

ADDENDUM NUMBER TWO TO BIDDING DOCUMENTS

Village of Mount Kisco, Additions/Alterations to Mutual Fire Station and Independent Fire Co. Fire Station

Date:	February 2, 2022
Site Address:	Mutual: 99 Main Street, Mount Kisco, NY 10549 Independent: 322 Lexington Ave, Mount Kisco, NY 10549
Owner:	Village of Mount Kisco Village Hall 104 Main Street Mount Kisco, NY 10549
Architect:	H2M architects + engineers 3 Lear Jet Lane, Suite 205 Latham, NY 12110 Phone: 518-765-5105 Fax: 518-765-5107
TOTAL PAGES (Including Drawings)	ng Cover Page and attachments): 21 pages (18 - 11" x 8.5" pages and 3 – 24" x 36"
	MUST EMAIL TO <u>albanyoffice@h2m.com</u> A CONFIRMATION OF RECEIPT OF THIS PRINT COMPANY NAME, SIGN AND DATE THIS COVER PAGE AND EMAIL TO H2M .
Company Name	(Please Print)
Sign and Date	
	ed herein as Addendum Number Two, is hereby made addenda to all previously issued related to the Project and shall be incorporated into the Scope of the Base Bid. These to the Project Manual.

This Addendum does change the Bid Date, refer to "Front End Divisions 00 and 01 Specifications for both MUTUAL and INDEPENDENT Fire Stations, Item #S1 – MUTUAL & INDEPENDENT" for new date.

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QUESTIONS FOR BOTH MUTUAL AND INDEPENDENT FIRE STATIONS

Item #Q1 - MUTUAL & INDEPENDENT

- Q. Pages A3.1 building sections on both Independent and Mutual drawings show an insulation table indicating spray foam in cavity wall to 24" below top of unheated slab edge. However, detail 5 for Independent, and detail 4 for Mutual, in the same page, show rigid insulation instead of spray foam. Which one is required?
- A. See revision to Insulation Table later in this Addendum.

Item #Q2 - MUTUAL & INDEPENDENT

- Q. Please confirm that the project has a PLA and union labor is required.
- A. See Section 007343 Prevailing Wage Information and Project Labor Agreement (PLA). The full text of the PLA is included in the Front End, Volume I of the Project Manual.

Item #Q3 - MUTUAL & INDEPENDENT

- Q. Is it the intent that the combined number on the bid form be a "discounted" number for being awarded both stations?
- A. The combined number may be a discounted number if the Contractor so wishes. It is the intent of the Owner to proceed with both projects. The Award will be to only one (1) General Contractor.

Item #Q4 - MUTUAL & INDEPENDENT

- Q. Do the fire stations have any house or preferred subcontractors?
- A. No.

Item #Q5 - MUTUAL & INDEPENDENT

- Q. Is there a bill of material for the generators that are being provided to assist in qualifying scope?
- A. No.

Item #Q6 - MUTUAL & INDEPENDENT

- Q. Please confirm that for the abatement scope we are to price only the ACM to be disturbed (19sf at door 202 vestibule at interior 2nd floor meeting room Independent FS) and not the full quantity shown?
- A. The Abatement scope should be based on the modified (disturbed areas) as modified in the Reports for both the Mutual Fire Station and Independent Fire Co. Station. Area indicated "Not affected by our Work" does not get abated.

<u>Item #Q7 – MUTUAL & INDEPENDENT</u>

- Q. Ceiling tile Type #22A in a Dune Angled tegular has a light reflectance of 0.81, please confirm this is ok the specifications call for a 0.83.
- Q. Ceiling tile Type #24A in a Ceramaguard Fine Fissured has a light reflectance of 0.79 please confirm this is ok specifications call for 0.82.

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A. See corrections to Specification Section 095100 in both Projects later in this Addenda.

Item #Q8 - MUTUAL & INDEPENDENT

- Q. Per Alternate #3 for both the Mutual Station and Independent Fire Co., the cameras will be provided and installed by the Owner. Who is responsible for the furnish and install of the patch panels, racks, punch down, etc.? Please confirm the GC is only responsible for the conduit, CAT 6 cabling and labeling and all remaining work will be by others.
- The GC scope listed is correct.

Item #Q9 - MUTUAL & INDEPENDENT

- Q. Please confirm we are not responsible for the furnish and install of the card readers required for Alternate #2 for both the Mutual Station and Independent Fire Co., as per note #2 on 1/E-500 "All door access control equipment to be installed by others at future date".
- A. All door access control equipment is the responsibility of the Owner.

Item #Q10 - MUTUAL & INDEPENDENT

- Q. Please advise if the Kitchen Equipment contractor hired by the Owner will also be furnishing and installing the stainless steel wall paneling at both locations as this work is usually done by them. If we are responsible for this work, please provide us with the specifications and installation details.
- A. No, stainless steel wall paneling is to be provided by the GC. Stainless steel wall paneling is specified in Section 097813 "Metal Interior Wall Paneling". See Contract Drawings for extent of stainless-steel wall paneling.

Item #Q11 - MUTUAL & INDEPENDENT

- Q. Please confirm we are to include the Allowances as outlined in Section 012100 in our pricing for each location, meaning, we will have a total of 100 CY for the removal of existing uncontrolled fill and 100 CY for the placement of controlled fill in our pricing, 50 CY of each at each location.
- A. Correct.

Item #Q12 - MUTUAL & INDEPENDENT

- Q. Please confirm there is no required sprinkler work for either location as no sprinkler drawings have been issued. If there is required sprinkler work, please provide the name and contact info if there is a required sprinkler contractor for either location?
- A. No sprinkler work in either project.

Item #Q13 - MUTUAL & INDEPENDENT

- Q. Please advise if there are any required vendors/contractors for the following items for either location:
 - Fire alarm vendor
 - Roofer
 - BMS Vendor
- A. None Required.

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Item #Q14 - MUTUAL & INDEPENDENT

- Q. We cannot locate the wood species for the windows in the issued specifications for Mutual Station & Independent Fire Co., please confirm pine is acceptable.
- A. Specification Section 085213 Aluminum Clad Wood Windows, Paragraph 2.02 in each project indicates "The pine wood frame member".

Item #Q15 - MUTUAL & INDEPENDENT

- Q. Marvin double hung windows offer a bottom rail lift lock system in lieu of check rail sash locks and separate lifts. Would this be an acceptable option?
- A. Yes.

Item #Q16 - MUTUAL & INDEPENDENT

- Q. Per the Project Manual Preface Section 001000 #20. states we are responsible for the use charges for all temporary water & electric. Please advise the amount of the use charges so this can be accounted for in our pricing.
- A. The Owner and Fire Companies will make existing electric, water, and gas utilities available to the General Contractor (GC) with no usage charges. GC must be responsible for the wise use of all utilities. Abuse of any utility usage will result, as determined by the Village of Mount Kisco, in all usage costs to be charged to the GC.
 - The GC is responsible for providing their own temporary utilities when and if existing utilities are disrupted or out of service for contract required changes, relocations, etc.
 - The GC shall provide temporary lighting and heat as required in new construction until permanent lighting and heating is operational.
 - The GC is responsible for providing temporary exterior lighting when existing is removed until new exterior lighting is functioning.

Item #Q17 - MUTUAL & INDEPENDENT

- Q. Please advise if the existing roof at both locations has a sloped structure or sloped insulation as we cannot locate the information anywhere in the Project Documents.
- A. At the Independent Fire Company Station, the structure is sloped. At the Mutual Fire Station for bidding purposes, assume tapered insulation will be required. Prior to ordering, field verify actual existing deck elevations.

Item #Q18 - MUTUAL & INDEPENDENT

- Q. Please Confirm that the intent is to leave the existing roof insulation in place.
- A. Roofing removal includes insulation. All existing roofing is to be removed down to decking. It does not include removing any concrete topping that may or may not be present.

Item #Q19 - MUTUAL & INDEPENDENT

Q. Please provide details on the assembly/installation of the Gear Lockers provided by Owner. Are bases required?

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A. Bases are not required. Lockers will either be mobile (on locking casters) or wall mounted. The lockers are Firematic Gear Lockers. The GC will be responsible for unloading, storage, if necessary, set-up and installation of lockers purchased by the Owner or Fire Company.

QUESTIONS FOR MUTUAL FIRE STATION

Item #Q1 - Mutual

- Q: With regard to Independent-Mutual Station Roof Plan (A1.3)
 - 1. Please provide a section thru the concrete pavers on Roof B.
 - 2. Please provide a section showing how the new roof A & C tie into existing parapet on Main roof.
 - 3. Please provide section/elevation of existing chimney to be removed, showing height.
- A. 1. Mutual Roof B does not have concrete pavers. Roof B along with the inside face of the parapet (See Detail 7/A3.1) at Roof B only are covered with EPDM walkway pads as noted in the Note above the Column Line 3 and 4 bubbles in Detail 1/A1.3. Pitch on Roof B should be 1/4"/12" created with tapered insulation.
 - 2. See Detail 14/A1.3.
 - 3. Exact dimensions of the existing Mutual chimney above the roof do not exist. Contractors can make their own assessment of the chimney size, construction, condition, etc. during available walk-throughs.

Item #Q2 - MUTUAL

- Q: Sheet A01.1, partition type #17 calls for "vapor retarder" on the studs before the sheetrock goes up, is this a 6 mil poly? Does it have to be taped?
- A. Wall Type 17 the vapor retarder shown is six (6) mil polyethylene as specified in Section 072713. See Paragraph 3.01 B. for Treatment of Vapor Barrier Joints.

Item #Q3 - MUTUAL

- Q. Sheet A01.1, partition type #17 calls for 4" SAFB insulation in a 6" wall, however in the specifications it calls for 6" minimum insulation in a 6" or thicker wall framing see 072116-2.02-C. Please confirm if it is 4" or 6".
- A. Wall Type 17 Being an exterior wall the 4" SAFB Mineral Wool is acceptable. 6" SAFB insulation shall be used in any 6" or larger interior stud cavities requiring sound attenuation insulation.

