# LINCOLN LOGISTICS BREWSTER

NYS ROUTE 312 & PUGSLEY ROAD TOWN OF SOUTHEAST PUTNAM COUNTY, NEW YORK

#### OWNER/APPLICANT/DEVELOPER

**BREWSTER INDUSTRIAL OWNER LLC** ONE MEADOWLANDS PLAZA, SUITE 803

**EAST RUTHERFORD, NJ 07073** (212) 407-2170

#### **CIVIL ENGINEER**

**LANGAN ONE NORTH BROADWAY, SUITE 910** WHITE PLAINS, NEW YORK 10601 (914) 323-7401

#### **ATTORNEY**

#### **VENEZIANO AND ASSOCIATES**

**84 BUSINESS PARK DRIVE #200 ARMONK, NY 10504** (914) 273-4286

#### **ARCHITECT**

#### ARCO DESIGN/BUILD INDUSTRIAL

44 SOUTH BROADWAY, SUITE 1003 WHITE PLAINS, NY 10601 (914) 821-5535

#### **ENVIRONMENTAL CONSULTANT**

EVANS ENVIRONMENTAL CONSULTING, INC. **205 AMITY ROAD** 

**BETHANY, CT 06524** (203) 393-0690

**COLD SPRING, NY 10516** 

## **SURVEYING**

(877) 314-1593

BADEY & WATSON, SURVEYING AND ENGINEERING, P.C. **3063 ROUTE 9** 

	LOTS WITHOUT PROPOSED DEVELOPMENT						
E	LOT No.	DESCRIPTION	PROPOSED AREA (SQUARE FEET)	PROPOSED AREA (ACRES)			
	LOT 1	EXISTING TAX MAP No. 451-4 PARCEL	±1,592,992	±36.57			
	LOT 3A-2	EXISTING TAX MAP No. 451-8.3 PARCEL	±31,416	±0.72			
	LOT 4						
	LOT 4A	EXISTING TAX MAP No. 451-12 PARCEL (NON-INCLUSIVE OF THE WELL PARCELS)	±2,421,160	±55.58			
	LOT 4B-1	WELL PARCEL WITHIN EXISTING TAX MAP No. 45-1-12 CONTIGUOUS TO PUGSLEY ROAD	±29,206	±0.67			
	LOT 4B-2	WELL PARCEL WITHIN EXISTING TAX MAP No. 45-1-12 CONTIGUOUS TO NY 312	±31,914	±0.73			
_	LOT 5	LAND DONATION PARCEL TO PUTNAM COUNTY	±223,414	±5.13			
	LOT 6	POTENTIAL LAND DONATION PARCEL TO NYSDOT (WEST OF PUGSLEY ROAD)		±0.06			
	LOT 7	POTENTIAL LAND DONATION PARCEL TO NYSDOT (EAST OF PUGSLEY ROAD)	±4,167	±0.10			

