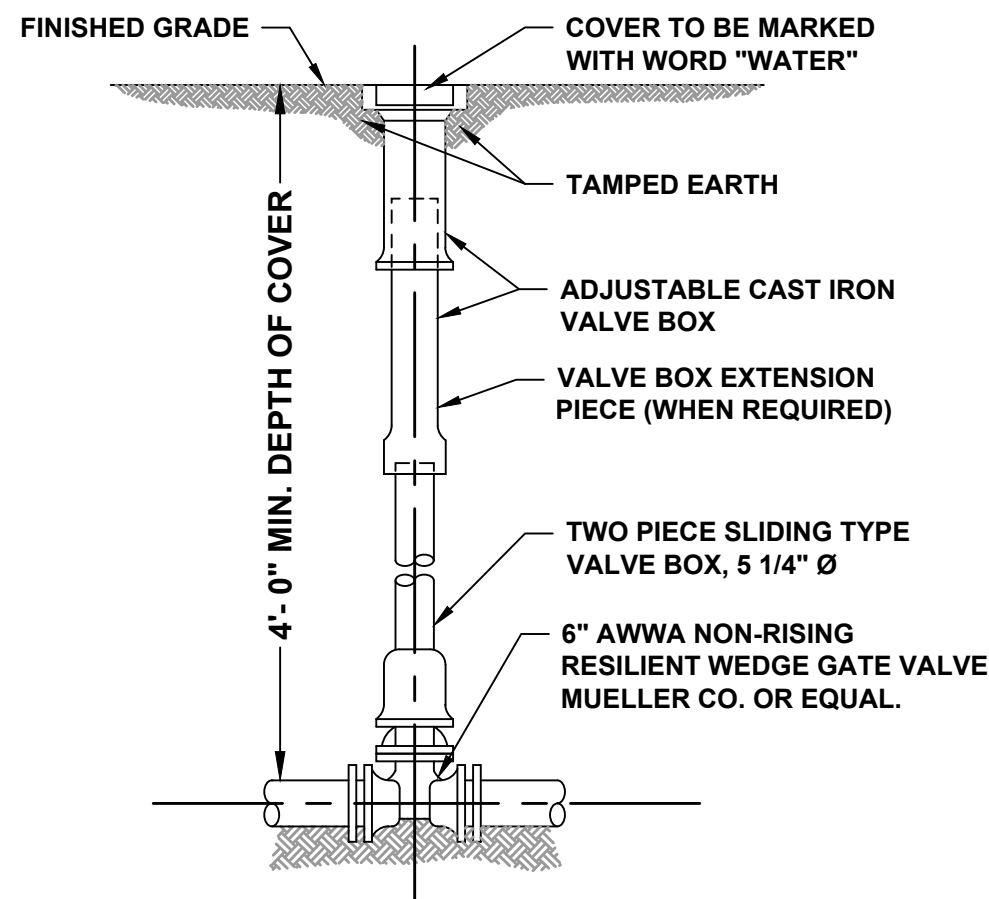


TYPICAL TRENCH DETAIL
N.T.S.

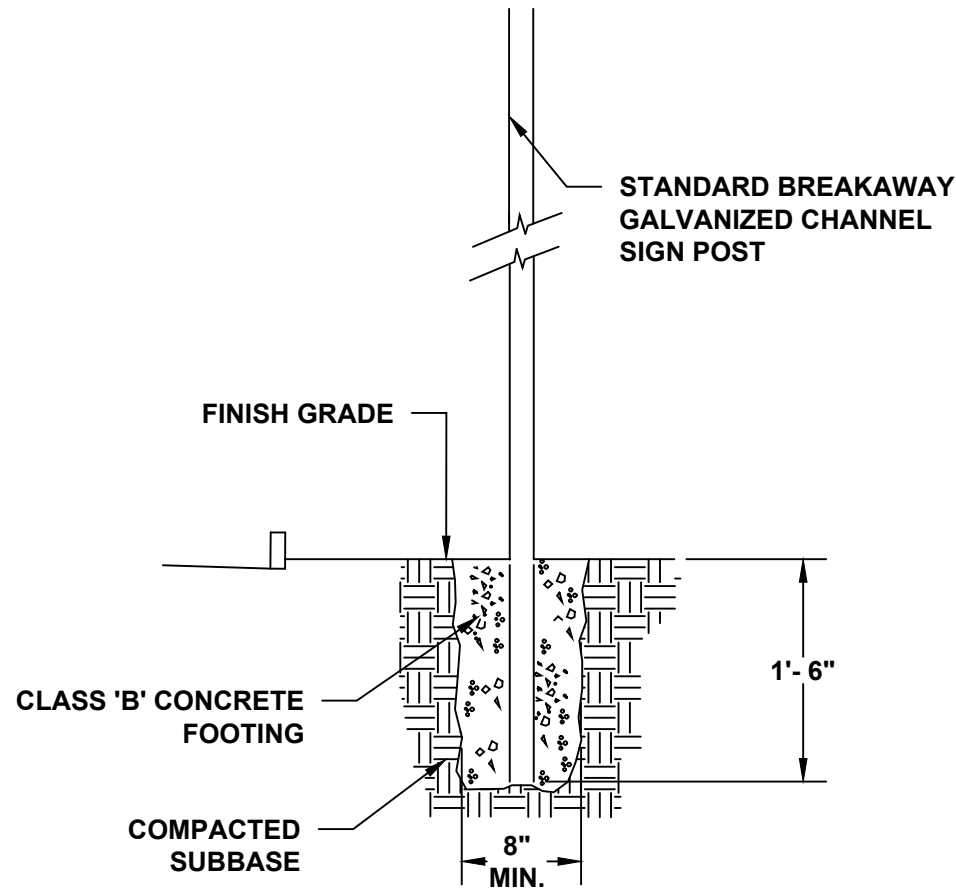
SIDEWALK NOTES:

1. SUBBASE SHALL BE COMPACTED TO THE SATISFACTION OF THE ENGINEER.
2. EXPANSION JOINTS OF 1/2\"
3. LONGITUDINAL JOINTS, EVERY 1/4\"
4. TRANSVERSE SURFACE GROOVES SHALL BE CUT IN SIDEWALKS BETWEEN EXPANSION JOINTS AT INTERVALS EQUAL TO THE SIDEWALK WIDTH.
5. ALL JOINTS AND EDGES TO BE TOOLED.
6. SURFACE SHALL BE BRUSHED TRANSVERSELY TO A NEAT FINISH.
7. ADJACENT GROUND SHALL BE BACKFILLED AND GRADED TO MATCH THE EXISTING GROUND.

