

WESTCHESTER COUNTY
LOCATION MAP

Westchester
gov.com

WESTCHESTER COUNTY, NEW YORK
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
DIVISION OF ENGINEERING

CONTRACT No. 19-515
PARKING GARAGE REHABILITATION - PHASE 1
MICHAELIAN OFFICE BUILDING
148 MARTINE AVENUE
WHITE PLAINS, NEW YORK



LOCATION PLAN

INDEX OF DRAWINGS

ARCHITECTURAL DRAWINGS				STRUCTURAL DRAWINGS				FIRE PROTECTION, PLUMBING AND ELECTRICAL DRAWINGS			
SHEET NO.	SHEET TITLE	DPW FILE NO.	SHEET OF 97	SHEET NO.	SHEET TITLE	DPW FILE NO.	SHEET OF 97	SHEET NO.	SHEET TITLE	DPW FILE NO.	SHEET OF 97
A000	TITLE SHEET	52-01-T-348-0	1 OF 97	S040	NOTES	52-01-S-367-0	20 OF 97	FP100	SPECIFICATIONS, LEGEND AND NOTES	52-01-FP-416-0	69 OF 97
A000.1	CODE COMPLIANCE SHEET	52-01-A-349-0	2 OF 97	S060	BENT REINFORCING BAR DETAILS	52-01-S-368-0	21 OF 97	FP101(B3)	LOCATION PART PLAN PARKING LEVEL B3	52-01-FP-417-0	70 OF 97
A001	3D RAMP LOCATION DIAGRAM	52-01-A-350-0	3 OF 97	S100	LEVEL B3 COLUMN REPAIRS & SHORING	52-01-S-369-0	22 OF 97	FP102(B2)	LOCATION PART PLAN PARKING LEVEL B2	52-01-FP-418-0	71 OF 97
A002	RAMP CONSTRUCTION PHASING PLAN 1	52-01-A-351-0	4 OF 97	S102	LEVEL B2 (B) COLUMN REPAIRS & SHORING	52-01-S-370-0	23 OF 97	FP201(B3)	PARKING LEVEL B3 PART PLANS AND NOTES	52-01-FP-419-0	72 OF 97
A003	RAMP CONSTRUCTION PHASING PLAN 2	52-01-A-352-0	5 OF 97	S103	LEVEL B1 & 1 COLUMN REPAIRS & SHORING	52-01-S-371-0	24 OF 97	FP202(B2)	PARKING LEVEL B2 PART PLANS AND NOTES	52-01-FP-420-0	73 OF 97
A004	TEMPORARY TRAFFIC PATTERN PLAN	52-01-A-353-0	6 OF 97	S104	LEVEL 2 & 3 COLUMN REPAIRS & SHORING	52-01-S-372-0	25 OF 97	FP203(B2)	PARKING LEVEL B2 PART PLANS AND NOTES	52-01-FP-421-0	74 OF 97
A010	PLAZA LEVEL EXPANSION JOINT LOCATION PLAN AND DETAILS - ALTERNATE 1	52-01-A-354-0	7 OF 97	S107	LEVEL 9 COLUMN REPAIRS - ALTERNATE 2	52-01-S-373-0	26 OF 97				
A030	LEVEL 8 COLUMN REPAIR PLAN - ALTERNATE 2	52-01-A-355-0	8 OF 97	S122	EXPANSION JOINT REPAIR AREA GROUND FLOOR - ALTERNATE 1	52-01-S-374-0	27 OF 97				
A111	CONSTRUCTION KEY PLANS	52-01-A-356-0	9 OF 97	S128	LEVEL 9 & 10 FLOOR DELAMINATION	52-01-S-375-0	28 OF 97				
A112	LEVEL B3 ENLARGED CONSTRUCTION AND STRIPING PLANS	52-01-A-357-0	10 OF 97	S161	SOUTH RAMP EXISTING PLAN & SECTION (Y-Z)	52-01-S-376-0	29 OF 97	P100	ABBREVIATION LIST, GENERAL NOTES AND LEGEND	52-01-P-422-0	75 OF 97
A113	LEVEL B2 ENLARGED CONSTRUCTION AND STRIPING PLANS	52-01-A-358-0	11 OF 97	S161A	SOUTH RAMP REPAIRED PLAN & SECTION (Y-Z)	52-01-S-377-0	30 OF 97	P101(B3)	LOCATION PART PLAN PARKING LEVEL B3	52-01-P-423-0	76 OF 97
A114	LEVELS 9 & 10 CONSTRUCTION PLAN	52-01-A-359-0	12 OF 97	S162	SOUTH RAMP EXISTING PLAN & SECTION (Y-Z)	52-01-S-378-0	31 OF 97	P102(B2)	LOCATION PART PLAN PARKING LEVEL B2	52-01-P-424-0	77 OF 97
A115	LEVELS 9 & 10 STRIPING PLAN	52-01-A-360-0	13 OF 97	S162A	SOUTH RAMP REPAIRED PLAN & SECTION (Y-Z)	52-01-S-379-0	32 OF 97	P103(B1)	LOCATION PLAN LEVELS B1 AND 1 AND CONSTRUCTION PART PLAN	52-01-P-425-0	78 OF 97
A116	ENLARGED RAMP PLANS	52-01-A-361-0	14 OF 97	S163	SOUTH RAMP PLANS (Y-Z)	52-01-S-380-0	33 OF 97	P104(L6, L7)	LOCATION PLAN LEVELS 6 AND 7 AND CONSTRUCTION PART PLAN	52-01-P-426-0	79 OF 97
A117	ENLARGED RAMP PLANS	52-01-A-362-0	15 OF 97	S164	SOUTH RAMP PLANS (W-X)	52-01-S-381-0	34 OF 97	P105(L8, L9)	LOCATION PLAN LEVELS 8 AND 9 AND CONSTRUCTION PART PLAN	52-01-P-427-0	80 OF 97
A500	DETAILS	52-01-A-363-0	16 OF 97	S165	NORTH RAMP PLANS (S-T)	52-01-S-382-0	35 OF 97	P201(B3)	PARKING LEVEL B3 PART PLANS AND NOTES	52-01-P-428-0	81 OF 97
A600	B3 ENLARGED PLANS, ELEVATIONS AND DETAILS	52-01-A-364-0	17 OF 97	S166	NORTH RAMP PLANS (S-T)	52-01-S-383-0	36 OF 97	P202(B2)	PARKING LEVEL B2 PART PLANS AND NOTES	52-01-P-429-0	82 OF 97
A601	B2 ENLARGED PLANS, ELEVATIONS AND DETAILS	52-01-A-365-0	18 OF 97	S169	SOUTH RAMP SECTIONS (EXISTING CONDITION)	52-01-S-384-0	37 OF 97				
A800	DOOR SCHEDULE AND DETAILS	52-01-A-366-0	19 OF 97	S169A	SOUTH RAMP SECTIONS (REPAIRED CONDITION)	52-01-S-385-0	38 OF 97				
				S170	NORTH RAMP SECTION (EXISTING CONDITION)	52-01-S-386-0	39 OF 97	ELECTRICAL			
				S170A	NORTH RAMP SECTION (REPAIRED CONDITION)	52-01-S-387-0	40 OF 97	E001	ELECTRICAL SYMBOLS LIST AND PARKING STRUCTURE RAMP RISER DIAGRAM	52-01-E-430-0	83 OF 97
				S175	SOUTH RAMP ELEVATION AT LINE 'Y' LOOKING NORTH (EXISTING CONDITION)	52-01-S-388-0	41 OF 97	E101	ELECTRICAL PLAN, PARKING LEVEL B3	52-01-E-431-0	84 OF 97
				S175A	SOUTH RAMP ELEVATION AT LINE 'Y' LOOKING NORTH (REPAIRED CONDITION)	52-01-S-389-0	42 OF 97	E102	PARKING STRUCTURE LEVEL B2 ELECTRICAL PLAN, PART PLAN AND KEYED NOTES	52-01-E-432-0	85 OF 97
				S175B	SOUTH RAMP ELEVATION AT LINE 'Y' LOOKING SOUTH (EXISTING CONDITION)	52-01-S-390-0	43 OF 97	E103	ELECTRICAL PART PLAN, PARKING STRUCTURE LEVEL B1 AND LEVEL 1	52-01-E-433-0	86 OF 97
				S175C	SOUTH RAMP ELEVATION AT LINE 'Y' LOOKING SOUTH (REPAIRED CONDITION)	52-01-S-391-0	44 OF 97	E104	ELECTRICAL PLAN, PARKING STRUCTURE LEVELS 6 AND 7	52-01-E-434-0	87 OF 97
				S175D	SOUTH RAMP ELEVATION AT LINE 'Z' LOOKING SOUTH (EXISTING CONDITION)	52-01-S-392-0	45 OF 97	E201	ELECTRICAL PART PLANS, PARKING STRUCTURE LEVEL B3	52-01-E-435-0	88 OF 97
				S175E	SOUTH RAMP ELEVATION AT LINE 'Z' LOOKING SOUTH (REPAIRED CONDITION)	52-01-S-393-0	46 OF 97	E202	ELECTRICAL PART PLANS, RAMP #3 PARKING STRUCTURE LEVEL B3 (LIGHTING)	52-01-E-436-0	89 OF 97
				S176	NORTH RAMP ELEVATION AT LINE 'S' LOOKING NORTH (EXISTING AND REPAIRED CONDITION)	52-01-S-394-0	47 OF 97	E203	ELECTRICAL PART PLANS, RAMP #3 PARKING STRUCTURE LEVEL B3	52-01-E-437-0	90 OF 97
				S176A	NORTH RAMP ELEVATION AT LINE 'T' LOOKING NORTH (EXISTING AND REPAIRED CONDITION)	52-01-S-395-0	48 OF 97	E204	ELECTRICAL PART PLANS, RAMP #3 PARKING STRUCTURE LEVEL B3 (TEMPORARY POWER AND LIGHTING)	52-01-E-438-0	91 OF 97
				S176B	NORTH RAMP ELEVATION AT LINE 'T' LOOKING SOUTH (EXISTING AND REPAIRED CONDITION)	52-01-S-396-0	49 OF 97	E205	ELECTRICAL PART PLANS, RAMP #4 PARKING STRUCTURE LEVEL B2	52-01-E-439-0	92 OF 97
				S177	NORTH AND SOUTH RAMP ELEVATIONS AT LINE 'W' (EXISTING AND REPAIRED CONDITION)	52-01-S-397-0	50 OF 97	E206	ELECTRICAL PART PLANS, RAMP #4 PARKING STRUCTURE LEVEL B2	52-01-E-440-0	93 OF 97
				S177A	NORTH AND SOUTH RAMP ELEVATIONS AT LINE 'X' (EXISTING AND REPAIRED CONDITION)	52-01-S-398-0	51 OF 97	E207	ELECTRICAL PART PLANS, PARKING STRUCTURE LEVEL B2 AREA UNDER RAMP #7	52-01-E-441-0	94 OF 97
				S180	RAMP DETAILS & SECTIONS	52-01-S-399-0	52 OF 97	E208	ELECTRICAL PART PLANS, PARKING STRUCTURE LEVELS 6 TO 7 - RAMP #14	52-01-E-442-0	95 OF 97
				S181	RAMP DETAILS & SECTIONS	52-01-S-400-0	53 OF 97	E209	ELECTRICAL PART PLANS, PARKING STRUCTURE LEVELS 6 TO 7 - RAMP #14	52-01-E-443-0	96 OF 97
				S300	TYPICAL COLUMN ENCASUREMENT REPAIR DETAILS	52-01-S-401-0	54 OF 97	E210	ELECTRICAL PART PLANS, PARKING STRUCTURE LEVELS 7 TO 8 - RAMP #13	52-01-E-444-0	97 OF 97
				S301	EXISTING SLAB DETERIORATION PLAN - LEVEL B3	52-01-S-402-0	55 OF 97				
				S301A	SLAB REPAIR PLAN - LEVEL B3	52-01-S-403-0	56 OF 97				
				S301B	EXISTING SLAB DETERIORATION AND EXPANSION JOINT PLAN - LEVEL B2	52-01-S-404-0	57 OF 97				
				S301C	SLAB AND EXPANSION JOINT REPAIR PLAN - LEVEL B2	52-01-S-405-0	58 OF 97				
				S302	COLUMN E11 (L11) ENCASEMENT REPAIR DETAILS	52-01-S-406-0	59 OF 97				
				S303	COLUMN E11 (L11) ENCASEMENT REPAIR DETAILS LEVEL B2 COLUMN & SLAB REPAIR DETAILS	52-01-S-407-0	60 OF 97				
				S304	LEVEL B2 & B3 SLAB AND EXPANSION JOINT - REPAIR PLAN AND DETAILS	52-01-S-408-0	61 OF 97				
				S307	ADDITIONAL COLUMN ENCASEMENT REPAIR DETAILS	52-01-S-409-0	62 OF 97				
				S308	ADDITIONAL COLUMN ENCASEMENT REPAIR DETAILS	52-01-S-410-0	63 OF 97				
				S350	GENERAL REPAIR DETAILS	52-01-S-411-0	64 OF 97				
				S351	GENERAL REPAIR DETAILS	52-01-S-412-0	65 OF 97				
				S352	GENERAL REPAIR DETAILS	52-01-S-413-0	66 OF 97				
				S353	GENERAL REPAIR DETAILS	52-01-S-414-0	67 OF 97				
				S354	GENERAL REPAIR DETAILS	52-01-S-415-0	68 OF 97				


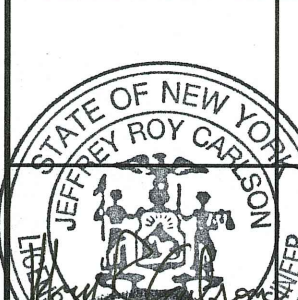
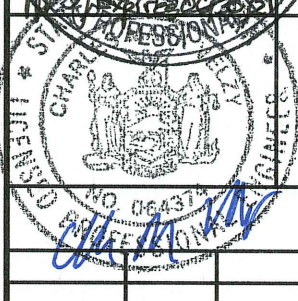
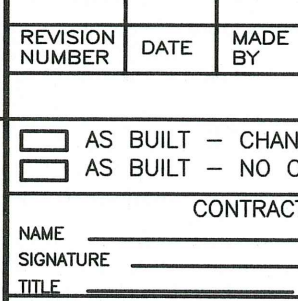
IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN

APPROVED FOR NYS
BUILDING & ENERGY
CODE COMPLIANCE
Joseph Nicoletti Jr.
JOSEPH NICOLETTI JR., P.E.
County Building Inspector

Robert S. Donnelly Jr. 7/24/20
RECOMMENDED FOR CONSTRUCTION DATE
ROBERT S. DONNELLY, P.E.
DIRECTOR OF DESIGN COORDINATION
DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

Gayle M. Katzman 7-24-2020
RECOMMENDED FOR CONSTRUCTION DATE
GAYLE M. KATZMAN, P.E.
FIRST DEPUTY COMMISSIONER
DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

Hugh J. Greechan, Jr.
APPROVED FOR CONSTRUCTION DATE
HUGH J. GREECHAN, JR., P.E.
COMMISSIONER
DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

 Lothrop Lothrop Associates LLP Architects 143 Westchester Avenue White Plains, New York 10604 914-741-1115	ARCHITECTS			
 MICHAEL SCHULLER ATKINSON NOLAND AND ASSOCIATES 32 OLD SLIP, 10TH FLOOR NEW YORK, NEW YORK 10005 917-647-9350	FORENSIC INVESTIGATION			
 JEFFERY R. CARLSON, P.E. S.E. 601 WEST GOLF ROAD, SECOND FLOOR MOUNT PROSPECT, ILLINOIS 60056 847-274-0985	STRUCTURAL ENGINEER			
 MARK VELZY CBK ENGINEERING, PC 44-46 FOSTER ROAD HOPEWELL JUNCTION, NY 12533 914-509-8161 (O)	MEP ENGINEERS			
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
RECORD DRAWING CERTIFICATION				
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES				
CONTRACTOR		PROJECT COORDINATOR		
NAME	SIGNATURE	NAME	SIGNATURE	DATE
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING		HUGH J. GREECHAN, JR., P.E. COMMISSIONER DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION		
PARKING GARAGE REHABILITATION - PHASE 1 MICHAELIAN OFFICE BUILDING 148 MARTINE AVENUE, WHITE PLAINS, NEW YORK		TITLE SHEET		
SHEET NO. 1 OF 97		SHEET NO. 1 OF 97		
DATE: 7-23-2020		DATE: 7-23-2020		
DPW FILE NO.		DPW FILE NO.		
52-01-T-348-0		52-01-T-348-0		

PROJECT: Westchester County Parking Garage	CODE ANALYSIS
ADDRESS: 148 Martine Ave White Plains, NY	
PREPARED BY: Lothrop Associates LLP	
Project No.: 2058-01	July 16, 2020
International Property Maintenance Code Analysis - IPMC 2020	
THESE PLANS ARE IN CONFORMANCE WITH THE FOLLOWING CODES TO THE EXTENT THAT THEY APPLY TO THE EXISTING BUILDING WHERE THE SCOPE OF WORK IS A REPAIR IN ACCORDANCE WITH CHAPTER 4 OF THE EXISTING BUILDING CODE OF NEW YORK STATE:	
2020 International Building Code	
2020 International Existing Building Code	
2020 International Fire Code	
2020 International Plumbing Code	
2020 International Mechanical Code	
2020 International Fuel Gas Code	
2020 International Property Maintenance Code	
2020 International Energy Conservation Code	
2016 ASHRAE 90.1	
NFPA 70	
CHAPTER 1 - SCOPE AND ADMINISTRATION	
CHAPTER 2 - DEFINITIONS	
CHAPTER 3 - GENERAL REQUIREMENTS	
301 GENERAL - APPLIES	
302 EXTERIOR PROPERTY AREAS - APPLIES	
303 SWIMMING POOLS, SPAS AND HOT TOPS - N/A	
304 EXTERIOR STRUCTURE - APPLIES	
305 INTERIOR STRUCTURE - APPLIES	
306 COMPONENT SERVICEABILITY - APPLIES	
307 HANDRAILS AND GUARDRAILS - APPLIES	
308 RUBBISH AND GARBAGE - APPLIES	
309 PEST ELIMINATION - APPLIES	
310 LIVE FIRE TRAINING FACILITIES - N/A	
CHAPTER 4 - LIGHT, VENTILATION AND OCCUPANCY LIMITATIONS	
401 GENERAL - APPLIES	
402 LIGHT - APPLIES	
403 VENTILATION - APPLIES	
404 OCCUPANCY LIMITATIONS - APPLIES	
CHAPTER 5 - PLUMBING FACILITIES AND FIXTURE REQUIREMENTS	
501 GENERAL - APPLIES	
502 REQUIRED FACILITIES - N/A	
503 TOILET ROOMS - N/A	
504 PLUMBING SYSTEMS AND FIXTURES - N/A	
505 WATER SYSTEM - N/A	
506 SANITARY DRAINAGE SYSTEM - N/A	
507 STORM DRAINAGE - APPLIES	
CHAPTER 6 - MECHANICAL AND ELECTRICAL REQUIREMENTS	
601 GENERAL - APPLIES	
602 HEATING FACILITIES - N/A	
603 MECHANICAL EQUIPMENT - N/A	
604 ELECTRICAL FACILITIES - APPLIES	
605 ELECTRICAL EQUIPMENT - APPLIES	
606 ELEVATORS, ESCALATORS AND DUMBWAITERS - APPLIES	
607 DUCT SYSTEMS - APPLIES	
608 ASSISTIVE LISTENING SYSTEMS - N/A	
CHAPTER 7 - FIRE SAFETY REQUIREMENTS	
701 GENERAL - APPLIES	
702 MEANS OF EGRESS - APPLIES	
703 FIRE-RESISTANCE RATINGS - APPLIES	
704 FIRE PROTECTION SYSTEMS - APPLIES	
705 CARBON MONOXIDE ALARMS AND DETECTION - N/A	

IN CHARGE OF	BOB GABALSKI
CHECKED BY	MICHAEL BERTA
MADE BY	BRETT HUTTMAN

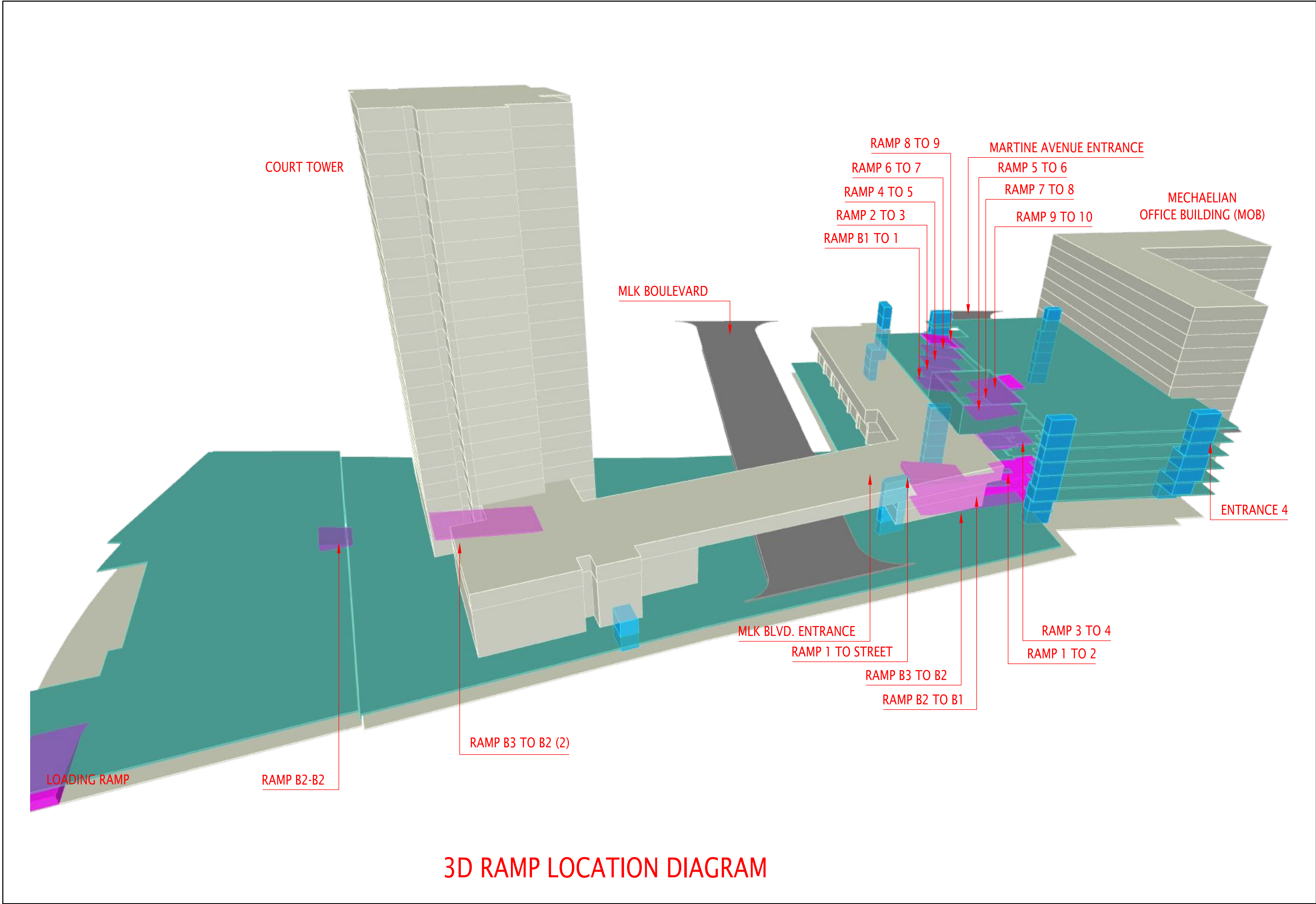
PROJECT: Westchester County Parking Garage	CODE ANALYSIS
ADDRESS: 148 Martine Ave White Plains, NY	
PREPARED BY: Lothrop Associates LLP	
Project No.: 2058-01	July 16, 2020
International Existing Building Code Analysis - IECB 2020	
THESE PLANS ARE IN CONFORMANCE WITH THE FOLLOWING CODES TO THE EXTENT THAT THEY APPLY TO THE EXISTING BUILDING WHERE THE SCOPE OF WORK IS A REPAIR IN ACCORDANCE WITH CHAPTER 4 OF THE EXISTING BUILDING CODE OF NEW YORK STATE:	
2020 International Building Code	
2020 International Existing Building Code	
2020 International Fire Code	
2020 International Plumbing Code	
2020 International Mechanical Code	
2020 International Fuel Gas Code	
2020 International Property Maintenance Code	
2020 International Energy Conservation Code	
2016 ASHRAE 90.1	
NFPA 70	
USE AND OCCUPANCY CLASSIFICATION	
EXISTING OCCUPANCY: PARKING GARAGE	LOW HAZARD STORAGE, S2
PROPOSED OCCUPANCY: PARKING GARAGE	LOW HAZARD STORAGE, S2
CONSTRUCTION CLASSIFICATION	
CONSTRUCTION CLASSIFICATION IS TYPE 1A - NONCOMBUSTIBLE, CONCRETE STRUCTURE	
STORIES	
(3) STORIES BELOW GRADE, (9) STORIES ABOVE GRADE	
SPRINKLER	
BUILDING IS PARTIALLY SPRINKLERED - BELOW GRADE ONLY	
FIRE ALARM	
BUILDING IS PROTECTED WITH A FIRE ALARM SYSTEM	
CHAPTER 4 - REPAIRS	
401 GENERAL	
401.1 REPAIRS SHALL COMPLY WITH THE REQUIREMENTS OF THIS CHAPTER	
401.2 THE WORK SHALL NOT MAKE THE BUILDING LESS COMPLYING THAN IT WAS BEFORE THE REPAIR WAS UNDERTAKEN	
402 BUILDING ELEMENTS AND MATERIALS	
402.1 REPLACEMENT GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH THE SAFETY GLAZING REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE	
EXCEPTION: GLASS BLOCK WALLS, LOUVERED WINDOWS AND JALOUSIES REPAIRED WITH LIKE MATERIALS	
403 FIRE PROTECTION	
403.1 REPAIRS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF FIRE PROTECTION PROVIDED	
404 MEANS OF EGRESS	
404.1 REPAIRS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS	
405 STRUCTURAL	
405.1 STRUCTURAL REPAIRS SHALL BE IN COMPLIANCE WITH THIS SECTION AND SECTION 401.2	
405.2 REPAIRS TO DAMAGED BUILDINGS SHALL COMPLY WITH THIS SECTION	
405.2.1 UNLESS OTHERWISE REQUIRED BY THIS SECTION, FOR DAMAGE LESS THAN SUBSTANTIAL STRUCTURAL DAMAGE, THE DAMAGED ELEMENTS SHALL BE PERMITTED TO BE RESTORED TO THEIR PREDAMAGED CONDITION	
405.2.1.1 STRUCTURAL COMPONENTS WHOSE DAMAGE WAS CAUSED BY OR RELATED TO SNOW LOAD EFFECTS SHALL BE REPAIRED, REPLACED OR ALTERED TO SATISFY THE REQUIREMENTS OF SECTION 1608 OF THE BUILDING CODE OF NEW YORK STATE	
405.2.2 A BUILDING ASSIGNED TO SEISMIC DESIGN CATEGORY D, E, OR F THAT HAS SUSTAINED DISPROPORTIONATE EARTHQUAKE DAMAGE SHALL BE SUBJECT TO THE REQUIREMENTS FOR BUILDINGS WITH SUBSTANTIAL STRUCTURAL DAMAGE TO VERTICAL ELEMENTS OF THE LATERAL FORCE SYSTEM	
405.2.3 A BUILDING THAT HAS SUSTAINED SUBSTANTIAL STRUCTURAL DAMAGE TO THE VERTICAL ELEMENTS OF ITS LATERAL FORCE-RESISTING SYSTEM SHALL BE EVALUATED IN ACCORDANCE WITH SECTION 405.2.3.1, AND EITHER REPAIRED IN ACCORDANCE WITH SECTION 405.2.3.2 OR REPAIRED AND RETROFITTED IN ACCORDANCE WITH SECTION 405.2.3.3, DEPENDING ON THE RESULTS OF THE EVALUATION.	
EXCEPTIONS:	
1. BUILDINGS ASSIGNED TO SEISMIC DESIGN CATEGORY A, B OR C WHOSE SUBSTANTIAL STRUCTURAL DAMAGE WAS NOT CAUSED BY EARTHQUAKE NEED NOT BE EVALUATED OR RETROFITTED FOR LOAD COMBINATIONS THAT INCLUDE EARTHQUAKE EFFECTS	
2. ONE-AND TWO-FAMILY DWELLINGS NEED NOT BE EVALUATED OR RETROFITTED FOR LOAD COMBINATIONS THAT INCLUDE EARTHQUAKE EFFECTS	
405.2.3.1 THE BUILDING SHALL BE EVALUATED BY A REGISTERED DESIGN PROFESSIONAL, AND THE EVALUTION FINDINGS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL. THE EVALUATION SHALL ESTABLISH WHETHER THE DAMAGED BUILDING, IF REPAIRED TO ITS PREDAMAGED STATE, WOULD COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF NEW YORK STATE FOR LOAD COMBINATIONS THAT INCLUDE WIND OR EARTHQUAKE EFFECTS, EXCEPT THAT THE SEISMIC FORCES SHALL BE THE REDUCED SEISMIC FORCES.	
405.2.3.2 IF THE EVALUATION ESTABLISHES THAT THE BUILDING IN ITS PREDAMAGED CONDITION COMPLIES WITH THE PROVISIONS OF SECTION 405.2.3.1, THEN THE DAMAGED ELEMENTS SHALL BE PERMITTED TO BE RESTORED TO THEIR PREDAMAGED CONDITION.	
405.2.3.3 IF THE EVALUATION DOES NOT ESTABLISH THAT THE BUILDING IN ITS PREDAMAGED CONDITION COMPLIES WITH THE PROVISIONS OF SECTION 405.2.3.1, THEN THE BUILDING SHALL BE RETROFITTED TO COMPLY WITH THE PROVISIONS OF THIS SECTION. THE WIND LOADS FOR THE REPAIR AND RETROFIT SHALL BE THOSE REQUIRED BY THE BUILDING CODE IN EFFECT AT THE TIME OF ORIGINAL CONSTRUCTION, UNLESS THE DAMAGE WAS CAUSED BY WIND, IN WHICH CASE THE WIND LOADS SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE. THE SEISMIC LOADS FOR THIS RETORFIT DESIGN SHALL BE THOSE REQUIRED BY THE BUILDING CODE IN EFFECT AT THE TIME OF THE ORIGINAL CONSTRUCTION, BUT NOT LESS THAN THE REDUCED SEISMIC FORCES.	
405.2.4 GRAVITY LOAD-CARRYING COMPONENTS THAT HAVE SUSTAINED SUBSTANTIAL STRUCTURAL DAMAGE SHALL BE REHABILITATED TO COMPLY WITH THE APPLICABLE PROVISIONS FOR DEAD AND LIVE LOADS IN THE BUILDING CODE OF NEW YORK STATE. SNOW LOADS SHALL BE CONSIDERED IF THE SUBSTANTIAL STRUCTURAL DAMAGE WAS CAUSED BY OR RELATED TO SNOWLOAD EFFECTS. UNDAMAGED GRAVITY LOAD-CARRYING COMPONENTS SHALL ALSO BE REHABILITATED IF REQUIRED TO COMPLY WITH THE DESIGN LOADS OF THE REHABILITATION DESIGN.	
405.2.4.1 REGARDLESS OF THE LEVEL OF DAMAGE TO VERTICAL ELEMENTS OF THE LATERAL FORCE-RESISTING SYSTEM, IF SUBSTANTIAL STRUCTURAL DAMAGE TO GRAVITY LOAD-CARRYING COMPONENTS WAS CAUSED PRIMARILY BY WIND OR SEISMIC EFFECTS, THEN THE BUILDING SHALL BE EVALUATED IN ACCORDANCE WITH SECTION 405.2.3.1 AND, IF NONCOMPLIANT, RETROFITTED IN ACCORDANCE WITH SECTION 405.2.3.3.	
EXCEPTIONS:	
1. BUILDING ASSIGNED TO SEISMIC DESIGN CATEGORY A, B OR C WHOSE SUBSTANTIAL STRUCTURAL DAMAGE WAS NOT CAUSED BY EARTHQUAKE NEED NOT BE EVALUATED OR RETROFITTED FOR LOAD COMBINATIONS THAT INCLUDE EARTHQUAKE EFFECTS	
2. ONE-AND TWO-FAMILY DWELLINGS NEED NOT BE EVALUATED OR RETROFITTED FOR LOAD COMBINATIONS THAT INCLUDE EARTHQUAKE EFFECTS	

405.2.5 IN FLOOD HAZARD AREAS, BUILDINGS THAT HAVE SUSTAINED SUBSTANTIAL DAMAGE SHALL BE BROUGHT INTO COMPLIANCE WITH SECTION 1612 OF THE BUILDING CODE OF NEW YORK STATE, OR SECTION R322 OF THE RESIDENTIAL CODE OF NEW YORK STATE, AS APPLICABLE.
406 ELECTRICAL
406.1 EXISTING ELECTRICAL WIRING AND EQUIPMENT UNDERGOING REPAIR SHALL BE ALLOWED TO BE REPAIRED OR REPLACED WITH LIKE MATERIAL
406.1.1 REPLACEMENT OF ELECTRICAL RECEPTACLES SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF SECTION 406.4(D) OF NFPA 70
406.1.2 PLUG FUSES OF THE EDISON-BASE TYPE SHALL BE USED FOR REPLACEMENTS ONLY WHERE THERE IS NO EVIDENCE OF OVER FUSING OR TAMPERING PER APPLICABLE REQUIREMENTS OF SECTION 240.51(B) OF NFPA 70.
406.1.3 FOR REPLACEMENT OF NONGROUNDING-TYPE RECEPTACLES WITH GROUNDING-TYPE RECEPTACLES AND FOR BRANCH CIRCUITS THAT DO NOT HAVE AN EQUIPMENT GROUNDING CONDUCTOR IN THE BRANCH CIRCUITRY, THE GROUNDING CONDUCTOR OF A GROUNDING-TYPE RECEPTACLE OUTLET SHALL BE PERMITTED TO BE GROUNDED TO ANY ACCESSIBLE POINT ON THE GROUNDING ELECTRODE SYSTEM OR TO ANY ACCESSIBLE POINT ON THE GROUNDING ELECTRODE CONDUCTOR IN ACCORDANCE WITH SECTION 250.130(C) OF NFPA 70.
406.1.4 GROUP I-2 RECEPTACLES - N/A
406.1.5 GROUNDING OF APPLIANCES - N/A
407 MECHANICAL
407.1 EXISTING MECHANICAL SYSTEMS UNDERGOING REPAIR SHALL NOT MAKE THE BUILDING LESS COMPLYING THAN IT WAS BEFORE THE DAMAGE OCCURRED
407.2 MECHANICAL DRAFT SYSTEMS FOR MANUALLY FIRED APPLIANCES AND FIREPLACES - N/A
408 PLUMBING
408.1 PLUMBING MATERIALS AND SUPPLIES SHALL NOT BE USED FOR REPAIRS THAT ARE PROHIBITED IN THE PLUMBING CODE OF NEW YORK STATE
408.2 WHEN ANY WATER CLOSET IS REPLACED, THE REPLACEMENT WATER CLOSET SHALL COMPLY WITH SECTION 604.4 OF THE PLUMBING CODE OF NEW YORK STATE
EXCEPTION: BLOWOUT-DESIGN WATER CLOSETS [3.5 GALLONS (1.3 L) PER FLUSHING CYCLE]



