

SITE PLAN APPROVAL DOCUMENTS
LINCOLN LOGISTICS BREWSTER
NYS ROUTE 312 & PUGSLEY ROAD
TOWN OF SOUTHEAST
PUTNAM COUNTY, NEW YORK

OWNER/APPLICANT/DEVELOPER

BREWSTER INDUSTRIAL OWNER LLC
ONE MEADOWLANDS PLAZA, SUITE 803
EAST RUTHERFORD, NJ 07073
(212) 407-2170

CIVIL ENGINEER

LANGAN
ONE NORTH BROADWAY, SUITE 910
WHITE PLAINS, NEW YORK 10601
(914) 323-7401

ATTORNEY

VENEZIANO AND ASSOCIATES
84 BUSINESS PARK DRIVE #200
ARMONK, NY 10604
(914) 273-4286

ARCHITECT

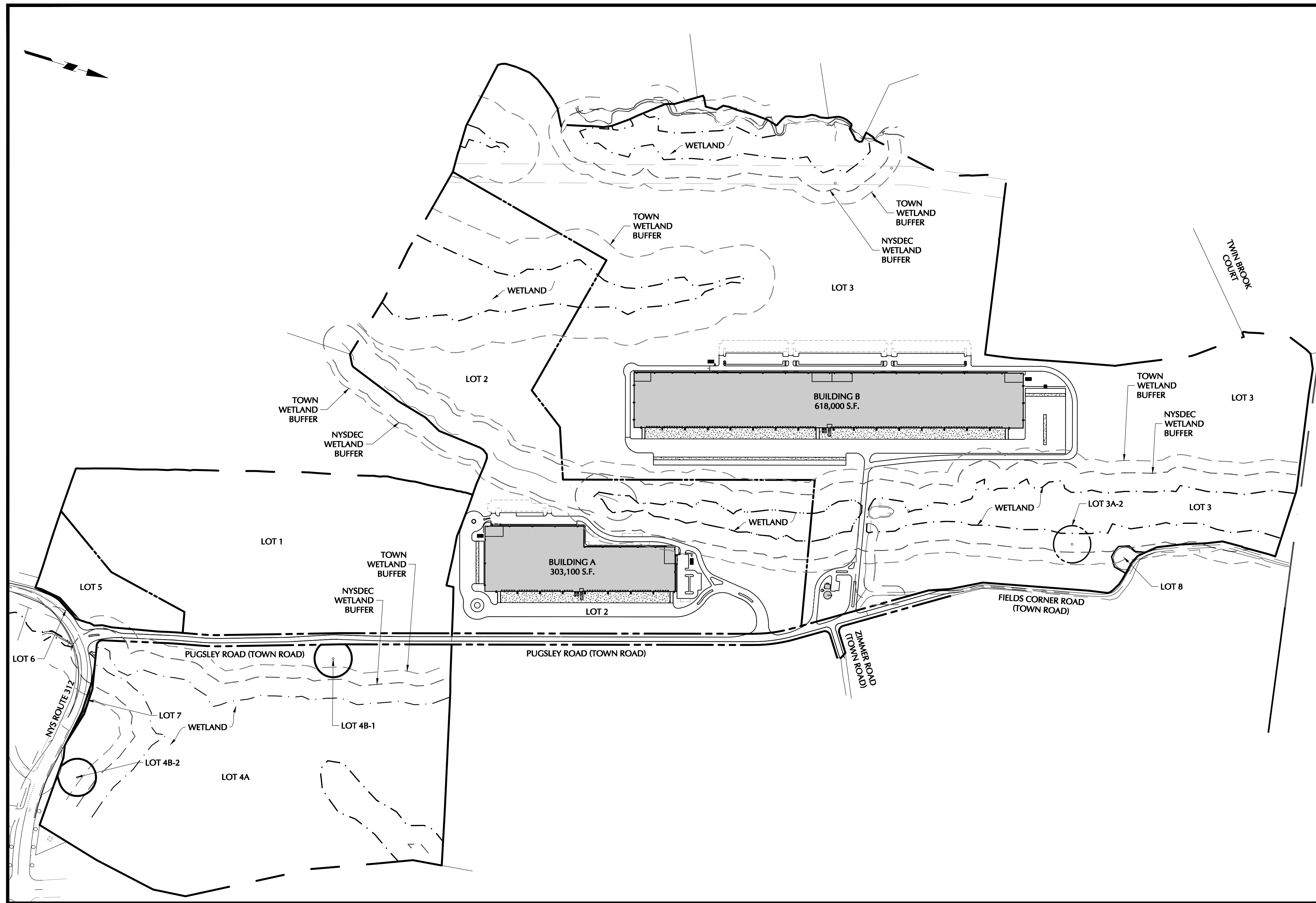
ARCO DESIGN/BUILD INDUSTRIAL
44 SOUTH BROADWAY, SUITE 1003
WHITE PLAINS, NY 10601
(914) 321-5535

