

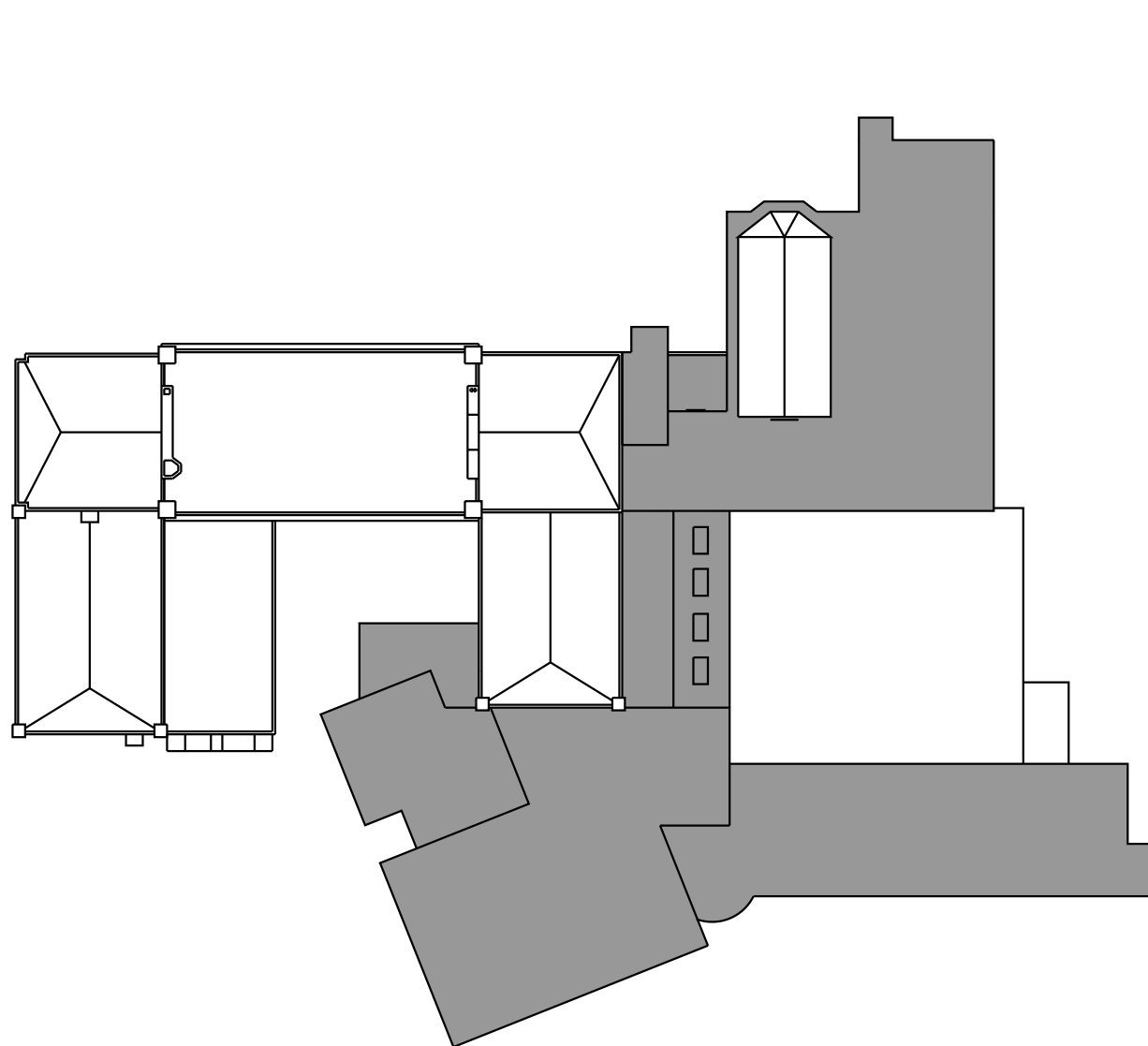
APRIL 20, 2023

ISSUED FOR BID

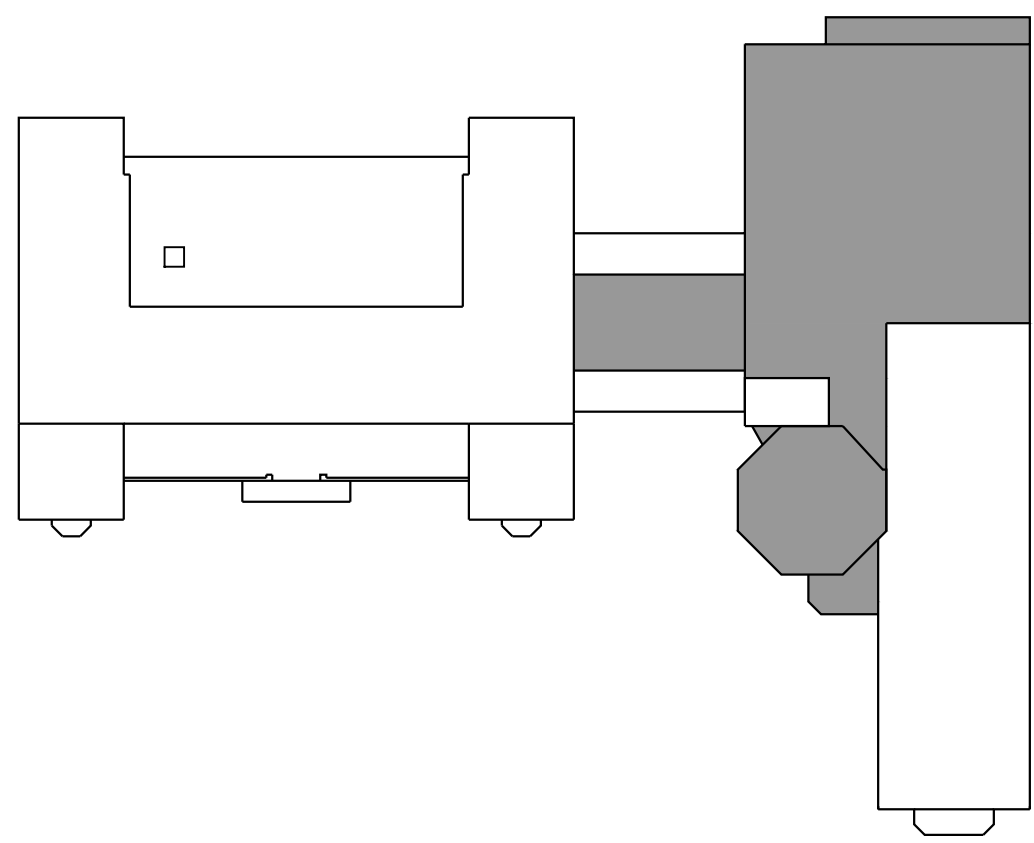
KG&D Project No.
2020-1035

DESIGN TEAM

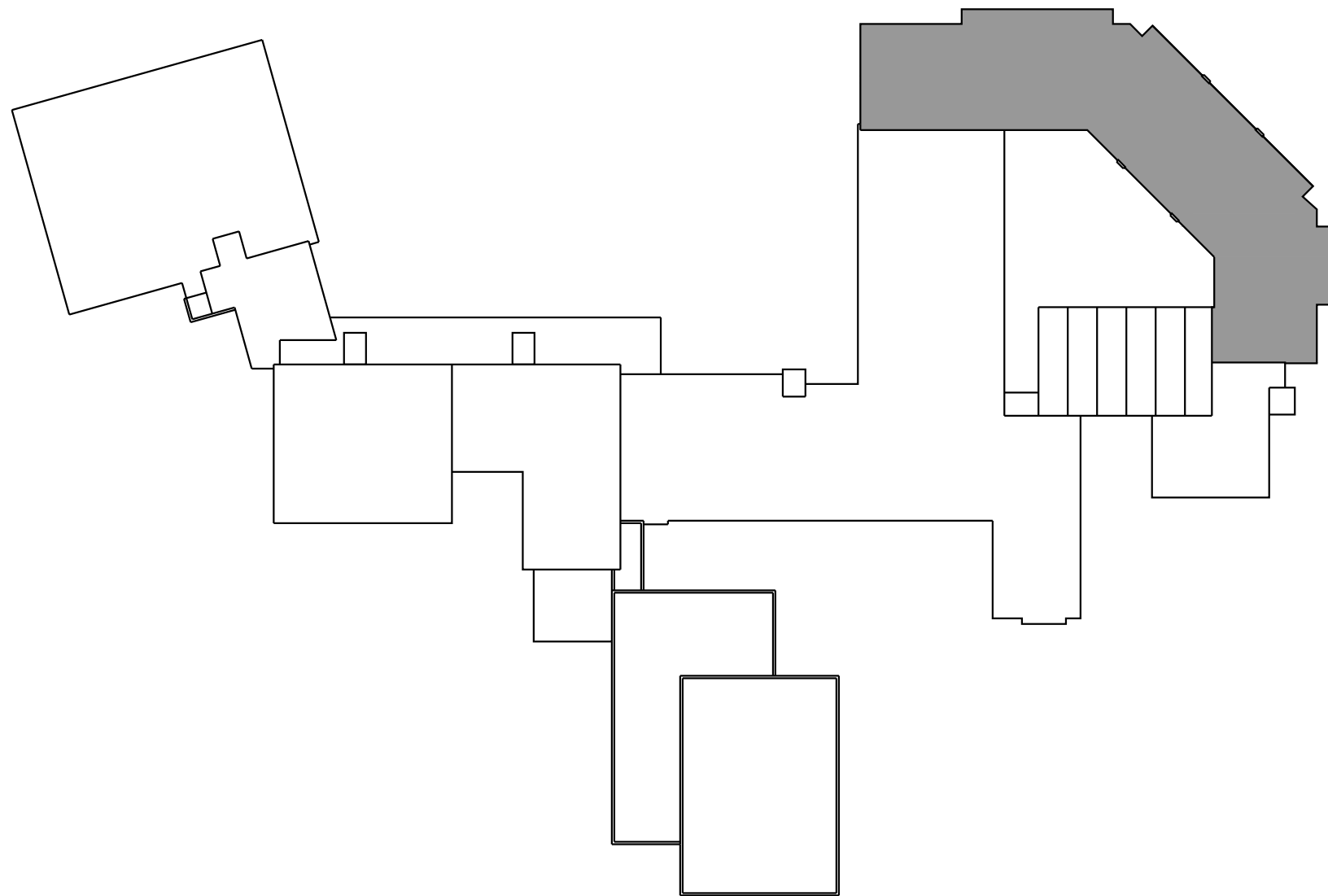
DISTRICT-WIDE ROOFING PROJECT
CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET, CROTON-ON-HUDSON, NY 10520



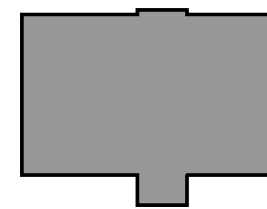
Croton-Harmon High School
36 Old Post Road
Croton-on-Hudson, NY



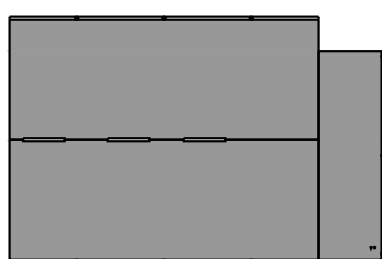
Pierre Van Cortlandt Middle School
3 Glen Place
Croton-on-Hudson, NY



Carrie E. Tompkins Elementary School
8 Gerstein Street
Croton-on-Hudson, NY



CHUFSD District Office
10 Gerstein Street
Croton-on-Hudson, NY



Bus Garage
427 Yorktown Road
Croton-on-Hudson, NY

LIST OF DRAWINGS:

CROTON-HARMON HIGH SCHOOL

- HS-1 CROTON-HARMON HS ROOF PLAN
- HS-1A CROTON-HARMON HS ROOF WALKWAY PADS PLAN
- HS-2 ROOFING DETAILS 1-12
- HS-3 ROOFING DETAILS 13-24
- HS-4 ROOFING DETAILS 25-36
- HS-5 ROOFING DETAILS 37-

HS LOG-1 HIGH SCHOOL ROOFING LOGISTICS

PIERRE VAN CORTLANDT MIDDLE SCHOOL

- MS-1 PVC MIDDLE SCHOOL ROOF PLAN
- MS-2 ROOFING DETAILS 1-12
- MS-3 ROOFING DETAILS 13-
- MS-4 MASONRY REPAIRS

S100 GENERAL NOTES & DUNNAGE FRAMING PLAN
S200 SECTIONS & DETAILS

H201 LEGEND, NOTES, SCHEDULE, DETAILS & PART. ROOF PLANS
E001 ELECTRICAL LEGENDS, NOTES, AND ABBREVIATIONS
E101 ROOF ELECTRICAL REMOVALS AND NEW POWER PLAN