<div>Lothrop</div> <div>Lothrop Associates LLP Architects</div> <div>333 Westchester Avenue</div> <div>White Plains, New York 10604</div> <div>914-741-1115</div>		ARCHITECTS																						
<div>MICHAEL SCHULLER</div> <div>ATKINSON-ACLAND AND ASSOCIATES</div> <div>32 OLD SLIP, 0TH FLOOR</div> <div>NEW YORK, NEW YORK 10005</div> <div>917-647-9350</div>		FORENSIC INVESTIGATION																						
<div>07/27/2020</div>	<div>JEFFRY R. CARLSON, P.E. S.E.</div> <div>601 WEST GOLF ROAD, SECOND FLOOR</div> <div>MOUNT PROSPECT, ILLINOIS 60056</div> <div>847-274-0985</div>	STRUCTURAL ENGINEER																						
<div>07/27/2020</div>	<div>MARK VELZY</div> <div>CBK ENGINEERING, PC</div> <div>44-46 FOSTER ROAD</div> <div>HOPKELL JUNCTION, NY 12533</div> <div>914-509-8161 (O)</div>	MEP ENGINEERS																						
<div>REVISION</div> <table><tr><td>REVISION NUMBER</td><td>DATE</td><td>MADE BY</td><td>APP'D BY</td><td>REVISION</td></tr><tr><td></td><td>7/23/2020</td><td>BH</td><td>MB</td><td>FOR COMMISSIONER MEETING</td></tr></table> <div>RECORD DRAWING CERTIFICATION</div> <div><input type="checkbox"/> AS BUILT — CHANGES AS NOTED</div> <div><input type="checkbox"/> AS BUILT — NO CHANGES</div> <table><tr><td colspan="2">NAME</td><td colspan="2">PROJECT COORDINATOR</td></tr><tr><td>SIGNATURE</td><td>DATE</td><td>SIGNATURE</td><td>DATE</td></tr><tr><td>TITLE</td><td>TITLE</td><td>TITLE</td><td>TITLE</td></tr></table> <div><div>WESTCHESTER COUNTY, NEW YORK</div><div>DEPARTMENT OF PUBLIC WORKS</div><div>AND TRANSPORTATION</div><div>DIVISION OF ENGINEERING</div><div>PARKING GARAGE REHABILITATION — PHASE 1</div><div>MICHAELIAN OFFICE BUILDING</div><div>148 MARTINE AVENUE, WHITE PLAINS, NEW YORK</div><div>CODE COMPLIANCE SHEET</div></div> <div><div>COUNTY NUMBER</div><div>19-515</div><div>SHEET NUMBER</div><div>A000.1</div><div>SHEET NO. 2 OF 97</div><div>SCALE: AS NOTED</div><div>DATE: 7-23-2020</div><div>DPW FILE NO.</div><div>52-01-A-349-0</div></div>			REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION		7/23/2020	BH	MB	FOR COMMISSIONER MEETING	NAME		PROJECT COORDINATOR		SIGNATURE	DATE	SIGNATURE	DATE	TITLE	TITLE	TITLE	TITLE
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION																				
	7/23/2020	BH	MB	FOR COMMISSIONER MEETING																				
NAME		PROJECT COORDINATOR																						
SIGNATURE	DATE	SIGNATURE	DATE																					
TITLE	TITLE	TITLE	TITLE																					

NOTE: THIS DRAWING SHOULD BE PRINTED IN COLOR FOR MAXIMUM READABILITY



3D RAMP LOCATION DIAGRAM

SUGGESTED CONSTRUCTION SEQUENCE

DESCRIPTION OF WORK	DURATION
RAMP FROM MARTIN LUTHER BLVD. TO LEVEL 1 TO LEVEL 2 NOTE: CONTRACTOR TO BE RESPONSIBLE TO PROVIDE SECURITY SERVICES AT MARTINE AVENUE ENTRANCE DURING REPAIRS TO RAMP AT MARTIN LUTHER BLVD. TO LEVEL 2 UNTIL COMPLETED. REFER TO SECTIONS 015000 OF THE SPECIFICATION MANUAL FOR ADDITIONAL INFORMATION.	75 DAYS TO COMPLETE
RAMP FROM LEVEL B2 TO LEVEL B1	60 DAYS TO COMPLETE
RAMP FROM LEVEL 8 TO LEVEL 9	45 DAYS TO COMPLETE
RAMP FROM LEVEL 9 TO LEVEL 10	45 DAYS TO COMPLETE
LEVEL 9 (INCLUDING ALL REPAIRS, WATERPROOFING, STRIPING AND LEVEL 8 TO LEVEL 9 RAMP)	45 DAYS TO COMPLETE
LEVEL 10 (INCLUDING ALL REPAIRS, WATERPROOFING, STRIPING AND LEVEL 9 TO LEVEL 10 RAMP)	60 DAYS TO COMPLETE
NOTE: THE FOLLOWING WORK CAN BE DONE CONCURRENT WITH OTHER WORK:	
RAMP LEVEL B1 TO LEVEL 1 - MAY BE REPLACED AT THE SAME TIME THE RAMP FROM MARTIN LUTHER BLVD. TO LEVEL 1 TO LEVEL 2 IS BEING REPLACED	45 DAYS TO COMPLETE
LEVEL B3 - ALL WORK AS SHOWN AROUND COLUMN LINE E-11 (INCLUDING EXPANSION JOINT REPLACEMENT, CONCRETE SLAB REPAIR, STRIPING, LOBBY REPAIRS AND WATERPROOFING SEALER)	50 DAYS TO COMPLETE
LEVEL B2 - ALL WORK AS SHOWN AROUND COLUMN LINE E-11 (INCLUDING EXPANSION JOINT REPLACEMENT, CONCRETE SLAB REPAIR, STRIPING, LOBBY REPAIRS AND WATERPROOFING SEALER)	50 DAYS TO COMPLETE
PLAZA AT COURTHOUSE - REPLACE EXPANSION JOINT, REMOVE AND REPLACE CONCRETE SIDEWALK (MATCH EXISTING PATTERN)	30 DAYS TO COMPLETE
ALTERNATE NO. 1 - REPLACE EXISTING EXPANSION JOINT AS SHOWN ON PLANS, INSTALL ALL DRAINAGE, REMOVE AND REPLACE CONCRETE SIDEWALK (MATCH EXISTING PATTERN)	85 DAYS TO COMPLETE
ALTERNATE NO. 2 - LEVEL 8 COLUMN REPAIRS (STRUCTURAL AND MISCELLANEOUS REPAIRS)	60 DAYS TO COMPLETE



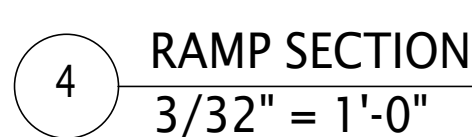
Lothrop Lothrop Associates LLP Architects 333 Westchester Avenue White Plains, New York 10604 914-741-1115		ARCHITECTS								
MICHAEL SCHULLER ATKINSON-WOLAND AND ASSOCIATES 32 OLD SLIP, 10TH FLOOR NEW YORK, NEW YORK 10005 917-647-9350		FORENSIC INVESTIGATION								
JEFFREY R. CARLSON, P.E. S.E. 601 WEST GOLF ROAD, SECOND FLOOR MOUNT PROSPECT, ILLINOIS 60056 847-274-0985		STRUCTURAL ENGINEER								
MARK VELZY CBK ENGINEERING, PC 44-46 FOSTER ROAD HOPKINELL JUNCTION, NY 12533 914-509-8161 (O)		MEP ENGINEERS								
<table><tr><td>7/31/2020</td><td>BH</td><td>MB</td><td>RELEASE FOR BID</td></tr><tr><td>7/23/2020</td><td>BH</td><td>MB</td><td>FOR COMMISSIONER MEETING</td></tr></table>			7/31/2020	BH	MB	RELEASE FOR BID	7/23/2020	BH	MB	FOR COMMISSIONER MEETING
7/31/2020	BH	MB	RELEASE FOR BID							
7/23/2020	BH	MB	FOR COMMISSIONER MEETING							
REVISION NUMBER DATE MADE BY APP'D BY REVISION										
RECORD DRAWING CERTIFICATION										
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES										
NAME _____ CONTRACTOR SIGNATURE _____ DATE _____		NAME _____ PROJECT COORDINATOR SIGNATURE _____ DATE _____								
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING		CONTRACT NUMBER 19-515 SHEET NUMBER A001 SHEET NO. 3 OF 97 SCALE: NOT TO SCALE DATE: 7-23-2020 DWG FILE NO. 52-01-A-350-0								
PARKING GARAGE REHABILITATION - PHASE 1 MICHAELIAN OFFICE BUILDING 148 MARTINE AVENUE, WHITE PLAINS, NEW YORK 3D RAMP LOCATION DIAGRAM										




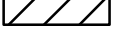
IN CHARGE OF	BOB GABALSKI
CHECKED BY	MICHAEL BERTA
MADE BY	BRETT HUTTMAN

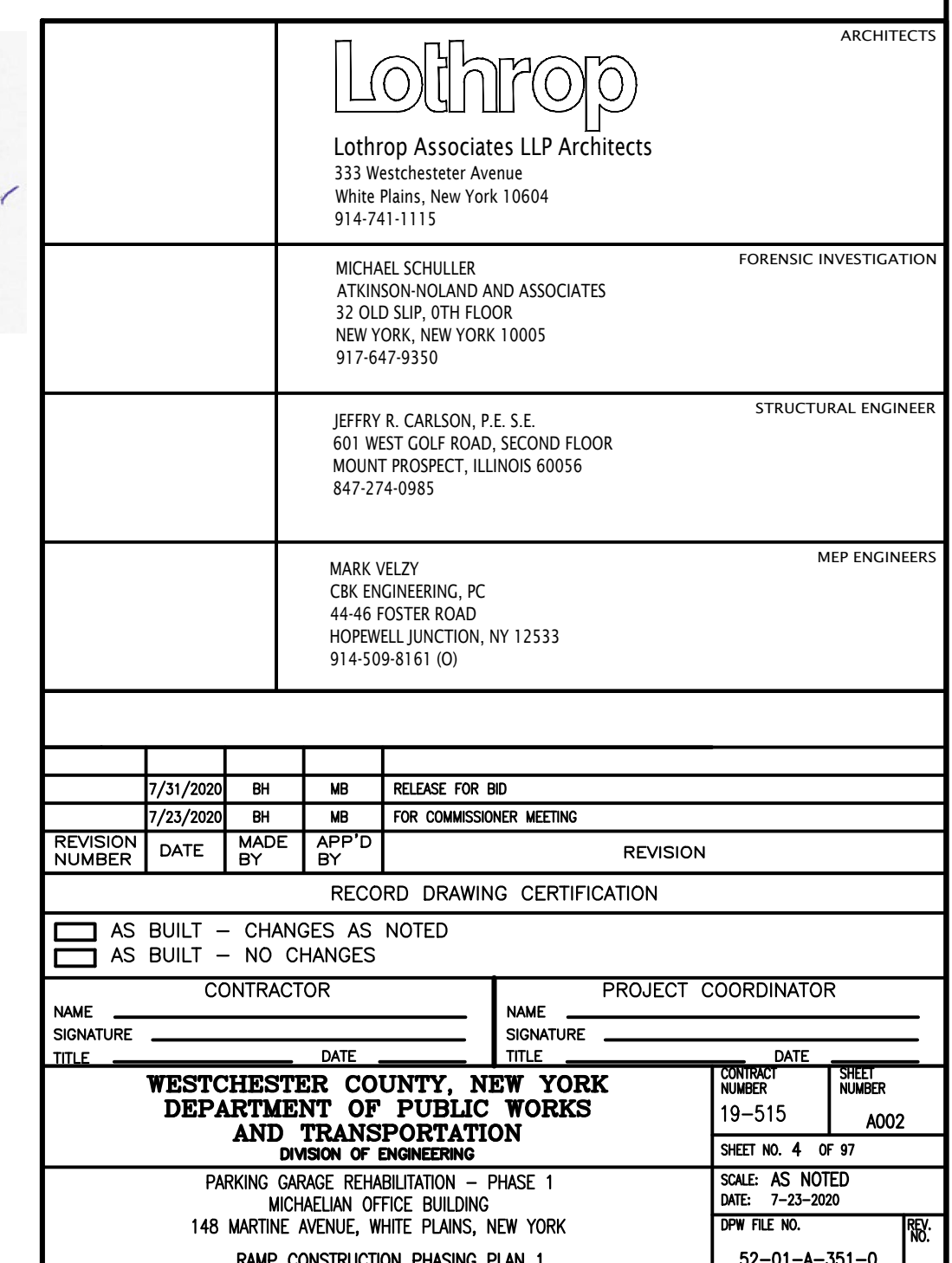
NOTE: THIS DRAWING SHOULD BE PRINTED IN COLOR FOR MAXIMUM READABILITY

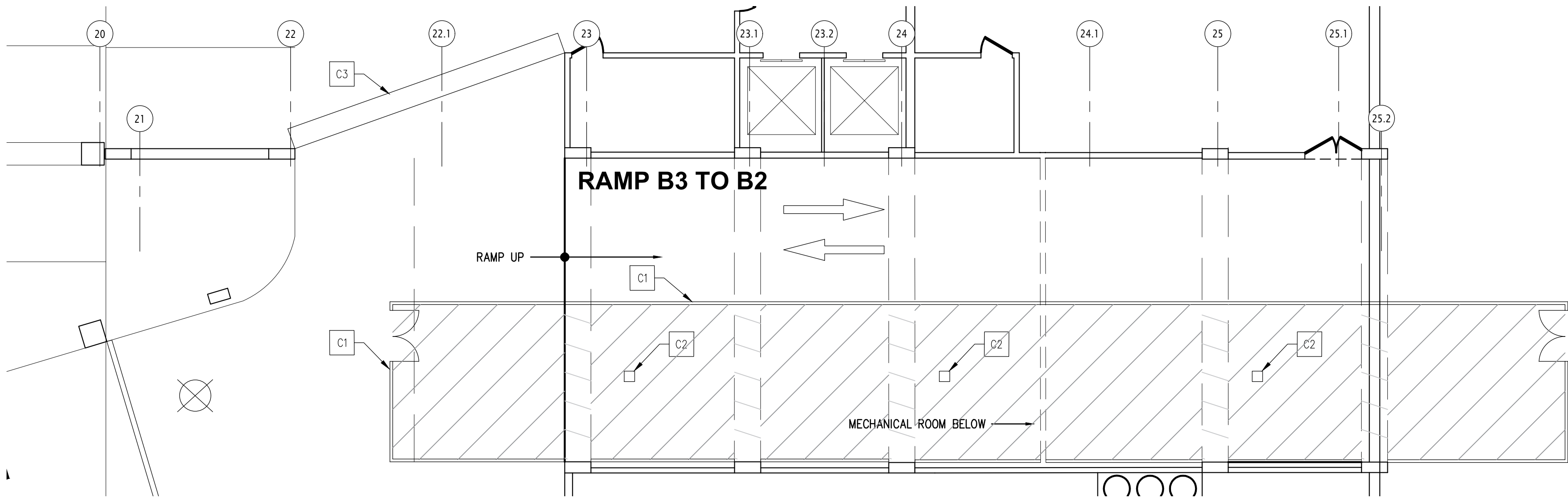


- PHASE II
1. BUILD PLYWOOD WALL (B-3 TO B-2)
 2. INSTALL TEMPORARY LIGHTING
 3. PROVIDE SHORING AS REQUIRED
 4. INSTALL TRAFFIC CONTROL DEVICES AT TOP AND BOTTOM OF RAMP.
 5. INSTALL JERSEY BARRIERS (B-2 TO B-1)
 6. CUT OUT SLAB (B-2 TO B-1) SEE ENGINEERING DRAWINGS
 7. PREPARE BEAMS FOR REBAR. (B-2 TO B-1)
 8. INSTALL REBAR AT BEAMS
 9. INSTALL SLAB FORMWORK
 10. INSTALL SLAB REBAR AND WATER STOP. SEE ENGINEERING DRAWINGS.
 11. POUR BEAMS AND SLAB
 12. CURE CONCRETE FOR 7 DAYS
 13. REMOVE SOME FORMWORK SUPPORTS
 14. CURE CONCRETE FOR 28 DAYS
 15. REMOVE ALL FORMWORK

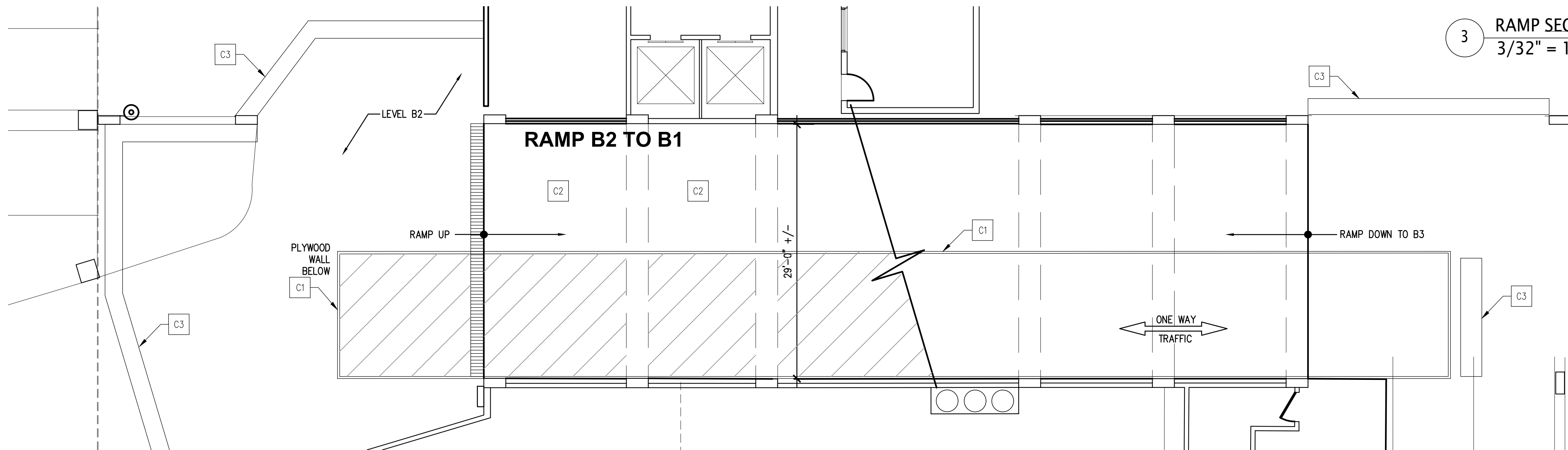


CONSTRUCTION LEGEND	
	TEMPORARY STOP LINE
	TEMPORARY TRAFFIC LIGHT
	AREA OF WORK
	TEMPORARY TRAFFIC PATTERN





1 PHASE 2 - RAMP B3 TO B2 ENLARGED PLAN (AS VIEWED FROM LEVEL B3)
1/8" = 1'-0"



2 PHASE 2 - RAMP B2 TO B1 ENLARGED PLAN (AS VIEWED FROM LEVEL B2)
1/8" = 1'-0"

- PHASE I:
1. BUILD PLYWOOD WALL (B-3 TO B-2)
 2. INSTALL TEMPORARY LIGHTING
 3. PROVIDE SHORING AS REQUIRED
 4. INSTALL TRAFFIC CONTROL DEVICES AT TOP AND BOTTOM OF RAMP
 5. INSTALL JERSEY BARRIERS (B-2 TO B-1)
 6. CUT OUT SLAB (B-2 TO B-1). SEE ENGINEERING DRAWINGS.
 7. PREPARE BEAMS FOR REPAIR. (B-2 TO B-1)
 8. INSTALL REBAR AT BEAMS
 9. INSTALL SLAB FORMWORK
 10. INSTALL SLAB REBAR AND WATER STOP. SEE ENGINEERING DRAWINGS.
 11. POUR BEAMS AND SLAB
 12. CURE CONCRETE FOR 7 DAYS
 13. REMOVE SOME FORMWORK SUPPORTS
 14. CURE CONCRETE FOR 28 DAYS
 15. REMOVE ALL FORMWORK

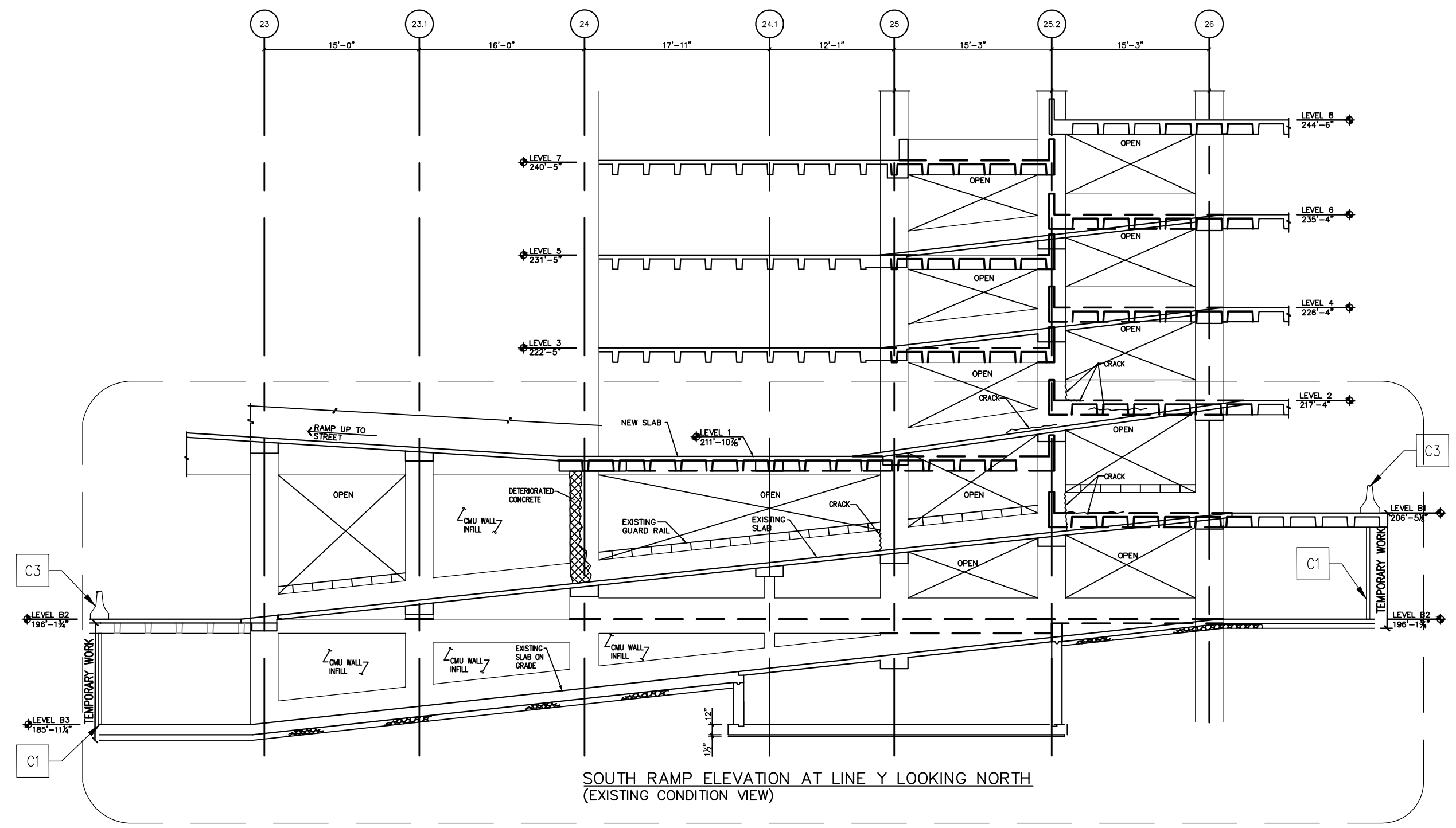
- PHASE II:
1. BUILD PLYWOOD WALL (B-3 TO B-2)
 2. INSTALL TEMPORARY LIGHTING
 3. PROVIDE SHORING AS REQUIRED
 4. INSTALL TRAFFIC CONTROL DEVICES AT TOP AND BOTTOM OF RAMP.
 5. INSTALL JERSEY BARRIERS (B-2 TO B-1)
 6. CUT OUT SLAB (B-2 TO B-1) SEE ENGINEERING DRAWINGS
 7. PREPARE BEAMS FOR REPAIR. (B-2 TO B-1)
 8. INSTALL REBAR AT BEAMS
 9. INSTALL SLAB FORMWORK
 10. INSTALL SLAB REBAR AND WATER STOP. SEE ENGINEERING DRAWINGS.
 11. POUR BEAMS AND SLAB
 12. CURE CONCRETE FOR 7 DAYS
 13. REMOVE SOME FORMWORK SUPPORTS
 14. CURE CONCRETE FOR 28 DAYS
 15. REMOVE ALL FORMWORK

IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN

RAMP PHASING KEY NOTES	
C1	INSTALL PLYWOOD WALL
C2	INSTALL TEMPORARY LIGHTING
C3	INSTALL TEMPORARY JERSEY BARRIERS
C4	CUT OUT RAMP SLAB. SEE ENGINEERING DRAWINGS.
C5	INSTALL SLAB REBAR AND WATER STOP. SEE ENGINEERING DRAWINGS.
C6	REMOVE EXISTING PARKING LINES AND CREATE TEMPORARY DRIVE LANE

CONSTRUCTION LEGEND

- TEMPORARY STOP LINE
- ⊗ TEMPORARY TRAFFIC LIGHT
- ▨ AREA OF WORK
- ➔ TEMPORARY TRAFFIC PATTERN

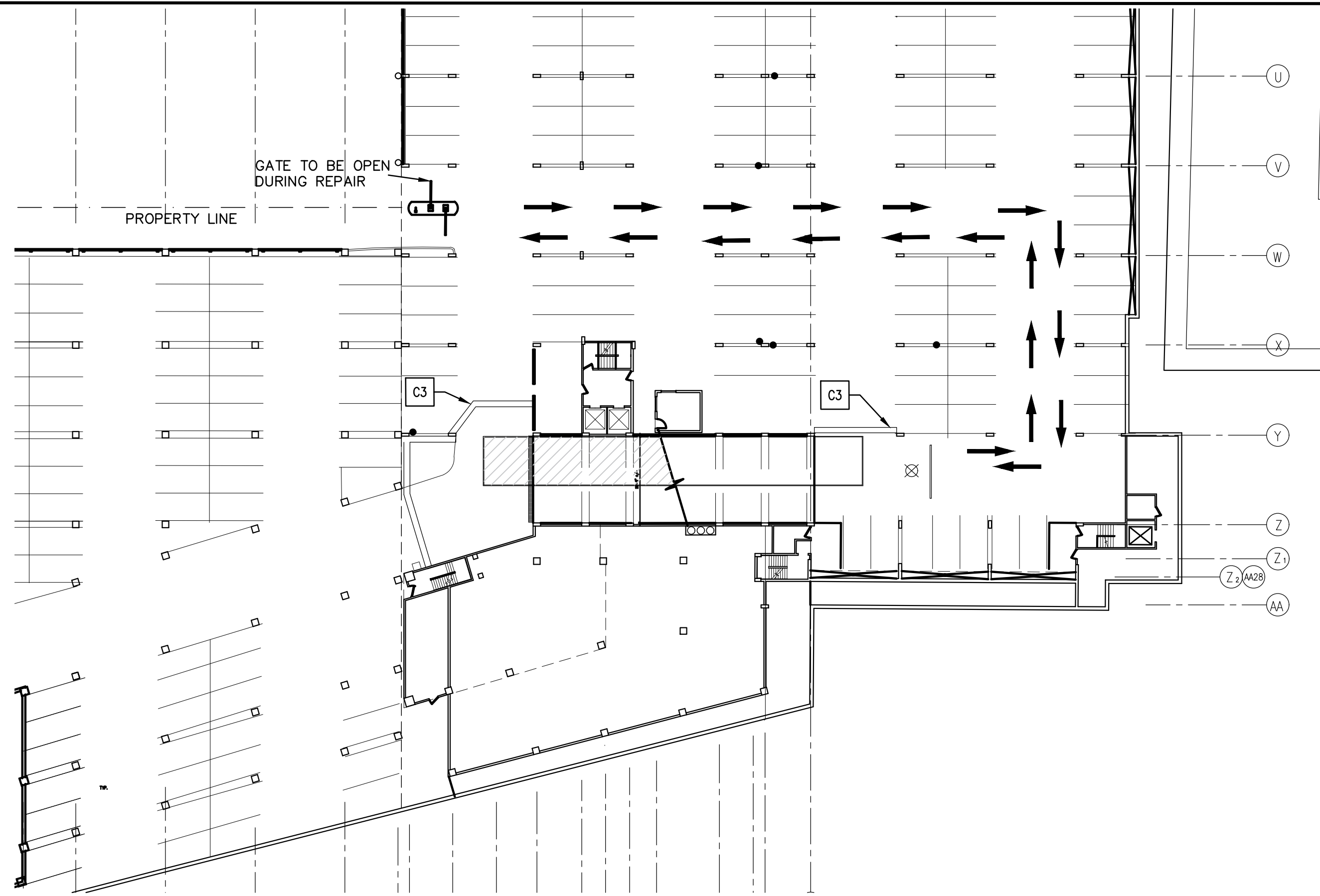


PHASE 1

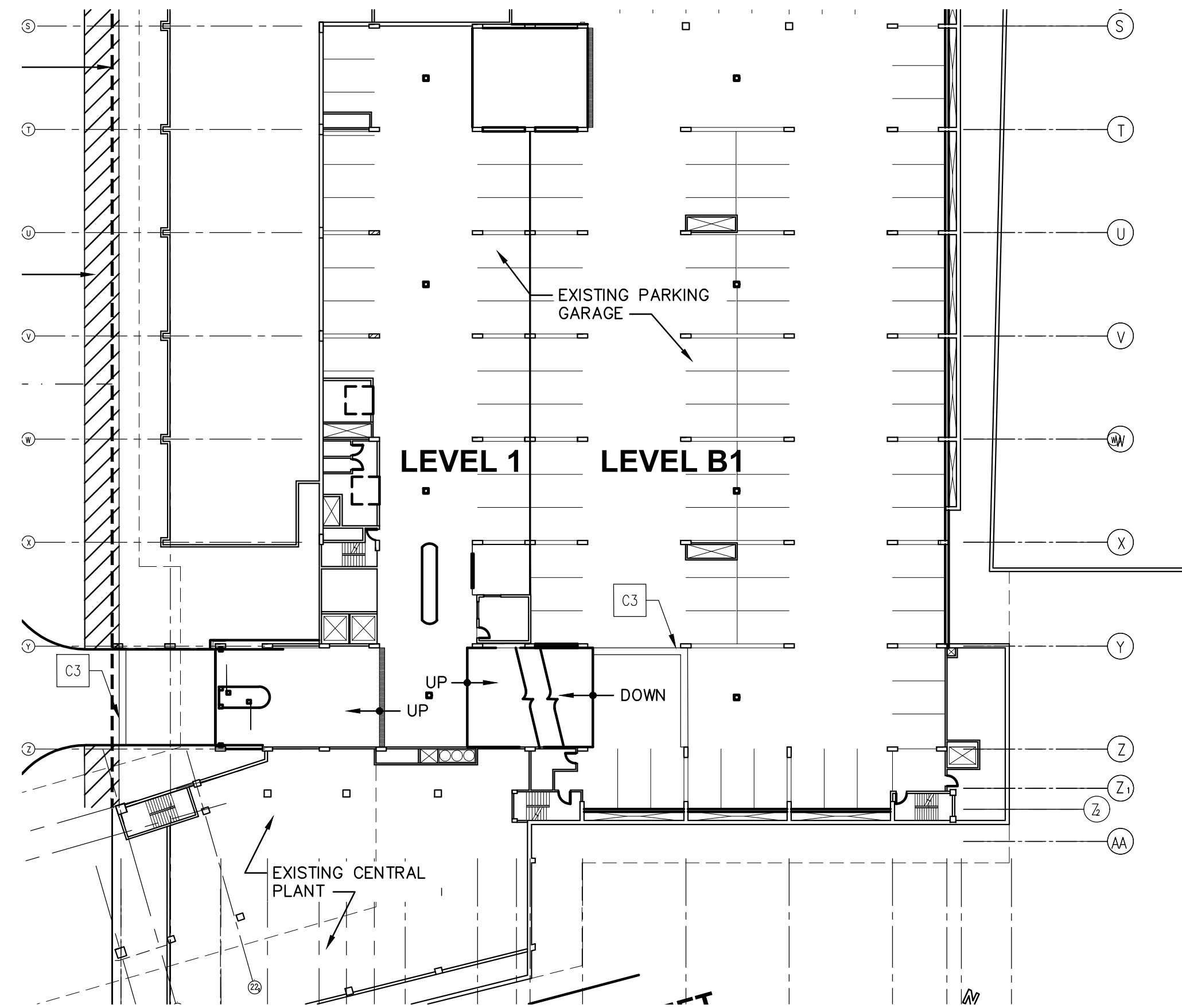
3 RAMP SECTION
3/32" = 1'-0"



