

CLARKSTOWN CENTRAL SCHOOL DISTRICT

VARIOUS ELEMENTARY SCHOOLS

MASONRY RECONSTRUCTION

ISSUED FOR BID: 1/13/23

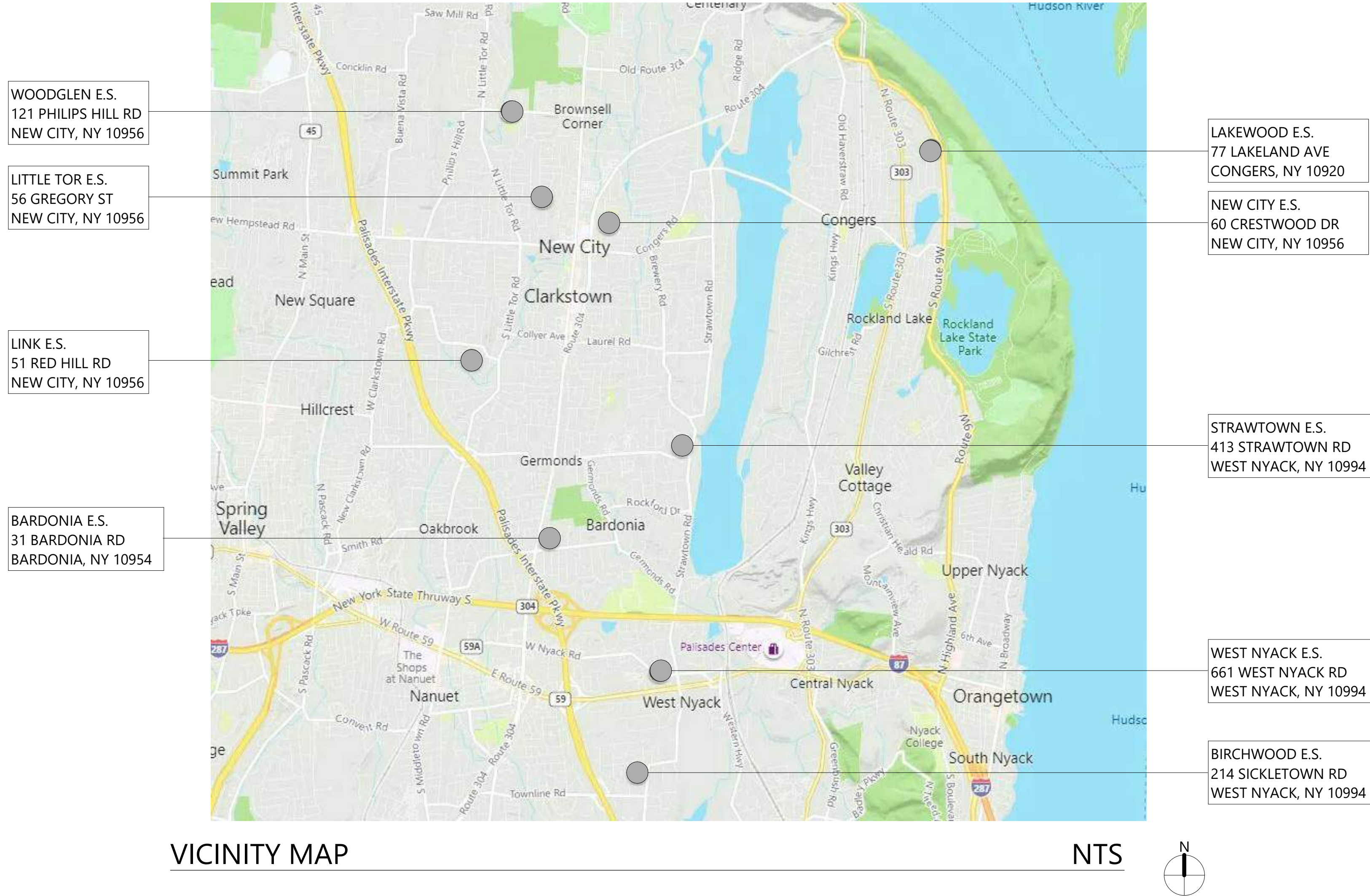
CSARCH - ARCHITECTS

STATE EDUCATION DEPARTMENT PROJECT CONTROL NUMBERS:

BIRCHWOOD ELEMENTARY SCHOOL	50-01-01-06-0-002-015
NEW CITY ELEMENTARY SCHOOL	50-01-01-06-0-003-016
LITTLE TOR ELEMENTARY SCHOOL	50-01-01-06-0-004-017
WEST NYACK ELEMENTARY SCHOOL	50-01-01-06-0-006-020
BARDONIA ELEMENTARY SCHOOL	50-01-01-06-0-007-022
LINK ELEMENTARY SCHOOL	50-01-01-06-0-013-016
WOODGLEN ELEMENTARY SCHOOL	50-01-01-06-0-016-016
LAKEWOOD ELEMENTARY SCHOOL	50-01-01-06-0-017-013
STRAWTOWN ELEMENTARY SCHOOL	50-01-01-06-0-019-018

THE DESIGN OF THIS PROJECT CONFORMS TO APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AND THE MANUAL OF PLANNING STANDARDS OF THE NEW YORK STATE EDUCATION DEPARTMENT.

CSArch PROJECT NO. 151-2101



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ABBREVIATIONS

ABBREVIATION	DESCRIPTION
ADD	ADDENDUM
ADMIN	ADMINISTRATIVE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
APPROX	APPROXIMATE
ARCH	ARCHITECT / ARCHITECTURAL
AV	AUDIO VISUAL
BLDG	BUILDING
BOT OR B/BSMT	BOTTOM OF BASEMENT
CJ	CONTROL / CONSTRUCTION JOINT
CL	CENTERLINE
CLS / CLNS	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONF	CONFERENCE
CONT	CONTINUOUS
COORD	COORDINATE
CORR	CORRIDOR
DEMO	DEMOLITION
DET	DETAIL
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
ED	EDUCATION
EFS	EXTERIOR INSULATION FINISH SYSTEM
ELECT	ELECTRIC / ELECTRICAL
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EQ	EQUAL
EQUIP	EQUIPMENT
EXST	EXISTING
EJ	EXPANSION JOINT
EXT	EXTERIOR
FIN	FINISH
FIN FL	FINISH FLOOR
FIXT	FIXTURE
FLR	FLOOR
FRT	FIRE-RETARDENT-TREATED MATERIAL
FTG	FOOTING
GA	GAUGE
GAL	GALLON
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GND	GROUND
GNB	GYPSUM WALL BOARD
GNBS	GYPSUM WALL BOARD SOFFIT
HG	HANDICAPPED ACCESSIBLE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HTG	HEATING
HVAC	HEATING/VENTILATING/AIR CONDITIONING
ID	INSIDE DIMENSION
N	INCH / INCHES
INT	INTERIOR
JAN	JANITOR
JANITORS CLOSET	JANITOR'S CLOSET
JOIST	JOIST
JT	JOINT
LAB	LABORATORY
LB	POUND
LIN	LINEAR
LVL	LEVEL
MAN	MANUAL
MAS	MASONRY
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURE(R)
MD	MIDDLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTL	METAL
NA	NOT APPLICABLE
NC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
O/HD	OVERHEAD
OPT	OPTIONAL
OZ	OUNCE
PERM	PERIMETER
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLAS	PLASTER
PLYMD	PLYWOOD
PNL	PANEL
PNT	PAINTED
POLYISO	POLYISOCYANURATE
PPT	PRESSURE PRESERVATIVE TREATED
FR	FAIR
PREP	PREPARATORY
PTX	PARTITION
PVC	POLYVINYL CHLORIDE
RAD	RADIUS
RB	RUBBER / RUBBER WALL BASE
REQD	REQUIRED
RM	ROOM
RND	ROUND
RO	ROUGH OPENING
SGH	SCHEDULED
SECT	SECTION
SF	SQUARE FEET
SM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STG	SOUND TRANSMISSION GLASS
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL / STRUCTURE
SUSP	SUSPENDED
SAC	SUSPENDED ACOUSTICAL CEILING
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
TECH	TECHNOLOGY
TEMP	TEMPORARY
TMFD	TEMPERED
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TYP	TYPICAL
UL	UNDERWRITERS LABORATORY
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VEST	VESTIBULE
VF	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT
WD	WOOD
WPT	WOOD PRESERVED-TREATED MATERIAL
WT	WEIGHT
YD	YARD

ARCHITECTURAL LEGEND

MATERIAL INDICATIONS

	EARTH
	GRANULAR FILL
	BRICK
	CONCRETE MASONRY UNIT
	CONCRETE
	GROUT
	ROUGH WOOD BLOCKING
	SHIM
	FINISH WOOD
	PLYWOOD
	SHEATHING
	RIGID INSULATION
	BATT INSULATION
	SPRAY FOAM INSULATION
	EPS INSULATION
	STEEL

DIMENSIONING CONVENTIONS

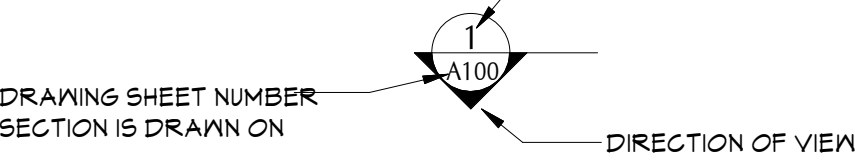
	FACE OF STUD OR CMU
	COLUMN CENTER LINE

SYMBOLS

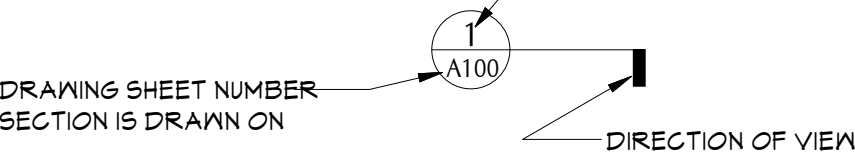
	CLASSROOM
	ROOM NUMBER
	AREA OF ROOM
	DOOR NUMBER, REFER TO A100 DRAWINGS
	WINDOW TAG, REFER TO A100 DRAWINGS
	BORROWED LIGHT NUMBER, REFER TO A100 DRAWINGS
	STOREFRONT / CURTAIN WALL NUMBER, REFER TO A100 DRAWINGS
	COLUMN GRID DESIGNATION
	PARTITION TAG, REFER TO A100 DRAWINGS
	HOUR RATING OF PARTITION
	ADDITIONAL NOTES FOR PARTITION
	REVISION NUMBER
	KEY NOTE, NEW WORK
	KEY NOTE, DEMOLITION WORK
	ELEVATION TAG
	HANDICAPPED ACCESSIBLE ELEMENT OR FIXTURE
	INTERIOR FINISH TAG, REFER TO A100 DRAWINGS