ENVIRONMENTAL CONSULTANT

EVANS ENVIRONMENTAL CONSULTING, INC.
205 AMITY ROAD
BETHANY, CT 06524
(203) 393-0690

SURVEYING

BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.
3063 ROUTE 9
COLD SPRING, NY 10516
(877) 314-1593

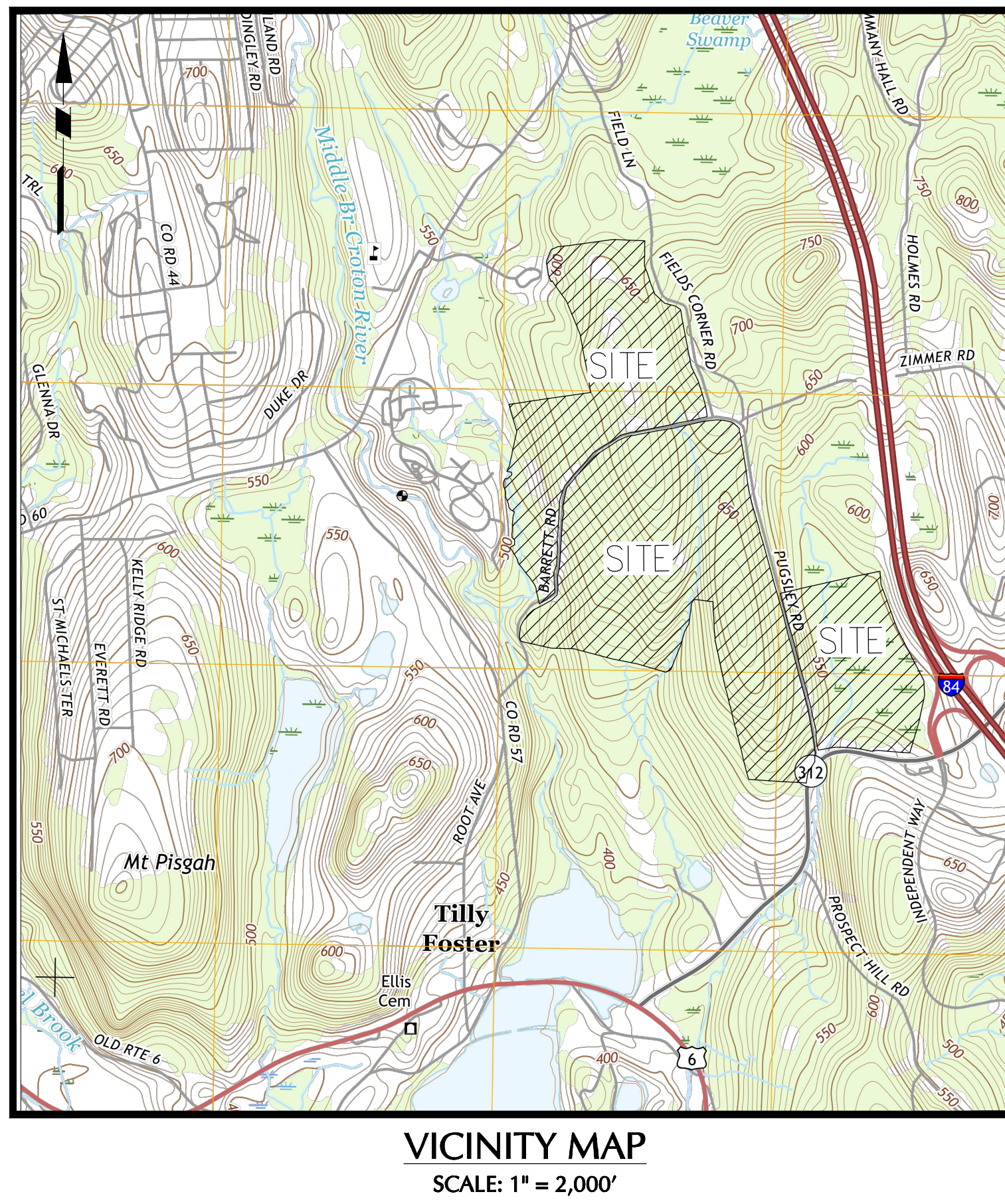
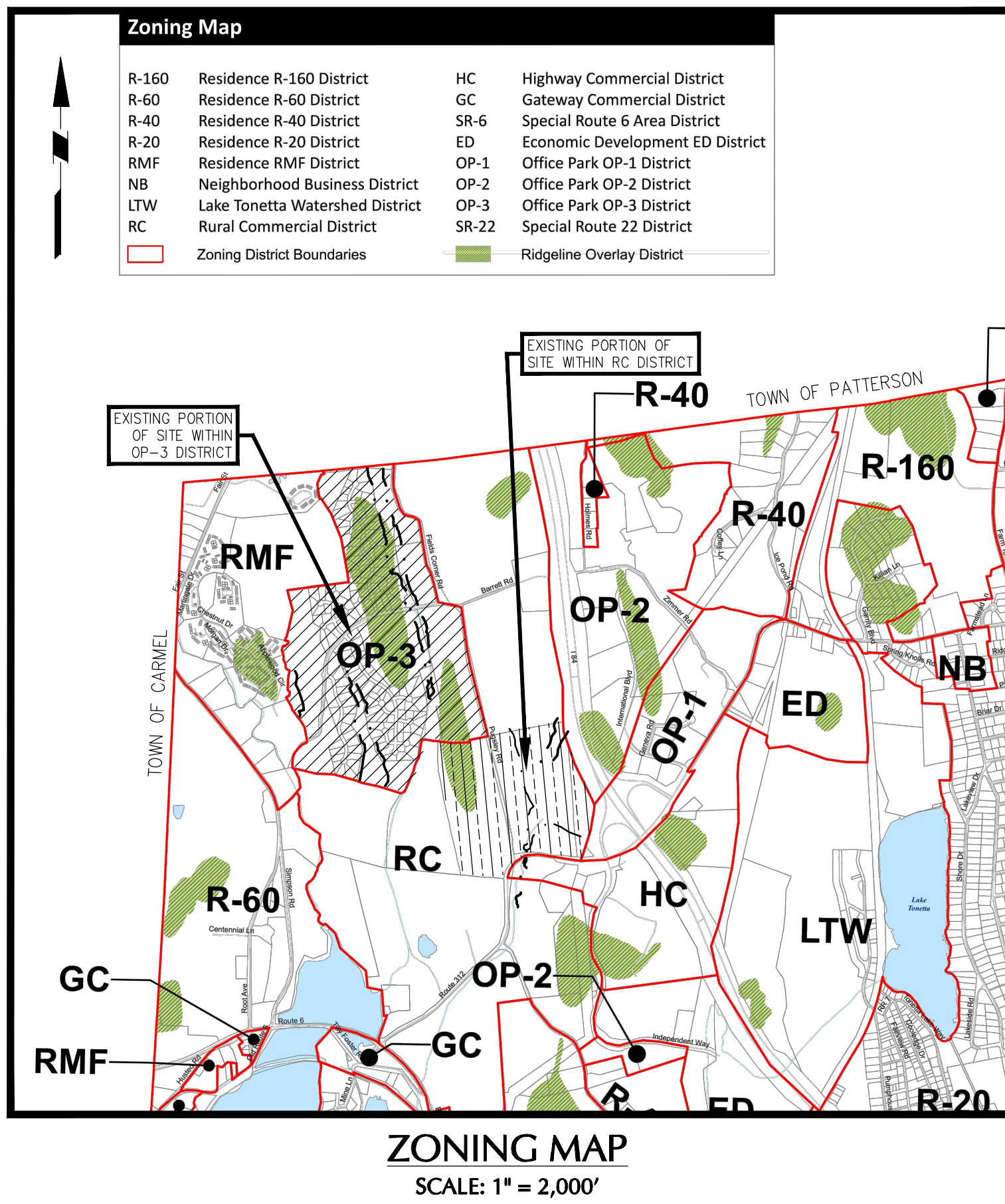