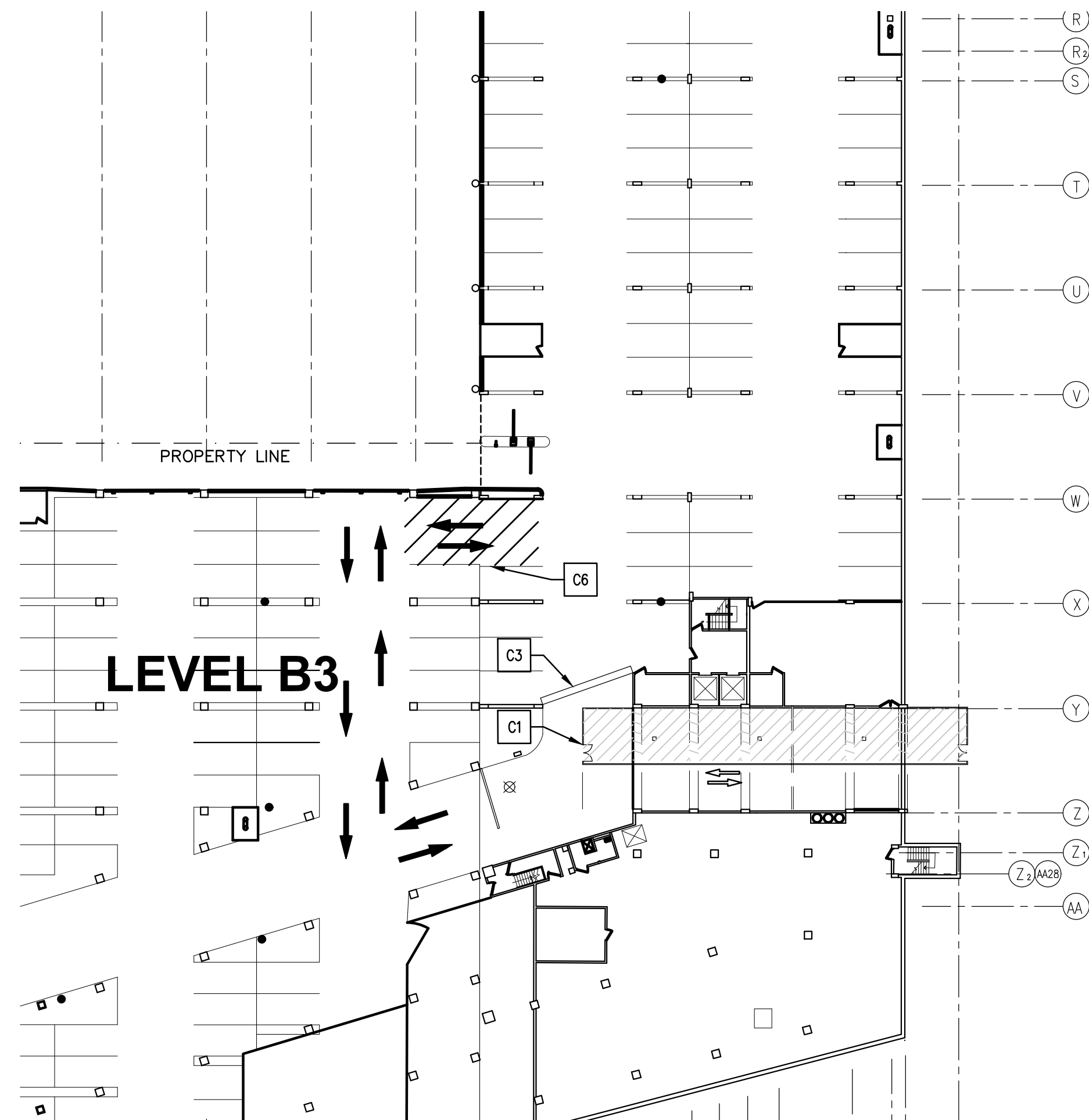
Lothrop Lothrop Associates LLP Architects 333 Westchester Avenue White Plains, New York 10604 914-741-1115		ARCHITECTS												
MICHAEL SCHULLER ATKINSON NOLAND AND ASSOCIATES 32 OLD SLIP, 6TH FLOOR NEW YORK, NEW YORK 10005 917-647-9350		FORENSIC INVESTIGATION												
JEFFREY R. CARLSON, P.E. S.E. 601 WEST GOLF ROAD, SECOND FLOOR MOUNT PROSPECT, ILLINOIS 60056 847-274-0985		STRUCTURAL ENGINEER												
MARK VELZY CBK ENGINEERING, PC 44-46 FOSTER ROAD HOPEWELL JUNCTION, NY 12533 914-509-8161 (O)		MEP ENGINEERS												
<table><tr><td>DATE</td><td>7/31/2020</td><td>BY</td><td>MB</td><td>FOR</td><td>RELEASE FOR BID</td></tr><tr><td>REVISION NUMBER</td><td>7/23/2020</td><td>DATE</td><td>MADE BY</td><td>APP'D BY</td><td>REVISION</td></tr></table>			DATE	7/31/2020	BY	MB	FOR	RELEASE FOR BID	REVISION NUMBER	7/23/2020	DATE	MADE BY	APP'D BY	REVISION
DATE	7/31/2020	BY	MB	FOR	RELEASE FOR BID									
REVISION NUMBER	7/23/2020	DATE	MADE BY	APP'D BY	REVISION									
RECORD DRAWING CERTIFICATION														
<table><tr><td colspan="2">CONTRACTOR</td><td colspan="2">PROJECT COORDINATOR</td></tr><tr><td>NAME</td><td>SIGNATURE</td><td>NAME</td><td>SIGNATURE</td></tr><tr><td>TITLE</td><td>TITLE</td><td>TITLE</td><td>TITLE</td></tr></table>			CONTRACTOR		PROJECT COORDINATOR		NAME	SIGNATURE	NAME	SIGNATURE	TITLE	TITLE	TITLE	TITLE
CONTRACTOR		PROJECT COORDINATOR												
NAME	SIGNATURE	NAME	SIGNATURE											
TITLE	TITLE	TITLE	TITLE											
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING		CONTRACT NUMBER 19-515 SHEET NUMBER A003												
PARKING GARAGE REHABILITATION - PHASE 1 MICHAELIAN OFFICE BUILDING 148 MARTINE AVENUE, WHITE PLAINS, NEW YORK RAMP CONSTRUCTION PHASING PLAN 2		SCALE: AS NOTED DATE: 7-23-2020 DPW FILE NO. 52-01-A-352-0												



1 REDUCED SCALE PLAN - TRAFFIC PATTERN LEVEL B2
1/32" = 1'-0"



2 REDUCED SCALE PLAN - TRAFFIC PATTERN LEVEL B1
1/32" = 1'-0"



3 REDUCED SCALE PLAN - TRAFFIC PATTERN LEVEL B3
1/32" = 1'-0"

- PHASE I:
1. BUILD PLYWOOD WALL (B-3 TO B-2)
 2. INSTALL TEMPORARY LIGHTING
 3. PROVIDE SHORING AS REQUIRED
 4. INSTALL TRAFFIC CONTROL DEVICES AT TOP AND BOTTOM OF RAMP
 5. INSTALL JERSEY BARRIERS (B-2 TO B-1)
 6. CUT OUT SLAB (B-2 TO B-1). SEE ENGINEERING DRAWINGS.
 7. PREPARE BEAMS FOR REPAIR. (B-2 TO B-1)
 8. INSTALL REBAR AT BEAMS
 9. INSTALL SLAB FORMWORK
 10. INSTALL SLAB REBAR AND WATER STOP. SEE ENGINEERING DRAWINGS.
 11. POUR BEAMS AND SLAB
 12. CURE CONCRETE FOR 7 DAYS
 13. REMOVE SOME FORMWORK SUPPORTS
 14. CURE CONCRETE FOR 28 DAYS
 15. REMOVE ALL FORMWORK
- PHASE II:
1. BUILD PLYWOOD WALL (B-3 TO B-2)
 2. INSTALL TEMPORARY LIGHTING
 3. PROVIDE SHORING AS REQUIRED
 4. INSTALL TRAFFIC CONTROL DEVICES AT TOP AND BOTTOM OF RAMP.
 5. INSTALL JERSEY BARRIERS (B-2 TO B-1)
 6. CUT OUT SLAB (B-2 TO B-1) SEE ENGINEERING DRAWINGS
 7. PREPARE BEAMS FOR REPAIR. (B-2 TO B-1)
 8. INSTALL REBAR AT BEAMS
 9. INSTALL SLAB FORMWORK
 10. INSTALL SLAB REBAR AND WATER STOP. SEE ENGINEERING DRAWINGS.
 11. POUR BEAMS AND SLAB
 12. CURE CONCRETE FOR 7 DAYS
 13. REMOVE SOME FORMWORK SUPPORTS
 14. CURE CONCRETE FOR 28 DAYS
 15. REMOVE ALL FORMWORK

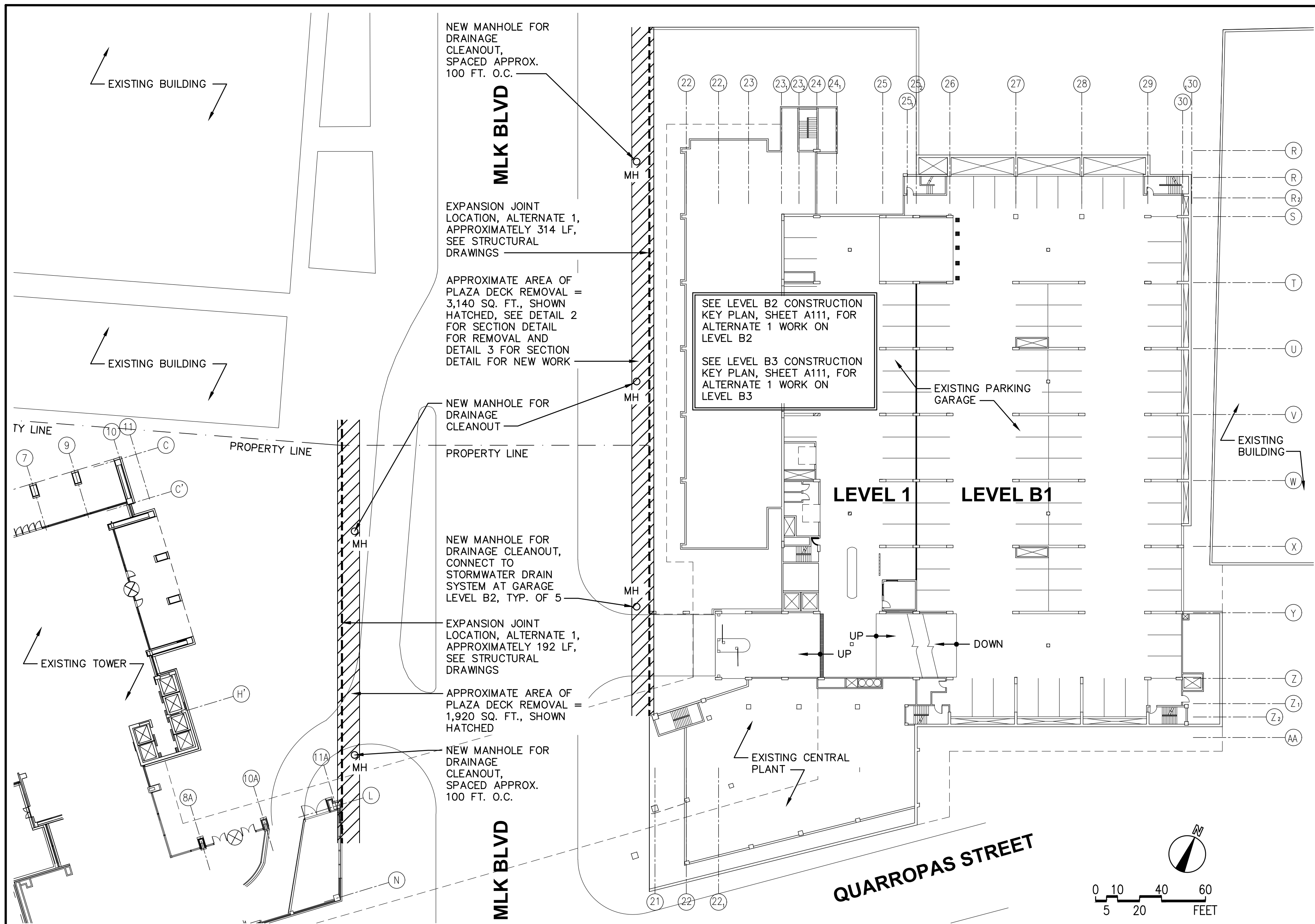
RAMP PHASING KEY NOTES	
C1	INSTALL PLYWOOD WALL
C2	INSTALL TEMPORARY LIGHTING
C3	INSTALL TEMPORARY JERSEY BARRIERS
C4	CUT OUT RAMP SLAB. SEE ENGINEERING DRAWINGS.
C5	INSTALL SLAB REBAR AND WATER STOP. SEE ENGINEERING DRAWINGS.
C6	REMOVE EXISTING PARKING LINES AND CREATE TEMPORARY DRIVE LANE

CONSTRUCTION LEGEND	
	TEMPORARY STOP LINE
	TEMPORARY TRAFFIC LIGHT
	AREA OF WORK
	TEMPORARY TRAFFIC PATTERN

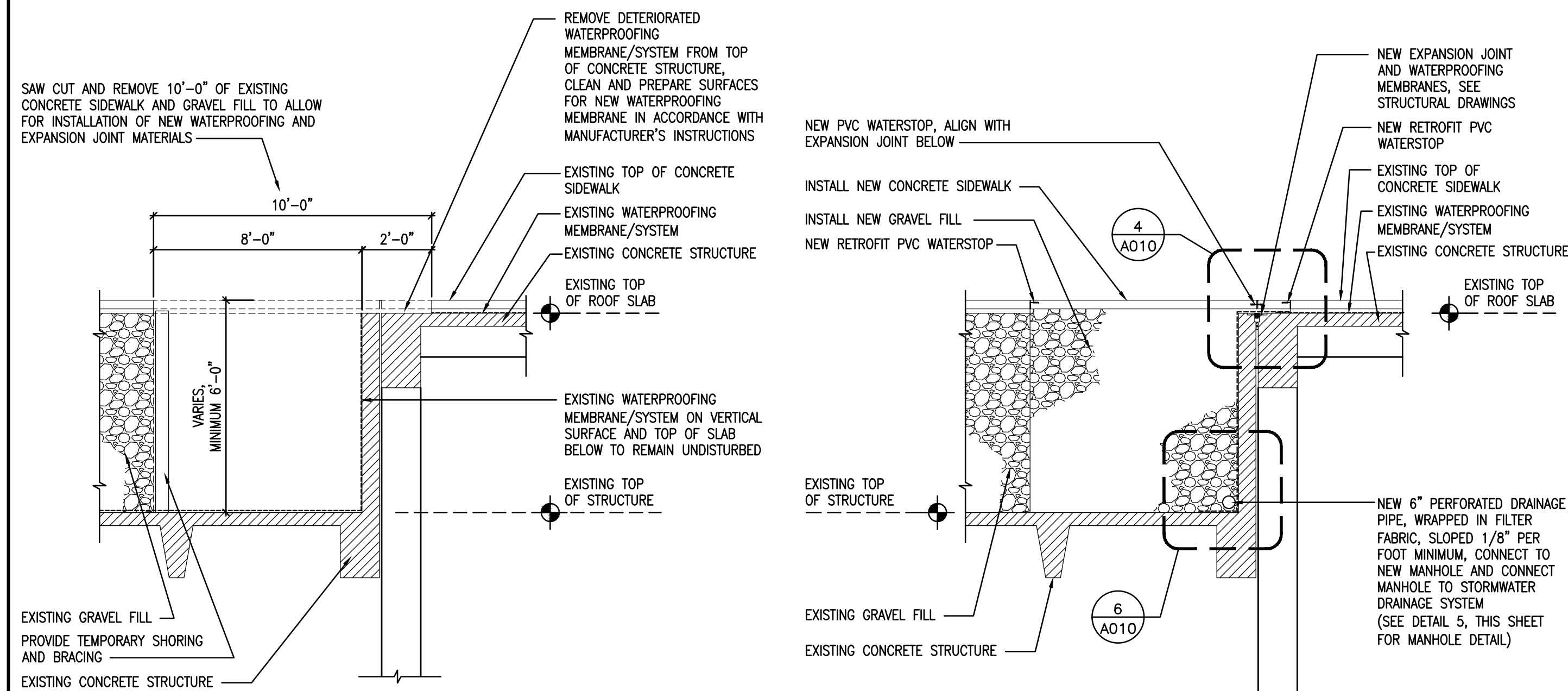


Lothrop Lothrop Associates LLP Architects 333 Westchester Avenue White Plains, New York 10604 914-741-1115		ARCHITECTS																
MICHAEL SCHULLER ATKINSON NOLAND AND ASSOCIATES 32 OLD SLIP, 0TH FLOOR NEW YORK, NEW YORK 10005 917-647-9350		FORENSIC INVESTIGATION																
JEFFRY R. CARLSON, P.E. S.E. 601 WEST GOLF ROAD, SECOND FLOOR MOUNT PROSPECT, ILLINOIS 60056 847-274-0985		STRUCTURAL ENGINEER																
MARK VELZY CBK ENGINEERING, PC 44-46 FOSTER ROAD HOPEWELL JUNCTION, NY 12533 914-509-8161 (O)		MEP ENGINEERS																
<table><tr><td>7/31/2020</td><td>BI</td><td>MB</td><td>RELEASE FOR BID</td></tr><tr><td>7/23/2020</td><td>BI</td><td>MB</td><td>FOR COMMISSIONER MEETING</td></tr><tr><td>REVISION NUMBER</td><td>DATE</td><td>MADE BY</td><td>APPROVED BY</td></tr><tr><td></td><td></td><td></td><td>REVISION</td></tr></table>			7/31/2020	BI	MB	RELEASE FOR BID	7/23/2020	BI	MB	FOR COMMISSIONER MEETING	REVISION NUMBER	DATE	MADE BY	APPROVED BY				REVISION
7/31/2020	BI	MB	RELEASE FOR BID															
7/23/2020	BI	MB	FOR COMMISSIONER MEETING															
REVISION NUMBER	DATE	MADE BY	APPROVED BY															
			REVISION															
RECORD DRAWING CERTIFICATION																		
<table><tr><td><input type="checkbox"/> AS BUILT - CHANGES AS NOTED</td><td></td></tr><tr><td><input type="checkbox"/> AS BUILT - NO CHANGES</td><td></td></tr></table>			<input type="checkbox"/> AS BUILT - CHANGES AS NOTED		<input type="checkbox"/> AS BUILT - NO CHANGES													
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED																		
<input type="checkbox"/> AS BUILT - NO CHANGES																		
CONTRACTOR NAME: _____ SIGNATURE: _____ TITLE: _____		PROJECT COORDINATOR NAME: _____ SIGNATURE: _____ TITLE: _____																
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING 148 MARTINE AVENUE, WHITE PLAINS, NEW YORK		CONTRACT NUMBER: 19-515 SHEET NUMBER: A004 SHEET NO. 6 OF 97 SCALE: AS NOTED DATE: 7-23-2020 DPW FILE NO.: 52-01-A-353-0																
PARKING GARAGE REHABILITATION - PHASE 1 TEMPORARY TRAFFIC PATTERN PLAN																		

IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN



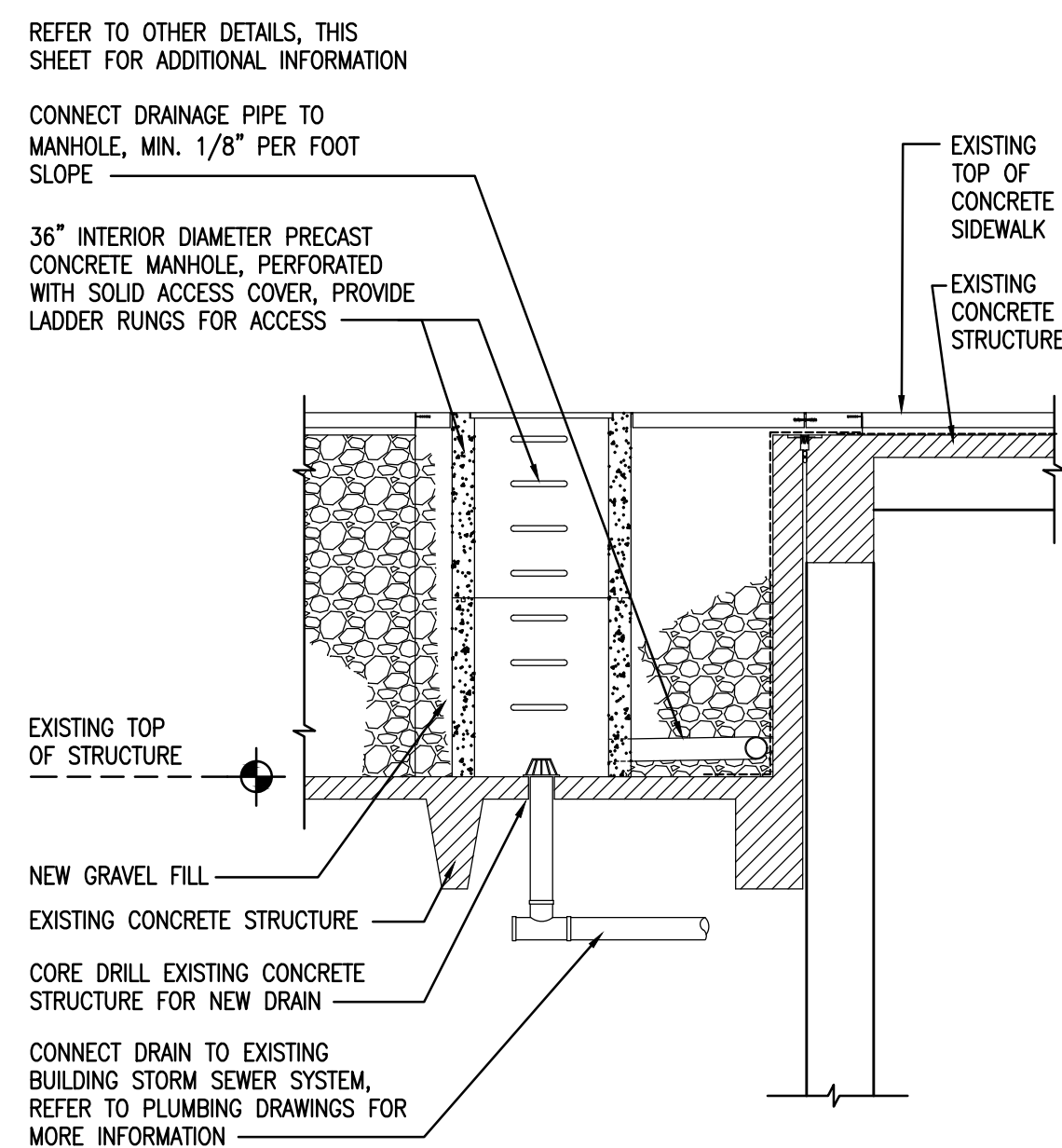
1 PLAZA LEVEL EXPANSION JOINT LOCATION PLAN - ALTERNATE 1
1/32" = 1'-0"



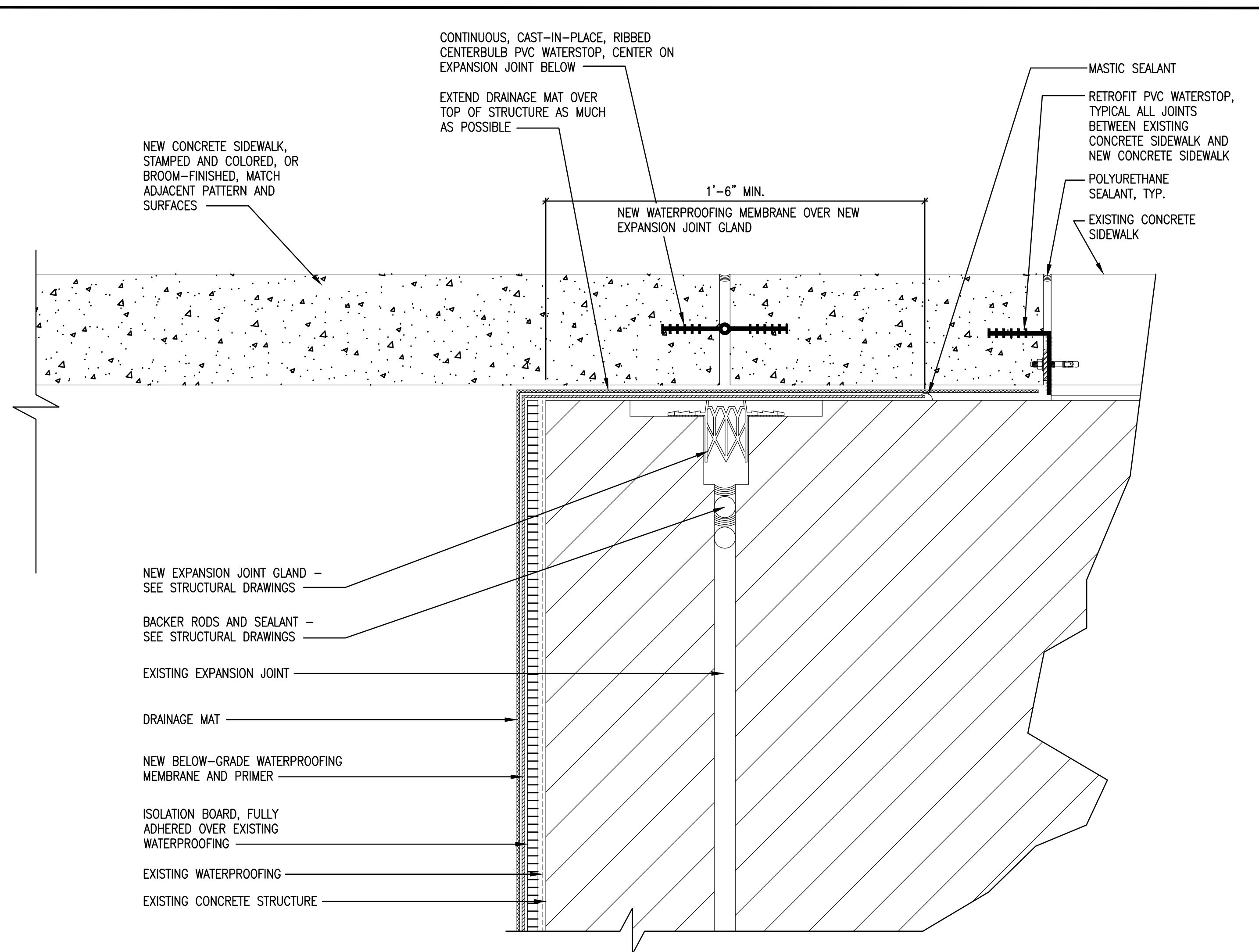
2 PLAZA LEVEL EXPANSION JOINT DEMOLITION - ALTERNATE 1
1/4" = 1'-0"

IN CHARGE OF **BOB GABALSKI**
CHECKED BY **MICHAEL BERTA**
MADE BY **BRETT HUTTMAN**

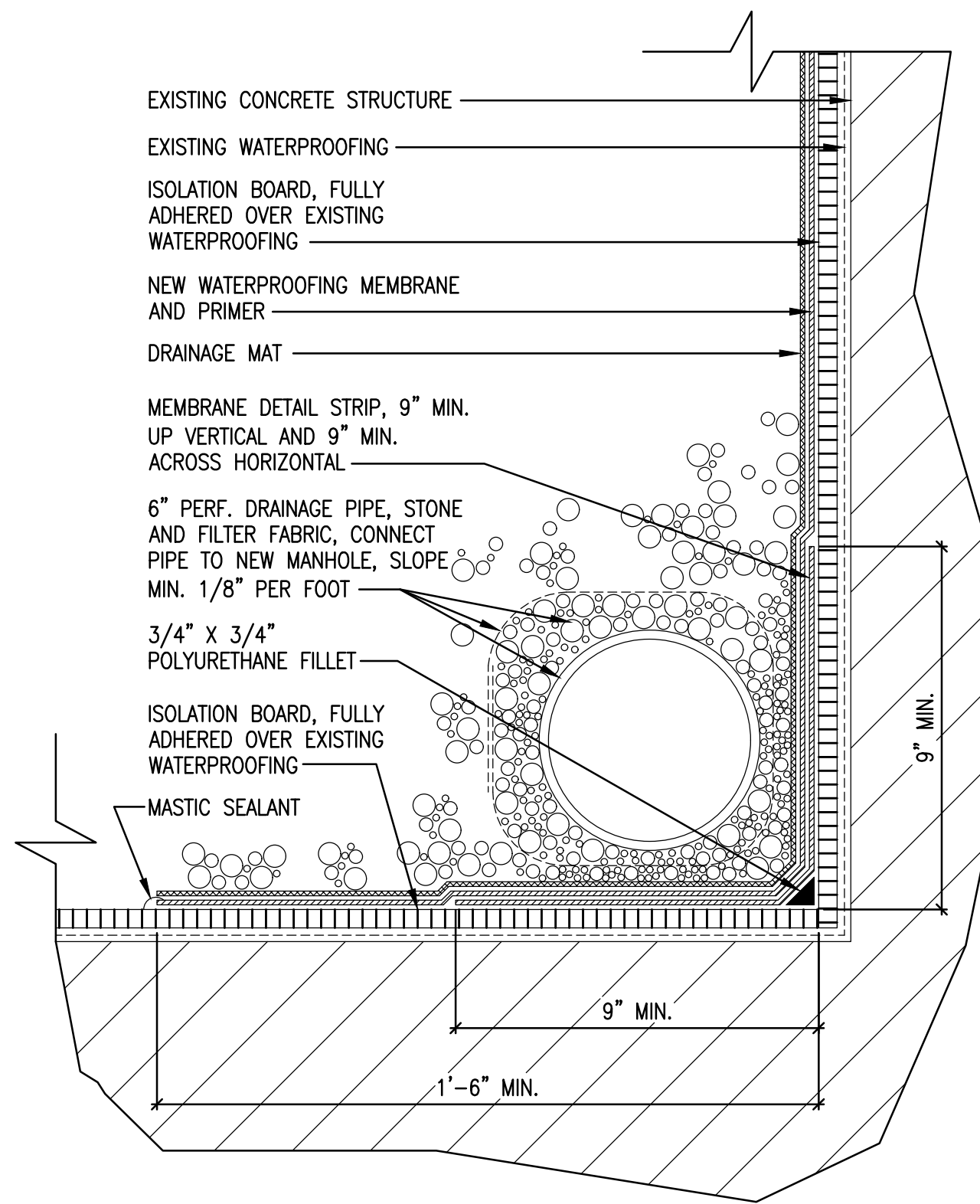
3 PLAZA LEVEL EXPANSION JOINT NEW WORK - ALTERNATE 1
1/4" = 1'-0"



5 PLAZA LEVEL MANHOLE NEW WORK - ALTERNATE 1
1/4" = 1'-0"



4 PLAZA LEVEL EXPANSION JOINT WATERSTOP DETAIL - ALTERNATE 1
3" = 1'-0"



6 PLAZA LEVEL EXPANSION JOINT DRAINAGE DETAIL - ALTERNATE 1
3" = 1'-0"

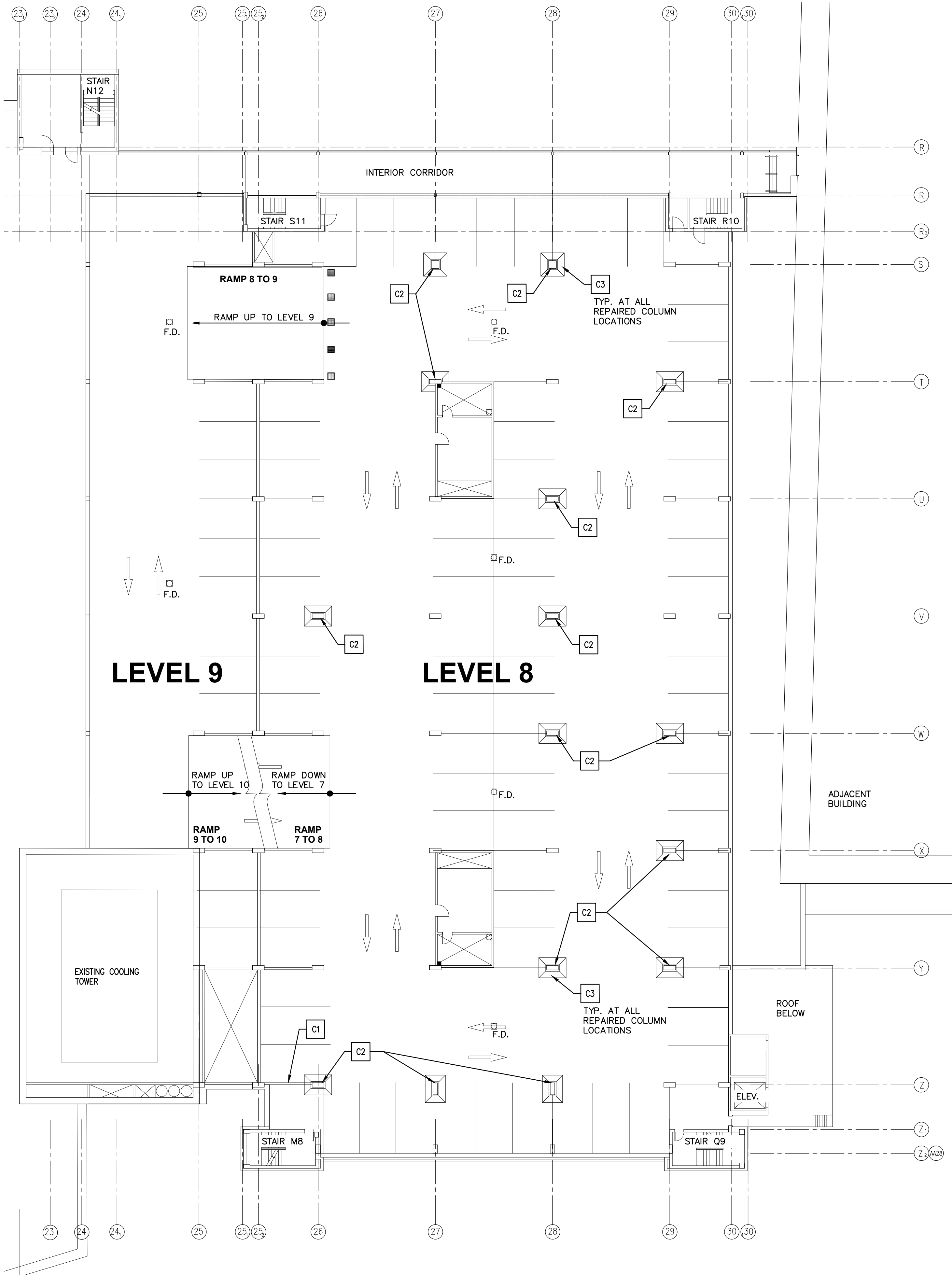
ALTERNATE 1 - CALCULATED QUANTITIES

ITEM DESCRIPTION	CALCULATED QUANTITY
EXPANSION JOINT	506 LF.
PLAZA DECK REMOVAL	5,060 SQ. FT.
PLAZA DECK EXCAVATION	1,750 CU. YDS.
WATERPROOFING MATERIALS	6,060 SQ. FT.