DETAIL INDICATOR LEGEND

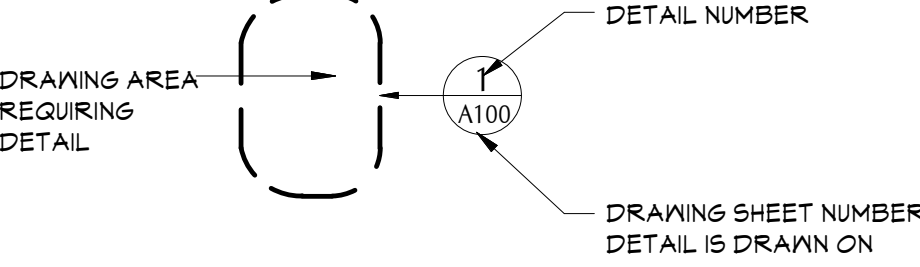
SECTION INDICATOR



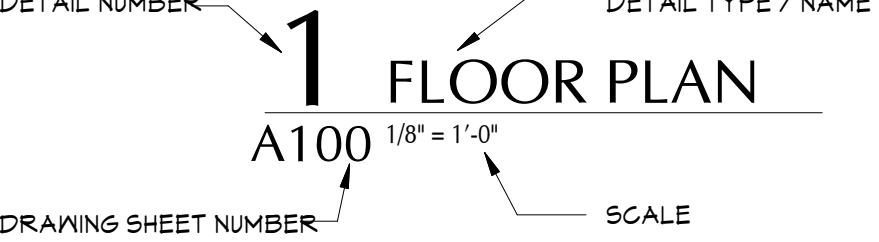
DETAIL INDICATOR (SECTION)



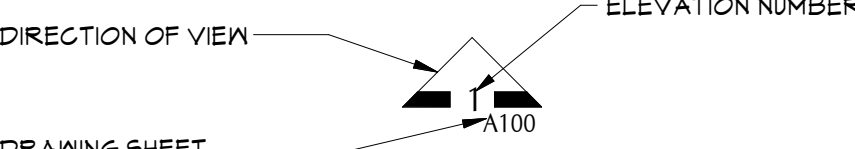
ENLARGED DETAIL INDICATOR



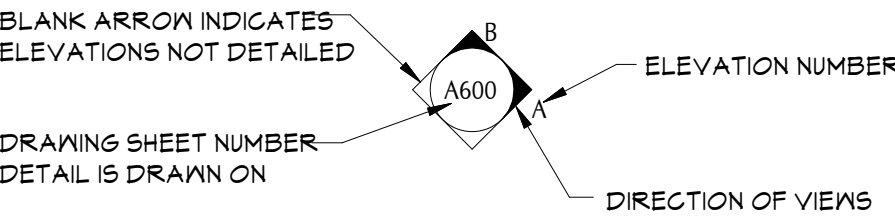
DETAIL TITLE



EXTERIOR ELEVATION INDICATOR



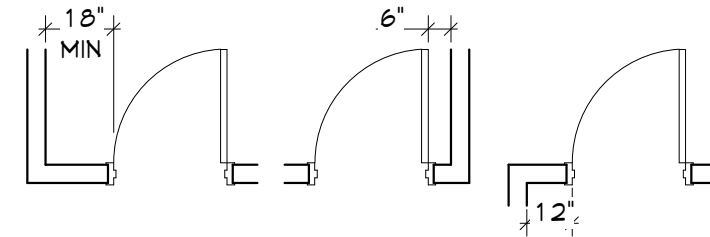
INTERIOR ELEVATION INDICATOR



PLAN GRAPHICS LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW CONCRETE MASONRY WALL
	NEW METAL STUD WALL
	NEW BRICK VENEER
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

FINISHED DOOR OPENINGS SHALL BE LOCATED AS INDICATED BELOW UNO. DIMENSIONS SHOWN ARE CLEAR DIMENSIONS FROM INSIDE OF FRAME TO WALL FINISH.



GENERAL NOTES

- DIMENSIONS ARE GIVEN THUS (UNLESS NOTED OTHERWISE)
A. TO FACE OF MASONRY WALL
B. TO FACE OF METAL STUD
C. TO COLUMN CENTERLINES
D. TO FINISH FACE OF SOFFIT OR CEILING
E. FACE OF EXISTING CONSTRUCTION
- DO NOT SCALE DRAWINGS. IF A DIMENSION IS NOT SHOWN, BRING IT TO THE ATTENTION OF THE ARCHITECT FOR VERIFICATION BEFORE PROCEEDING WITH THE ASSOCIATED WORK.
- WALLS ON COLUMN LINES ARE CENTERED, UNO.
- ALL DIMENSIONS RELATED TO EXISTING CONDITIONS SHALL BE VERIFIED IN FIELD. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK IN THAT AREA.
- LAYOUT OF TOILET FIXTURES AND ACCESSIBILITY CLEARANCES ARE SHOWN AS CLEAR DIMENSION. CONTRACTORS ARE REQUIRED TO COORDINATE LAYOUTS OF PARTITIONS, UTILITY CONNECTIONS, AND THICKNESS OF FINISHES TO ALLOW THESE CLEAR DIMENSIONS.
- ALL ELEVATIONS (X'-X") ARE REFERENCE FROM FIRST FLOOR ELEVATION.
- ALL WOOD BLOCKING WITHIN ROOFING SYSTEM AND WITHIN 2'-0" OF GRADE SHALL BE PRESSURE TREATED.
- ALL FLOOR PENETRATIONS SHALL BE SMOKE-SEALED AND /OR FIRE STOPPED. COORDINATE WITH HVAC FOR SMOKE / FIRE DAMPER REQUIREMENTS.
- FOR INTERIOR PARTITION TYPES, REFER TO DRAWING A101.
- FOR DOOR SCHEDULE, REFER TO DRAWING A101.
- FOR FINISH SCHEDULE, REFER TO DRAWING A101.
- ALL EXPOSED SURFACES OF NEW PARTITIONS AND SOFFITS ARE TO BE FINISHED.
- PROVIDE PATCH TO MATCH EXISTING FINISHES AT ALL WALL REMOVAL AREAS, COORDINATE WITH DEMOLITION DRAWINGS AND SPECIFICATIONS.
- FOR ALL MATERIAL TESTING, REFER TO SPECIFICATION DIVISION 050520.
- ALL CONSTRUCTION SHOWN IS NEW UNLESS NOTED OTHERWISE.

CLARKSTOWN CENTRAL SCHOOL DISTRICT
VARIOUS ELEMENTARY SCHOOLS
MASONRY RECONSTRUCTION

Project Title



REV.	DATE	DESCRIPTION

Drawn By:	CSA
Checked By:	CSA
Proj. #:	151-2101
CSArch Proj. #:	151-2101
Issued for Bid:	1/13/23

Sheet Title

SYMBOLS,
ABBREVIATIONS,
AND MISC

Sheet No.

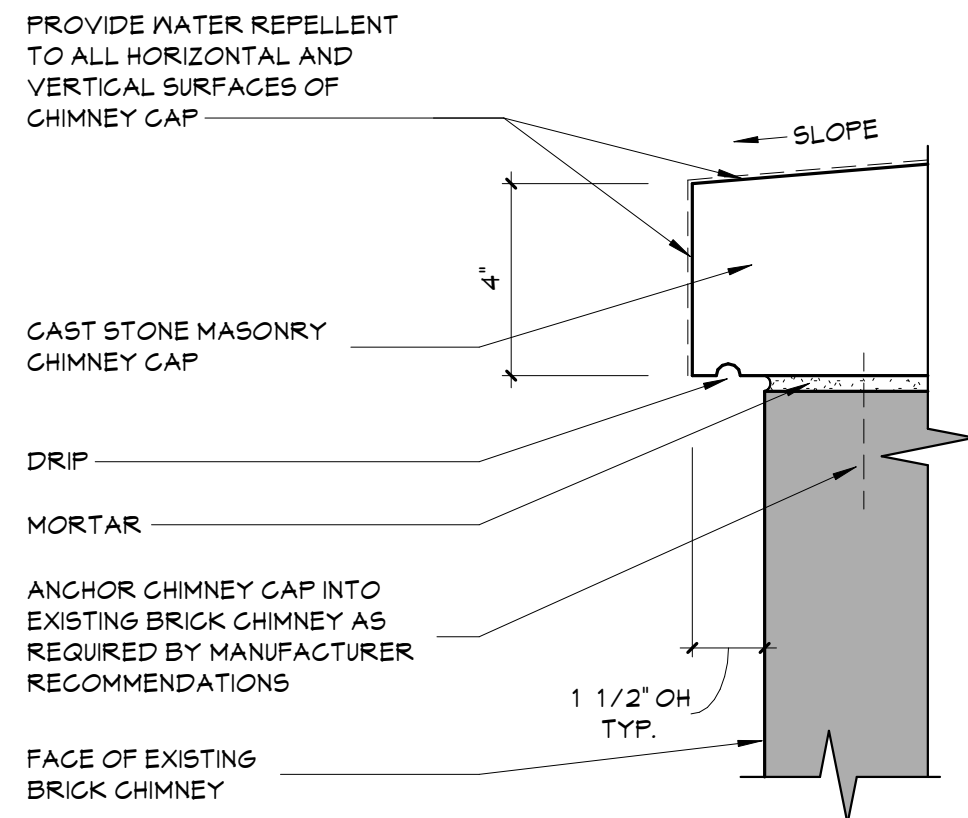
CCSD
G001

CONSTRUCTION DOCUMENTS

C:\Users\Public\Documents\151-2101.00 Clarkstown Playground Rep. & Masonry Rest. 010123.rvt