AREA MAP
SCALE: 1" = 300'

LOTS WITHOUT PROPOSED DEVELOPMENT			
LOT No.	DESCRIPTION	PROPOSED AREA (SQUARE FEET)	PROPOSED AREA (ACRES)
LOT 1	EXISTING TAX MAP No. 45-1-4 PARCEL	±1,592,992	±36.57
LOT 3A-2	EXISTING TAX MAP No. 45-1-8-3 PARCEL	±31,416	±0.72
LOT 4	EXISTING TAX MAP No. 45-1-12 PARCEL (NON-INCCLUSIVE OF THE WELL PARCELS)	±2,421,160	±55.58
LOT 4B-1	WELL PARCEL WITHIN EXISTING TAX MAP No. 45-1-12 CONTIGUOUS TO PUGSLEY ROAD	±29,206	±0.67
LOT 4B-2	WELL PARCEL WITHIN EXISTING TAX MAP No. 45-1-12 CONTIGUOUS TO NY 312	±31,914	±0.73
LOT 5	LAND DONATION PARCEL TO PUTNAM COUNTY	±223,414	±5.13
LOT 6	POTENTIAL LAND DONATION PARCEL TO NYSBOT (WEST OF PUGSLEY ROAD)	±2,402	±0.06
LOT 7	POTENTIAL LAND DONATION PARCEL TO NYSBOT (EAST OF PUGSLEY ROAD)	±4,167	±0.10
LOT 8	POTENTIAL LAND DONATION PARCEL TO TOWN OF SOUTHEAST	±13,735	±0.32

TABLE OF LAND USE LINCOLN LOGISTICS SOUTHEAST TOWN OF SOUTHEAST, PUTNAM COUNTY, NEW YORK				
PROPOSED USE: LIGHT MANUFACTURING				
EXISTING/PROPOSED ZONING DISTRICT: OFFICE PARK OP-3 DISTRICT (SEE NOTE 1)				
DESCRIPTION	REQUIRED / PERMITTED	LOT 2	LOT 3	
LOT AREA (MINIMUM)	100,000 SQUARE FEET / 2.30 ACRES	±2,809,882 SF ±64.51 ACRES	±7,131,361 SF ±163.71 ACRES	
LOT WIDTH (MINIMUM)	400 FEET	400 FEET	±2,320 FEET	
LOT FRONTAGE (MINIMUM)	400 FEET	±1,875 FEET	±2,885 FEET	
LOT DEPTH (MINIMUM)	400 FEET	±780 FEET	±965 FEET	
BUILDING HEIGHT (MAXIMUM)	45 FEET / 3 STORIES	44 FT / 1 STORY	44 FT / 1 STORY	
GROSS FLOOR AREA (MAXIMUM)	(SEE NOTE 2)	303,100 SF	618,026 SF	
BUILDING COVERAGE (MAXIMUM)	25%	10.8%	8.8%	
LOT COVERAGE TOTAL (MAXIMUM)	55%	23.9%	19.4%	
OPEN SPACE (MINIMUM)	45%	76.1%	80.6%	
BUILDABLE AREA CALCULATIONS (SEE NOTE 3)				
STATE DESIGNATED WETLANDS	-	±117,272 SF ±2.69 ACRES	±717,629 SF ±16.47 ACRES	
SLOPES OVER 25% IN GRADE	-	±111,012 SF ±2.55 ACRES	±402,968 SF ±9.25 ACRES	
TOTAL DEDUCTIONS (50%)	-	±114,142 SF ±2.62 ACRES	±560,299 SF ±12.86 ACRES	
NET BUILDABLE AREA	-	±2,695,740 SF ±61.89 ACRES	±6,571,062 SF ±150.85 ACRES	
FLOOR AREA RATIO (MAXIMUM) (SEE NOTE 3)	0.150:25 RATIO (SEE NOTE 4)	0.112	0.087	
FRONT BUILDING SETBACK	100/50 FEET (SEE NOTE 5)	196 FEET	100 FEET	
REAR BUILDING SETBACK	50 FEET	250 FEET	82 FEET	
SIDE BUILDING SETBACK	50 FEET	120 FEET	120 FEET	
FRONT PARKING SETBACK	50/25 FEET (SEE NOTE 5)	144 FEET	573 FEET	
REAR PARKING SETBACK	25 FEET	185 FEET	150 FEET	
SIDE PARKING SETBACK	25 FEET	82 FEET	50 FEET	
PARKING REQUIREMENTS (SEE PARKING AND LOADING TABLE)	LOT 1: 119 LOT 2: 246	243 STANDARD 8 ACCESSIBLE 250 TOTAL	499 STANDARD 12 ACCESSIBLE 511 TOTAL	
LOADING REQUIREMENTS (1 SPACE PER 4,000 S.F.)	LOT 1: 8 LOT 2: 16	56	120	