±13,735 ±0.32

	TABLE OF LAND !!	CE LINCOLN LOCICE	ICC COLIT	IFACT			
	TABLE OF LAND USE LINCOLN LOGISTICS SOUTHEAST						
F	TOWN OF SOUTHEAST, PUTNAM COUNTY, NEW YORK						
Γ	PROPOSED USE: LIGHT MANUFACTURING EXISTING/PROPOSED ZONING DISTRICT: OFFICE PARK OP-3 DISTRICT (SEE NOTE 1)						
	DESCRIPTION	REQUIRED / PERMITTED	LOT 2	LOT 3			
	LOT AREA (MINIMUM)	100,000 SQUARE FEET/ 2.30 ACRES	±2,809,882 SF/ ±64.51 ACRES	±7,131,351 SF/ ±163.71 ACRES			
	LOT WIDTH (MINIMUM)	400 FEET	400 FEET	±2,320 FEET			
	LOT FRONTAGE (MINIMUM)	400 FEET	±1,875 FEET	±2,885 FEET			
	LOT DEPTH (MINIMUM)	400 FEET	±780 FEET	±965 FEET			
	BUILDING HEIGHT (MAXIMUM)	45 FEET/ 3 STORIES	44 FT/ 1 STORY	44 FT/ 1 STORY			
	GROSS FLOOR AREA (MAXIMUM)	(SEE NOTE 2)	303,100 SF	618,026 SF			
	BUILDING COVERAGE (MAXIMUM)	25%	10.8%	8.8%			
	LOT COVERAGE TOTAL (MAXIMUM)	55%	23.9%	19.4%			
	OPEN SPACE (MINIMUM)	45%	76.1%	80.6%			
	BUILDABLE AREA CALCULATIONS (SEE NOTE 3)						
Ī	STATE DESIGNATED WETLANDS	-	±117,272 SF/ ±2.69 ACRES	±717,629 SF/ ±16.47 ACRES			
G	SLOPES OVER 25% IN GRADE	-	±111,012 SF/ ±2.55 ACRES	±402,968 SF/ ±9.25 ACRES			
	TOTAL DEDUCTIONS (50%)	-	±114,142 SF/ ±2.62 ACRES	±560,299 SF/ ±12.86 ACRES			
	NET BUILDABLE AREA	-	±2,695,740 SF/ ±61.89 ACRES	±6,571,052 SF/ ±150.85 ACRES			
	FLOOR AREA RATIO (MAXIMUM) (SEE NOTE 3)	0.15/0.25 RATIO (SEE NOTE 4)	0.112	0.087			
	FRONT BUILDING SETBACK	100/50 FEET (SEE NOTE 5)	196 FEET	100 FEET			
	REAR BUILDING SETBACK	50 FEET	250 FEET	82 FEET			
	SIDE BUILDING SETBACK	50 FEET	120 FEET	120 FEET			
_	FRONT PARKING SETBACK	50/25 FEET (SEE NOTE 5)	144 FEET	573 FEET			
	REAR PARKING SETBACK	25 FEET	185 FEET	150 FEET			
	SIDE PARKING SETBACK	25 FEET	82 FEET	50 FEET			
	PARKING REQUIREMENTS (SEE PARKING AND LOADING TABLE)	LOT 1: 119 LOT 2: 248	242 STANDARD 8 ACCESSIBLE 250 TOTAL	499 STANDARD 12 ACCESSIBLE 511 TOTAL			
	LOADING REQUIREMENTS (1 SPACE PER 40,000 S.F.)	LOT 1: 8 LOT 2: 16	56	120			