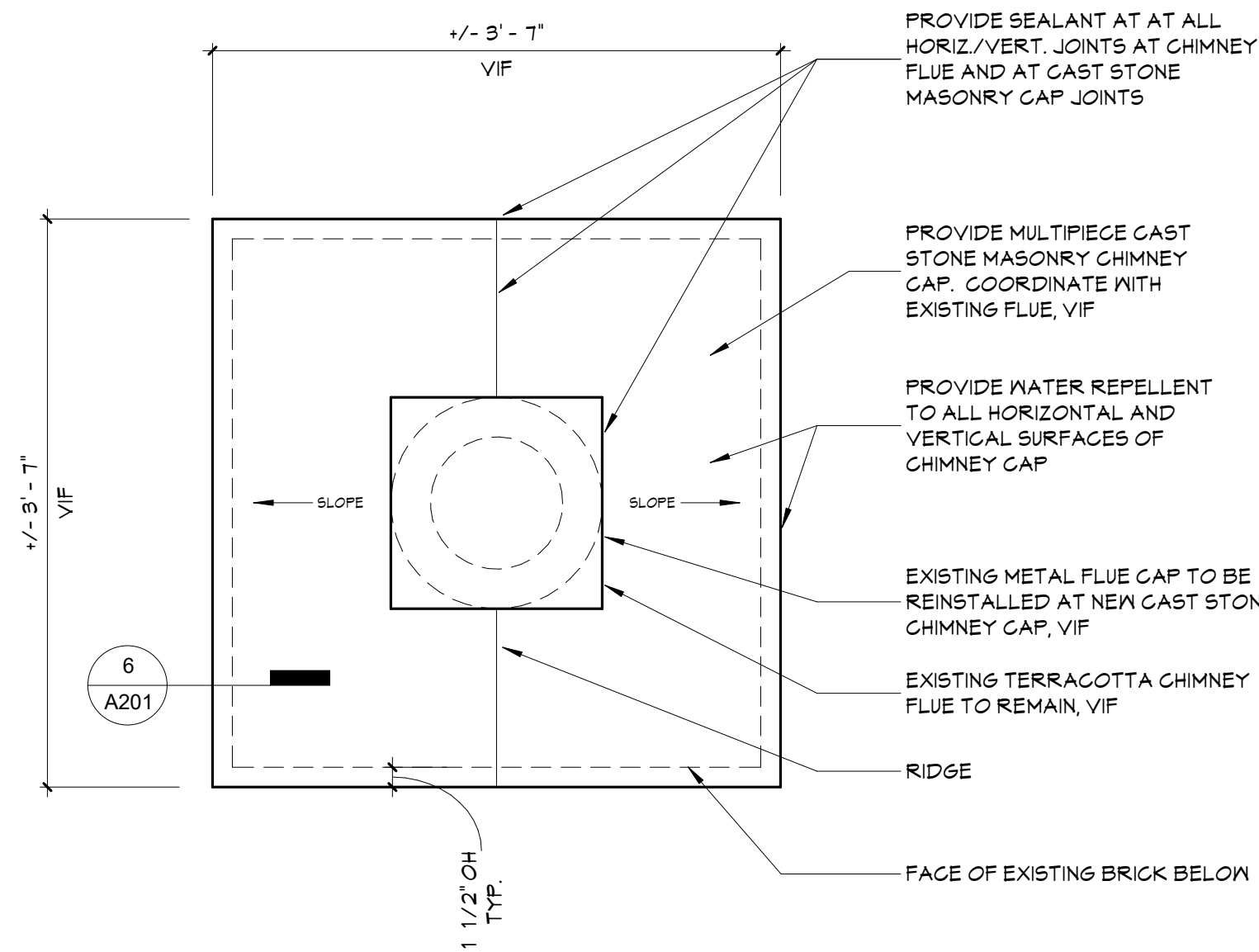
6 CHIMNEY CAP SECTION

A201 NTS



5 CHIMNEY CAP PLAN

A201 NTS



4 CHIMNEY SOUTH ELEVATION

A201 NTS



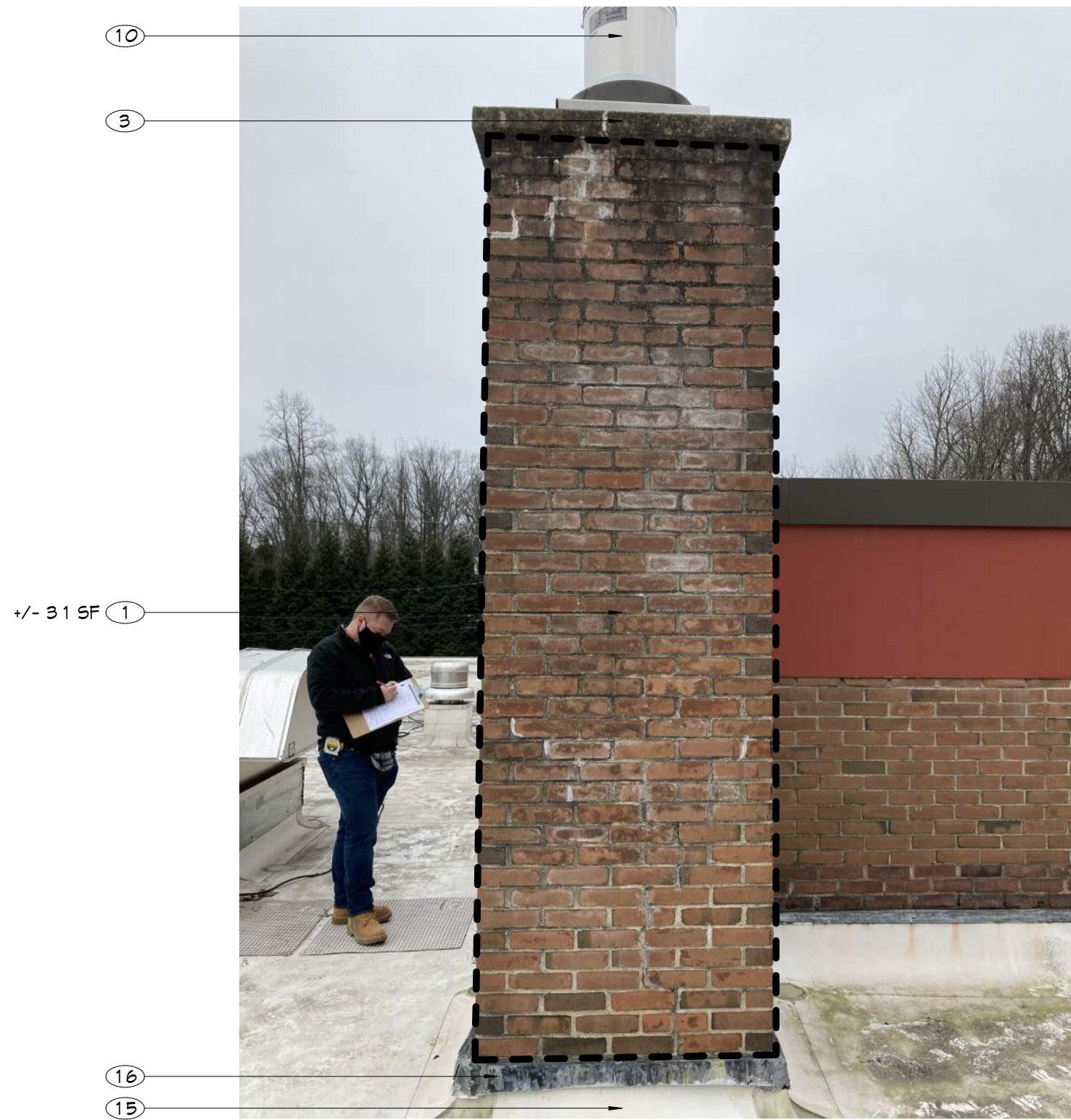
3 CHIMNEY EAST ELEVATION

A201 NTS



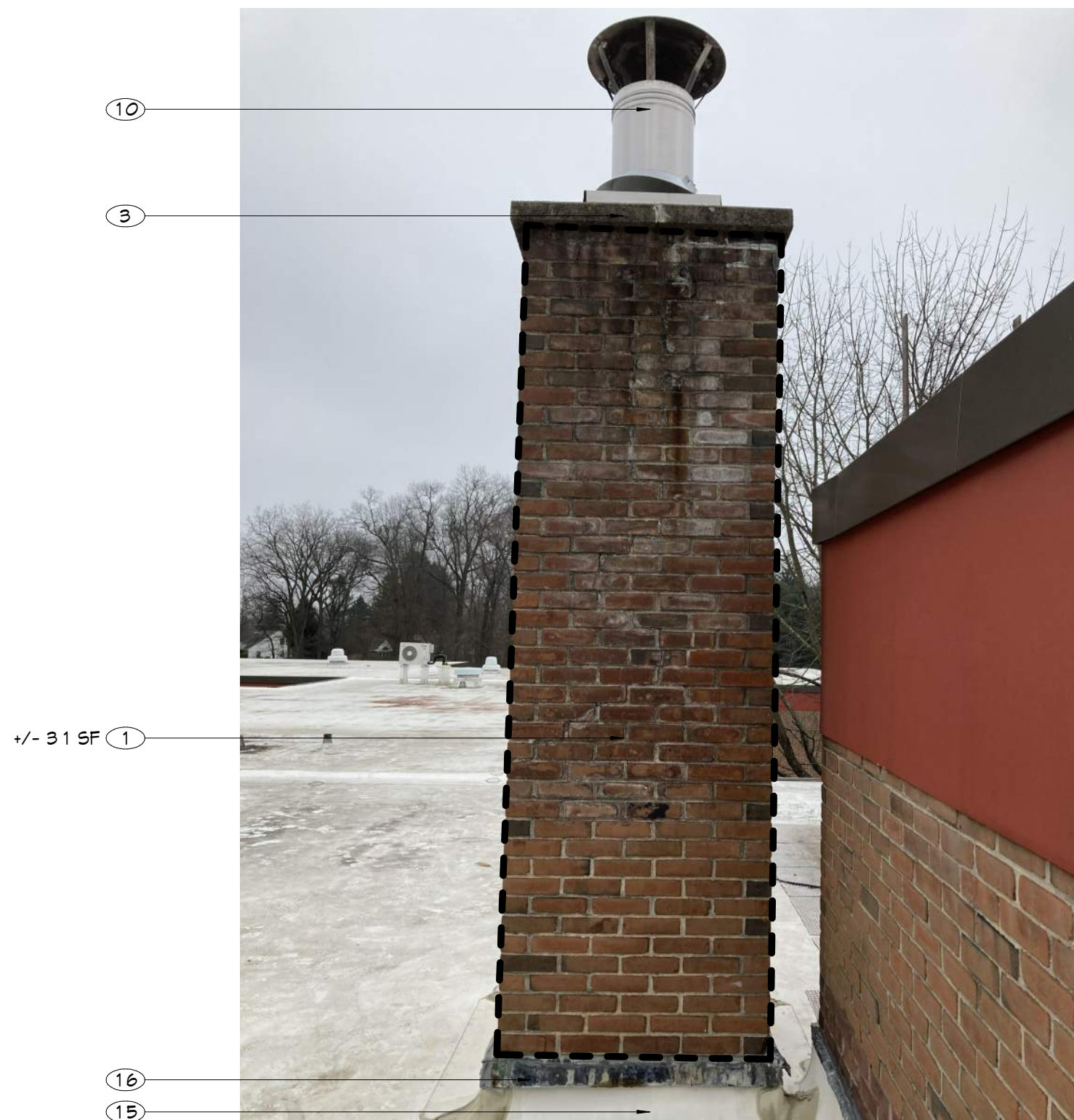
2 CHIMNEY NORTH ELEVATION

A201 NTS



1 CHIMNEY WEST ELEVATION

A201 NTS



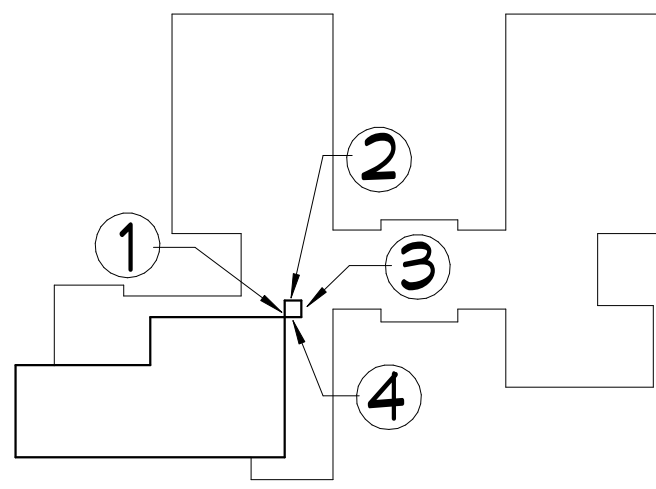
GENERAL NOTES

1. REFER TO SHEET 6001 FOR ADDITIONAL GENERAL NOTES
2. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE INDICATED
3. THE NOTES ON THIS DRAWING ARE TYPICAL UNLESS OTHERWISE INDICATED
4. PROVIDE TEMPORARY SHORING, SCAFFOLDING, BRACING, BARRICADES, AND FALLING DEBRIS PROTECTION AS REQUIRED IN ORDER TO COMPLETE THE WORK. COORDINATE WORK WITH OWNER'S REPRESENTATIVE AS REQUIRED. REMOVE TEMPORARY PROTECTION BARRICADES, SCAFFOLDING, ETC. AT COMPLETION OF PROJECT.