NOTES:
1. PROPOSED LOTS 2, 3, AND 8 ARE LOCATED WHOLLY WITHIN THE OP-3 DISTRICT. PROPOSED LOTS 1, 4, 5, 6, AND 7 ARE PROPOSED TO REMAIN ZONED IN THE RC DISTRICT.
2. MAXIMUM PERMITTED GROSS FLOOR AREA PER LOT IS EQUIVALENT TO 0.25 OF THE NET BUILDABLE AREA.
LOT 2: 589,849 SQUARE FEET
LOT 3: 1,642,763 SQUARE FEET
TOTAL: 2,232,612 SQUARE FEET
3. "FLOOR AREA RATIO" IS DEFINED BY THE ZONING CODE AS THE GROSS FLOOR AREA IN SQUARE FEET OF ALL BUILDINGS ON A LOT DIVIDED BY THE AREA OF SUCH LOT IN SQUARE FEET. "BUILDABLE AREA" IS DEFINED BY THE ZONING CODE AS ALL LAND MINUS 50% OF THE ACREAGE OF STATE DESIGNATED WETLANDS AND 50% OF THE ACREAGE OF SLOPES OVER 25% IN GRADE.
4. A FLOOR AREA RATIO OF 0.15 SHALL NOT BE EXCEEDED WITHOUT A TRANSPORTATION DISTRICT IN PLACE OF UNTIL THE ROAD IMPROVEMENTS NECESSARY TO ACCOMMODATE THE ADDITIONAL DEVELOPMENT ARE MADE.
5. FRONT YARD AND FRONT YARD PARKING SETBACK REQUIREMENTS MAY BE REDUCED BY UP TO 50% FOR ANY STREET OR ROAD OTHER THAN STATE OR COUNTY ROAD OR HIGHWAY.



GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7862) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED. EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDE INTERRUPTION OF UTILITY SERVICE.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, LANGAN AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY THE PROJECT DESIGN ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS PERTINENT TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING REQUIREMENTS OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES ADJACENT BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMMING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBGRADE MATERIAL EXCEPT THAT TEMPORARY ACCESS SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.
- THERE SHALL BE NO MORE THAN FIVE ACRES OF DISTURBED SOIL AT ANY TIME, PROJECT-WIDE, WITHOUT PRIOR WRITTEN APPROVAL FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- NO BUREAUS SHALL BE CONSTRUCTED TO ACCESS THE SITE AFTER 11:30 PM ON MONDAY THROUGH SATURDAY OR AFTER 5:00 PM ON SUNDAY AND FEDERAL HOLIDAYS, AND BEFORE 8:00 AM ON MONDAY THROUGH SATURDAY OR BEFORE 10:00 AM ON SUNDAY AND FEDERAL HOLIDAYS.