ABBREVIATIONS:
LF. = LINEAL FEET
SQ. FT. = SQUARE FEET
CU. YDS. = CUBIC YARDS

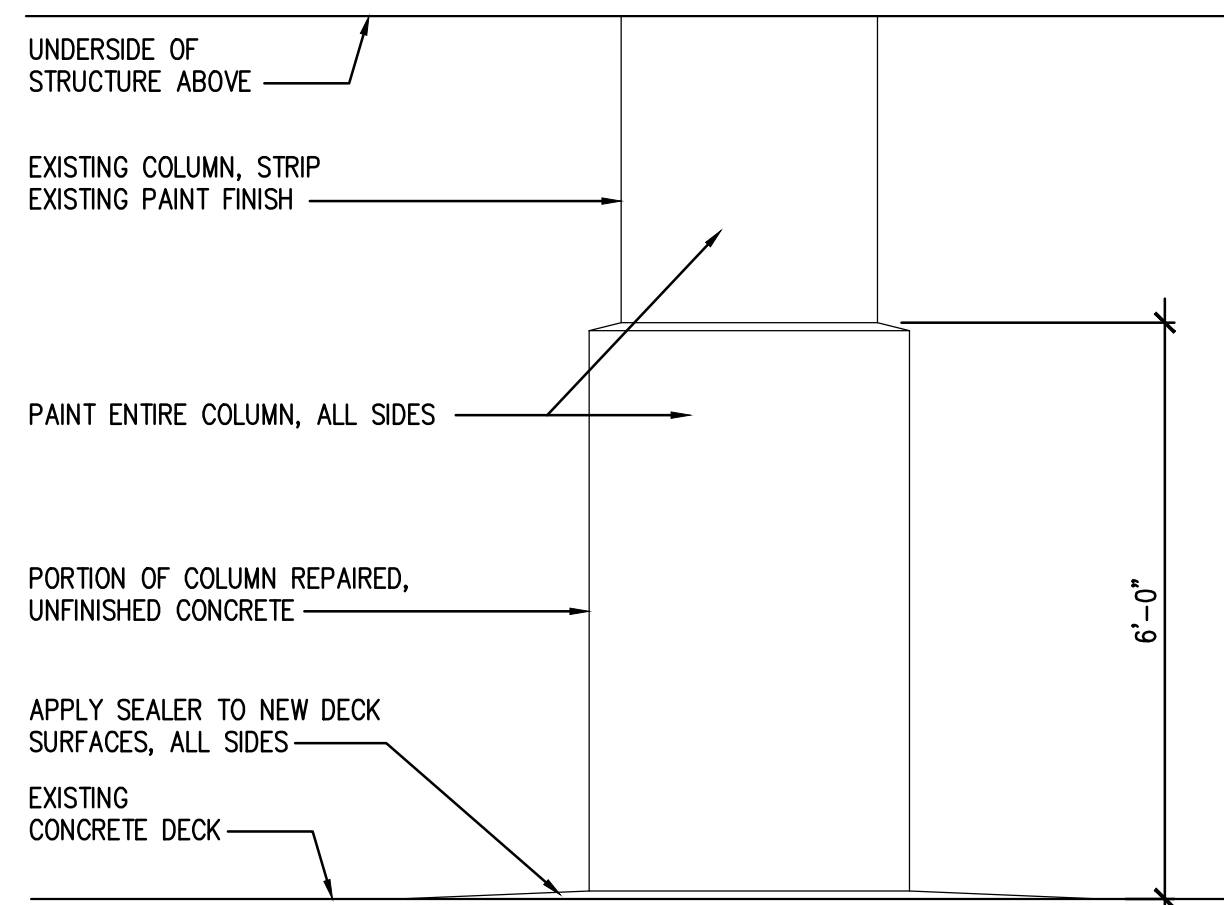
	Lothrop Lothrop Associates LLP Architects 333 Westchester Avenue White Plains, New York 10604 914-741-1115	ARCHITECTS
	MICHAEL SCHULLER ATKINSON NOLAND AND ASSOCIATES 32 OLD SLIP, 6TH FLOOR NEW YORK, NEW YORK 10005 917-647-9350	FORENSIC INVESTIGATION
	JEFFERY R. CARLSON, P.E. S.E. 601 WEST GOLF ROAD, SECOND FLOOR MOUNT PROSPECT, ILLINOIS 60056 847-274-0985	STRUCTURAL ENGINEER
	MARK VELZY CBK ENGINEERING, PC 44-46 FOSTER ROAD HOPEWELL JUNCTION, NY 12533 914-509-8161 (Q)	MEP ENGINEERS

	7/31/2020	BH	MB	RELEASE FOR BID	
	7/23/2020	BH	MB	FOR COMMISSIONER MEETING	
REVISION NUMBER	DATE	MADE BY	APP'D BY		REVISION
RECORD DRAWING CERTIFICATION					
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED					
<input type="checkbox"/> AS BUILT - NO CHANGES					
CONTRACTOR				PROJECT COORDINATOR	
NAME		NAME			
SIGNATURE		SIGNATURE		DATE	
TITLE		TITLE		DATE	
WESTCHESTER COUNTY, NEW YORK					
DEPARTMENT OF PUBLIC WORKS					
AND TRANSPORTATION					
DIVISION OF ENGINEERING					
PARKING GARAGE REHABILITATION - PHASE 1					
MICHAELIAN OFFICE BUILDING					
148 MARTINE AVENUE, WHITE PLAINS, NEW YORK					
PLAZA LEVEL EXPANSION JOINT LOCATION PLAN AND DETAILS - ALTERNATE 1					
				CONTRACT NUMBER 19-515	SHEET NUMBER A010
				SHEET NO. 7 OF 97	
				SCALE: AS NOTED	
				DATE: 7-23-2020	
				DW FILE NO.	
				52-01-A-754-0	
				<div style="border: 1px solid black; padding: 2px;">30</div>	

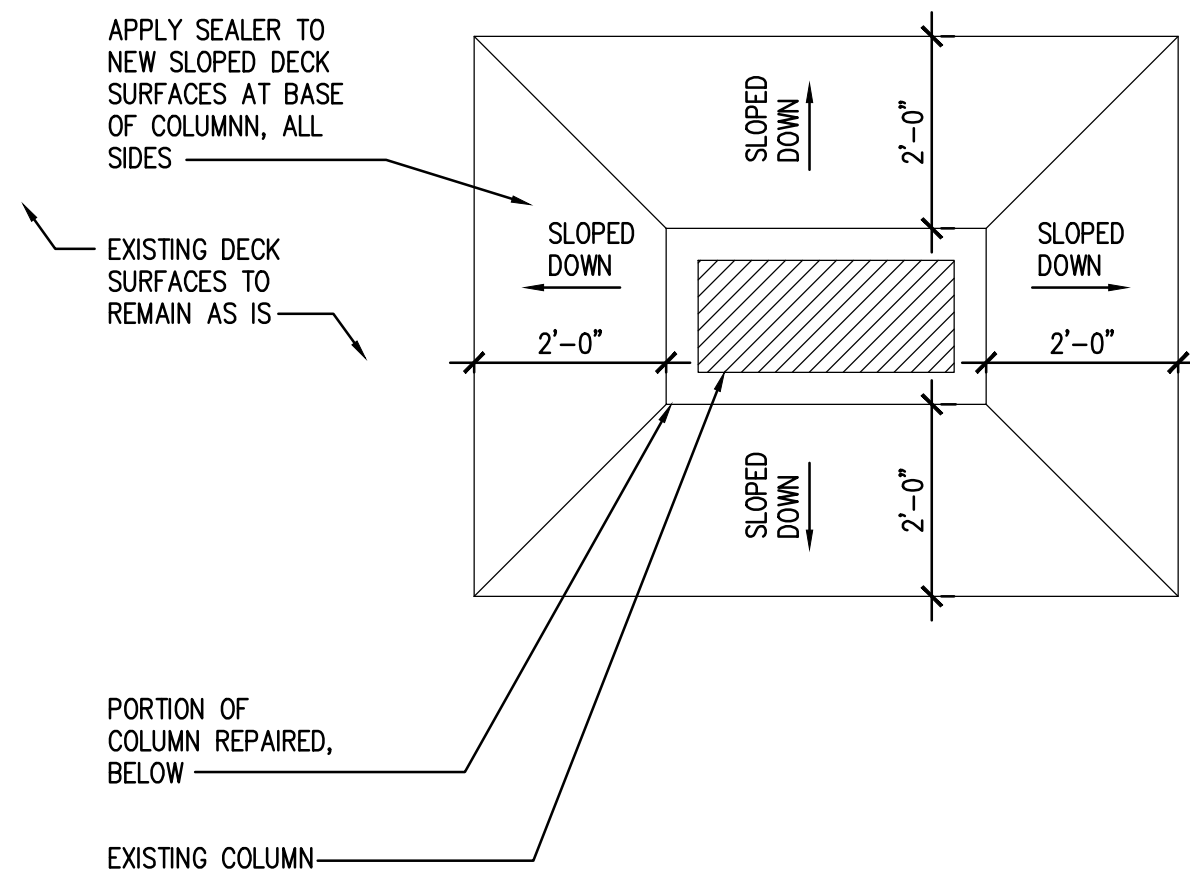


1 LEVEL 8 COLUMN REPAIR PLAN - ALTERNATE 2
1/16" = 1'-0"

IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN



2 REPAIRED COLUMN ELEVATION
1/2" = 1'-0"



3 REPAIRED COLUMN PLAN SECTION
1/2" = 1'-0"

ALTERNATE CONSTRUCTION KEY NOTES

C1	TEMPORARILY REMOVE EXISTING GUARDRAIL OR OTHER ITEMS AS NECESSARY FOR NEW WORK, RE-INSTALL FOLLOWING COMPLETION OF REPAIRS
C2	STRIP EXISTING PAINT FINISH FROM COLUMN AND PREPARE ALL SURFACES FOR NEW PAINT AS PER MANUFACTURERS INSTRUCTIONS. PAINT ENTIRE REPAIRED COLUMN FROM DECK TO STRUCTURE ABOVE, SEE DETAIL 2 FOR MORE INFORMATION
C3	PREPARE SURFACE FOR APPLICATION OF SILANE SEALER IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. APPLY SILANE SEALER TO NEW CONCRETE DECK SURFACES, SEE DETAIL 3 FOR MORE INFORMATION

GENERAL NOTES

- TEMPORARILY REMOVE ALL EXISTING ITEMS, DEVICES, SIGNAGE, ETC. FROM COLUMNS INDICATED FOR REPAIR, WHERE NECESSARY, TO ACCOMMODATE THE REPAIR WORK. RE-INSTALL ALL ITEMS PREVIOUSLY REMOVED, FOLLOWING COMPLETION OF PAINTING. ALLOW SUFFICIENT TIME FOR PAINT TO CURE BEFORE RE-INSTALLATION.
- ALL NEWLY INSTALLED OR REPAIRED ITEMS ARE TO BE FINISHED TO MATCH ADJACENT EXISTING ITEMS UNLESS OTHERWISE INDICATED. SUCH ITEMS MAY INCLUDE HANDRAILS, GUARDRAILS, DOORS, DOOR FRAMES, GRC WALL PANELS, ETC.
- INSTALL NEW "KEEP RIGHT" SIGNS AT EACH RAMP APPROACH AT EACH LEVEL. APPROXIMATE LOCATION AS SHOWN ON DRAWINGS.
- PRIOR TO ANY WORK, TEST EXISTING PAINTED SURFACES THAT WILL BE DISTURBED OR REMOVED FOR LEAD PAINT CONTENT. IF FOUND, ABATE LEAD-BASED PAINT MATERIALS WITH APPROVED DUMOND PEEL AWAY PAINT REMOVER SYSTEM.

WATERPROOFING DEMOLITION AND PREPARATION NOTES

- REMOVE ALL EXISTING JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, WITHIN ALL AREAS OF WORK IDENTIFIED TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
- SHOT-BLAST ALL CONCRETE SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
- CLEAN ALL SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS OR WRITTEN INSTRUCTIONS.

WATERPROOFING INSTALLATION NOTES

- INSTALL WATERPROOFING AND SEALER MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- INSTALL NEW JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, AS INDICATED AND IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

PAINTING NOTES

- SEE PAINTING SCHEDULE ON SHEET A111 FOR COLORS

ALTERNATE 2 - CALCULATED QUANTITIES

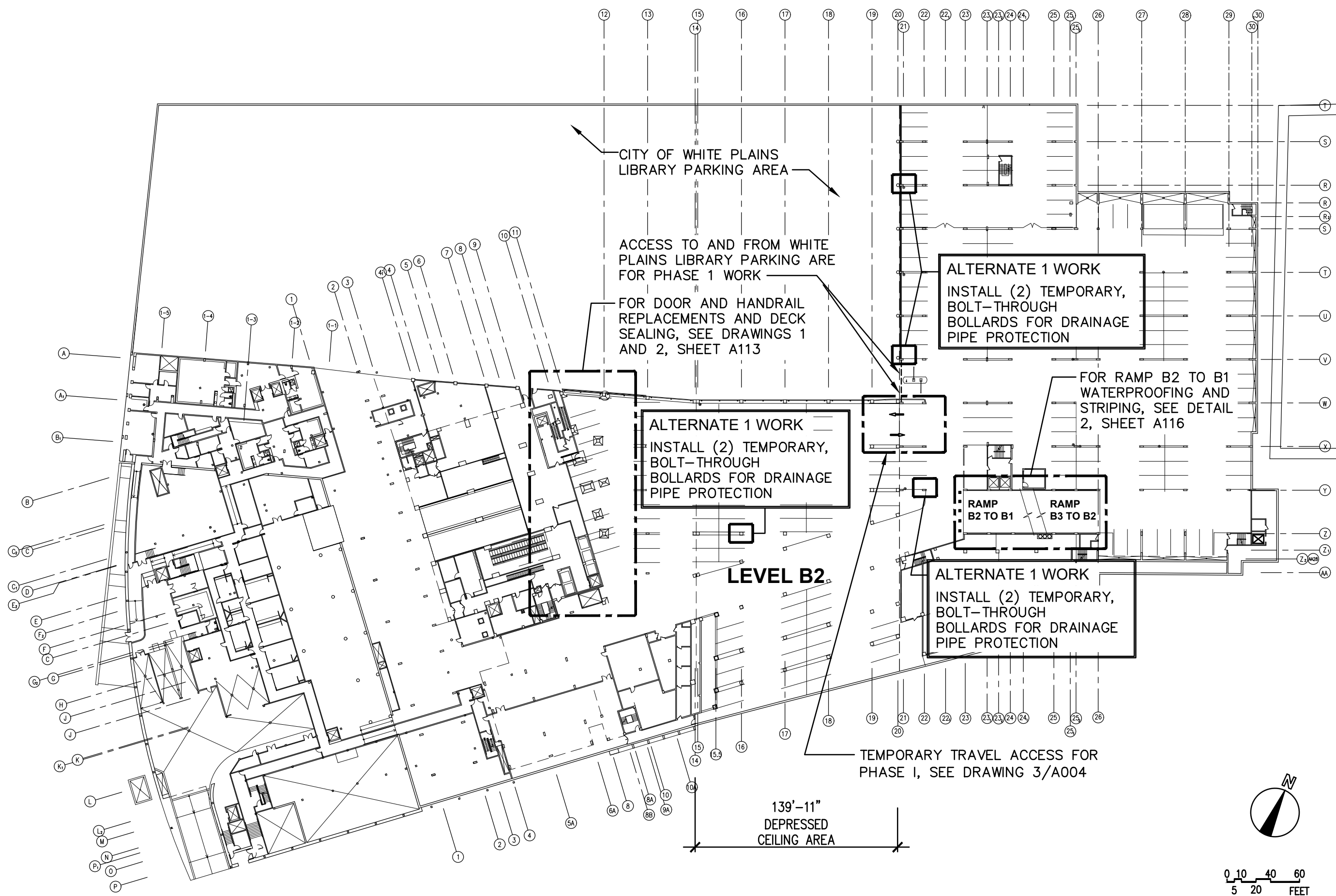
ITEM DESCRIPTION	CALCULATED QUANTITY
COLUMNS REQUIRING REPAIR AND PAINT	15
PARKING DECK SEALING	600 SQ. FT.

ABBREVIATIONS:
LIN. FT. = LINEAR FEET
SQ. FT. = SQUARE FEET
CU. YDS. = CUBIC YARDS

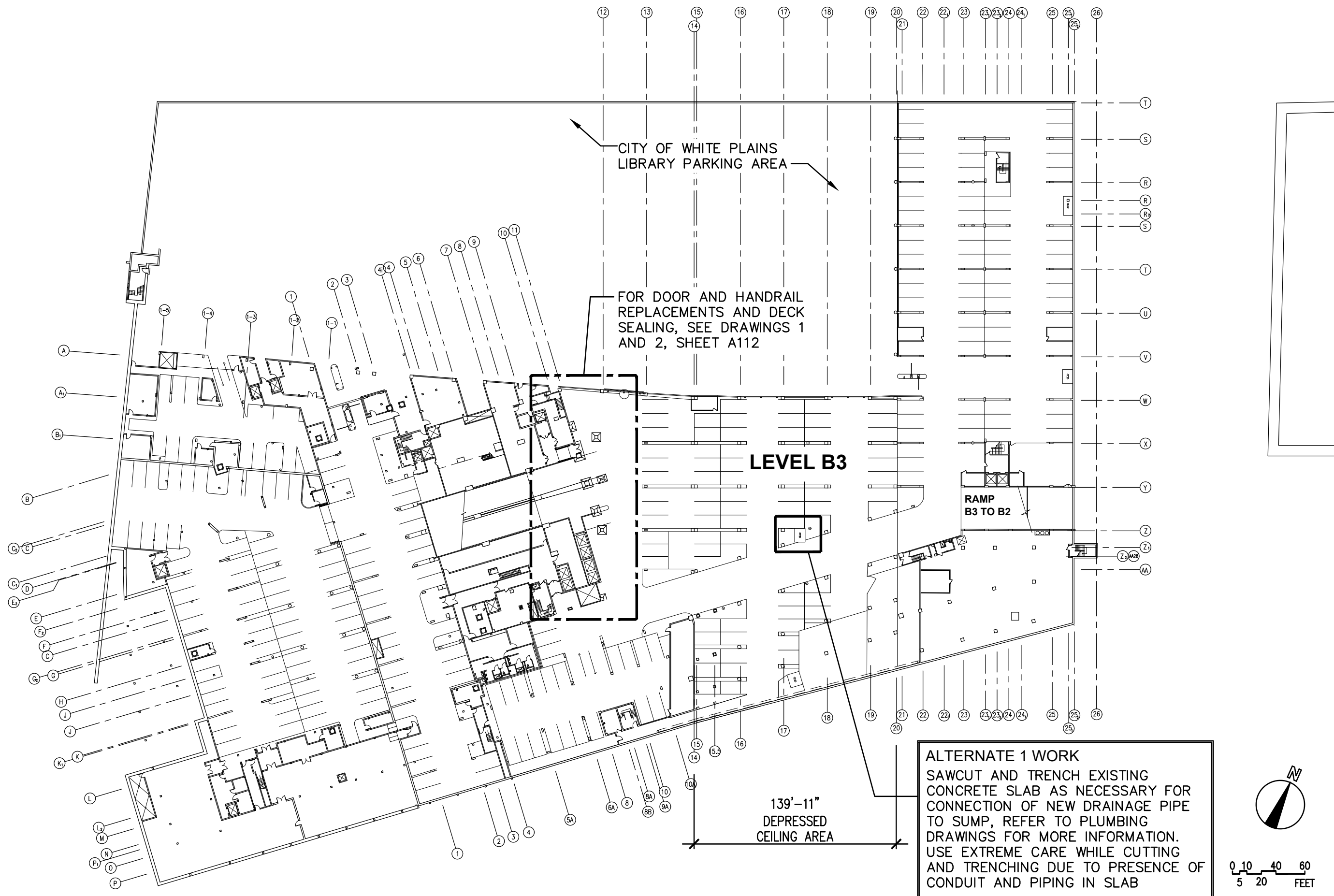


Lothrop Lothrop Associates LLP Architects 333 Westchester Avenue White Plains, New York 10604 914-741-1115		ARCHITECTS
MICHAEL SCHULLER ATKINSON NOLAND AND ASSOCIATES 32 OLD SLIP, 8TH FLOOR NEW YORK, NEW YORK 10005 917-647-9350		FORENSIC INVESTIGATION
JEFFREY R. CARLSON, P.E. S.E. 601 WEST GOLF ROAD, SECOND FLOOR MOUNT PROSPECT, ILLINOIS 60056 847-274-0985		STRUCTURAL ENGINEER
MARK VELZY CBK ENGINEERING, PC 44-46 FOSTER ROAD HOPEWELL JUNCTION, NY 12533 914-509-8161 (O)		MEP ENGINEERS

7/31/2020	BI	MB	RELEASE FOR BID
7/23/2020	BI	MB	FOR COMMISSIONER MEETING
REVISION NUMBER	DATE	MADE BY	APP'D BY
RECORD DRAWING CERTIFICATION			
AS BUILT - CHANGES AS NOTED AS BUILT - NO CHANGES			
CONTRACTOR		PROJECT COORDINATOR	
NAME	SIGNATURE	NAME	SIGNATURE
TITLE	TITLE	TITLE	TITLE
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING		CONTRACT NUMBER 19-515	SHEET NUMBER A030
PARKING GARAGE REHABILITATION - PHASE 1 MICHAELIAN OFFICE BUILDING 148 MARTINE AVENUE, WHITE PLAINS, NEW YORK		SCALE: AS NOTED DATE: 7-23-2020 DPW FILE NO.	SHEET NO. 8 OF 97 52-01-A-355-0

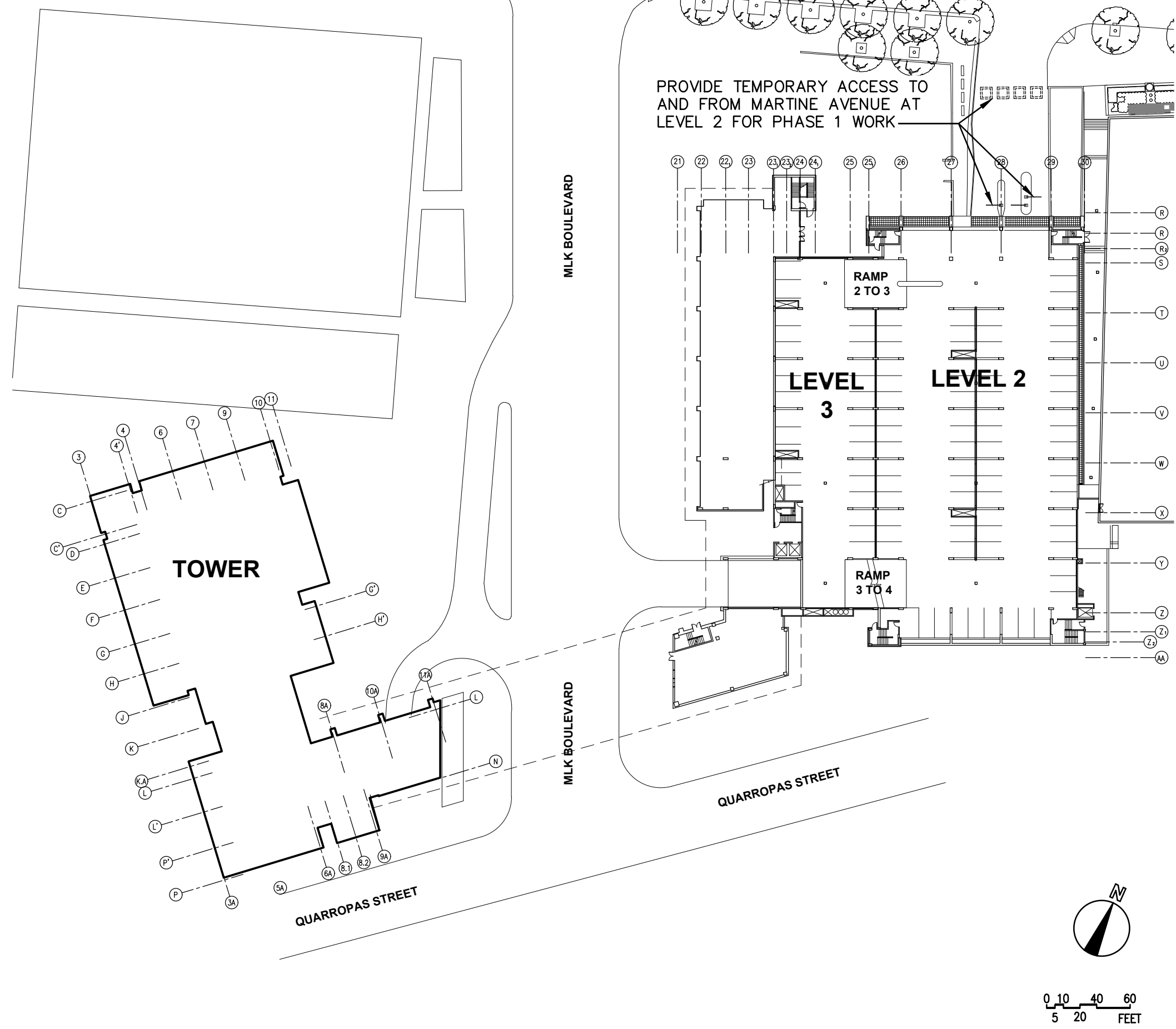


1 LEVEL B2 CONSTRUCTION KEY PLAN
1/64" = 1'-0"

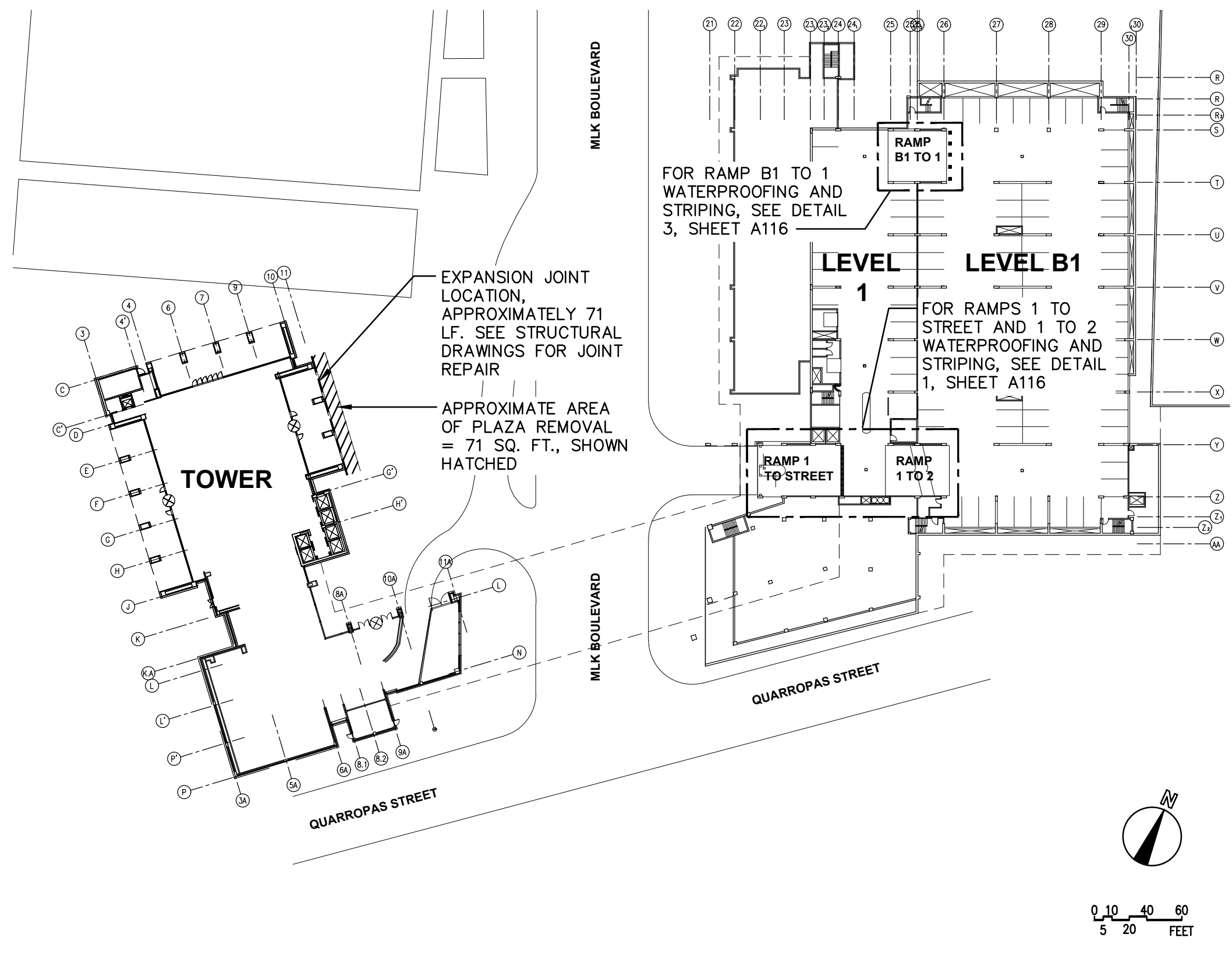


3 LEVEL B3 CONSTRUCTION KEY PLAN
1/64" = 1'-0"

IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN



2 LEVELS 2 AND 3 CONSTRUCTION KEY PLAN
1/64" = 1'-0"



4 LEVELS B1 AND 1 CONSTRUCTION KEY PLAN
1/64" = 1'-0"

PAINTING SCHEDULE

DOORS AND FRAMES: GRAY
PARKING AREA GUARDRAILS: WHITE
REPAIRED CONCRETE COLUMNS: SAFETY YELLOW
PARKING STALL STRIPING: WHITE
"NO PARKING" AREAS: WHITE
DRIVE AISLE DIRECTIONAL ARROWS: SAFETY YELLOW

PAINT COLORS AS APPROVED BY WESTCHESTER COUNTY

5 PAINTING SCHEDULE NOT TO SCALE

CONSTRUCTION ACCESS NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PARKING ATTENDANTS TO MAINTAIN ACCESS AT MARTINE AVENUE ENTRANCE BETWEEN THE HOURS OF 6:00 AM AND 7:30 PM FOR VEHICLE ACCESS.
2. ACCESS GATES SHALL REMAIN LOCKED AT ALL OTHER TIMES.
3. REFER TO PARKING GARAGE ACCESS GATE EXHIBIT AND REPORT, AS PREPARED BY WESTCHESTER COUNTY DPW FOR ADDITIONAL INFORMATION.
4. REFER TO DRAWING A004 FOR TEMPORARY TRAFFIC PATTERN PLANS.

BASE BID - CALCULATED QUANTITIES

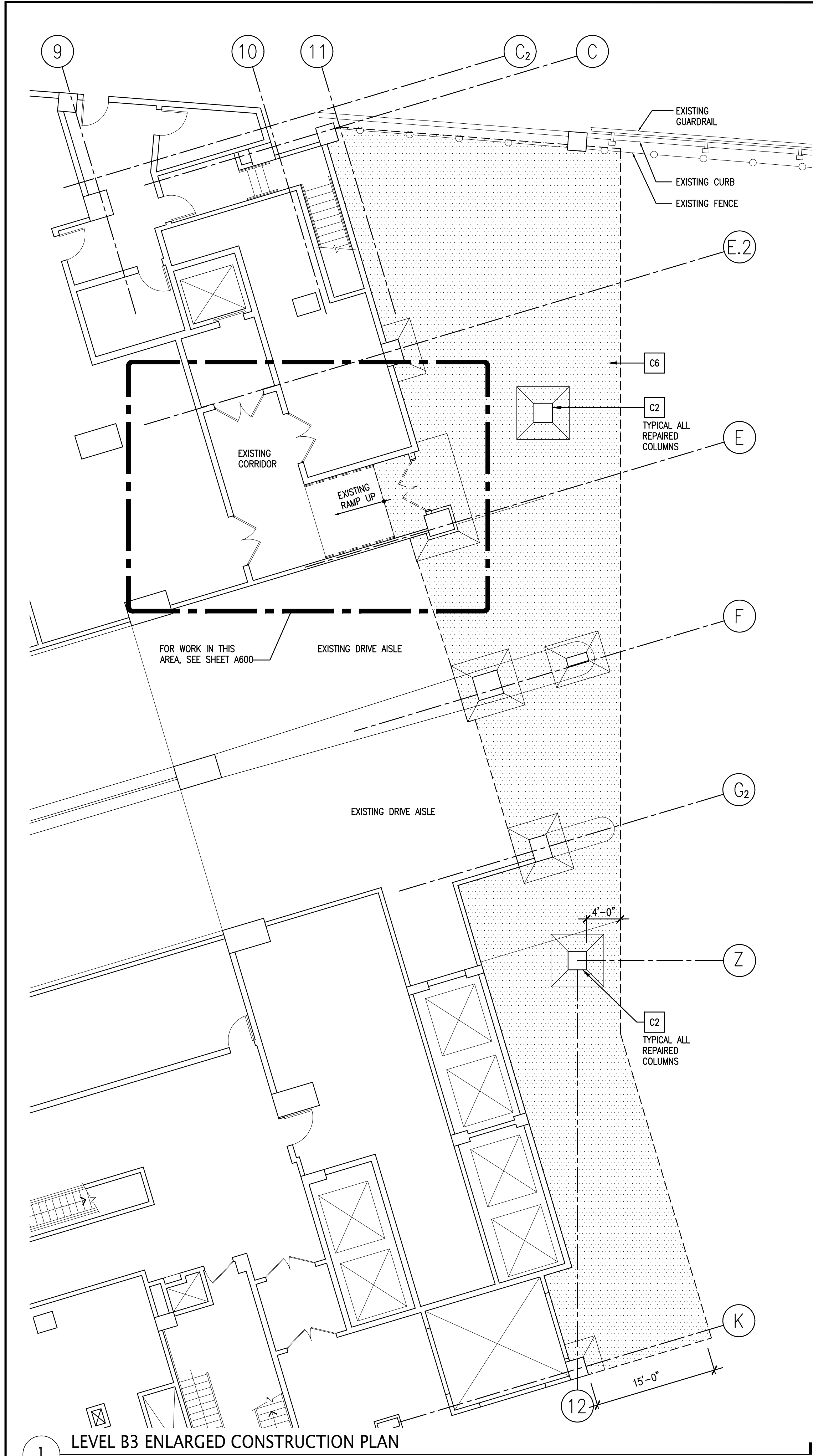
ITEM DESCRIPTION	CALCULATED QUANTITY
PARKING DECK AND RAMP WATERPROOFING	46,800 SQ. FT.
PARKING DECK SEALING	6,600 SQ. FT.
COLUMNS REQUIRING REPAIR AND PAINT	18
GUARDRAILS/HANDRAILS TO BE PAINTED	850 LF.
GFR PANEL REPAIR	20 SQ. FT.
PARKING DECK PATCH REPAIR	1,730 SQ. FT.
PARKING DECK CRACK REPAIR	1,150 LF.
NEW GUARDRAILS/HANDRAILS	175 LF.
METAL SIDING PANEL REMOVED	18 LF.
DAMAGED METAL FLASHING REPAIR	55 LF.
GFR PANEL REPLACEMENT	25 SQ. FT.
"NO PARKING" AREA TO BE PAINTED	1,600 SQ. FT.
PARKING STALLS TO BE STRIPED	88
PARKING STOPS	15
PRECAST CONCRETE WALL PANEL SEALING	1,025 SQ. FT.
EXPANSION JOINT	71 LF.
PLAZA DECK REMOVAL	71 SQ. FT.