POTENTIAL LAND DONATION PARCEL TO TOWN OF SOUTHEAST

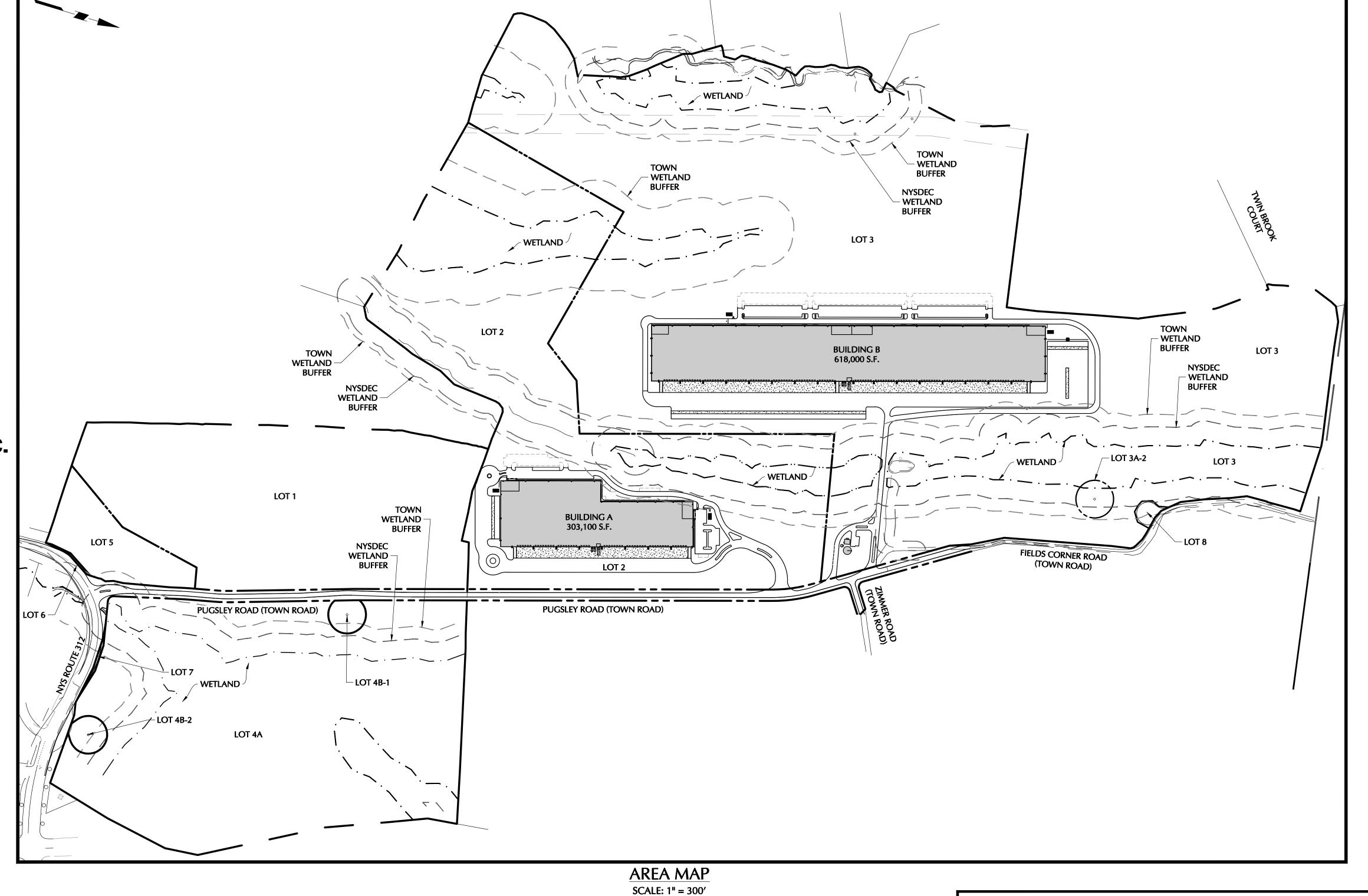
1. PROPOSED LOTS 2, 3, AND 8 ARE LOCATED WHOLLY WITH THE OP-3 DISTRICT. PROPOSED LOTS 1, 4, 5, 6, AND 7 ARE PROPOSED TO REMAIN ZONED IN THE RC DISTRICT. 2. MAXIMUM PERMITTED GROSS FLOOR AREA PER LOT IS EQUIVALENT TO 0.25 OF THE NET BUILDABLE AREA:

LOT 2: 589.849 SQUARE FEET

LOT 3: 1,642,763 SQUARE FEET

TOTAL: 2,232,612 SQUARE FEET 3. "FLOOR AREA RATIO" IS DEFINED BY THE ZONING CODE AS THE GROSS FLOOR AREA IN SQUARE FEET OF ALL BUILDINGS ON A LOT DIVIDED BY THE AREA OF SUCH LOT IN SQUARE FEET. "BUILDABLE AREA" IS DEFINED BY THE ZONING CODE AS ALL LAND MINUS 50% OF THE ACREAGE OF STATE DESIGNATED WETLANDS AND 50% OF THE ACREAGE OF SLOPES OVER 25% IN GRADE.

4. A FLOOR AREA RATIO OF 0.15 SHALL NOT BE EXCEEDED WITHOUT A TRANSPORTATION DISTRICT IN PLACE OF UNTIL THE ROAD IMPROVEMENTS NECESSARY TO ACCOMMODATE THE ADDITIONAL DEVELOPMENT ARE MADE. 5. FRONT YARD AND FRONT YARD PARKING SETBACK REQUIREMENTS MAY BE REDUCED BY UP TO 50% FOR ANY STREET OR ROAD OTHER .THAN STATE OR COUNTY ROAD OR HIGHWAY.



