

# CORNWALL PUBLIC LIBRARY HVAC SYSTEM REPLACEMENT PROJECT

395 HUDSON STREET  
CORNWALL, NEW YORK 12518  
SED #:44-03-01-06-6-009-006  
ISSUE DATE: JANUARY 26, 2023



## LIST OF DRAWINGS:

### ARCHITECTURAL DRAWINGS

AR.100	EXISTING PLAN FIRST FLOOR
T.01	EXISTING BUILDING EGRESS PLAN & CODE REVIEW
AD.100	FIRST FLOOR SELECTIVE DEMOLITION PLAN
A.100	EXISTING FLOOR PLAN WITH RESTROOM ALTERATION
A.101	MEN'S RESTROOM ALTERATION PLAN DETAIL W/ INTERIOR ELEVATIONS
A.102	WOMEN'S RESTROOM ALTERATION PLAN DETAIL W/ INTERIOR ELEVATIONS
A.103	EXISTING 1ST FLOOR AND PROPOSED REFLECTED CEILING PLAN
A.104	STAFF RESTROOM & KITCHENETTE DETAIL W/ INTERIOR ELEVATIONS
A.105	KITCHENETTE DETAILS
A.400	DOOR, WALL TYPE & FINISH SCHEDULES W/ NOTES & DETAILS
A.401	FINISH MATERIAL LEGEND
A.500	A.D.A. DETAILS
A.501	A.D.A. DETAILS

### PLUMBING DRAWINGS

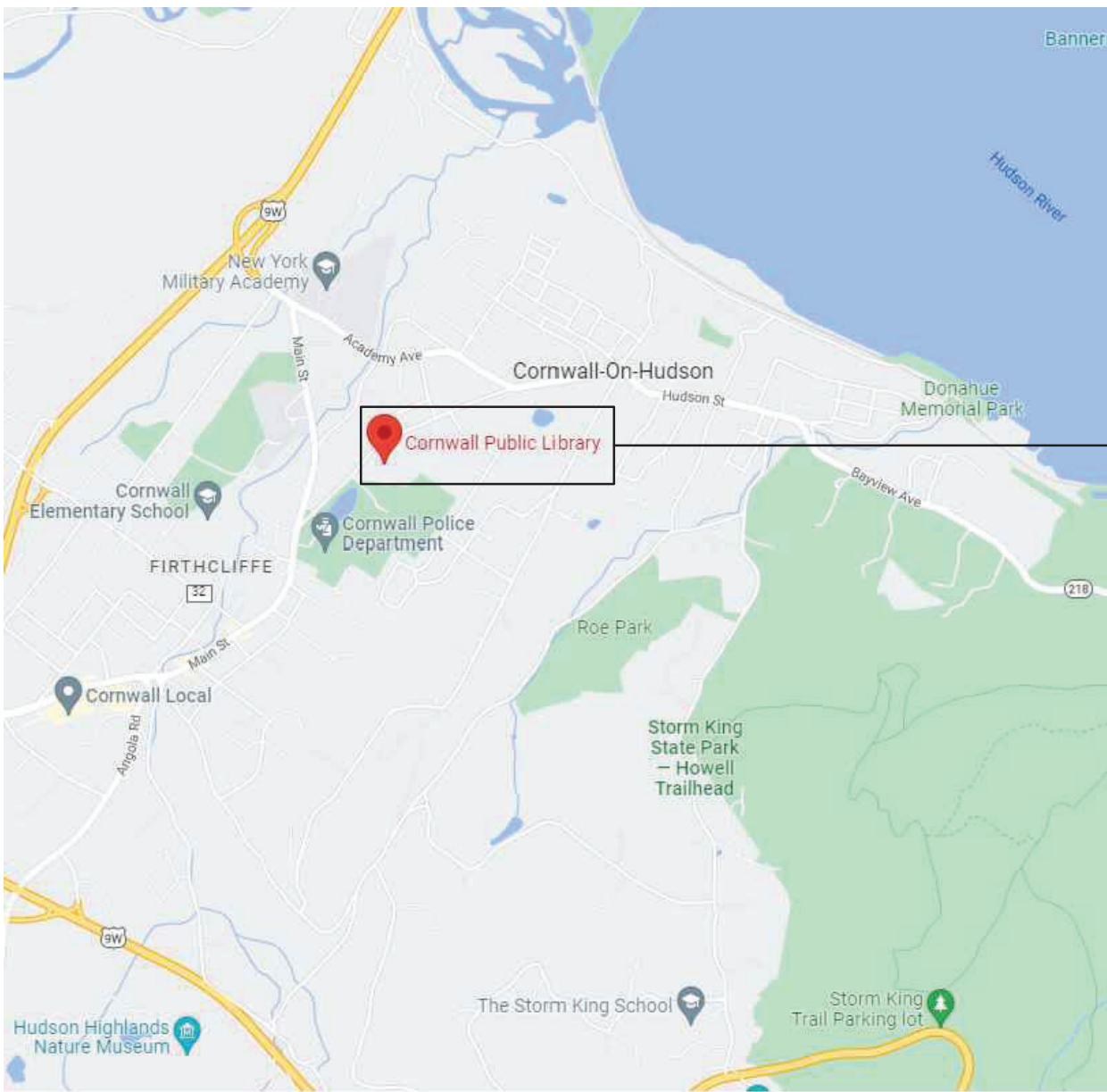
P.101	PLUMBING LEGEND, NOTES, SCHEDULE & DETAILS
PD.201	PLUMBING DEMOLITION PLAN
P.201	PLUMBING PLAN
P.301	STAFF RESTROOM & KITCHENETTE PLUMBING PLAN

### MECHANICAL DRAWINGS

M.101	MECHANICAL LEGENDS & NOTES
M.102	MECHANICAL SCHEDULES
M.103	MECHANICAL SCHEDULE & DETAILS
M.104	VRF SYSTEM PIPING DIAGRAM
MD.201	MECHANICAL DEMOLITION PLAN
MD.202	HYDRONIC DEMOLITION PLAN
M.201	MECHANICAL DUCTWORK PLAN
M.202	ATTIC MECHANICAL PLAN
M.301	MECHANICAL PIPING PLAN

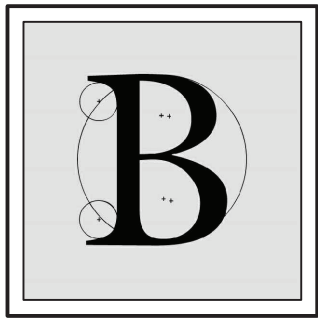
### ELECTRICAL DRAWINGS

E.101	ELECTRICAL LEGEND, NOTES, SCHEDULE & DETAILS
E.102	ELECTRICAL PANEL SCHEDULES
ED.201	ELECTRICAL DEMOLITION PLAN
ED.202	LIGHTING DEMOLITION PLAN
E.201	ELECTRICAL PLAN
E.202	LIGHTING PLAN
E.301	STAFF RESTROOM & KITCHENETTE ELECTRICAL PLAN



PROJECT SITE

LOCATION MAP



**BLAKE**  
**ENGINEERING PLLC**  
1898 COUNTY ROUTE 1  
WESTTOWN, NEW YORK 10998  
TEL:845-467-9207 FAX:845-767-5050  
MBLAKE@BLAKEENGINEERINGPLLC.COM









THE DESIGN OF THIS PROJECT CONFORMS TO APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AND THE MANUAL OF PLANNING STANDARDS OF THE NEW STATE EDUCATION DEPARTMENT





SEE ALL DRAWINGS & NOTES FOR FULL SCOPE, DESIGN  
INTENT & FOR ADDITIONAL INFORMATION REGARDING  
PORTIONS OF EXIST. CONDITIONS TO BE REMOVED AND  
MODIFIED. VERIFY W/ OWNER & ENGINEER PRIOR TO ANY  
PERFORMANCE OF WORK.

- ① REMOVE EXISTING ACoustICAL CEILING TILE, GRID & CONNECTORS. EXISTING LIGHTING FIXTURES SHALL REMAIN AS OUTLINED WITHIN M.E.P. DRAWINGS. (PROTECT DURING DEMOLITION & RENOVATION PROCESS). EXISTING GYPSUM BOARD CEILINGS SHALL REMAIN (PROTECT DURING DEMOLITION & RENOVATION PROCESS). REFER TO M.E.P. DRAWINGS FOR SCOPE OF NEW CONSTRUCTION.
- ② REMOVE WATER CLOSETS & RELATED FITTING & ACCESSORIES IN MEN'S ROOM AND WOMEN'S ROOM, CAP LINES AS OUTLINED WITHIN M.E.P. DRAWINGS & NOTES.
- ③ REMOVE ALL LAVATORIES, RELATED FITTING, ACCESSORIES & TRAPS IN MEN'S ROOM & WOMEN'S ROOM, INCLUDING LAVATORY COUNTER, BASE & ALL MILLWORK. CAP ALL LINES AS REQ'D. SEE M.E.P. DWGS.
- ④ REMOVE PORTIONS OF MTL. STUD WALL ASSEMBLY (PER OUTLINE & WORK SCOPE) INCLUDING UPPER & LOWER TRAKS (INCLUDING GYP. BD. FINISH). SECURE ALL EXISTING WALL PORTIONS THAT ARE TO REMAIN. ALL CUTS TO BE SAW CUT PLUMB AND LEVEL. SEE M.E.P. DRAWINGS FOR NOTES REGARDING WIRING & PLUMBING LINES WITHIN WALLS.
- ⑤ REMOVE EXISTING FLOOR TILE AND THINSET / ADHESIVE DOWN TO EXISTING SUBSTRATE (IN MEN'S & WOMEN'S TOILET ROOMS). PREPARE SUBSTRATE AS REQ'D. TO RECEIVE NEW FINISHES.
- ⑥ REMOVE DRINKING FOUNTAIN, RELATED FITTINGS & ACCESSORIES & CAP LINES AS OUTLINED WITHIN M.E.P. DRAWINGS & NOTES.
- ⑦ REMOVE URINAL, RELATED FITTINGS & ACCESSORIES IN MEN'S ROOM , CAP LINES AS OUTLINED WITHIN M.E.P. DRAWINGS & NOTES.
- ⑧ REMOVE ALL WALL & COVE BASE TILE, ALONG WITH THINSET ADHESIVES WITHIN MEN'S AND WOMEN'S TOILET ROOMS. ENGINEER SHALL EXAMINE CONDITION OF EXISTING STRUCTURE TO VERIFY IF IT REQUIRES ADDITIONAL WORK(S) OR IF IT IS ADEQUATE TO ACCEPT NEW FINISH ASSEMBLY. ALL CUTS TO BE SAW CUT PLUMB AND LEVEL. SEE M.E.P. DRAWINGS FOR NOTES REGARDING OUTLETS, BOXES, WIRING & PLUMBING LINES WITHIN WALLS.
- ⑨ CAREFULLY REMOVE & SAFEGUARD EXISTING WOOD DOORS & METAL DOOR FRAMES. PREP AS REQUIRED FOR REFINISHING. PROVIDE NEW MATCHING HARDWARE, KICKPLATE, HINGES, ETC. AS REQ'D. REINSTALL DOORS INTO NEWLY FRAMED WALL PARTITION AS REQ'D.
- ⑩ CAREFULLY REMOVE ALL RESTROOM ACCESSORIES (GRAB BARS, DISPENSERS, BABY CHANGING STATION ETC.). CONTRACTOR SHALL PERFORM QUALITY REVIEW TO VERIFY IF REUSE IS VIABLE & WHETHER ACCESSORY COMPLIES WITH PROPOSED DESIGN INTENT.
- ⑪ CAREFULLY REMOVE ALL MILLWORK, COUNTER TOPS, HARDWARE & FIXED APPLIANCES.

	EXISTING CONSTRUCTION PARTITION TO REMAIN
	EXISTING DOOR TO REMAIN
	EXISTING CONSTRUCTION PARTITION TO BE REMOVED
	EXISTING DOOR TO BE REMOVED W/ CARE
	EXISTING MILLWORK, FIXTURE OR EQUIPMENT BE REMOVED
	DEMOLITION I.D. TAG NOTATION

**NOTE:**  
REMOVAL, MODIFICATION, OR  
ALTERATION TO STRUCTURAL  
COLUMNS, BEAMS, JOISTS,  
BEARING WALLS, FOUNDATION  
WALLS, ALL STRUCTURAL  
SYSTEMS & COMPONENTS,  
ETC. IS NOT REQUIRED  
WITHIN THE DESIGN SCOPE OF  
THIS PROJECT AND SHALL NOT  
BE PERMITTED.

NOTE: CEILING WORK SHOWN ON DRAWING #3, SHEET AD.100, BELONGS TO CONTRACT #1, ALL REMAINING WORK SHOWN ON DRAWING #3, SHEET AD.100, FALLS UNDER CONTRACT #1, G.C.-02, G.C.-03 & G.C.-04. (SEE PLANS)

5 **ALTERNATE ROOM E118 [STAFF ROOM]:**  
REMOVE EXISTING FIN. FLOOR DOWN TO  
SUBSTRATE. PREP SLAB AS REQ'D. TO RECEIVE  
NEW FINISH.

① REMOVE ALL ACOUSTICAL CEILING TILES, TILE TRACK & ASSOCIATED TIES / CONNECTORS THROUGHOUT ENTIRE FIRST FLOOR AREA

10 - REMOVE ALL RESTROOM ACCESSORIES THRU-OUT (DISPENSERS, GRAB BARS, CHANGING STATION, ETC.)

3 REMOVE LAVATORIES  
& ALL MILWORK AS  
REQUIRED. CAP ALL  
LINES REQ'D. PER  
M.E.P. DRAWINGS.

5 - REMOVE EXISTING FLOOR TILE & GROUT DOWN TO SUBSTRATE. PREP SLAB AS REQ'D. TO RECEIVE NEW

REMOVE A  
MILWORK A  
REQUIRED

2 REMOVE WATER  
CLOSET & CAP  
LINES AS REQ'D  
M.E.P. DWGS.

REMOVE ALL WALL FINISHES IN REST ROOMS (TILE & GYP. BD) DOWN TO STUDS. VERIFY IF STRUCTURE IS SUITED TO RECEIVE NEW FINISHES.

13. REFER TO ALL CONSTRUCTION DOCUMENTS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

**WORK(S) UNDER GC-1 ALTERNATE:**

- MEN'S TOILET ROOM, EXCLUDING (A.C.T.)
- WOMEN'S TOILET ROOM, EXCLUDING (A.C.T.)
- JANITORS CLOSET ROOM, EXCLUDING (A.C.T.)

REMOVE ALL  
ACOUSTICAL CEILING  
TILES, TILE TRACK &  
ASSOCIATED TIES /  
CONNECTORS  
THROUGHOUT  
ENTIRE FIRST FLOOR  
AREA

 REMOVE URINAL & CAP LINE AS REQ'D.

REMOVE ALL WALL FINISHES IN REST ROOMS (TILE & GYP. BD) DOWN TO STUDS. VERIFY IF STRUCTURE IS SUITED TO RECEIVE NEW FINISHES.

LARGED  
: 1/4" = 1'-0"

4 REMOVE PORTION OF MTL. STUD WALL ASSEMBLY AS OUTLINED TO COINCIDE W/ SCOPE OF NEW WORK

6 REMOVE DRINKING FOUNTAIN & CAP LINES PER M.E.P. DWGS.

CONTRACTOR SHALL PROPERLY SAFEGUARD DATA ROOM AS REQ'D.

5 - REMOVE EXISTING FLOOR TILE & GROUT DOWN TO SUBSTRATE PREP SLAB AS REQ'D. TO RECEIVE NEW FINISH.

3 - REMOVE LAVATORIES & ALL MILWORK AS REQUIRED. CAP ALL LINES REQ'D. PER M.E.P. DRAWINGS.

4 REMOVE PORTION OF MTL. STUD WALL AS OUTLINED TO COINCIDE W/ SCOPE OF NEW WORK

2 ENLARGED PLAN DETAIL  
SCALE: 1/4" = 1'-0"

③ ENLARGED PLAN DETAIL  
SCALE: 1/4" = 1'-0"

NOT VALID FOR CONSTRUCTION UNLESS  
SIGNED AND SEALED BY ENGINEER

MATTHEW G. BLAKE, P.E., LEED AP  
NY - 89039 NJ - GE050037 PA - PE079303  
MA - 53197 CT - 32283 FL - 85928

## FIRST FLOOR SELECTIVE DEMO PLAN

DATE:	DRN	CHK	DESCRIPTION
01.26.2023	BJK	BJK	CONSTRUCTION DWGS

REV.	DATE:	DRN	CHK	DESCRIPTION
	02.16.2023	BJK	BJK	ADDENDUM #2

PROJECT NO.

2150

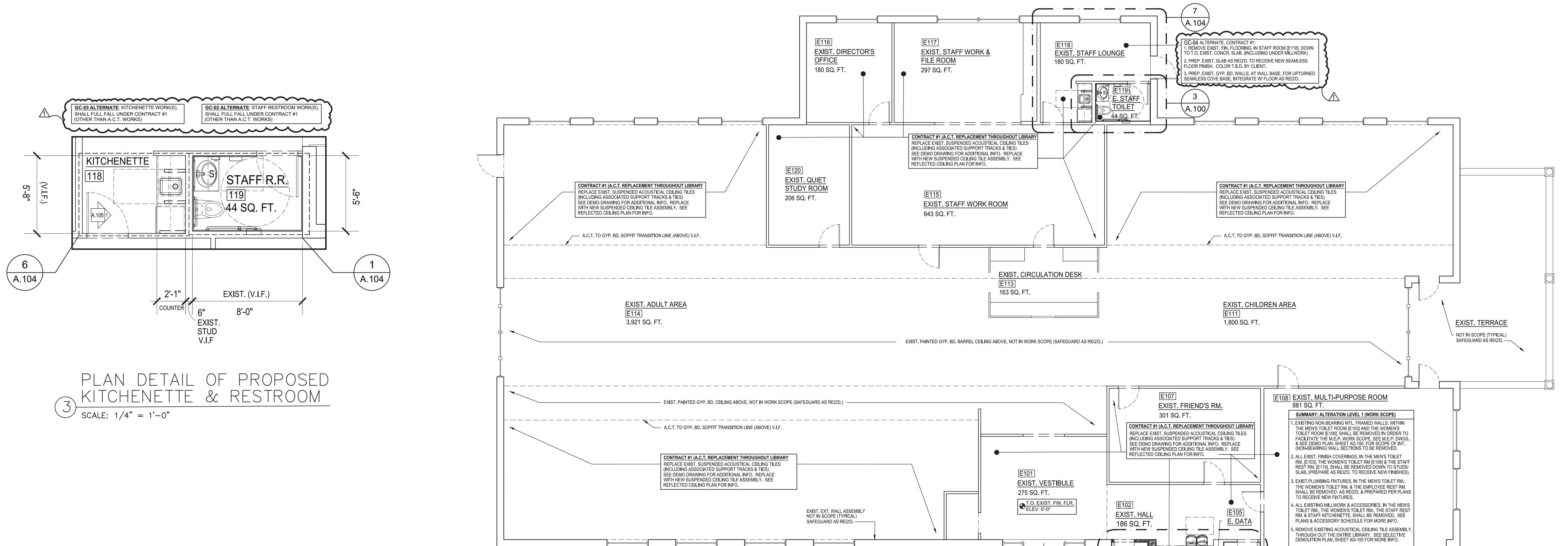
SHEET NO.