PVC LOG-1 PIERRE VAN CORTLANDT MS ROOFING LOGISTICS

CARRIE E. TOMPKINS ELEMENTARY SCHOOL

- ES-1 CET ELEMENTARY SCHOOL ROOF PLAN
- ES-2 ROOFING DETAILS 1-13

CET/DO LOG-1 CARRIE E. TOMPKINS ES ROOFING LOGISTICS

DISTRICT OFFICE

- AD-1 DISTRICT OFFICE ROOF PLAN
- AD-2 ROOFING DETAILS 1-

BUS GARAGE

- BS-1 BUS GARAGE ROOF PLAN

ARCHITECT
KG+D Architects

KG+D Architects PC
285 Main Street, Mount Kisco, NY 10549
phone: 914.666.5900

ROOFING CONSULTANT
WATSKY ASSOCIATES, INC.
20 Madison Avenue, Valhalla, NY 10595
phone: 914-948-3450

STRUCTURAL ENGINEER
**THE DISALVO
ENGINEERING GROUP**
83 Wooster Heights Road, Danbury, CT
phone: 203.490.4140

MECHANICAL ENGINEER
**BARILE GALLAGHER
& ASSOCIATES**
Consulting Engineers, PC
39 Marble Avenue, Pleasantville, NY
phone: 914.328.6060

NYSED No.
66-02-02-03-0-001-032 CH HIGH SCHOOL
66-02-02-03-0-002-029 PVC MIDDLE SCHOOL
66-02-02-03-0-003-033 CET ELEMENTARY
66-02-02-03-1-010-007 DISTRICT OFFICE
66-02-02-03-5-004-008 BUS GARAGE

DISTRICT WIDE
ROOFING PROJECT

CROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520

KG+D listen
imagine
build
KG+D . ARCHITECTS PC
385 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

GENERAL NOTES:

THESE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

- DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.
- ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
- TEST EACH DRAIN LINE WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. PROVIDE A WRITTEN REPORT OF ANY CLOGGED LINES TO THE OWNER.
A.CLOGGED DRAIN LINES REPORTED TO THE OWNER BEFORE WORK STARTS WILL BE CLEANED BY THE OWNER.
B.COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.
C.PERFORM WHATEVER WORK IS REQUIRED SO ALL DRAIN LINES ARE CLEAN AND FREE FLOWING UPON COMPLETION OF THE PROJECT.
- REMOVE AND RESET EXISTING SMALL AC CONDENSERS ON 2 X 2 FOOT X 2 INCH THICK CONCRETE PAVERS SET ON WALKWAY PADS. FASTEN THE CONDENSERS TO THE PAVERS WITH STAINLESS STEEL NAIL-IN'S. DISCONNECT, ADJUST, MODIFY, AND RECONNECT THE EXISTING SUPPLY & RETURN LINES AND CONDUITS.
- REMOVE AND RESET SITE LIGHT FIXTURES, WIRES AND CONDUITS THAT INTERFERE WITH THE WORK. REPLACE COMPONENTS THAT CANNOT BE PROPERLY REINSTALLED.
- REMOVE EXISTING ROOF TOP ELECTRICAL CONDUIT AND GAS PIPE SUPPORTS. RE-SET THE CONDUIT AND PIPES ON ADJUSTABLE HEIGHT FACTORY MANUFACTURED PIPE SUPPORTS PLACED ON WALKWAY PADS SPACED 5 FEET ON CENTER. SECURE THE CONDUITS AND PIPES TO THE PIPE SUPPORTS WITH GALVANIZED CLIPS & BOLTS.
- WIRE BRUSH, PRIME & PAINT ROOF TOP EQUIPMENT HOUSINGS, EXTERIOR & INTERIOR ACCESS LADDERS, EXTERIOR STAIRS, BULKHEAD DOORS & DOOR FRAMES (BOTH SIDES), GAS LINES, AND THE VENT PIPES. DO NOT PAINT OVER EQUIPMENT NAME PLATES AND LABELS.
- REMOVE AND RESET THE EXISTING STEEL STAIRS; MODIFY THEM TO FIT ON TOP OF THE NEW ROOF ASSEMBLY WHICH HAS ADDITIONAL INSULATION.
- REPAIR EXHAUST EQUIPMENT HOUSINGS SO THEY ARE WATERTIGHT; REPLACE ANY MISSING PIECES.

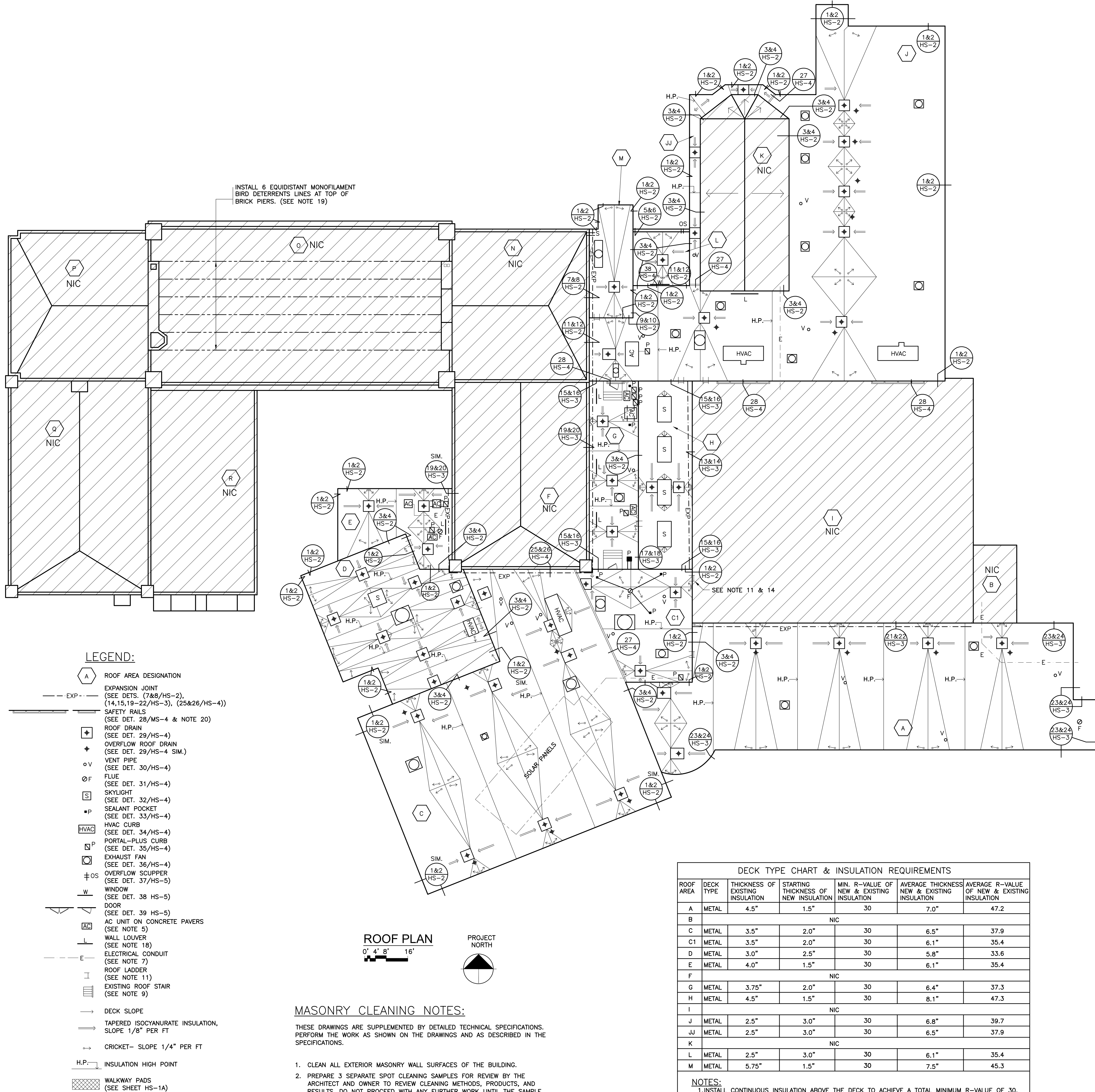
- REMOVE, MODIFY AND REMOUNT THE EXISTING LADDERS - REWORK THEM SO THEY ARE OSHA COMPLIANT, AND SO THE TOP RUNG ALIGNS WITH THE UPPER ROOF SURFACE. SCRAPE, PRIME AND PAINT THE LADDERS. FILL OLD FASTENER HOLES WITH COLOR MATCHING MORTAR.
- RE-Caulk VERTICAL MASONRY CONTROL AND EXPANSION JOINTS IN THE CHANGE IN ELEVATION WALLS ABOVE LOWER-LEVEL ROOFS BEING REPLACED. REMOVE EXISTING SEALANT AND BACK UP MATERIALS, AND INSTALL NEW BACKER ROD AND SEALANT.
- RE-Caulk JOINTS BETWEEN THE WALL LOUVERS AND MASONRY FACADE. REMOVE EXISTING SEALANT AND BACK UP MATERIALS, AND INSTALL NEW BACKER ROD AND SEALANT.
- REBUILD A SECTION OF DETERIORATED BRICK MASONRY ADJOINING THIS LADDER.
- INSULATE EXISTING DRAIN LINES WHERE EXPOSED INSIDE THE BUILDING, ALL NEW DRAIN LINES, AND THE UNDERSIDES OF THE NEW DRAIN BOWLS.
- POWER WASH AND CLEAN DECORATIVE CAST STONE ROOF COMPONENTS AT THE EAVES OF ROOF AREAS A, C, D AND E, THEN INSTALL CLEAR WATER REPELLENT.
- INSTALL WALKWAY PADS WHERE INDICATED ON SHEET HS-1A WALKWAY PAD ROOF PLAN , AT ALL ROOF ACCESS POINTS, AND AROUND ALL HVAC UNITS.
- REMOVE AND RESET UNIT HEATER GRILLS AND LOUVERS IN THE CHANGE IN ELEVATION WALLS, INSTALL THE NEW CAP FLASHINGS TO EXTEND UNDER THE GRILL AND LOUVER SILLS.
- INSTALL BLACK 8 GA MONOFILAMENT BIRD DETERRENT LINES, BETWEEN THE MASONRY PIERS ON ROOF AREA O - SPACED ABOUT 5 FEET APART. SECURE THE ENDS OF THE LINES USING 3/8 INCH DIAMETER EPOXY SET EYE BOLTS, THIMBLES AND CRIMPS - WITH MONOFILAMENT TENSIONERS AT ONE END OF EACH LINE.
- INSTALL PIPE GUARD SAFETY RAILS AT THE EAVES OF ROOF AREA J, WHERE SHOWN ON THE ROOF PLAN AND WHERE HVAC EQUIPMENT IS LOCATED LESS THAN 10 FEET FROM THE ROOF EAVES.
- REMOVE AND DISPOSE OF THE EXISTING BALLASTED SOLAR PANEL SYSTEM ON ROOF 'C'. REMOVAL SHALL INCLUDE: SOLAR PANELS, CHASSIS SUPPORTS, BALLASTS, WIRING, CONDUIT, WIRING RACEWAYS, ETC. THE CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN TO SAFELY DISCONNECT THE PANELS AND REMOVE THE ELECTRICAL WIRING AND CONDUIT BACK TO THE ELECTRICAL INVERTER BELOW ROOF 'C'.

CODE COMPLIANCE REQUIREMENTS:

- INSTALL NEW ROOFING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:
A. NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, WHICH INCLUDES BY REFERENCE THE NEW YORK STATE ENERGY CONSERVATION CODE.
- UNDERWRITERS LABORATORIES INC. CLASS A EXTERNAL FIRE RATING FOR ROOF ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E 108 OR UL 790.
- UNDERWRITERS LABORATORIES INC. STANDARD 1256 FOR ROOF ASSEMBLIES WITH FOAM INSULATION.
- INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, BASED ON THIS CRITERIA:
RISK CATEGORY III
BASIC WIND SPEED 130 MPH
EXPOSURE CATEGORY B
BUILDING HEIGHT 30 FT.
- INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS, CALCULATED IN ACCORDANCE WITH ASCE 7 USING A SAFETY FACTOR OF 2:
FIELD ZONE: 90 PSF
PERIMETER ZONE: 135 PSF
CORNER ZONE: 150 PSF
- FABRICATE AND INSTALL ROOF PERIMETER FLASHINGS THAT COMPLY WITH THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND WITH ANSI/SPRI ES-1 "WIND STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS", ON A BUILDING USING THE CRITERIA DESCRIBED ABOVE.
- FABRICATE AND INSTALL WOOD BLOCKING COMPONENTS TO RESIST A FORCE OF 275 POUNDS PER LINEAL FOOT APPLIED IN ANY DIRECTION.

ROOF PROTECTION NOTES:

- AVOID WALKING ON NEW AND EXISTING ROOF AREAS.
- DO NOT STORE MATERIAL OR EQUIPMENT, AND DO NOT PILE DEBRIS ON NEW AND EXISTING ROOF AREAS.
- INSTALL 1 INCH THICK EXTRUDED POLYSTYRENE INSULATION OVER 6 MIL FIRE RETARDANT POLYETHYLENE COVERED WITH 2x10 WOOD PLANKS TO PROTECT ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.
- NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2 INCH OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.
- DO NOT COVER THE ROOF DRAINS. MAINTAIN THE ROOF DRAIN STRAINERS VISIBLE AND CLEAR AT ALL TIMES.