# Residence RMF District OP-1 Office Park OP-1 District Neighborhood Business District OP-2 Office Park OP-2 District Lake Tonetta Watershed District OP-3 Office Park OP-3 District SR-22 Special Route 22 District Rural Commercial District Ridgeline Overlay District

**Gateway Commercial District** 

Economic Development ED District

SR-6 Special Route 6 Area District

R-60 Residence R-60 District

R-40 Residence R-40 District

R-20 Residence R-20 District

**ZONING MAP** SCALE: 1'' = 2,000'

**VICINITY MAP** SCALE: 1'' = 2,000'

### GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INSOFAR AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT. THE OWNER'S FIELD REPRESENTATIVE, LANGAN AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY THE PROJECT DESIGN ENGINEER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.

ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSDOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES

WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN. THERE SHALL BE NO MORE THAN FIVE ACRES OF DISTURBED SOIL AT ANY TIME, PROJECT WIDE, WITHOUT PRIOR WRITTEN

TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED

APPROVAL FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION. NO DELIVERIES SHALL BE SCHEDULED TO ACCESS THE SITE AFTER 11:00 PM ON MONDAY THROUGH SATURDAY OR AFTER 5:00 PM ON SUNDAY AND FEDERAL HOLIDAYS, AND BEFORE 6:00 AM ON MONDAY THROUGH SATURDAY OR BEFORE 10:00 AM ON SUNDAY AND FEDERAL HOLIDAYS.

C-000		
	1 of 97	COVER SHEET
C-001	2 of 97	AERIAL PHOTOGRAPH
C-010	3 of 97	OVERALL EXISTING CONDITIONS MAP
C-020	4 of 97	EXISTING CONDITIONS MAP A
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C-030	5 of 97	EXISTING CONDITIONS MAP B
C-040	6 of 97	EXISTING CONDITIONS MAP C
C-050	7 of 97	EXISTING CONDITIONS MAP D
C-060	8 of 97	EXISTING CONDITIONS MAP E
C-100	9 of 97	OVERALL SITE PLAN
C-101	10 of 97	SITE PLAN A
C-102	11 of 97	SITE PLAN B
C-103	12 of 97	SITE PLAN C
C-104	13 of 97	SITE PLAN D
C-105	14 of 97	SITE PLAN E
C-200	15 of 97	OVERALL GRADING PLAN
C-201	16 of 97	GRADING PLAN A
C-202	17 of 97	GRADING PLAN B
C-203	18 of 97	GRADING PLAN C
C-204	19 of 97	GRADING PLAN D
C-205	20 of 97	GRADING PLAN E
C-211	21 of 97	RIDGELINE CROSS SECTION A-A
C-212	22 of 97	RIDGELINE CROSS SECTION B-B
C-221	23 of 97	PUGSLEY ROAD PROFILE
C-301	24 of 97	UTILITY PLAN A
C-302	25 of 97	UTILITY PLAN B
C-303	26 of 97	UTILITY PLAN C
C-304	27 of 97	UTILITY PLAN D
C-305	28 of 97	UTILITY PLAN E
C-310	29 of 97	WATERLINE PROFILES (1 OF 9)
C-311	30 of 97	WATERLINE PROFILES (2 OF 9)
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C-312	31 of 97	WATERLINE PROFILES (3 OF 9)
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C-314	33 of 97	WATERLINE PROFILES (5 OF 9)
C-315	34 of 97	WATERLINE PROFILES (6 OF 9)
		WATERLINE PROFILES (7 OF 9)
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C-317	36 of 97	WATERLINE PROFILES (8 OF 9)
C-318	37 of 97	WATERLINE PROFILES (9 OF 9)
C-319	38 of 97	WATERLINE DETAILS
C-320	39 of 97	OVERALL OWTS MAP
C-321	40 of 97	OWTS PLAN A (1 OF 2)
C-322	41 of 97	OWTS PLAN A (2 OF 2)
C-323	42 of 97	OWTS PROFILE A
C-324	43 of 97	OWTS PLAN B
C-325	44 of 97	OWTS PLAN C
C-326	45 of 97	OWTS PLAN D
C-327	46 of 97	OWTS PROFILE D
C-328	47 of 97	OWTS DETAILS (1 OF 2)
C-329	48 of 97	OWTS DETAILS (2 OF 2)
C-401	49 of 97	SOIL EROSION & SEDIMENT CONTROL PLAN A
C-402	50 of 97	SOIL EROSION & SEDIMENT CONTROL PLAN B
C-403	51 of 97	SOIL EROSION & SEDIMENT CONTROL PLAN C
C-404	52 of 97	SOIL EROSION & SEDIMENT CONTROL PLAN D
C-405	53 of 97	SOIL EROSION & SEDIMENT CONTROL PLAN E
C-410	54 of 97	OVERALL PHASING PLAN
C-421	55 of 97	PHASING/SEQUENCE OF CONSTRUCTION NOTES
C-501	56 of 97	LANDSCAPING PLANTING PLAN A
C-502	57 of 97	LANDSCAPING PLANTING PLAN B
	58 of 97	LANDSCAPING PLANTING PLAN C
C-503		LANDSCAPING PLANTING PLAN D
C-503 C-504	59 of 97	
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C-504 C-505	59 of 97 60 of 97	
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**DRAWING LIST** SITE/CIVIL DRAWINGS