# AD.100

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN  
IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE  
NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC

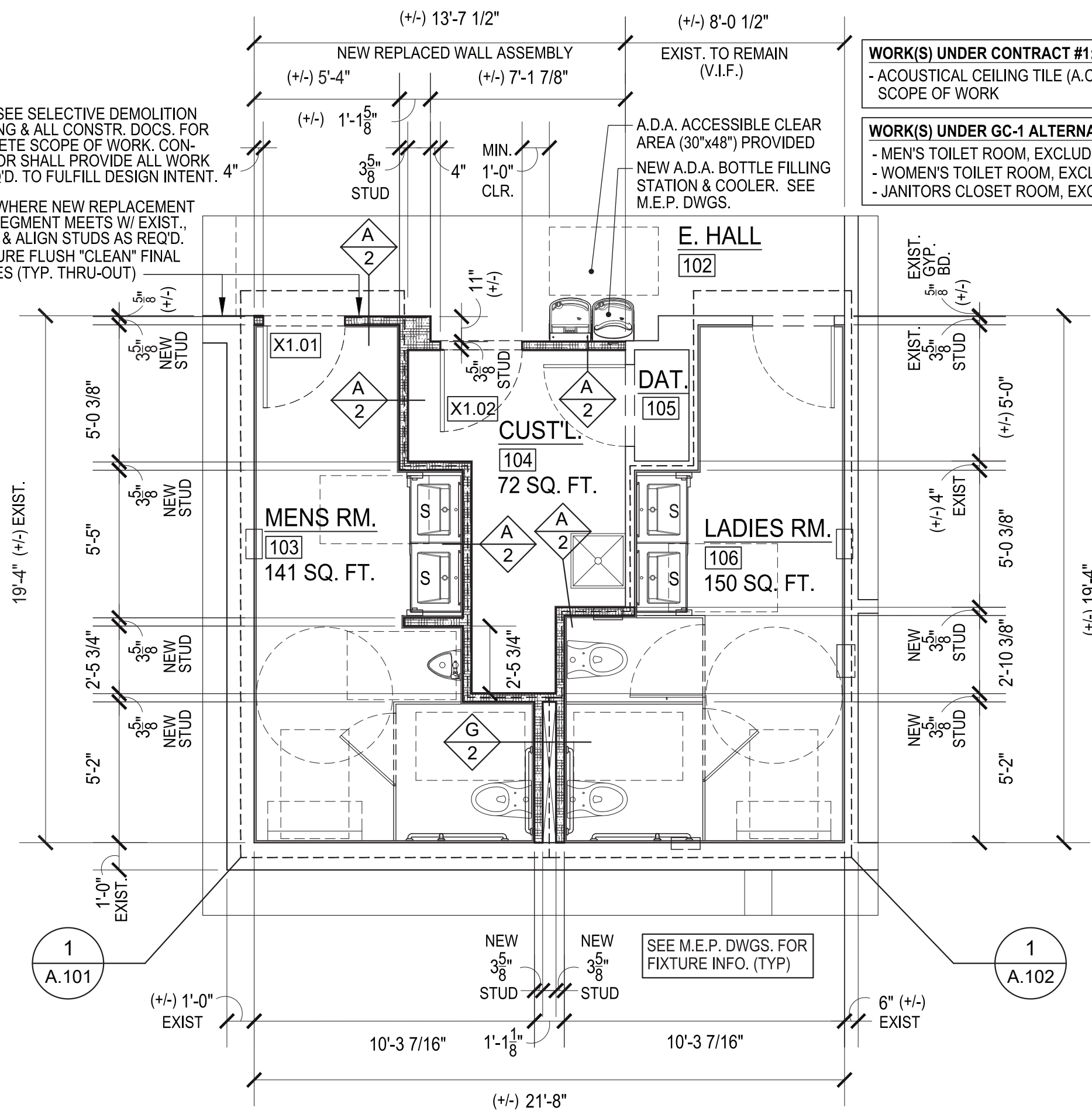




PLAN DETAIL OF PROPOSED KITCHENETTE & RESTROOM  
SCALE: 1/4" = 1'-0"

NOTE: SEE SELECTIVE DEMOLITION DRAWING & ALL CONSTR. DOCS. FOR COMPLETE SCOPE OF WORK. CONTRACTOR SHALL PROVIDE ALL WORK AS REQ'D. TO FULFILL DESIGN INTENT.

NOTE: WHERE NEW REPLACEMENT WALL SEGMENT MEETS W/ EXIST. WALL SEGMENT, MATCH & ALIGN STUDS AS REQ'D. TO INSURE FLUSH "CLEAN" FINAL FINISHES (TYP. THRU-OUT)

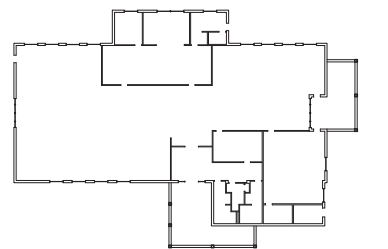


PLAN DETAIL OF PROPOSED RESTROOMS  
SCALE: 1/4" = 1'-0"

KEY PLAN:

'CORNWALL PUBLIC LIBRARY'

HUDSON ST.

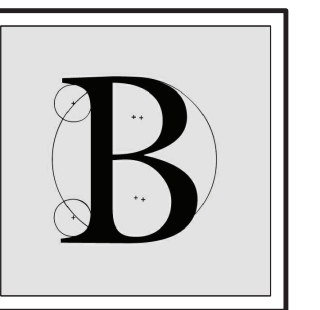


PROJECT:

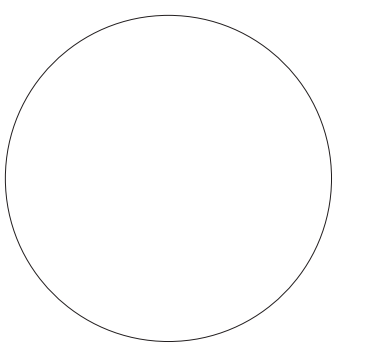
CORNWALL PUBLIC LIBRARY  
HVAC SYSTEM  
REPLACEMENT PROJECT  
395 HUDSON STREET  
CORNWALL, NEW YORK 12518  
SED #: 44-03-01-06-6-009-006

SUB-CONSULTANT:

ENGINEER:



**BLAKE ENGINEERING PLLC**  
1898 COUNTY ROUTE 1  
WESTTOWN, NEW YORK 10998  
TEL:845-467-9207 FAX:845-767-5050  
MBLAKE@BLAKEENGINEERINGPLL.COM



MATTHEW G. BLAKE, P.E., LEED AP  
NY - 89039 NJ - GE050037 PA - PE079303  
MA - 53197 CT - 32283 FL - 85028

## EXISTING FLOOR PLAN WITH RESTROOM ALTERATION

DATE:	DRN	CHK	DESCRIPTION
01.26.2023	BJK	BJK	CONSTRUCTION DWGS

REV.	DATE:	DRN	CHK	DESCRIPTION
1	02.16.2023	BJK	BJK	ADDENDUM #2

PROJECT NO.

2150

SHEET NO.

A.100

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC

### GENERAL NOTES:

ALL DIMENSIONS ARE PLUS/MINUS ROUGH DIMENSIONS. CONTRACTOR & SUBS MUST COORDINATE DRAWING INFORMATION THOROUGHLY (BETWEEN ALL TRADES). VERIFY & COORDINATE ALL FIELD & SITE CONDITIONS, ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER AND ENGINEER.

CONTRACTOR & SUBS SHALL REFER TO MANUF. DTLS. & SPECS FOR ADDITIONAL INFORMATION. ALL TRADES SHALL COORDINATE THEIR WORK AMONGST EACH ANOTHER.

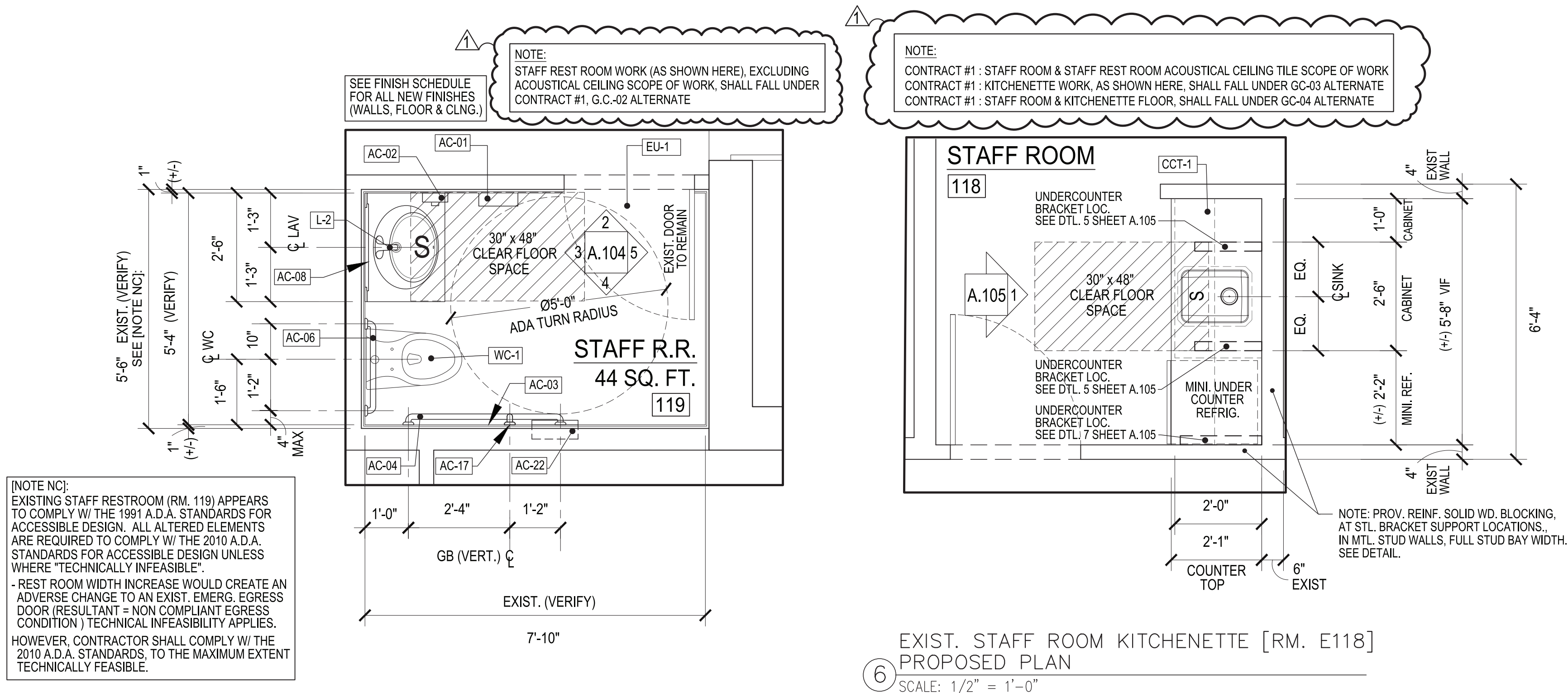
PROVIDE THERMAL INSULATION PER DRAWINGS & CODE. SOUND ATTENUATION INSUL. SHALL BE PROVIDED IN ALL AREAS AS NOTED PER DRAWINGS & PER OWNER.

CONTRACTOR SHALL PROPERLY INVESTIGATE ALL PRE-EXISTING BUILDING CONDITIONS, WITHIN SCOPE OF WORK, TO ASSURE DESIGN CONFORMANCE AS OUTLINED WITHIN THESE DOCUMENTS AND TO INSURE ALL ALTERATIONS & MODIFICATIONS ARE WITHIN THE INTENT OF THESE DOCUMENTS.

### ADDITIONAL NOTES:

- SEE ALL CONSTRUCT. DOCS. FOR INFO, DIMS., NOTES & DTLS. DO NOT SCALE DWGS.
- PROVIDE 16 GA. STL. BACKING PLATES AT AREAS WHERE WALL MOUNTED EQUIPMENT WILL BE FASTENED (MILLWORK, ACCESSORIES, ETC.). REFER TO TYPICAL DRAWINGS. ALL FINAL LOCATIONS MUST BE COORDINATED WITH VENDOR / MANUFACTURER.
- REFER TO ALL DRAWINGS FOR EQUIPMENT MOUNTING HEIGHTS & REQUIRED CLEARANCES. ADHERE TO ALL A.D.A. HEIGHT & CLEARANCE REQUIREMENTS.
- MILLWORK EQUIPMENT CONTAINING LOCKS, IF REQUIRED BY OWNER, SHALL BE PROVIDED FOR DRAWERS & CASEWORK, ALL KEYING SHALL BE BY OWNER.
- COORDINATE ALL POWER LOCATIONS W/ EQUIPMENT U.O.N.
- REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHTS & VERIFY DESIGN HEIGHTS WITH FIELD REQUIREMENTS & CONDITIONS.



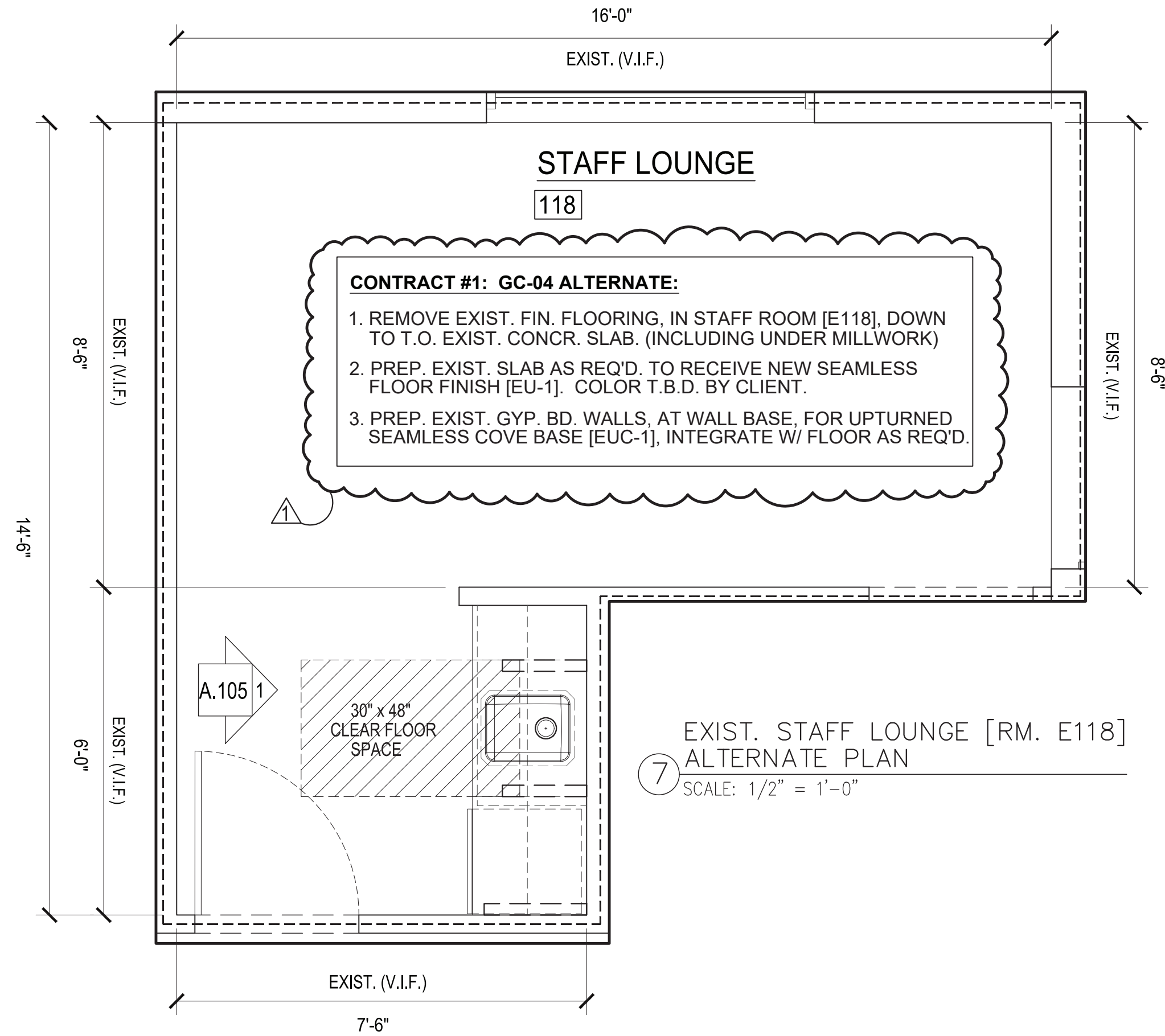


[NOTE NC]: EXISTING STAFF RESTROOM (RM. 119) APPEARS TO COMPLY W/ THE 1991 A.D.A. STANDARDS FOR ACCESSIBLE DESIGN. ALL ALTERED ELEMENTS ARE REQUIRED TO COMPLY W/ THE 2010 A.D.A. STANDARDS FOR ACCESSIBLE DESIGN UNLESS WHERE "TECHNICALLY INFEASIBLE".