MASONRY CLEANING NOTES:

THESE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

- CLEAN ALL EXTERIOR MASONRY WALL SURFACES OF THE BUILDING.
- PREPARE 3 SEPARATE SPOT CLEANING SAMPLES FOR REVIEW BY THE ARCHITECT AND OWNER TO REVIEW CLEANING METHODS, PRODUCTS, AND RESULTS. DO NOT PROCEED WITH ANY FURTHER WORK UNTIL THE SAMPLE AREAS OR REVISED SAMPLE AREAS ARE APPROVED.
- THE INTENT IS TO USE THE LEAST AGGRESSIVE METHODS AND MATERIALS TO ACHIEVE SATISFACTORY CLEANING OF THE BUILDING.
- THE CONTRACTOR SHALL USE BEST PRACTICES FOR CLEANING HISTORIC STRUCTURES, TO INCLUDE REQUIREMENTS AND RECOMMENDATIONS OF THE NATIONAL PARKS SERVICE (NPS) NATIONAL STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- CLEANING PROCEDURES SHALL BE A COMBINATION OF LEVEL 1 AND LEVEL 2 PROCEDURES AND PRODUCTS, DEPENDING ON THE SOIL LEVEL.
- PRIOR TO COMMENCING CLEANING PROCEDURES, ENSURE BUILDING OPENINGS ARE CLOSED, PROTECT AIR INLETS, AND PROTECT ADJACENT COMPONENTS TO INCLUDE LANDSCAPING.

NOTE: ALL DEetail, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KROTON-HARMON UNION FREE SCHOOL DISTRICT. ANY REUSE OR REPRODUCTION FOR USE ON THIS PROJECT, NOTE OF SUCH DEVIATIONS, DEVIATIONS OR VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN, MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. ANY DETAIL MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION OF TITLE 16, SECTION 16-1.1 OF THE NEW YORK STATE LAW. COPYRIGHT 2022 KROTON-HARMON UNION FREE SCHOOL DISTRICT. ALL RIGHTS RESERVED.

Professional Seal

2 4/20/2023 ISSUED FOR BID
1 3/17/2023 CONSTRUCTION DOCUMENTS
No. 1 Date Issue

HIGH SCHOOL
ROOF PLAN

Job No. 2023-1002 Date 03/17/2023
Scale AS NOTED Drawn / Checked

Sheet Number

HS-1

DISTRICT WIDE
ROOFING PROJECT

CROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520



KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

NOTE: ALL DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAMRYN GARMENT & JASONSON ARCHITECTS PC (KGAD). AND HAVE BEEN CREATED FOR USE ON THIS PROJECT. NONE OF SUCH DESIGNS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF KGAD.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAIL MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION OF TITLE 16, SECT. 16-01 OF NEW YORK STATE LAW.
COPYRIGHT KAMRYN GARMENT & JASONSON ARCHITECTS & ENGINEERS, PC. ALL RIGHTS RESERVED.

Professional Seal

2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS

No. Date Issue

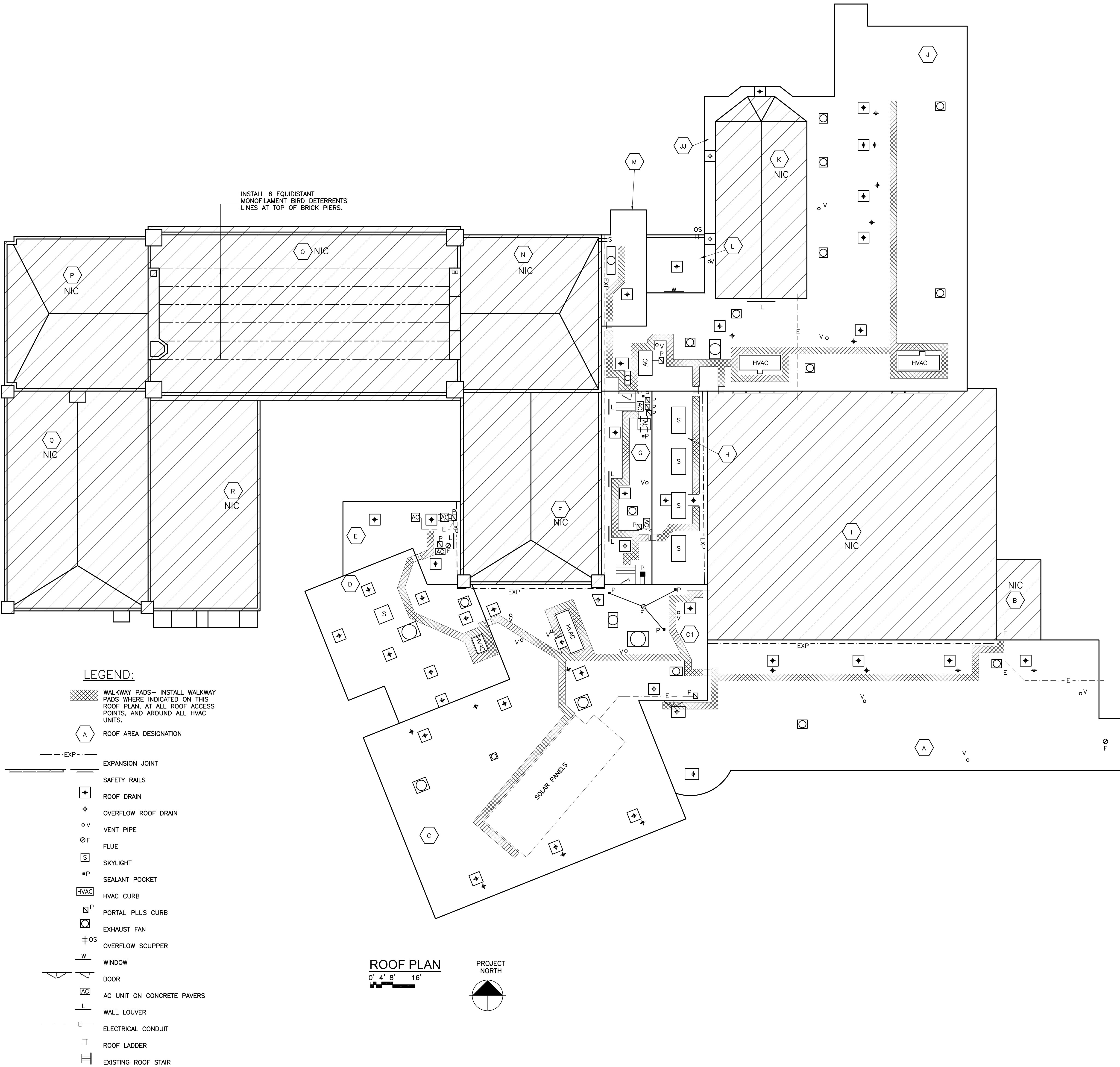
Sheet Title
HIGH SCHOOL
ROOF PLAN-
WALKWAY PADS

Job No. 2023-1002 Date 03/17/2023

Scale AS NOTED Drawn / Checked

Sheet Number

HS-1A



DISTRICT WIDE
ROOFING PROJECT

CROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520

KG+D listen
imagine
build
KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

NOTE: ALL DESIGNS, APPROVALS AND PLANS INDICATED OR
REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF
ARCHITECT. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED
IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING
PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL
SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KG+D.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER
SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS
AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY
VARIATIONS FROM DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH
CONSTRUCTION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS
DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED
ARCHITECT, CONSTITUTE PROFESSIONAL NEGLIGENCE AND VIOLATION OF THE
EFFECTS OF THE PROFESSIONAL SEAL AND THE ARCHITECT'S OATH.

COPYRIGHT 2022 KG+D ARCHITECTS PC. ALL RIGHTS RESERVED.

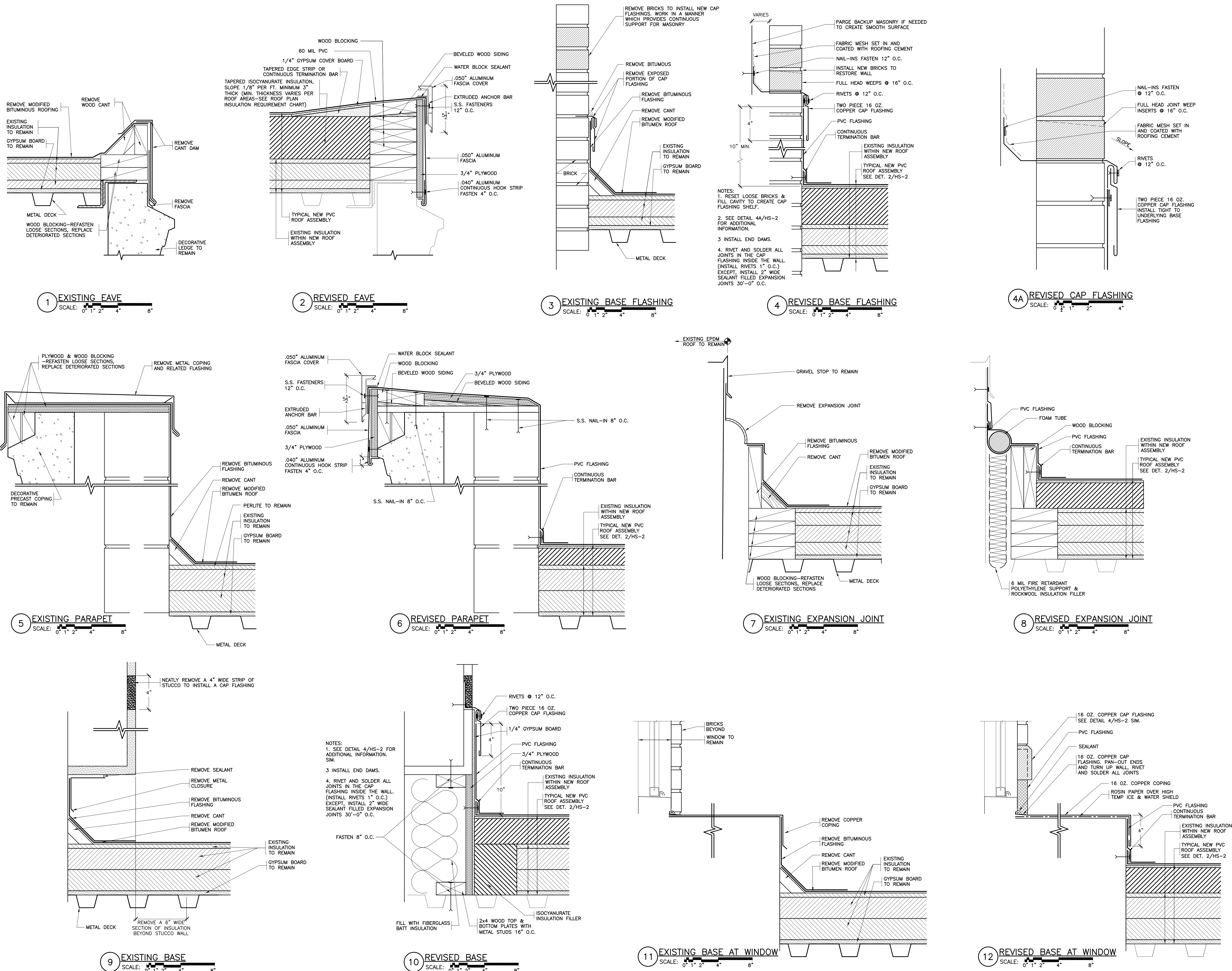
Professional Seal

2 4/20/2023 BID SET
1 3/17/2023 CONSTRUCTION DOCUMENTS
No. 1 Date Issue

HIGH SCHOOL
ROOF DETAILS

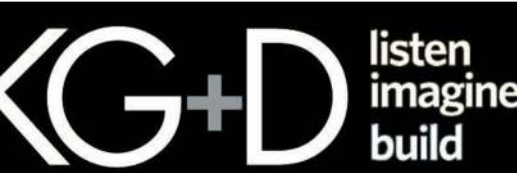
Job No. 2023-1002 Date 03/17/2023
Scale AS NOTED Drawn / Checked

Sheet Number
HS-2



DISTRICT WIDE
ROOFING PROJECT

CROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520



KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KG+DARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

NOTE: ALL DESIGN, DETAILING, AND PLANS INDICATED OR
REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF
ARCHITECT. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED
HEREIN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY
MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN PERMISSION OF ARCHITECT.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER
SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS
AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY
VARIATIONS FROM DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH
FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS
DOCUMENT UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED
ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION
OF TITLE 16, SECTION 26-01 OF THE NEW YORK STATE LAW.

COPYRIGHT 2022 BY ARCHITECT. ALL RIGHTS RESERVED.