KEY NOTES

1. CLEAN, REPOINT, AND REPAIR BRICK AS REQUIRED WHERE INDICATED. REPLACE MISSING, BROKEN, AND/OR CHIPPED BRICKS AS REQUIRED; TOOTH IN TO MATCH EXISTING COURSING; MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED.
2. CLEAN, REPOINT, AND REPAIR VERTICAL AND HORIZONTAL SURFACES OF ROWLOCK BRICK CHIMNEY CAP AS REQUIRED WHERE INDICATED. REPLACE MISSING, BROKEN, AND/OR CHIPPED BRICKS AS REQUIRED; TOOTH IN TO MATCH EXISTING COURSING; MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED.
3. REMOVE EXISTING CONCRETE CHIMNEY CAP IN ITS ENTIRETY. PROVIDE NEW CAST STONE MASONRY CHIMNEY CAP; REFER TO PLAN AND SECTION DETAILS
4. EXISTING CONCRETE CHIMNEY CAP TO REMAIN. PREPARE SURFACE TO ACCOMMODATE HIGH PERFORMANCE COATING TO HORIZONTAL AND VERTICAL SURFACES OF CHIMNEY CAP
5. PROVIDE CRACK REPAIR TAPE AND INFILL MATERIAL APPLICATION AS REQUIRED AT EXISTING CRACK AS PART THE HIGH PERFORMANCE COATING SYSTEM
6. PROVIDE HIGH PERFORMANCE PRIMERS AND COATINGS TO ALL HORIZONTAL AND VERTICAL SURFACES TO EXISTING CONCRETE CHIMNEY CAP TO REMAIN. PROVIDE QUANTITIES AS INDICATED.
7. REMOVE EXISTING SEALANT AS REQUIRED AT EXISTING CONSTRUCTION JOINT IN ORDER TO CREATE A CLEAN JOINT THAT CAN ACCOMMODATE NEW SEALANT. PROVIDE BACKER ROD AND SEALANT AT EXISTING CONSTRUCTION JOINT TO FILL ITS FULL WIDTH AND HEIGHT IN ITS ENTIRETY. PROVIDE QUANTITIES AS INDICATED.
8. PROVIDE BACKER ROD AND SEALANT AT EXISTING HORIZONTAL AND VERTICAL JOINTS AT EXISTING PRECAST MASONRY CHIMNEY CAP AS INDICATED. PROVIDE QUANTITIES AS INDICATED.
9. EXISTING METAL FLUE CAP TO BE REMOVED, SALVAGED, AND REINSTALLED TO ACCOMMODATE CHIMNEY CAP REPLACEMENT
10. REMOVE EXISTING BRICK VENEER CONSTRUCTION INCLUDING BUT NOT LIMITED TO BRICK, MORTAR, TIES, ANCHORS, REINFORCEMENT, KEEPS, INSULATION, FLASHING, ETC. TO EXISTING BACK-UP WALL CONSTRUCTION. EXISTING BACK-UP WALL CONSTRUCTION TO REMAIN. ARCHITECT TO INSPECT BACK-UP WALL PRIOR TO COMMENCEMENT OF NEW BRICK VENEER WALL CONSTRUCTION.
11. PROVIDE NEW BRICK VENEER WALL CONSTRUCTION WHERE BRICK VENEER CONSTRUCTION WAS REMOVED; TOOTH NEW BRICK VENEER IN TO ADJACENT WALL CONSTRUCTION TO MATCH EXISTING COURSING. MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED. REFER TO WALL SECTION.
12. REMOVE EXISTING WALL MOUNTED LIGHT FIXTURE AND SALVAGE FOR REINSTALLATION. REINSTALL WALL MOUNTED LIGHT FIXTURE IN SAME LOCATION IN COORDINATION WITH NEW BRICK VENEER WALL CONSTRUCTION WORK. VERIFY IN FIELD.
13. REMOVE EXISTING WALL MOUNTED SIGNAGE AND SALVAGE FOR REINSTALLATION. REINSTALL SIGNAGE IN SAME LOCATION IN COORDINATION WITH NEW BRICK VENEER WALL CONSTRUCTION WORK. VERIFY IN FIELD.
14. EXISTING MEMBRANE ROOF FLASHING AND ROOF MEMBRANE TO REMAIN
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17. EXISTING STOREFRONT SYSTEM TO REMAIN
18. EXISTING METAL FASCIA TO REMAIN
19. EXISTING METAL LADDER RUNGS TO REMAIN
20. EXISTING TERRACOTTA CHIMNEY FLUE TO REMAIN
21. PROVIDE SEALANT AT HORIZ. JOINTS AT EXISTING CHIMNEY FLUE AFTER APPLICATION OF HIGH PERFORMANCE COATINGS TO CHIMNEY CAP

KEY PLAN



19 Front St., Newburgh, New York 12550-7601
845.561.3379 www.csarch.com

Consultant

CLARKSTOWN CENTRAL SCHOOL DISTRICT
VARIOUS ELEMENTARY SCHOOLS
MASONRY RECONSTRUCTION

Project Title



DATE	DESCRIPTION

Drawn By: CSA
Checked By: CSA
Proj. #: 50-01-01-86-0-002-015
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Issued for Bid: 1/13/23

Sheet Title
BIRCHWOOD
ELEMENTARY
EXTERIOR
ELEVATIONS

Sheet No.
BWES
A201

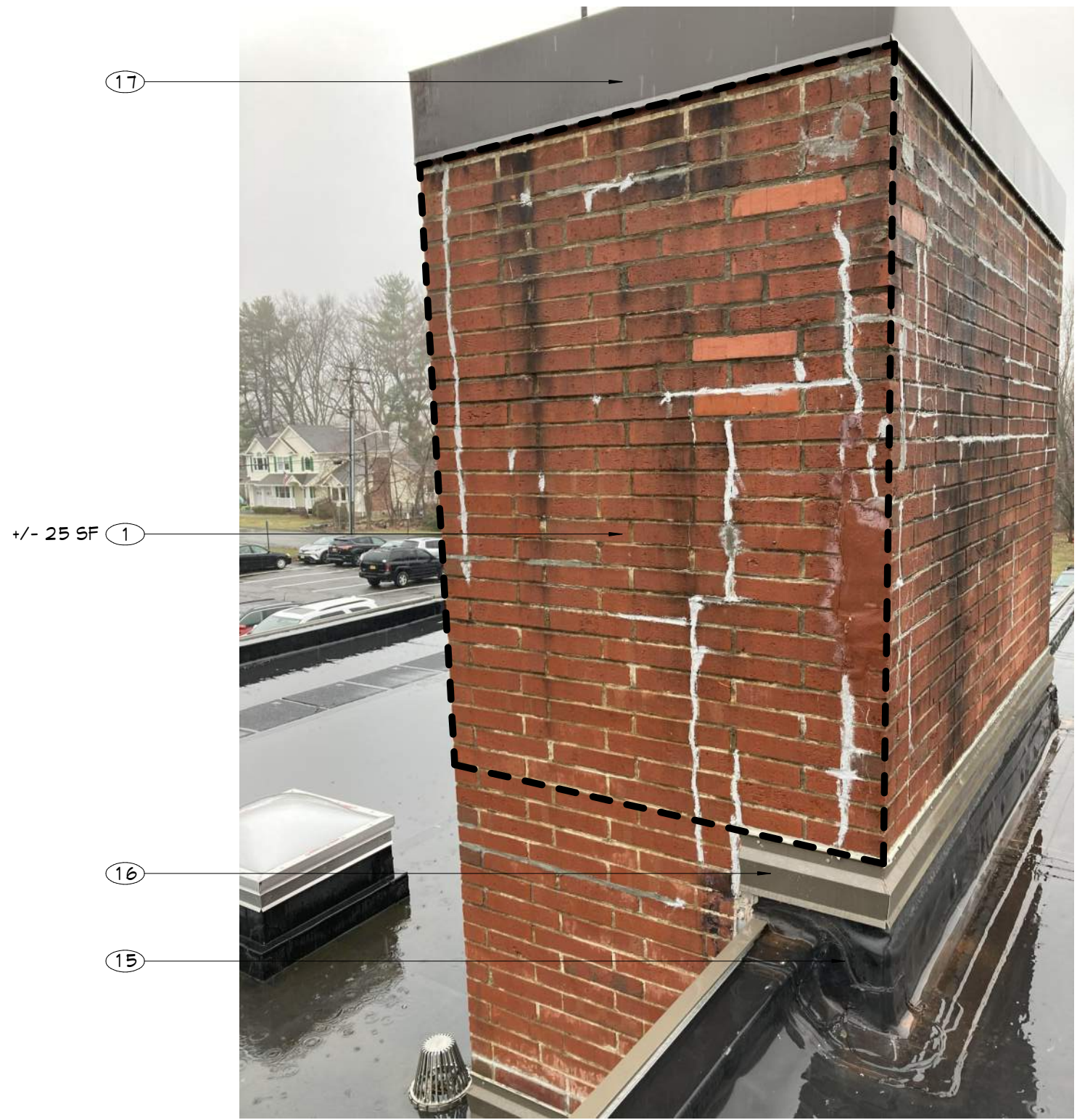
CONSTRUCTION DOCUMENTS

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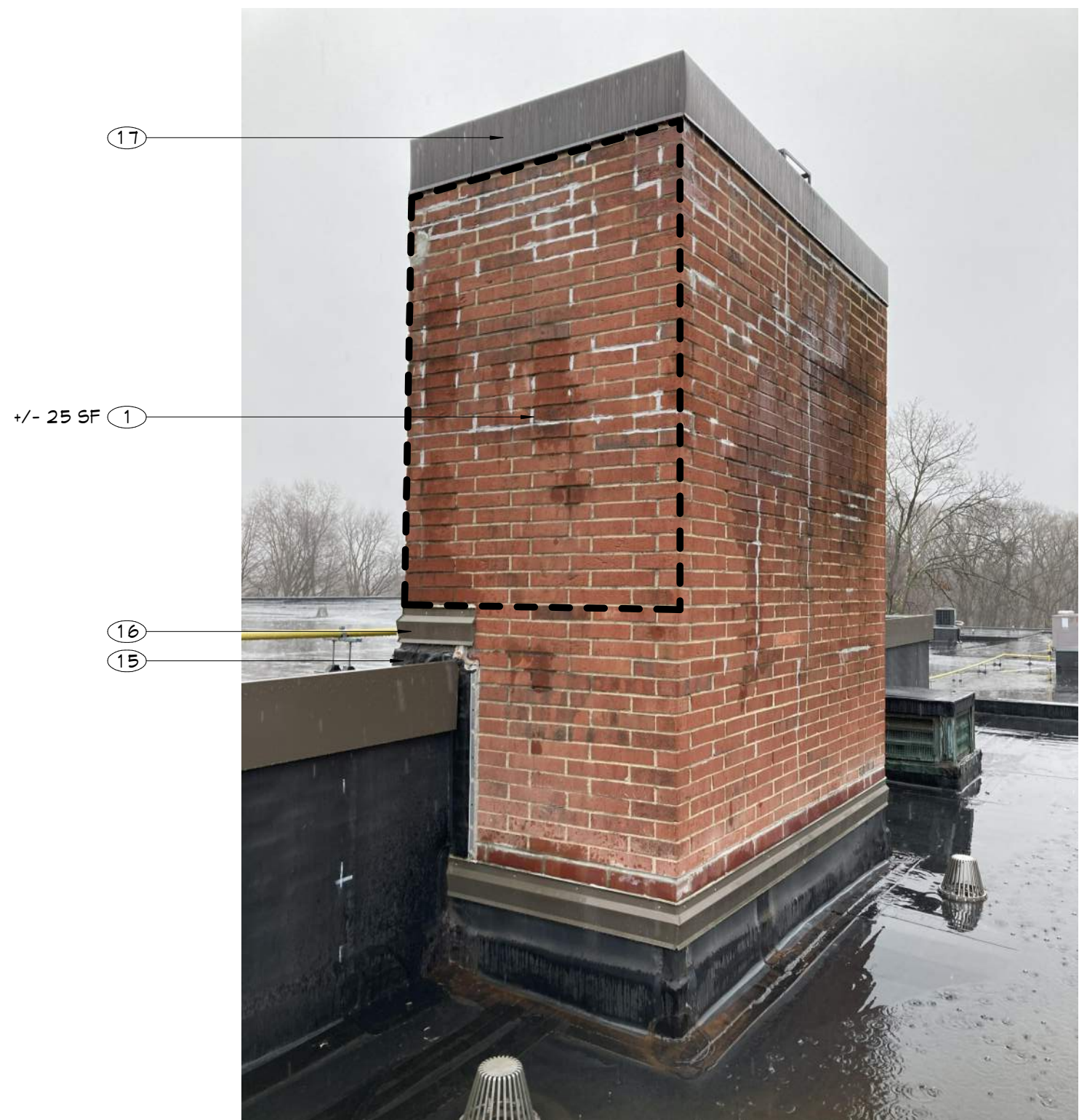
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3 CHIMNEY SOUTH ELEVATION
A202 NTS