ABBREVIATIONS:
LF. = LINEAL FEET
SQ. FT. = SQUARE FEET
CU. YDS. = CUBIC YARDS

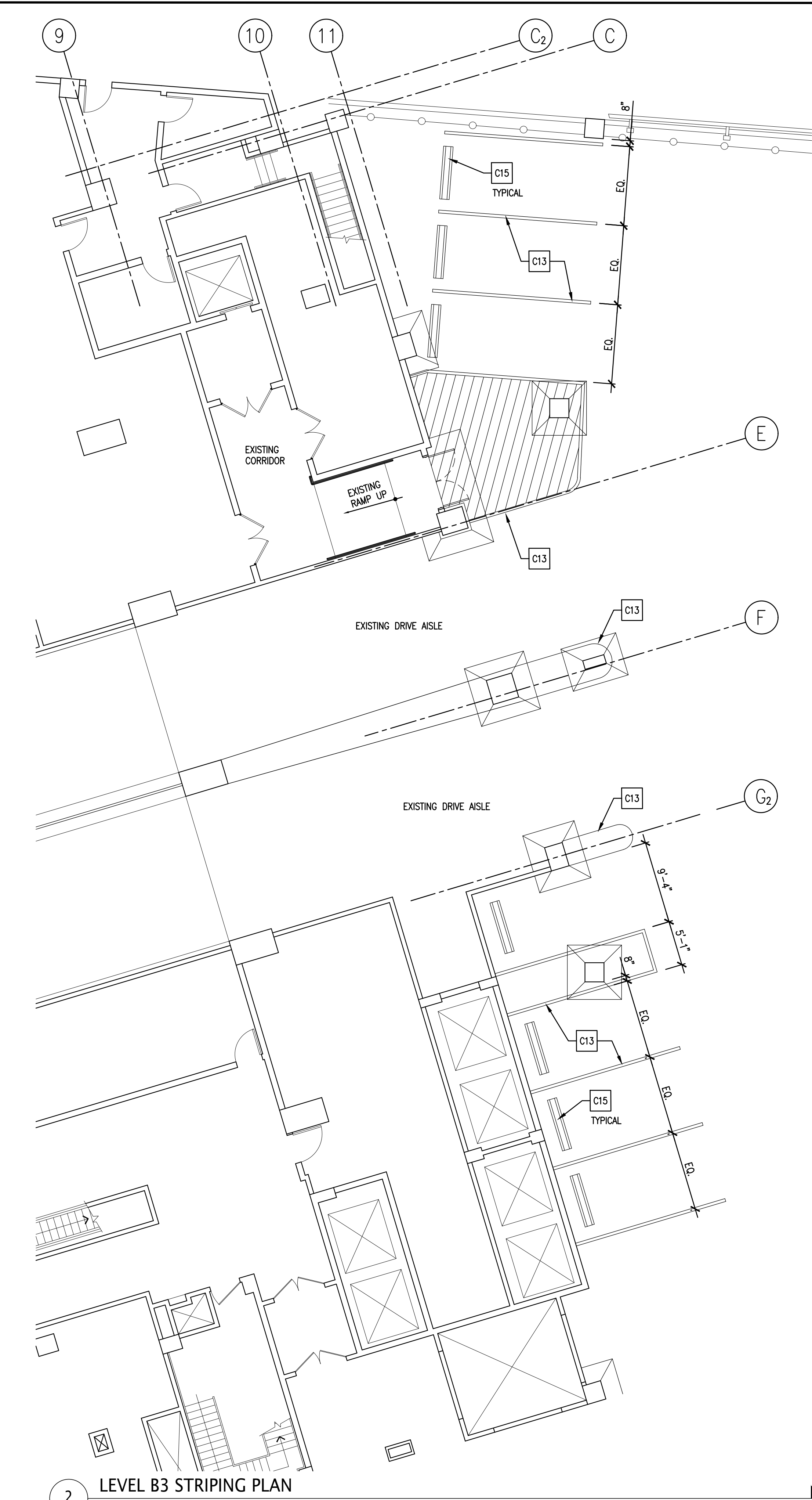


Lothrop Lothrop Associates LLP Architects 333 Westchester Avenue White Plains, New York 10604 914-741-1115		ARCHITECTS
MICHAEL SCHULLER ATKINSON NOLAN AND ASSOCIATES 32 OLD SLIP, 8TH FLOOR NEW YORK, NEW YORK 10005 917-647-9350		FORENSIC INVESTIGATION
JEFFREY R. CARLSON, P.E. S.E. 601 WEST GOLF ROAD, SECOND FLOOR MOUNT PROSPECT, ILLINOIS 60056 847-274-0985		STRUCTURAL ENGINEER
MARK VELZY CBK ENGINEERING, PC 44-46 FOSTER ROAD HOPEWELL JUNCTION, NY 12533 914-509-8161 (O)		MEP ENGINEERS

	7/31/2020	BH	MB	RELEASE FOR BID
	7/23/2020	BH	MB	FOR COMMISSIONER MEETING
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
RECORD DRAWING CERTIFICATION				
<div><input type="checkbox"/> AS BUILT - CHANGES AS NOTED</div> <div><input type="checkbox"/> AS BUILT - NO CHANGES</div>				
CONTRACTOR			PROJECT COORDINATOR	
NAME _____			NAME _____	
SIGNATURE _____			SIGNATURE _____	
DATE _____			DATE _____	
TITLE _____			TITLE _____	
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING				CONTRACT NUMBER 19-515 SHEET NUMBER A111
PARKING GARAGE REHABILITATION - PHASE 1 MICHAELIAN OFFICE BUILDING 148 MARTINE AVENUE, WHITE PLAINS, NEW YORK				SHEET NO. 9 OF 97 SCALE: AS NOTED DATE 7-23-2020 DPW FILE NO.
CONSTRUCTION KEY PLANS				52-01-A-356-0



IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN



CONSTRUCTION LEGEND	
	PREPARATION AND SEALANT APPLICATION AREA
	"NO PARKING" AREA STRIPING

CONSTRUCTION KEY NOTES	
C1	PREPARE CONCRETE SURFACES IN ACCORDANCE WITH WATERPROOFING MANUFACTURER'S INSTRUCTIONS FOR APPLICATION OF NEW WATERPROOFING. APPLY WATERPROOFING IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN APPLICATION INSTRUCTIONS. REFER TO STRUCTURAL DRAWINGS FOR REPAIR INFORMATION.
C2	STRIP EXISTING FINISH FROM COLUMN AND PREPARE SURFACES FOR NEW PAINT AS PER MANUFACTURERS INSTRUCTIONS. PAINT REPAIRED COLUMN AS INDICATED, SEE DETAIL 4 SHEET A116 FOR MORE INFORMATION. SEE STRUCTURAL DRAWINGS FOR REPAIR INFO.
C3	REMOVED AND DISPOSE OF ANY ABANDONED RAILINGS IN THIS AREA
C4	PREPARE RAILING SURFACES AND SUPPORTS FOR APPLICATION OF NEW PAINT IN ACCORDANCE WITH PAINT MANUFACTURER'S INSTRUCTIONS. PAINT ALL EXPOSED SURFACES
C5	REPAIR DAMAGED GFRP PANEL, PATCH AND FINISH TO MATCH
C6	PREPARE CONCRETE DECK, IN AREA SHADED, AS PER MANUFACTURERS SPECIFICATIONS FOR APPLICATION OF NEW SILANE SEALER. APPLY SEALER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. SEE DETAIL 5, SHEET A116 FOR MORE INFORMATION
C7	REMOVE AND REPLACE DAMAGED/BENT RAILING (SEE DETAIL 1/A500)
C8	REMOVE METAL SIDING PANEL (SEE DETAIL 6/A500)
C9	REPAIR DAMAGED METAL FLASHING (SEE DETAIL 5/A500)
C10	REPLACE MISSING GFRP PANEL, MATCH EXISTING (SEE DETAIL 7/A500)
C11	NOT USED NOT USED
C12	REMOVE EXISTING DOOR AND FRAME, REPLACE WITH NEW AS INDICATED, SEE DOOR SCHEDULE
C13	STRIP PARKING STALLS, GUIDANCE LINES, AND "NO PARKING" AREAS (SEE DETAIL 3/A117)
C14	PAINT NEW DIRECTION ARROWS
C15	INSTALL NEW PARKING STOPS - SEE 3/A117
C16	REPAIR DAMAGED CONCRETE BLOCK DOOR THRESHOLD FOR INSTALLATION OF NEW DOORWAY SADDLE FOR A WEATHER-TIGHT FIT, SEE STRUCTURAL DRAWINGS PAINT INTERIOR AND EXTERIOR SURFACES OF THRESHOLD WITH YELLOW PAINT
C17	PREPARE PRECAST CONCRETE WALL PANEL AS PER MANUFACTURERS SPECIFICATIONS FOR APPLICATION OF NEW SILANE SEALER. APPLY SEALER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

- GENERAL NOTES
- TEMPORARILY REMOVE ALL EXISTING ITEMS, DEVICES, SIGNAGE, ETC. FROM COLUMNS INDICATED FOR REPAIR. WHERE NECESSARY, TO ACCOMMODATE THE REPAIR WORK. RE-INSTALL ALL ITEMS PREVIOUSLY REMOVED, FOLLOWING COMPLETION OF PAINTING. ALLOW SUFFICIENT TIME FOR PAINT TO CURE BEFORE RE-INSTALLATION.
 - ALL NEWLY INSTALLED OR REPAIRED ITEMS ARE TO BE FINISHED TO MATCH ADJACENT EXISTING ITEMS UNLESS OTHERWISE INDICATED. SUCH ITEMS MAY INCLUDE HANDRAILS, GUARDRAILS, DOORS, DOOR FRAMES, GFRP WALL PANELS, ETC.
 - INSTALL NEW "KEEP RIGHT" SIGNS AT EACH RAMP APPROACH AT EACH LEVEL. APPROXIMATE LOCATION AS SHOWN ON DRAWINGS.
 - PRIOR TO ANY WORK, TEST EXISTING PAINTED SURFACES THAT WILL BE DISTURBED OR REMOVED FOR LEAD PAINT CONTENT. IF FOUND, ABATE LEAD-BASED PAINT MATERIALS WITH APPROVED DUMOND PEEL AWAY PAINT REMOVER SYSTEM.

- WATERPROOFING DEMOLITION AND PREPARATION NOTES
- REMOVE ALL EXISTING JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, WITHIN ALL AREAS OF WORK IDENTIFIED TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
 - SHOT-BLAST ALL CONCRETE SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.

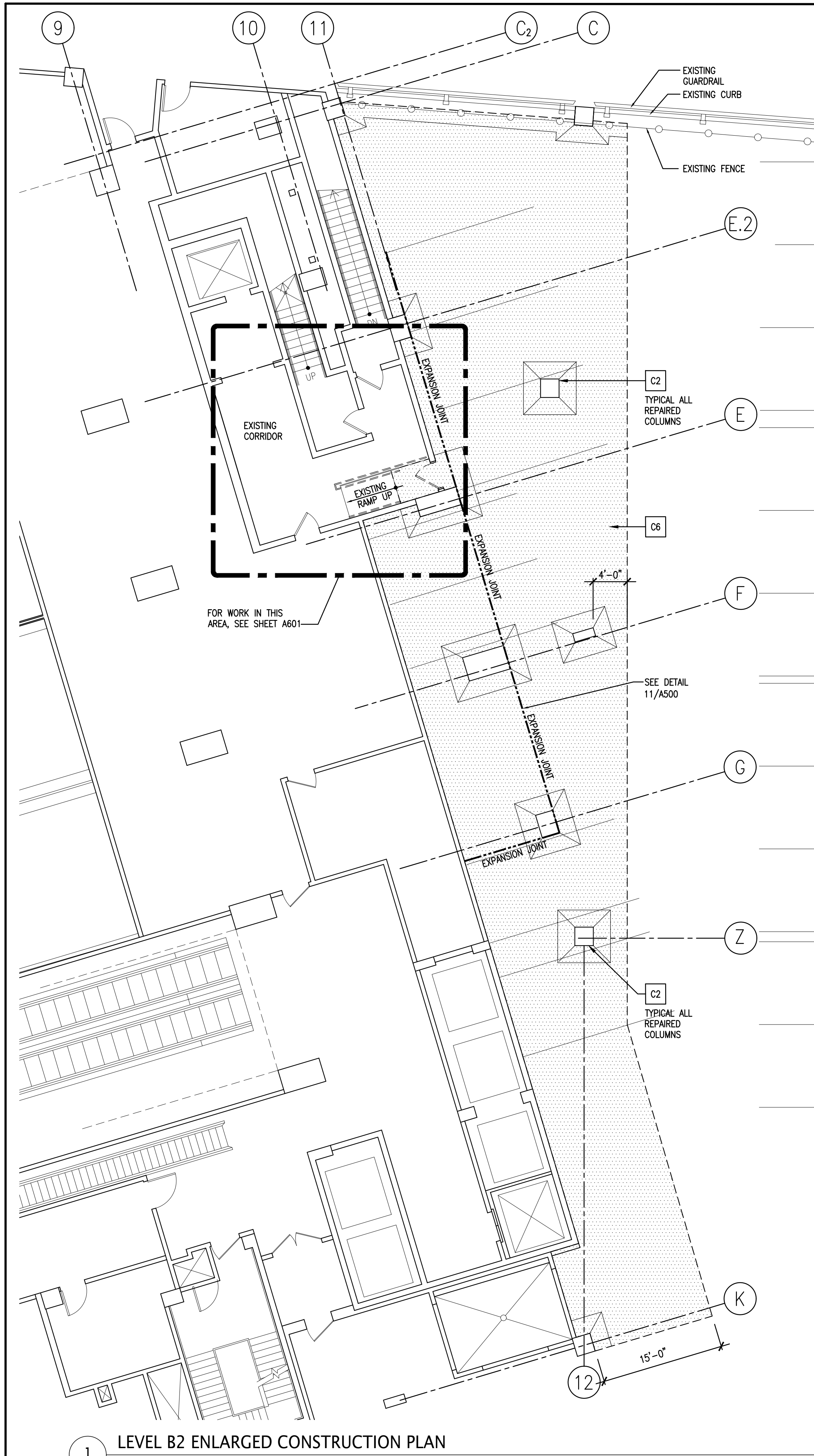
- CLEAN ALL SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS OR WRITTEN INSTRUCTIONS.

- WATERPROOFING INSTALLATION NOTES
- INSTALL WATERPROOFING AND SEALER MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - INSTALL NEW JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, AS INDICATED AND IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

- PAINTING NOTES
- SEE PAINTING SCHEDULE ON SHEET A111 FOR COLORS

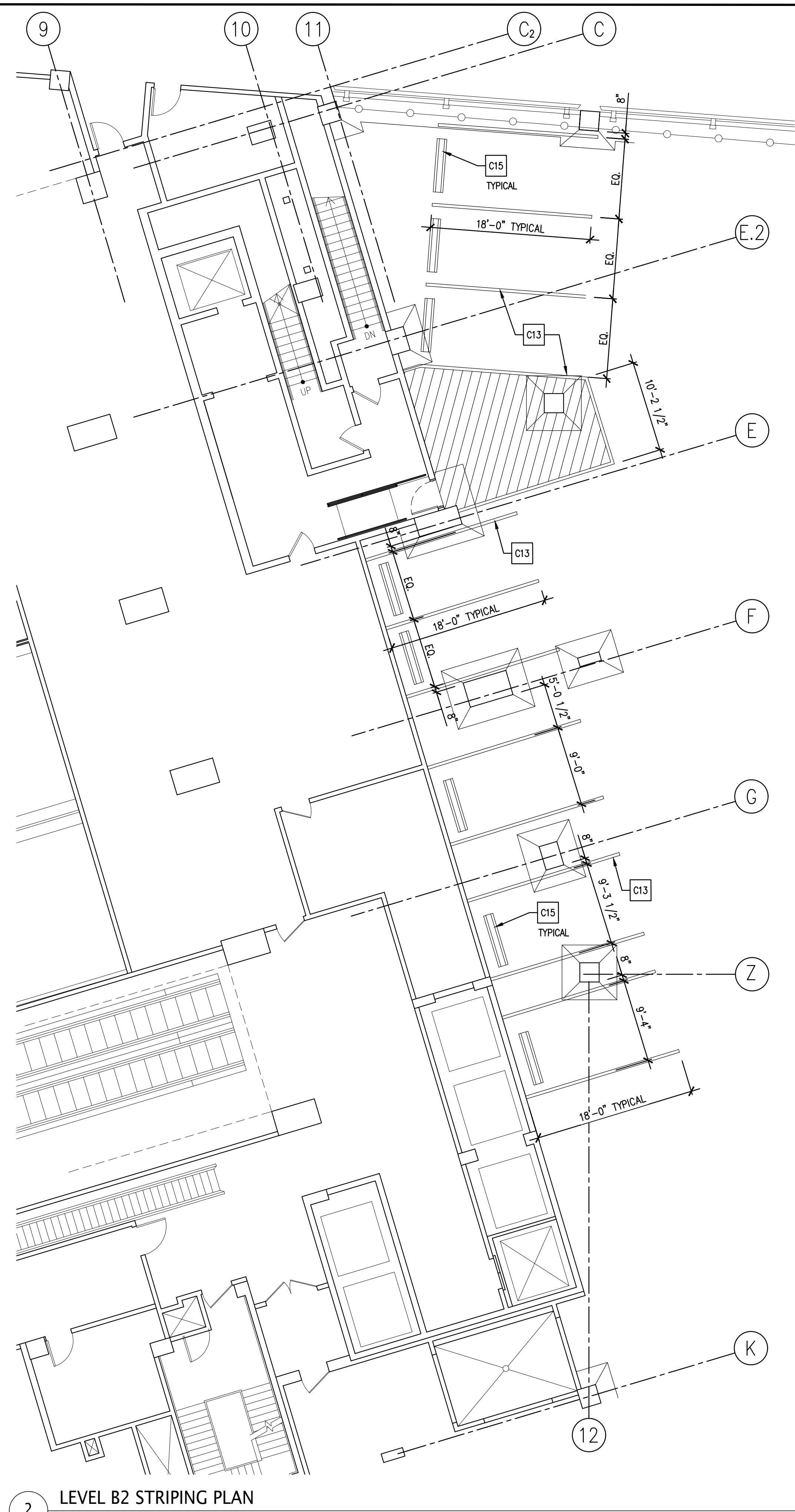


<div>Lothrop</div> <div>Lothrop Associates LLP Architects</div> <div>333 Westchester Avenue</div> <div>White Plains, New York 10604</div> <div>914-741-1115</div>				ARCHITECTS
MICHAEL SCHULLER ATKINSON-NOLAND AND ASSOCIATES 32 OLD SLIP, 0TH FLOOR NEW YORK, NEW YORK 10005 917-647-9350				FORENSIC INVESTIGATION
JEFFREY R. CARLSON, P.E. S.E. 601 WEST GOLF ROAD, SECOND FLOOR MOUNT PROSPECT, ILLINOIS 60056 847-274-0985				STRUCTURAL ENGINEER
MARK VELZY CBK ENGINEERING, PC 44-46 FOSTER ROAD HOPEWELL JUNCTION, NY 12533 914-509-8161 (O)				MEP ENGINEERS
</				



1 LEVEL B2 ENLARGED CONSTRUCTION PLAN
1/8" = 1'-0"

IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN



2 LEVEL B2 STRIPING PLAN
1/8" = 1'-0"

CONSTRUCTION LEGEND	
	PREPARATION AND SEALANT APPLICATION AREA
	"NO PARKING" AREA STRIPING

CONSTRUCTION KEY NOTES	
C1	PREPARE CONCRETE SURFACES IN ACCORDANCE WITH WATERPROOFING MANUFACTURER'S INSTRUCTIONS FOR APPLICATION OF NEW WATERPROOFING. APPLY WATERPROOFING IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN APPLICATION INSTRUCTIONS. REFER TO STRUCTURAL DRAWINGS FOR REPAIR INFORMATION.
C2	STRIP EXISTING FINISH FROM COLUMN AND PREPARE SURFACES FOR NEW PAINT AS PER MANUFACTURER'S INSTRUCTIONS. PAINT REPAIRED COLUMN AS INDICATED, SEE DETAIL 4 SHEET A116 FOR MORE INFORMATION. SEE STRUCTURAL DRAWINGS FOR REPAIR INFO.
C3	REMOVED AND DISPOSE OF ANY ABANDONED RAILINGS IN THIS AREA
C4	PREPARE RAILING SURFACES AND SUPPORTS FOR APPLICATION OF NEW PAINT IN ACCORDANCE WITH PAINT MANUFACTURER'S INSTRUCTIONS. PAINT ALL EXPOSED SURFACES
C5	REPAIR DAMAGED GFRC PANEL, PATCH AND FINISH TO MATCH
C6	PREPARE CONCRETE DECK, IN AREA SHADED, AS PER MANUFACTURER'S SPECIFICATIONS FOR APPLICATION OF NEW SILANE SEALER. APPLY SEALER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. SEE DETAIL 5, SHEET A116 FOR MORE INFORMATION
C7	REMOVE AND REPLACE DAMAGED/BENT RAILING (SEE DETAIL 1/A500)
C8	REMOVE METAL SIDING PANEL (SEE DETAIL 6/A500)
C9	REPAIR DAMAGED METAL FLASHING (SEE DETAIL 5/A500)
C10	REPLACE MISSING GFRC PANEL, MATCH EXISTING (SEE DETAIL 7/A500)
C11	NOT USED NOT USED
C12	REMOVE EXISTING DOOR AND FRAME, REPLACE WITH NEW AS INDICATED, SEE DOOR SCHEDULE
C13	STRIPE PARKING STALLS, GUIDANCE LINES, AND "NO PARKING" AREAS (SEE DETAIL 3/A117)
C14	PAINT NEW DIRECTION ARROWS
C15	INSTALL NEW PARKING STOPS - SEE 3/A117
C16	REPAIR DAMAGED CONCRETE BLOCK DOOR THRESHOLD FOR INSTALLATION OF NEW DOORWAY SADDLE FOR A WEATHER-TIGHT FIT, SEE STRUCTURAL DRAWINGS PAINT INTERIOR AND EXTERIOR SURFACES OF THRESHOLD WITH YELLOW PAINT
C17	PREPARE PRECAST CONCRETE WALL PANEL AS PER MANUFACTURER'S SPECIFICATIONS FOR APPLICATION OF NEW SILANE SEALER. APPLY SEALER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

- GENERAL NOTES
- TEMPORARILY REMOVE ALL EXISTING ITEMS, DEVICES, SIGNAGE, ETC. FROM COLUMNS INDICATED FOR REPAIR, WHERE NECESSARY, TO ACCOMMODATE THE REPAIR WORK. RE-INSTALL ALL ITEMS PREVIOUSLY REMOVED, FOLLOWING COMPLETION OF PAINTING. ALLOW SUFFICIENT TIME FOR PAINT TO CURE BEFORE RE-INSTALLATION.
 - ALL NEWLY INSTALLED OR REPAIRED ITEMS ARE TO BE FINISHED TO MATCH ADJACENT EXISTING ITEMS UNLESS OTHERWISE INDICATED. SUCH ITEMS MAY INCLUDE HANDRAILS, GUARDRAILS, DOORS, DOOR FRAMES, GFRC WALL PANELS, ETC.
 - INSTALL NEW "KEEP RIGHT" SIGNS AT EACH RAMP APPROACH AT EACH LEVEL. APPROXIMATE LOCATION AS SHOWN ON DRAWINGS.
 - PRIOR TO ANY WORK, TEST EXISTING PAINTED SURFACES THAT WILL BE DISTURBED OR REMOVED FOR LEAD PAINT CONTENT. IF FOUND, ABATE LEAD-BASED PAINT MATERIALS WITH APPROVED DUMOND PEEL AWAY PAINT REMOVER SYSTEM.

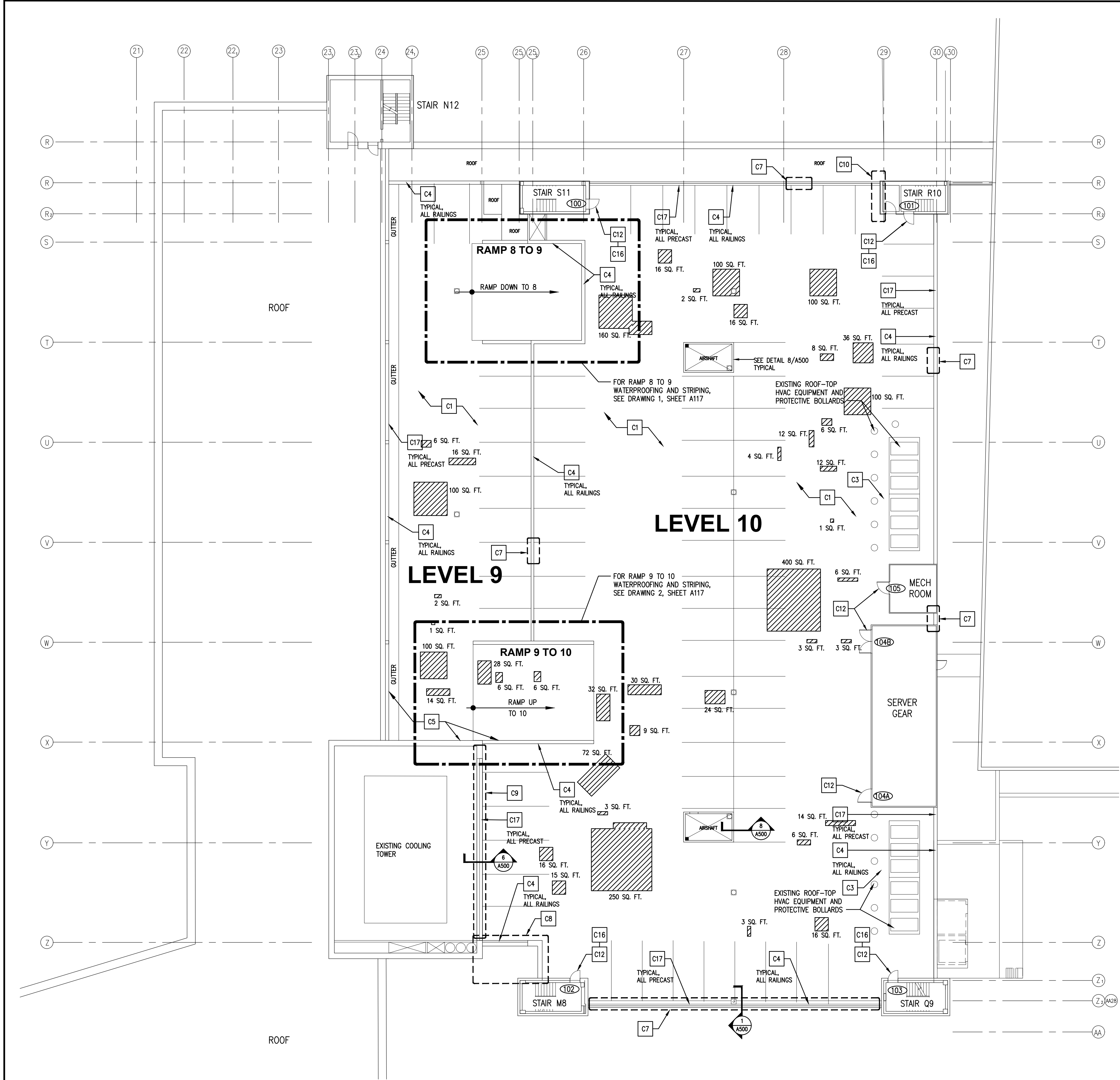
- WATERPROOFING DEMOLITION AND PREPARATION NOTES
- REMOVE ALL EXISTING JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, WITHIN ALL AREAS OF WORK IDENTIFIED TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
 - SHOT-BLAST ALL CONCRETE SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
 - CLEAN ALL SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS OR WRITTEN INSTRUCTIONS.