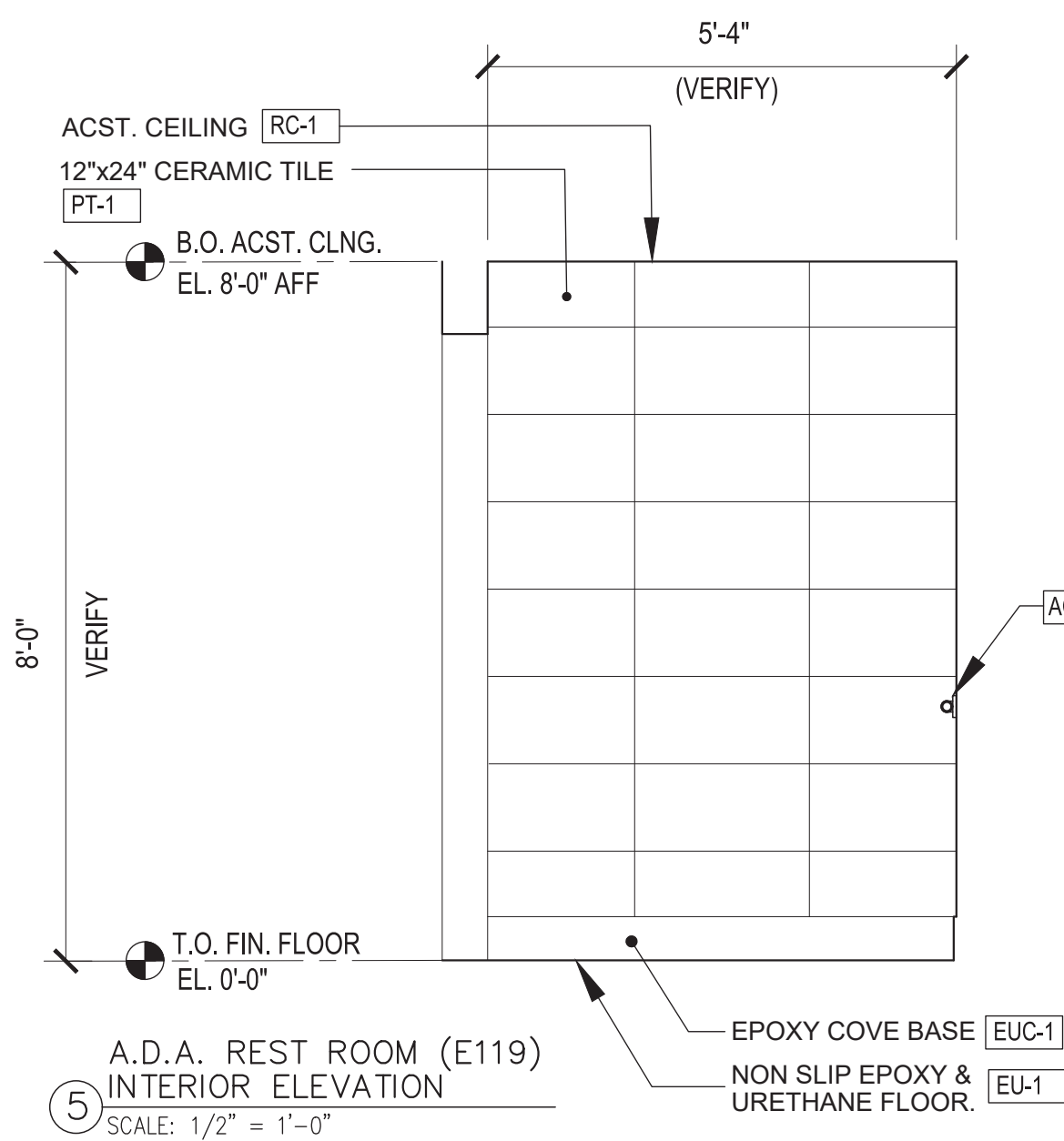
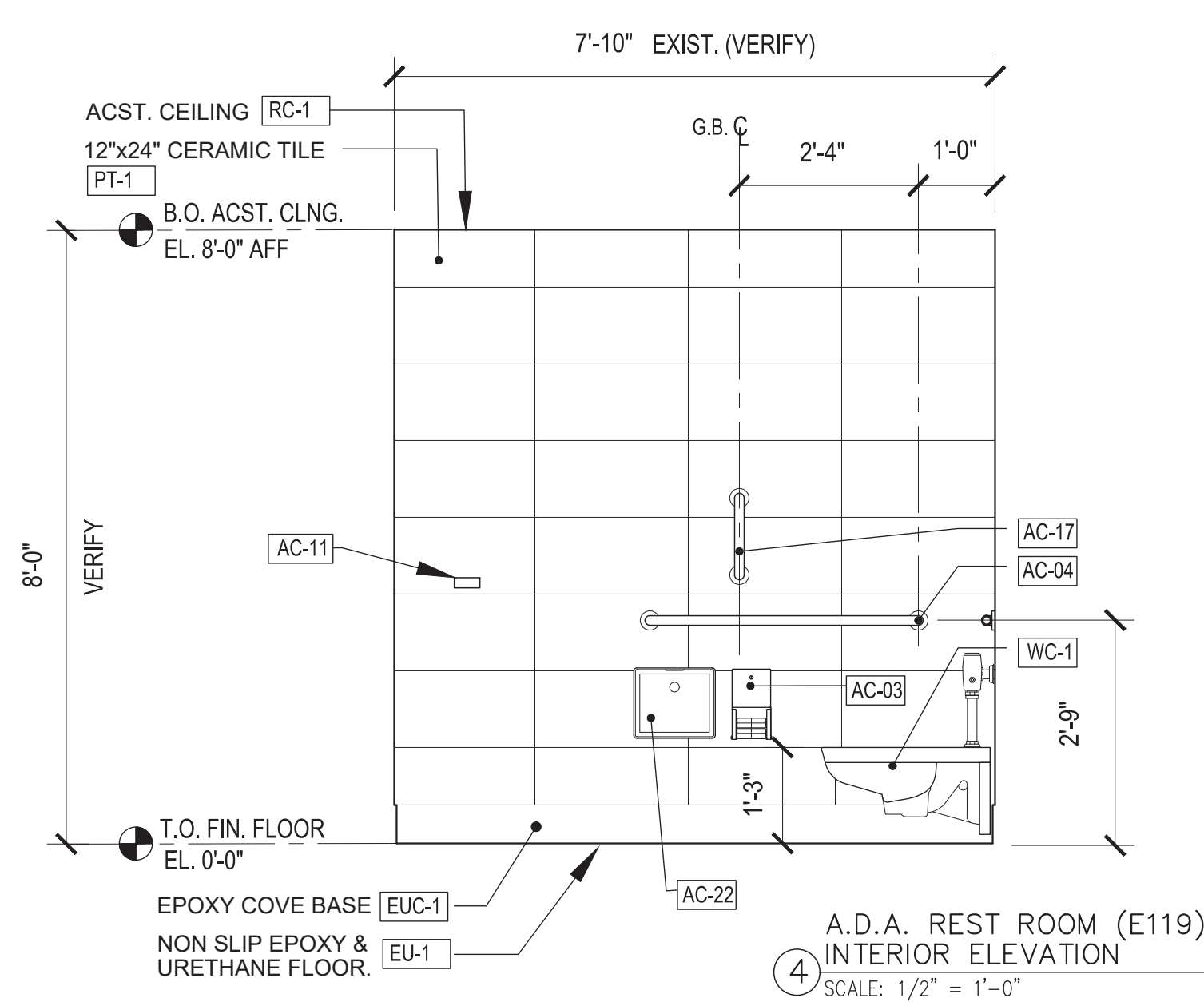
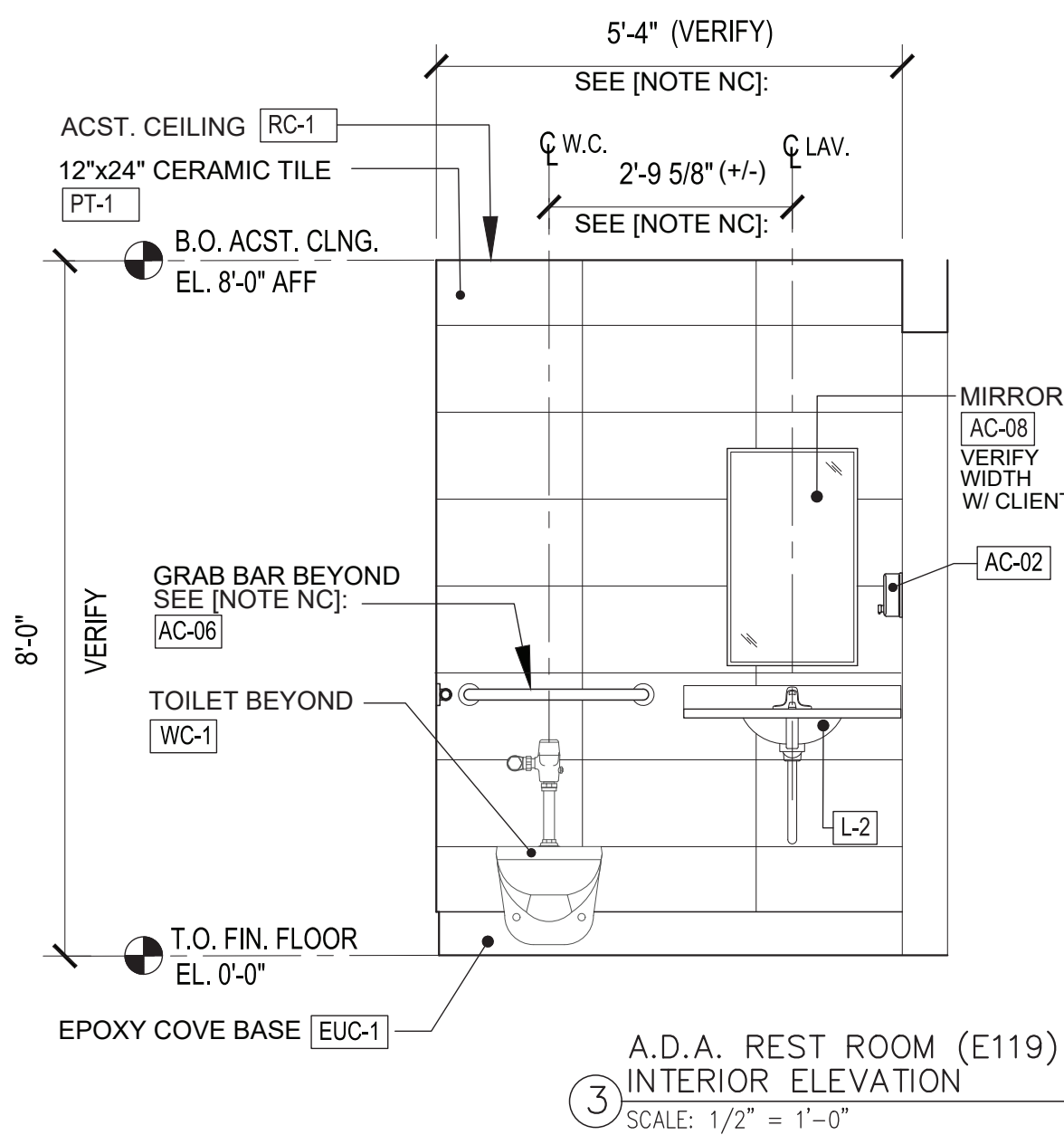
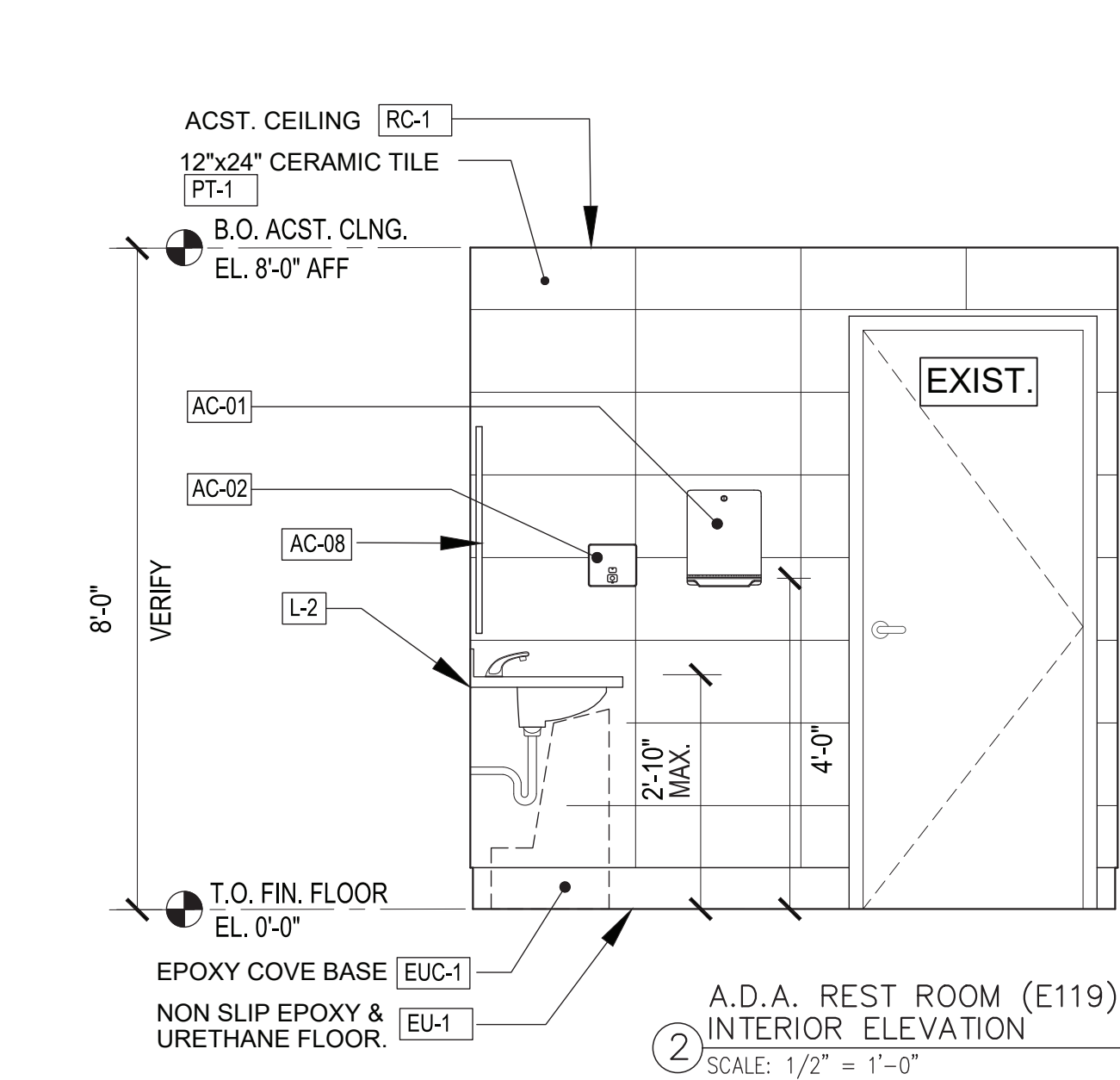
- REST ROOM WIDTH INCREASE WOULD CREATE AN ADVERSE CHANGE TO AN EXIST. EMERG. EGRESS DOOR (RESULTANT = NON COMPLIANT EGRESS CONDITION) TECHNICAL INFEASIBILITY APPLIES. HOWEVER, CONTRACTOR SHALL COMPLY W/ THE 2010 A.D.A. STANDARDS, TO THE MAXIMUM EXTENT TECHNICALLY FEASIBLE.

1 EXIST. STAFF ROOM REST ROOM [RM. E119] PROPOSED PLAN  
SCALE: 1/2" = 1'-0"

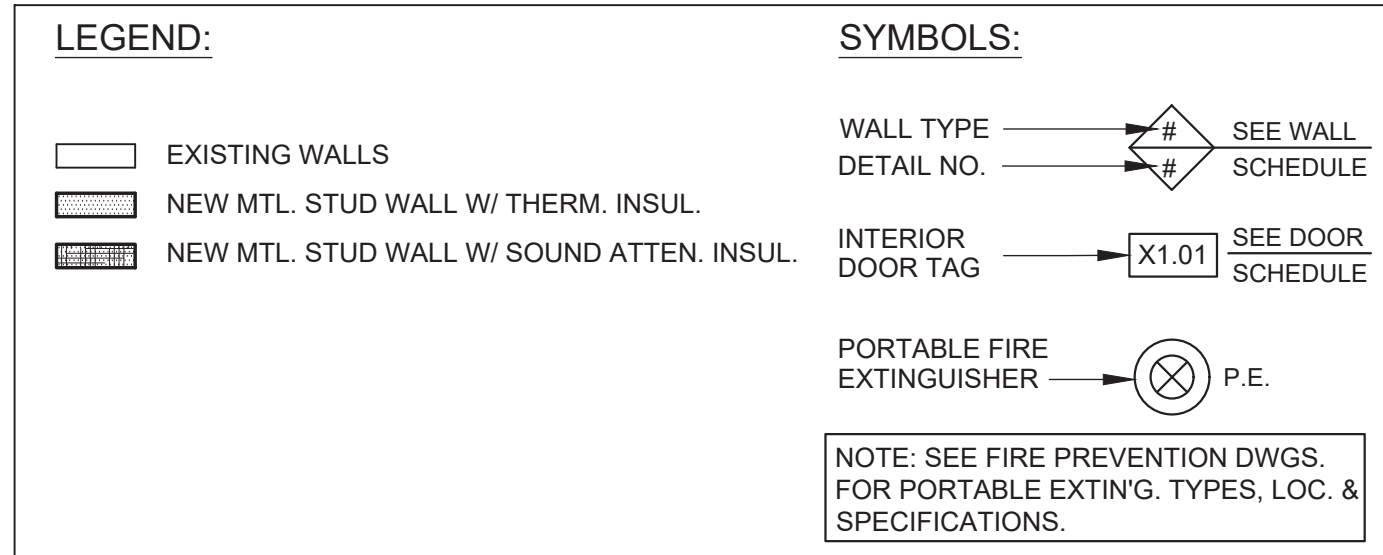
6 EXIST. STAFF ROOM KITCHENETTE [RM. E118] PROPOSED PLAN  
SCALE: 1/2" = 1'-0"



7 EXIST. STAFF LOUNGE [RM. E118] ALTERNATE PLAN  
SCALE: 1/2" = 1'-0"

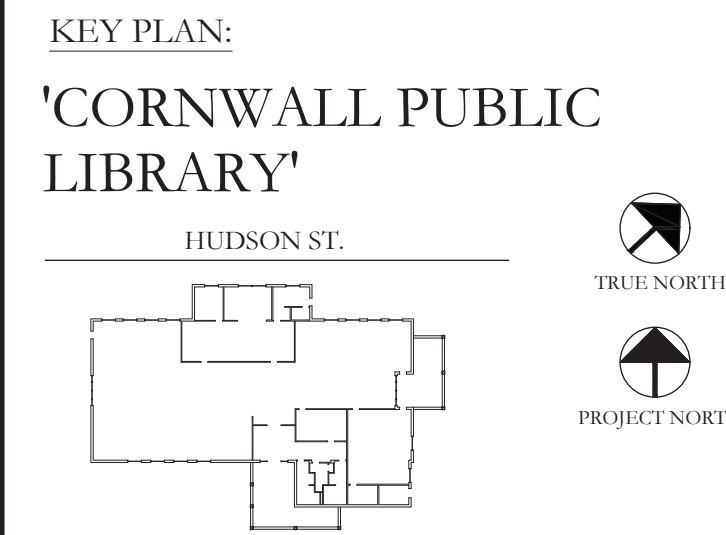


PLUMBING FIXTURE SCHEDULE (SEE M.E.P. DWGS. FOR ADDITIONAL & DETAILED INFO.)					
FIXTURE DESIGNATION	FIXTURE NAME	FIXTURE DESCRIPTION	FIXTURE		LOCATION
			MANUFACTURER	MODEL	
L-1	LAVATORY	SOLID SURFACE WATER-FALL SINK	SLOAN	ELWF-82000	E. MENS ROOM [E103] & E. LADIES ROOM [E106]
L-2	LAVATORY	SOLID SURFACE COUNTERTOP SINK	SLOAN	ELC-41000	E. STAFF REST RM. [E119]
S-1	SINK	STAINLESS STEEL UNDERMOUNT	ELKAY	ELUHAD131655	E. STAFF ROOM [E118] KITCHENETTE
WC-1	A.D.A. TOILET	ELONGATED, A.D.A. VITREOUS CHINA WALL MOUNT	ZURN	Z5615-BWL-AM-HET	E. MENS ROOM [E103] & E. LADIES ROOM [E106]
UR-1	A.D.A. URINAL	VITREOUS CHINA	ZURN	Z57588.234.00	E. MENS ROOM [E103]
WF-1	A.D.A. BOTTLE FILLING STATION & BI-LEVEL WATER COOLER	WALL HUNG	ELKAY	LZSTLG8WSSK	EXIST. HALL [E102]
MB-1	MOP BASIN	FLOOR MOUNTED	FIAT	MSB-2424	CUSTODIAL RM [E104]



RESTROOM ACCESSORY SCHEDULE					
TAG	PRODUCT NAME	MANUF.	MODEL #	COLOR / FINISH	REMARKS
AC-01	PAPER TOWEL DISPENSER	BOBRICK OR SIM.	B-262	STAINLESS STEEL	
AC-02	SOAP DISPENSER	BOBRICK OR SIM.	B-2013	STAINLESS STEEL	AUTOMATIC DISPENSER
AC-03	TOILET TISSUE DISPENSER	BOBRICK OR SIM.	B-4288	STAINLESS STEEL	
AC-04	GRAB BAR 42"	BOBRICK OR SIM.	B-46806X42	STAINLESS STEEL	
AC-05	GRAB BAR 36"	BOBRICK OR SIM.	B-46806X36	STAINLESS STEEL	
AC-06	GRAB BAR 24"	BOBRICK OR SIM.	B-46806X24	STAINLESS STEEL	
AC-07	GRAB BAR 12"	BOBRICK OR SIM.	B-46806X12	STAINLESS STEEL	
AC-08	MIRROR 18"x36"	BOBRICK OR SIM.	B-290 1836	STAINLESS STEEL	VERIFY MIRROR WIDTH W/ CLIENT
AC-09	MIRROR 24"x36"	BOBRICK OR SIM.	B-290 2436	STAINLESS STEEL	VERIFY MIRROR WIDTH W/ CLIENT
AC-10	MIRROR 18"x60"	BOBRICK OR SIM.	B-290 1860	STAINLESS STEEL	
AC-11	COAT HOOK DOUBLE	BOBRICK OR SIM.	B-672	STAINLESS STEEL	
AC-12	SANITARY NAPKIN VENDING UNIT	BOBRICK OR SIM.	B-4706	STAINLESS STEEL	
AC-13	BABY CHANGING STATION	KOALA KARE.	KB310 -SSWM	STAINLESS STEEL	VERIFY IF RECESSED UNIT IS AN OPTION.
AC-14	CURTAIN TRACK	BOBRICK OR SIM.		STAINLESS STEEL	
AC-15	UTILITY SHELF W/ MOP HOOKS	BOBRICK OR SIM.	B-239X34	STAINLESS STEEL	
AC-16	RECESSED PAPER TOWEL DISPENSER & DISPOSAL	BOBRICK OR SIM.	B-38032	STAINLESS STEEL	VERIFY EXIST. WALL ASSEMBLY TO INSURE ACCEPTANCE OF RECESSED ACCESSORY.
AC-17	GRAB BAR 18"	BOBRICK OR SIM.	B-46806X18	STAINLESS STEEL	
AC-18	STAINLESS STEEL SHELF	BOBRICK OR SIM.	B-295	STAINLESS STEEL	
AC-19	CONT. BAR W/ MULTI HOOK	MAGNUSON GRP.K	3K55C	POLISHED CHROME	
AC-22	SANITARY NAPKIN DISPOSAL UNIT	BOBRICK OR SIM.	B-4353	STAINLESS STEEL	

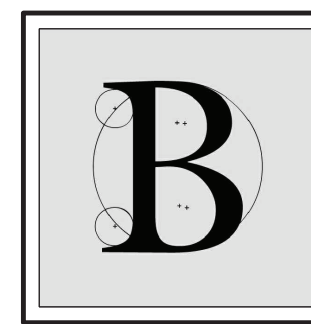
NOTE: CONTRACTOR SHALL REVIEW FIELD CONDITIONS & ACCESSORIES TO INSURE DESIGN COMPLIANCE. CONTRACTOR SHALL SUBMIT TECHNICAL DATA SHEETS, OF ALL FIELD VERIFIED ACCESSORIES, TO ENGINEER & CLIENT, FOR REVIEW & APPROVAL PRIOR TO PURCHASE & WORK(S). TYP.