2 CHIMNEY EAST ELEVATION
A202 NTS



4 CHIMNEY WEST ELEVATION
A202 NTS



1 CHIMNEY NORTH ELEVATION
A202 NTS

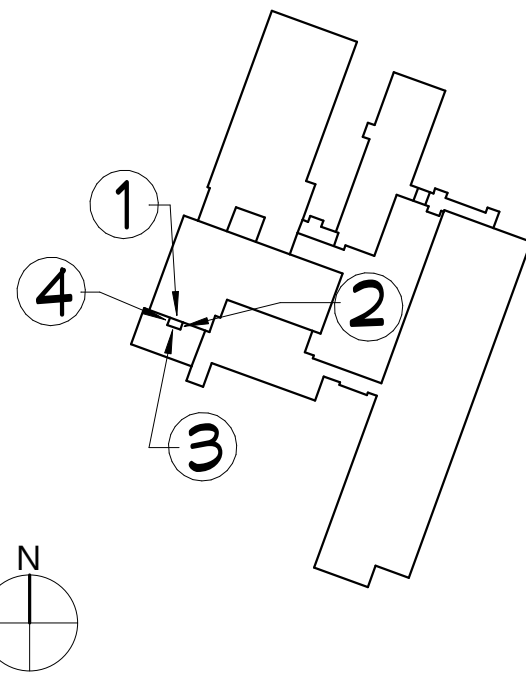
GENERAL NOTES

1. REFER TO SHEET 0001 FOR ADDITIONAL GENERAL NOTES
2. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE INDICATED
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KEY PLAN



19 Front St., Newburgh, New York 12550-7601
845.581.1379 www.csarch.com

Consultant

CLARKSTOWN CENTRAL SCHOOL DISTRICT
VARIOUS ELEMENTARY SCHOOLS
MASONRY RECONSTRUCTION

Project Title



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Drawn By: CSA
Checked By: CSA
Proj. #: 50-01-01-86-0-003-016
CSArch Proj. #: 151-2101
Issued for Bid: 1/13/23

Sheet Title
NEW CITY
ELEMENTARY
EXTERIOR
ELEVATIONS

Sheet No.
NCES
A202

CONSTRUCTION DOCUMENTS

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3 CHIMNEY SOUTH ELEVATION
A203 NTS



5 SOUTH/EAST ELEVATIONS CORNER- OVERALL
A203 NTS



2 CHIMNEY EAST ELEVATION
A203 NTS



4 CHIMNEY WEST ELEVATION
A203 NTS



1 CHIMNEY NORTH ELEVATION
A203 NTS

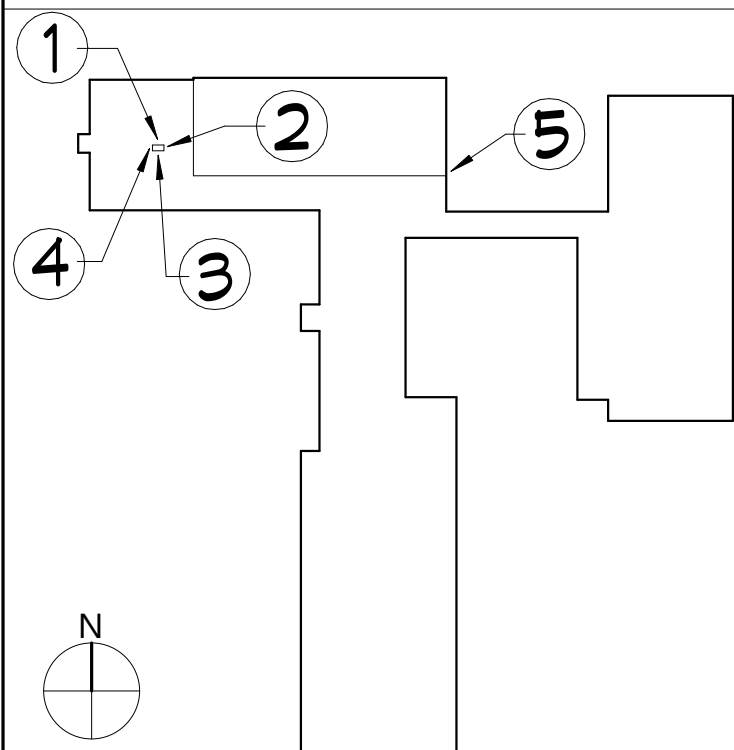
GENERAL NOTES

1. REFER TO SHEET 0001 FOR ADDITIONAL GENERAL NOTES
2. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE INDICATED
3. THE NOTES ON THIS DRAWING ARE TYPICAL UNLESS OTHERWISE INDICATED
4. PROVIDE TEMPORARY SHORING, SCAFFOLDING, BRACING, BARRICADES, AND FALLING DEBRIS PROTECTION AS REQUIRED IN ORDER TO COMPLETE THE WORK. COORDINATE WORK WITH OWNER'S REPRESENTATIVE AS REQUIRED. REMOVE TEMPORARY PROTECTION BARRICADES, SCAFFOLDING, ETC. AT COMPLETION OF PROJECT.

KEY NOTES

1. CLEAN, REPOINT, AND REPAIR BRICK AS REQUIRED WHERE INDICATED. REPLACE MISSING, BROKEN, AND/OR CHIPPED BRICKS AS REQUIRED; TOOTH IN TO MATCH EXISTING COURSE; MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED.
2. CLEAN, REPOINT, AND REPAIR VERTICAL AND HORIZONTAL SURFACES OF ROWLOCK BRICK CHIMNEY CAP AS REQUIRED WHERE INDICATED. REPLACE MISSING, BROKEN, AND/OR CHIPPED BRICKS AS REQUIRED; TOOTH IN TO MATCH EXISTING COURSE; MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED.
3. REMOVE EXISTING CONCRETE CHIMNEY CAP IN ITS ENTIRETY. PROVIDE NEW CAST STONE MASONRY CHIMNEY CAP; REFER TO PLAN AND SECTION DETAILS
4. EXISTING CONCRETE CHIMNEY CAP TO REMAIN. PREPARE SURFACE TO ACCOMMODATE HIGH PERFORMANCE COATING TO HORIZONTAL AND VERTICAL SURFACES OF CHIMNEY CAP
5. PROVIDE CRACK REPAIR TAPE AND INFILL MATERIAL APPLICATION AS REQUIRED AT EXISTING CRACK AS PART THE HIGH PERFORMANCE COATING SYSTEM
6. PROVIDE HIGH PERFORMANCE PRIMERS AND COATINGS TO ALL HORIZONTAL AND VERTICAL SURFACES TO EXISTING CONCRETE CHIMNEY CAP TO REMAIN. PROVIDE QUANTITIES AS INDICATED.
7. REMOVE EXISTING SEALANT AS REQUIRED AT EXISTING CONSTRUCTION JOINT IN ORDER TO CREATE A CLEAN JOINT THAT CAN ACCOMMODATE NEW SEALANT. PROVIDE BACKER ROD AND SEALANT AT EXISTING CONSTRUCTION JOINT TO FILL ITS FULL WIDTH AND HEIGHT IN ITS ENTIRETY. PROVIDE QUANTITIES AS INDICATED.
8. PROVIDE BACKER ROD AND SEALANT AT EXISTING HORIZONTAL AND VERTICAL JOINTS AT EXISTING PRECAST MASONRY CHIMNEY CAP AS INDICATED. PROVIDE QUANTITIES AS INDICATED.
9. EXISTING METAL FLUE CAP TO BE REMOVED, SALVAGED, AND REINSTALLED TO ACCOMMODATE CHIMNEY CAP REPLACEMENT
10. REMOVE EXISTING BRICK VENEER CONSTRUCTION INCLUDING BUT NOT LIMITED TO BRICK, MORTAR, TIES, ANCHORS, REINFORCEMENT, KEEPS, INSULATION, FLASHING, ETC. TO EXISTING BACK-UP WALL CONSTRUCTION. EXISTING BACK-UP WALL CONSTRUCTION TO REMAIN. ARCHITECT TO INSPECT BACK-UP WALL PRIOR TO COMMENCEMENT OF NEW BRICK VENEER WALL CONSTRUCTION.
11. PROVIDE NEW BRICK VENEER WALL CONSTRUCTION WHERE BRICK VENEER CONSTRUCTION WAS REMOVED. TOOTH NEW BRICK VENEER IN TO ADJACENT WALL CONSTRUCTION TO MATCH EXISTING COURSE. MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED. REFER TO WALL SECTION.
12. REMOVE EXISTING WALL MOUNTED LIGHT FIXTURE AND SALVAGE FOR REINSTALLATION. REINSTALL WALL MOUNTED LIGHT FIXTURE IN SAME LOCATION IN COORDINATION WITH NEW BRICK VENEER WALL CONSTRUCTION WORK. VERIFY IN FIELD.
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18. EXISTING METAL FASCIA TO REMAIN
19. EXISTING METAL LADDER RUNGS TO REMAIN
20. EXISTING TERRACOTTA CHIMNEY FLUE TO REMAIN
21. PROVIDE SEALANT AT HORIZ. JOINTS AT EXISTING CHIMNEY FLUE AFTER APPLICATION OF HIGH PERFORMANCE COATINGS TO CHIMNEY CAP