Professional Seal

2 4/20/2023 BID SET
1 3/17/2023 CONSTRUCTION DOCUMENTS
No. Date Issue

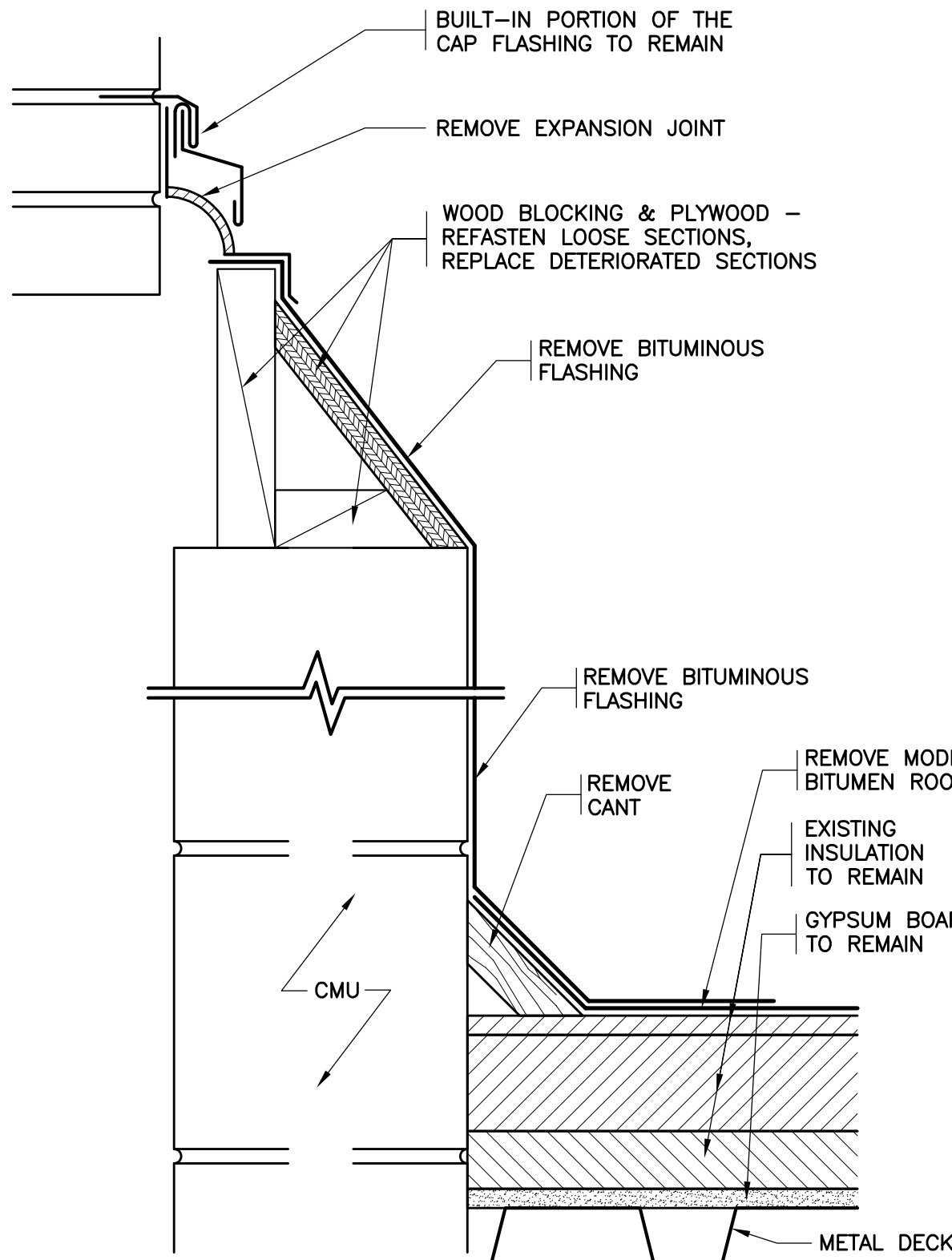
HIGH SCHOOL
ROOF DETAILS

Job No. 2023-1002 Date 03/17/2023

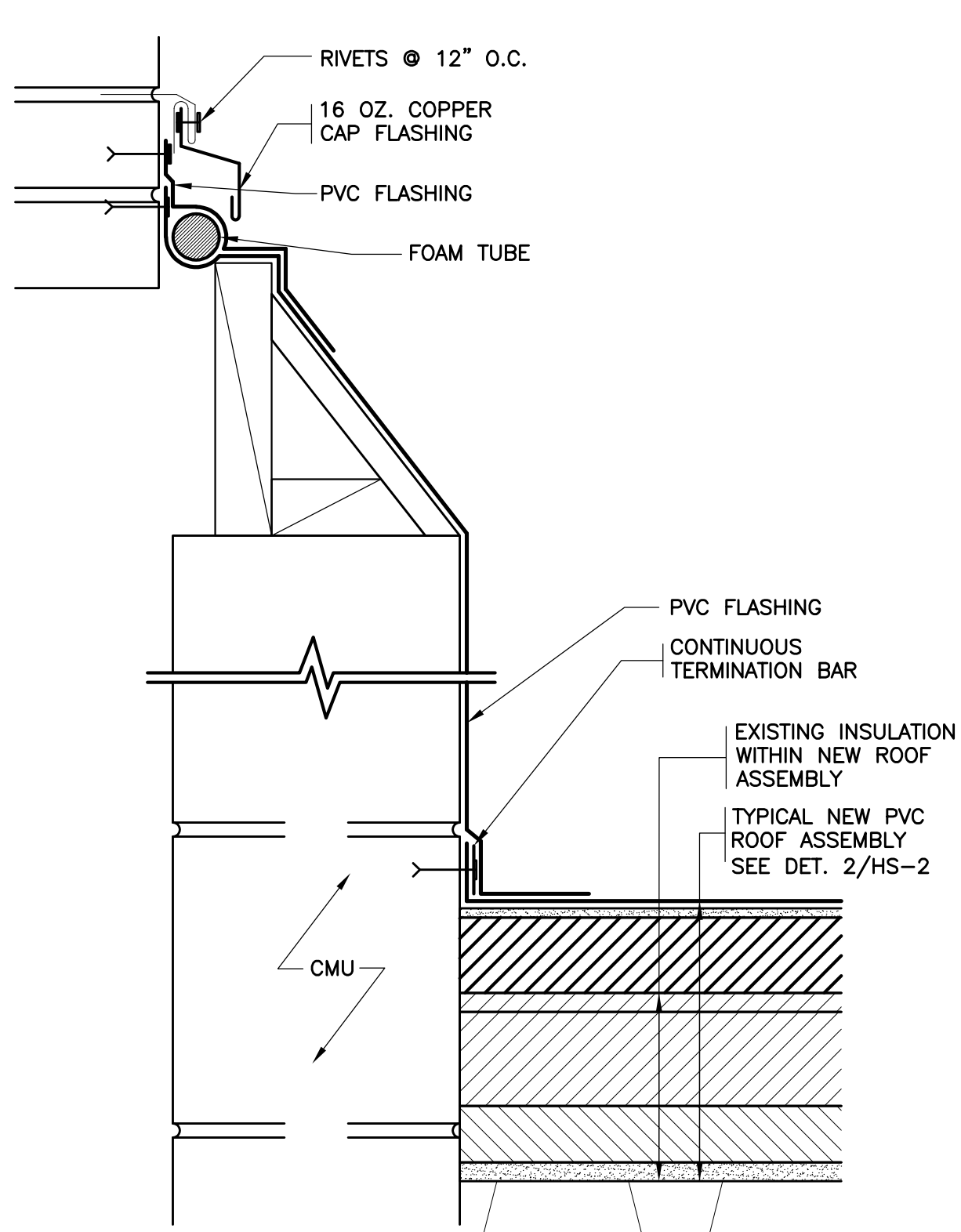
Scale AS NOTED Drawn / Checked

Sheet Number

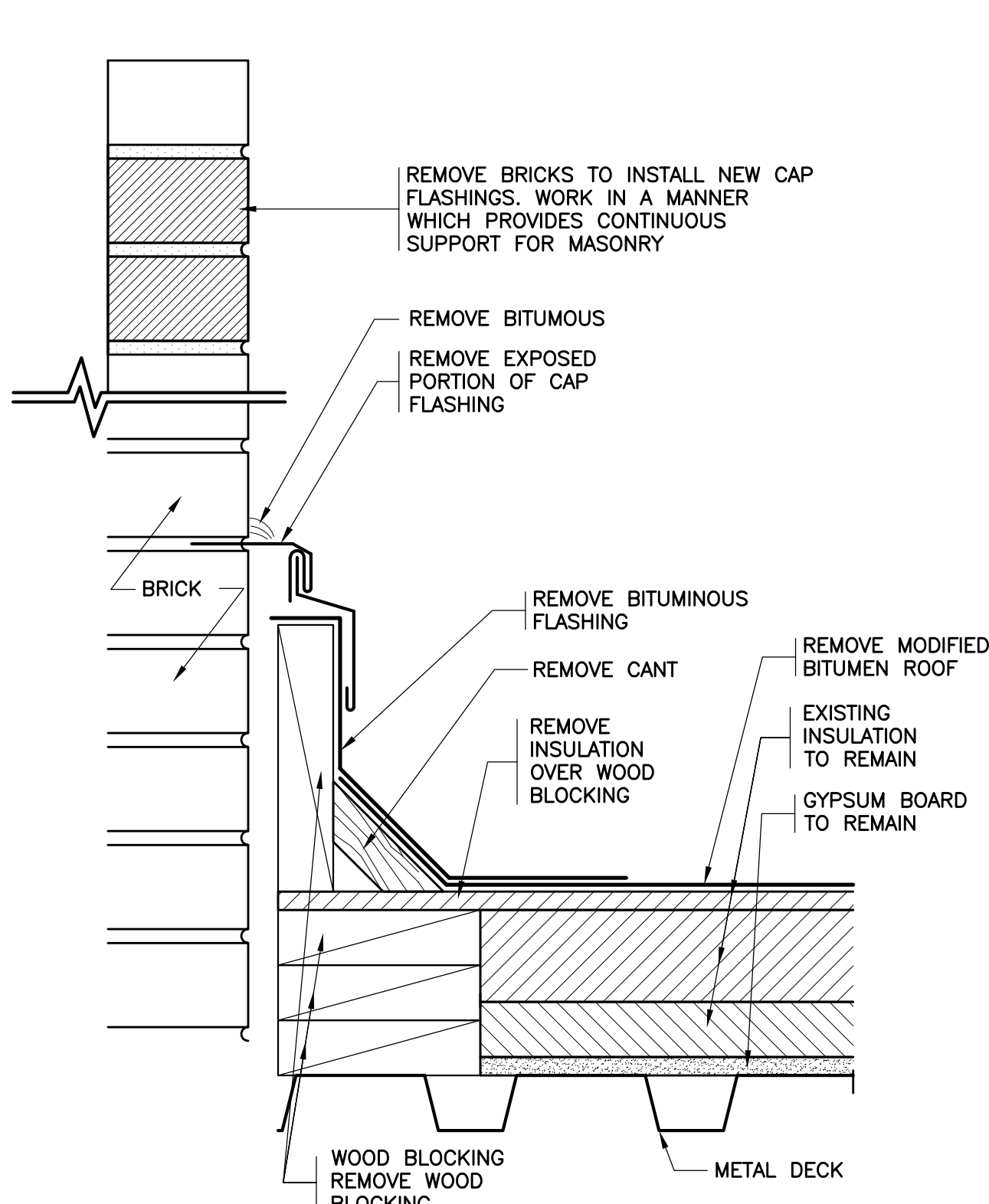
HS-3



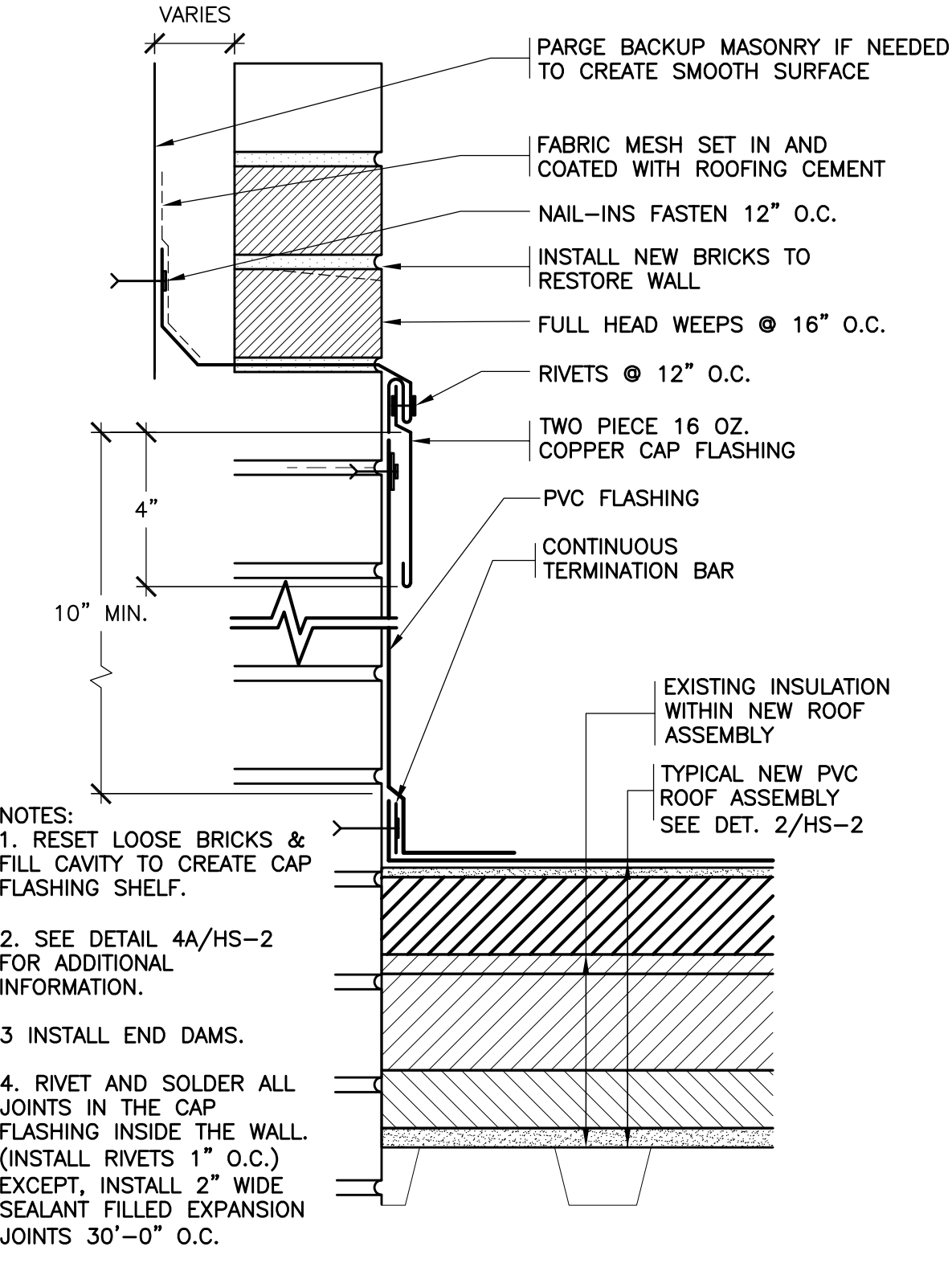