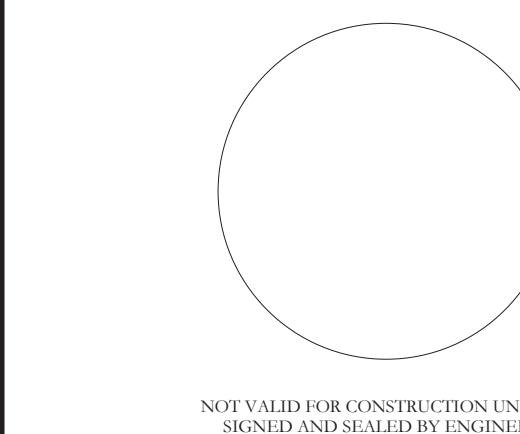
PROJECT:  
CORNWALL PUBLIC LIBRARY  
HVAC SYSTEM  
REPLACEMENT PROJECT  
395 HUDSON STREET  
CORNWALL, NEW YORK 12518  
SED #: 44-03-01-06-6-009-006

SUB-CONSULTANT:

ENGINEER:



BLAKE  
ENGINEERING PLLC  
1898 COUNTY ROUTE 1  
WESTTOWN, NEW YORK 10998  
TEL:845-467-9207 FAX:845-767-5050  
MBLAKE@BLAKEENGINEERINGPLLC.COM



MATTHEW G. BLAKE, P.E., LEED AP  
NY - 89039 NJ - GE050037 PA - PE079303  
MA - 53197 CT - 32283 FL - 85928

## STAFF RESTROOM & KITCHENETTE DETAIL W/ INTERIOR ELEVATIONS

DATE:	DRN	CHK	DESCRIPTION
01.26.2023	BJK	BJK	CONSTRUCTION DWGS

REV.	DATE:	DRN	CHK	DESCRIPTION
A	02.16.2023	BJK	BJK	ADDENDUM #2

PROJECT NO.  
2150

SHEET NO.  
A.104

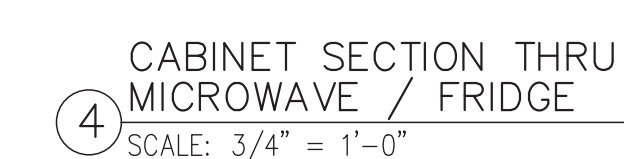
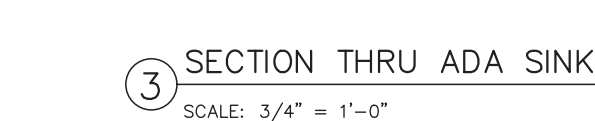
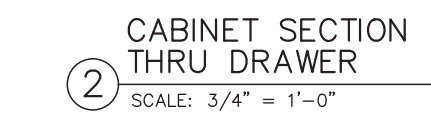
UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC



(+/-) 5'-8" VIF  
 1'-0" 2'-6" (+/-) 2'-0"  
 U1212 U3012 U2412  
 U1242 U3042 U2430  
 B.O. ACST. CLNG.  
 EL. 9'-0" AFF  
 1'-0"  
 VERIFY  
 CONCEALED CABINET  
 HINGES (TYP.)  
 3'-6"  
 VERIFY  
 1'-6"  
 [CBS-1] BACK SPLASH  
 SEE M.E.P. DWGS. FOR  
 OUTLET LOC. PROV.  
 CLEAN OPNG. IN  
 BACKPLASH.  
 T.O. COUNTER  
 EL. 2'-10"  
 OPERABLE DRAWERS  
 W/ SOFT SELF CLOSING  
 SLIDES & CONCEALED  
 PULL HARDWARE. ST.  
 STL. RECESSED, T.B.D.  
 BY CLIENT.  
 T.O. FIN. FLOOR  
 EL. 0'-0"  
 4" HIGH X 3-1/2" DEEP CONT. KICK,  
 W/ APPLIED BASE MOLDING  
 2'-10"  
 U1216  
 A.D.A. ACCESSIBLE  
 OPEN  
 FLAT CLOSURE  
 PROVIDE SHOWN  
 ENGINEER FOR  
 APPROVAL PR  
 "TRYSTAN" FL.  
 CABINETS BY  
 EQ. QUARTER  
 WOOD FINISH.  
 LATCHES (W/D  
 BY CLIENT BAS  
 NEW MICROWA  
 MOUNT, TYPE  
 [CBS-1]  
 1/2" THK. FULL  
 1/2" THK. ADH  
 [CCT-1] 1/2" TH  
 STN. STL. BRA  
 TOP END SUPP  
 STN. STL. UND  
 SEE M.E.P. SC  
 STN. STL. BRA  
 EXIST. MINI RE  
 A.D.A. CLEARA  
 ANGLED APPR  
 EU-1 NON  
 1-1/2" THK. CA  
 STRI CTURAL

1 MILLWORK ELEVATION  
SCALE: 1/2" = 1'-0"



'CORNWALL PUBLIC  
LIBRARY'



CORNWALL, NEW YORK 12518  
SED #: 44-03-01-06-6-009-006

MBLAKE@BLAKEENGINEERINGPLLC.COM



MA - 53197 CT - 32283 FL - 85928

## KITCHENETTE DETAILS

01.26.2023	BJK	BJK	CONSTRUCTION DWGS
------------	-----	-----	-------------------

EV.	DATE:	DRN	CHK	DESCRIPTION
	02.16.2023	BJK	BJK	ADDENDUM #2

2150

.105

NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC

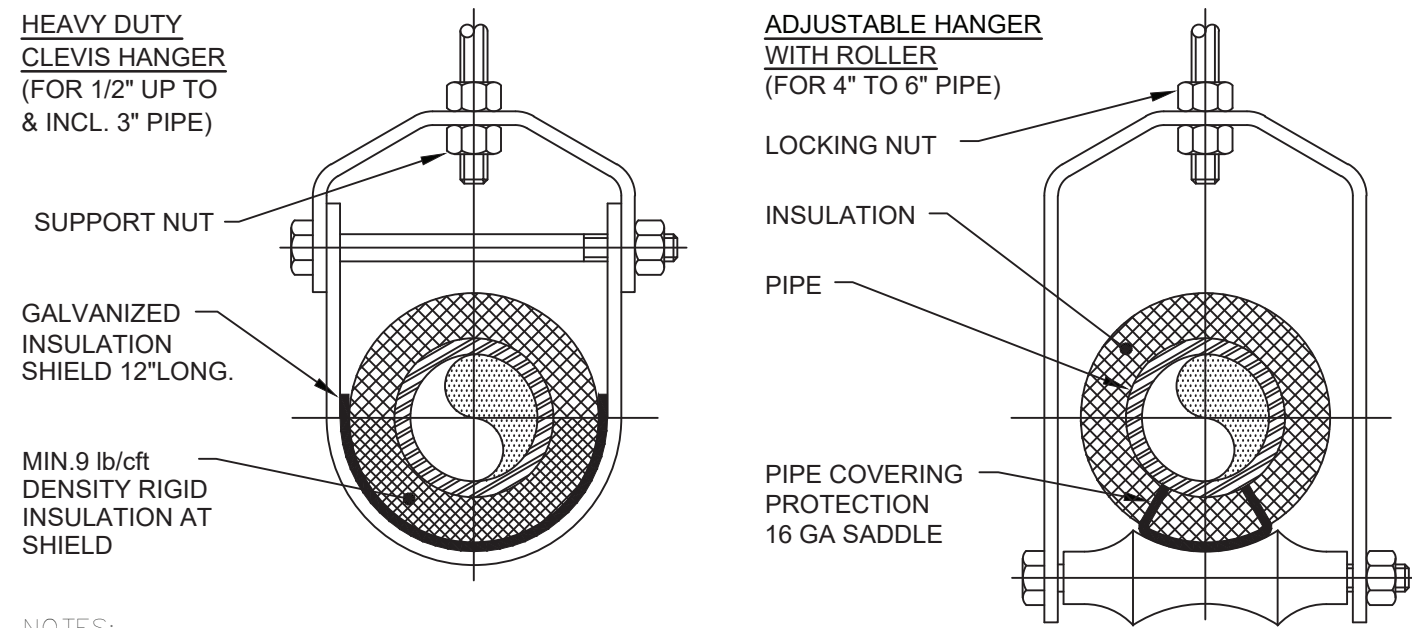


Plumbing Fixture Schedule											
FIXTURE MARK	DESCRIPTION	PIPING CONNECTION				WATER SUPPLY FIXTURE UNITS	DRAINAGE FIXTURE UNITS	ADA (Y/N)	ELECTRONIC CONTROL (Y/N)	MANUFACTURER/MODEL (OR ACCEPTABLE EQUAL)	REMARKS
		H.W.	C.W.	WASTE	VENT						
1	WATER CLOSET	-	1	4	2	10.0	4	Y	Y	WATER CLOSET TYPICAL OF ZURN MODEL #Z5615-BWL-AM HET; WALL HUNG W/ ELONGATED FRONT RIM; 1.28 GPF; FURNISH W/ SEAT MODEL #Z5955SS-EL AND HARDWIRED FLUSH VALVE MODEL# ZEMS6000AV-HET	INSTALL PER ADA & MANUFACTURER'S REQUIREMENTS; FURNISH FLUSHOMETER HARDWIRING KITS FOR INSTALLATION BY EC
2	URINAL	-	3/4	2	2	5.0	2	Y	Y	URINAL TYPICAL OF ZURN ECOVANTAGE MODEL #Z5758.234.00; WHITE VITREOUS CHINA; 0.125 GPF; FURNISH W/ HARDWIRED SENSOR FLUSH VALVE MODEL #ZEM6003AAV-JULF-JS	INSTALL PER ADA & MANUFACTURER'S REQUIREMENTS; FURNISH FLUSHOMETER HARDWIRING KITS FOR INSTALLATION BY EC
3	2 STATION SINK	1/2	1/2	1-1/2	1-1/2	2.0	1	Y	Y	2 STATION SINK TYPICAL OF SLOAN ELWF-82000; PROVIDE HARDWIRED SENSOR FAUCET MODEL #SF-2900 W/ PLUG IN ADAPTER & DAISY CHAIN ELECTRICAL CABLE W/ ADA STRAINER, P-TRAP & ADA TRAP/STOP/SUPPLY PROTECTORS	INSTALL PER ADA & MANUFACTURER'S REQUIREMENTS
4	BI-LEVEL ADA DRINKING FOUNTAIN W/ BOTTLE FILLER	-	3/8	1-1/2	1-1/2	0.25	0.5	Y	-	BOTTLE FILLING STATION & BI-LEVEL ADA COOLER TYPICAL OF ELKAY MODEL #LZSTLG8WSSK; FILTERED 8 GPH STAINLESS	INSTALL PER ADA & MANUFACTURER'S REQUIREMENTS
5	2'x2' MOP BASIN	1/2	1/2	3	2	1.4	2	N	N	MOP BASIN TYPICAL OF FIAT MODEL #MSB-2424; SHEET MOLDING COMPOUND CONSTRUCTION; FURNISH W/ FAUCET #830-AA, HOSE & BRACKET #832-AA, MOP HANGER #889-CC & STAINLESS WALL GUARD #MSG2424	INSTALL PER MANUFACTURER'S REQUIREMENTS
6	ELECTRIC WATER HEATER	3/4	3/4	-	-	-	-	-	-	ELECTRIC WATER HEATER TYPICAL OF AO SMITH MODEL #DEL-20S-4; 20 GAL. CAPACITY; 18 GPH RECOVERY @ 90F RISE; 4 KW INPUT; 208V, 1 PHASE	INSTALL PER MANUFACTURER'S REQUIREMENTS
7	1 STATION SINK	1/2	1/2	1-1/2	1-1/2	2.0	1	Y	Y	1 STATION SINK TYPICAL OF SLOAN ELC-41000; PROVIDE HARDWIRED SENSOR FAUCET MODEL #SF-2900 W/ PLUG IN ADAPTER W/ ADA STRAINER, P-TRAP & ADA TRAP/STOP/SUPPLY PROTECTORS	INSTALL PER ADA & MANUFACTURER'S REQUIREMENTS
8	STAINLESS STEEL UNDERMOUNT SINK	1/2	1/2	1-1/2	1-1/2	2.0	1	Y	N	STAINLESS STEEL UNDERMOUNT SINK TYPICAL OF ELKAY ELU131655PD; PROVIDE FAUCET MODEL LKGT1042 & PERFECT DRAIN FITTING MODEL LKPD1	INSTALL PER ADA & MANUFACTURER'S REQUIREMENTS

ADD ALTERNATE PC-01  
(FIXTURES 1-6)

ADD ALTERNATE PC-02  
(FIXTURE 7)

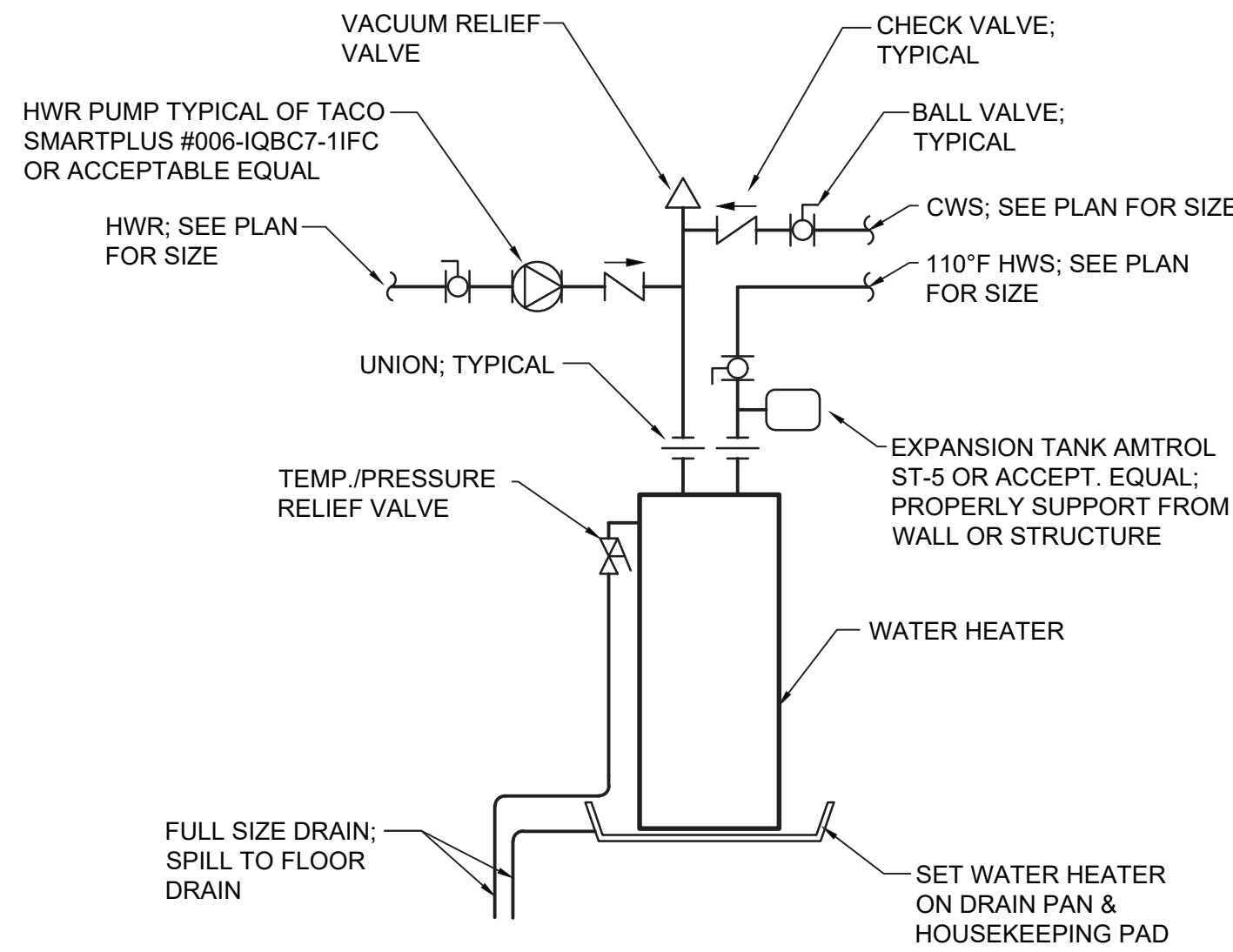
ADD ALTERNATE PC-03  
(FIXTURE 8)



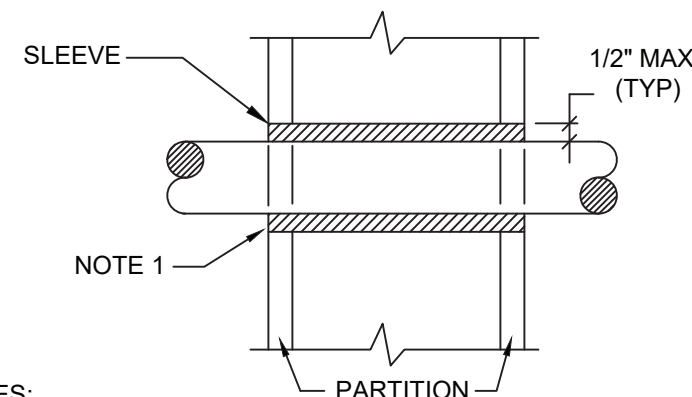
- NOTES:
- PIPE 8" AND LARGER SHALL HAVE ROLLER SUPPORTED WITH DUAL RODS.
  - FOR CHW SERVICE OVER 3" REPLACE SADDLE WITH 12" LONG 14 GA SHIELD WITH RIGID INSULATION BETWEEN PIPE AND SHIELD.

PIPE Ø (IN.)	MAX. SPACING BETWEEN HANGERS (FT.)			MIN. ROD SIZE (IN.)
	STEEL PIPE	COPPER PIPE	CPVC	
1/2 THRU 1	7	5	5	3/8
1-1/2 THRU 2	9	8	6	3/8
2-1/2	11	9	7.5	1/2
3	12	10	7.5	1/2
4	14	12	8.5	5/8
6	17	14	9	3/4
8	19	16	10	7/8
10	22	18	10.5	7/8

1 Pipe Hanger Support  
P.101 N.T.S.

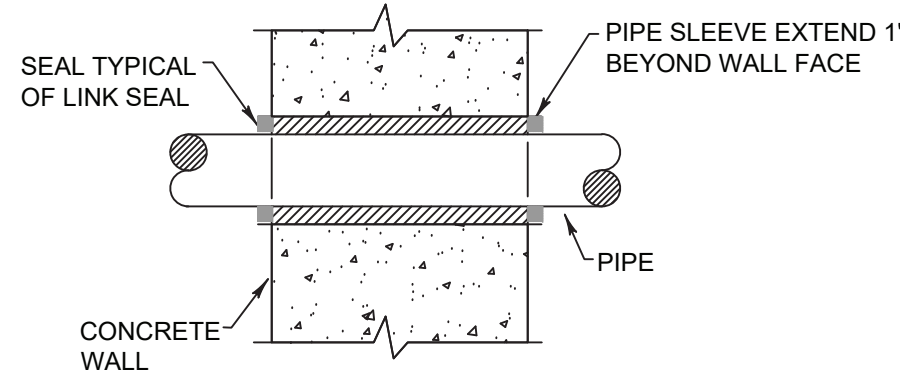


2 Water Heater Detail  
P.101 Scale: None

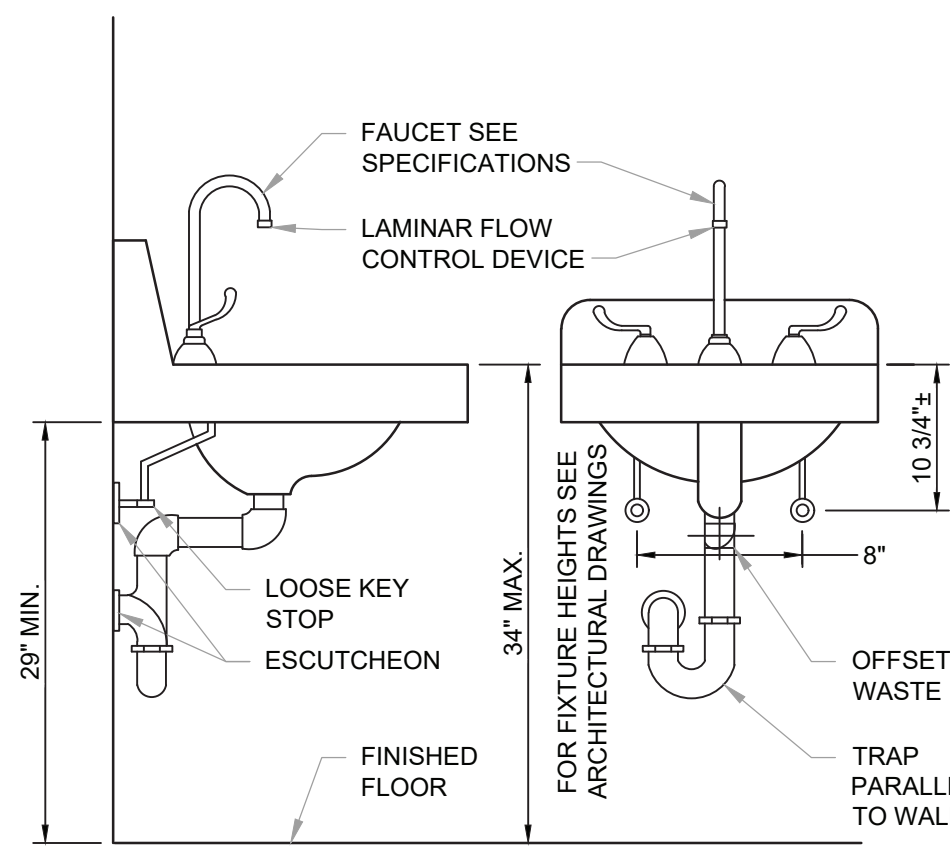


- NOTES:
- AT FIRE RATED PARTITIONS, ADD ADDITIONAL LAYER OF FIRE SAFING INSULATION AROUND PENETRATION SO AS TO FILL CAVITY.
  - DUCT AND PIPE PENETRATIONS THRU CORRIDOR WALLS ABOVE THE CEILING ARE TO BE FIRE STOPPED AROUND THE PENETRATION.