KEY PLAN



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845.561.1379 www.csarch.com

CSARCH

Consultant

CLARKSTOWN CENTRAL SCHOOL DISTRICT
VARIOUS ELEMENTARY SCHOOLS
MASONRY RECONSTRUCTION

Project Title



DATE	DESCRIPTION

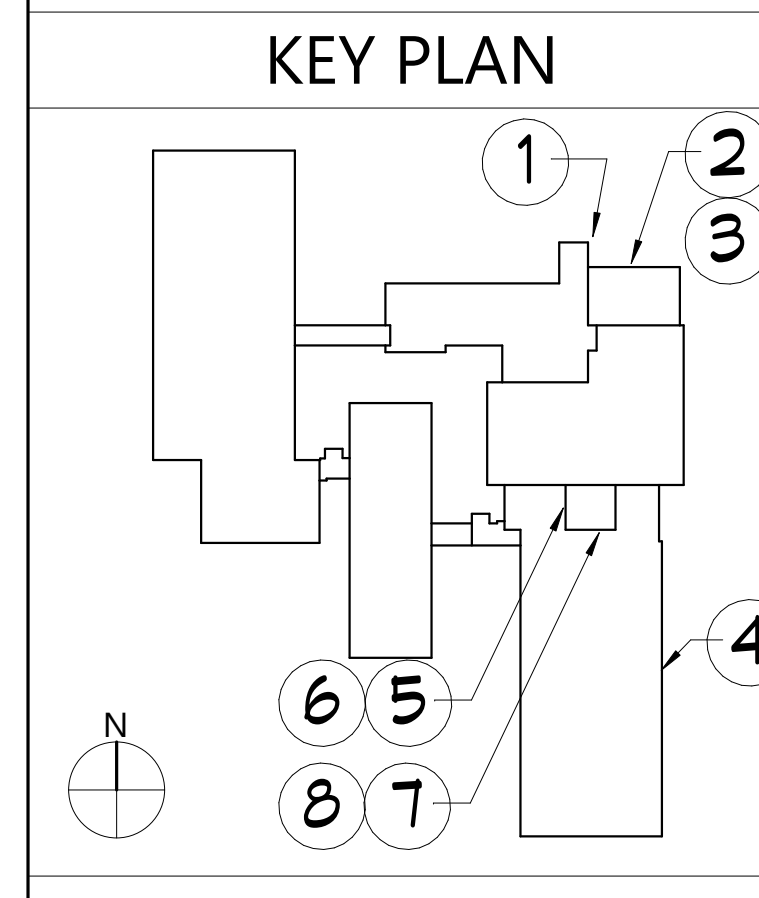
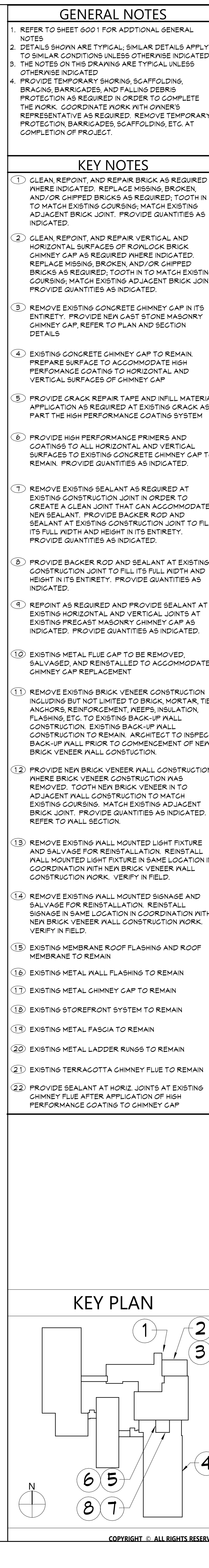
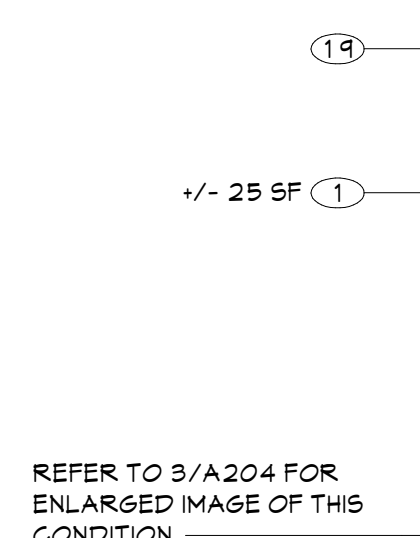
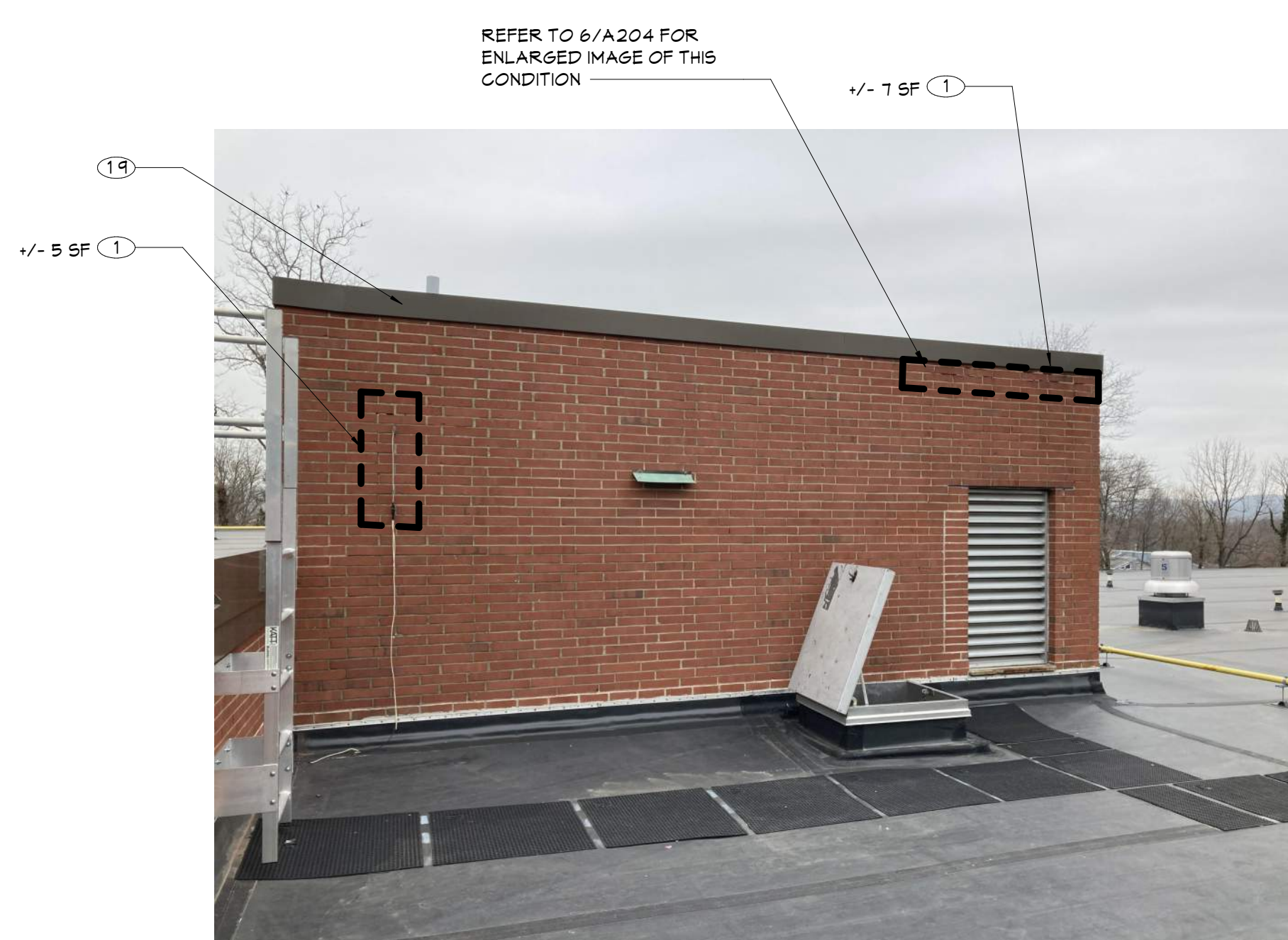
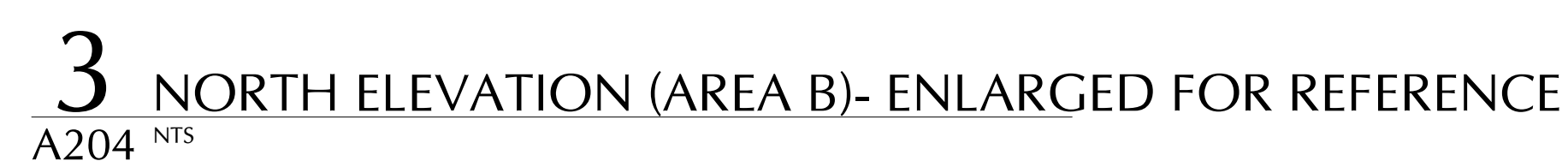
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CSArch Proj. #: 151-2101
Issued for Bid: 1/13/23

Sheet Title
LITTLE TOR
ELEMENTARY
EXTERIOR
ELEVATIONS

Sheet No.
LTES
A203

CONSTRUCTION DOCUMENTS

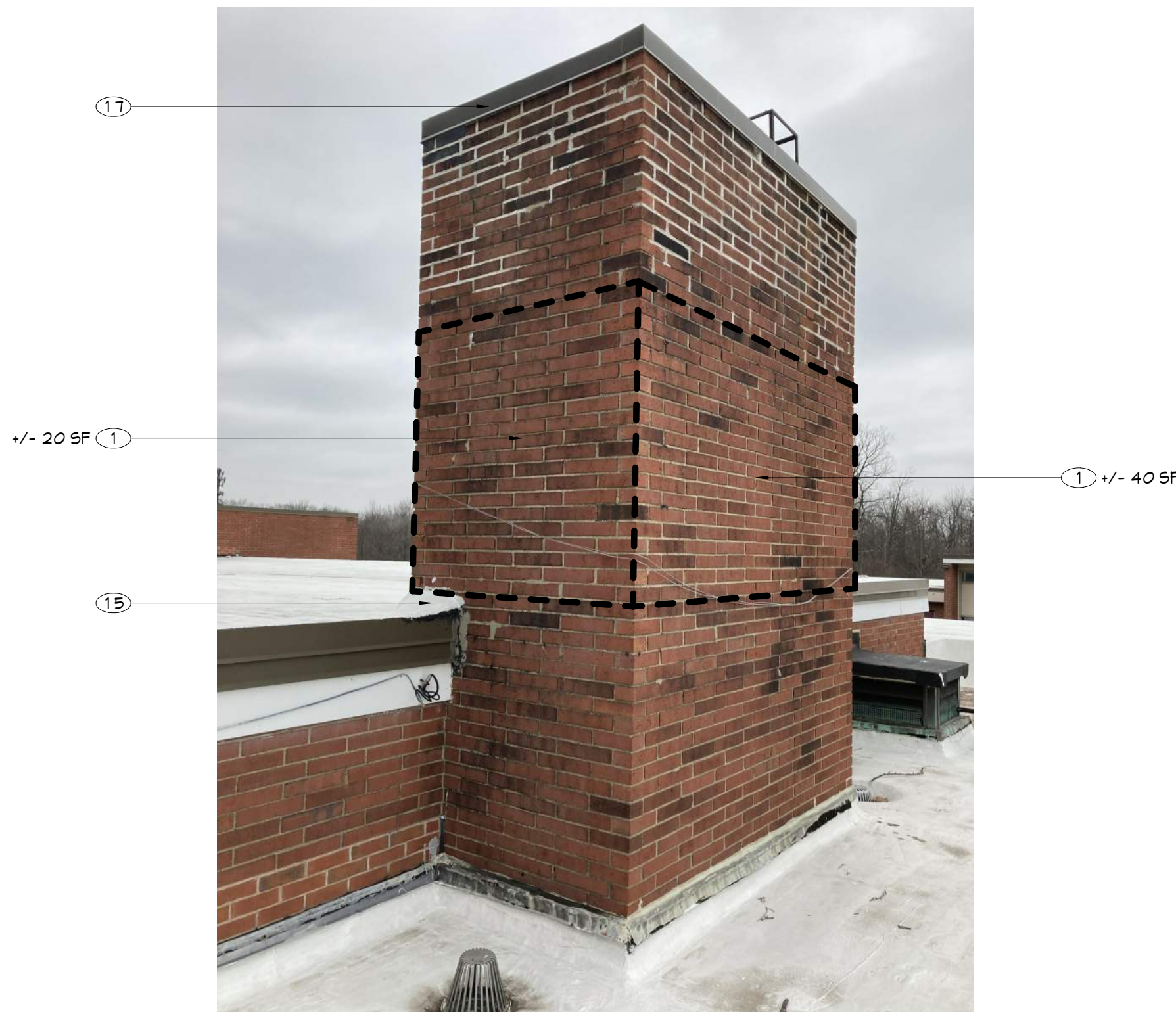
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2 CHIMNEY NORTH/EAST ELEVATIONS
A205 NTS