Item #Q4 - MUTUAL

- Q. Window elevations on A8.1 and building elevations on A2.1 show type W3 and W4 with different lite cuts in the windows and transoms on the Mutual Station. Which drawing should we use?
- A. Provide window muntins in the configuration as shown on Drawing A2.1

Item #Q5 - MUTUAL

- Q. Confirm whether the existing membrane on Mutual Station is adhered or mechanically attached.
- A. Unknown, investigation during available walk through may offer some clues.

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QUESTIONS FOR INDPENDENT FIRE STATION

Item #Q1 – INDEPENDENT

- Q. Clarify roof demolition on Independent Station. Demolition Keynote D44 on D1.1 indicated the removal of roof membrane and roof flashing and the installation of new roof vapor barrier, insulation and membrane. Will the existing roof system be removed down to existing deck or will existing insulation remain?
- A. Remove existing roofing including insulation down to deck.

Item #Q2 - INDEPENDENT

- Q. Roof B calls for the install of new roof membrane and insulation. This will require the removal of existing edge metal. Will existing edge metal be salvaged or will new edge metal be installed?
- A. Existing roof edge metal and/or cap shall be removed, and new metal installed in all locations receiving new roofing.

Item #Q3 - INDEPENDENT

- Q. Drawing PS100.00 shows a new meter pit. Can you please provide details showing the required specifications of this meter pit?
- A. The exterior water meter pit at Independent Fire Company should be deleted. Assume Owner provided meter will be required within the Interior Domestic Service BFP Device Detail 2/PS100.

Item #Q4 - INDEPENDENT

- Q. The Site Dimensional Plan (CS 100.00) for the Independent Fire Co., doesn't have the landscape notes (permanent seeding, soil restoration, temp seeding, etc.) as shown on the Site Dimensional Plan for the Mutual Station. Please confirm that we will not be responsible for these items at the Independent Fire Co. location.
- A. See revised Civil Drawings issued at the end of this Addenda.

FRONT END DIVISIONS 00 AND 01 SPECIFICATIONS FOR BOTH MUTUAL AND INDEPENDENT FIRE STATION

Item #S1 - MUTUAL & INDPENDENT

Section 001116 - Invitation to Bid

Change to Paragraph 2 to read: "Sealed bids will be received until 11:00 A.M. local time on **Tuesday**, **February 15, 2022**, at the office of the Village Manager, Village Hall, 104 Main Street, Mount Kisco, NY 10549."

All other information related to the Bid Opening as detailed in the Invitation to Bid remain the same.

Item #S2 - MUTUAL & INDEPENDENT

Section 004100 - Bid Form for both Mutual and Independent Stations

Replace the Bid Form issued in Addenda #1 with the new Bid Form located at the end of this Addenda.

Item #S3 - MUTUAL & INDEPENDENT

Section 012300 - Alternates

1. ADD the following to Paragraph 3.01:

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- "G. Alternate #7 MUTUAL ADD: Replace existing two (2) front overhead doors.
 - 1. Remove and dispose of existing front apparatus bay doors.
 - Replace with two (2) new overhead doors as specified in Mutual Section 083613 – Sectional Overhead Doors. As stated elsewhere in this Addenda, remote door operators are not required in the Radio Room. Overhead doors provided, if this Alternate is accepted, shall match new overhead door on the new Apparatus Bay being provided in the Base Bid."
- 2. "H. Alternate #8 MUTUAL ADD/DELETE West elevation First Floor Addition EIFS Finish.
 - Drawing A2.1 West Elevation, in lieu of brick on the First Floor of the new addition provide 4" grey CMU veneer (flush mortar joints) up to the top of the lower brick veneer color 2 band. Soldier coursing above overhead door will not be required. Provide exterior insulating finish system (no insulation) in accordance with section 072400. All grey CMU to be covered with ultra-high impact mesh. Finish coat shall match texture and color of existing station stucco/EIFS."
- 3. "I. Alternate #9 MUTUAL ADD Fire Company use of Existing Apparatus Bay.
 - 1. The General Contractor (GC) shall allow the Fire Company use of the existing Apparatus Bay, existing Radio Room, existing Front Lobby (for response access) and existing Bathroom (R105) for Apparatus storage (two response vehicles) and response for a period of six (6) months from start of actual Construction/Demolition. During this period, the GC will have limited access to these areas and will need to coordinate with the Fire Company in advance for any disruptions that would impact response. At the conclusion of six months, the GC shall have complete access to these areas.
 - 2. Fire Company members responding shall utilize on street parking. The GC shall have complete access and control of the Macadam parking lot located on the North side of the existing station.
 - 3. If this Alternate is not accepted, the fire station will be vacated in accordance with Section 001000 Project Manual Preface, Note #11."

SPECIFICATIONS FOR MUTUAL FIRE STATION

Item #S1 - MUTUAL

Section 083613 - Sectional Overhead Doors

- 1. Paragraph 1.02 B.: Delete in its entirety.
- 2. Paragraph 2.01 N. 3.: Delete. Remote overhead door operators are not required in the Radio Room.

Item #S2 - MUTUAL

Section 095100 - Acoustical Lay-in Ceilings

1. Paragraph 2.01 B. 1. c.: Change Light Reflectance from "0.83" to "0.81".

SPECIFICATIONS FOR INDEPENDENT FIRE STATION

Item #S3 - INDEPENDENT

Section 095100 - Acoustical Lay-in Ceilings

- 1. Paragraph 2.01 B. 1. c.: Change Light Reflectance from "0.83" to "0.81".
- 2. Paragraph 2.01 C. 1. c.: Change Light Reflectance from "0.82" to "0.79".

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DRAWINGS FOR MUTUAL FIRE STATION

Item #D1 - MUTUAL

<u>Drawing D1.1 – First and Second Floor Demolition Plans</u>

Demolition Keynotes:

- 1. Keynote D24:
 - a) Change "Prepare existing opening to receive new overhead door" to "Prepare existing opening to become new opening to Apparatus Bay 118".
- 2. Details 1 and 2/D1.1:
 - a) Remove existing stair A rubber treads, risers and landing tile near end of construction activity. Replace with NEW see Room Finish Schedule Drawing A9.1.
- 3. Detail 2/D1.1 Existing Second Floor Plan
 - a) On the North wall of Room R205 Existing Members Room, the window indicated D34 should be "Contractor to remove existing window system and all associated construction complete, including shades or curtains. Opening to be in-filled with a Type 63 in-fill, see Drawing A1.1.
 - b) Change note "Existing range to be salvaged and relocated" to "Existing range and all components to be removed".
 - c) ADD Note: Any second-floor wood paneling removed and not re-used shall be turned over to the Fire Company. Any wood paneling required to be removed should be removed in a manner that protects its integrity for later re-use by either the Contractor or the Owner.

Item #D2 - MUTUAL

Drawing A1.1 – First and Second Floor Plans

- 1. Detail 1 First Floor Plan:
 - a) Delete Door R102.
 - b) In Room 118, change swing of door from RHR to LHR
 - c) In Room 118, Keynote 30, change location to "Coordinate with Fire Company for mounting location".
 - d) In room 118, extend the limits of the sloped floor from 25' back from the overhead door to 45' back from the overhead door. Center the E16 catch basin in the new area of sloped flooring.
 - e) In Room 108, relocate Keynote E6 to above Door R108.

Item #D3 - MUTUAL

Drawing A1.3 - Roof Plan and Details

Detail 8/A1.3 EIFS Parapet

1. All plywood and blocking in this Detail shall be pressure Treated (P.T.).

Item #D4 - Mutual

Drawing A3.1 - Building Sections

Insulation Table

1. Unheated slab edge change method to read "2" Rigid Insulation to 36" below top of slab".

Item #D5 - MUTUAL

Drawing A9.1 - Finish Schedule, Plans & Details

- 1. Finish Room Schedule
 - a) Existing Stair A, change floor material from "CPT." To "Rubber on treads, risers and landings. Rubber tiles on intermediate and second floor landings.".

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Item #D6 - MUTUAL

<u>Drawing PD110 – Plumbing Demolition First Floor Plan</u>

1. At the existing four (4) floor drains in the Apparatus Bay, replace existing floor drain grates with new grates of same size and style. Comply with Keyed Plumbing Demolition Notes 1.4 for all floor drains.

Item #D7 - MUTUAL

<u>Drawing E101.01 – Electrical Power Plan First Floor</u>

- 1. Room R104 Existing Radio Room, Delete "New Door Control Buttons (four in total for each door motor) (Note 10)".
- 2. Electrical Keynotes:
 - a) Delete Note 10.
- 3. Detail 1 Electrical Power Plan First Floor
 - a) Move TV box and duplex receptacle (GP2-2) from just East of Door R108 to above Door R108, boxes to be mounted at 9' 6" AFF.

DRAWINGS FOR INDEPENDENT FIRE STATION

Item #D1 - INDEPENDENT

Delete the following Civil Drawings and replace with the revised Civil Drawings dated 2/2/2022, located at the end of this Addendum:

Original Drawing No.	Title	Revised Drawing No.
CD 100	Demolition and Erosion & Sediment Control Plan	CD 100.02
C500	Site Details	C500.02
C501	Site Details	C501.02

Item #D2 - INDPENDENT

<u> Drawing S121 – Second Floor Framing & Roof Framing Plan</u>

- 1. Eliminate shadow line of roof drain in upper left corner on Detail 3/S121 Alternate Second Floor Plan Addition.
- 2. Eliminate shadow line of roof drain in upper left corner on Detail 4/S121 Alternate Roof Framing Plan Addition.
- 3. Detail 1/S121 Second Floor Framing Plan
 - Add Roof Framing Note 7 to the West side of Room 111 to support the roof deck along the West wall of this room.
 - b) Roof decking over Room 111 is SR running East/West.
 - c) Add a Type LL-2 Lintel over Door 120A.