3 Pipe Penetrations Detail  
P.101 N.T.S.



4 Exterior Wall Pipe Penetrations  
P.101 N.T.S.



5 Accessible Lavatory Detail  
P.101 Scale: None

## Plumbing Legend:

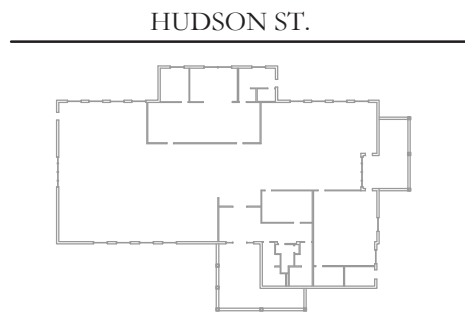
---	DOMESTIC COLD WATER SUPPLY
---	110 °F DOMESTIC HOT WATER SUPPLY
---	140 °F DOMESTIC HOT WATER SUPPLY
---	HOT WATER RETURN
---	SANITARY SEWER, ABOVE GRADE
---	SANITARY SEWER, BELOW GRADE
---	PLUMBING VENT
---	STORM WATER, ABOVE GRADE
---	STORM WATER, BELOW GRADE
---	LP GAS PIPING
---	DIRECTION OF PIPE SLOPE (DOWN)
---	CONCENTRIC REDUCER OR INCREASER
---	ECCENTRIC REDUCER
---	TOP CONNECTION, 45° OR 90°
---	BOTTOM CONNECTION, 45° OR 90°
---	SIDE CONNECTION
---	CAPPED OUTLET
---	RISE OR DROP IN PIPE
---	UNION
---	PIPE UP
---	PIPE DOWN
---	POINT OF CONNECTION BETWEEN NEW AND EXISTING WORK
---	STRAINER
---	HOSE BIB
---	SOLENOID VALVE
---	GLOBE VALVE
---	CHECK VALVE
---	BUTTERFLY VALVE
---	FULL PORT BALL VALVE
---	PRESSURE GAUGE
---	FLOOR CLEANOUT W/ DECK PLATE
---	CLEANOUT
---	WALL CLEANOUT
---	CLEANOUT TO GRADE
---	PLUMBING FIXTURE MARK

## Plumbing Notes:

- ALL MATERIALS AND EQUIPMENT ARE TO BE NEW, UNUSED, AND FREE FROM DEFECTS OF ANY KIND. THE BASIS OF QUALITY SHALL BE THE LATEST REVISION OF ASTM, ANSI, OR OTHER ACCEPTABLE STANDARDS.
- THESE DRAWINGS ARE DIAGRAMMATIC, AND INDICATE GENERAL ARRANGEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE REVIEWED THE SITE FOR HIS WORK PRIOR TO HAVING SUBMITTED HIS PROPOSAL. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR CONDITIONS FOUND DURING THE COURSE OF THE CONTRACT.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ALL OTHER TRADES.
- ALL WORK INCLUDING LABOR AND MATERIALS SHALL BE FULLY GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF PAYMENT AND FINAL ACCEPTANCE BY THE OWNER AND ENGINEER.
- ALL CUTTING, PATCHING, FIRE-STOPPING, AND SURFACE RESTORATION IN CONNECTION WITH THIS TRADE SHALL BE COMPLETED BY THIS CONTRACTOR.
- A MINIMUM OF FOUR (4) COPIES OF SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION OF THE EQUIPMENT AND/OR MATERIALS. BY SUBMITTING SHOP DRAWINGS, THE CONTRACTOR REPRESENTS THAT ACTUAL FIELD CONDITIONS ARE VERIFIED BY HIM AND ARE REFLECTED ON HIS SUBMITTALS.
- THIS CONTRACTOR SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS, AND OBTAIN ALL PERMITS, INSPECTIONS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH WORK UNDER THIS CONTRACT.
- ALL WORK IN ASSOCIATION WITH THIS CONTRACT SHALL BE COMPLETED IN STRICT COMPLIANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE, 2020 PLUMBING CODE OF NEW YORK STATE, 2020 FUEL GAS CODE OF NEW YORK STATE & 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
- WHERE THE PROJECT INVOLVES A GAS SERVICE, THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, APPLICATIONS AND FEES OF ALL WORK ASSOCIATED WITH THE LOCAL GAS UTILITY COMPANY. ALL WORK INVOLVING THE GAS UTILITY COMPANY SHALL BE COMPLETED IN ACCORDANCE WITH THEIR REGULATIONS AND GUIDELINES.
- ALL DOMESTIC COLD AND HOT WATER PIPING AND FITTINGS ARE TO BE INSULATED WITH 1" THICK RIGID ONE-PIECE MOLDED SECTIONAL FIBERGLASS PIPE COVERINGS WITH UNIVERSAL JACKET. ALL JOINTS ARE TO BE COMPLETELY SEALED A MINIMUM OF 6" BEYOND JOINT ENDS.
- ALL PIPING SHALL BE PROPERLY SUPPORTED AND ROUTED PARALLEL OR PERPENDICULAR TO BUILDING WALLS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL SUPPORT HANGERS AND MISCELLANEOUS METALS REQUIRED FOR PROPER INSTALLATION OF WORK.
- PIPING SYSTEM MATERIALS ARE TO BE AS FOLLOWS:
  - DOMESTIC WATER DISTRIBUTION - CHLORINATED POLYVINYL CHLORIDE (CPVC) PLASTIC PIPE AND FITTINGS. JOINTS SHALL BE MADE IN ACCORDANCE WITH ASTM D 2846 USING A PRIMER AND SOLVENT CEMENT CONFORMING TO ASTM F 493.
  - SANITARY DRAINAGE & VENT - SCHEDULE 40 POLYVINYL CHLORIDE (PVC) PLASTIC PIPE AND FITTINGS. JOINTS SHALL BE MADE IN ACCORDANCE WITH ASTM D 2855 USING A PRIMER CONFORMING TO ASTM F 656 AND SOLVENT CEMENT CONFORMING TO ASTM D 2564.
  - GAS DISTRIBUTION - SCHEDULE 40 BLACK STEEL PIPE WITH MALLEABLE IRON THREADED FITTINGS & THREAD JOINT COMPOUND FOR PIPING UP THRU 4" DIAMETER. JOINTS MUST BE WELDED FOR PIPING OVER 4" DIAMETER. WHERE PIPING IS TO BE INSTALLED BELOW GRADE, PIPING AND FITTINGS ARE TO BE COATED WITH A CORROSION-RESISTENT MATERIAL.
- ALL EXPOSED PIPING, FITTINGS, TRAPS, ESCUTCHEONS, VALVES, ETC. SHALL BE CHROME PLATED.
- SLOPE SANITARY DRAINAGE PIPING 2" DIAMETER AND SMALLER NOT LESS THAN 1/4" PER FOOT. SLOPE SANITARY DRAINAGE PIPING OVER 2" DIAMETER NOT LESS THAN 1/8" PER FOOT.
- INSTALL A CLEANOUT AT THE BASE OF EACH SOIL STACK, AT EACH CHANGE IN DIRECTION, AT INTERVALS NOT OVER 50 FEET AND ELSEWHERE AS SHOWN ON DRAWINGS OR REQUIRED BY CODE.
- PROVIDE EXPOSED PIPING WITH CHROME PLATED CAST BRASS ESCUTCHEON WITH SET SCREW WHERE PENETRATING FLOORS, CEILINGS, WALLS OR PARTITIONS.
- TEST PIPING AND PROVE TIGHT FOR AT LEAST TWO HOURS IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION AND/OR AS SPECIFIED. TEST SHALL BE PERFORMED IN THE PRESENCE OF THE ENGINEER AND LOCAL INSPECTOR. TEST SHALL BE REPEATED IF NECESSARY UNTIL FINAL APPROVAL OF SYSTEM IS OBTAINED.
1. WATER & GAS PIPING TO BE AIR-PRESSURE TESTED TO 1-1/2 TIMES MAXIMUM WORKING PRESSURE.
2. DRAINAGE, WASTE & VENT PIPING TO BE TESTED BY FILLING THE SYSTEM WITH WATER TO 10-FEET ABOVE HIGHEST POINT.
- SUPPORT HORIZONTAL PIPING UTILIZING A SPACING PER PIPING MANUFACTURER'S REQUIREMENTS.
- INSTALL VALVES ON THE ENTIRE DISTRIBUTION SYSTEM, SO LOCATED AS TO GIVE COMPLETE CONTROL TO ALL FIXTURES AND EQUIPMENT.
- INSTALL DRAIN VALVES AT BASE OF ALL RISERS AND AT LOW POINTS OF PIPING SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE TO TEST ALL EQUIPMENT, PIPING, FIXTURES, AND SYSTEMS INSTALLED UNDER THIS CONTRACT TO ENSURE PROPER OPERATION PRIOR TO FINAL ACCEPTANCE BY THE OWNER AND ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE WHETHER SPECIAL LICENSING IS REQUIRED IN ORDER TO PERFORM THE REQUIRED WORK IN THE MUNICIPALITY WHERE THE PROJECT IS LOCATED. IF THE CONTRACTOR CANNOT OBTAIN THE REQUIRED LICENSING TO COMPLETE THE WORK WITHIN THE PROJECT SCHEDULE, THEN THE CONTRACTOR SHALL NOT BE PERMITTED TO BID ON THIS PROJECT.
- CONTRACTOR IS RESPONSIBLE TO CREATE AND SUBMIT RED-LINE "AS-BUILT" PLANS TO THE ENGINEER AT THE END OF THE PROJECT. AS-BUILT PLANS SHALL ACCURATELY REPRESENT THE SYSTEMS AS THEY WERE INSTALLED.

## KEY PLAN:

## 'CORNWALL PUBLIC LIBRARY'

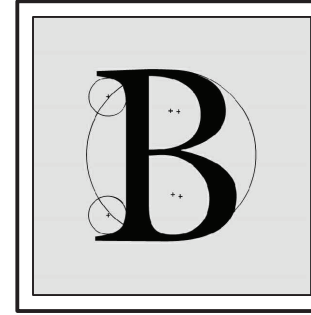


## PROJECT:

CORNWALL PUBLIC  
LIBRARY  
HVAC SYSTEM  
REPLACEMENT PROJECT  
395 HUDSON STREET  
CORNWALL, NEW YORK 12518  
SED #:44-03-01-06-6-009-006

## SUB-CONSULTANT:

## ENGINEER:



## BLAKE ENGINEERING PLLC

1898 COUNTY ROUTE 1  
WESTTOWN, NEW YORK 10998  
TEL:845-467-9207 FAX:845-767-5050  
MBLAKE@BLAKEENGINEERINGPLLC.COM



NOT VALID FOR CONSTRUCTION UNLESS  
SIGNED AND SEALED BY ENGINEER

MATTHEW G. BLAKE, P.E., LEED AP  
NY - 89039 NJ - GE050037 PA - PE079303  
MA - 53197 CT - 32283 FL - 85928

## PLUMBING LEGEND, NOTES, SCHEDULE & DETAILS

DATE:	DRN	CHK	DESCRIPTION
01.26.2023	BJK	BJK	CONSTRUCTION DWGS

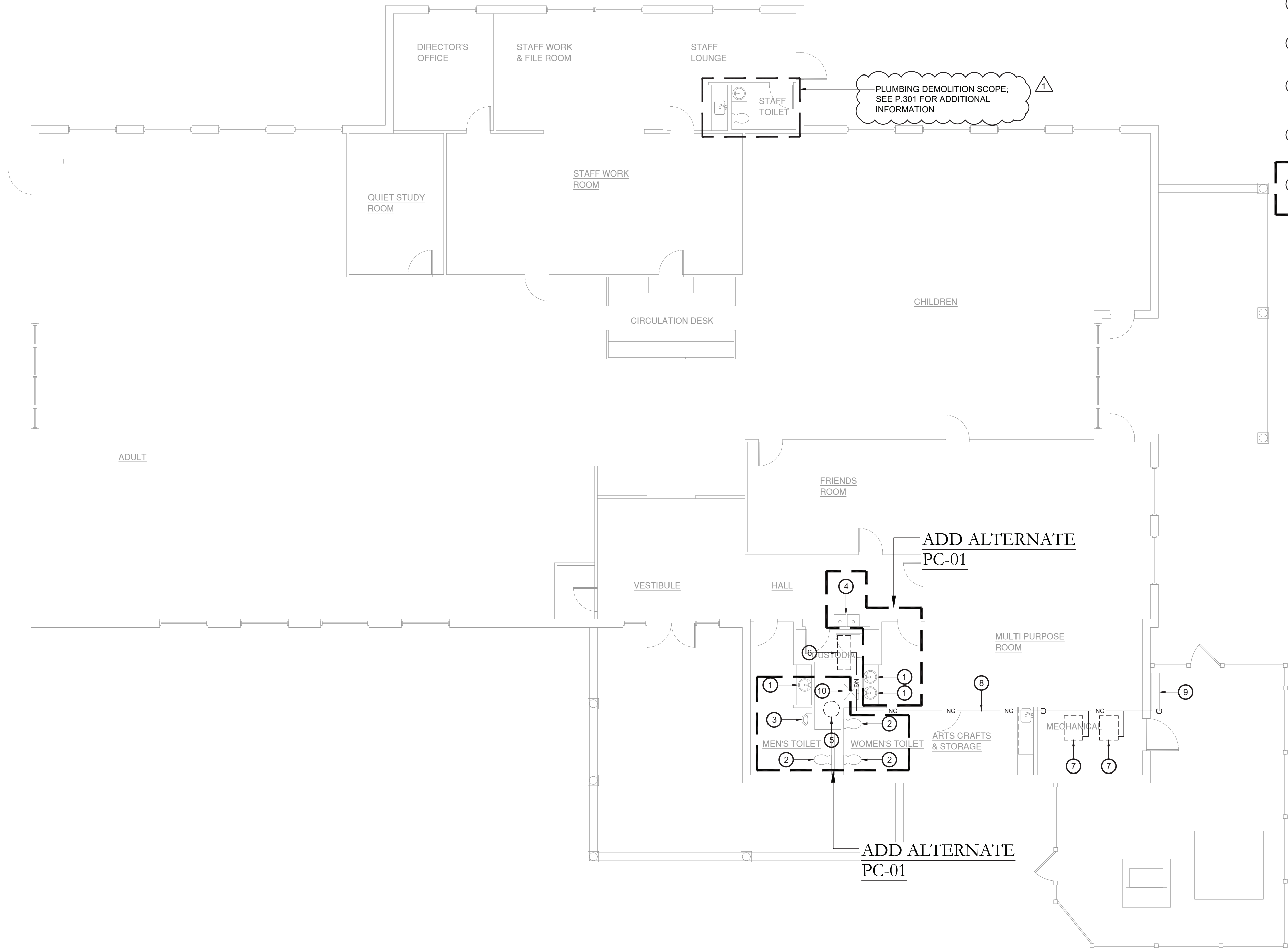
REV.	DATE	DRN	CHK	DESCRIPTION
1	02.16.2023	BJK	BJK	ADDENDUM #2

PROJECT NO.	SHEET NO.
2150	P.101

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN  
IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE  
NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC





Key Notes:

- 1

EXISTING LAVATORY TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)
- 2

EXISTING WATER CLOSET TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)
- 3

EXISTING URINAL TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)
- 4

EXISTING DRINKING FOUNTAIN TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)
- 5

EXISTING ELECTRIC WATER HEATER TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)
- 6

EXISTING GAS FIRED HUMIDIFIER TO BE REMOVED BY MC; PLUMBING CONTRACTOR TO DISCONNECT GAS AND WATER LINES FROM UNIT PRIOR TO REMOVAL
- 7

EXISTING GAS FIRED BOILER TO BE REMOVED BY MC; PLUMBING CONTRACTOR TO DISCONNECT GAS AND DOMESTIC WATER LINES FROM UNIT PRIOR TO REMOVAL
- 8

DISCONNECT, REMOVE & PROPERLY DISPOSE OF ALL NATURAL GAS PIPING INSIDE OF THE BUILDING SERVING THE GAS HUMIDIFIER AND BOILERS; FIELD VERIFY EXACT ROUTING AND QUANTITY
- 9

MODIFY EXISTING NATURAL GAS METER RISER; REMOVE ALL PIPING FROM INSIDE THE BUILDING BACK TO THE RISER; MAINTAIN GAS SERVICE TO EXISTING GENERATOR; COORDINATE W/ UTILITY COMPANY FOR MODIFICATIONS TO SERVICE RISER
- 10

EXISTING MOP SINK TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)

ADD ALTERNATE  
PC-01

ADD ALTERNATE  
PC-01

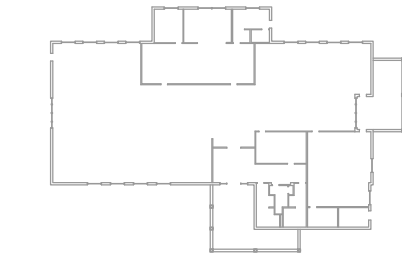
ADD ALTERNATE  
PC-01

ADD ALTERNATE  
PC-01

KEY PLAN:

'CORNWALL PUBLIC LIBRARY'

HUDSON ST.

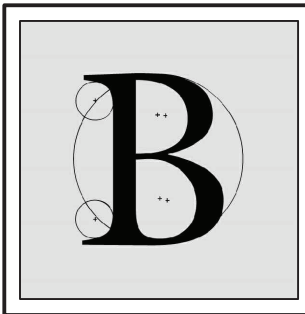


PROJECT:

CORNWALL PUBLIC LIBRARY  
HVAC SYSTEM REPLACEMENT PROJECT  
395 HUDSON STREET  
CORNWALL, NEW YORK 12518  
SED #:44-03-01-06-6-009-006

SUB-CONSULTANT:

ENGINEER:



BLAKE ENGINEERING PLLC  
1898 COUNTY ROUTE 1  
WESTTOWN, NEW YORK 10998  
TEL:845-467-9207 FAX:845-767-5050  
MBLAKE@BLAKEENGINEERINGPLLCCOM



NOT VALID FOR CONSTRUCTION UNLESS  
SIGNED AND SEALED BY ENGINEER

MATTHEW G. BLAKE, P.E., LEED AP  
NY - 89039 NJ - GE050037 PA - PE079303  
MA - 53197 CT - 32283 FL - 85928

PLUMBING DEMOLITION  
PLAN

DATE:		DRN	CHK	DESCRIPTION
01.26.2023		BJK	BJK	CONSTRUCTION DWGS
REV.	DATE:	DRN	CHK	DESCRIPTION
1	02.16.2023	BJK	BJK	ADDENDUM #2

PROJECT NO.