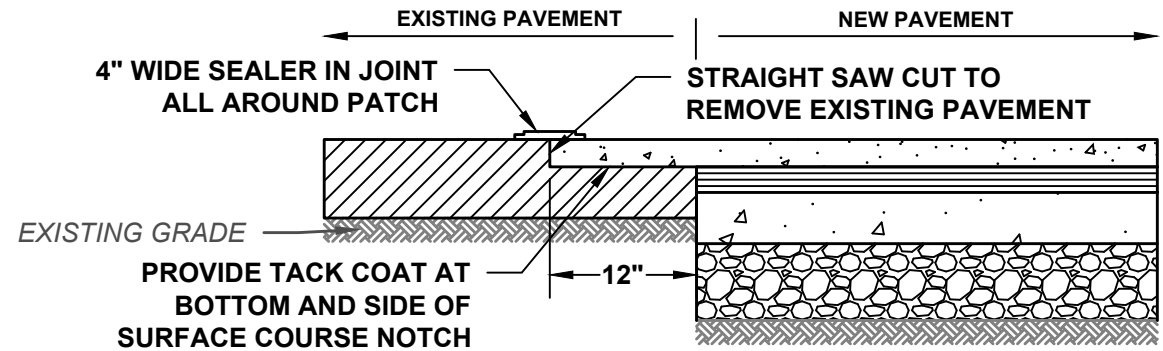
STANDARD CONCRETE SIDEWALK
N.T.S.



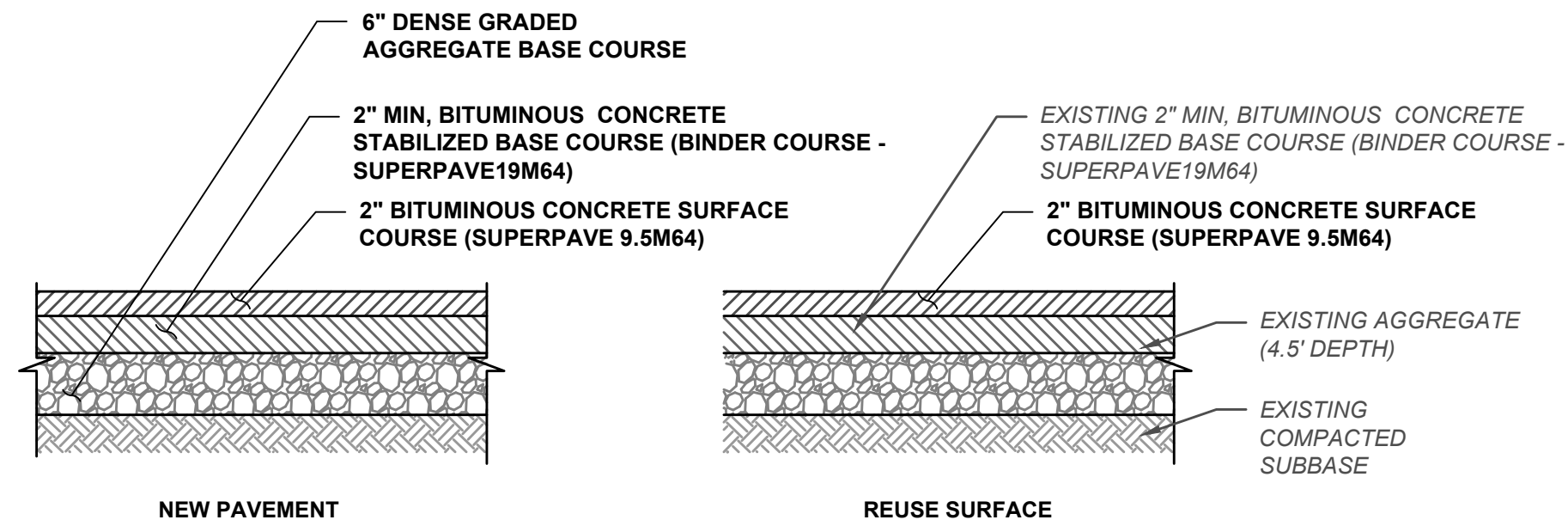
GATE VALVE & BOX DETAIL
N.T.S.



SIGN INSTALLATION DETAIL
N.T.S.



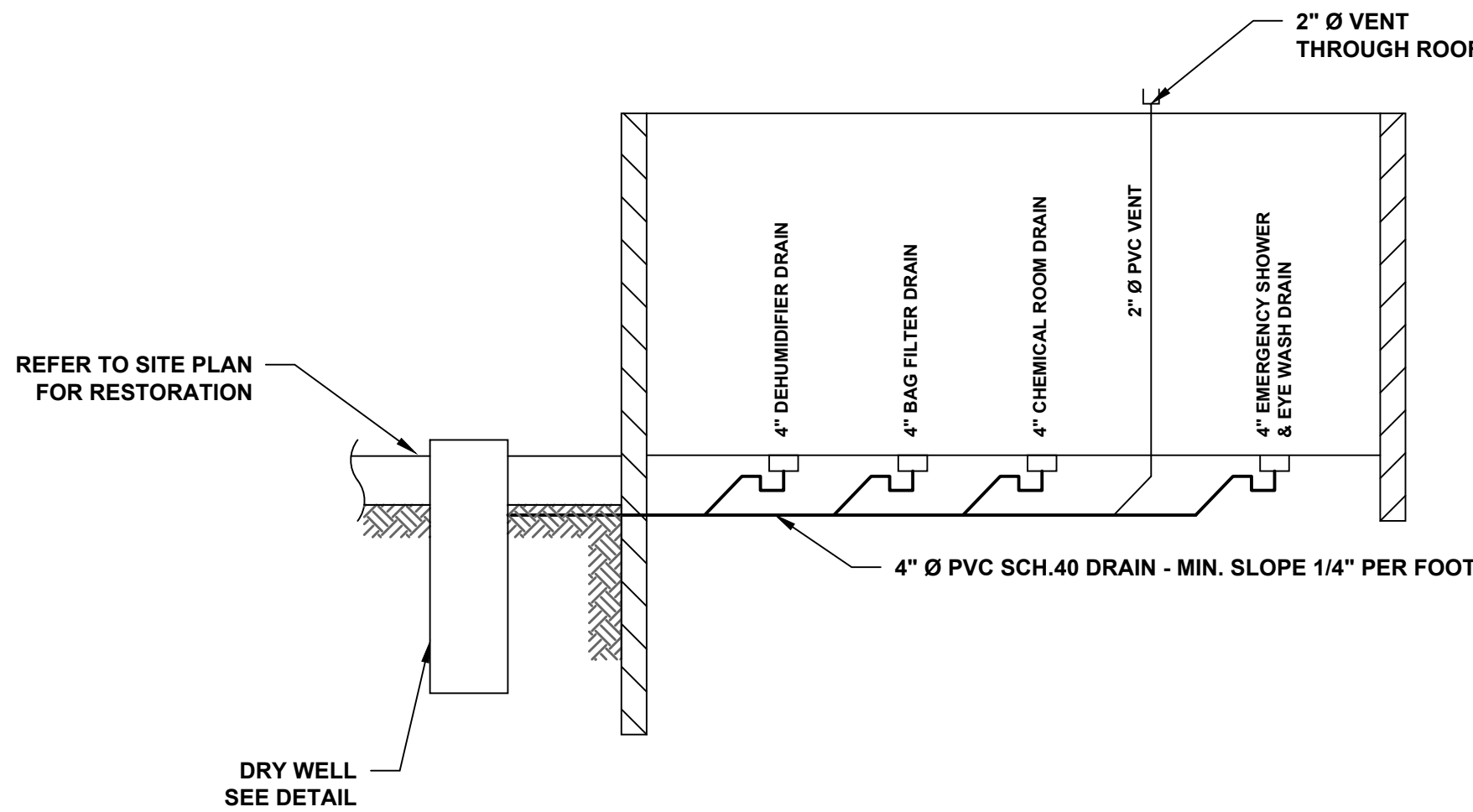
PAVEMENT BUTTING DETAIL
N.T.S.