Item #D3 - INDEPENDENT

Drawing S500 - Details

- 1. Detail 2/S500 Exterior Foundation Wall with Brick Shelf
 - a) Drop W/brick shelf from detail title.
 - b) Change brick veneer to ACMU veneer.

Item #D4 - INDEPENDENT

Drawing S501 - Details

- 1. Detail 3/S501 Typical Framed Roof Opening
 - a) Add note: "Provide Framing at all Roof Drain Penetrations".
- 2. Detail 7/S501 New CMU Parapet to Existing Masonry Wall

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- a) The angle 6x4x5/16 (Roof Framing Note 7) should show supporting the end of the new high roof deck.
- b) The 12" CMU in this Detail is 12" ACMU with Korfil Inserts.
- Precast coping is not required at this location. Provide fascia/drip edge similar to Detail 7/A1.3.

Item #D5 - INDEPENDENT

Drawing A1.2 – Reflected Ceiling Plans

- 1. Detail 2/A1.2 Second Floor Reflected Ceiling Plan
 - a) Room R204: ADD a 15" wide x 12" high (r" exposed below finish ceiling) soffit along the West wall of the room up to 12" from DSEU-5 to conceal the 10" x 6" duct running along this wall as shown on Drawing M132.

Item #D6 - INDEPENDENT

Drawing A1.3 – Roof Plan and Details

Detail 1/A1.3 New Roof Plan

1. "Roof D Low" the 1/4"/ 1'-0" pitch on the roof is to be created by the use of tapered roof insulation on top of the 7" of roof insulation.

Item #D7 - INDEPENDENT

Drawing A3.1 – Building Sections

Insulation Table

1. Unheated slab edge change method to read "2: Rigid Insulation to 36" below top of slab".

Drawing #D8 - INDEPENDENT

Drawing A9.1 – Finish Schedule and Details

- 1. Add the following note in the Comment Section of the Finish Room Schedule, for Rooms 111, 114 and 118:
 - a) "At exterior wall/concrete floor intersection, provide EMSEAL DSM preformed and pre compressed expansion joint system if joint exceeds 1" in width.

End of Addendum #2

See following attachments:

- 1. Section 004100 Bid Form for both Mutual and Independent Stations
- Drawing CD 100.02 Demolition and Erosion & Sediment Control Plan-INDEPENDENT
- 3. Drawing C 500.02 Site Details INDEPENDENT
- Drawing C 501.02 Site Details INDEPENDENT

PROJECT:	Village of Mount Kisco - Additions/Alterations – M Stations	utual & Independent Fire	
BID MADE TO:	Village of Mount Kisco Village Hall 104 Main Street Mount Kisco, NY 10549		
ARCHITECT:	H2M architects + engineers		
BIDDER:			
Phone ()Fax ()		
project areas affecting rengineers and Form of Additions/Alterations – within the Contract Tim	r, having familiarized (himself, themselves, itself) withe cost of the work, and the Contract Documents a Surety Bonds, hereby propose to perform the work Mutual & Independent Fire Stations. all in accordance, for the following lump sum bid: OTAL BID (Written Words)	is prepared by H2M archi k of the Village of Mount	tects + Kisco -
Mutuai Fire Station. 1	OTAL BID (Written Words)		
\$		CENTS	
Independent Fire Stat	ion: TOTAL BID (Written Words)		
\$		CENTS	
Total Bid for Both Sta	tions: (Written Words)		
Note: Total may be less than	the combined numbers above.	<u> </u>	
\$	DOLLARS	CENTS	
	(Type of Flandwillion in Dide of Didek link)		

The undersigned bidder acknowledges the project schedule as detailed in Attachment "D" to AIA 101.

CONTRACTOR TAKE NOTE

ALL DOLLAR AMOUNTS FOR ALTERNATES AND UNIT PRICES MUST BE FILLED IN TO CONSTITUTE A VALID BID.

ALTERNATES AND UNIT PRICES

Refer to Specification Section 012300 – Alternates and Section 012200 – Unit Pricing, for a detailed description of the work involved in each Alternate and Unit Pricing.

Please note: Alternates are project specific, and the Unit Prices listed shall apply to both projects.

Mutual Fire Station Alternate #1: (ADD) Substitute Glazed Concrete Block for Painted Gray Block in New Apparatus Bay

	Lump Sum Cost for Mutual Alternate #1		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Mutual	Fire Station Alternate #2: (ADD) Door Access C	Control Infrastructure	
	Lump Sum Cost for Mutual Alternate #2		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Mutual	Fire Station Alternate #3: (ADD) WIFI and Tech	nology Upgrades	
	Lump Sum Cost for Mutual Alternate #3		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS

Mutual	Fire Station Alternate #4: (ADD) Engraved Precast Med	dallion	
	Lump Sum Cost for Mutual Alternate #4		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Mutual	Fire Station Alternate #5: (ADD) Maintenance Bond		
	Lump Sum Cost for Mutual Alternate #5		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Mutual Work	Fire Station Alternate #6: (DELETE) New Retaining W	all, Two Parking Spaces, a	and Associated
	Lump Sum Cost for Mutual Alternate #6		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Mutual	Fire Station Alternate #7: (ADD) Replace existing two (2) front overhead doors.	
	Lump Sum Cost for Mutual Alternate #7		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Mutual	Fire Station Alternate #8: (ADD/DELETE) West elevation	on First Floor Addition EIFS	S Finish.
	Lump Sum Cost for Mutual Alternate #8 Indicate Add	l or Delete by circling.	
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS

Mutua	al Fire Station Alternate #9: (ADD) Fire Company us	e of existing Apparatus Bay.	
	Lump Sum Cost for Mutual Alternate #9		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
***	******	*****	*****
Indep	endent Fire Station Alternate #1: (ADD) Additional S	Second Floor Addition	
	Lump Sum Cost for Independent Alternate #1		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Indep	endent Fire Station Alternate #2: (ADD) Door Acces	ss Control Infrastructure	
-	Lump Sum Cost for Independent Alternate #2		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Indep	endent Fire Station Alternate #3: (ADD) WIFI and T	echnology Upgrades	
	Lump Sum Cost for Independent Alternate #3		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Indep	endent Fire Station Alternate #4: (ADD) Replace Al	uminum Front Entrance and Doo	r
	Lump Sum Cost for Independent Alternate #4		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS

Inde	pendent Fire Station Alternate #5: (ADD) Maintenan	ce Bond	
	Lump Sum Cost for Mutual Alternate #5		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Inde	pendent Fire Station Alternate #6: (ADD) Replace E	xisting Front Overhead Door	
	Lump Sum Cost for Mutual Alternate #6		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Sup	ply unit prices for the following (prices are applical	ole to either project):	
1.	Removal of Existing Uncontrolled Fill Material. Unit Price #1		
	Numerals: \$	/cy	
	Written Words:		
		DOLLARS	CENTS/cy
2.	Placement of Controlled Fill.		
۷.	Unit Price # 2		
	Numerals: \$	/cy	
	Written Words:		
		DOLLARS	CENTS/cy

ALLOWANCES

Refer to Specification Section 012100 – Allowances, for quantities and/or dollar amounts that are **included within the Base Bid** for each project.

1.

NOTES

If written Notice of Award is mailed, telegraphed or faxed delivered to the undersigned Bidder after

	forty-five (45) days old, the undersigned agrees to execute and ribed form and furnish the required bonds within fourteen (14)
2. Security in the sum of	DOLLARS
(\$) in the form of	is submitted
herewith in accordance with the Ins	tructions to Bidders.
3. The Bidder has received:	
Addenda numbers to No addendum(check, if ap	, inclusive, and has included the effect thereof in his bid. propriate).

- 4. Alternates, Allowances and Unit Prices For work to be added to or deleted from the Contract. The summary shall be filled in by the Bidder, with the price written in words and numerals, in blue or black ink or by typewriter. Should a discrepancy in prices appear between the written words and numeric figures, the written words shall take precedence. State the amounts to be added to or deleted from the Base Bid per the indicated units for each listed item.
 - A. Allowances shall be incorporated into the Bidder's base bid for each project.
 - B. Alternates shall either be adds or deducts to the Bidder's base bid and shall be clearly shown in the bid form.
 - C. Unit prices shall be shown in the bid form. Unit prices are only for additional work due to field conditions and are not part of the base bid. Stated unit prices apply to both projects.
- 5. The Bidder accepts the provisions of the Draft Contract, General Conditions, Specifications and Contract Documents concerning delay damages in the event of failure to complete the work on time.
- 6. Bidders represent that their bid is in compliance with laws of New York State.
- 7. Bidders are aware and have bid accordingly: The Village of Mount Kisco is a tax-exempt entity. The Village of Mount Kisco has waived all fees and cost of permits for this project. (State and county fees, if any, are in effect.).
- 8. It is the intent the Village of Mount Kisco will award and proceed with both fire station projects. If project costs exceed the Village of Mount Kisco's project budget., the Village reserves the right to proceed with only one of the projects.
- 9. Due to the ongoing COVID-19 pandemic and the resulting uncertainty with regard to (a) what restrictions, if any, will be applicable to construction activities in the Owner's facilities due to State. Federal or Local orders, laws, regulations or rules related to the COVID-19 pandemic (including but not limited to social distancing, cleaning and disinfection requirements) and (b) the duration of any restrictions imposed on constructions activities, the Owner may modify the construction schedule set forth in the Contract/Bid Documents. Similarly, restrictions, if any, that will be applicable to construction activities in the Owner's facilities due to State, Federal or Local orders, laws regulations or rules related to the COVID-19 pandemic (including but not limited to social distancing, cleaning and disinfection requirements) may cause the Owner to have the construction work commence later than the date specified in the Contract/bid documents. By submitting a bid, the Bidder acknowledges and agrees that there shall be no additional compensation paid for schedule modifications caused directly or indirectly by the COVID-19 pandemic. The Bidder further acknowledges and agrees that the sole remedy for any schedule modifications or delays caused directly or indirectly by the COVID-19 pandemic shall be an extension of time, if warranted. The Bidder further acknowledges and agrees that it shall have on file and provide a copy to the Owner

H2M

of its written COVID-19 Business Reopening Plan, and it shall comply in all respects with such plan for the duration of the project. The Bidder and not the Owner shall be responsible for compliance with its written COVID-19 Business Reopening Plan and all safety requirements associated with COVID-19 protections for workers and the general public.