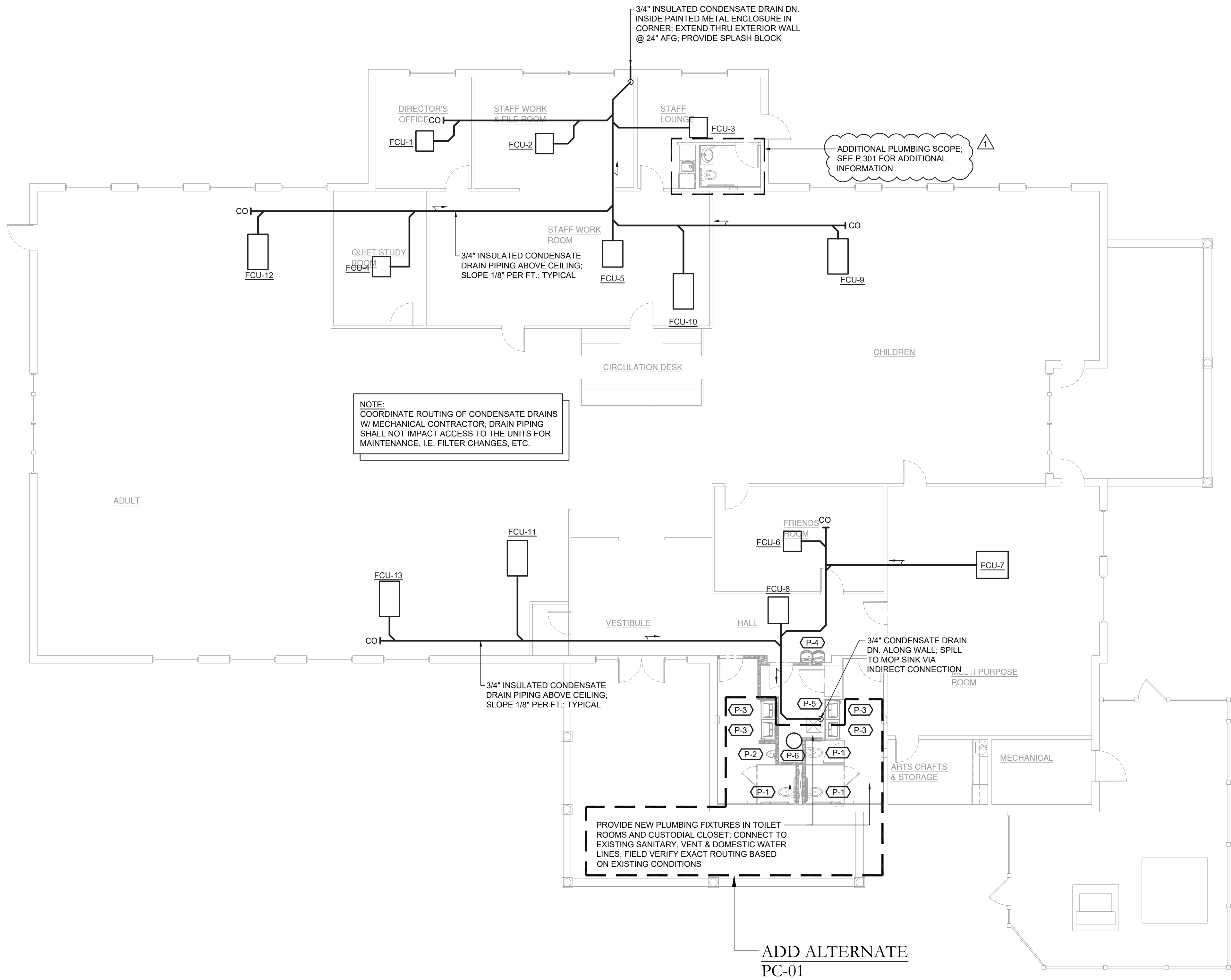
2150

SHEET NO.

PD.201

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN  
IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE  
NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC



1 Plumbing Plan  
P.201 Scale: 1/8" = 1'-0"

KEY PLAN:  
'CORNWALL PUBLIC LIBRARY'  
HUDSON ST.

TRUE NORTH  
PROJECT NORTH

PROJECT:  
CORNWALL PUBLIC LIBRARY  
HVAC SYSTEM  
REPLACEMENT PROJECT  
395 HUDSON STREET  
CORNWALL, NEW YORK 12518  
SED #:44-03-01-06-6-009-006

SUB-CONSULTANT:

ENGINEER:

**BLAKE ENGINEERING PLLC**  
1898 COUNTY ROUTE 1  
WESTTOWN, NEW YORK 10998  
TEL:845-467-9207 FAX:845-767-5050  
MBLAKE@BLAKEENGINEERINGPLLCCOM

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY ENGINEER

MATTHEW G. BLAKE, P.E., LEED AP  
NY - 89039 NJ - GE050037 PA - PE079303  
MA - 53197 CT - 32283 FL - 85928

PLUMBING PLAN

DATE:	DRN	CHK	DESCRIPTION
01.26.2023	BJK	BJK	CONSTRUCTION DWGS

REV.	DATE	DRN	CHK	DESCRIPTION
1	02.16.2023	BJK	BJK	ADDENDUM #2

PROJECT NO.	SHEET NO.
2150	P.201

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.  
COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC



Key Notes:

- 1

EXISTING LAVATORY TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)
- 2

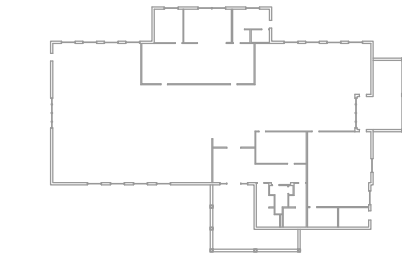
EXISTING WATER CLOSET TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)
- 3

EXISTING KITCHENETTE SINK TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)

KEY PLAN:

'CORNWALL PUBLIC LIBRARY'

HUDSON ST.

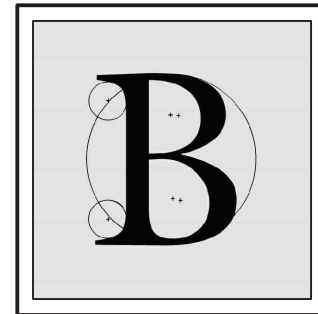


PROJECT:

CORNWALL PUBLIC LIBRARY  
HVAC SYSTEM REPLACEMENT PROJECT  
395 HUDSON STREET  
CORNWALL, NEW YORK 12518  
SED #:44-03-01-06-6-009-006

SUB-CONSULTANT:

ENGINEER:



BLAKE  
ENGINEERING PLLC

1898 COUNTY ROUTE 1  
WESTTOWN, NEW YORK 10998  
TEL:845-467-9207 FAX:845-767-5050  
MBLAKE@BLAKEENGINEERINGPLLCCOM



NOT VALID FOR CONSTRUCTION UNLESS  
SIGNED AND SEALED BY ENGINEER

MATTHEW G. BLAKE, P.E., LEED AP  
NY - 89039 NJ - GE050037 PA - PE079303  
MA - 53197 CT - 32283 FL - 85928

STAFF RESTROOM &  
KITCHENETTE PLUMBING  
PLAN

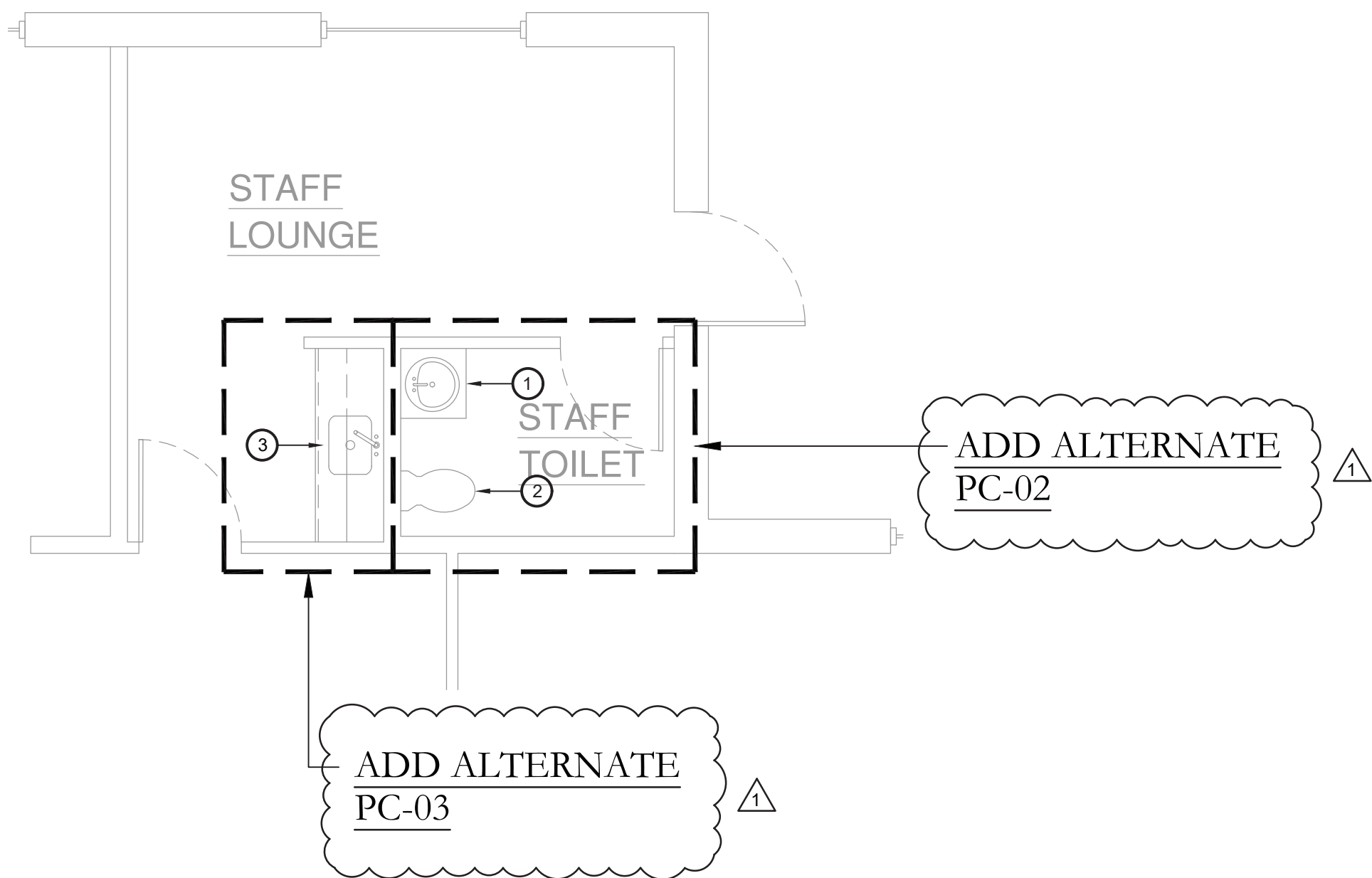
DATE:	DRN	CHK	DESCRIPTION
01.26.2023	BJK	BJK	CONSTRUCTION DWGS

REV.	DATE	DRN	CHK	DESCRIPTION
1	02.16.2023	BJK	BJK	ADDENDUM #2

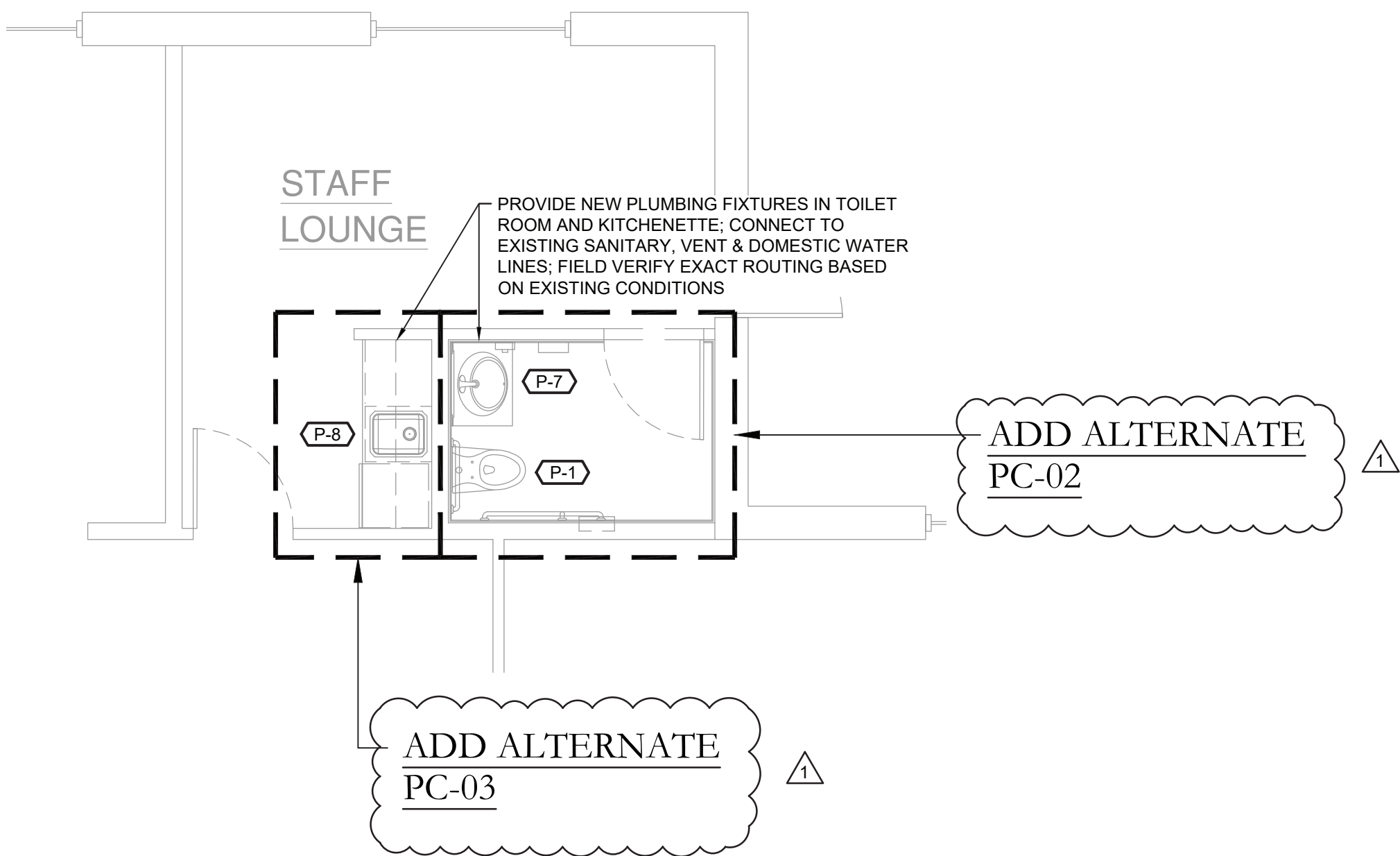
PROJECT NO.	SHEET NO.
2150	P.301

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN  
IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE  
NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC



1 Plumbing Demolition Plan  
Scale: 1/4" = 1'-0"



2 Plumbing Plan  
Scale: 1/4" = 1'-0"



AIR-COOLED HEAT PUMP SCHEDULE																							
EQUIPMENT TAG	MANUFACTURER (OR ACCEPT. EQUAL)	MODEL	INDOOR UNITS SERVED	COMPRESSOR TYPE	NOM. COOL CAPACITY (MBH)	NOM. HEAT CAPACITY (MBH)	TOTAL COOL CAPACITY (MBH) @65°F AMB.	TOTAL HEAT CAPACITY (MBH) @-10°F AMB.	OUTDOOR OPERATING TEMP. RANGE (°F)		AHRI EFFICIENCY RATINGS				REFRIGERANT	SOUND PRESSURE LEVEL COOLING/ HEATING (dBA)	ELECTRICAL POWER REQUIREMENTS					WEIGHT (LB)	NOTES
									COOLING	HEATING	EER	IEER	COP47F	COP17F			VOLT.	PHASE	Hz.	MCA	MOCP		
HP-1	HITACHI	HVAHR384B32S	SEE INDOOR UNIT SCHEDULE	INVERTER SCROLL HERMETIC	384,000	432,000	340.6	216.9	23 TO 122	-13 TO 59	9.6	19.6	3.37	2.20	R410A	69	208	3	60	58 & 46 x2	70 & 60 x2	776 & 774 x2	PROVIDE W/ REQUIRED PIPING ACCESSORIES; INSTALL PER MANUFACTURER REQUIREMENTS

INDOOR MINI-SPLIT UNIT SCHEDULE																						
EQUIPMENT TAG	MANUFACTURER (OR ACCEPT. EQUAL)	MODEL	MINI-SPLIT UNIT TYPE	AREA OF BUILDING SERVED	AIRFLOW (CFM)	COOLING			HEATING			PAIRED OUTDOOR UNIT	EXTERNAL STATIC PRESSURE (IN. W.C.)	ELECTRICAL POWER REQUIREMENTS				WEIGHT (LB)	NOTES			
						CAPACITY (MBH)	EDB (°F)	EWB (°F)	CAPACITY (MBH)	EDB (°F)	EWB (°F)			VOLT.	PHASE	Hz.	W					
FCU-1	HITACHI	HIDM008B23S	DUCTED MEDIUM STATIC	DIRECTOR'S OFFICE	250	7.3	80.0	67.0	4.6	70.0	60.0	HP-1	0.50	208	1	60	157	57	SEE VRF SYSTEM NOTES			
FCU-2	HITACHI	HIDM012B23S	DUCTED MEDIUM STATIC	FILE ROOM	450	11.0	80.0	67.0	7.0	70.0	60.0		0.50	208	1	60	157	60	SEE VRF SYSTEM NOTES			
FCU-3	HITACHI	HIDM012B23S	DUCTED MEDIUM STATIC	STAFF LOUNGE	280	11.0	80.0	67.0	7.0	70.0	60.0		0.50	208	1	60	157	60	SEE VRF SYSTEM NOTES			
FCU-4	HITACHI	HICM008B23S	DUCTED MEDIUM STATIC	QUIET STUDY ROOM	250	7.3	80.0	67.0	4.6	70.0	60.0		0.50	208	1	60	157	57	SEE VRF SYSTEM NOTES			
FCU-5	HITACHI	HIDM018B23S	DUCTED MEDIUM STATIC	STAFF WORK ROOM	600	16.4	80.0	67.0	10.5	70.0	60.0		0.50	208	1	60	190	79	SEE VRF SYSTEM NOTES			
FCU-6	HITACHI	HIDM012B23S	DUCTED MEDIUM STATIC	FRIENDS ROOM	360	11.0	80.0	67.0	7.0	70.0	60.0		0.50	208	1	60	157	60	SEE VRF SYSTEM NOTES			
FCU-7	HITACHI	HIDH072B21S	DUCTED HIGH STATIC	MULTI PURPOSE ROOM/ARTS AND CRAFTS	1,925	65.7	80.0	67.0	41.9	70.0	60.0		0.50	208	1	60	840	258	SEE VRF SYSTEM NOTES			
FCU-8	HITACHI	HIDM027B23S	DUCTED MEDIUM STATIC	VESTIBULE/HALL	760	24.7	80.0	67.0	15.7	70.0	60.0		0.50	208	1	60	190	79	SEE VRF SYSTEM NOTES			
FCU-9	HITACHI	HIDH036B22S	DUCTED HIGH STATIC	CHILDREN ZONE 1	1,200	32.9	80.0	67.0	20.9	70.0	60.0		0.50	208	1	60	259	106	SEE VRF SYSTEM NOTES			
FCU-10	HITACHI	HIDH048B22S	DUCTED HIGH STATIC	CENTRAL ZONE 1	1,250	43.8	80.0	67.0	27.9	70.0	60.0		0.50	208	1	60	259	106	SEE VRF SYSTEM NOTES			
FCU-11	HITACHI	HIDH036B22S	DUCTED HIGH STATIC	CENTRAL ZONE 2	800	32.9	80.0	67.0	20.9	70.0	60.0		0.50	208	1	60	259	106	SEE VRF SYSTEM NOTES			
FCU-12	HITACHI	HIDH036B22S	DUCTED HIGH STATIC	ADULT ZONE 1	1,000	32.9	80.0	67.0	20.9	70.0	60.0		0.50	208	1	60	259	106	SEE VRF SYSTEM NOTES			
FCU-13	HITACHI	HIDH048B22S	DUCTED HIGH STATIC	ADULT ZONE 2	1,260	43.8	80.0	67.0	27.9	70.0	60.0		0.50	208	1	60	259	106	SEE VRF SYSTEM NOTES			

ENERGY RECOVERY VENTILATOR SCHEDULE																													
EQUIPMENT TAG	MANUFACTURER (OR ACCEPT. EQUAL)	MODEL	FRESH AIR FLOW RATE (CFM)	EXHAUST AIR FLOW RATE (CFM)	ROOM EXH. AIR (°F)				OUTSIDE AIR (°F)				SUPPLY AIR (°F)				RECOVERY EFFECTIVENESS				ELECTRICAL DATA						WEIGHT (LB)	NOTES	
					WINTER		SUMMER		WINTER		SUMMER		WINTER		SUMMER		SENSIBLE		TOTAL		MOTOR		VOLT.	PHASE	Hz.	FLA			MOCP
					DB	WB	DB	WB	DB	WB	DB	WB	DB	WB	DB	WB	WINTER	SUMMER	WINTER	SUMMER	QTY.	PWR.							
ERV-1	RENEWAIRE	HE-4XJINV-S35VV-DANT-WL	2500	2500	70.0	51.4	75.0	62.5	4.6	2.6	90.2	72.9	51.8	40.0	79.2	67.6	72.1%	72.1%	70.2%	53.6%	2	2 HP	208	3	60	14.8	20	-	PROVIDE W/ MERV-13 FILTERS, ECM MOTORS, DISCONNECT SWITCH, BACKDRAFT DAMPERS, TIMER FOR OCCUPIED OPERATION & ELEC DUCT HEATER