PAVEMENT RESTORATION NOTES:

1. NEW PAVEMENT WILL BE INSTALLED WHERE EXISTING ASPHALT: 1) WHERE IT DOES NOT EXIST, 2) IS LESS THAN 2\"
2. SUEZ REPRESENTATIVE WILL PERFORM A VISUAL INSPECTION TO ESTIMATE WHICH AREAS WILL REQUIRE NEW PAVEMENT AND CONFIRM NEW PAVEMENT AREAS WITH THE CONTRACTOR FOLLOWING MILLING.
3. ALL THICKNESS SHOWN ABOVE ARE AFTER COMPACTION.
4. AFTER PAVEMENT IS COMPLETE, CONTRACTOR WILL RAISE/LOWER SURROUNDING GRADE LEVEL WITH NEW DRIVEWAY SURFACE, INCLUDING REGRADING, RESEEDING, AND SOIL EROSION CONTROLS.

PAVEMENT DETAIL
N.T.S.



FLOOR DRAIN RISER DIAGRAM
N.T.S.

<div>CONSULTANT: ANDREW S. HOLT, P.E. NY PROFESSIONAL ENGINEER 60% DESIGN DATE: XX/XX/2021</div>	<div>NOTICE THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED. © COPYRIGHT 2021 SUBURBAN ENGINEERING ALL RIGHTS RESERVED</div>					<div>DRAWN BY: JAW CHECKED BY: SAM CHECKED BY: WAS</div>	<div>SUBURBAN ENGINEERING - Civil Engineers - - Landscape Architects - - Land Surveyors - 7 Cokesbury Caldon Road, Lebanon, N.J. 08833 - 973.398.1776 EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT</div>	<div>PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE TALLMAN WELL NO. 26 VILLAGE OF AIRMONT, COUNTY OF ROCKLAND, STATE OF NEW YORK</div>		PROJECT NUMBER: SCE-12162.003
						FOR CLIENT: SUEZ WATER NEW YORK INC.		SCALE: N.T.S.		
						CONSTRUCTION DETAILS III		SHEET <u>13</u> OF <u>14</u>		
								REVISION -		

ROCKLAND COUNTY SOIL & WATER CONSERVATION DISTRICT SOIL EROSION & SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AND SHALL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. THE SITE AT ALL TIME SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND INSPECTING ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ON REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
4. STOCKPILES ARE NOT TO BE LOCATED WITHIN A FLOODPLAIN, BUFFER, ON A SLOPE, ROADWAY, OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAY BALE SEDIMENT BARRIER OR SILT FENCE.
5. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
6. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE WORK AREA OR ONTO PUBLIC RIGHT-OF-WAY, SHALL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
7. DUST SHALL BE CONTROLLED AT ALL TIMES IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
8. TREES TO REMAIN AFTER CONSTRUCTION WITHIN THE WORK AREA SHALL BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
9. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERS, RIP RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTION SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
10. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN OPEN OR UNFINISHED FOR MORE THAN 10 DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR CLAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE. A TEMPORARY SEEDING AND/ OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.
11. SILT THAT LEAVES THE SITE SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
12. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED, OR TREATED IN ACCORDANCE WITH APPROVED PLANS.
13. ALL AREAS DISTURBED BY ON SITE GRADING, THAT ILL NOT BE CONSTRUCTED UPON, SHALL BE STABILIZED WITH PERMANENT VEGETATIVE COVER, USING THE FOLLOWING SEEDING SCHEDULE, OR EQUIVALENT:

	<u>1 LB. PER ACRE</u>	<u>1 LB PER 1,000 SF</u>
KENTUCKY BLUE GRASS -	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYE GRASS -	5	0.10

14. ALL SEEDED AREAS TO HAVE AN APPLICATION OF THE FOLLOWING:
LIME - AMOUNT NEEDED TO OBTAIN A pH OF 5.5
FERTILIZER - 15 LBS. PER 1,000 SF OF 10-20-10 FERTILIZER OR APPROVED EQUAL.
IF NOT LANDSCAPED OTHERWISE, ALL NEW CONSTRUCTED STEEP PERMANENT SLOPED LESS THAN 1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE SEEDED WITH THE FOLLOWING:

	<u>1 LB. PER ACRE</u>	<u>1 LB PER 1,000 SF</u>
CREeping RED FESCUE -	10	0.45
TALL FESCUE OR SMOOTH BROMEGRASS -	15	0.35
W/ PERENNIAL RYE GRASS	5	0.10

15. ALL SLOPES 1 (VERTICAL): 2.5 (HORIZONTAL) TO BE MULCHED AND STABILIZED WITH CLOTH FABRIC AND PINNED TO THE GROUND.
16. SOD CAN BE USED INSTEAD OF SEED CONSTRUCTION SEQUENCE
 - a. CONSTRUCTION STABILIZING CONSTRUCTION ENTRANCE.
 - b. INSTALL SEDIMENT BARRIERS AS PER NOTE 1 ABOVE.
 - c. CONSTRUCT DIVERSION SWALES AND DRAINAGE SYSTEMS WITH MINIMUM NECESSARY CLEARING.
 - d. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS O BE DISTURBED.
 - e. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE. INSTALL STORM DRAINAGE SYSTEM.
 - f. INSTALL SEDIMENT CONTROL BARRIERS AROUND ALL STORM DRAIN INLETS.
 - g. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OR 30 DAYS AS PER NOTE 2 ABOVE.
 - h. AFTER COMPLETION OF SITE CONSTRUCTION FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTES 13 AND 14 ABOVE.
 - i. REMOVE SEDIMENT BARRIERS AS PER NOTE 12 ABOVE.
 - j. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE SPECS.
17. ALL CONSTRUCTION TO MEET CURRENT TOWN SPECS.
18. 4" OF TOP SOIL TO BE SPREAD PRIOR TO SEEDING IN ALL DISTURBED AREAS.