SIGNATURES		
Bidder:		
☐a corporation organized and existing under t	he laws of the State of	
a partnership, consisting of		
an individual conducting business as		
The location of whose principal office is:		
Phone:		
Ву	Signature and Title	
Print/Type Name:	· ·	
State of:		
County of:		
Subscribed and sworn to before me this	_ day of	, 20
Notary Public:		
My Commission Expires:		
(CORPORATE SEAL)	Date	,20

STATEMENT OF NON-COLLUSION IN BIDS & PROPOSALS

"By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:

- I. The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor.
- II. Unless otherwise required by law, the prices, which have been quoted in this bid, have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or to any competitor.
- III. No attempt has been made or will be made to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition."

CERTIFIED COPY OF RESOLUTION OF BOARD OF DIRECTORS

(Must be submitted if BIDDER is a corporation)		
	(Name of Corpo	oration)
RESOLVED that	(Person Authorized to	o Sign)
, (Title) to		
be authorized to sign and submit the Bid of this Corpo	ration for the following Project:	
and to include in such bid the certificate as to non-col	usion, and for any inaccuracies or misstatem	nents in
such certificate this corporate Bidder shall be liable un	nder the penalties of perjury.	
The foregoing is a true and correct copy of the resolu	ion adopted	
by	(Name of Corpor	ration)
at a meeting of its Board of Directors held on the	day of,	
	BY:	
	(Sig	gnature
(SEAL)	(Турес	d Name
	TITLE:	

END OF BID FORM

DESCRIPTION

PAVEMENT AND BASE

REMOVE AND DISPOSE EXISTING CONCRETE PAVEMENT

EXISTING FEATURE
REMOVE AND DISPOSE OF

EXISTING CHAIN LINK FENCE

REMOVE AND DISPOSE

NEW SILT FENCE

NEW INLET PROTECTION

(SEE EROSION CONTROL NOTE #10)

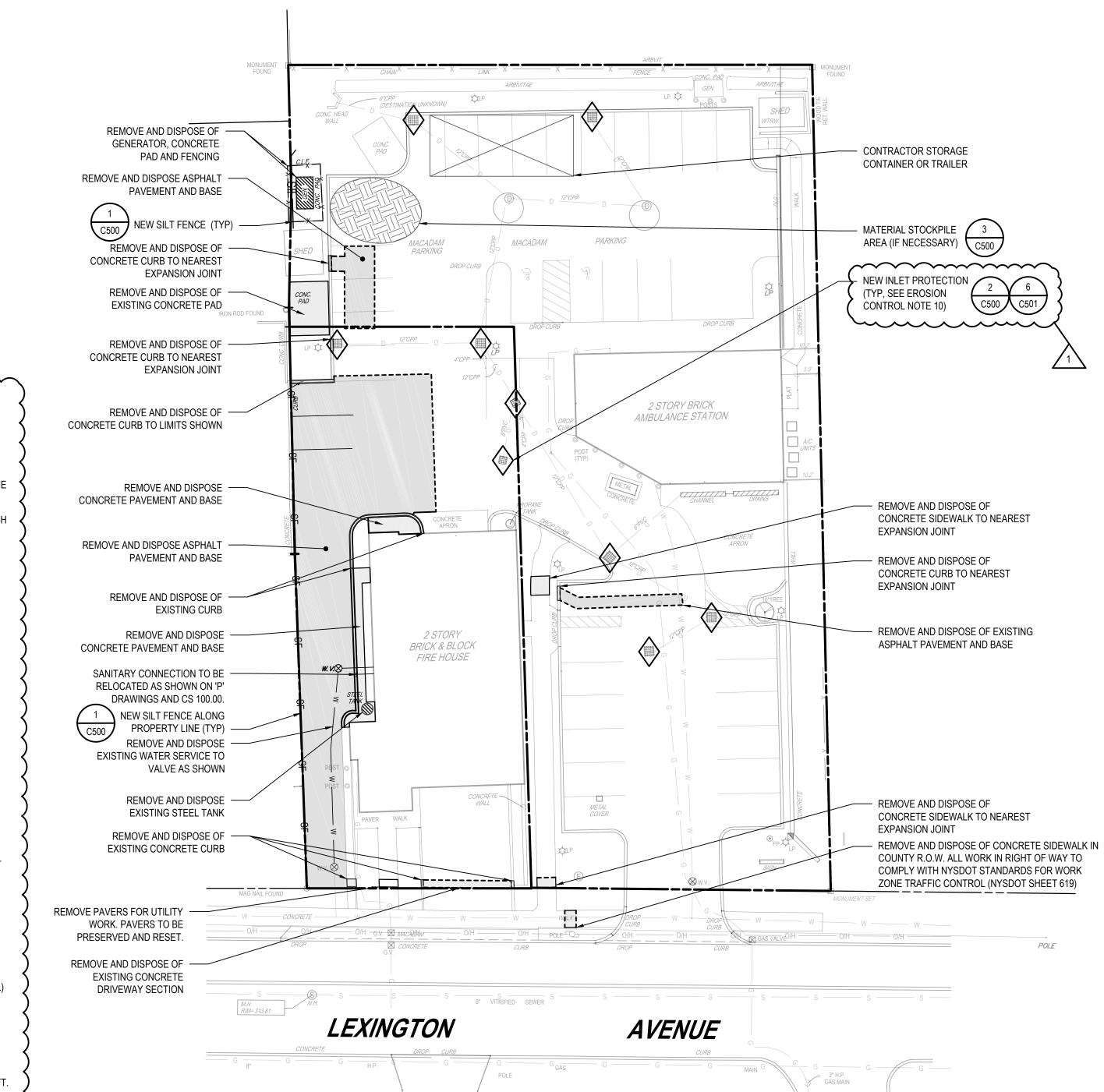
PERMANENT SEEDING AND SOIL RESTORATION NOTES:

<u>SYMBOL</u>

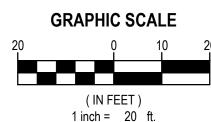
- 1. SOIL RESTORATION SHALL BE IN ACCORDANCE WITH CHAPTER 5, TABLE 5.3 OF THE NYS STORMWATER MANAGEMENT DESIGN MANUAL.
- 2. SOIL RESTORATION SHALL BE REQUIRED ON ALL AREAS OF THE SITE WHICH TOPSOIL WAS STRIPPED AND IN NEW PERVIOUS AREAS PREVIOUSLY IMPERVIOUS.
- 3. SOIL RESTORATION STEPS ARE AS FOLLOWS:
- 3.1. APPLY 3 INCHES OF COMPOST OVER SUBSOIL
- 3.2. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS
- 3.3. ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE
- 3.4. APPLY TOPSOIL TO A DEPTH OF 6 INCHES, COMPACT TO A UNIFORM THICKNESS OF 4" AND FINELY GRADE AND LOOSEN WITH MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE
- 3.5. SEED AND FERTILIZE AS REQUIRED BY NOTE #4 BELOW
- 4. SEEDING, MULCHING AND FERTILIZING SHALL BE AS FOLLOWS:
- 4.1. FERTILIZER SHALL BE APPLIED AT 6 LBS OF 5-10-10 COMMERCIAL FERTILIZER/1,000 SQ. FT.
- 4.2. SEEDING SHALL BE APPLIED AT 5 LBS/1,000 SQ. FT. CONSISTING OF 60% KENTUCKY BLUE GRASS, 20% CHEWINGS FESCUE AND 20% PERENNIAL RYE.
- MULCH AREA WITH HAY OR STRAW AT 2 TONS/ACRE (APPROX. 90 LBS./1000 SQ. FT. OR 2 BALES). TO MAINTAIN SOIL MOISTURE LEVEL.

TEMPORARY SEEDING NOTES:

- ROUGH GRADE AREA PRIOR TO SEEDING. REMOVE LARGE DEBRIS AND ROCKS.
 TEMPORARY SEEDING SHALL BE AS FOLLOWS:
- 2.1 SPRING TO FARLY FALL: SEED AREA WITH RYEGRASS (ANNUAL OR PER
- 2.1. SPRING TO EARLY FALL: SEED AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE (APPROXIMATELY 0.7 LB./1000 SQ. FT. OR USE 1 LB./1000 SQ. FT.).
- 2.2 LATE FALL TO EARLY WINTER: SEED AREA WITH CERTIFIED 'AROOSTOOK' WINTER RYE (CEREAL RYE) AT 100 LBS. PER ACRE (2.5 LBS./1000 SQ. FT.).
- 3. MULCH AREA WITH HAY OR STRAW AT 2 TONS/ACRE (APPROX. 90 LBS./1000 SQ. FT. OR 2 BALES).
- 4. FOR FURTHER DETAIL, REFER TO PAGE 4.58 OF THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.