13 EXISTING EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



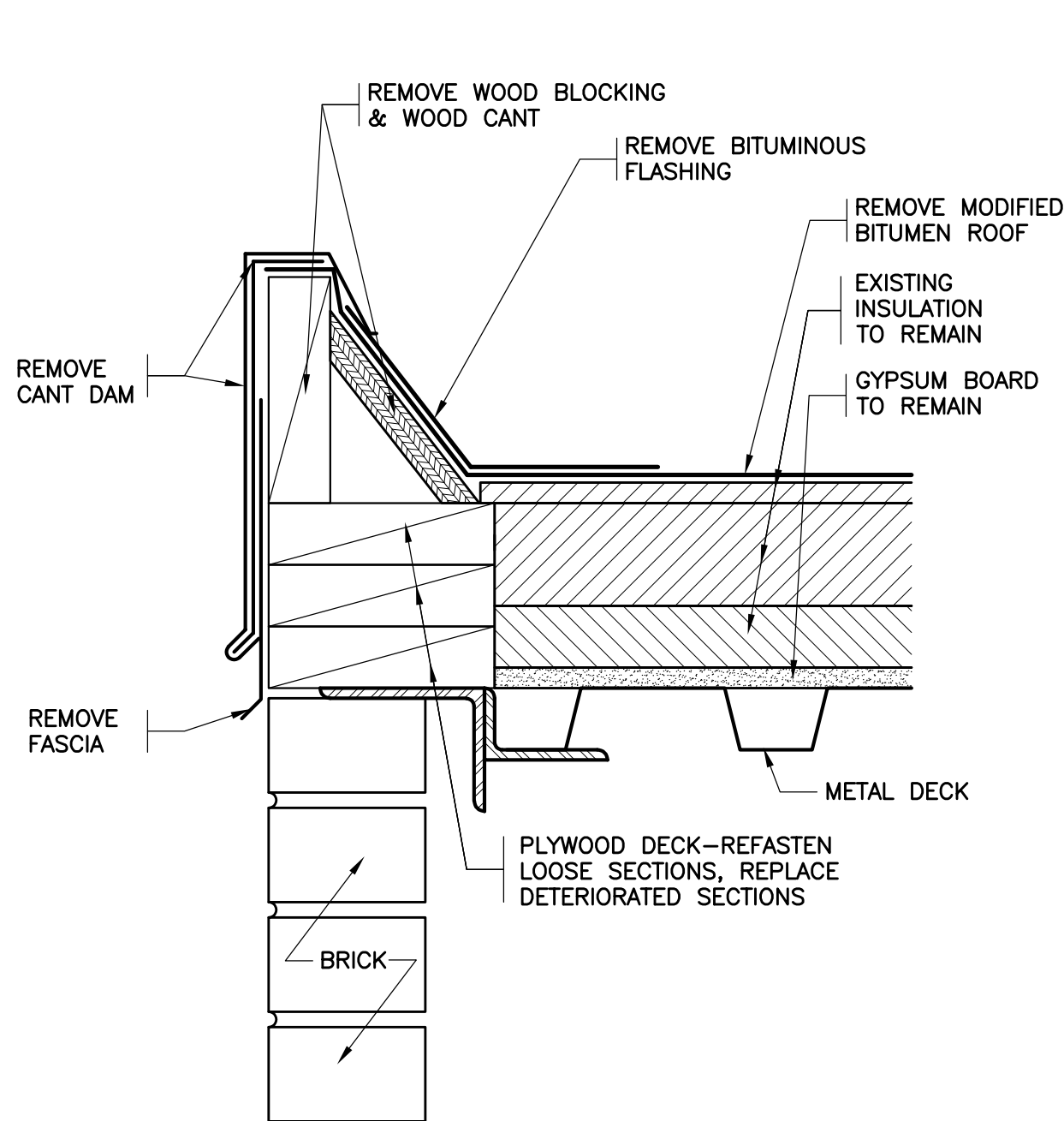
14 EXISTING EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



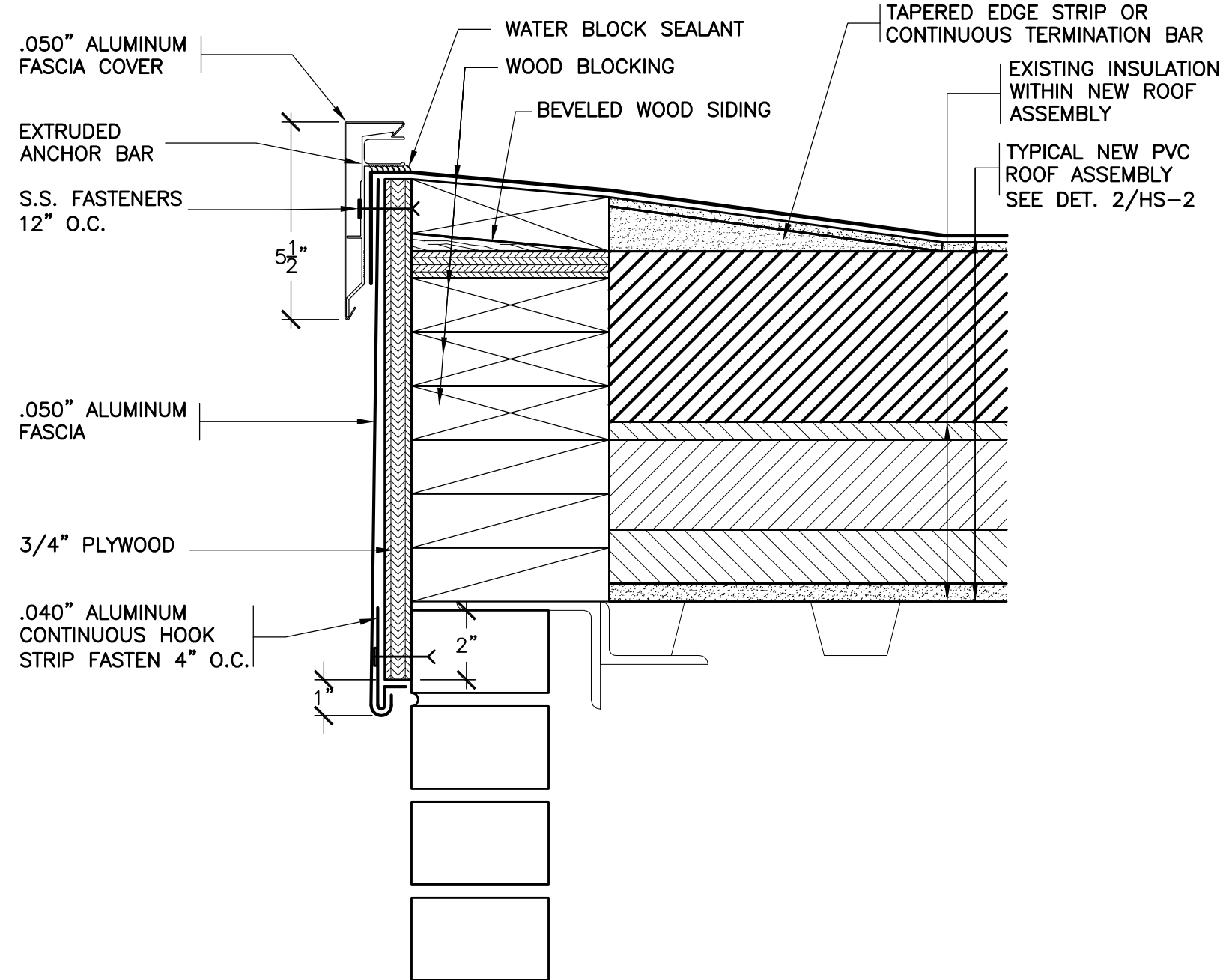
15 EXISTING BASE FLASHING
SCALE: 0" 1" 2" 4" 8"



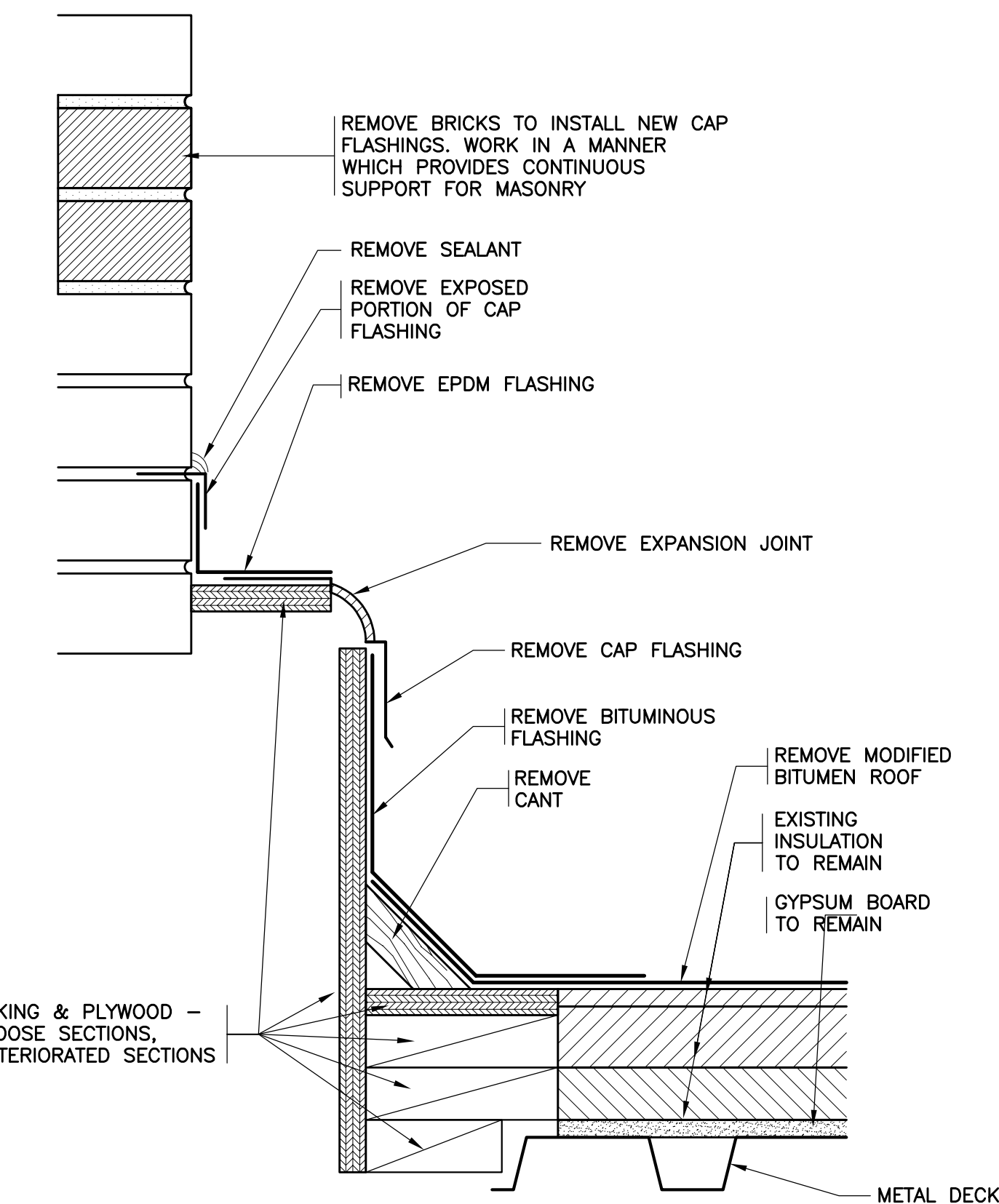
16 REVISED BASE FLASHING
SCALE: 0" 1" 2" 4" 8"