SEEDING HIERARCHY

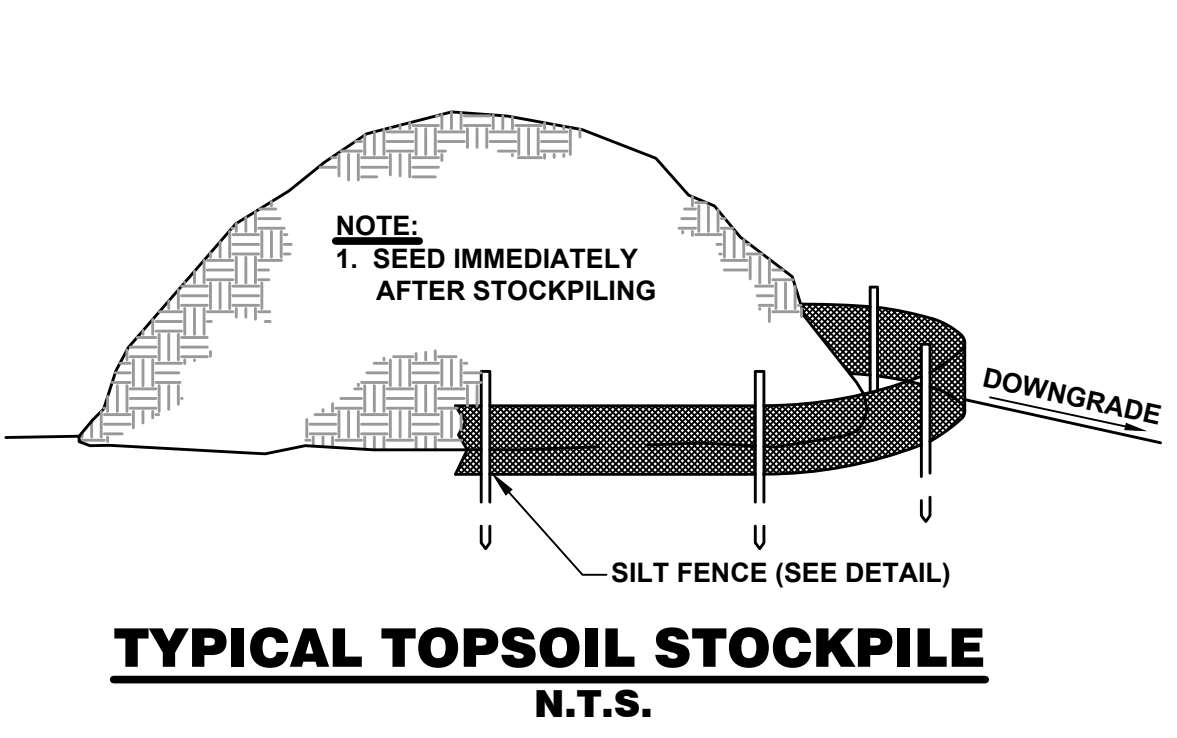
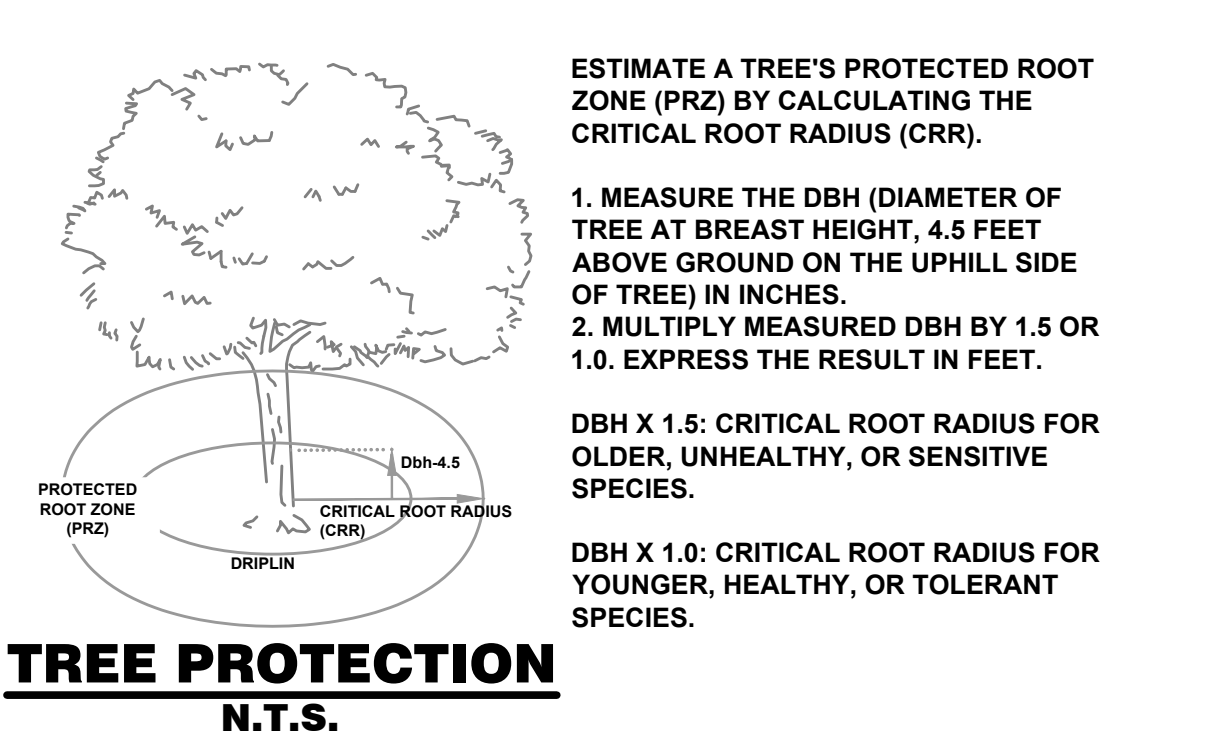
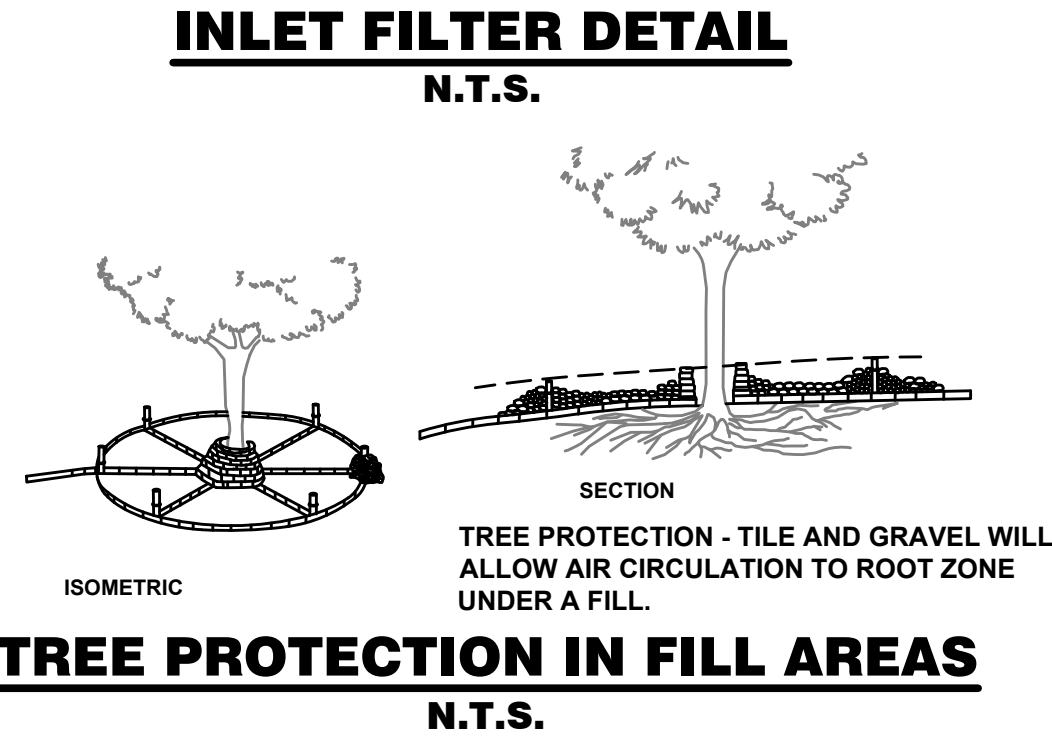