AIR GRILLE/DIFFUSER SCHEDULE														
EQUIPMENT TAG	MANUFACTURER (OR ACCEPT. EQUAL)	MODEL	AIR DEVICE TYPE	AIRFLOW (CFM)		MAX AIR PRESS. DROP (IN. W.C.)	MOUNTING	PANEL/FRAME SIZE (IN.)	NECK SIZE (IN.)	MAX NC	DAMPER	FINISH	NOTES	
				MIN.	MAX.									
D-1	KRUEGER	PLQ-6-F23-24x24-PR10-IB-44	SQUARE PLAQUE FACE DIFFUSER	50	175	0.10	LAY-IN	24"x24"	6"Ø	20	OBD	WHITE	-	
D-2	KRUEGER	PLQ-8-F23-24x24-PR10-IB-44	SQUARE PLAQUE FACE DIFFUSER	176	300	0.10	LAY-IN	24"x24"	8"Ø	20	OBD	WHITE	-	
D-3	KRUEGER	PLQ-10-F23-24x24-PR10-IB-44	SQUARE PLAQUE FACE DIFFUSER	301	435	0.10	LAY-IN	24"x24"	10"Ø	20	OBD	WHITE	-	
R-1/EG-1	KRUEGER	S80P-20x20-F23-24x24-00-00-00-44	PERFORATED FACE RETURN GRILLE	0	1,600	0.10	LAY-IN	24"x24"	20"x20"	25	-	WHITE	FURNISH & INSTALL FULL-SIZE SHEET METAL PLENUM BOX ON REAR OF GRILLE, PAINT INSIDE FLAT BLACK	

VENTILATION SCHEDULE											
SYSTEM	SPACE SERVED	SPACE TYPE	SPACE AREA (SQ. FT.)	OCCUPANTS PER 1000 SQ. FT.	# OF OCCUPANTS	CFM PER PERSON	CFM PER SQ. FT.	CALCULATED VENTILATION RATE (CFM)	ZONE AIR DISTRIBUTION EFFECTIVENESS	ADJUSTED VENTILATION RATE (CFM)	PROVIDED VENTILATION RATE (CFM)
FCU-1	DIRECTOR'S OFFICE	OFFICE	180	5	1	5	0.06	16	0.8	20	20
FCU-2	FILE ROOM	OFFICE	300	5	2	5	0.06	28	0.8	35	35
FCU-3	STAFF LOUNGE	BREAK ROOM	181	50	1	5	0.12	16	0.8	20	20
FCU-4	QUIET STUDY ROOM	CONFERENCE	206	50	11	5	0.06	67	0.8	84	85
FCU-5	STAFF WORK ROOM	OFFICE	644	5	4	5	0.06	59	0.8	73	75
FCU-6	FRIENDS ROOM	LIBRARY	301	50	4	5	0.06	56	0.8	70	70
FCU-7	MULTI PURPOSE ROOM	MULTI USE ASSEMBLY	881	100	89	7.5	0.06	720	0.8	900	900
	ARTS AND CRAFTS	STORAGE	110	0	0	0	0.12	13	0.8	17	20
FCU-8	VESTIBULE/HALL	CORRIDOR	462	0	0	0	0.06	28	0.8	35	35
FCU-9	CHILDREN ZONE	LIBRARY	898	10	9	5	0.12	153	0.8	191	200
FCU-10	CENTRAL ZONE 1	LIBRARY	1,277	10	13	5	0.12	218	0.8	273	275
FCU-11	CENTRAL ZONE 2	LIBRARY	1,027	10	11	5	0.12	178	0.8	223	225
FCU-12	ADULT ZONE 1	LIBRARY	840	10	9	5	0.12	146	0.8	182	185
FCU-13	ADULT ZONE 2	LIBRARY	1,637	10	17	5	0.12	281	0.8	352	355

VRF System Notes:

1. WIRED 7 DAY PROGRAMMABLE THERMOSTAT SHALL BE FURNISHED BY MECHANICAL CONTRACTOR FOR EACH INDOOR UNIT. THERMOSTATS SHIP LOOSE FOR FIELD INSTALLATION AND WIRING BY THE MECHANICAL CONTRACTOR.

2. MECHANICAL CONTRACTOR TO PROVIDE CENTRAL CONTROLLER FOR LOCAL SET POINT CONTROL AND SYSTEM VIEWING. CONTROLLER TO BE INSTALLED AND WIRING BY MECHANICAL CONTRACTOR. 24V POWER BY ELECTRICAL CONTRACTOR.

3. DISCONNECT SWITCHES FOR CONDENSING UNITS AND INDOOR UNITS SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR.

4. EXTERNAL SUPPORTS FOR INDOOR AND CONDENSING UNITS SHALL BE FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR.

5. FILTER RACK AND 2" PLEATED MERV-13 FILTERS FOR DUCTED UNITS SHALL FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR. FILTER RACK SHALL BE GALVANIZED STEEL, FULLY INSULATED & FACTORY ASSEMBLED. TYPICAL OF FLT-H SERIES OR EQUAL

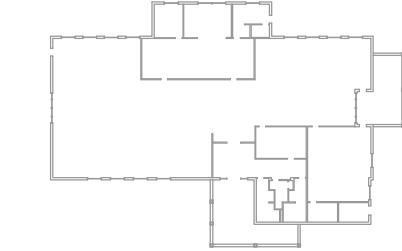
6. CONDENSATE PUMPS SHIP FOR FIELD INSTALLATION BY MECHANICAL CONTRACTOR FOR WALL MOUNTED UNITS. DUCTED UNITS FURNISHED WITH FACTORY MOUNTED CONDENSATE PUMP. MECHANICAL CONTRACTOR TO PROVIDE CONDENSATE PIPING FROM ALL UNITS TO SANITARY DRAIN. FIELD VERIFY EXACT ROUTING AND TERMINATION POINT IN BUILDING.

7. PROVIDE REFRIGERANT ISOLATION VALVES ON LIQUID AND GAS LINES AT EVERY FAN COIL UNIT.

KEY PLAN:

'CORNWALL PUBLIC LIBRARY'

HUDSON ST.

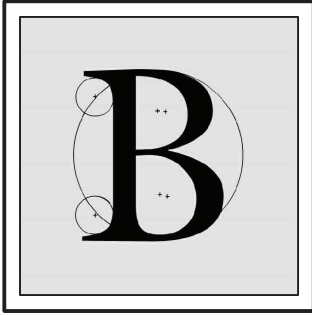


PROJECT:

CORNWALL PUBLIC LIBRARY  
HVAC SYSTEM REPLACEMENT PROJECT  
395 HUDSON STREET  
CORNWALL, NEW YORK 12518  
SED #:44-03-01-06-6-009-006

SUB-CONSULTANT:

ENGINEER:



BLAKE ENGINEERING PLLC  
1898 COUNTY ROUTE 1  
WESTTOWN, NEW YORK 10998  
TEL:845-467-9207 FAX:845-767-5050  
M.BLAKE@BLAKEENGINEERINGPLLCCOM



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY ENGINEER

MATTHEW G. BLAKE, P.E., LEED AP  
NY - 89039 NJ - GE050037 PA - PE079303  
MA - 53197 CT - 32283 FL - 85928

MECHANICAL SCHEDULES

DATE:		DRN	CHK	DESCRIPTION
01.26.2023		BJK	BJK	CONSTRUCTION DWGS
REV.	DATE:	DRN	CHK	DESCRIPTION
1	02.16.2023	BJK	BJK	ADDENDUM #2

PROJECT NO.

2150

SHEET NO.

M.102

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC



120/208V 3Ø 4W+G				BUS RATING: 225A				100 AMP MCB			
CONNECTED LOAD	CONDUCTORS	CKT. BREAKER AMPACITY	POSITION	L1 KVA	L2 KVA	L3 KVA	POSITION	CKT. BREAKER AMPACITY	CONDUCTORS	CONNECTED LOAD	
EXIST-FACP	EXISTING	20	1	-	-	-	2	20	EXISTING	EXIST-SAGE & SECURITY	
EXIST-REC-STACK AREA FLOOR	EXISTING	20	3	-	-	-	4	20	EXISTING	EXIST-REC-DATA CLOS.	
EXIST-REC-STACK AREA	EXISTING	20	5	-	-	-	6	20	EXISTING	EXIST-REC-PA COMP RM FLOOR	
EXIST-REC-STACK AREA	EXISTING	20	7	-	-	-	8	20	EXISTING	EXIST-REC-PA COMP RM FLOOR	
EXIST-REC-STACK AREA FLOOR	EXISTING	20	9	-	-	-	10	20	EXISTING	EXIST-REC-MP ROOM	
EXIST-REC-CIRC. DESK FLOOR	EXISTING	20	11	-	-	-	12	20	EXISTING	EXIST-REC-MP ROOM	
EXIST-REC-STAFF WR	EXISTING	20	13	-	-	-	14	20	EXISTING	EXIST-REC-CHILDRENS FLOOR	
EXIST-REC-STAFF WR	EXISTING	20	15	-	-	-	16	20	EXISTING	EXIST-REC-CHILDRENS FLOOR	
EXIST-REC-CIRC DESK WALL	EXISTING	20	17	-	-	-	18	20	EXISTING	EXIST-REC-CHILDRENS FLOOR	
EXIST-REC-STAFF WR	EXISTING	20	19	-	-	-	20	20	(2) #12 CU & (1) #12 GND.	PLUMBING FIXTURES	
EXIST-REC-STACK AREA FLOOR	EXISTING	20	21	-	-	-	22	20	EXISTING	EXIST-PLUGMOLD	
EXIST-REC-STACK AREA FLOOR	EXISTING	20	23	-	-	-	24	20	EXISTING	EXIST-PLUGMOLD	
FAN COIL UNITS	(2) #12 CU & (1) #12 GND.	20	25	-	-	-	26	20	(2) #12 CU & (1) #12 GND.	VRF SYSTEM CONTROLLER	
KITCHENETTE RECEPTACLE	(2) #12 CU & (1) #12 GND.	20	27	-	-	-	28	20	(2) #12 CU & (1) #12 GND.	CH-1 - ELECTRIC HEATER	
EXISTING GE A SERIES PANELBOARD		20	29	-	-	-	30	20	EXISTING	EXIST-CHILDREN COLLECTION	
				-	-	-	- KVA TOTAL				

- PROVIDE NEW CIRCUIT BREAKERS FOR ALL NEW OR MODIFIED CIRCUITS; BREAKERS SHALL MATCH EXISTING TYPE AND RATING
- PANEL SCHEDULE SHOWN BASED ON EXISTING DIRECTORY, CONTRACTOR SHALL VERIFY IN FIELD & ADJUST CIRCUIT LAYOUT AS NEEDED BASED ON AVAILABLE POSITIONS

1 Existing Panelboard CP-1  
E.102 Scale: None

ADD ALTERNATE  
EC-03

ADD ALTERNATE  
EC-02

277/480V 3Ø 4W+G, 10kAIC RATING				BUS RATING: 225A				MAIN LUGS ONLY			
CONNECTED LOAD	CONDUCTORS	CKT. BREAKER AMPACITY	POSITION	L1 KVA	L2 KVA	L3 KVA	POSITION	CKT. BREAKER AMPACITY	CONDUCTORS	CONNECTED LOAD	
SPARE	-	20	1	-	-	-	2	-	-	-	
			3	-	-	-	4	100	EXISTING	PANEL CP1	
			5	-	-	-	6	-	-	-	
HEAT PUMP	(3) #4 CU & (1) #8 GND.	70	7	-	-	-	8	-	-	-	
			9	-	-	-	10	100	EXISTING	PANEL L1	
			11	-	-	-	12	-	-	-	
HEAT PUMP	(3) #6 CU & (1) #10 GND.	60	13	-	-	-	14	-	-	-	
			15	-	-	-	16	100	EXISTING	PANEL P1	
			17	-	-	-	18	-	-	-	
HEAT PUMP	(3) #6 CU & (1) #10 GND.	60	19	-	-	-	20	20	EXISTING	SNOW MELT	
			21	-	-	-	22	20	EXISTING	SNOW MELT	
			23	-	-	-	24	20	EXISTING	SNOW MELT	
			25	-	-	-	26	20	EXISTING	SNOW MELT	
SPARE	-	15	27	-	-	-	28	20	EXISTING	SNOW MELT	
			29	-	-	-	30	20	EXISTING	SNOW MELT	
			31	-	-	-	32	20	EXISTING	SNOW MELT	
SPARE	-	15	33	-	-	-	34	-	-	SPACE	
			35	-	-	-	36	-	-	-	
EXISTING	-	20	37	-	-	-	38	40	EXISTING	SURGE SUPPRESSOR	
EXISTING	-	20	39	-	-	-	40	-	-	-	
SPACE	-	-	41	-	-	-	42	-	-	SPACE	
EXISTING GE A SERIES PANELBOARD				23.68	21.45	18.78	63.91 KVA TOTAL				

- PROVIDE NEW CIRCUIT BREAKERS FOR ALL NEW OR MODIFIED CIRCUITS; BREAKERS SHALL MATCH EXISTING TYPE AND RATING
- PANEL SCHEDULE SHOWN BASED ON EXISTING DIRECTORY, CONTRACTOR SHALL VERIFY IN FIELD & ADJUST CIRCUIT LAYOUT AS NEEDED BASED ON AVAILABLE POSITIONS

3 Existing Main Distribution Panel MDP-1 Schedule  
E.102 Scale: None

120/208V 3Ø 4W+G			BUS RATING: 125A							100 AMP MCB	
CONNECTED LOAD	CONDUCTORS	CKT. BREAKER AMPACITY	POSITION	L1 KVA	L2 KVA	L3 KVA	POSITION	CKT. BREAKER AMPACITY	CONDUCTORS	CONNECTED LOAD	
EXIST-LTG-EXIT/NL'S	EXISTING	20	1	-	-	-	2	20	EXISTING	EXIST-LTG-CENTER PEND	
EXIST-LTG-STOR/RR'S	EXISTING	20	3	-	-	-	4	20	EXISTING	EXIST-LTG-CENTER PEND	
EXIST-LTG-LOBBY	EXISTING	20	5	-	-	-	6	20	EXISTING	EXIST-LTG-STACKS(AF)	
EXIST-LTG-STAFF WR	EXISTING	20	7	-	-	-	8	20	EXISTING	EXIST-LTG-CHILDREN	
EXIST-LTG-STAFF WR	EXISTING	20	9	-	-	-	10	20	EXISTING	EXIST-LTG-CHILDREN	
EXIST-LTG-OFF/LOUNGE	EXISTING	20	11	-	-	-	12	20	EXISTING	EXIST-LTG-COVE	
EXIST-LTG-FRNT CANOPY	EXISTING	20	13	-	-	-	14	20	EXISTING	EXIST-LTG-COVE	
EXIST-LTG-SIDE CANOPY	EXISTING	20	15	-	-	-	16	20	EXISTING	EXIST-LTG-COVE	
EXIST-LTG-PARK LOT	EXISTING	20	17	-	-	-	18	20	EXISTING	EXIST-LTG-MP ROOM	
EXIST-LTG-PARK LOT	EXISTING	20	19	-	-	-	20	20	EXISTING	EXIST-LTG-MP ROOM	
EXIST-LTG-STACKS	EXISTING	20	21	-	-	-	22	20	EXISTING	EXIST-LTG-MP ROOM	
EXIST-LTG-STACKS	EXISTING	20	23	-	-	-	24	20	EXISTING	EXIST-SPARE	
EXIST-LTG-STACKS	EXISTING	20	25	-	-	-	26	20	EXISTING	EXIST-SPARE	
EXIST-SPARE	EXISTING	20	27	-	-	-	28	20	EXISTING	EXIST-TV OUTLET	
EXIST-SPARE	EXISTING	20	29	-	-	-	30	20	-	EXIST-SPARE	
EXISTING GE A SERIES PANELBOARD				-	-	-	- KVA TOTAL				

- PROVIDE NEW CIRCUIT BREAKERS FOR ALL NEW OR MODIFIED CIRCUITS; BREAKERS SHALL MATCH EXISTING TYPE AND RATING
- PANEL SCHEDULE SHOWN BASED ON EXISTING DIRECTORY, CONTRACTOR SHALL VERIFY IN FIELD & ADJUST CIRCUIT LAYOUT AS NEEDED BASED ON AVAILABLE POSITIONS

2 Existing Panelboard L-1  
E.102 Scale: None

120/208V 3Ø 4W+G				BUS RATING: 225A				MLO			
CONNECTED LOAD	CONDUCTORS	CKT. BREAKER AMPACITY	POSITION	L1 KVA	L2 KVA	L3 KVA	POSITION	CKT. BREAKER AMPACITY	CONDUCTORS	CONNECTED LOAD	
EXIST-REC-STACKS	EXISTING	20	1	-	-	-	2	20	EXISTING	EXIST-REC-MP ROOM	
EXIST-REC-STACKS	EXISTING	20	3	-	-	-	4	20	EXISTING	EXIST-REC-MP ROOM	
EXIST-REC-COPIER	EXISTING	20	5	-	-	-	6	20	EXISTING	EXIST-REC-CHILDRENS	
EXIST-REC-OFFICE/FILE	EXISTING	20	7	-	-	-	8	20	EXISTING	EXIST-ART STOR-MW	
EXIST-REC-LOUNGE	EXISTING	20	9	-	-	-	10	20	EXISTING	EXIST-ART STOR-REFRIG	
EXIST-WTR HTR WH-B	EXISTING	20	11	-	-	-	12	20	EXISTING	EXIST-VAX BOXES	
EXIST-DWYER UNIT	EXISTING	30	13	-	-	-	14	30	(2) #10 CU & (1) #10 GND.	WATER HEATER	
EXIST-ART STORAGE REC	EXISTING	20	15	-	-	-	16	20	EXISTING	EXIST-HUMIFIER	
EXIST-REC-COPIER FLOOR	EXISTING	20	17	-	-	-	18	20	EXISTING	EXIST-REC-BOILER RM	
FAN COIL UNITS	(2) #12 CU & (1) #12 GND.	20	19	-	-	-	20	20	EXISTING	EXIST-REC-LOBBY	
EXIST-VAV BOXES	EXISTING	20	21	-	-	-	22	20	EXISTING	EXIST-REC-EWC'S	
EXIST-EF-1	EXISTING	15	23	-	-	-	24	20	EXISTING	EXIST-WTR HTR WH-C	
EXIST-DISHWASHER	EXISTING	20	25	-	-	-	26	20	(2) #12 CU & (1) #12 GND.	CH-1 - ELECTRIC HEATER	
ERV-1	(3) #12 CU & (1) #12 GND.	20	27	-	-	-	28	20	(2) #12 CU & (1) #12 GND.	CH-1 - ELECTRIC HEATER	
EXIST-SPARE	EXISTING	20	29	-	-	-	30	20	(2) #12 CU & (1) #12 GND.	ELECTRIC DUCT HEATER	
EXIST-HANDICAP DOOR	EXISTING	20	31	-	-	-	32	40	(3) #8 CU & (1) #10 GND.	PLUMBING FIXTURES	
EXIST-VAX BOXES	EXISTING	20	33	-	-	-	34	20	(2) #12 CU & (1) #12 GND.	EXIST-STOVE TOP	
EXISTING GE A SERIES PANELBOARD				-	-	-	- KVA TOTAL				

- PROVIDE NEW CIRCUIT BREAKERS FOR ALL NEW OR MODIFIED CIRCUITS; BREAKERS SHALL MATCH EXISTING TYPE AND RATING
- PANEL SCHEDULE SHOWN BASED ON EXISTING DIRECTORY, CONTRACTOR SHALL VERIFY IN FIELD & ADJUST CIRCUIT LAYOUT AS NEEDED BASED ON AVAILABLE POSITIONS

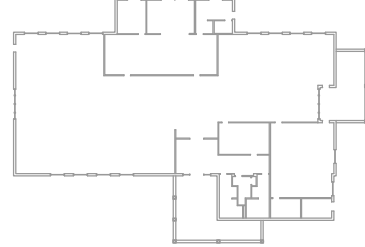
4 Existing Panelboard P-1  
E.102 Scale: None

ADD ALTERNATE  
EC-01

KEY PLAN:

'CORNWALL PUBLIC LIBRARY'

HUDSON ST.