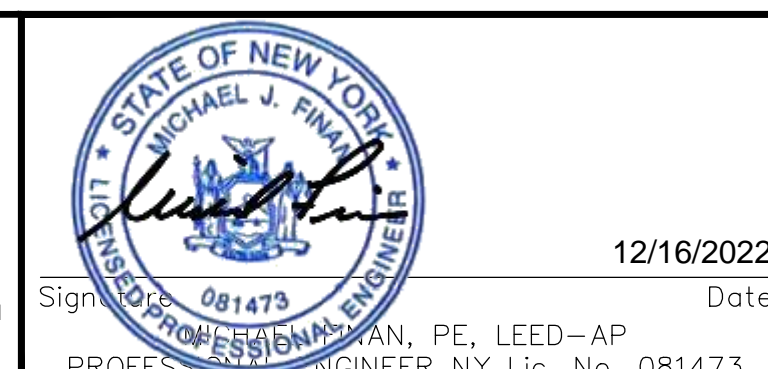
PARKING AND LOADING TABLE									
DESCRIPTION	BUILDING SIZE (SF)	ANTICIPATED EMPLOYEES (1 EMPLOYEE / 1,600 SF ON MAXIMUM SHIFT) (SEE NOTE 1 & 2)	TOWN PARKING REQUIREMENT (SPACE / 1.5 EMPLOYEE ON MAXIMUM SHIFT)	PARKING PROVIDED			LOADING DOCKS AND TRAILER SPACES		
				PROPOSED	LANDBANKED	TOTAL PROVIDED	LOADING DOCKS	TRAILER PARKING	TOTAL PROVIDED
BUILDING A	303,100	179	120	119	131	250	56	19	75
BUILDING B	618,000	365	244	240	271	511	120	115	235
TOTAL	921,100	544	363	359	402	761	176	134	310

NOTES:
1. THE ANTICIPATED NUMBER OF EMPLOYEES IS BASED ON THE RATIO OF EMPLOYEES TO SQUARE FEET OF FLOOR AREA ON THE MAXIMUM SHIFT PUBLISHED BY ENERGYSTAR.GOV FOR TYPICAL WAREHOUSE SPACE. NEW CONSTRUCTION HIGHLY MECHANIZED WAREHOUSE SPACES TYPICALLY HAVE LOWER EMPLOYEE DENSITIES.
2. SEPTIC AREAS HAVE BEEN CONSERVATIVELY SIZED FOR THE POTENTIAL DAILY EMPLOYEE TOTALS UTILIZING THE NYSDEC PUBLICATION "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", DATED MARCH 5 2014. THE PUBLICATION ALLOWS FOR A 20 PERCENT REDUCTION FROM THE 15 GALLONS PER DAY (GPD) RECOMMENDATION FOR LOW FLOW EQUATING TO A DESIGN FLOW RATE OF 12 GPD PER EMPLOYEE.
3. THE FIVE (5) PARKING SPACES PROPOSED ADJACENT TO THE WATER TREATMENT BUILDING, WITHIN THE FENCED AREA, HAVE NOT BEEN INCLUDED IN THE PROPOSED PARKING SUPPLY.

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILED OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION

12/16/2022	REV. PER WATERSHED INSPECTOR GENERAL COMMENTS	5
12/05/2022	REV. SITE GRADING	4
10/14/2022	REV. FOR NYCDP SUBMISSION	3
03/25/2022	REV. PER TOWN COMMENTS	2
Date	Description	No.
Revisions		

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 146 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



LANGAN
Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
12/16/2022
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
LINCOLN LOGISTICS BREWSTER
TOWN OF SOUTHEAST
NEW YORK

Drawing Title
COVER SHEET

Project No.
190065201
Date
12/28/2022
Drawn By
JMSK
Checked By
CZMF
Drawing No.
C-000
Sheet 1 of 97