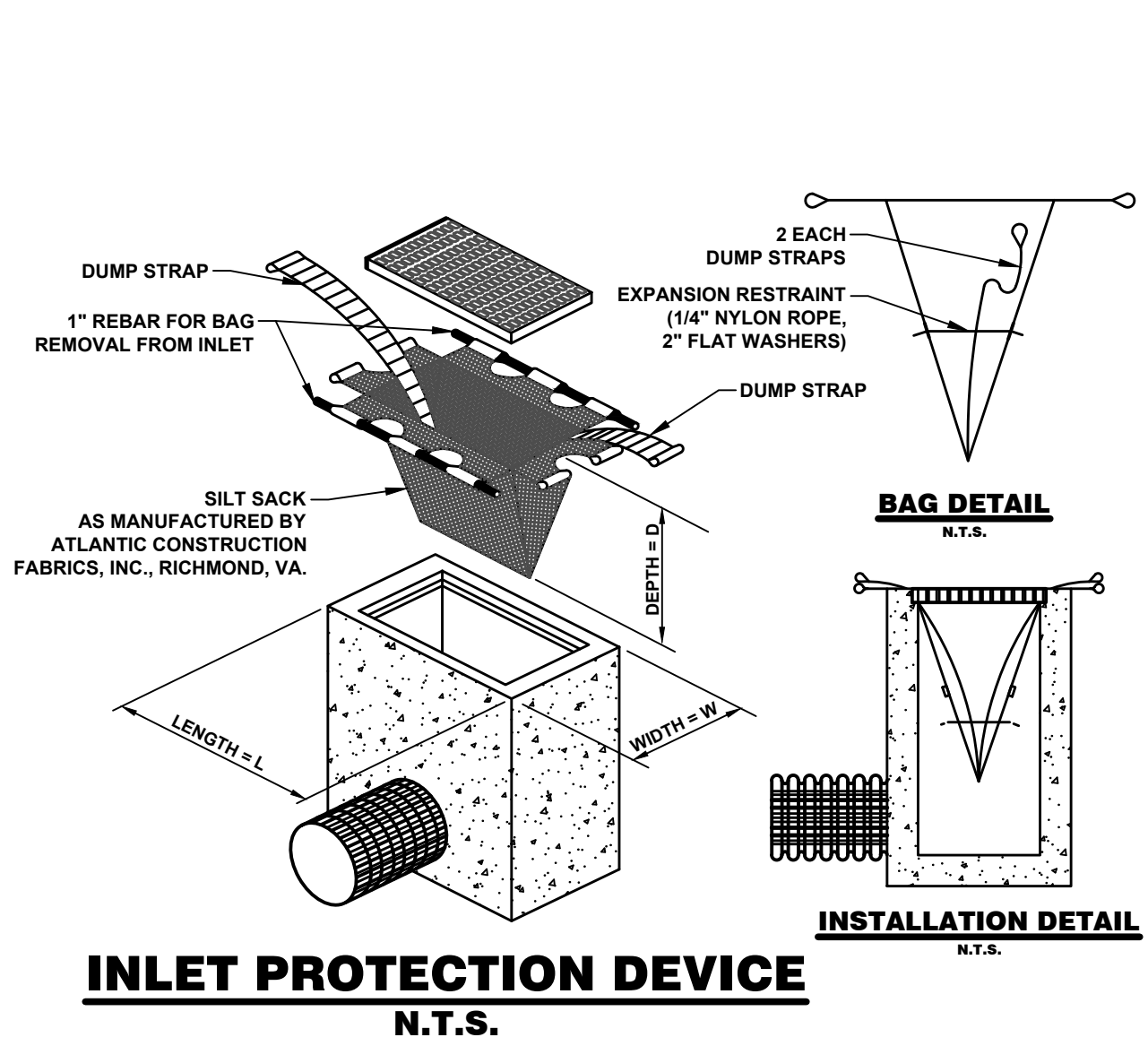
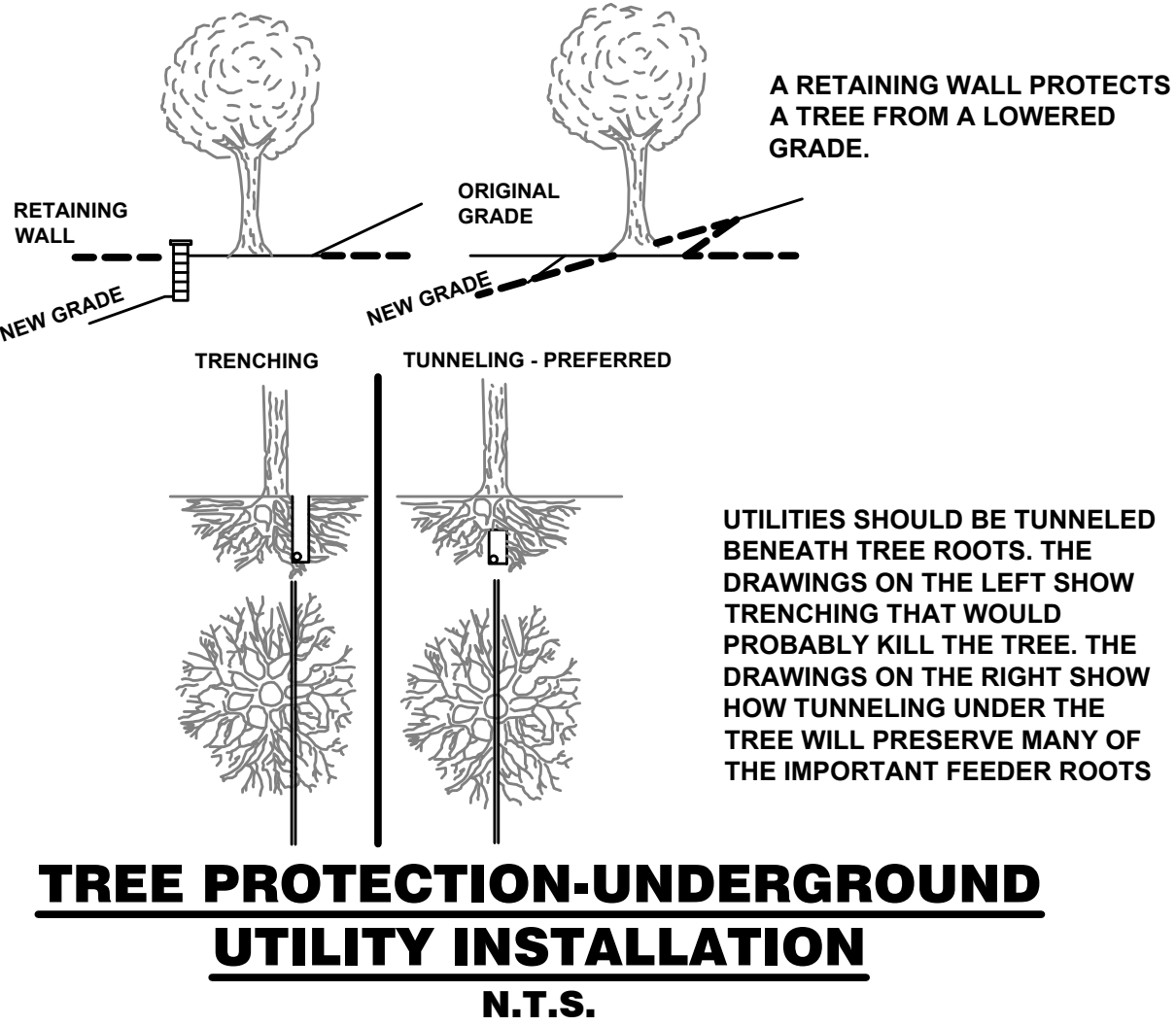
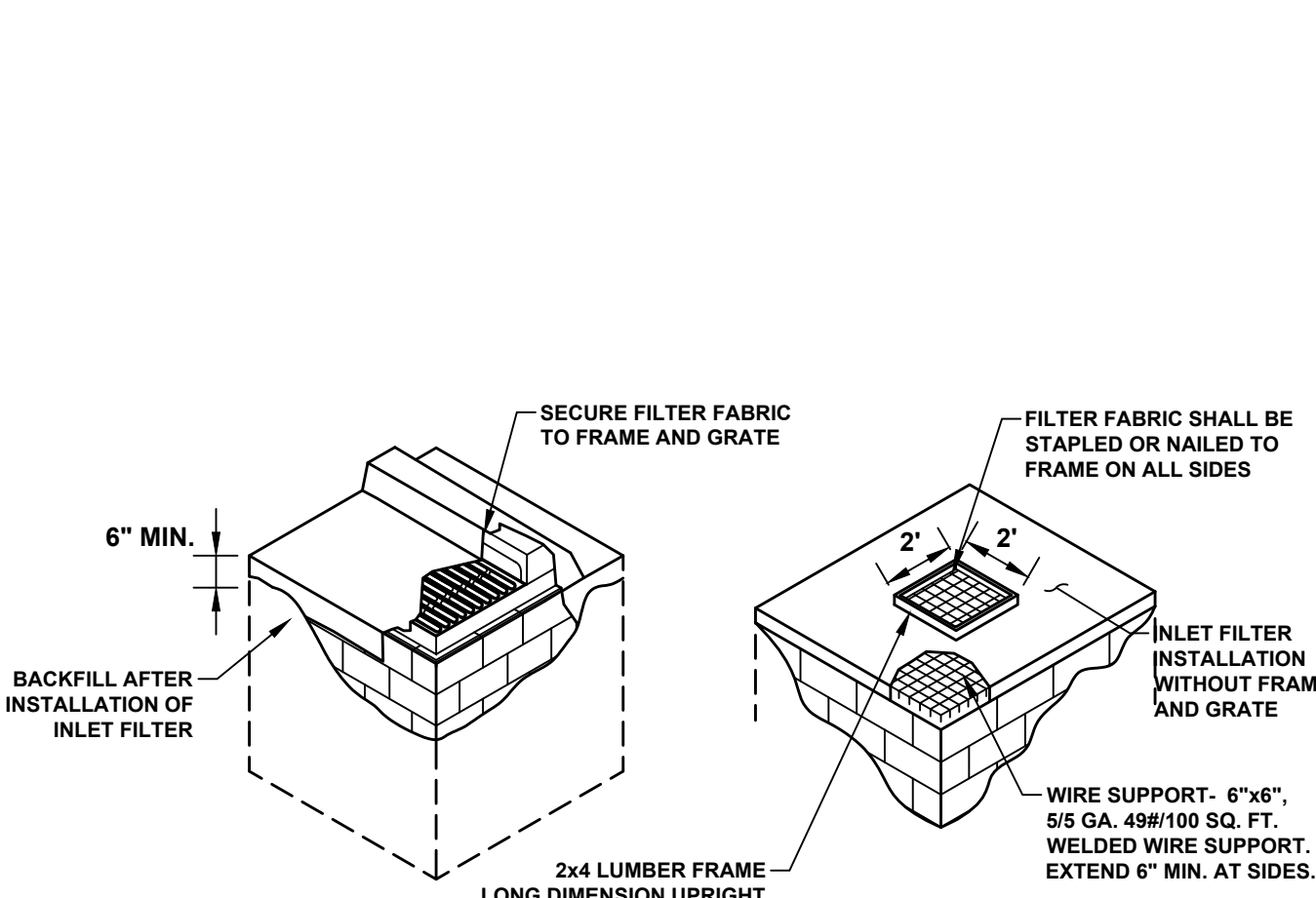