SITE DEMOLITION NOTES:

- 1. REPORT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS TO THE ENGINEER IN WRITING IMMEDIATELY.
- 2. UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FOR DESIGN PURPOSES ONLY. PROVIDE FOR CONSTRUCTION MARKOUT AND LOCATE EXISTING UNDERGROUND UTILITIES. NO EXCAVATION MAY COMMENCE UNTIL UTILITY DOCUMENTATION HAS BEEN COMPLETED.
- 3. NO COMPENSATION WILL BE MADE FOR ANY INCONVENIENCE CAUSED BY ENCOUNTERING UTILITIES AND STRUCTURES WHICH ARE NOT SHOWN, OR ARE INACCURATELY SHOWN ON THE PLANS.
- 4. REPAIR ANY DAMAGE TO EXISTING UTILITIES RESULTING FROM CONTRACTOR OPERATIONS IMMEDIATELY AT NO COST TO OWNER.
- 5. REPAIR ANY DAMAGE TO EXISTING SITE FEATURES SCHEDULED TO REMAIN RESULTING FROM CONTRACTOR OPERATIONS AT NO COST TO OWNER.
- 6. SAWCUT CONCRETE PAVEMENT BACK TO NEAREST EXPANSION/CONTROL JOINT.
- 7. PROVIDE TEMPORARY FENCING TO PROTECT WORK AREAS.
- INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN PRIOR TO ANY GROUND DISTURBANCE.
- 9. NOTIFY OWNER AND ENGINEER IMMEDIATELY IN WRITING WHEN UNKNOWN STRUCTURES OR SUSPECTED HAZARDOUS OR CONTAMINATED MATERIALS ARE ENCOUNTERED PRIOR TO REMOVAL OR DISTURBANCE.
- 10. TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC DURING REMOVAL ACTIVITIES, AND PROVIDE TEMPORARY MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC UNTIL FINAL ACCEPTANCE BY THE
- 11. BACKFILL ALL VOIDS RESULTING FROM THE REMOVAL OF EXISTING SITE FEATURES. BACKFILL TO BE SOIL, FREE OF ORGANIC MATERIAL, DEBRIS, TRASH, CLAY AND STONES LARGER THAN 4 INCHES.

EROSION CONTROL NOTES:

- 1. DURING THE COURSE OF CONSTRUCTION, EROSION AND SEDIMENT CONTROL MEASURES ARE NECESSARY TO PREVENT THE TRANSPORT OF SEDIMENT TO UNDISTURBED AREAS, PONDS, WATER COURSES, DRAINAGE SYSTEMS, RECHARGE BASINS, AND ROADS. THE MINIMUM EROSION CONTROL MEASURES REQUIRED ARE INDICATED ON THIS PLAN. IN ADDITION, THE FOLLOWING GENERAL CONDITIONS SHALL BE OBSERVED:
 - a. EXISTING VEGETATION SCHEDULED TO REMAIN SHALL BE PROTECTED AND REMAIN UNDISTURBED.
 - b. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED TO PREVENT THE INCIDENTAL DISCHARGE OF SEDIMENT FROM THE SITE.
- 2. SPECIFIC METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES MUST CONFORM TO THE LATEST EDITION OF THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL".
- 3. INSTALL PROPRIETARY EROSION AND SEDIMENT CONTROL PRODUCTS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- 4. ADJUST EROSION AND SEDIMENT CONTROL MEASURES TO ACCOMMODATE CONSTRUCTION PHASING TO MAINTAIN EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES.
- 5. PROTECT EXISTING DRAINAGE INLETS WITHIN THE PROJECT LIMITS AND NEW DRAINAGE INLETS INSTALLED AS PART OF THIS PROJECT FROM SEDIMENT INTRUSION.
- 6. PERFORM INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES ON A WEEKLY BASIS AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, CLEANING AND REPAIR OF ALL EROSION AND SEDIMENT CONTROL MEASURES.
- 7. UTILIZE APPROPRIATE MEANS TO CONTROL DUST DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO APPLYING WATER TO BARE SOIL SURFACES.
- 8. MAINTAIN THE SITE ENTRANCE TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS.

 MAINTAIN SITE ENTRANCE WEEKLY OR AS NECESSARY THORUGH THE USE OF STREET SWEEPING OR OTHER METHODS.

 UNTIL THE SITE IS PERMANENTLY STABILIZED. IF ADVISED BY THE ENGINEER OR DEP, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 7, SHEET C 501.00.
- 9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED. AFTER PERMANENT STABILIZATION, REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE SITE AND DRAINAGE STRUCTURES.
- 10. ALL CATCH BASINS ARE TO BE PROTECTED USING THE STONE AND BLOCK INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS WHICH DRAIN TO THEM ARE STABILIZED. SEDIMENT BAG INLET PROTECTION SHALL ONLY BE USED IF DIRECTED BY THE ENGINEER.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.

TOTAL LAND DISTURBANCE = 2,600 SQUARE FEET OR 0.06 ACRES

SITE ACCESS NOTE:

CONTRACTOR TO MAINTAIN ACCESS TO AMBULANCE FACILITY AT ALL TIMES AND PRESERVE REQUIRED PARKING SPACES
FOR AMBULANCE FACILITY (CONFIRM MINIMUM PARKING NEEDED WITH AMBULANCE COMPANY). COORDINATE ALL WORK
THAT MAY IMPACT AMBULANCE FACILITY'S 24/7 OPERATIONS WITH AMBULANCE COMPANY 48 HOURS IN ADVANCE

CONSTRUCTION SEQUENCE:

- 1. PRE-CONSTRUCTION MEETING AT LEAST 48-HOURS BEFORE THE START OF CONSTRUCTION ACTIVITIES. ATTENDEES TO INCLUDE OWNER, ENGINEER, TOWN REPRESENTATIVES, CONTRACTOR AND DEP.
- INSTALLATION OF SILT FENCING, INLET PROTECTION, IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. ADJUST EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT PROJECT AS NEEDED TO ACCOMMODATE CONSTRUCTION PHASING TO MAINTAIN EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES.
- 3. CLEARING OF THE PROJECT SITE AREAS INDICATED FOR DEVELOPMENT AND REMOVAL OF EXISTING SITE FEATURES (EXISTING GENERATOR AND FENCING, CONCRETE PAD, UTILITIES, STEEL TANK, ETC.) AS NECESSARY FOR THE INSTALLATION OF THE PROPOSED IMPROVEMENTS.
- 4. EXCAVATION FOR FOUNDATION WORK, TRENCHING AND INSTALLATION OF NEW UTILITIES AND UNDERGROUND FUEL STORAGE TANK.
- 5. CONSTRUCTION OF NEW ADDITION.
- 6. GRADING AND INSTALLATION OF NEW RAIN GARDEN AND ASSOCIATED DRAINAGE WORK. FINAL GRADING OF ALL DISTURBED AREAS TO FINISHED GRADE.
- 7. INSTALLATION OF NEW AGGREGATE BASE COURSE IN AREAS OF NEW PAVEMENT AND ASPHALT RESURFACING. INSTALLATION OF NEW CONCRETE CURB, CONCRETE SIDEWALK, CONCRETE PAD AND GENERATOR.

- 8. SEEDING OF DISTURBED AREAS AND OTHER FINAL LANDSCAPING MEASURES.
- 9. FOLLOWING FINAL STABILIZATION OF DISTURBED AREAS, REMOVAL OF REMAINING TEMPORARY EROSION AND SEDIMENT CONTROLS.
- 10. SILT REMOVAL AND CLEANING OF INLETS PROTECTED DURING CONSTRUCTION.



engineers

3 Lear Jet Lane, Suite 205 Latham, NY 12110 518.765.5105 • www.h2m.com

NSULTANTS:		

MARK	DATE	DESCRIPTION
1	02-02-22	ADDENDA #2

"ALTER	ATION OF T	HIS DOCUMENT EXCEPT I	BY A LICENSED PROFESS	SIONAL IS ILI	LEGAL"
SFP	DRAWN	SFP	CHECKED BY: STH		REVIEWED BY: LLC
PROJECT No.: MKIV 1803		DATE: 12/13	/2021	SCALE:	AS SHOWN