- WATERPROOFING INSTALLATION NOTES
- INSTALL WATERPROOFING AND SEALER MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - INSTALL NEW JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, AS INDICATED AND IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

- PAINTING NOTES
- SEE PAINTING SCHEDULE ON SHEET A111 FOR COLORS



<div><div></div><div></div></div> <div><div>Lothrop</div><div>Lothrop Associates LLP Architects</div><div>333 Westchester Avenue</div><div>White Plains, New York 10604</div><div>914-741-1115</div></div> <div>ARCHITECTS</div>			
<div>MICHAEL SCHULLER</div> <div>ATKINSON-NOLAND AND ASSOCIATES</div> <div>32 OLD SLIP, 0TH FLOOR</div> <div>NEW YORK, NEW YORK 10005</div> <div>917-647-9350</div> <div>FORENSIC INVESTIGATION</div>			
<div>JEFFERY R. CARLSON, P.E. S.E.</div> <div>601 WEST GOLF ROAD, SECOND FLOOR</div> <div>MOUNT PROSPECT, ILLINOIS 60056</div> <div>847-274-0985</div> <div>STRUCTURAL ENGINEER</div>			
<div>MARK VELZY</div> <div>CBK ENGINEERING, PC</div> <div>44-46 FOSTER ROAD</div> <div>HOPWELL JUNCTION, NY 12533</div> <div>914-509-8161 (O)</div> <div>MEP ENGINEERS</div>			



1 LEVELS 9 & 10 CONSTRUCTION PLAN
1/16" = 1'-0"

IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN

CONSTRUCTION LEGEND

AREA OF DAMAGED CONCRETE SLAB FOR PATCH AND REPAIR TOTALING APPROXIMATELY 1,730 SQ. FT. - REFER TO STRUCTURAL DRAWINGS FOR REPAIR INFORMATION, INCLUDING APPROXIMATELY 1,150 LIN. FT. OF CRACK REPAIR NOT SHOWN ON THIS PLAN

LEVELS 9 AND 10
LEVEL 9 = APPROXIMATELY 6,016 SF
LEVEL 10 = APPROXIMATELY 29,184 SF
TOTAL AREA = APPROXIMATELY 35,200 SF

CONSTRUCTION KEY NOTES	
C1	PREPARE CONCRETE SURFACES IN ACCORDANCE WITH WATERPROOFING MANUFACTURER'S INSTRUCTIONS FOR APPLICATION OF NEW WATERPROOFING. APPLY WATERPROOFING IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN APPLICATION INSTRUCTIONS. REFER TO STRUCTURAL DRAWINGS FOR REPAIR INFORMATION.
C2	STRIP EXISTING FINISH FROM COLUMN AND PREPARE SURFACES FOR NEW PAINT AS PER MANUFACTURERS INSTRUCTIONS. PAINT REPAIRED COLUMN AS INDICATED, SEE DETAIL 4 SHEET A116 FOR MORE INFORMATION. SEE STRUCTURAL DRAWINGS FOR REPAIR INFO.
C3	REMOVED AND DISPOSE OF ANY ABANDONED RAILINGS IN THIS AREA
C4	PREPARE RAILING SURFACES AND SUPPORTS FOR APPLICATION OF NEW PAINT IN ACCORDANCE WITH PAINT MANUFACTURER'S INSTRUCTIONS. PAINT ALL EXPOSED SURFACES
C5	REPAIR DAMAGED GFRC PANEL, PATCH AND FINISH TO MATCH
C6	PREPARE CONCRETE DECK, IN AREA SHADED, AS PER MANUFACTURERS SPECIFICATIONS FOR APPLICATION OF NEW SILANE SEALER. APPLY SEALER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. SEE DETAIL 5, SHEET A116 FOR MORE INFORMATION
C7	REMOVE AND REPLACE DAMAGED/BENT RAILING (SEE DETAIL 1/A500)
C8	REMOVE METAL SIDING PANEL (SEE DETAIL 6/A500)
C9	REPAIR DAMAGED METAL FLASHING (SEE DETAIL 5/A500)
C10	REPLACE MISSING GFRC PANEL, MATCH EXISTING (SEE DETAIL 7/A500)
C11	NOT USED NOT USED
C12	REMOVE EXISTING DOOR AND FRAME, REPLACE WITH NEW AS INDICATED, SEE DOOR SCHEDULE
C13	STRIPE PARKING STALLS, GUIDANCE LINES, AND "NO PARKING" AREAS (SEE DETAIL 3/A117)
C14	PAINT NEW DIRECTION ARROWS
C15	INSTALL NEW PARKING STOPS - SEE 3/A117
C16	REPAIR DAMAGED CONCRETE BLOCK DOOR THRESHOLD FOR INSTALLATION OF NEW DOORWAY SADDLE FOR A WEATHER-TIGHT FIT, SEE STRUCTURAL DRAWINGS PAINT INTERIOR AND EXTERIOR SURFACES OF THRESHOLD WITH YELLOW PAINT
C17	PREPARE PRECAST CONCRETE WALL PANEL AS PER MANUFACTURERS SPECIFICATIONS FOR APPLICATION OF NEW SILANE SEALER. APPLY SEALER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

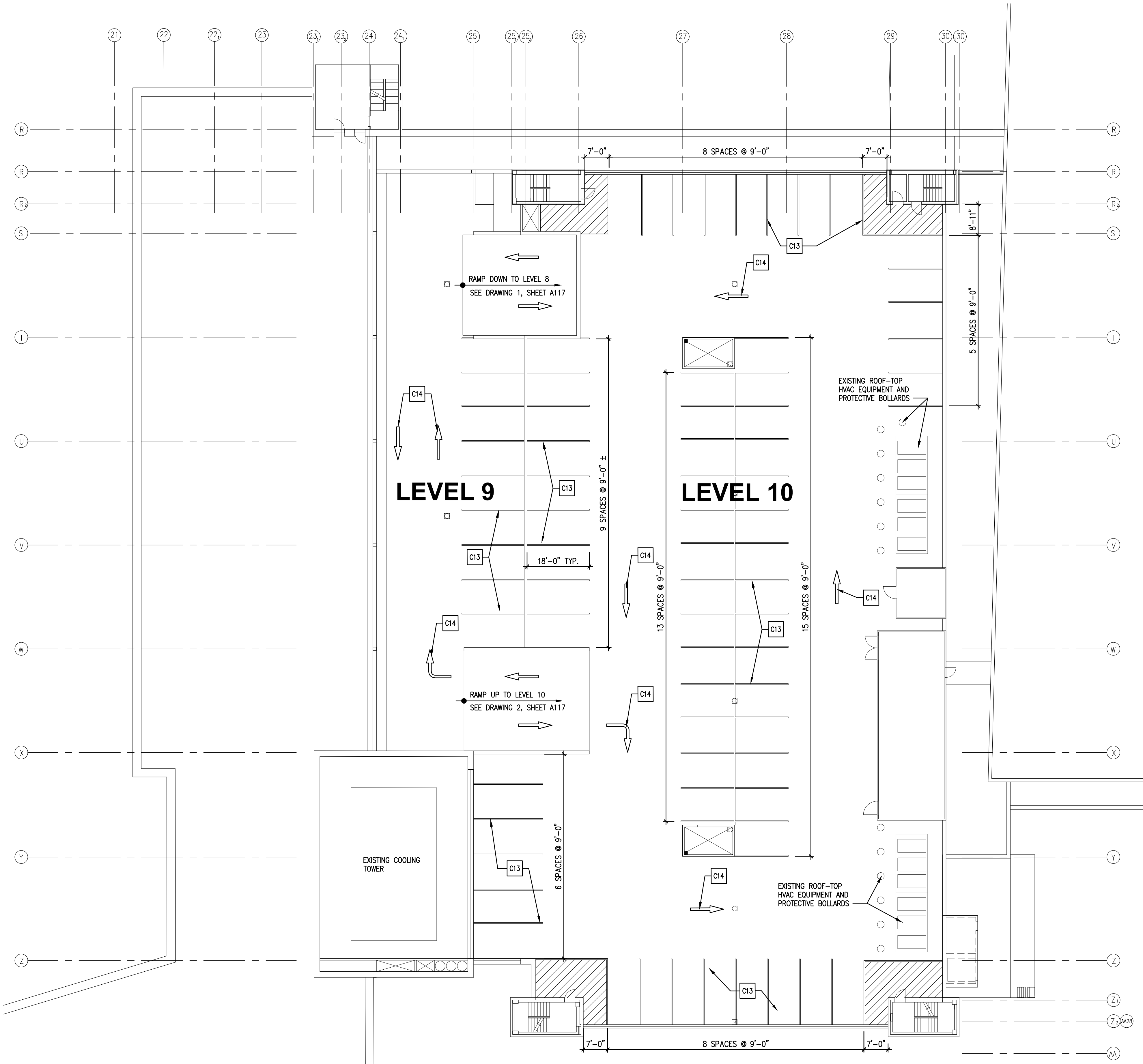
- GENERAL NOTES
- TEMPORARILY REMOVE ALL EXISTING ITEMS, DEVICES, SIGNAGE, ETC. FROM COLUMNS INDICATED FOR REPAIR, WHERE NECESSARY, TO ACCOMMODATE THE REPAIR WORK. RE-INSTALL ALL ITEMS PREVIOUSLY REMOVED, FOLLOWING COMPLETION OF PAINTING. ALLOW SUFFICIENT TIME FOR PAINT TO CURE BEFORE RE-INSTALLATION.
 - ALL NEWLY INSTALLED OR REPAIRED ITEMS ARE TO BE FINISHED TO MATCH ADJACENT EXISTING ITEMS UNLESS OTHERWISE INDICATED. SUCH ITEMS MAY INCLUDE HANDRAILS, GUARDRAILS, DOORS, DOOR FRAMES, GFRC WALL PANELS, ETC.
 - INSTALL NEW "KEEP RIGHT" SIGNS AT EACH RAMP APPROACH AT EACH LEVEL. APPROXIMATE LOCATION AS SHOWN ON DRAWINGS.
 - PRIOR TO ANY WORK, TEST EXISTING PAINTED SURFACES THAT WILL BE DISTURBED OR REMOVED FOR LEAD PAINT CONTENT. IF FOUND, ABATE LEAD-BASED PAINT MATERIALS WITH APPROVED DUMOND PEEL AWAY PAINT REMOVER SYSTEM.
- WATERPROOFING DEMOLITION AND PREPARATION NOTES
- REMOVE ALL EXISTING JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, WITHIN ALL AREAS OF WORK IDENTIFIED TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
 - SHOT-BLAST ALL CONCRETE SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
 - CLEAN ALL SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS OR WRITTEN INSTRUCTIONS.

- WATERPROOFING INSTALLATION NOTES
- INSTALL WATERPROOFING AND SEALER MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - INSTALL NEW JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, AS INDICATED AND IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

- PAINTING NOTES
- SEE PAINTING SCHEDULE ON SHEET A111 FOR COLORS



<div>Lothrop</div> <div>Lothrop Associates LLP Architects</div> <div>333 Westchester Avenue</div> <div>White Plains, New York 10604</div> <div>914-741-1115</div>				ARCHITECTS
MICHAEL SCHULLER ATKINSON-NOLAND AND ASSOCIATES 32 OLD SLIP, 8TH FLOOR NEW YORK, NEW YORK 10005 917-647-9350				FORENSIC INVESTIGATION
JEFFRY R. CARLSON, P.E. 601 WEST GOLF ROAD, SECOND FLOOR MOUNT PROSPECT, ILLINOIS 60056 847-274-0985				STRUCTURAL ENGINEER
MARK VELZY CBK ENGINEERING, PC 44-46 FOSTER ROAD HOPKVELL JUNCTION, NY 12533 914-209-8161 (O)				MEP ENGINEERS
	7/31/2020	BH	MB	RELEASE FOR BID
	7/23/2020	BH	MB	FOR COMMISSIONER MEETING
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
RECORD DRAWING CERTIFICATION				
<div><input type="checkbox"/> AS BUILT - CHANGES AS NOTED</div> <div><input type="checkbox"/> AS BUILT - NO CHANGES</div>				
CONTRACTOR			PROJECT COORDINATOR	
NAME			NAME	
SIGNATURE			SIGNATURE	
TITLE	DATE		TITLE	DATE
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING			COUNTY NUMBER 19-515	SHEET NUMBER A114
PARKING GARAGE REHABILITATION - PHASE 1 MICHAELIAN OFFICE BUILDING 148 MARTINE AVENUE, WHITE PLAINS, NEW YORK LEVELS 9 & 10 CONSTRUCTION PLAN			SHEET NO. 12 OF 97 SCALE: AS NOTED DATE: 7-23-2020 DW FILE NO. 52-01-A-359-0	



1 LEVELS 9 & 10 STRIPING PLAN
1/16 = 1'-0"

IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN

CONSTRUCTION LEGEND

"NO PARKING" AREA STRIPING

LEVELS 9 AND 10
LEVEL 9 = APPROXIMATELY 6,016 SF
LEVEL 10 = APPROXIMATELY 29,184 SF
TOTAL AREA = APPROXIMATELY 35,200 SF

CONSTRUCTION KEY NOTES	
C1	PREPARE CONCRETE SURFACES IN ACCORDANCE WITH WATERPROOFING MANUFACTURER'S INSTRUCTIONS FOR APPLICATION OF NEW WATERPROOFING. APPLY WATERPROOFING IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN APPLICATION INSTRUCTIONS. REFER TO STRUCTURAL DRAWINGS FOR REPAIR INFORMATION.
C2	STRIP EXISTING FINISH FROM COLUMN AND PREPARE SURFACES FOR NEW PAINT AS PER MANUFACTURERS INSTRUCTIONS. PAINT REPAIRED COLUMN AS INDICATED, SEE DETAIL 4 SHEET A116 FOR MORE INFORMATION. SEE STRUCTURAL DRAWINGS FOR REPAIR INFO.
C3	REMOVED AND DISPOSE OF ANY ABANDONED RAILINGS IN THIS AREA
C4	PREPARE RAILING SURFACES AND SUPPORTS FOR APPLICATION OF NEW PAINT IN ACCORDANCE WITH PAINT MANUFACTURER'S INSTRUCTIONS. PAINT ALL EXPOSED SURFACES
C5	REPAIR DAMAGED GFRC PANEL, PATCH AND FINISH TO MATCH
C6	PREPARE CONCRETE DECK, IN AREA SHADED, AS PER MANUFACTURERS SPECIFICATIONS FOR APPLICATION OF NEW SILANE SEALER. APPLY SEALER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. SEE DETAIL 5, SHEET A116 FOR MORE INFORMATION
C7	REMOVE AND REPLACE DAMAGED/BENT RAILING (SEE DETAIL 1/A500)
C8	REMOVE METAL SIDING PANEL (SEE DETAIL 6/A500)
C9	REPAIR DAMAGED METAL FLASHING (SEE DETAIL 5/A500)
C10	REPLACE MISSING GFRC PANEL, MATCH EXISTING (SEE DETAIL 7/A500)
C11	NOT USED NOT USED
C12	REMOVE EXISTING DOOR AND FRAME, REPLACE WITH NEW AS INDICATED, SEE DOOR SCHEDULE
C13	STRIPE PARKING STALLS, GUIDANCE LINES, AND "NO PARKING" AREAS (SEE DETAIL 3/A117)
C14	PAINT NEW DIRECTION ARROWS
C15	INSTALL NEW PARKING STOPS - SEE 3/A117
C16	REPAIR DAMAGED CONCRETE BLOCK DOOR THRESHOLD FOR INSTALLATION OF NEW DOORWAY SADDLE FOR A WEATHER-TIGHT FIT, SEE STRUCTURAL DRAWINGS PAINT INTERIOR AND EXTERIOR SURFACES OF THRESHOLD WITH YELLOW PAINT
C17	PREPARE PRECAST CONCRETE WALL PANEL AS PER MANUFACTURERS SPECIFICATIONS FOR APPLICATION OF NEW SILANE SEALER. APPLY SEALER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

- GENERAL NOTES
- TEMPORARILY REMOVE ALL EXISTING ITEMS, DEVICES, SIGNAGE, ETC. FROM COLUMNS INDICATED FOR REPAIR, WHERE NECESSARY, TO ACCOMMODATE THE REPAIR WORK. RE-INSTALL ALL ITEMS PREVIOUSLY REMOVED, FOLLOWING COMPLETION OF PAINTING. ALLOW SUFFICIENT TIME FOR PAINT TO CURE BEFORE RE-INSTALLATION.
 - ALL NEWLY INSTALLED OR REPAIRED ITEMS ARE TO BE FINISHED TO MATCH ADJACENT EXISTING ITEMS UNLESS OTHERWISE INDICATED. SUCH ITEMS MAY INCLUDE HANDRAILS, GUARDRAILS, DOORS, DOOR FRAMES, GFRC WALL PANELS, ETC.
 - INSTALL NEW "KEEP RIGHT" SIGNS AT EACH RAMP APPROACH AT EACH LEVEL. APPROXIMATE LOCATION AS SHOWN ON DRAWINGS.
 - PRIOR TO ANY WORK, TEST EXISTING PAINTED SURFACES THAT WILL BE DISTURBED OR REMOVED FOR LEAD PAINT CONTENT. IF FOUND, ABATE LEAD-BASED PAINT MATERIALS WITH APPROVED DUMOND PEEL AWAY PAINT REMOVER SYSTEM.

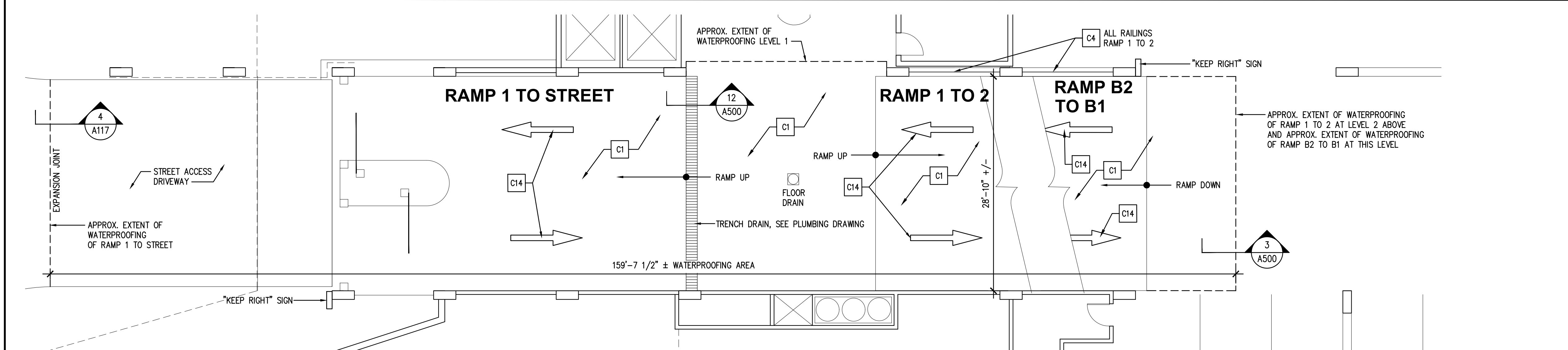
- WATERPROOFING DEMOLITION AND PREPARATION NOTES
- REMOVE ALL EXISTING JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, WITHIN ALL AREAS OF WORK IDENTIFIED TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
 - SHOT-BLAST ALL CONCRETE SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
 - CLEAN ALL SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS OR WRITTEN INSTRUCTIONS.

- WATERPROOFING INSTALLATION NOTES
- INSTALL WATERPROOFING AND SEALER MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - INSTALL NEW JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, AS INDICATED AND IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

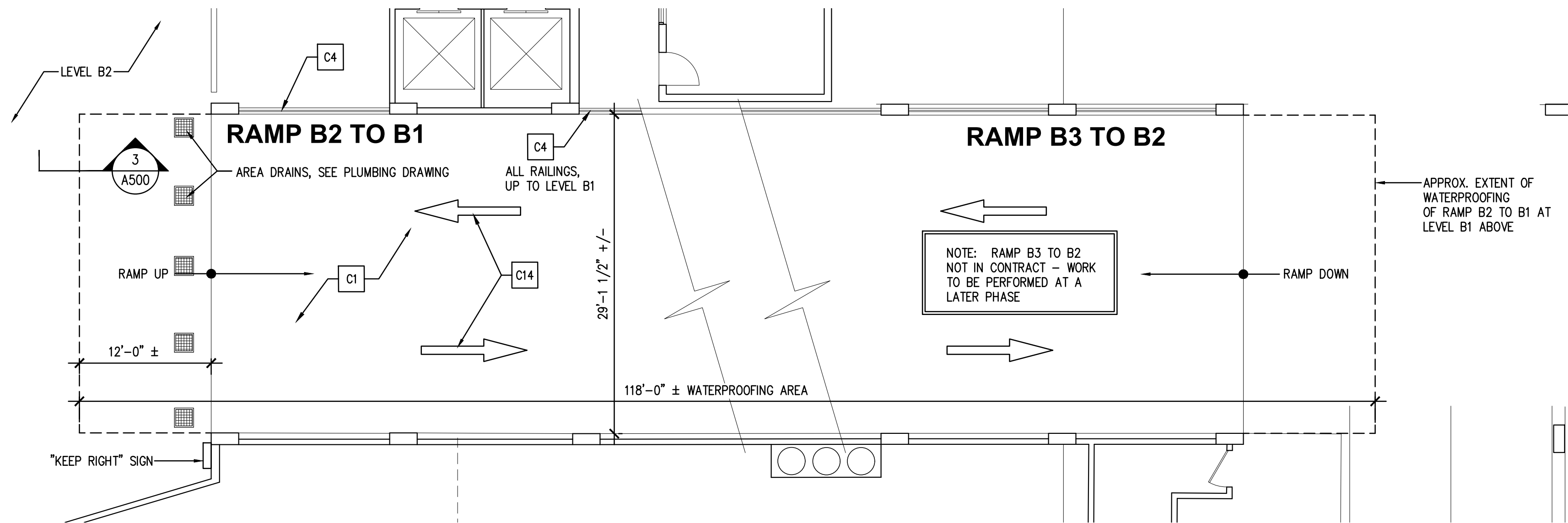
- PAINTING NOTES
- SEE PAINTING SCHEDULE ON SHEET A111 FOR COLORS



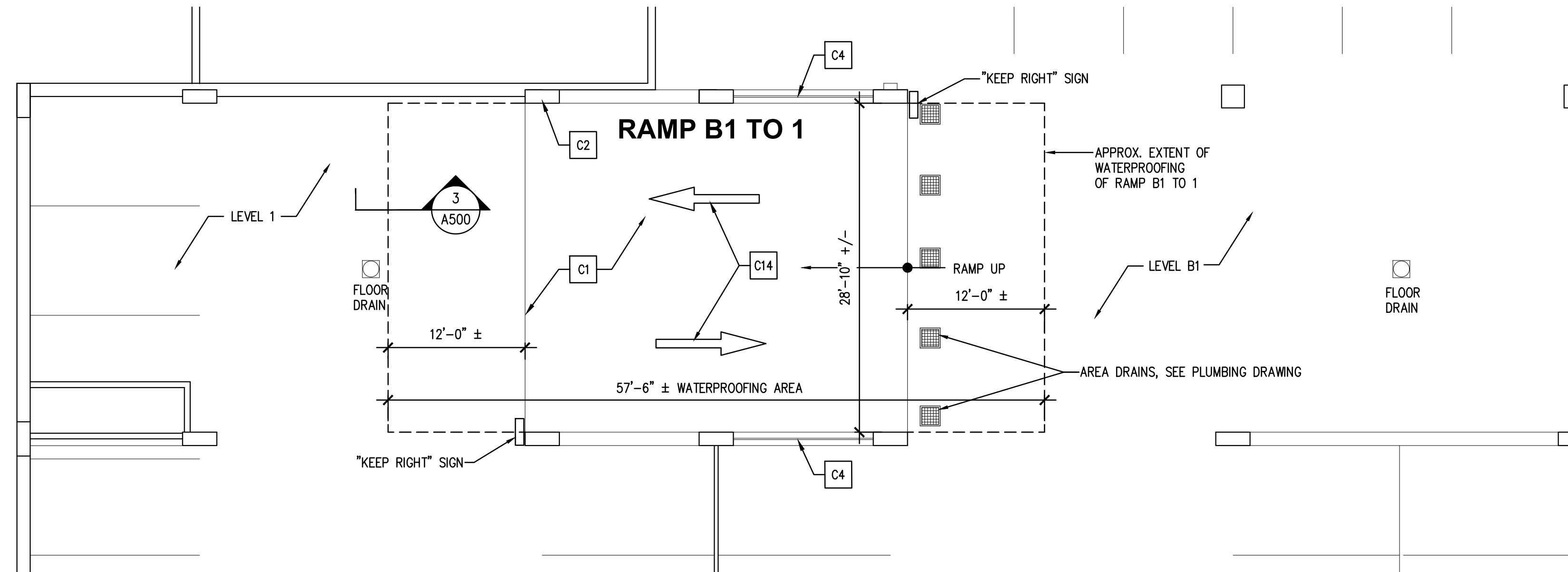
Lothrop Lothrop Associates LLP Architects 333 Westchester Avenue White Plains, New York 10604 914-741-1115		ARCHITECTS
MICHAEL SCHULLER ATKINSON-MOLAND AND ASSOCIATES 32 OLD SLIP, 8TH FLOOR NEW YORK, NEW YORK 10005 917-647-9350		FORENSIC INVESTIGATION
JERRY R. CARLSON, P.E. S.E. 601 WEST GOLF ROAD, SECOND FLOOR MOUNT PROSPECT, ILLINOIS 60056 847-274-0985		STRUCTURAL ENGINEER
MARK VELZY CBK ENGINEERING, PC 44-46 FOSTER ROAD HOPKINELL JUNCTION, NY 12533 914-209-8161 (O)		MEP ENGINEERS
REVISION HISTORY		
DATE	BY	REVISION
7/31/2020	BH	MB RELEASE FOR BID
7/23/2020	BH	MB FOR COMMISSIONER MEETING
REVISION NUMBER	DATE	MADE BY
RECORD DRAWING CERTIFICATION		
AS BUILT - CHANGES AS NOTED AS BUILT - NO CHANGES		
CONTRACTOR		PROJECT COORDINATOR
NAME	NAME	
SIGNATURE	SIGNATURE	
TITLE	TITLE	
DATE	DATE	
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING		COUNTY NUMBER 19-515 SHEET NUMBER A115 SHEET NO. 13 OF 97
PARKING GARAGE REHABILITATION - PHASE 1 MICHAELIAN OFFICE BUILDING 148 MARTINE AVENUE, WHITE PLAINS, NEW YORK LEVELS 9 & 10 STRIPING PLAN		SCALE: AS NOTED DATE: 7-23-2020 DWG FILE NO. 52-01-A-360-0



1 RAMP 1 TO STREET AND 1 TO 2 ENLARGED PLAN (AS VIEWED FROM LEVEL 1)
1/8" = 1'-0"

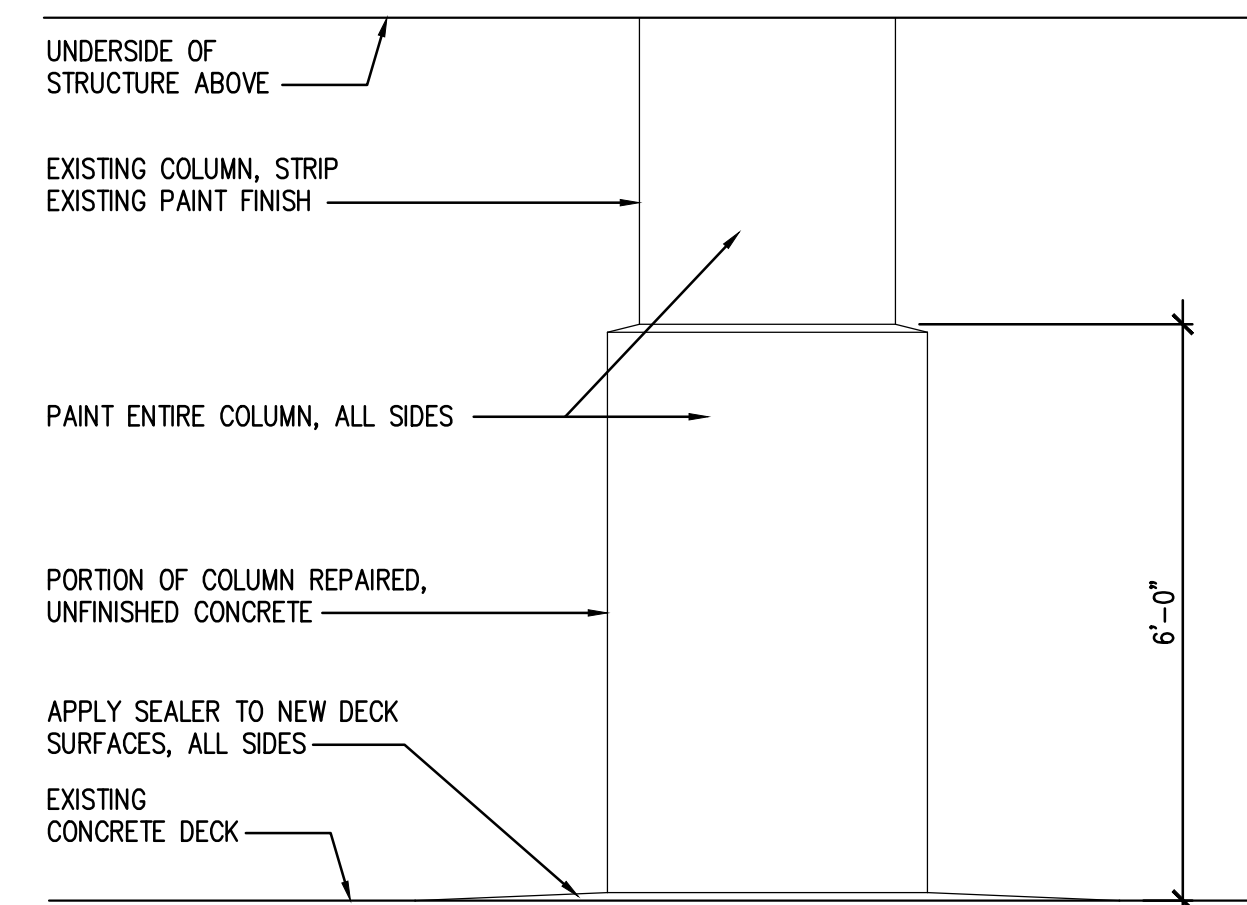


2 RAMP B2 TO B1 ENLARGED PLAN (AS VIEWED FROM LEVEL B2)
1/8" = 1'-0"

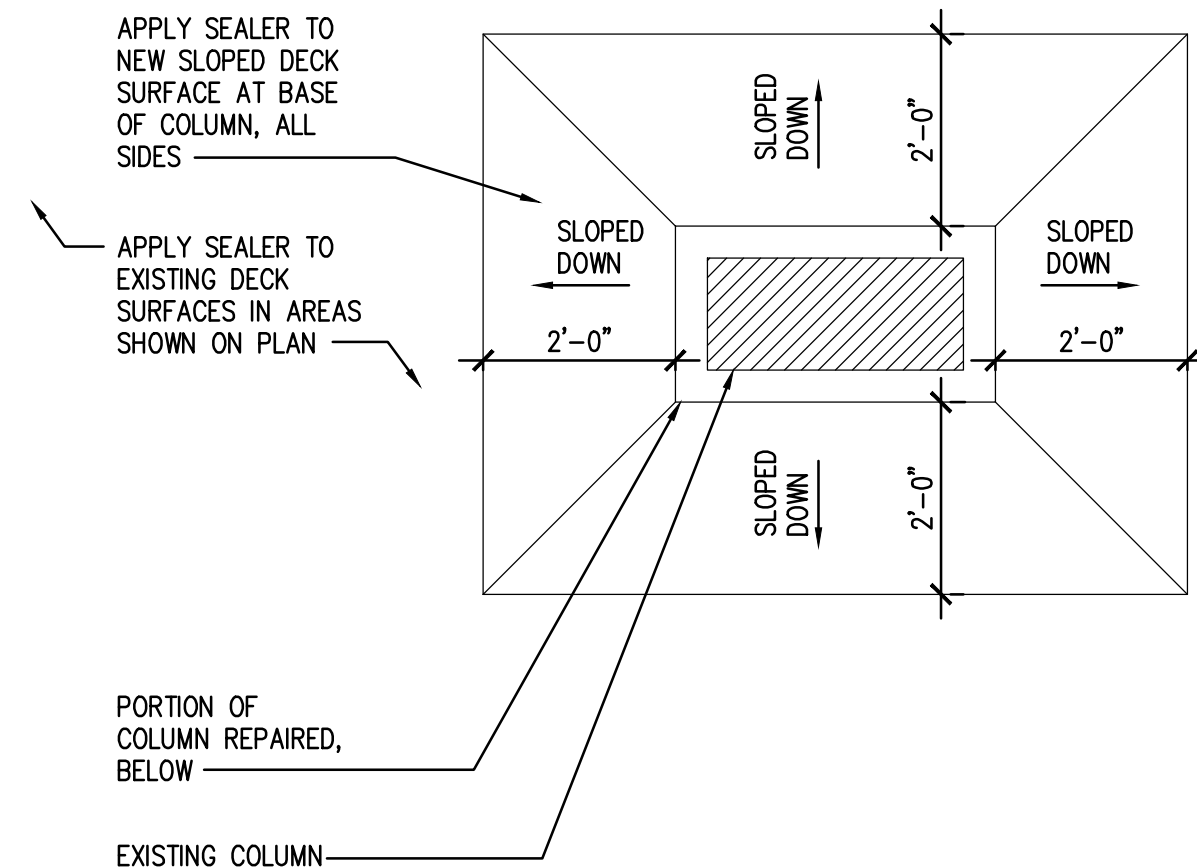


3 RAMP B1 TO 1 ENLARGED PLAN (AS VIEWED FROM LEVEL B1)
1/8" = 1'-0"

IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN



4 REPAIRED COLUMN ELEVATION
1/2" = 1'-0"



5 REPAIRED COLUMN PLAN SECTION
1/2" = 1'-0"

CONSTRUCTION KEY NOTES	
C1	PREPARE CONCRETE SURFACES IN ACCORDANCE WITH WATERPROOFING MANUFACTURER'S INSTRUCTIONS FOR APPLICATION OF NEW WATERPROOFINGS. APPLY WATERPROOFING IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN APPLICATION INSTRUCTIONS. REFER TO STRUCTURAL DRAWINGS FOR REPAIR INFORMATION.
C2	STRIP EXISTING FINISH FROM COLUMN AND PREPARE SURFACES FOR NEW PAINT AS PER MANUFACTURERS INSTRUCTIONS. PAINT REPAIRED COLUMN AS INDICATED, SEE DETAIL 4 SHEET A116 FOR MORE INFORMATION. SEE STRUCTURAL DRAWINGS FOR REPAIR INFO.
C3	REMOVED AND DISPOSE OF ANY ABANDONED RAILINGS IN THIS AREA
C4	PREPARE RAILING SURFACES AND SUPPORTS FOR APPLICATION OF NEW PAINT IN ACCORDANCE WITH PAINT MANUFACTURER'S INSTRUCTIONS. PAINT ALL EXPOSED SURFACES
C5	REPAIR DAMAGED GFRC PANEL, PATCH AND FINISH TO MATCH
C6	PREPARE CONCRETE DECK, IN AREA SHADED, AS PER MANUFACTURERS SPECIFICATIONS FOR APPLICATION OF NEW SILANE SEALER. APPLY SEALER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. SEE DETAIL 5, SHEET A116 FOR MORE INFORMATION
C7	REMOVE AND REPLACE DAMAGED/BENT RAILING (SEE DETAIL 1/A500)
C8	REMOVE METAL SIDING PANEL (SEE DETAIL 6/A500)
C9	REPAIR DAMAGED METAL FLASHING (SEE DETAIL 5/A500)
C10	REPLACE MISSING GFRC PANEL, MATCH EXISTING (SEE DETAIL 7/A500)
C11	NOT USED
C12	REMOVE EXISTING DOOR AND FRAME, REPLACE WITH NEW AS INDICATED, SEE DOOR SCHEDULE
C13	STRIPE PARKING STALLS, GUIDANCE LINES, AND "NO PARKING" AREAS (SEE DETAIL 3/A117)
C14	PAINT NEW DIRECTION ARROWS
C15	INSTALL NEW PARKING STOPS - SEE 3/A117
C16	REPAIR DAMAGED CONCRETE BLOCK DOOR THRESHOLD FOR INSTALLATION OF NEW DOORWAY SADDLE FOR A WEATHER-TIGHT FIT, SEE STRUCTURAL DRAWINGS PAINT INTERIOR AND EXTERIOR SURFACES OF THRESHOLD WITH YELLOW PAINT
C17	PREPARE PRECAST CONCRETE WALL PANEL AS PER MANUFACTURERS SPECIFICATIONS FOR APPLICATION OF NEW SILANE SEALER. APPLY SEALER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

GENERAL NOTES

- TEMPORARILY REMOVE ALL EXISTING ITEMS, DEVICES, SIGNAGE, ETC. FROM COLUMNS INDICATED FOR REPAIR, WHERE NECESSARY, TO ACCOMMODATE THE REPAIR WORK. RE-INSTALL ALL ITEMS PREVIOUSLY REMOVED, FOLLOWING COMPLETION OF PAINTING. ALLOW SUFFICIENT TIME FOR PAINT TO CURE BEFORE RE-INSTALLATION.
- ALL NEWLY INSTALLED OR REPAIRED ITEMS ARE TO BE FINISHED TO MATCH ADJACENT EXISTING ITEMS UNLESS OTHERWISE INDICATED. SUCH ITEMS MAY INCLUDE HANDRAILS, GUARDRAILS, DOORS, DOOR FRAMES, GFRC WALL PANELS, ETC.
- INSTALL NEW "KEEP RIGHT" SIGNS AT EACH RAMP APPROACH AT EACH LEVEL. APPROXIMATE LOCATION AS SHOWN ON DRAWINGS.
- PRIOR TO ANY WORK, TEST EXISTING PAINTED SURFACES THAT WILL BE DISTURBED OR REMOVED FOR LEAD PAINT CONTENT. IF FOUND, ABATE LEAD-BASED PAINT MATERIALS WITH APPROVED DUMOND PEEL AWAY PAINT REMOVER SYSTEM.

WATERPROOFING DEMOLITION AND PREPARATION NOTES

- REMOVE ALL EXISTING JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, WITHIN ALL AREAS OF WORK IDENTIFIED TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
- SHOT-BLAST ALL CONCRETE SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
- CLEAN ALL SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS OR WRITTEN INSTRUCTIONS.