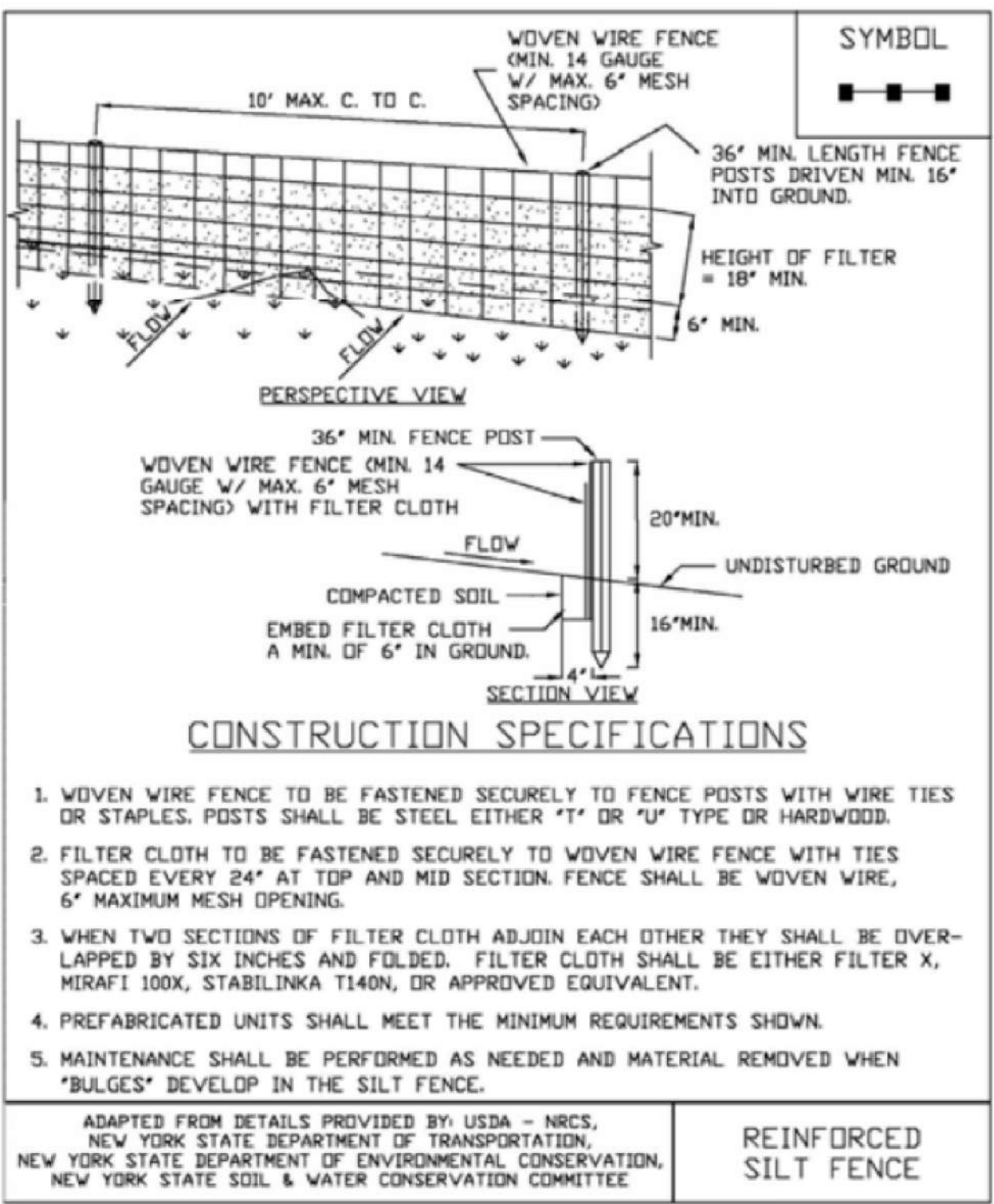
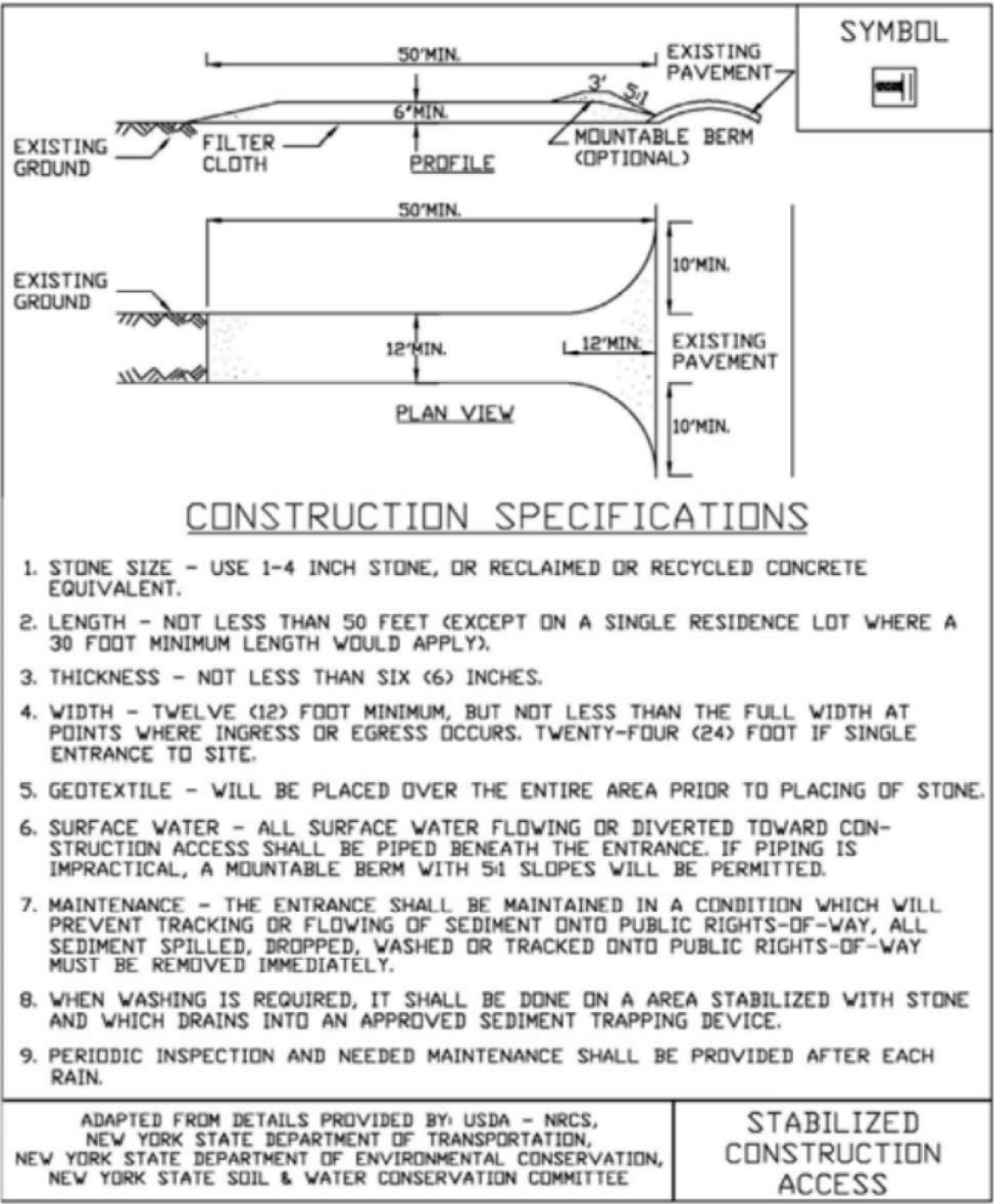
1. REFER TO PLANTING PLAN FOR AREAS TO RECEIVE "ROADSIDE MIX".
2. REFER TO BASIN PLANTING NOTES FOR BASIN ONLY.
3. REFER TO NOTES 13-15 ABOVE FOR ALL OTHER DISTURBANCE AREAS.