VILLAGE OF MOUNT KISCO

ADDITIONS AND ALTERATIONS TO INDEPENDENT FIRE COMPANY



322 LEXINGTON AVENUE MOUNT KISCO, NY 10549

CONTRACT G
GENERAL CONSTRUCTION

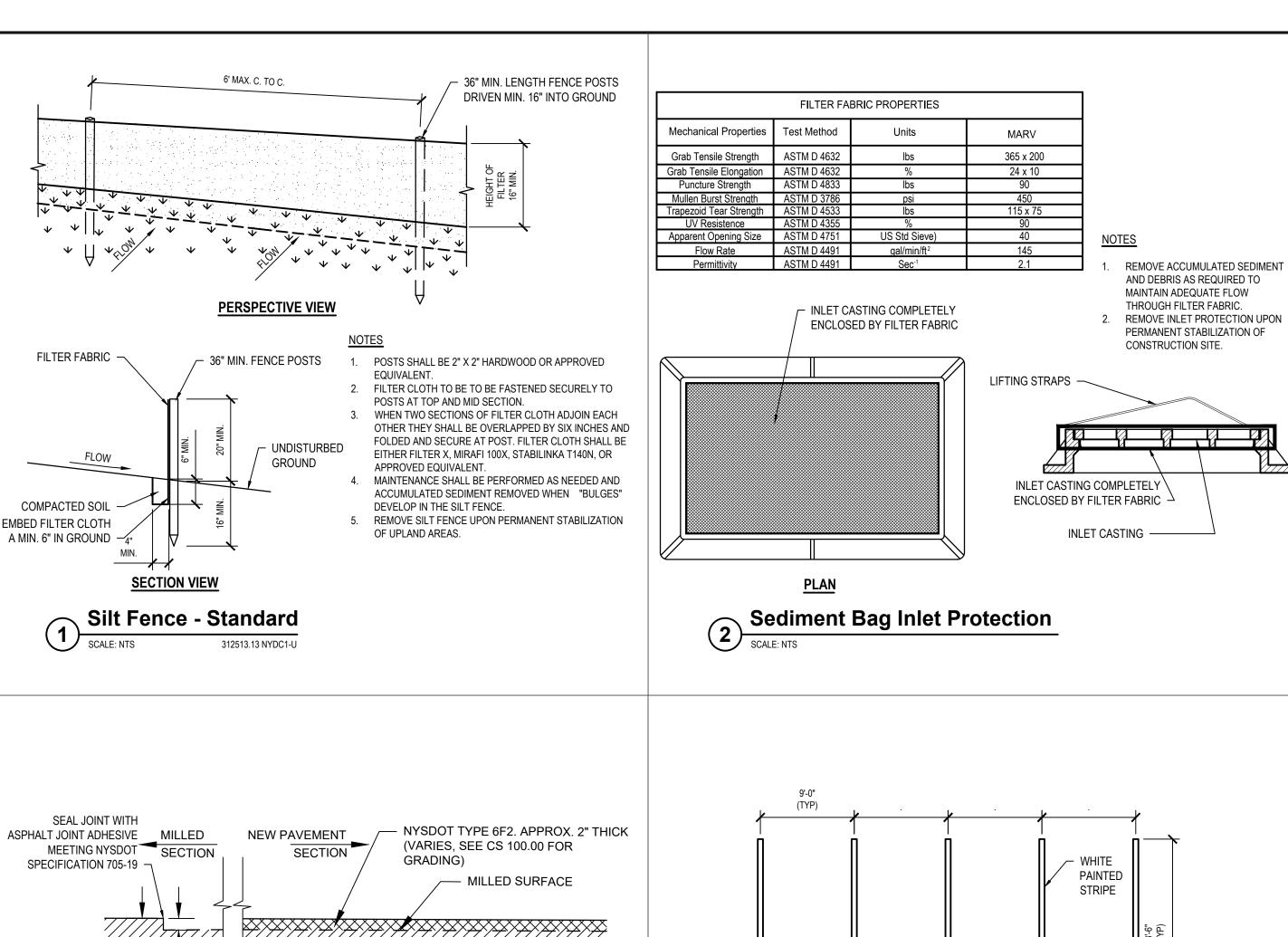
CONSTRUCTION DOCUMENTS

SHEET TITLE

DEMOLITION AND EROSION & SEDIMENT CONTROL PLAN

DRAWING No.

CD 100.02



EXIST.

ASPHALT

MILL

DEPTH 2"

SURFACES.

CONTRACTOR TO MATCH EXISTING GRADE UNLESS OTHERWISE NOTED.

CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL

OF ALL MILLINGS. CONFIRM WITH VILLAGE WHETHER HIGHWAY

3. DETAIL APPLICABLE TO ALL AREAS SPECIFIED FOR ASPHALT PAVEMENT

IMPROVEMENTS THAT DO NOT REQUIRE FULL DEPTH RESTORATION. FOR

EROSION AND SILTING OF NEW SOIL MEDIA.

DEPARTMENT WOULD LIKE MILLINGS.

2" Mill and Pave SectionSCALE: NTS

Rain Garden Section

THESE AREAS, REFER TO DETAIL 11, THIS SHEET.

ALL PAVEMENT TRANSITIONS TO BE SMOOTH AND FLUSH WITH EXISTING

- WHITE PAINTED STRIPE

1. ALL STRIPING TO BE 4" WIDE.

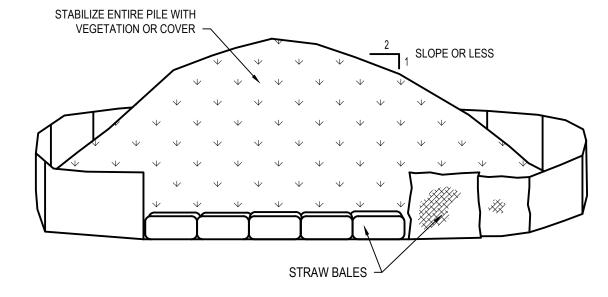
2. SEE DIMENSIONAL SITE PLAN FOR LOCATIONS OF RESTRIPING AREAS.

OUTLET CONTROL DETAIL

Parking Stall Layout - Single Striping

SCALE: NTS

- 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
- 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH STRAW BALES, THEN STABILIZED WITH VEGETATION OR COVERED.



TO BE USED WHERE TOPSOIL IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER. MULCH. NONVEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND

COMMON NAME

SWITCH GRASS

FOX SEDGE

GREAT BLUE LOBELIA

RAIN GARDEN: PLAN VIEW

1. PLANT SELECTION PER TABLE 5.11 OF NEW YORK STATE STORMWATER MANAGEMENT

PLANTS SHALL BE MAINTAINED BY CONTRACTOR UNTIL COMPLETION OF PROJECT. AT

SHOULD ANY PLANTS DIE THEY SHALL BE REPLACED IN KIND OR AS DIRECTED BY

PROJECT COMPLETION OWNER SHALL BE RESPONSIBLE FOR MAINTEANCE TO ALL PLANTS.

SHREDDED HARDWOOD MULCH SHOULD BE APPLIED AROUND PLANTS AT A THICKNESS OF

SIZE SPACING CONTAINER

12"-18"

12" 18"

1 GALLON

4.25" DIA.

3" POT

18"

4"-8"

Soil Stockpile Detail

PLANT LIST

CV 6 CAREX VULPINOIDEA

KEY QTY BOTANICAL NAME

PANICUM VIRGATUM

LOBELIA SIPHILITICA

NOTES:

DESIGN MANUAL

2" TO HELP KEEP SOIL IN PLACE

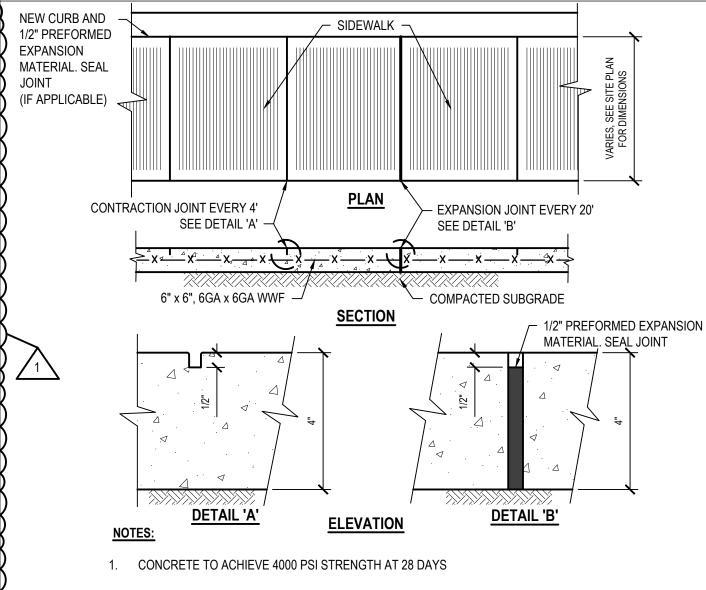
Rain Garden Planting Detail

1/4" RADIUS -FINISHED GRADE -PAVEMENT #5 BAR CONT. EXCEPT AT EXPANSION JOINTS

NOTES:

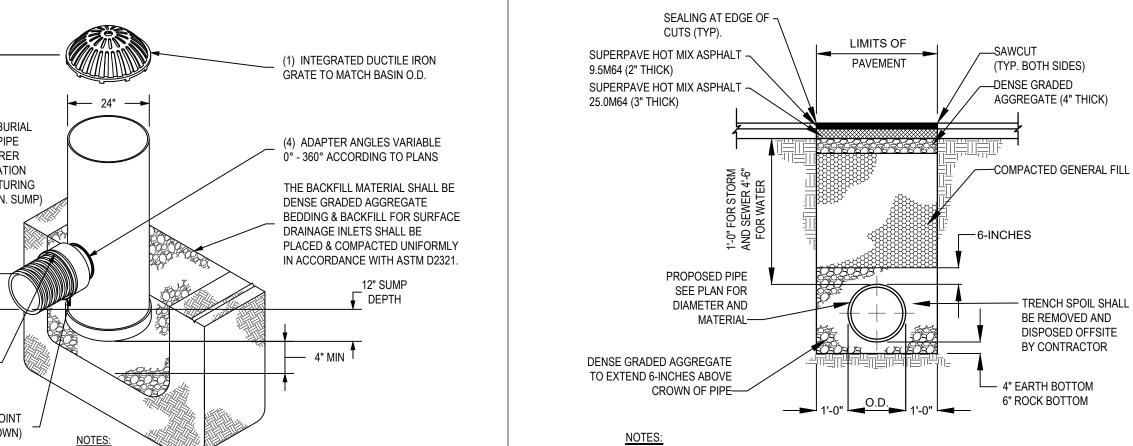
- WOOD FLOAT AND BRUSH FINISH ON ALL SURFACES ABOVE GRADE.
- 2. AT ALL CURB ENDINGS, PROVIDE SMOOTH TRANSITION DOWN TO PAVED
- PROVIDE 1/2" PREFORMED EXPANSION MATERIAL AT 20' ON CENTER AND AT ALL CORNERS. SET EXPANSION MATERIAL 1/2" BELOW EXPOSED SURFACES AND SEAL
- 4. CONCRETE TO ACHIEVE 4,000 PSI STRENGTH AT 28 DAYS.





- COMPACT SUBGRADE TO 92% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557.
- 3. APPLY BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL.

Concrete Sidewalk



- 1. IF DEPTH OF TRENCH EXCEEDS 5', THE CONTRACTOR MUST PROVIDE SHEETING AND BRACING OR A SHEETING BOX IN ACCORDANCE WITH OSHA REGULATIONS. AS AN ALTERNATIVE, IF PERMITTED BY THE ENGINEER, THE TRENCH WALLS MAY BE CUT BACK TO A 1:1 SLOPE OR THE NATURAL ANGLE OF REPOSE FOR THE SOIL, WHICHEVER IS GREATER.
- 2. COMPACT BACKFILL TO 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557.
- 3. IN AREAS NOT SPECIFIED FOR PAVEMENTS, CONTRACTOR TO PLACE 6" TOPSOIL AND SEED.
- 4. ALL TRENCH WORK INSIDE COUNTY ROW SHALL COMPLY WITH COUNTY STANDARDS AND SPECIFICATIONS. SEE DETAIL 5, SHEET C 501.