DRAWING NO. SHEET NO.

**DRAWING TITLE** 

CONDITION TO THE PERSON OF THE									
PARKING AND LOADING TABLE									
	BUILDING SIZE (SF)	ANTICIPATED EMPLOYEES	TOWN PARKING REQUIREMENT (SPACE / 1.5 EMPLOYEE ON MAXIMUM SHIFT)	PARKING PROVIDED			LOADING DOCKS AND TRAILER SPACES		
DESCRIPTION		(1 EMPLOYEE / 1,695 SF ON MAXIMUM SHIFT) (SEE NOTE 1 & 2)		PROPOSED	LANDBANKED	TOTAL PROVIDED	LOADING DOCKS	TRAILER PARKING	TOTAL PROVIDED
BUILDING A	303,100	179	120	119	131	250	56	19	75
BUILDING B	618,000	365	244	240 (SEE NOTE 3)	271	511 (SEE NOTE 3)	120	115	235
TOTAL	921,100	544	363	359 (SEE NOTE 3)	402	761 (SEE NOTE 3)	176	134	310

THE ANTICIPATED NUMBER OF EMPLOYEES IS BASED ON THE RATIO OF EMPLOYEES TO SQUARE FEET OF FLOOR AREA ON THE MAXIMUM SHIFT PUBLISHED BY ENERGYSTAR.GOV FOR TYPICAL WAREHOUSE SPACE. NEW CONSTRUCTION HIGHLY MECHANIZED WAREHOUSE SPACES TYPICALLY HAVE LOWER EMPLOYEE DENSITIES. SEPTIC AREAS HAVE BEEN CONSERVATIVELY SIZED FOR THE POTENTIAL DAILY EMPLOYEE TOTALS UTILIZING THE NYSDEC PUBLICATION "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", DATED MARCH 5 2014. THE PUBLICATION ALLOWS FOR A 20 PERCENT REDUCTION FROM THE 15 GALLONS PER DAY (GPD) RECOMMENDATION FOR LOW FLOW EQUATING TO A

BUILDING A: 375 EMPLOYEES (4,500 GPD REQUIRED) · BUILDING B: 665 EMPLOYEES (7,980 GPD REQUIRED)

DESIGN FLOW RATE OF 12 GPD PER EMPLOYEE:

TOTAL: 1040 EMPLOYEES . THE FIVE (5) PARKING SPACES PROPOSED ADJACENT TO THE WATER TREATMENT BUILDING, WITHIN THE FENCED AREA, HAVE NOT BEEN INCLUDED IN THE PROPOSED PARKING SUPPLY.

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A
COMPILATION OF FIELD EVIDENCE, AVAILABLE
RECORD PLANS AND/OR UTILITY MARK-OUTS. THE
LOCATION OR COMPLETENESS OF UNDERGROUND
INFORMATION CANNOT BE GUARANTEED. VERIFY
THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO
EXCAVATION OR CONSTRUCTION

Date	Description	No.	WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTIC 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECT OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR
03/25/2022	REV. PER TOWN COMMENTS	2	
10/14/2022	REV. FOR NYCDEP SUBMISSION	3	
12/05/2022	REV. SITE GRADING	4	
12/16/2022	REV. PER WATERSHED INSPECTOR GENERAL COMMENTS	5	



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LINCOLN LOGISTICS **BREWSTER** 

PUTNAM COUNTY

**COVER SHEET** 

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