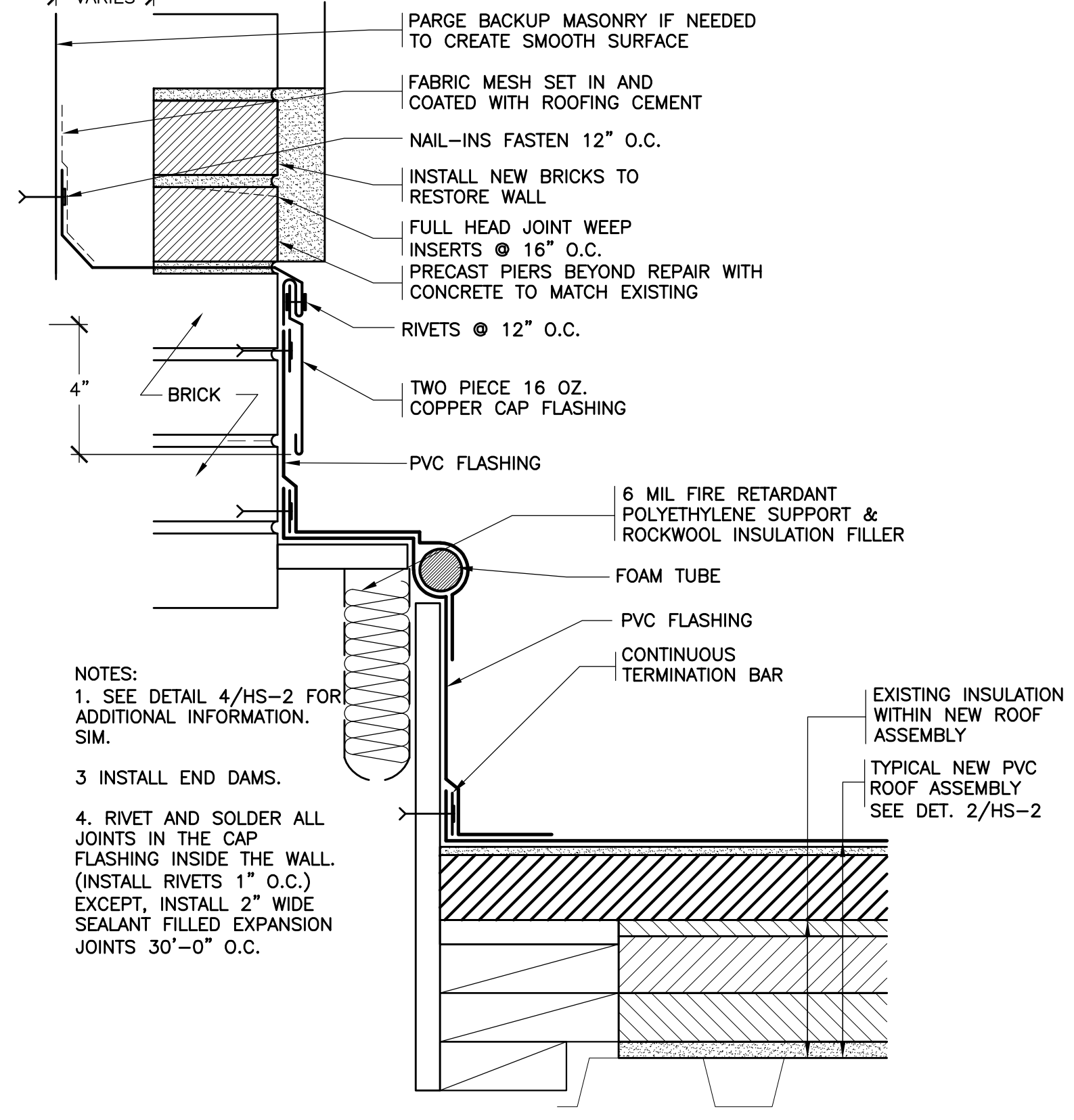
17 EXISTING EAVE
SCALE: 0" 1" 2" 4"



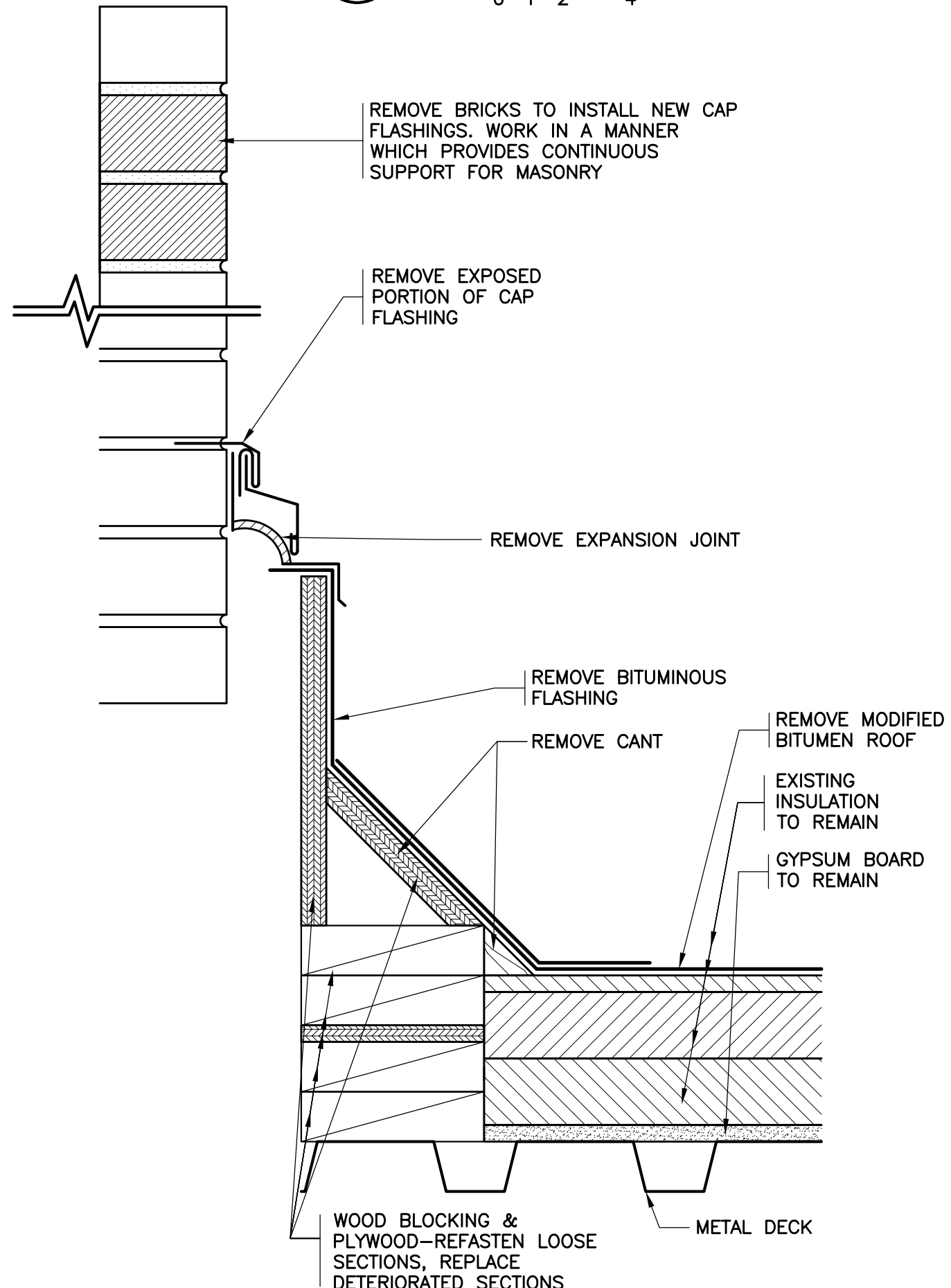
18 REVISED EAVE
SCALE: 0" 1" 2" 4" 8"



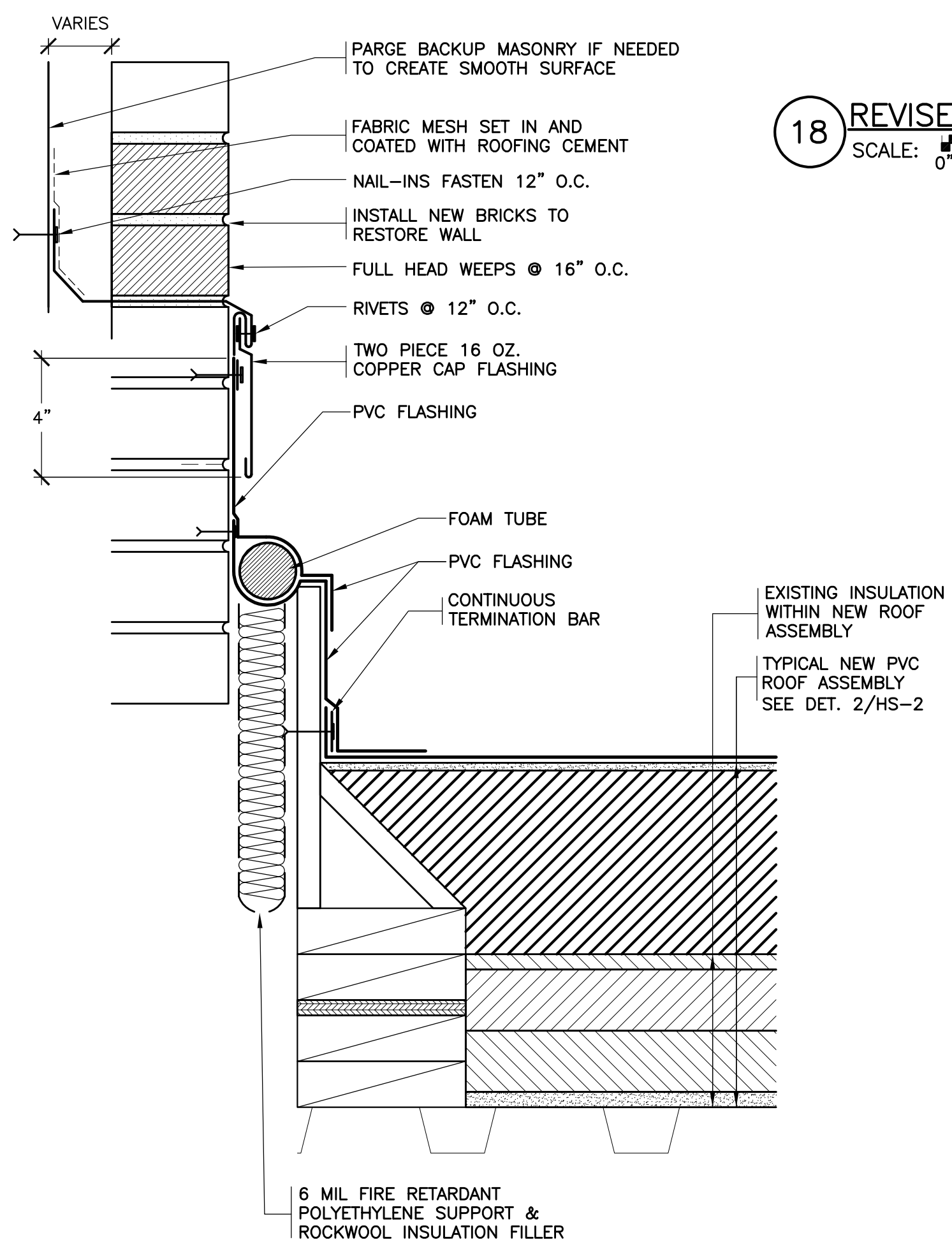
19 EXISTING EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