CONTRACT G GENERAL CONSTRUCTION

322 LEXINGTON AVENUE

MOUNT KISCO, NY 10549

3 Lear Jet Lane, Suite 205

Latham, NY 12110

518.765.5105 • www.h2m.com

DATE

02-02-22

SFP

VILLAGE OF MOUNT

KISCO

ADDITIONS AND ALTERATIONS TO

INDEPENDENT FIRE COMPANY

MKIV 1803

STH

AS SHOWN

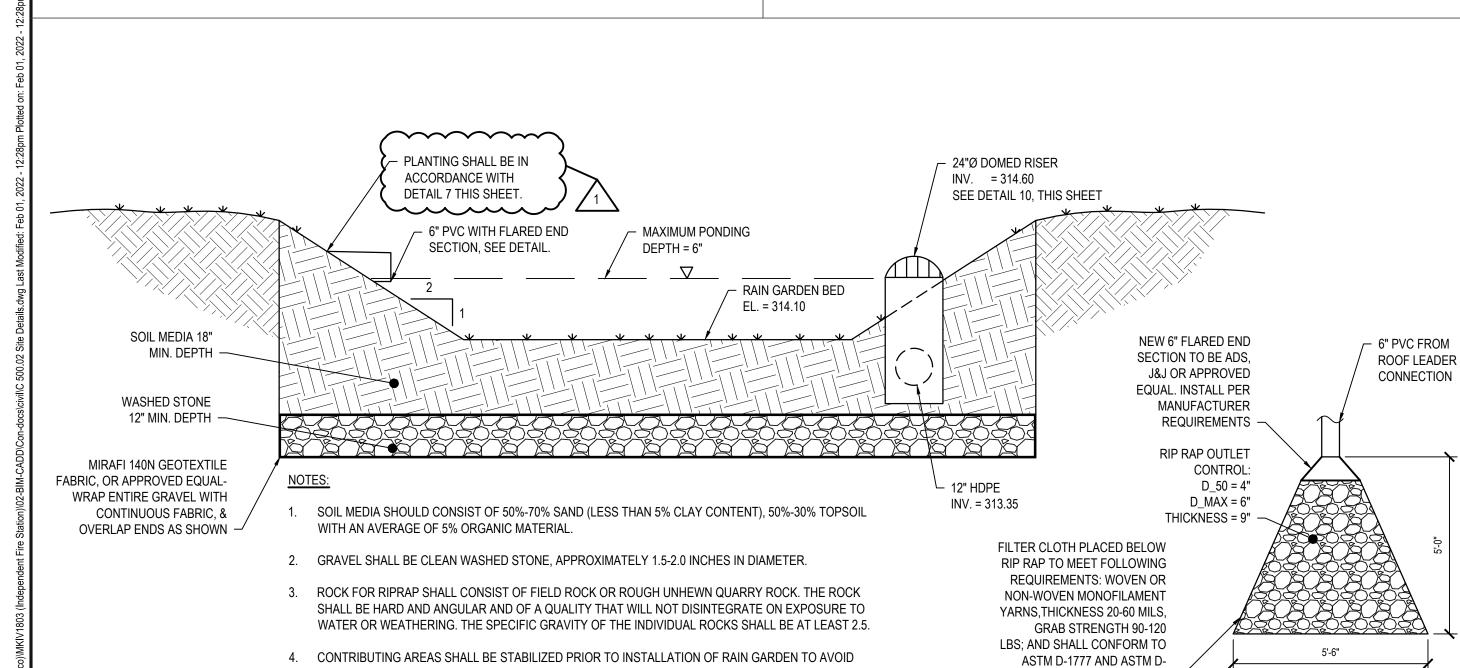
DESCRIPTION

ADDENDA #2

NOT FOR CONSTRUCTION

SITE DETAILS

C 500.02



EXISTING SUBGRADE BELOW

(NOT SHOWN)

EXISTING BASE COURSE

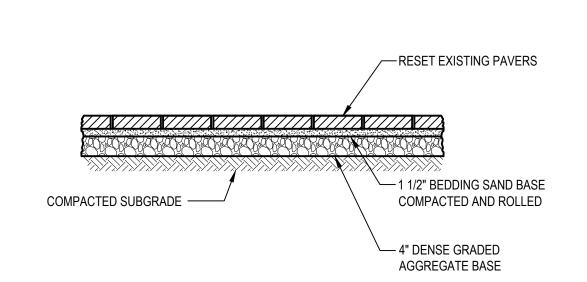
MINIMUM PIPE BURIAL DEPTH PER PIPE MANUFACTURER REFER TO RECOMMENDATION PLANS FOR (MIN. MANUFACTURING INVERT HEIGHT RÈQ. SAME AS MIN. SUMP) USE 12" CORRUGATED HDPE INLET & OUTLET ADAPTER (ADS N-12/HANCOR DUAL WALL, ADS/HANCOR SINGLE WALL) WATERTIGHT JOINT (CORRUGATED HDPE SHOWN) 24" DOME GRATE SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 36"). ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. DOME GRATES HAVE NO LOAD RATING.

Nyloplast 24" Drain Basin w/ Domed Riser

SCALE: NTS

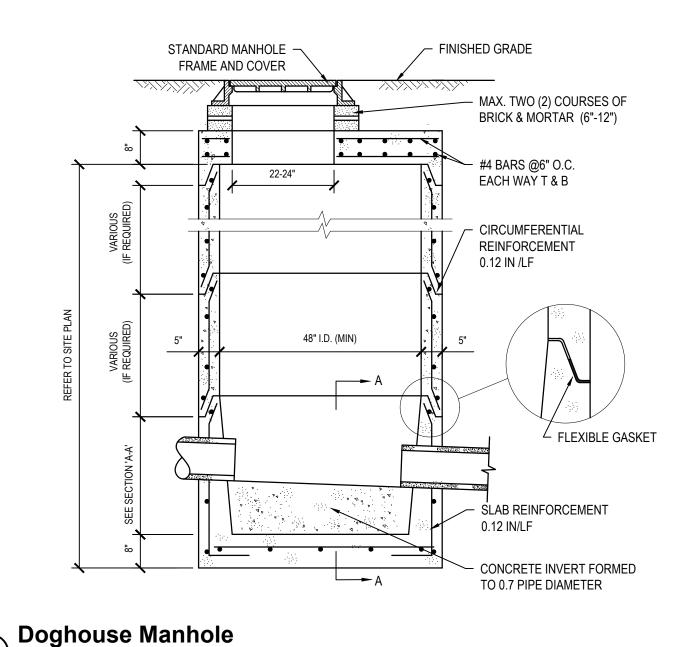
Typical Pipe Trench & Restoration

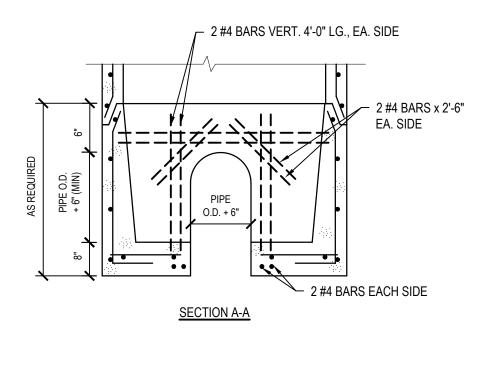
SCALE: NTS



- COMPACT SUBGRADE TO 92% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557.
- 2. CONTRACTOR SHALL RESET PAVERS AND PROVIDE SMOOTH TRANSITIONS AT EXISTING

Paver Restoration





CUT EXISTING PIPE WITHIN MANHOLE AFTER STRUCTURE IS INSTALLED. PARGE SPACE BETWEEN PIPE AND MANHOLE WITH BRICK AND MORTAR.

1. DETAIL PER WESTCHERSTER COUNTY STANDARD

2. REFER TO ELECTRICAL DRAWINGS FOR SIZE AND

ELECTRICAL TRENCHING FOR ONSITE WORK AND

IN COUNTY RIGHT OF WAY SHALL COMPLY WITH

COUNTY DETAIL (DETAIL 4, THIS SHEET) ALL WORK

3. WHERE DISCREPANCIES OCCUR BETWEEN

4. CONTRACTOR SHALL PROVIDE TRACEABLE

WARNING TAPE AT 12" ABOVE ELECTRICAL

5. ALL WORK IN THE RIGHT OF WAY SHALL COMPLY

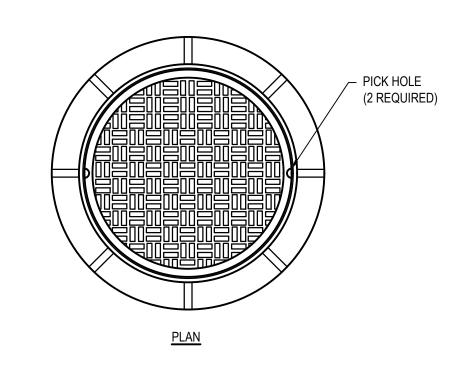
WITH NYSDOT STANDARDS AND SPECIFICATIONS FOR WORK ZONE TRAFFIC CONTROL (SEE NYSDOT

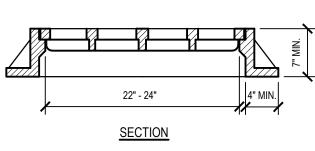
MATERIAL SPECIFICATIONS.

DETAILS.

THIS DETAIL

CONDUIT.