WATERPROOFING INSTALLATION NOTES

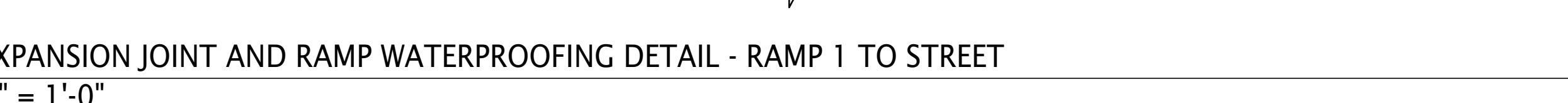
- INSTALL WATERPROOFING AND SEALER MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- INSTALL NEW JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, AS INDICATED AND IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

PAINTING NOTES

- SEE PAINTING SCHEDULE ON SHEET A111 FOR COLORS



				ARCHITECTS	
<div>Lothrop</div> <div>Lothrop Associates LLP Architects</div> <div>333 Westchester Avenue</div> <div>White Plains, New York 10604</div> <div>914-741-1115</div>					
				FORENSIC INVESTIGATION	
<div>MICHAEL SCHULLER</div> <div>ATKINSON NOLAND AND ASSOCIATES</div> <div>32 OLD SLIP, 8TH FLOOR</div> <div>NEW YORK, NEW YORK 10005</div> <div>917-647-9350</div>					
				STRUCTURAL ENGINEER	
<div>JEFFRY R. CARLSON, P.E. S.E.</div> <div>601 WEST GOLF ROAD, SECOND FLOOR</div> <div>MOUNT PROSPECT, ILLINOIS 60056</div> <div>847-274-0985</div>					
				MEP ENGINEERS	
<div>MARK VELZY</div> <div>CBK ENGINEERING, PC</div> <div>44-46 FOSTER ROAD</div> <div>HOPEWELL JUNCTION, NY 12533</div> <div>914-509-8161 (O)</div>					
	7/31/2020	BH	MB	FOR RELEASE FOR BID	
	7/23/2020	BH	MB	FOR COMMISSIONER MEETING	
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION	
RECORD DRAWING CERTIFICATION					
<div><input type="checkbox"/> AS BUILT - CHANGES AS NOTED</div> <div><input type="checkbox"/> AS BUILT - NO CHANGES</div>					
CONTRACTOR			PROJECT COORDINATOR		
NAME			NAME		
SIGNATURE			SIGNATURE		
TITLE	DATE		TITLE	DATE	
<div>WESTCHESTER COUNTY, NEW YORK</div> <div>DIVISION OF PUBLIC WORKS</div> <div>AND TRANSPORTATION</div> <div>DIVISION OF ENGINEERING</div> <div>PARKING GARAGE REHABILITATION - PHASE 1</div> <div>MICHAELIAN OFFICE BUILDING</div> <div>148 MARTINE AVENUE, WHITE PLAINS, NEW YORK</div> <div>ENLARGED RAMP PLANS</div>					
CONTRACT NUMBER 19-515			SHEET NUMBER A116		
SHEET NO. 14 OF 17			SCALE: AS NOTED DATE: 7-23-2020		
DPW FILE NO. 52-01-A-361-0			50		



GENERAL NOTES

1. TEMPORARILY REMOVE ALL EXISTING ITEMS, DEVICES, SIGNAGE, ETC. FROM COLUMNS INDICATED FOR REPAIR, WHERE NECESSARY, TO ACCOMMODATE THE REPAIR WORK. RE-INSTALL ALL ITEMS PREVIOUSLY REMOVED, FOLLOWING COMPLETION OF PAINTING. ALLOW SUFFICIENT TIME FOR PAINT TO CURE BEFORE RE-INSTALLATION.
2. ALL NEWLY INSTALLED OR REPAIRED ITEMS ARE TO BE FINISHED TO MATCH ADJACENT EXISTING ITEMS UNLESS OTHERWISE INDICATED. SUCH ITEMS MAY INCLUDE HANDRAILS, GUARDRAILS, DOORS, DOOR FRAMES, GFCW WALL PANELS, ETC.
3. INSTALL NEW "KEEP RIGHT" SIGNS AT EACH RAMP APPROACH AT EACH LEVEL. APPROXIMATE LOCATION AS SHOWN ON DRAWINGS.
4. PRIOR TO ANY WORK, TEST EXISTING PAINTED SURFACES THAT WILL BE DISTURBED OR REMOVED FOR LEAD PAINT CONTENT. IF FOUND, ABATE LEAD-BASED PAINT MATERIALS WITH APPROVED DIAMOND PEEI AWAY PAINT REMOVER SYSTEM.

WATERPROOFING DEMOLITION AND PREPARATION NOTES

1. REMOVE ALL EXISTING JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, WITHIN ALL AREAS OF WORK IDENTIFIED TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
2. SHOT-BLAST ALL CONCRETE SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL.
3. CLEAN ALL SURFACES TO RECEIVE NEW WATERPROOFING OR DECK SEALING MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS OR WRITTEN INSTRUCTIONS.

WATERPROOFING INSTALLATION NOTES

1. INSTALL WATERPROOFING AND SEALER MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
2. INSTALL NEW JOINTING MATERIALS, INCLUDING BACKER AND SEALANT, AS INDICATED AND IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

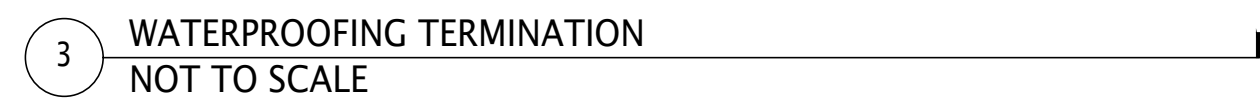
PAINTING NOTES

1. SEE PAINTING SCHEDULE ON SHEET A111 FOR COLORS

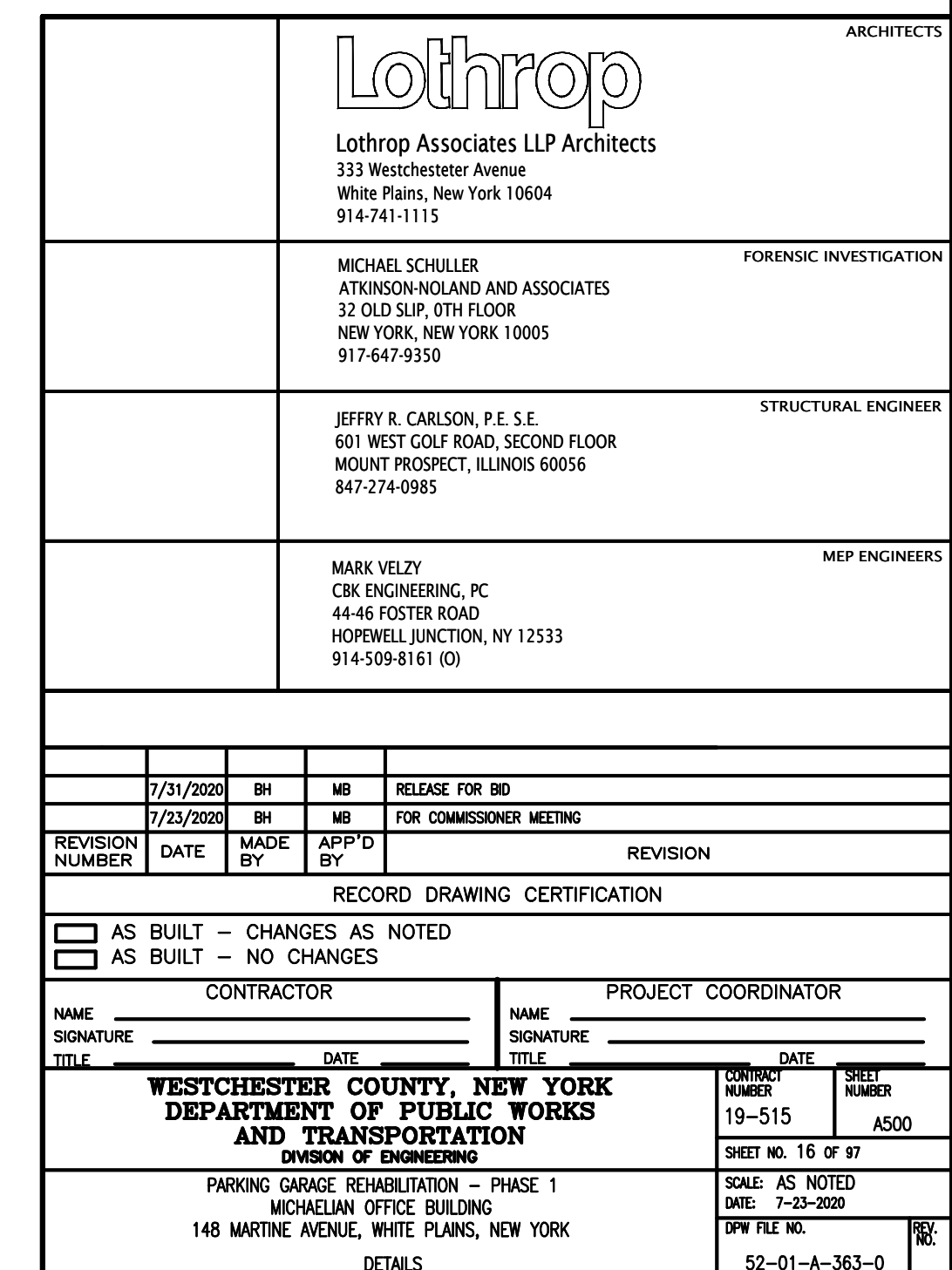
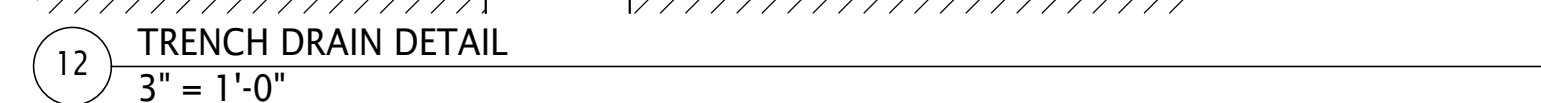
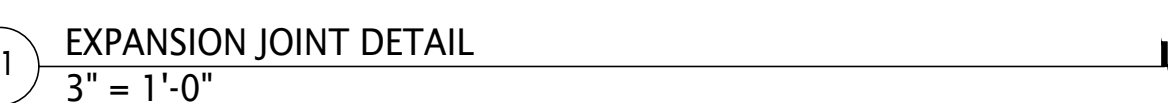
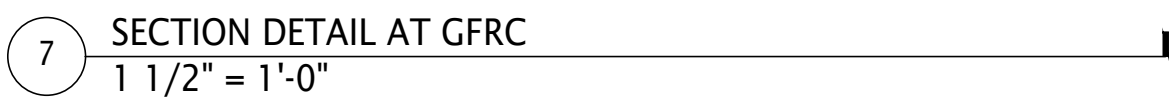


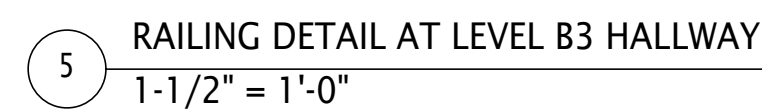
		BH	MB	RELEASE FOR BD	
	7/31/2020	BH	MB	FOR COMMISSIONER MEETING	
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION	
RECORD DRAWING CERTIFICATION					
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES					
CONTRACTOR				PROJECT COORDINATOR	
NAME _____				NAME _____	
SIGNATURE _____				SIGNATURE _____	
TITLE _____ DATE _____				TITLE _____ DATE _____	
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING				CONTRACT NUMBER 19-515	SHEET NUMBER A117
PARKING GARAGE REHABILITATION - PHASE 1 MICHAELAN OFFICE BUILDING 148 MARTINE AVENUE, WHITE PLAINS, NEW YORK CHILFORD DAMP DIANS				SCALE: MS. 15 OF 97 SHEET NO. 007 DATE: 7-23-2020 DWP FILE NO. 52-01-a-762-0	
				DATE: 7-23-2020 DWP FILE NO. 52-01-a-762-0	

IN CHARGE OF	<u>BOB GABALSKI</u>
CHECKED BY	<u>MICHAEL BERTA</u>
MADE BY	<u>BRETT HUTTMAN</u>



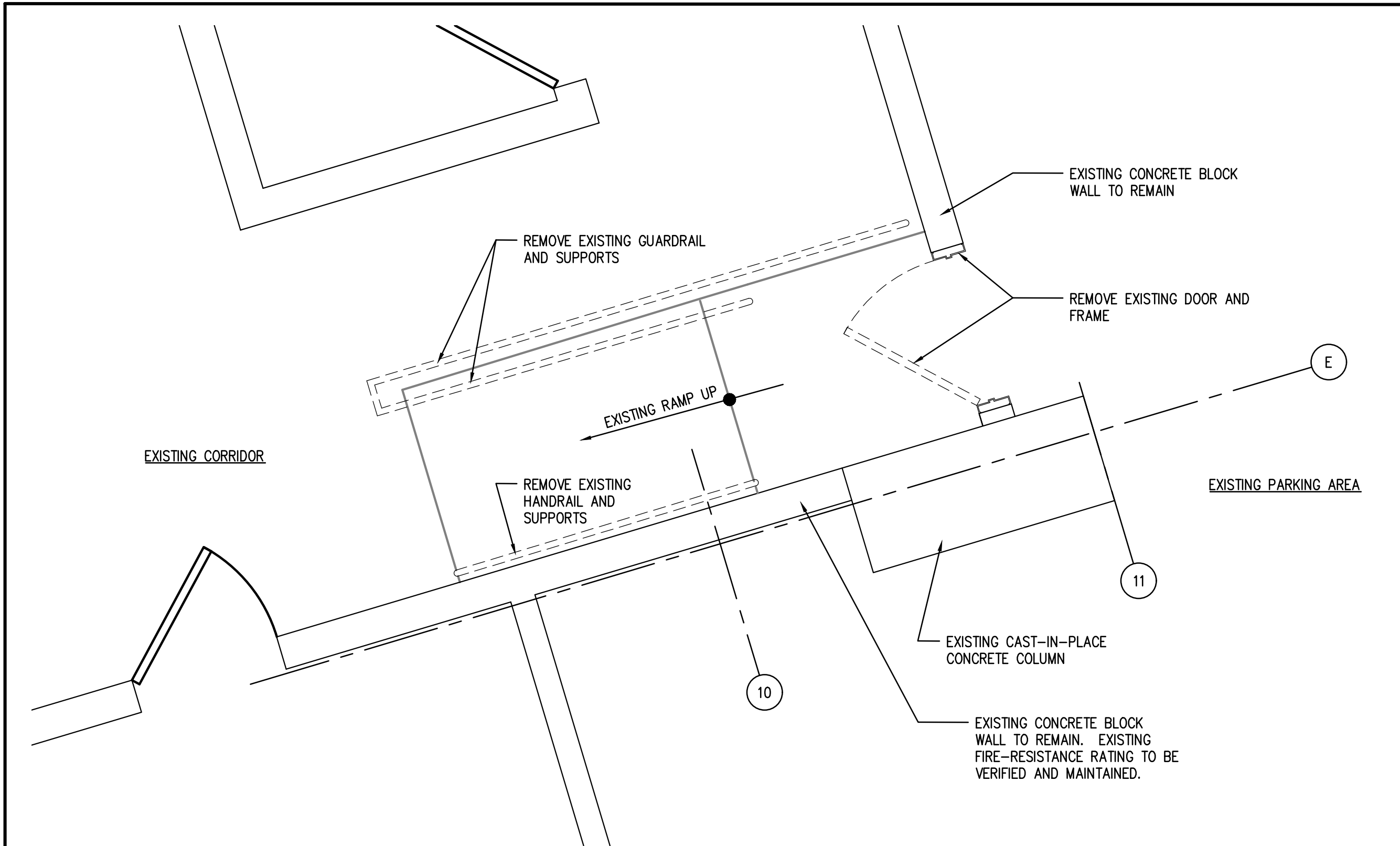
- PAINTING NOTES
1. REFER TO SHEET A111 FOR PAINT SCHEDULE



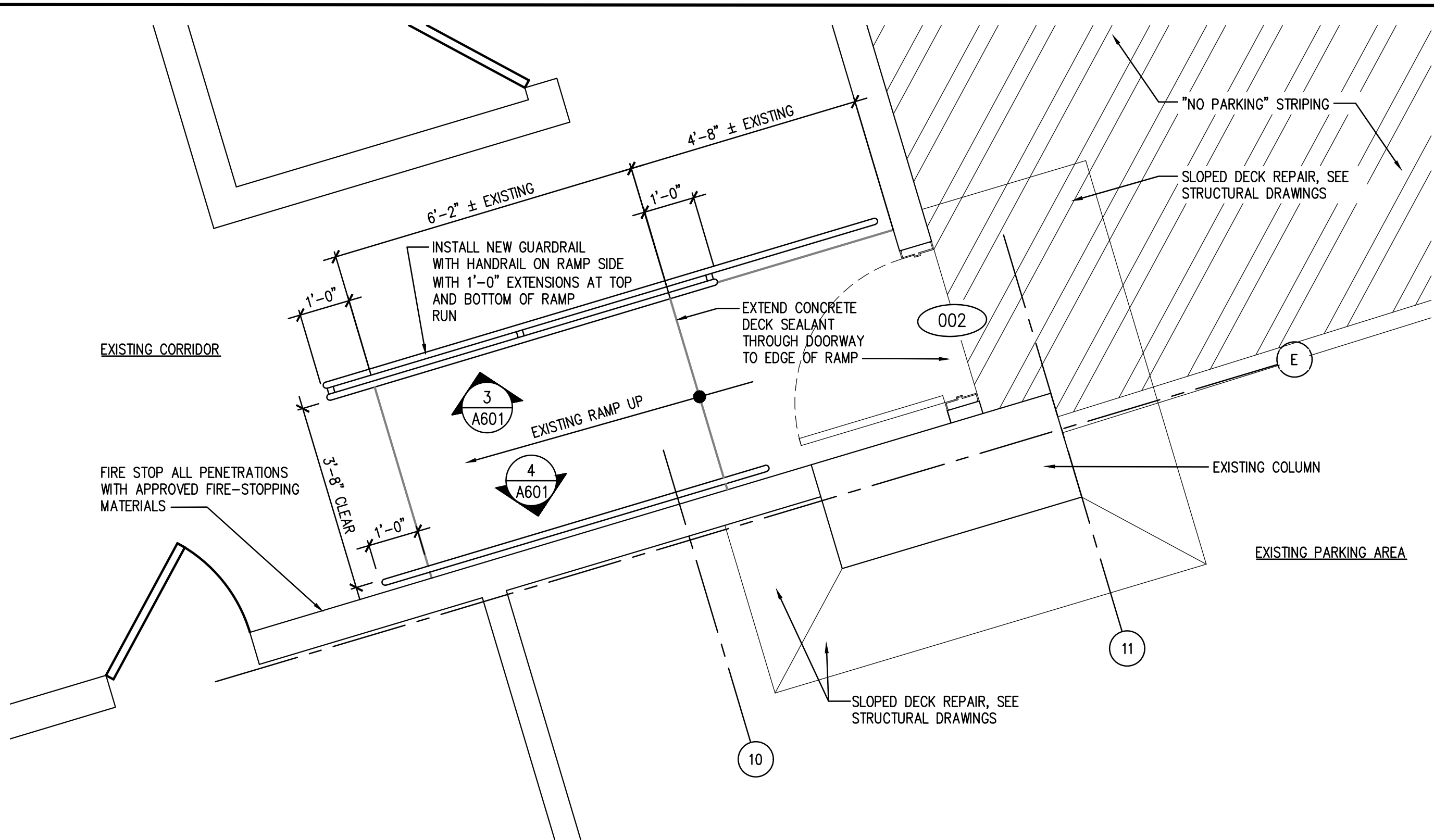


	7/31/2020	BH	MB	RELEASE FOR BD	
	7/23/2020	BH	MB	FOR COMMISSIONER MEETING	
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION	
RECORD DRAWING CERTIFICATION					
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES				CONTRACTOR _____ NAME SIGNATURE _____ TITLE _____ DATE _____	
PROJECT COORDINATOR _____ NAME SIGNATURE _____ TITLE _____ DATE _____				SHEET NUMBER 19-515 SHEET NO. 17 OF 97 SCALE: AS NOTED DATE: 7-23-2020 DWP FILE NO. 52-01-A-364-0	
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING				A600 1848 PARKING GARAGE, REHABILITATION - PHASE 1 MICHAELSON OFFICE BUILDING 148 MARKET AVENUE, WHITE PLAINS, NEW YORK B3 ENLARGED PLANS, ELEVATIONS AND DETAILS	

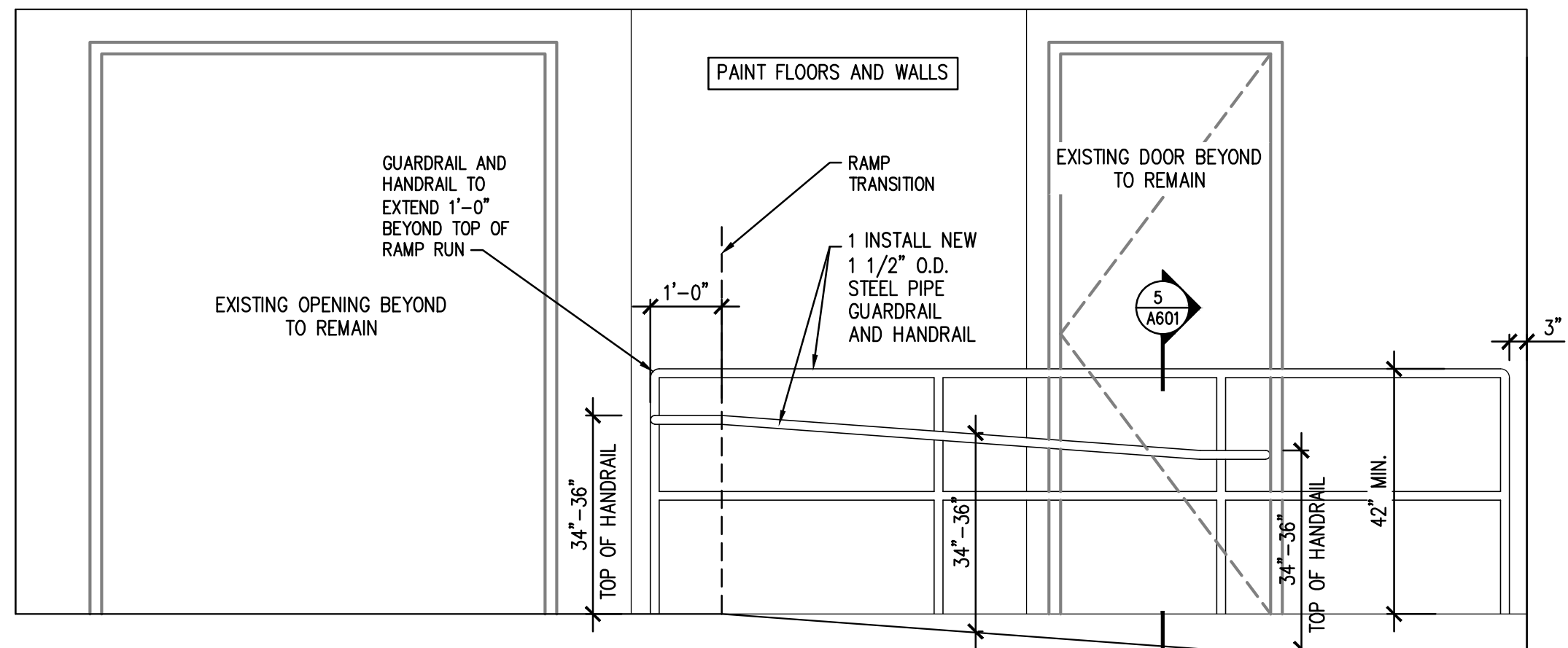
IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN



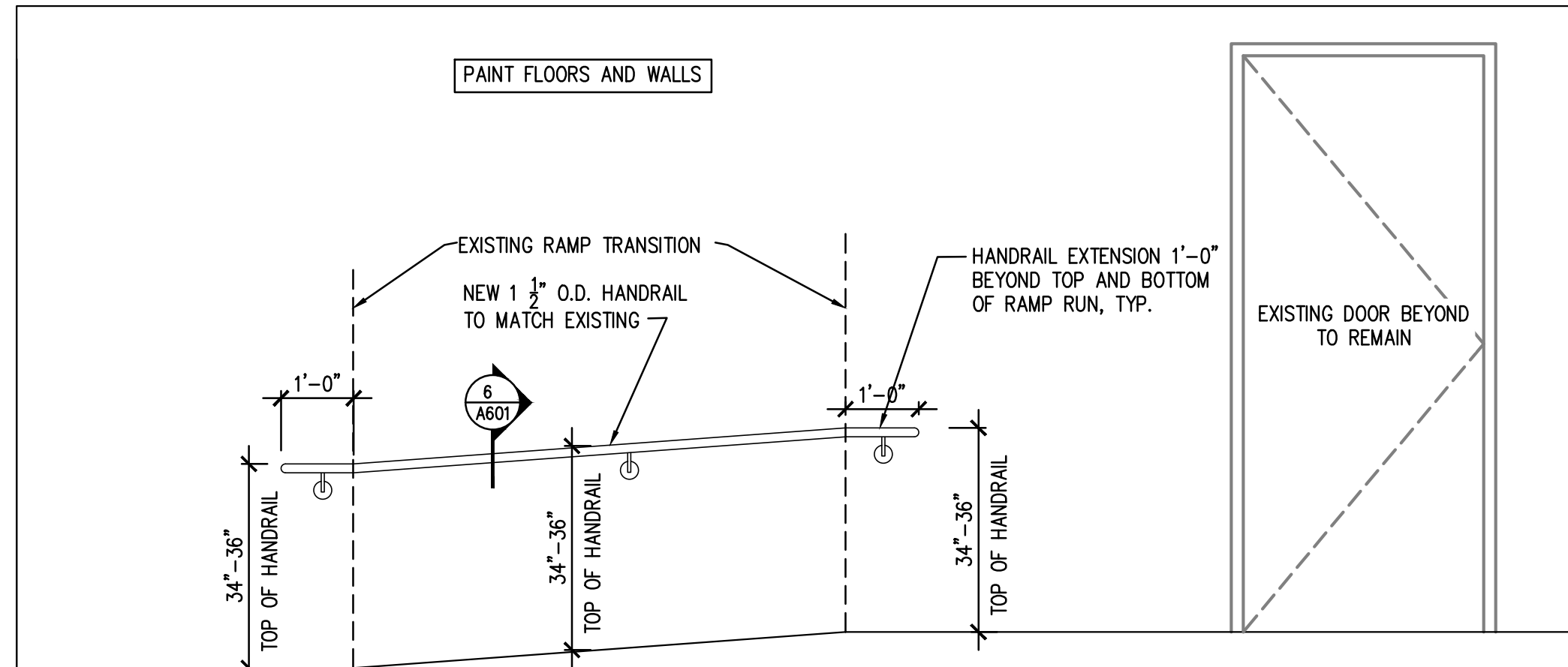
1 ENLARGED DEMOLITION PLAN LEVEL B2 CORRIDOR AND E-11 COLUMN
1/2" = 1'-0"



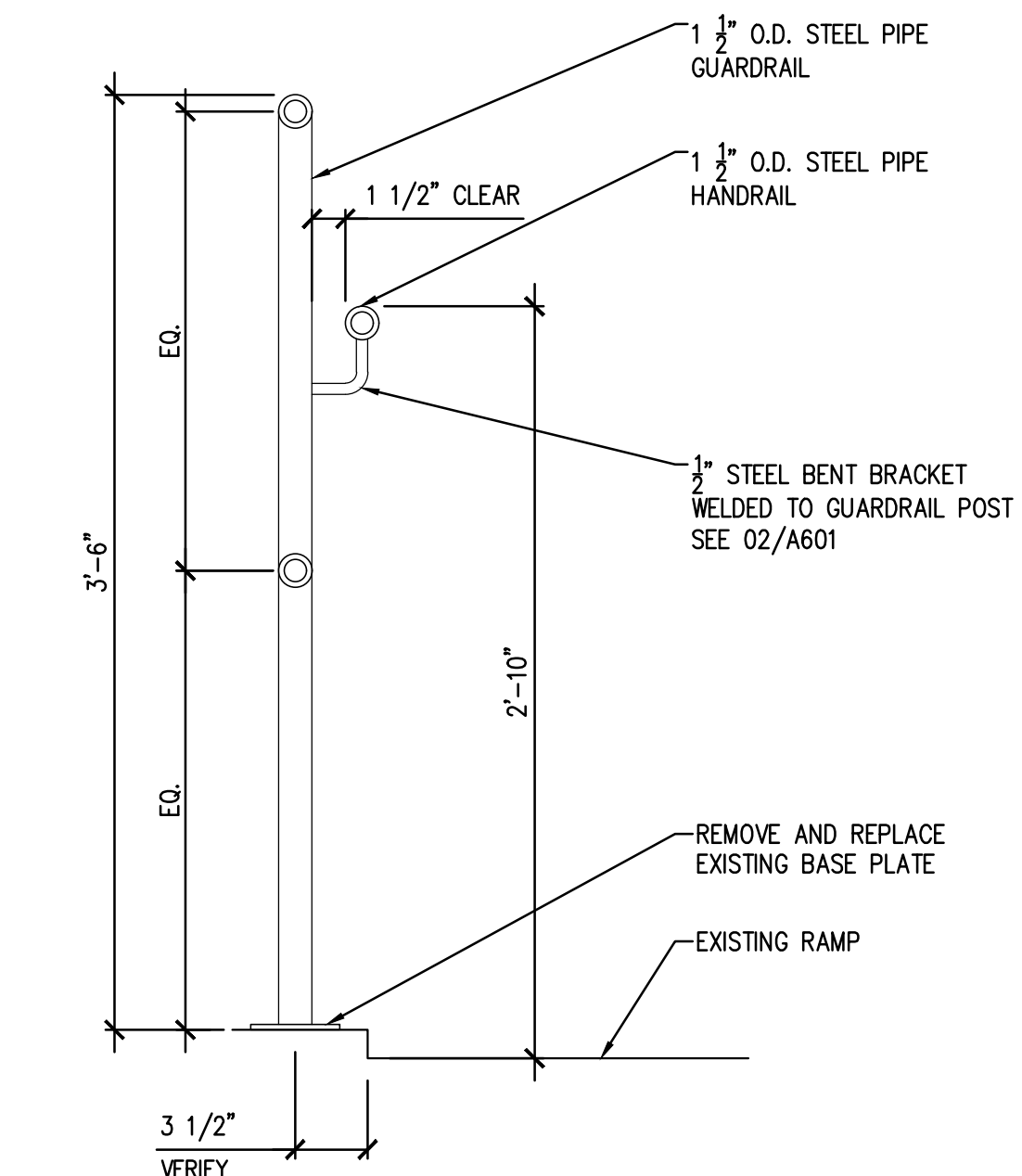
2 ENLARGED CONSTRUCTION PLAN LEVEL B2 CORRIDOR AND E-11 COLUMN
1/2" = 1'-0"



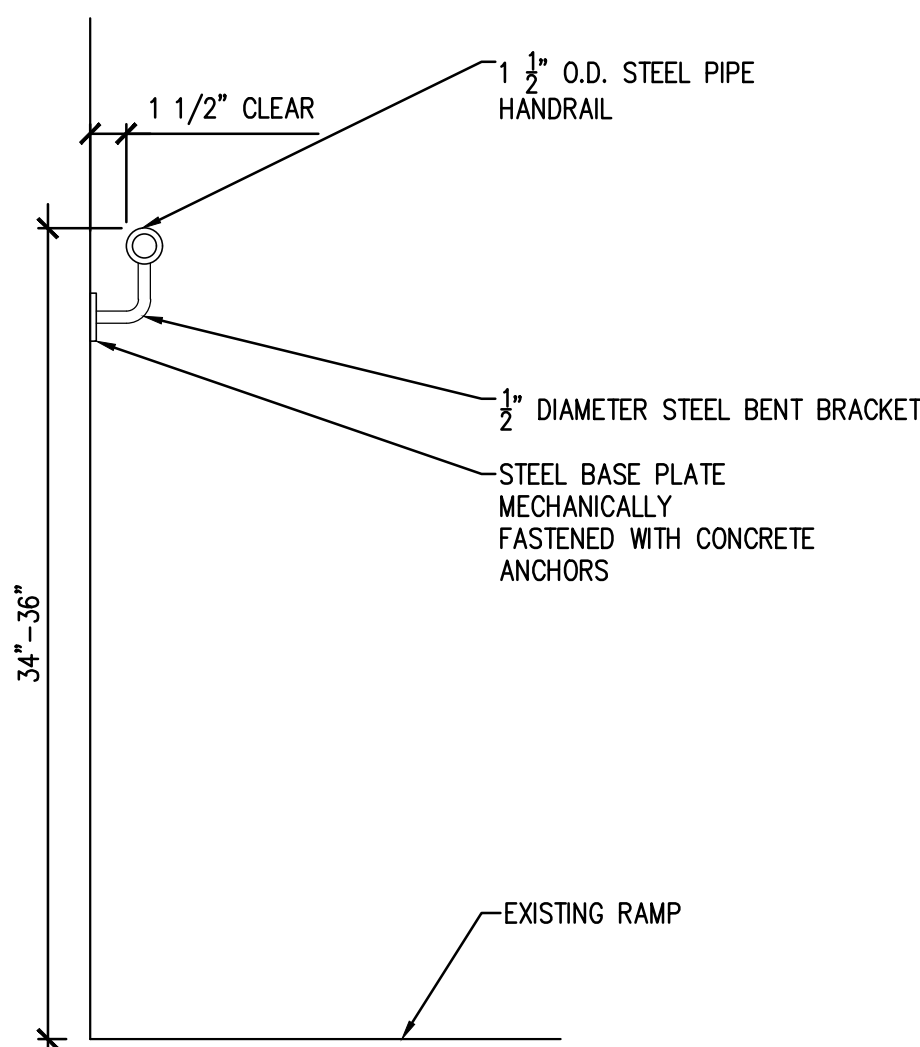
3 INTERIOR ELEVATION AT LEVEL B2 CORRIDOR
1/2" = 1'-0"