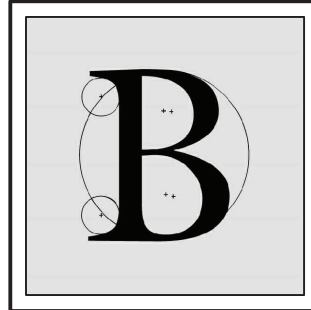


PROJECT:

CORNWALL PUBLIC LIBRARY  
HVAC SYSTEM  
REPLACEMENT PROJECT  
395 HUDSON STREET  
CORNWALL, NEW YORK 12518  
SED #44-03-01-06-6-009-006

SUB-CONSULTANT:

ENGINEER:



BLAKE  
ENGINEERING PLLC

1898 COUNTY ROUTE 1  
WESTTOWN, NEW YORK 10998  
TEL:845-467-9207 FAX:845-767-5050  
M.BLAKE@BLAKEENGINEERINGPLLC.COM



NOT VALID FOR CONSTRUCTION UNLESS  
SIGNED AND SEALED BY ENGINEER

MATTHEW G. BLAKE, P.E., LEED AP  
NY - 89039 NJ - GE050037 PA - PE079303  
MA - 53197 CT - 32283 FL - 85928

ELECTRICAL PANEL  
SCHEDULES

DATE:	DRN	CHK	DESCRIPTION
01.26.2023	BJK	BJK	CONSTRUCTION DWGS

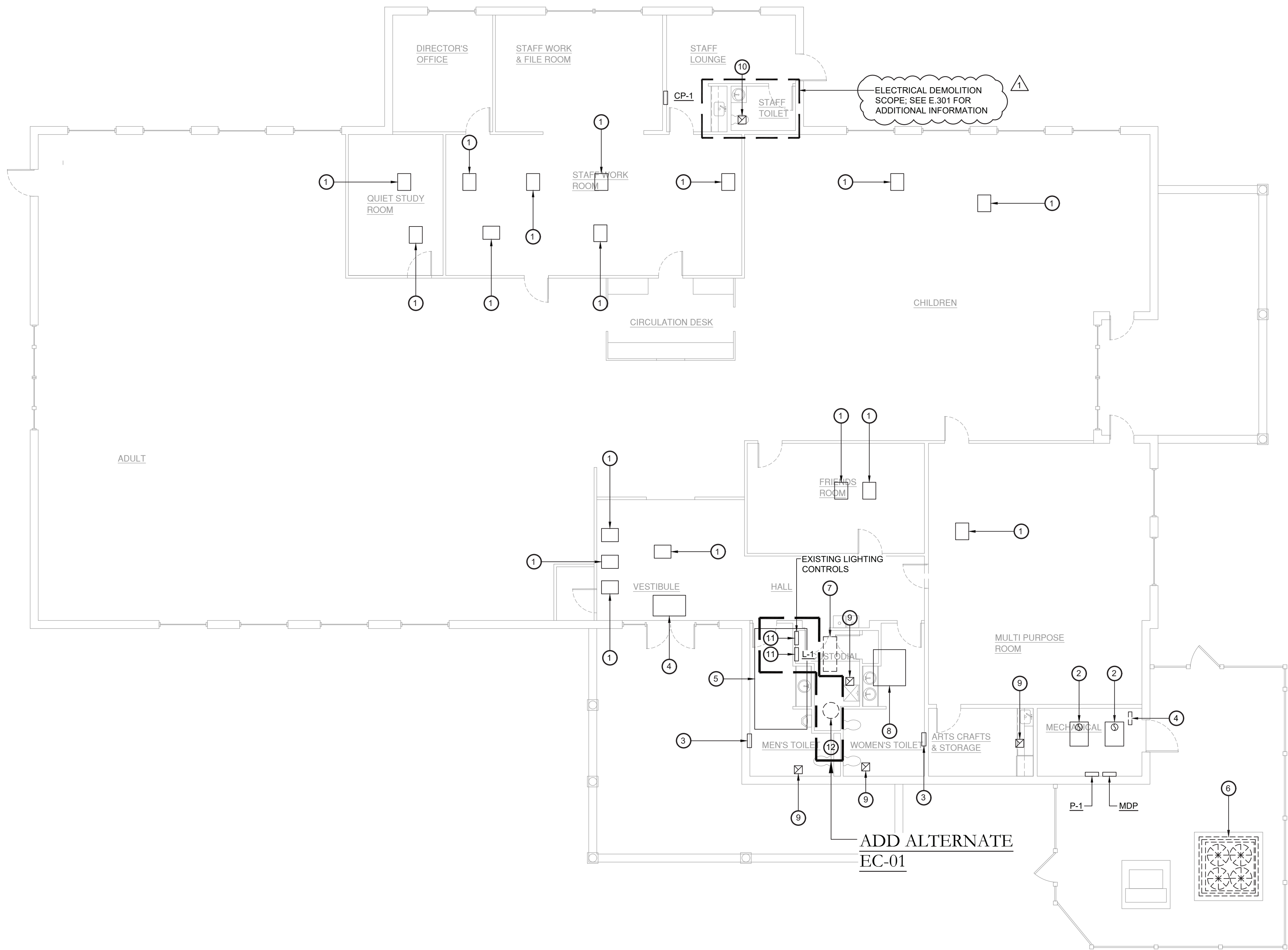
REV.	DATE	DRN	CHK	DESCRIPTION
1	02.16.2023	BJK	BJK	ADDENDUM #2

PROJECT NO.	SHEET NO.
2150	E.102

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN  
IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE  
NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC





1 Electrical Demolition Plan  
ED.201 Scale: 1/8" = 1'-0"

Key Notes:

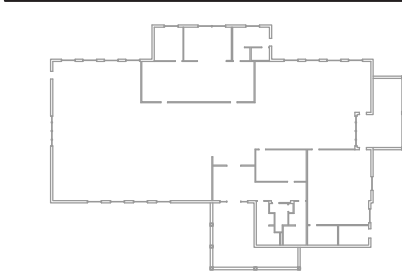
- EXISTING VAV BOX TO BE REMOVED BY MC; DISCONNECT, REMOVE & PROPERLY DISPOSE OF POWER BACK TO SOURCE INCLUDING ALL ASSOCIATED DISCONNECTS, WIRING AND CONDUITS
- EXISTING BOILER & ASSOCIATED BURNER, PUMPS, CONTROLS, ETC. TO BE REMOVED BY MC; DISCONNECT, REMOVE & PROPERLY DISPOSE OF POWER BACK TO SOURCE INCLUDING ALL ASSOCIATED DISCONNECTS, WIRING AND CONDUITS
- EXISTING WALL MOUNTED CABINET HEATER TO BE REMOVED BY MC; DISCONNECT, REMOVE & PROPERLY DISPOSE OF POWER BACK TO SOURCE INCLUDING ALL ASSOCIATED DISCONNECTS, WIRING AND CONDUITS
- EXISTING CEILING MOUNTED CABINET HEATER TO BE REMOVED BY MC; DISCONNECT, REMOVE & PROPERLY DISPOSE OF POWER BACK TO SOURCE INCLUDING ALL ASSOCIATED DISCONNECTS, WIRING AND CONDUITS
- EXISTING AIR HANDLING UNIT TO BE REMOVED BY MC; DISCONNECT, REMOVE & PROPERLY DISPOSE OF POWER BACK TO SOURCE INCLUDING VFD ALL ASSOCIATED DISCONNECTS, WIRING AND CONDUITS
- EXISTING CONDENSING UNIT TO BE REMOVED BY MC; DISCONNECT, REMOVE & PROPERLY DISPOSE OF POWER BACK TO SOURCE INCLUDING VFD ALL ASSOCIATED DISCONNECTS, WIRING AND CONDUITS
- EXISTING GAS FIRED HUMIDIFIER TO BE REMOVED BY MC; DISCONNECT, REMOVE & PROPERLY DISPOSE OF POWER BACK TO SOURCE INCLUDING ALL ASSOCIATED DISCONNECTS, WIRING AND CONDUITS
- EXISTING RETURN FAN TO BE REMOVED BY MC; DISCONNECT, REMOVE & PROPERLY DISPOSE OF POWER BACK TO SOURCE INCLUDING VFD AND ALL ASSOCIATED DISCONNECTS, WIRING AND CONDUITS
- EXISTING EXHAUST FAN TO BE REMOVED BY MC; DISCONNECT, REMOVE & PROPERLY DISPOSE OF POWER BACK TO SOURCE INCLUDING ALL ASSOCIATED DISCONNECTS, WIRING AND CONDUITS
- EXISTING EXHAUST FAN TO BE REMAIN; DISCONNECT POWER SOURCE AND RECONNECT AS NEEDED TO TEMPORARILY REMOVE FAN FOR CEILING REPLACEMENT
- EXISTING LIGHTING PANELBOARD & LIGHTING CONTROLS PANEL TO BE TEMPORARILY REMOVED FROM WALL TO ALLOW FOR ADJACENT CONSTRUCTION ACTIVITIES; DISCONNECT FEEDERS AND ALL DISTRIBUTION WIRING AND THEN MOUNT PANELS TO TEMPORARY STANCHION AND RECONNECT WIRING
- EXISTING WATER HEATER TO BE REMOVED BY PC; DISCONNECT, REMOVE & PROPERLY DISPOSE OF POWER BACK TO SOURCE INCLUDING ALL ASSOCIATED DISCONNECTS, WIRING AND CONDUITS

ADD ALTERNATE  
EC-01

KEY PLAN:

'CORNWALL PUBLIC LIBRARY'

HUDSON ST.

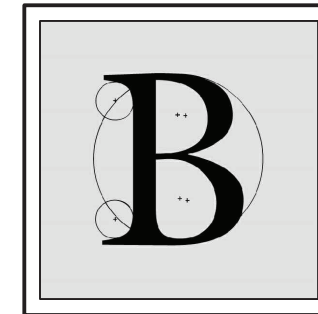


PROJECT:

CORNWALL PUBLIC LIBRARY  
HVAC SYSTEM REPLACEMENT PROJECT  
395 HUDSON STREET  
CORNWALL, NEW YORK 12518  
SED #:44-03-01-06-6-009-006

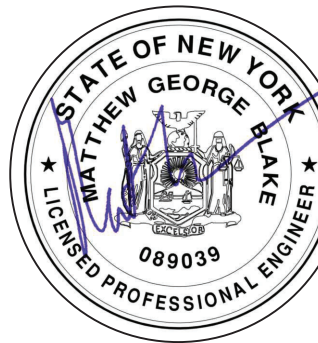
SUB-CONSULTANT:

ENGINEER:



BLAKE ENGINEERING PLLC

1898 COUNTY ROUTE 1  
WESTTOWN, NEW YORK 10998  
TEL:845-467-9207 FAX:845-767-5050  
MBLAKE@BLAKEENGINEERINGPLLCCOM



NOT VALID FOR CONSTRUCTION UNLESS  
SIGNED AND SEALED BY ENGINEER

MATTHEW G. BLAKE, P.E., LEED AP  
NY - 89039 NJ - GE050037 PA - PE079303  
MA - 53197 CT - 32283 FL - 85928

ELECTRICAL DEMOLITION PLAN

DATE:	DRN	CHK	DESCRIPTION
01.26.2023	BJK	BJK	CONSTRUCTION DWGS

REV.	DATE:	DRN	CHK	DESCRIPTION
1	02.16.2023	BJK	BJK	ADDENDUM #2

PROJECT NO.

2150

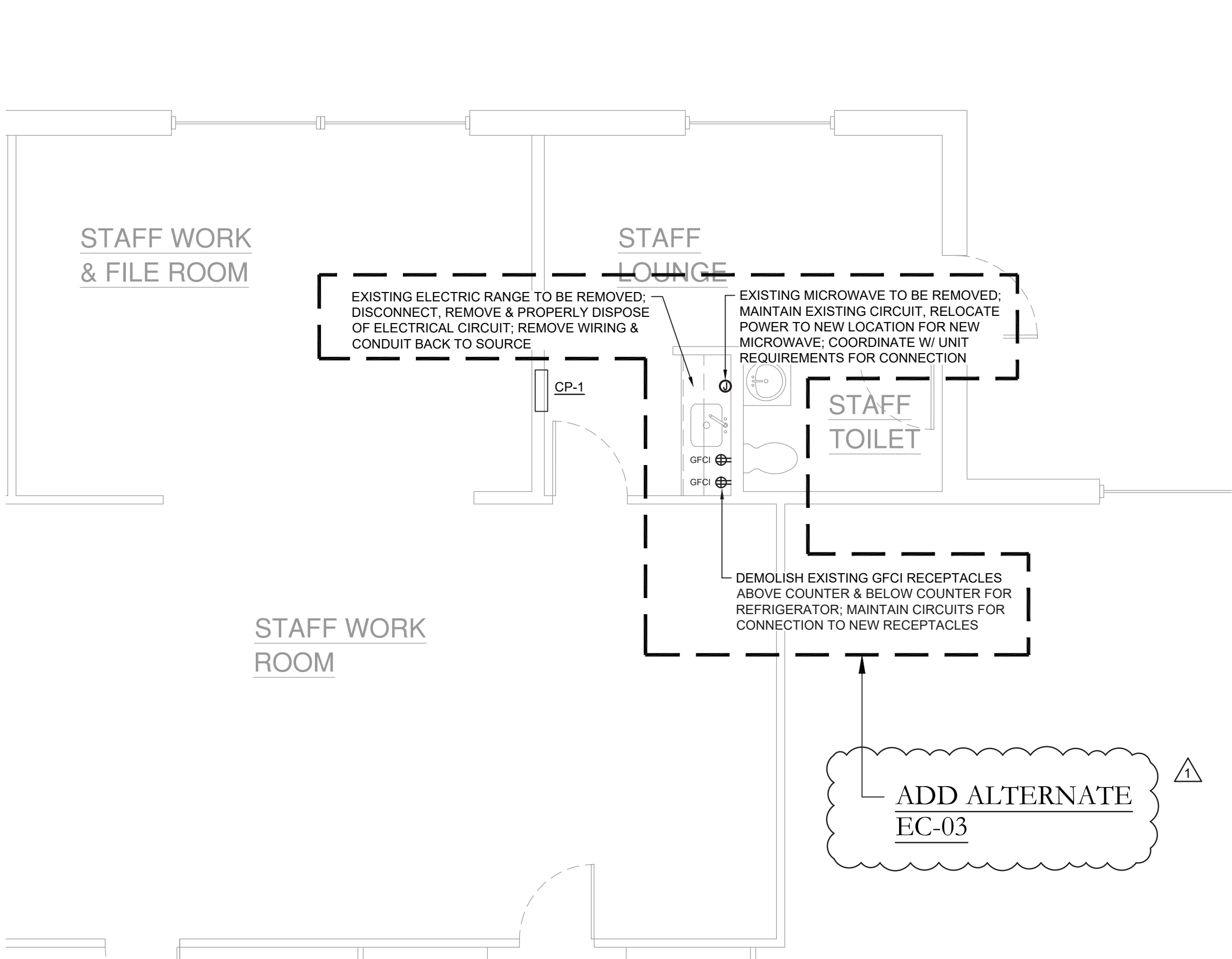
SHEET NO.

ED.201

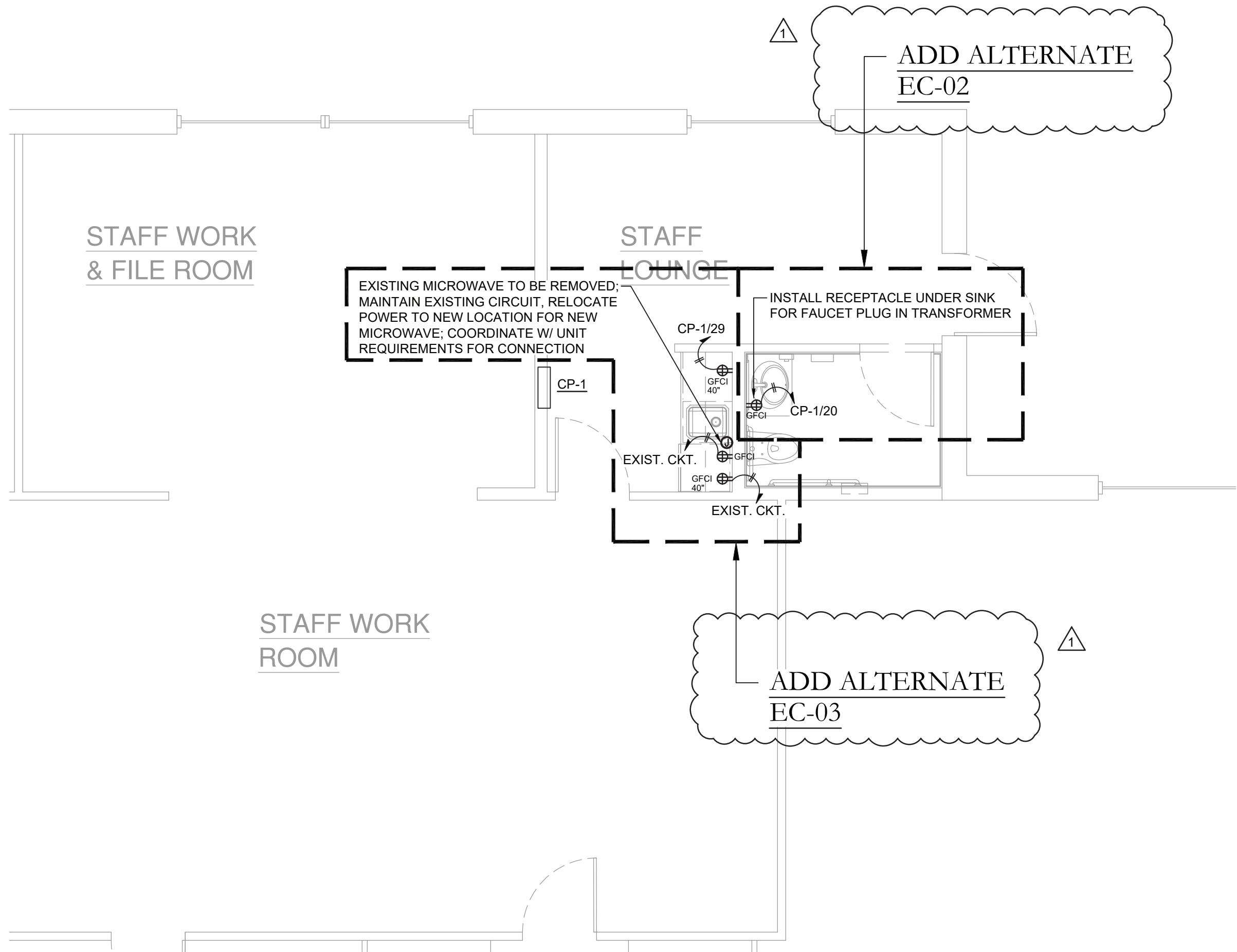
UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN  
IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE  
NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC





1 Electrical Demolition Plan  
E.301 Scale: 1/4" = 1'-0"



2 Electrical Plan  
E.301 Scale: 1/4" = 1'-0"

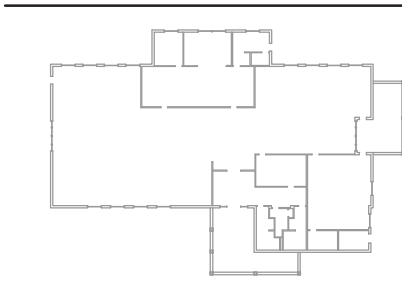
Key Notes:

- EXISTING LAVATORY TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)
- EXISTING WATER CLOSET TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)
- EXISTING KITCHENETTE SINK TO BE DISCONNECTED, REMOVED & PROPERLY DISPOSED OF. DEMOLISH SANITARY, VENT & WATER PIPING BACK TO MAINS AT FLOOR AND/OR WALL & CAP; MAINTAIN SERVICES FOR RECONNECTION TO NEW FIXTURE(S)

KEY PLAN:

'CORNWALL PUBLIC LIBRARY'

HUDSON ST.

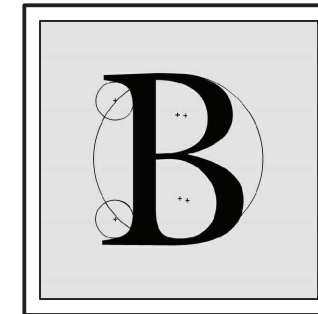


PROJECT:

CORNWALL PUBLIC LIBRARY  
HVAC SYSTEM REPLACEMENT PROJECT  
395 HUDSON STREET  
CORNWALL, NEW YORK 12518  
SED #:44-03-01-06-6-009-006

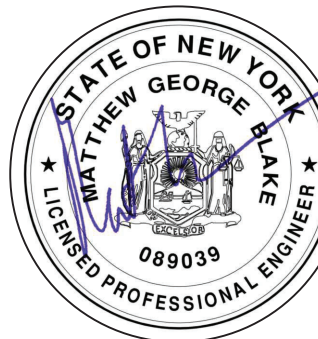
SUB-CONSULTANT:

ENGINEER:



**BLAKE ENGINEERING PLLC**

1898 COUNTY ROUTE 1  
WESTTOWN, NEW YORK 10998  
TEL:845-467-9207 FAX:845-767-5050  
MBLAKE@BLAKEENGINEERINGPLLCCOM



NOT VALID FOR CONSTRUCTION UNLESS  
SIGNED AND SEALED BY ENGINEER

MATTHEW G. BLAKE, P.E., LEED AP  
NY - 89039 NJ - GE050037 PA - PE079303  
MA - 53197 CT - 32283 FL - 85928

STAFF RESTROOM &  
KITCHENETTE ELECTRICAL  
PLAN

DATE	DRN	CHK	DESCRIPTION
01.26.2023	BJK	BJK	CONSTRUCTION DWGS

REV.	DATE	DRN	CHK	DESCRIPTION
1	02.16.2023	BJK	BJK	ADDENDUM #2

PROJECT NO.	SHEET NO.
2150	E.301

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN  
IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE  
NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2022 BY BLAKE ENGINEERING PLLC