1 CHIMNEY SOUTH/ WEST ELEVATIONS
A205 NTS

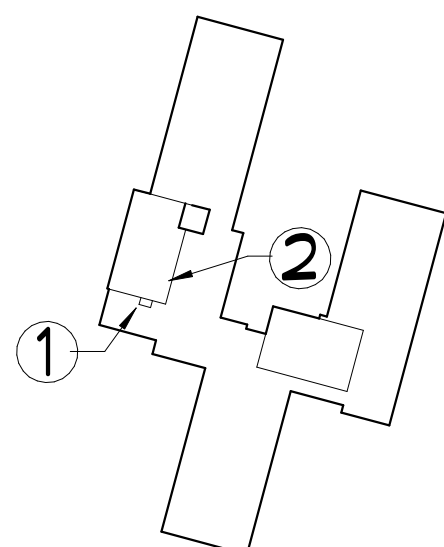
GENERAL NOTES

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2. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE INDICATED
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KEY NOTES

1. CLEAN, REPOINT, AND REPAIR BRICK AS REQUIRED WHERE INDICATED. REPLACE MISSING, BROKEN, AND/OR CHIPPED BRICKS AS REQUIRED; TOOTH IN TO MATCH EXISTING COURSING; MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED.
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5. PROVIDE CRACK REPAIR TAPE AND INFILL MATERIAL APPLICATION AS REQUIRED AT EXISTING CRACK AS PART THE HIGH PERFORMANCE COATING SYSTEM
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22. PROVIDE SEALANT AT HORIZ. JOINTS AT EXISTING CHIMNEY FLUE AFTER APPLICATION OF HIGH PERFORMANCE COATINGS TO CHIMNEY CAP

KEY PLAN



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CSARCH

Consultant

CLARKSTOWN CENTRAL SCHOOL DISTRICT
VARIOUS ELEMENTARY SCHOOLS
MASONRY RECONSTRUCTION

Project Title



REV.	DATE	DESCRIPTION

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Checked By: CSA
Proj. #: 50-01-01-86-0-007-002
CSArch Proj. #: 151-2101
Issued for Bid: 1/13/23

Sheet Title

BARDONIA
ELEMENTARY
EXTERIOR
ELEVATIONS

Sheet No.

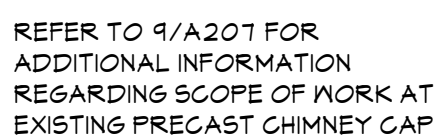
BDES
A205

CONSTRUCTION DOCUMENTS

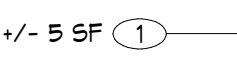
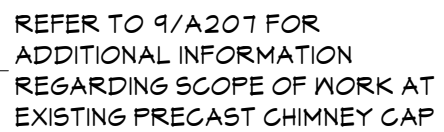
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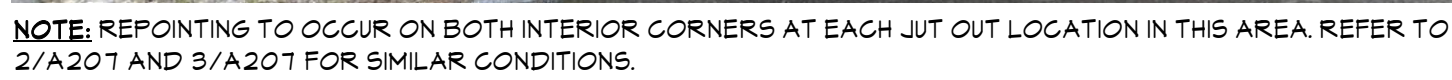
7 CHIMNEY CAP SECTION



6 CHIMNEY NORTH/EAST ELEVATIONS



5 EAST ELEVATION (AREA A)



4 WEST ELEVATION (AREA B)
A207 NTS

1 WEST ELEVATION (AREA A)

1. REFER TO SHEET 6001 FOR ADDITIONAL GENERAL NOTES
2. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE INDICATED
3. THE NOTES ON THIS DRAWING ARE TYPICAL UNLESS OTHERWISE INDICATED
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- ① CLEAN, REPOINT, AND REPAIR BRICK AS REQUIRED WHERE INDICATED. REPLACE MISSING, BROKEN, AND/OR CHIPPED BRICKS AS REQUIRED; TOOTH IN TO MATCH EXISTING COURSEING; MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED.
- ② CLEAN, REPOINT, AND REPAIR VERTICAL AND HORIZONTAL SURFACES OF RYONLOCK BRICK CHIMNEY GAP AS REQUIRED WHERE INDICATED. REPLACE MISSING, BROKEN, AND/OR CHIPPED BRICKS AS REQUIRED; TOOTH IN TO MATCH EXISTING COURSEING; MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED.

- 3 REMOVE EXISTING CONCRETE CHIMNEY CAP IN ITS ENTIRETY. PROVIDE NEW CAST STONE MASONRY CHIMNEY CAP. REFER TO PLAN AND SECTION DETAILS
- 4 EXISTING CONCRETE CHIMNEY CAP TO REMAIN. PREPARE SURFACE TO ACCOMMODATE HIGH PERFORMANCE COATING TO HORIZONTAL AND VERTICAL SURFACES OF CHIMNEY CAP
- 5 PROVIDE CRACK REPAIR TAPE AND INFILL MATERIAL APPLICATION AS REQUIRED AT EXISTING CRACK AS PART THE HIGH PERFORMANCE COATING SYSTEM
- 6 PROVIDE HIGH PERFORMANCE PRIMERS AND COATINGS TO ALL HORIZONTAL AND VERTICAL SURFACES TO EXISTING CONCRETE CHIMNEY CAP TO REMAIN. PROVIDE QUANTITIES AS INDICATED
- 7 REMOVE EXISTING SEALANT AS REQUIRED AT EXISTING CONSTRUCTION JOINT IN ORDER TO CREATE A CLEAN JOINT THAT CAN ACCOMMODATE NEW SEALANT. PROVIDE BACKER ROD AND SEALANT AT EXISTING CONSTRUCTION JOINT TO FILL ITS FULL WIDTH AND HEIGHT IN ITS ENTIRETY. PROVIDE QUANTITIES AS INDICATED
- 8 PROVIDE BACKER ROD AND SEALANT AT EXISTING CONSTRUCTION JOINT TO FILL ITS FULL WIDTH AND HEIGHT IN ITS ENTIRETY. PROVIDE QUANTITIES AS INDICATED
- 9 REPOINT AS REQUIRED AND PROVIDE SEALANT AT EXISTING HORIZONTAL AND VERTICAL JOINTS AT EXISTING PRECAST MASONRY CHIMNEY CAP AS INDICATED. PROVIDE QUANTITIES AS INDICATED
- 10 EXISTING METAL FLUE CAP TO BE REMOVED, SALVAGED, AND REINSTALLED TO ACCOMMODATE CHIMNEY CAP REPLACEMENT
- 11 REMOVE EXISTING BRICK VENEER CONSTRUCTION WHERE BRICK VENEER CONSTRUCTION IS NOT ANCHORS, REINFORCEMENT, JEEPS, INSULATION, FLASHING, ETC. TO EXISTING BACK-UP WALL CONSTRUCTION. EXISTING BACK-UP WALL CONSTRUCTION TO REMAIN. ARCHITECT TO INSPECT BACK-UP WALL PRIOR TO COMMENCEMENT OF NEW BRICK VENEER WALL CONSTRUCTION
- 12 PROVIDE NEW BRICK VENEER WALL CONSTRUCTION WHERE BRICK VENEER CONSTRUCTION WAS REMOVED. TOOTH NEW BRICK VENEER IN TO ADJACENT WALL CONSTRUCTION TO MATCH EXISTING COURSES. MATCH EXISTING ADJACENT BRICK MATERIAL. PROVIDE QUANTITIES AS INDICATED. REFER TO WALL SECTION.
- 13 REMOVE EXISTING WALL MOUNTED LIGHT FIXTURE AND SALVAGE FOR REINSTALLATION. REINSTALL WALL MOUNTED LIGHT AFTER APPLICATION OF HIGH PERFORMANCE COATING TO CHIMNEY CAP CONSTRUCTION WORK. VERIFY IN FIELD.
- 14 REMOVE EXISTING WALL MOUNTED SIGNAGE AND SALVAGE FOR REINSTALLATION. REINSTALL SIGNAGE IN SAME LOCATION IN COORDINATION WITH NEW BRICK VENEER WALL CONSTRUCTION WORK. VERIFY IN FIELD.
- 15 EXISTING MEMBRANE ROOF FLASHING AND ROOF MEMBRANE TO REMAIN
- 16 EXISTING METAL WALL FLASHING TO REMAIN
- 17 EXISTING METAL CHIMNEY CAP TO REMAIN
- 18 EXISTING STRENGTH SYSTEM TO REMAIN
- 19 EXISTING METAL FASCIA TO REMAIN
- 20 EXISTING METAL LADDER RUNGS TO REMAIN
- 21 EXISTING TERRACOTTA CHIMNEY FLUE TO REMAIN
- 22 PROVIDE SEALANT AT HORIZ. JOINTS AT EXISTING CHIMNEY FLUE AFTER APPLICATION OF HIGH PERFORMANCE COATING TO CHIMNEY CAP

A diagram of a building layout with eight numbered rooms. The rooms are arranged in a complex, interconnected shape. Room 1 is at the top left, connected to rooms 2, 3, and 4. Room 2 is below room 1, connected to rooms 1, 3, and 5. Room 3 is below room 2, connected to rooms 2 and 4. Room 4 is at the top right, connected to rooms 1, 2, 3, and 5. Room 5 is in the center, connected to rooms 2, 4, 6, and 7. Room 6 is at the bottom left, connected to rooms 5 and 7. Room 7 is at the bottom right, connected to rooms 5, 6, and 8. Room 8 is at the bottom center, connected to rooms 5 and 7. A compass rose is located in the bottom left corner, indicating North (N) is towards the top left.

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Consultant

CLARKSTOWN CENTRAL SCHOOL DISTRICT
VARIOUS ELEMENTARY SCHOOLS
MASONRY RECONSTRUCTION

Project Title



Drawn By:	CSA
Checked By:	Checker
Proj. #:	50-01-01-06-0-016-016
CSArch Proj. #:	151-2101
Issued for Bid:	1/13/23

Sheet Title

WOODGLEN
ELEMENTARY
EXTERIOR
ELEVATIONS

Sheet No.