DETENTION BASIN MAINTENANCE NOTES:

1. THE LONG TERM MAINTENANCE OF THE ON-SITE DETENTION BASIN SHALL BE THE RESPONSIBILITY OF THE OWNER.
2. THE DETENTION BASIN HAS BEEN DESIGNED WITH A POND DRAIN TO ALLOW DEWATERING OF THE BASIN.
3. THE DETENTION BASIN SHOULD BE MAINTAINED IN ACCORDANCE WITH THE PROCEDURES AND GUIDELINES CONTAINED IN THE LATEST EDITION OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL.
4. THE DETENTION BASIN SHOULD BE INSPECTED ON A MONTHLY BASIS AND IMMEDIATELY AFTER MAJOR STORMS. MAINTENANCE MEASURES SHALL INCLUDE THE FOLLOWING:
 - 4.1. THE POND SHALL BE TREATED FOR MOSQUITO CONTROL PURPOSES IN ACCORDANCE WITH ROCKLAND COUNTY DEPARTMENT OF HEALTH GUIDELINES FOR MOSQUITO SUPPRESSION.
 - 4.2. REMOVE ACCUMULATED TRASH AND DEBRIS FROM INSIDE THE DETENTION BASIN.
 - 4.3. KEEP OUTLET STRUCTURE AND EMERGENCY OVERFLOW CLEAR OF OBSTRUCTIONS AND DEBRIS.
 - 4.4. MAINTAIN ADEQUATE VEGETATION AND GROUND COVER ON THE EMBANKMENTS. SEEDING AND VEGETATION SHALL BE PROVIDED AS NEEDED TO ASSURE 100% COVERAGE
 - 4.5. REMOVE UNDESIRABLE WEEDS AND WOODED VEGETATION GROWTH.
 - 4.6. REPAIR AND STABILIZE EMBANKMENT EROSION.
 - 4.7. MAINTAIN AND REPAIR CONCRETE OUTLET STRUCTURE AND PVC UNDERDRAINS.
 - 4.8. REMOVE ACCUMULATED SEDIMENT FROM BASIN INTERIOR.

MOSQUITO CONTROL NOTES

1. ALL STORMWATER FACILITIES ON THIS SITE HAVE BEEN DESIGNED TO REMOVE ALL STANDING WATER WITHIN FIVE DAYS OF A RAIN EVENT.
2. ALL STORMWATER FACILITIES SHALL BE INSPECTED AFTER SIGNIFICANT RAINFALLS AND AT LEAST ONCE PER MONTH.
3. IF, UPON INSPECTION, WATER REMAINS IN THE STORMWATER FACILITIES LONGER THAN FIVE DAYS AFTER A RAIN EVENT, ONE OF THE FOLLOWING MEASURES WILL BE TAKEN:
 - A) THE WATER WILL BE MECHANICALLY REMOVED (I.E. BY VACUUM); OR
 - B) THE WATER WILL BE MECHANICALLY AGITATED TO PREVENT MOSQUITO BREEDING; OR
 - C) THE WATER WILL BE TREATED WITH MOSQUITO LARVICIDE IN ACCORDANCE WITH NYSDEC AND ROCKLAND COUNTY HEALTH DEPARTMENT GUIDELINES, REGULATIONS AND PROCEDURES.
4. MOSQUITO BREEDING SUPPRESSION MEASURES MUST BE IMPLEMENTED BETWEEN APRIL 1 AND OCTOBER 31.
5. LARVICIDE TO BE APPLIED SHALL BE "MOSQUITO DUNKS" AS MANUFACTURED BY SUMMIT CHEMICAL CO., BALTIMORE, MD. OR MANUFACTURER'S SPECIFICATIONS.
6. THE LONG TERM MAINTENANCE OF THE ON-SITE STORMWATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



<div>CONSULTANT:</div> <div>ANDREW S. HOLT, P.E.</div> <div>NY PROFESSIONAL ENGINEER</div> <div>60% DESIGN</div> <div>DATE: XX/XX/2021</div>	<div>NOTICE</div> <div>THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.</div> <div>THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR REPRODUCED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING</div> <div>ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.</div> <div>© COPYRIGHT 2021 SUBURBAN ENGINEERING</div> <div>ALL RIGHTS RESERVED</div>	<div>NO.</div> <div>DATE:</div> <div>BY:</div> <div>CHK:</div>	<div>REVISIONS</div>	<div>DRAWN BY:</div> <div>JAW</div>	<div></div> <div>SUBURBAN ENGINEERING</div> <div>- Civil Engineers -</div> <div>- Landscape Architects -</div> <div>- Land Surveyors -</div> <div>7 Cokesbury Caldon Road, Lebanon, N.J. 08833 - 973.398.1776</div> <div>EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT</div>	<div>PROJECT NUMBER:</div> <div>SCE-12162.003</div>	
				<div>CHECKED BY:</div> <div>SAM</div>		<div>SCALE:</div> <div>N.T.S.</div>	
				<div>CHECKED BY:</div> <div>WAS</div>		<div>FOR CLIENT:</div> <div>SUEZ WATER NEW YORK INC.</div>	
				<div>SOIL EROSION & SEDIMENT CONTROL PLAN</div>		<div>SHEET 14 OF 14</div>	
				<div>REVISION -</div>			