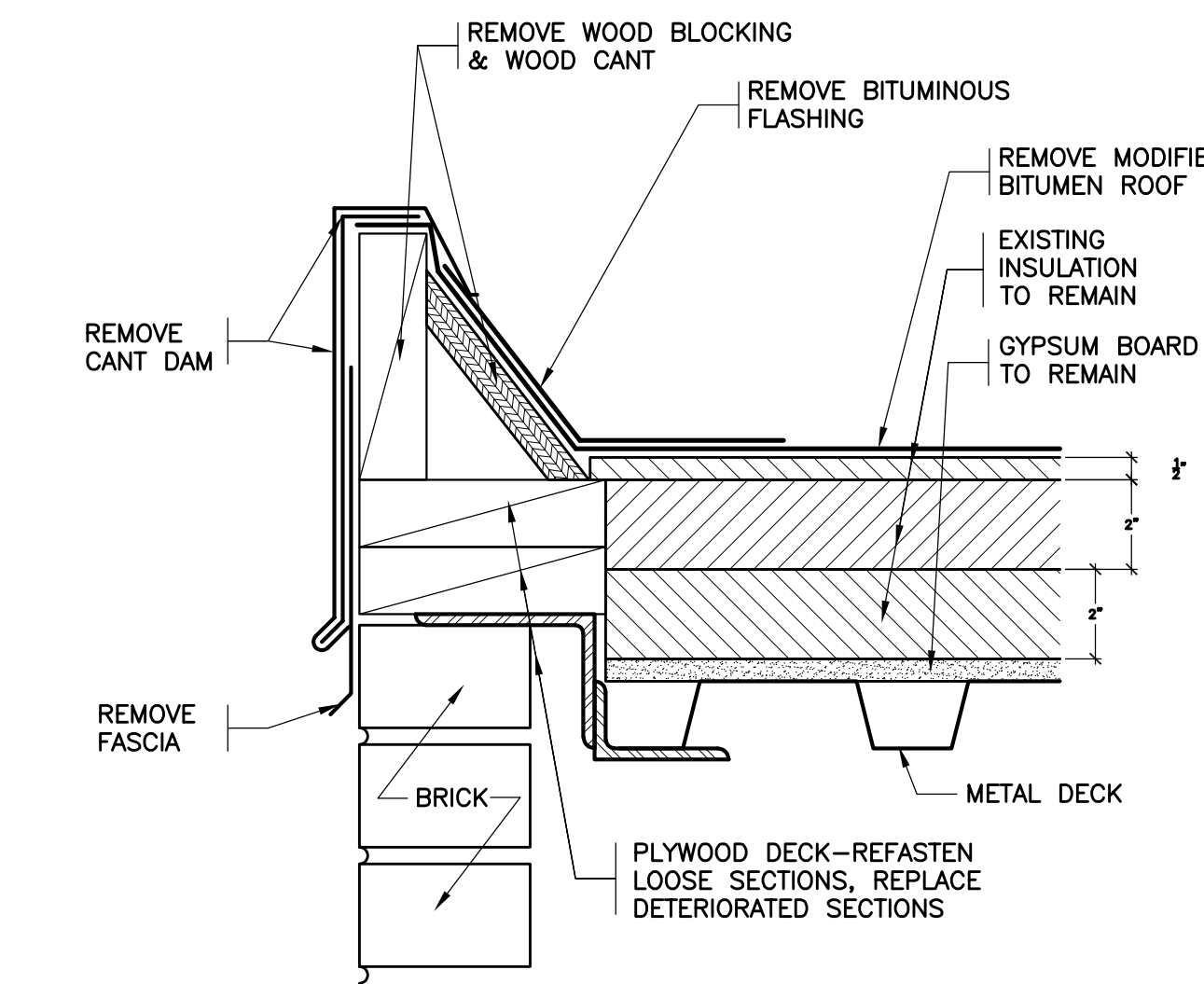
20 REVISED EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



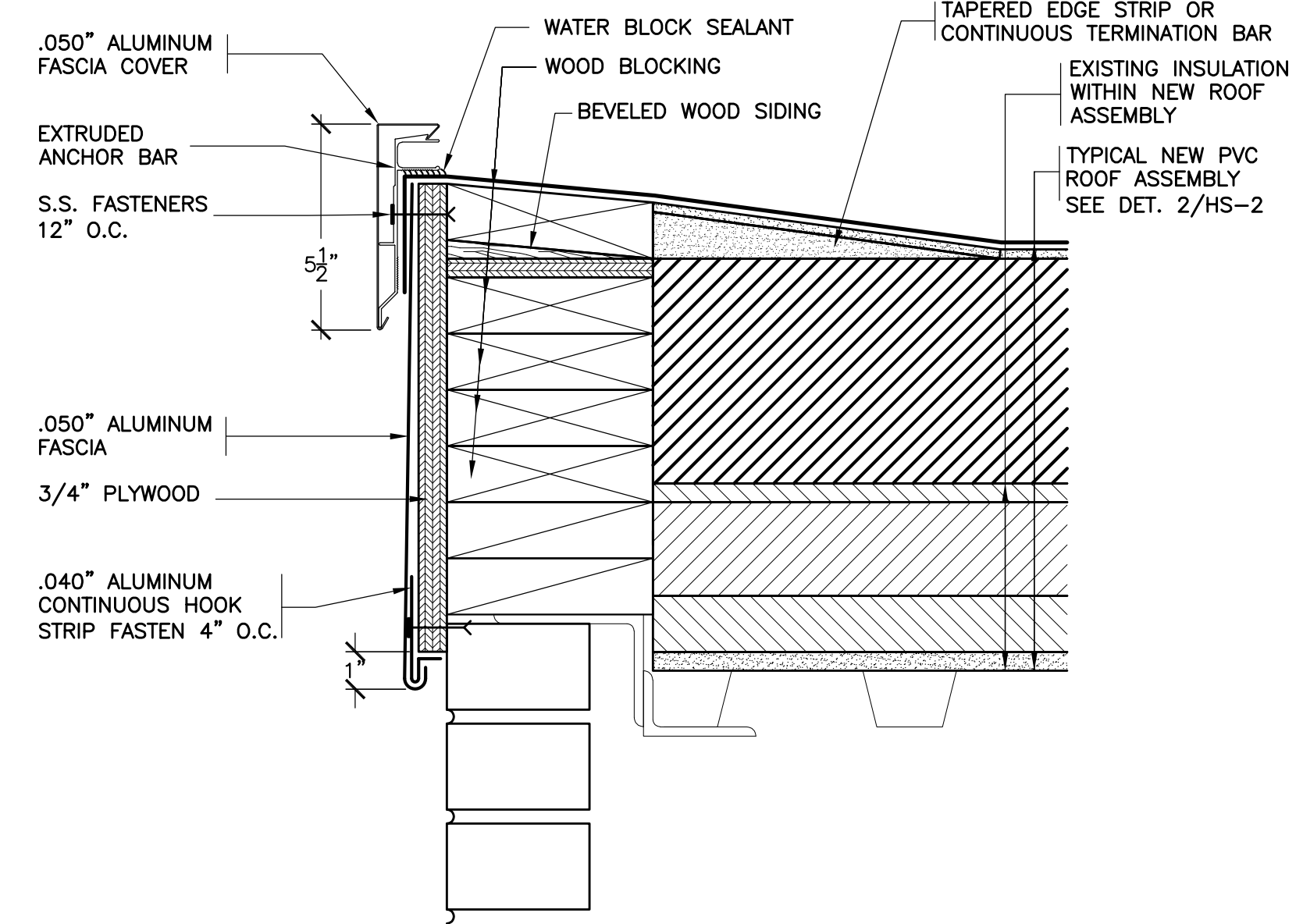
21 EXISTING EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



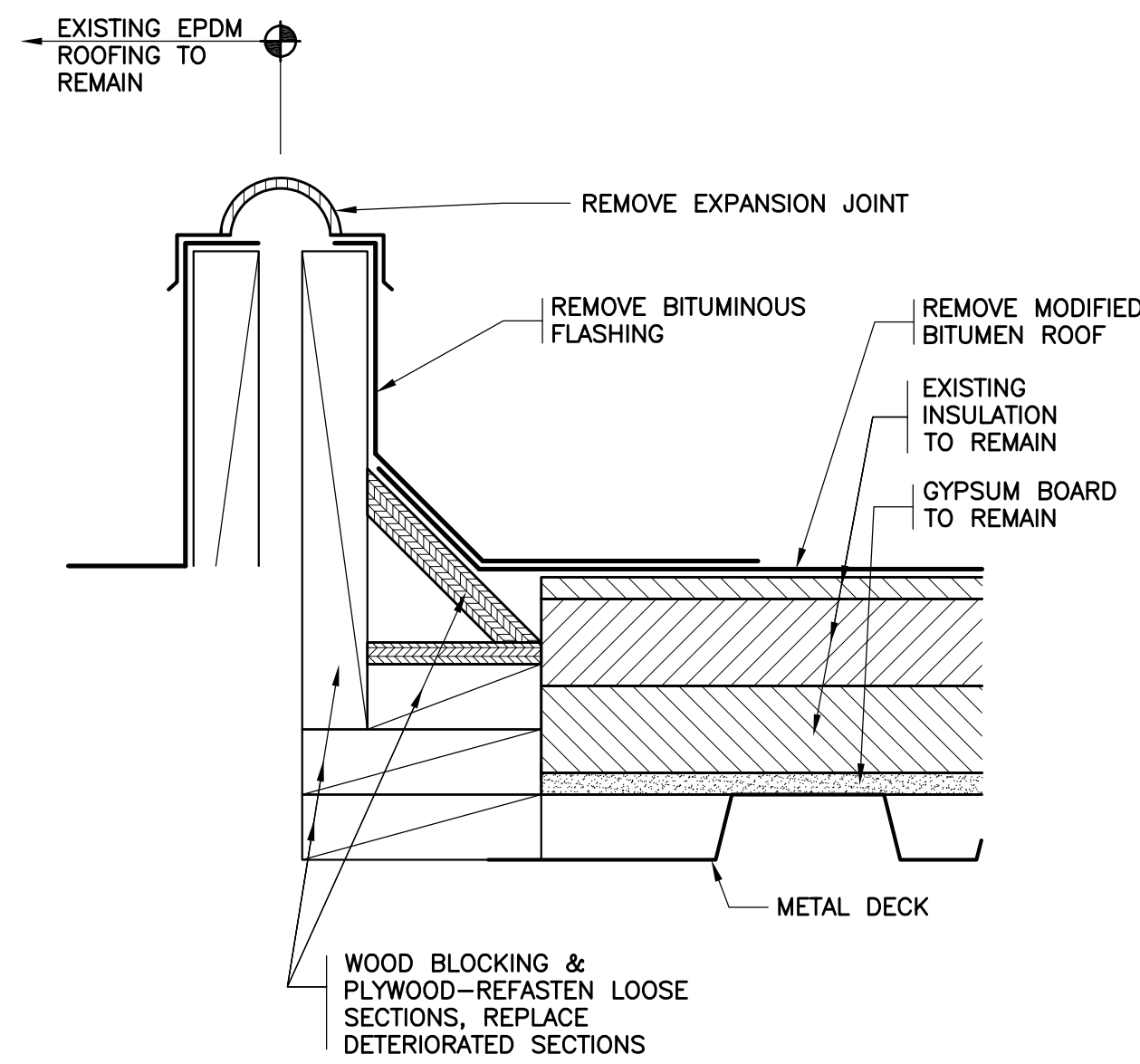
22 REVISED EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



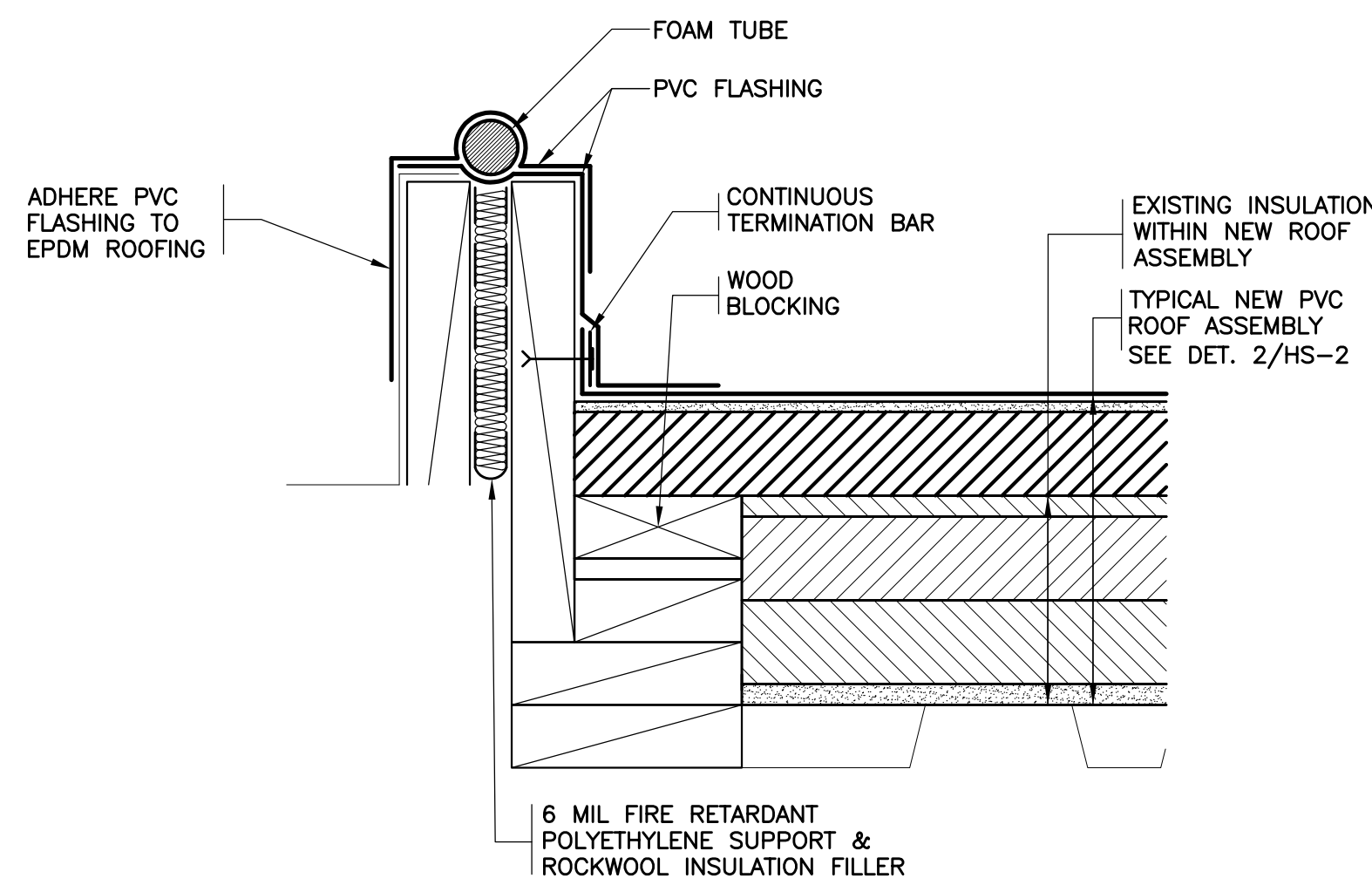
23 EXISTING EAVE
SCALE: 0" 1" 2" 4"