WGES
A207

CONSTRUCTION DOCUMENTS

CLARKSTOWN CENTRAL SCHOOL DISTRICT
VARIOUS ELEMENTARY SCHOOLS
MASONRY RECONSTRUCTION

Project Title



	DATE	DESCRIPTION
Drawn By:		CSA
Checked By:		CSA
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CSArch Proj. #:		151-2101
Issued for Bid:		1/19/23

Sheet Title

LAKEWOOD
ELEMENTARY
EXTERIOR
ELEVATIONS

Sheet No. LWES
A208

CONSTRUCTION DOCUMENTS

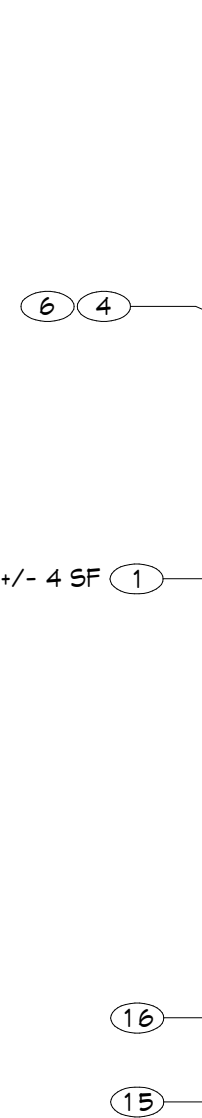
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2. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE INDICATED
3. THE NOTES ON THIS DRAWING ARE TYPICAL UNLESS OTHERWISE INDICATED
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- 2) CLEAN, REPOINT, AND REPAIR VERTICAL AND HORIZONTAL SURFACES OF ROYAL DUTCH BRICK CHIMNEY CAP AS REQUIRED WHERE INDICATED. REPLACE MISSING, BROKEN, AND/OR CHIPPED AND/OR CHIPPED BRICKS AS REQUIRED, TOOTH IN TO MATCH EXISTING COURSE; MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED.
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- 13) REMOVE EXISTING MALL MOUNTED LIGHT FIXTURE AND BASE FOR REAPPLICATION TO MALL MALL MOUNTED LIGHT FIXTURE IN SAME LOCATION IN COORDINATION WITH NEW BRICK VENEER MALL CONSTRUCTION WORK. VERIFY IN FIELD.
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- 20) EXISTING METAL LADDER RUNGS TO REMAIN
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- 22) PROVIDE SEALANT AT HORIZ. JOINTS AT EXISTING CHIMNEY FLUE AT HIGH PERFORMANCE COATINGS TO CHIMNEY CAP

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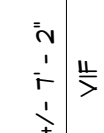
3 CHIMNEY WEST ELEVATION



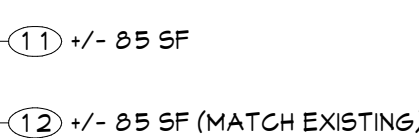
2 CHIMNEY SOUTH ELEVATION



1 CHIMNEY NORTH/EAST ELEVATIONS



8 EAST ELEVATION (AREA A)- WALL SECTION (TYP.)
A208 NTS



REFER TO 8/A208 WALL
SECTION FOR ADDITIONAL
INFORMATION

7 EAST ELEVATION (AREA A)
A208 NTS



PROVIDE SEALANT AT EXISTING
— CRACK AT TERRACOTTA CHIMNEY
FLUE

5 CHIMNEY FLUE



4 CHIMNEY CAP



C:\Users\Public\Documents\151-2101.00 Clarkstown Playground Rep. & Masonry Rest. Jimilee313.rvt

REFER TO 2/A209
FOR CAP TOTAL ②

REFER TO ELEVATIONS
FOR SFT OTALS PER SIDE OF CHIMNEY ①

②①



4 CHIMNEY CAP AREA- ENLARGED
A207 NTS

REFER TO 2/A209
FOR CAP TOTAL ②

REFER TO ELEVATIONS
FOR SF TOTALS PER SIDE OF CHIMNEY ①

②①



REFER TO 2/A209
FOR CAP TOTAL ②

① +/- 22 SF

② +/- 25 SF
CAP TOTAL



3 CHIMNEY SOUTH/EAST ELEVATIONS
A209 NTS

② +/- 25 SF
CAP TOTAL

① +/- 22 SF

②①



2 CHIMNEY WEST ELEVATION
A209 NTS

REFER TO 2/A209
FOR CAP TOTAL ②

① +/- 22 SF

②①



1 CHIMNEY NORTH ELEVATION
A209 NTS

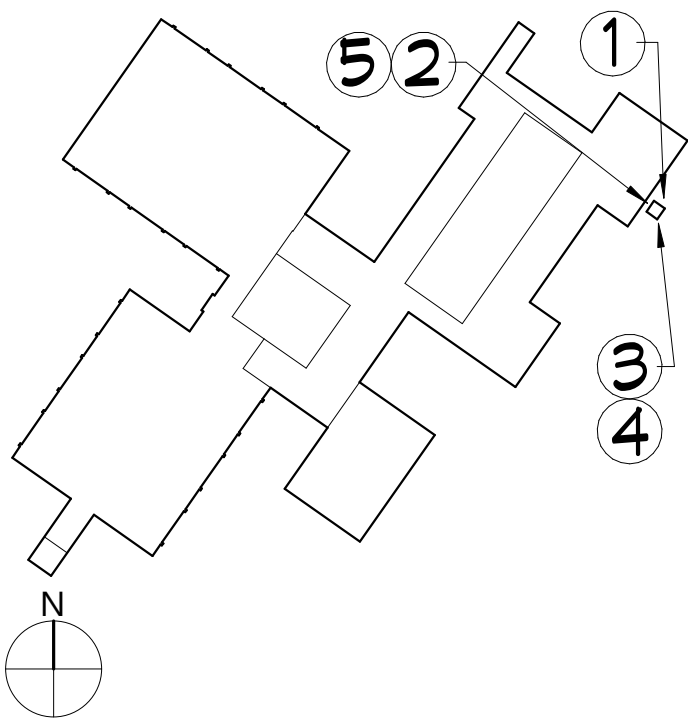
GENERAL NOTES

1. REFER TO SHEET 6001 FOR ADDITIONAL GENERAL NOTES
2. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE INDICATED
3. THE NOTES ON THIS DRAWING ARE TYPICAL UNLESS OTHERWISE INDICATED
4. PROVIDE TEMPORARY SHORING, SCAFFOLDING, BRACING, BARRICADES, AND FALLING DEBRIS PROTECTION AS REQUIRED IN ORDER TO COMPLETE THE WORK. COORDINATE WORK WITH OWNER'S REPRESENTATIVE AS REQUIRED. REMOVE TEMPORARY PROTECTION BARRICADES, SCAFFOLDING, ETC. AT COMPLETION OF PROJECT.

KEY NOTES

- ① CLEAN, REPOINT, AND REPAIR BRICK AS REQUIRED WHERE INDICATED. REPLACE MISSING, BROKEN, AND/OR CHIPPED BRICKS AS REQUIRED; TOOTH IN TO MATCH EXISTING COURSING; MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED.
- ② CLEAN, REPOINT, AND REPAIR VERTICAL AND HORIZONTAL SURFACES OF ROWLOCK BRICK CHIMNEY CAP AS REQUIRED WHERE INDICATED. REPLACE MISSING, BROKEN, AND/OR CHIPPED BRICKS AS REQUIRED; TOOTH IN TO MATCH EXISTING COURSING; MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED.
- ③ REMOVE EXISTING CONCRETE CHIMNEY CAP IN ITS ENTIRETY. PROVIDE NEW CAST STONE MASONRY CHIMNEY CAP; REFER TO PLAN AND SECTION DETAILS
- ④ EXISTING CONCRETE CHIMNEY CAP TO REMAIN. PREPARE SURFACE TO ACCOMMODATE HIGH PERFORMANCE COATING TO HORIZONTAL AND VERTICAL SURFACES OF CHIMNEY CAP
- ⑤ PROVIDE CRACK REPAIR TAPE AND INFILL MATERIAL APPLICATION AS REQUIRED AT EXISTING CRACK AS PART THE HIGH PERFORMANCE COATING SYSTEM
- ⑥ PROVIDE HIGH PERFORMANCE PRIMERS AND COATINGS TO ALL HORIZONTAL AND VERTICAL SURFACES TO EXISTING CONCRETE CHIMNEY CAP TO REMAIN. PROVIDE QUANTITIES AS INDICATED.
- ⑦ REMOVE EXISTING SEALANT AS REQUIRED AT EXISTING CONSTRUCTION JOINT IN ORDER TO CREATE A CLEAN JOINT THAT CAN ACCOMMODATE NEW SEALANT. PROVIDE BACKER ROD AND SEALANT AT EXISTING CONSTRUCTION JOINT TO FILL ITS FULL WIDTH AND HEIGHT IN ITS ENTIRETY. PROVIDE QUANTITIES AS INDICATED.
- ⑧ PROVIDE BACKER ROD AND SEALANT AT EXISTING CONSTRUCTION JOINT TO FILL ITS FULL WIDTH AND HEIGHT IN ITS ENTIRETY. PROVIDE QUANTITIES AS INDICATED.
- ⑨ REPOINT AS REQUIRED AND PROVIDE SEALANT AT EXISTING HORIZONTAL AND VERTICAL JOINTS AT EXISTING PRECAST MASONRY CHIMNEY CAP AS INDICATED. PROVIDE QUANTITIES AS INDICATED.
- ⑩ EXISTING METAL FLUE CAP TO BE REMOVED, SALVAGED, AND REINSTALLED TO ACCOMMODATE CHIMNEY CAP REPLACEMENT
- ⑪ REMOVE EXISTING BRICK VENEER CONSTRUCTION INCLUDING BUT NOT LIMITED TO BRICK, MORTAR, TIES, ANCHORS, REINFORCEMENT, KEEPS, INSULATION, FLASHING, ETC. TO EXISTING BACK-UP WALL CONSTRUCTION. EXISTING BACK-UP WALL CONSTRUCTION TO REMAIN. ARCHITECT TO INSPECT BACK-UP WALL PRIOR TO COMMENCEMENT OF NEW BRICK VENEER WALL CONSTRUCTION.
- ⑫ PROVIDE NEW BRICK VENEER WALL CONSTRUCTION WHERE BRICK VENEER CONSTRUCTION WAS REMOVED; TOOTH NEW BRICK VENEER IN TO ADJACENT WALL CONSTRUCTION TO MATCH EXISTING COURSING. MATCH EXISTING ADJACENT BRICK JOINT. PROVIDE QUANTITIES AS INDICATED. REFER TO WALL SECTION.
- ⑬ REMOVE EXISTING WALL MOUNTED LIGHT FIXTURE AND SALVAGE FOR REINSTALLATION. REINSTALL WALL MOUNTED LIGHT FIXTURE IN SAME LOCATION IN COORDINATION WITH NEW BRICK VENEER WALL CONSTRUCTION WORK. VERIFY IN FIELD.
- ⑭ REMOVE EXISTING WALL MOUNTED SIGNAGE AND SALVAGE FOR REINSTALLATION. REINSTALL SIGNAGE IN SAME LOCATION IN COORDINATION WITH NEW BRICK VENEER WALL CONSTRUCTION WORK. VERIFY IN FIELD.
- ⑮ EXISTING MEMBRANE ROOF FLASHING AND ROOF MEMBRANE TO REMAIN
- ⑯ EXISTING METAL WALL FLASHING TO REMAIN
- ⑰ EXISTING METAL CHIMNEY CAP TO REMAIN
- ⑱ EXISTING STOREFRONT SYSTEM TO REMAIN
- ⑲ EXISTING METAL FASCIA TO REMAIN
- ⑳ EXISTING METAL LADDER RUNGS TO REMAIN
- ㉑ EXISTING TERRACOTTA CHIMNEY FLUE TO REMAIN
- ㉒ PROVIDE SEALANT AT HORIZ. JOINTS AT EXISTING CHIMNEY FLUE AFTER APPLICATION OF HIGH PERFORMANCE COATINGS TO CHIMNEY CAP

KEY PLAN



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CSARCH

Consultant

CLARKSTOWN CENTRAL SCHOOL DISTRICT
VARIOUS ELEMENTARY SCHOOLS
MASONRY RECONSTRUCTION

Project Title



DATE	DESCRIPTION

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Sheet Title
STRAWTOWN
ELEMENTARY
EXTERIOR
ELEVATIONS

Sheet No.
STES
A209

CONSTRUCTION DOCUMENTS

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