4 INTERIOR ELEVATION AT LEVEL B2 CORRIDOR
1/2" = 1'-0"



5 GUARDRAIL AND HANDRAIL SECTION DETAIL
1 1/2" = 1'-0"



6 RAILING DETAIL AT LEVEL B2 CORRIDOR
1-1/2" = 1'-0"

IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN



<div>Lothrop</div> <div>Lothrop Associates LLP Architects</div> <div>333 Westchester Avenue</div> <div>White Plains, New York 10604</div> <div>914-741-1115</div>				ARCHITECTS
<div>MICHAEL SCHULLER</div> <div>ATKINSON-NOLAND AND ASSOCIATES</div> <div>32 OLD SLIP, 10TH FLOOR</div> <div>NEW YORK, NEW YORK 10005</div> <div>917-647-9350</div>				FORENSIC INVESTIGATION
<div>JEFFRY R. CARLSON, P.E. S.E.</div> <div>601 WEST GOLF ROAD, SECOND FLOOR</div> <div>MOUNT PROSPECT, ILLINOIS 60056</div> <div>847-274-0985</div>				STRUCTURAL ENGINEER
<div>MARK VELZY</div> <div>CBK ENGINEERING, PC</div> <div>44-46 FOSTER ROAD</div> <div>HOPEWELL JUNCTION, NY 12533</div> <div>914-509-8161 (O)</div>				MEP ENGINEERS

DOOR SCHEDULE													
B3 & B2	DOOR NO.	FROM/TO	DOOR SIZE	DOOR MAT	FRAME MAT	PANEL OPT	ELEV.	HEAD DTL.	JAMB DTL.	SADDLE	FIRE RTG	ADDITIONAL NOTES	HARDWARE SET
	001	LEVEL B3 CORRIDOR/PARKING	MATCH EXISTING (2 AT 3'-0" x 7'-0" ±)	HM	HM	GL	TYPE B	3/A800	4/A800	TYPE C	'B' LABEL		3
	002	LEVEL B2 CORRIDOR/PARKING	MATCH EXISTING (± 3'-0" x 7'-0")	HM	HM	GL	TYPE A	3/A800	4/A800	TYPE C	'B' LABEL		1

MAT. DEFINITIONS:
HM HOLLOW METAL
GL GLASS PANEL
NA NOT APPLICABLE

PANEL OPTION DEFINITIONS:
GL GLASS PANEL
NA NOT APPLICABLE
REFER TO SPECIFICATION SECTION 087100 "DOOR HARDWARE"
ALL DOORS SHALL BE ADA COMPLIANT IN OPERATION INCLUDING OPENING AND CLOSING FORCES WHERE CLOSERS ARE PROVIDED.
ALL DOORS AND FRAMES SHALL BE PAINTED

GLAZING NOTES:

1. FIRE RATED DOORS: 90 MINUTE FIRE-RATED GLASS, MIN. 1/4" THICK
2. NON-FIRE RATED DOORS: 1/4" THICK, TEMPERED, CLEAR GLASS

1 DOOR SCHEDULE FOR LEVEL B3 & B2
N.T.S.

DOOR SCHEDULE

DOOR NO.	FROM/TO	DOOR SIZE	DOOR MAT	FRAME MAT	PANEL OPT	ELEV.	HEAD DTL.	JAMB DTL.	SADDLE	FIRE RTG	ADDITIONAL NOTES	HARDWARE SET
100	STAIR S11/LEVEL 10	MATCH EXISTING (± 3'-0" X 7'-0")	HM	HM	GL	TYPE E	3/A800	4/A800	TYPE A	-		1
101	STAIR R10/LEVEL 10	MATCH EXISTING (± 3'-0" X 7'-0")	HM	HM	GL	TYPE E	3/A800	4/A800	TYPE A	-		1
102	STAIR M8/LEVEL 10	MATCH EXISTING (± 3'-0" X 7'-0")	HM	HM	GL	TYPE E	3/A800	4/A800	TYPE A	-		1
103	STAIR O9/LEVEL 10	MATCH EXISTING (± 3'-0" X 7'-0")	HM	HM	GL	TYPE E	3/A800	4/A800	TYPE A	-		1
104A	SERVER GEAR/LEVEL 10	MATCH EXISTING (± 3'-0" X 7'-0")	HM	HM	NA	TYPE C	3/A800	4/A800	TYPE B	-		2
104B	SERVER GEAR/LEVEL 10	MATCH EXISTING (2 AT 3'-0" X 7'-0" ±)	HM	HM	NA	TYPE D	3/A800	4/A800	TYPE B	-		3
105	MECH ROOM/LEVEL 10	MATCH EXISTING (± 3'-0" X 7'-0")	HM	HM	NA	TYPE C	3/A800	4/A800	TYPE B	-		2

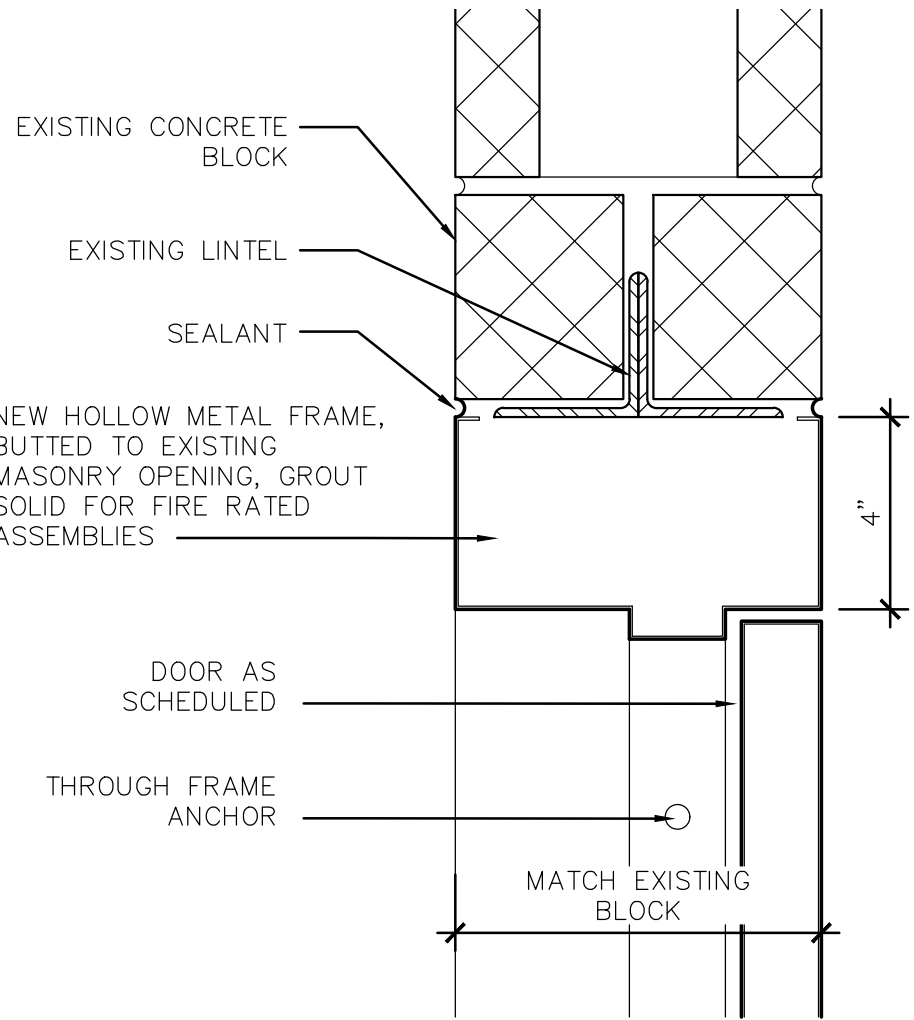
MAT. DEFINITIONS:
HM HOLLOW METAL
GL GLASS PANEL
NA NOT APPLICABLE

PANEL OPTION DEFINITIONS:
GL GLASS PANEL
NA NOT APPLICABLE
REFER TO SPECIFICATION SECTION 087100 "DOOR HARDWARE"
ALL DOORS SHALL BE ADA COMPLIANT IN OPERATION INCLUDING OPENING AND CLOSING FORCES WHERE CLOSERS ARE PROVIDED.
ALL DOORS AND FRAMES SHALL BE PAINTED

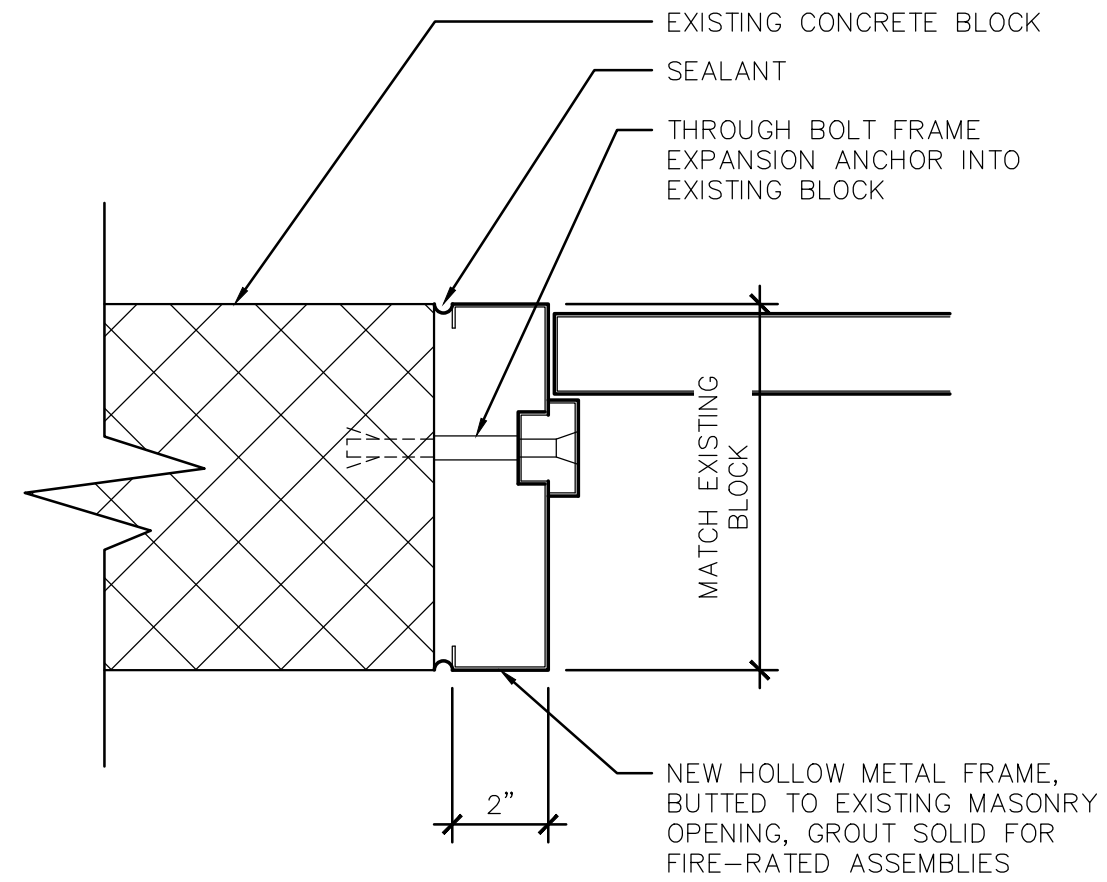
GLAZING NOTES:

1. FIRE RATED DOORS: 90 MINUTE FIRE-RATED GLASS, MIN. 1/4" THICK
2. NON-FIRE RATED DOORS: 1/4" THICK, TEMPERED, CLEAR GLASS

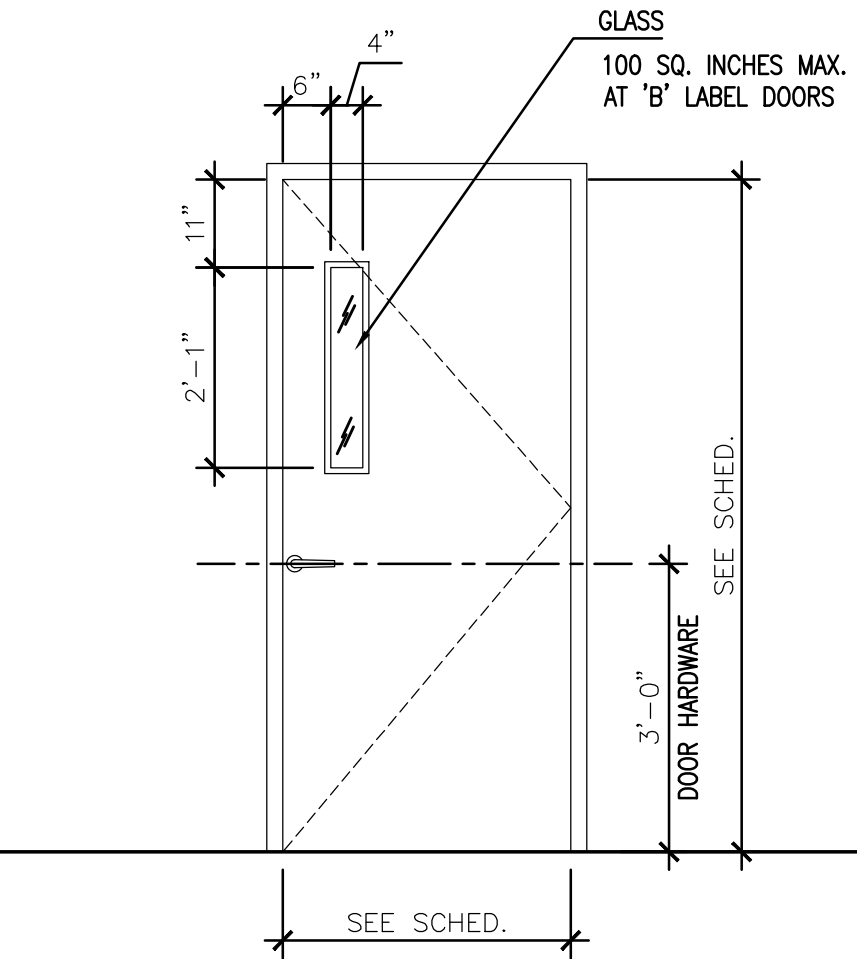
2 DOOR SCHEDULE FOR LEVEL 10
N.T.S.



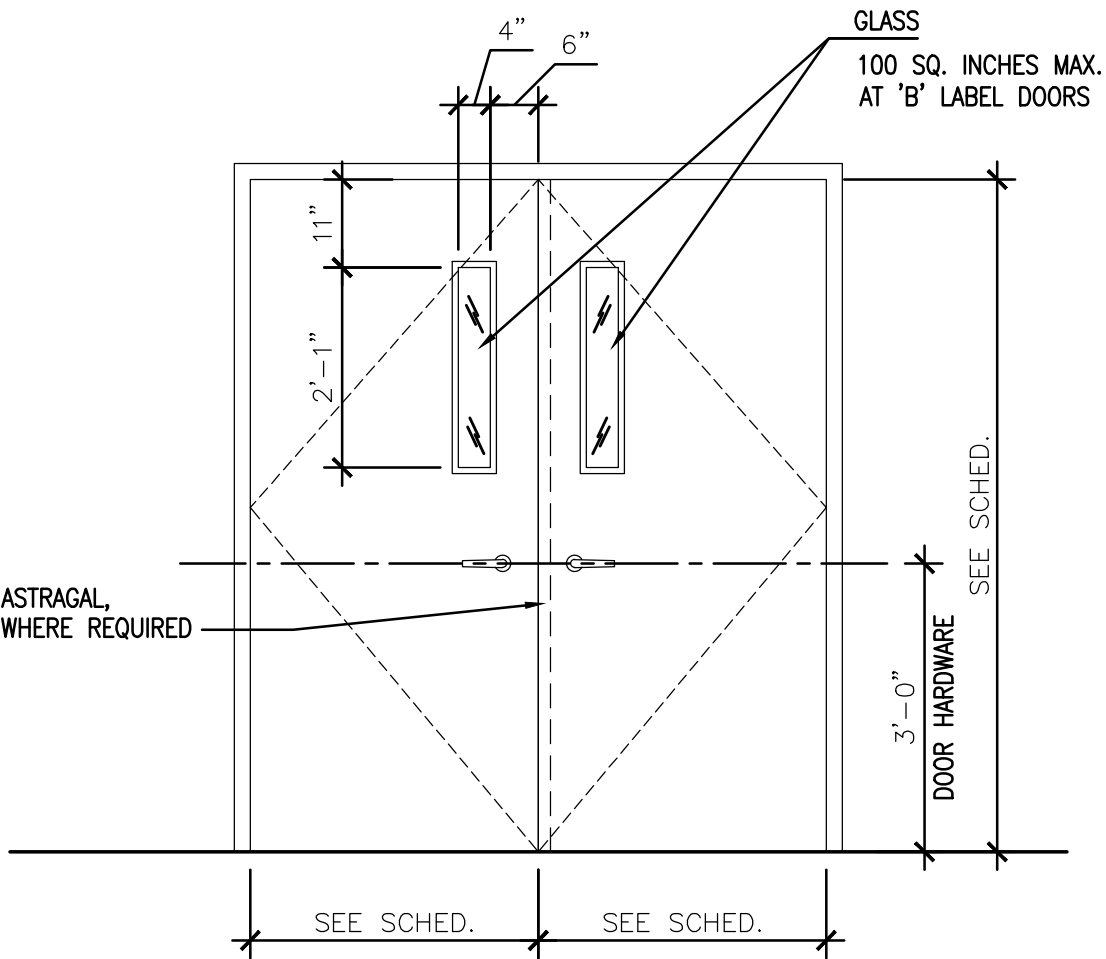
3 HEAD DETAIL TYPE 'A'
3" = 1'-0"



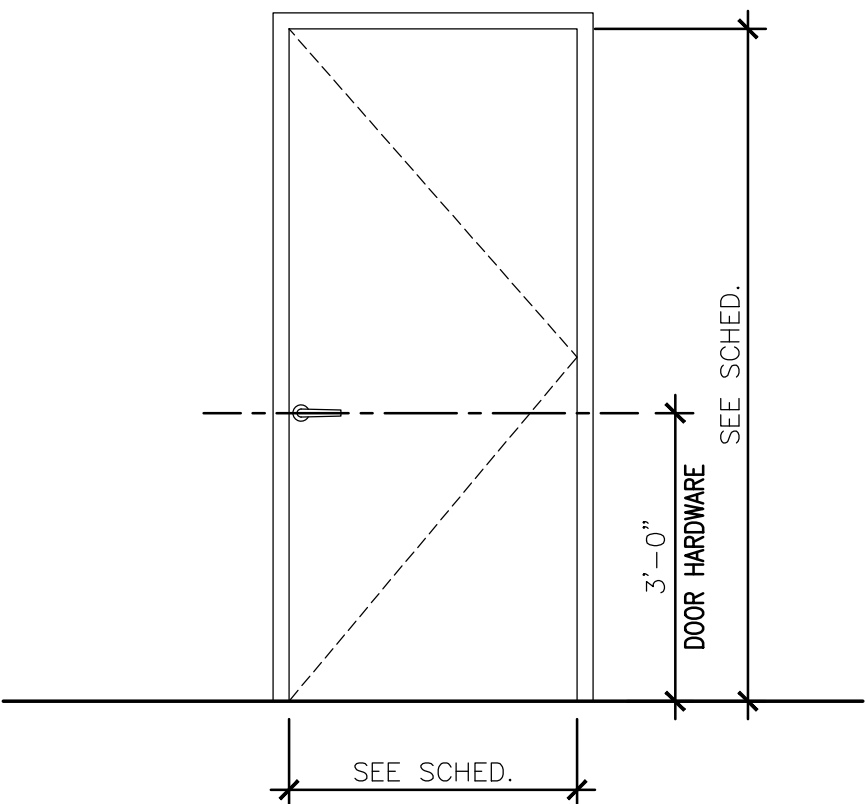
4 JAMB DETAIL TYPE 'A'
3" = 1'-0"



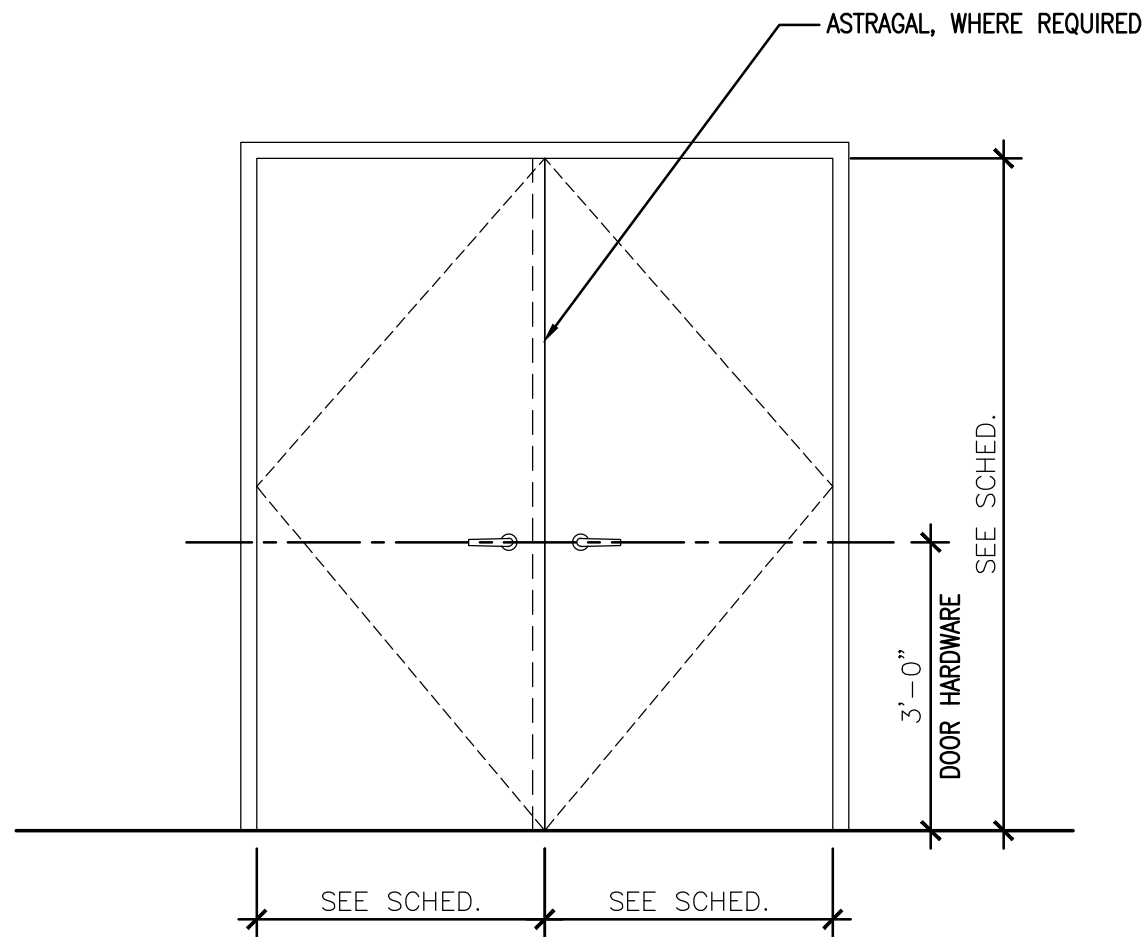
5 DOOR ELEVATION TYPE 'A'
1/2" = 1'-0"



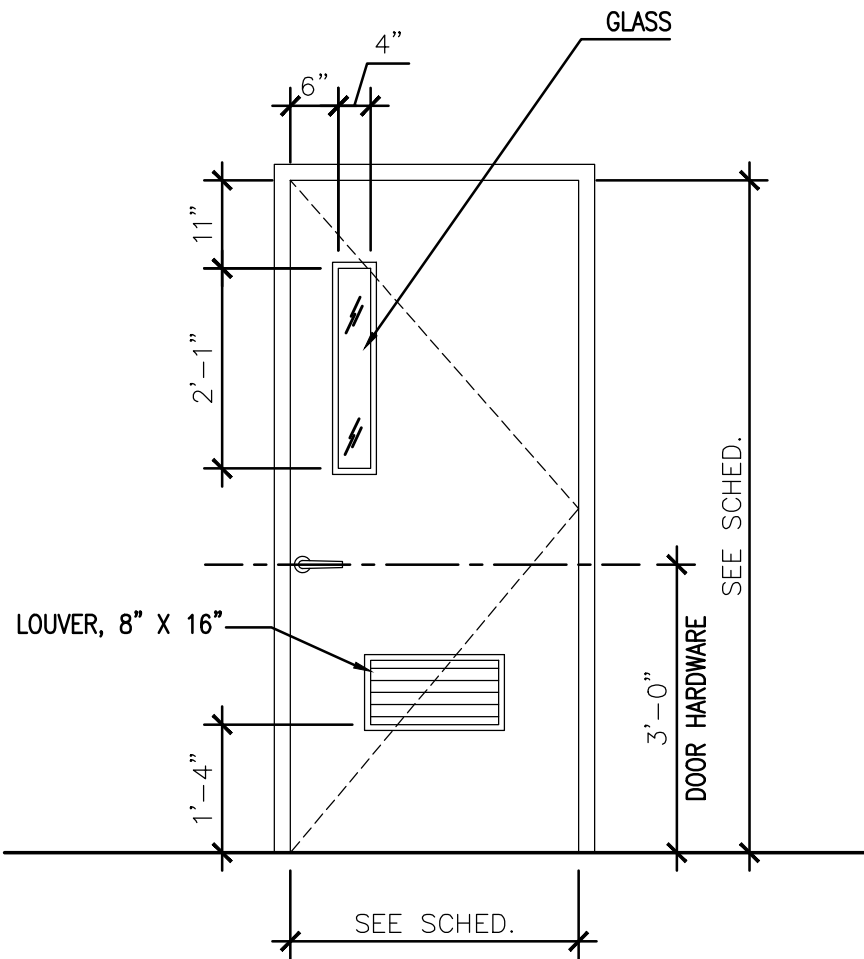
6 DOOR ELEVATION TYPE 'B'
1/2" = 1'-0"



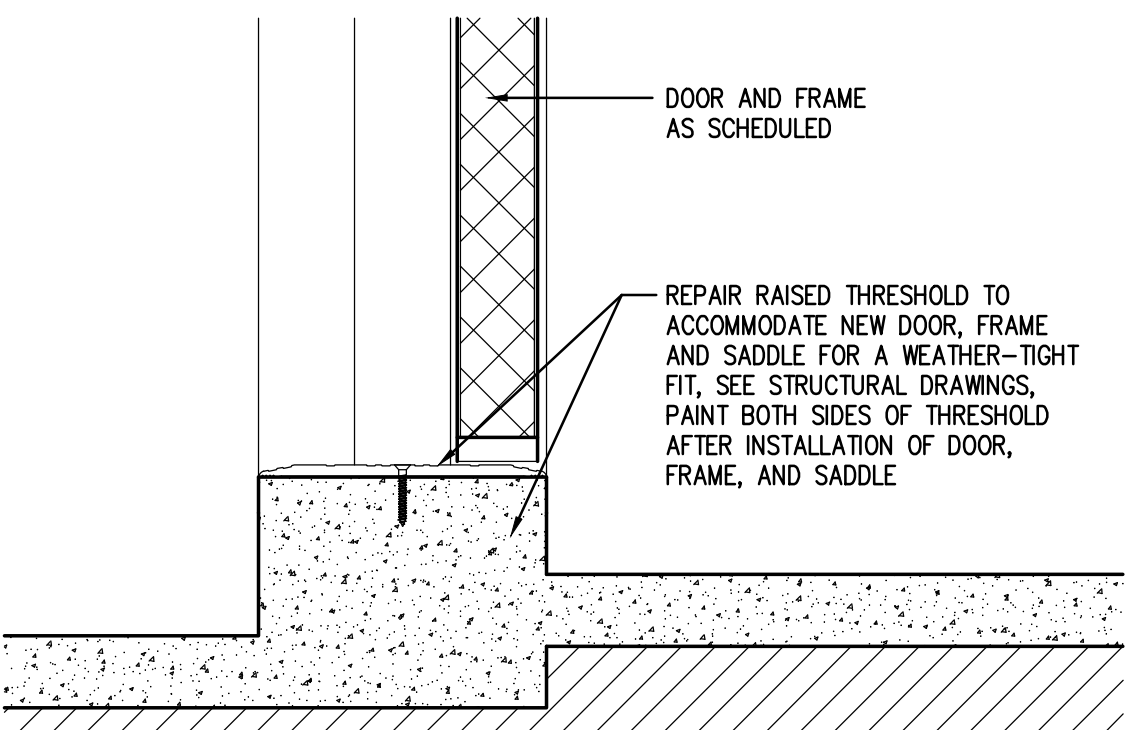
7 DOOR ELEVATION TYPE 'C'
1/2" = 1'-0"



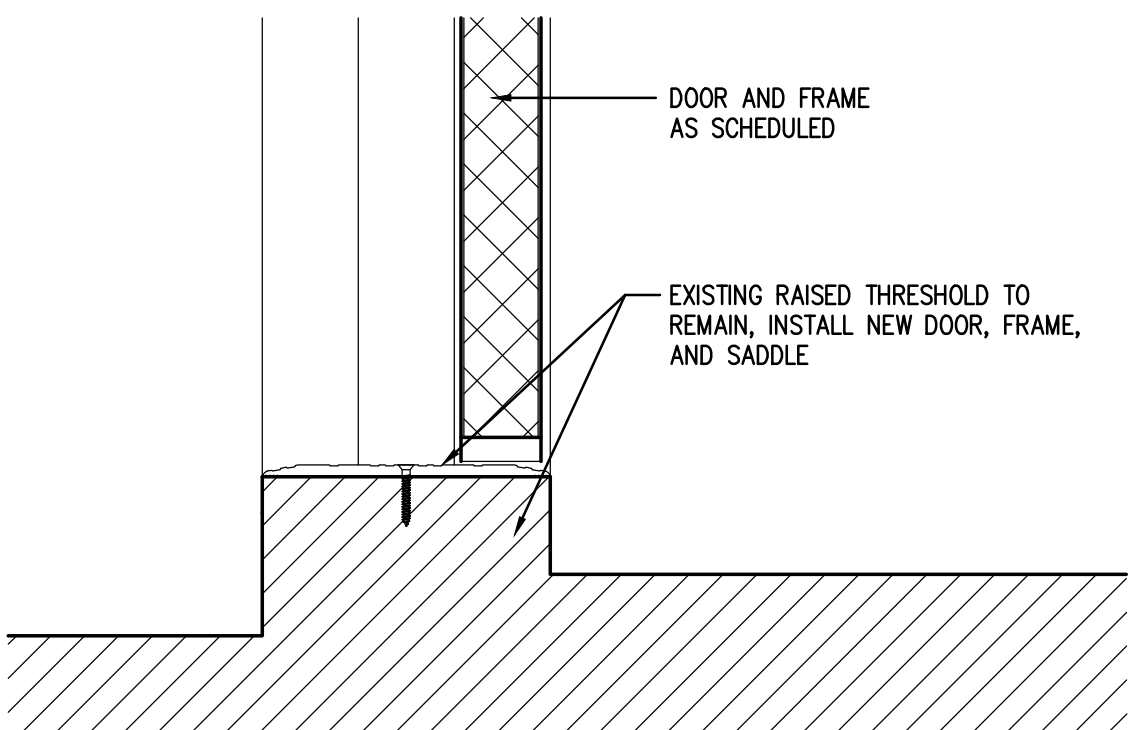
8 DOOR ELEVATION TYPE 'D'
1/2" = 1'-0"



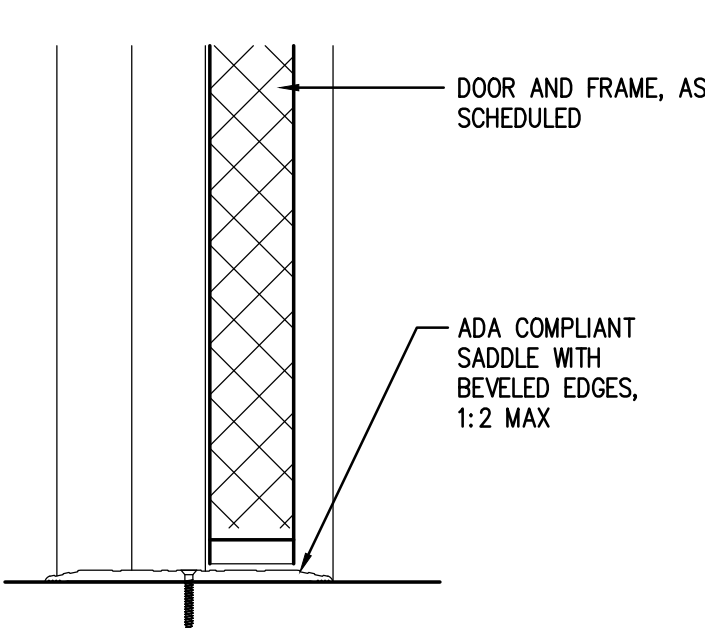
9 DOOR ELEVATION TYPE 'E'
1/2" = 1'-0"



10 SADDLE DETAIL TYPE 'A'
3" = 1'-0"



11 SADDLE DETAIL TYPE 'B'
3" = 1'-0"



12 SADDLE DETAIL TYPE 'C'
3" = 1'-0"

IN CHARGE OF BOB GABALSKI
CHECKED BY MICHAEL BERTA
MADE BY BRETT HUTTMAN



ARCHITECTS		Lothrop	
Lothrop Associates LLP Architects 333 Westchester Avenue White Plains, New York 10604 914-741-1115			
MICHAEL SCHULLER ATRINSON HOLLAND AND ASSOCIATES 32 OLD SLIP, 8TH FLOOR NEW YORK, NEW YORK 10005 917-647-9350		FORENSIC INVESTIGATION	
JEFFRY R. CARLSON, P.E. 681 WEST GOLF ROAD, SECOND FLOOR MOUNT PROSPECT, ILLINOIS 60056 847-274-0985		STRUCTURAL ENGINEER	
MARK VELZY CBK ENGINEERING, PC 44-46 FOSTER ROAD HOPEWELL JUNCTION, NY 12533 914-509-8161 (O)		MEP ENGINEERS	
7/31/2020	BH	MB	RELEASE FOR BID
7/23/2020	BH	MB	FOR COMMISSIONER MEETING
REVISION NUMBER	DATE	MADE BY	APP'D BY
REVISION			
RECORD DRAWING CERTIFICATION			
AS BUILT - CHANGES AS NOTED AS BUILT - NO CHANGES			
CONTRACTOR		PROJECT COORDINATOR	
NAME	SIGNATURE	NAME	SIGNATURE
TITLE	DATE	TITLE	DATE
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING		SHEET NUMBER 19-515 SHEET NO. 19 OF 97	
PARKING GARAGE REHABILITATION - PHASE 1 MICHAELIAN OFFICE BUILDING 148 MARTINE AVENUE, WHITE PLAINS, NEW YORK DOOR SCHEDULE AND DETAILS		SCALE: AS NOTED DATE: 7-23-2020 DWG FILE NO. S2-01-A-366-0	