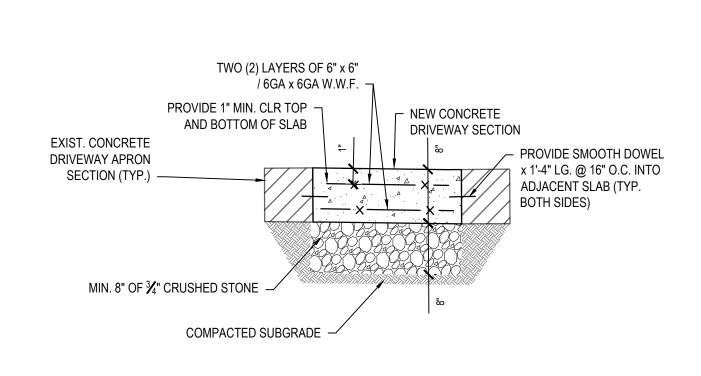




CASTINGS MUST BE CAST IRON AND CAPABLE OF SUPPORTING THE AASHTO HS-20 HIGHWAY LOADING.

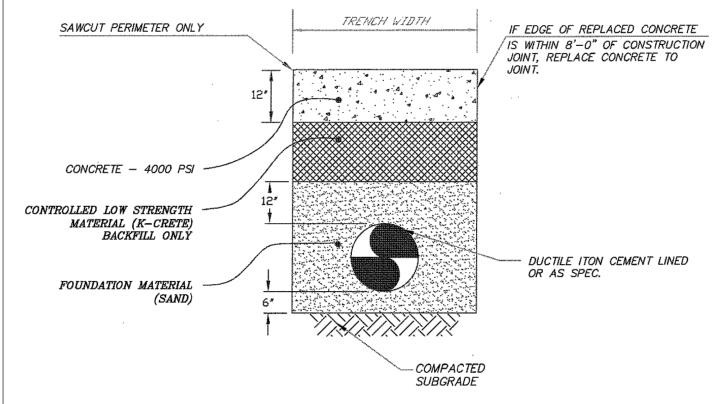
Circular Frame & Cover - Heavy Duty

SCALE: NTS



- 1. CONCRETE TO ACHIEVE 4,000 P.S.I. STRENGTH AT 28 DAYS.
- 2. COMPACT SUBGRADE TO 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557.
- 3. APPLY BROOM FINISH PERPENDICULAR TO DIRECTION OF VEHICULAR TRAVEL.

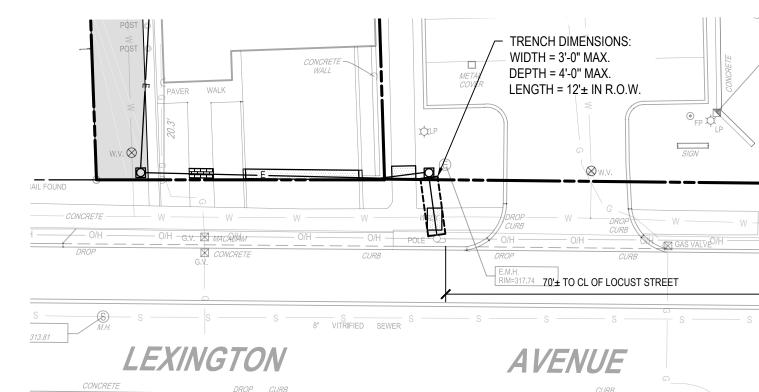
Concrete Driveway Restoration

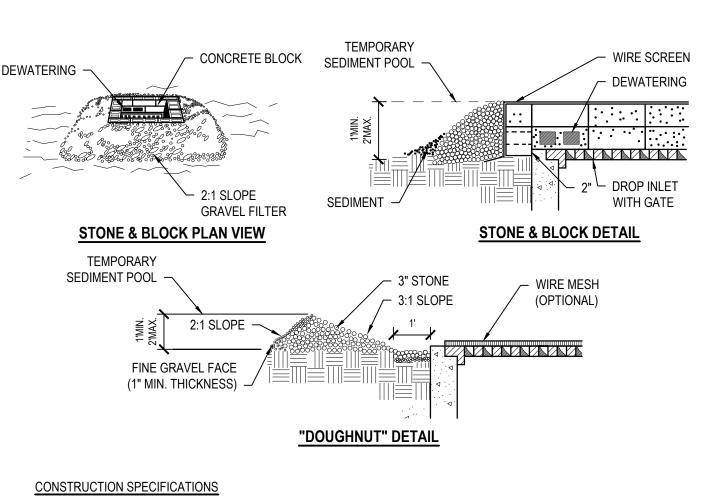


TEMPORARY PAVEMENT REPLACEMENT WILL BE ALLOWED ONLY WHEN ASPHALT PLANTS ARE NOT N OPERATION. WHEN TEMP. PAVEMENT IS USED, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF SAID PATCH UNTIL PERMENANT PATCH IS INSTALLED.

2. UPON THE AVAILABILITY OF ASPHALT, THE CONTRACTOR SHALL EXCAVATE THE "K-KRETE" BACKFILL TO THE ORDERED DEPTH AND REPLACE WITH 4000 PSI CONCRETE AND THE REQUIRED 2" THICK ASPHALT TO THE LIMITS AND SPECIFICATIONS AS SHOWN. 3. STEEL PLATES OF ADEQUATE SIZE SHALL BE PLACED OVER ALL TRENCHES UNTIL THE 4000 PSI CONCRETE PLUG IS DEEMED PASSABLE. 4. STEEL PLATES SHALL BE PINNED AS REQUIRED TO PREVENT MOVEMENT. DURING WINTER ALL STEEL PLATES SHALL BE RECESSED.

Concrete Pavement Replacement for County Roads



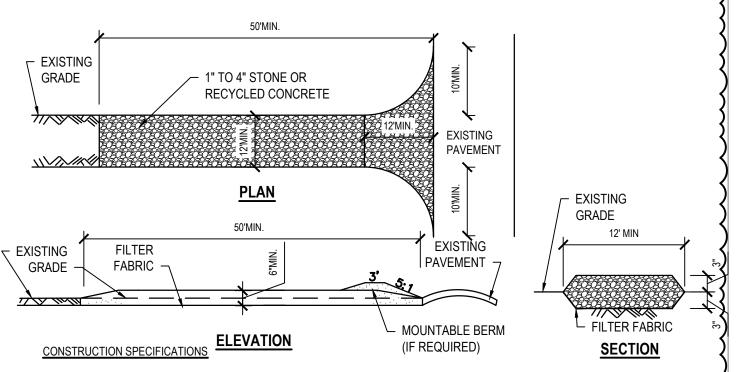


- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2 INCH WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE. USE CLEAN STONE OR GRAVEL 1/2 - 3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE

FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.

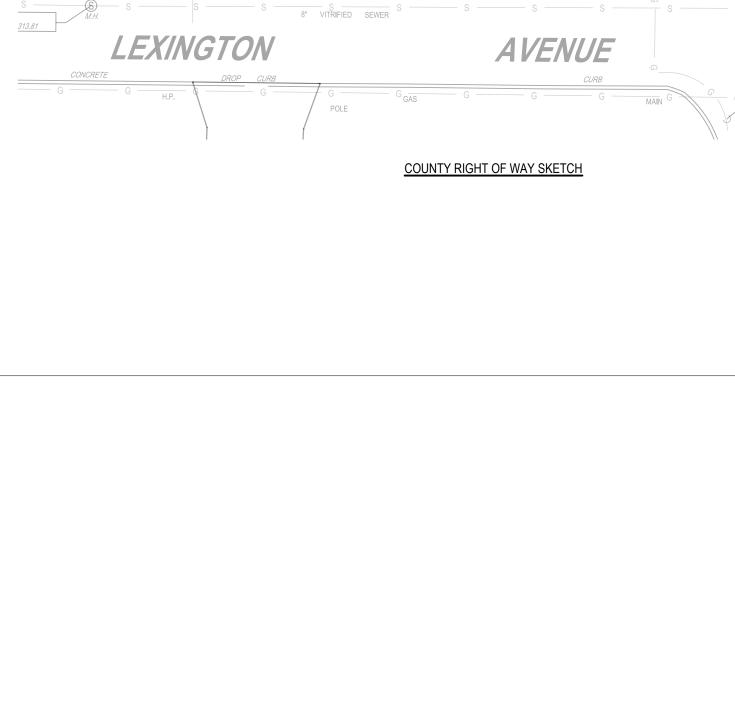
Stone & Block Drop Inlet Protection

SCALE: NTS



- 1. STONE OR RECYCLED CONCRETE SIZE TO BE 1" TO 4".
- 2. LENGTH NOT LESS THAN 50 FEET (UNLESS INDICATED OTHERWISE ON PLANS).
- 3. THICKNESS NOT LESS THAN SIX (6) INCHES.
- 4. WIDTH TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS
- OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE. 5. PLACE FILTER FABRIC OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER FABRIC TO BE TREVIRA SPUNBOND,
- 1135 MIRAFI 600X OR EQUIVALENT.
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- 7. MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC
- RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

Stabilized Construction Entrance



architects engineers

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ONSULTANTS:

MARK	DATE	DESCRIPTION
1	02-02-22	ADDENDA #2

"ALTE	RATION OF THIS DOCU	JMENT EXCEPT	BY A LICENSED PROFESS	SIONAL IS ILI	LEGAL"
DESIGNED BY:	DRAWN BY:		CHECKED BY:		REVIEWED BY:
SFP	SFP		STH		° LLC
PROJECT No.:	DATE			SCALE:	•
MKIV 1803	3	MAY 2021		AS SHOWN	

VILLAGE OF MOUNT KISCO

ADDITIONS AND ALTERATIONS TO INDEPENDENT FIRE COMPANY



322 LEXINGTON AVENUE MOUNT KISCO, NY 10549

CONTRACT G GENERAL CONSTRUCTION

NOT FOR CONSTRUCTION

SITE DETAILS

C 501.02