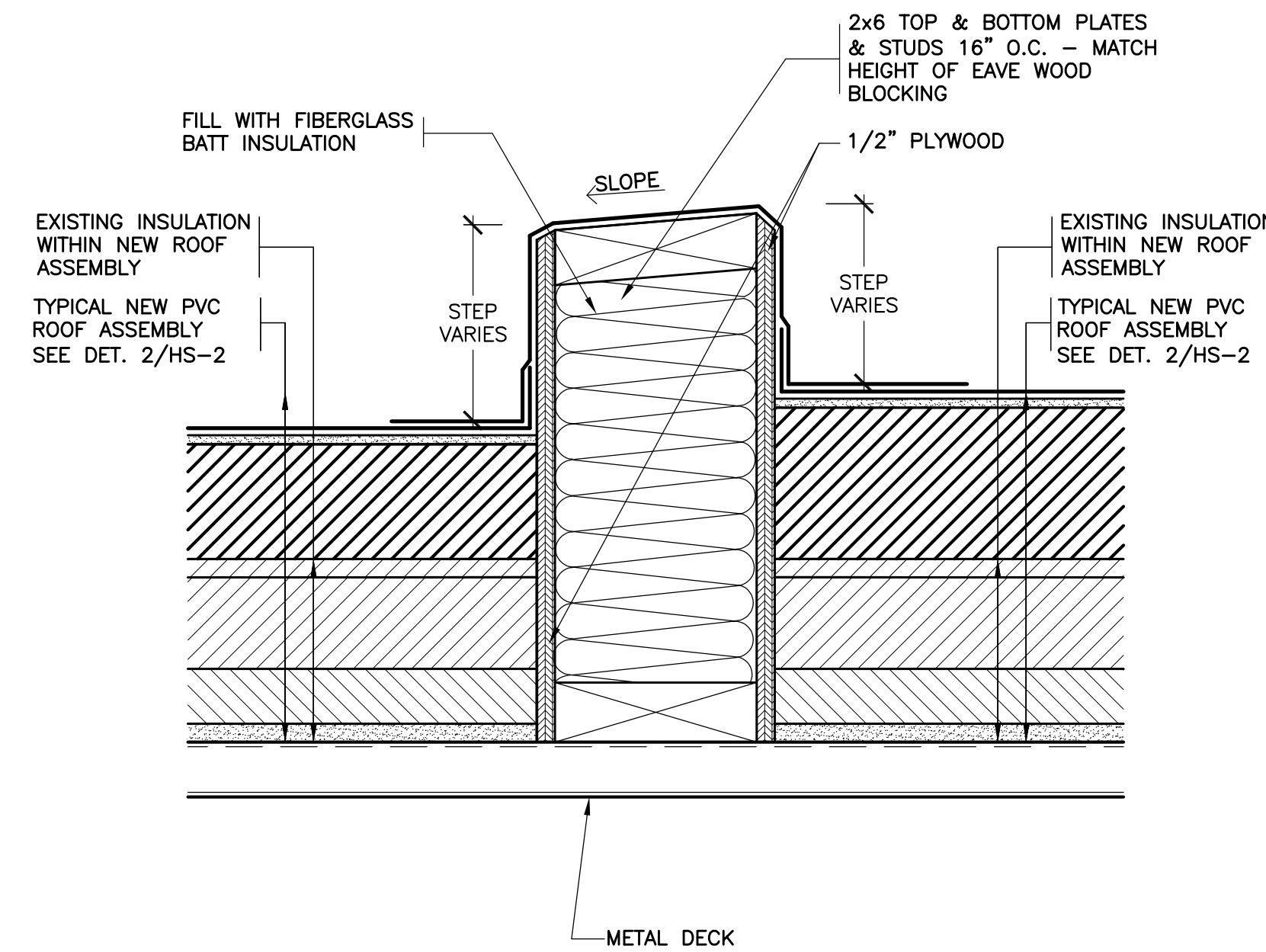
24 REVISED EAVE
SCALE: 0" 1" 2" 4" 8"



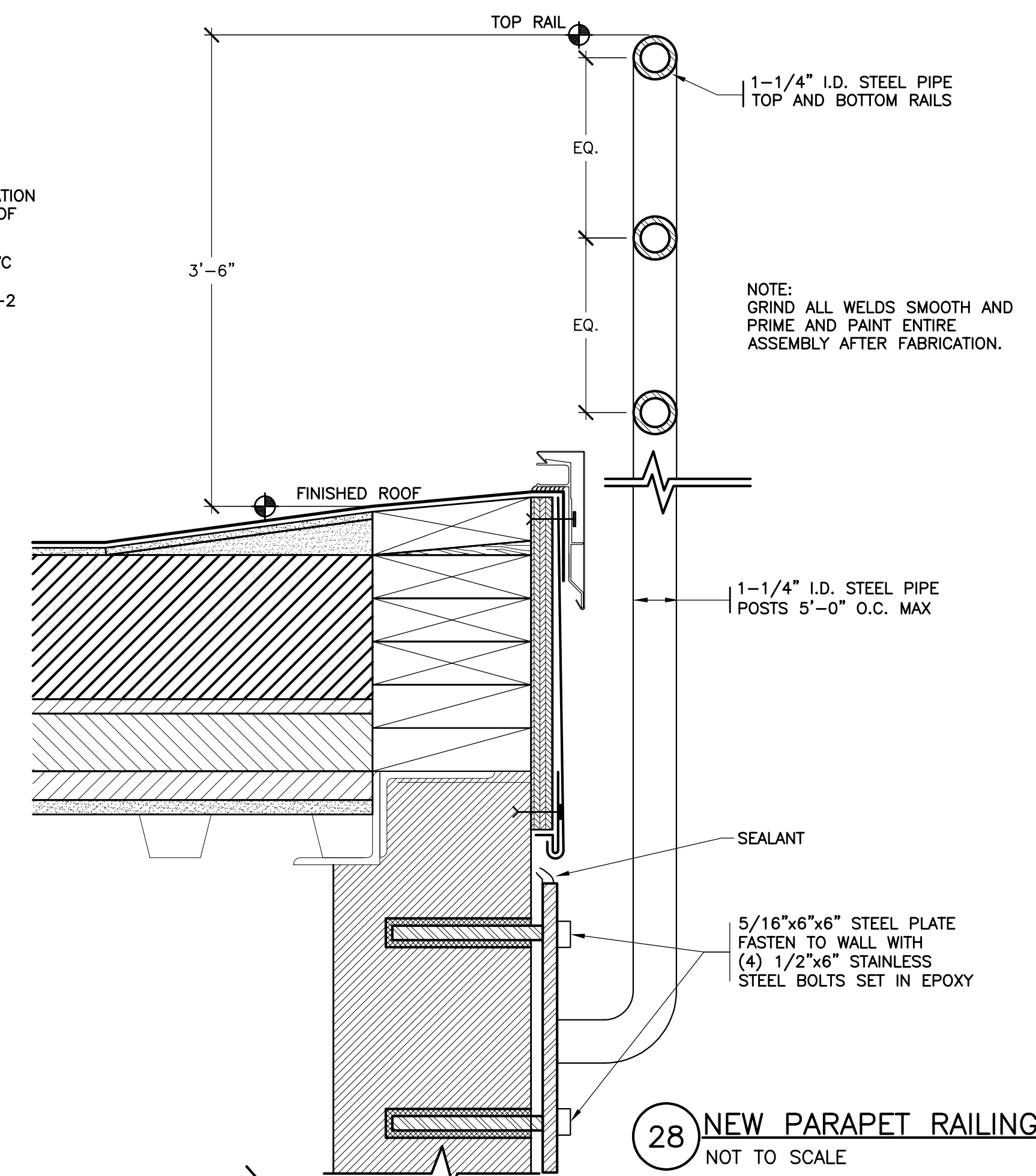
25 EXISTING EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



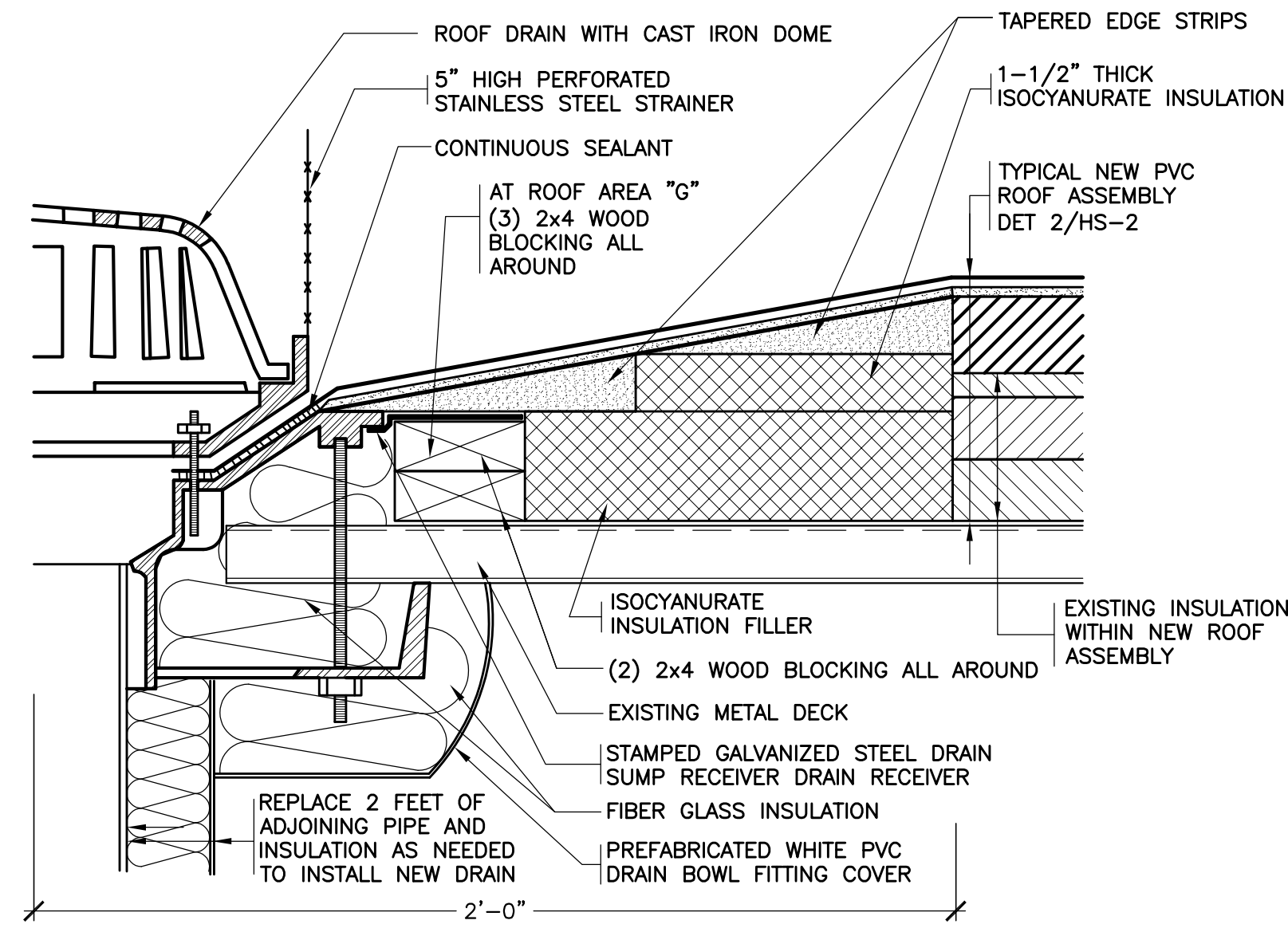
26 REVISED EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



27 REVISED ROOF TRANSITION
SCALE: 0" 1" 2" 4" 8"

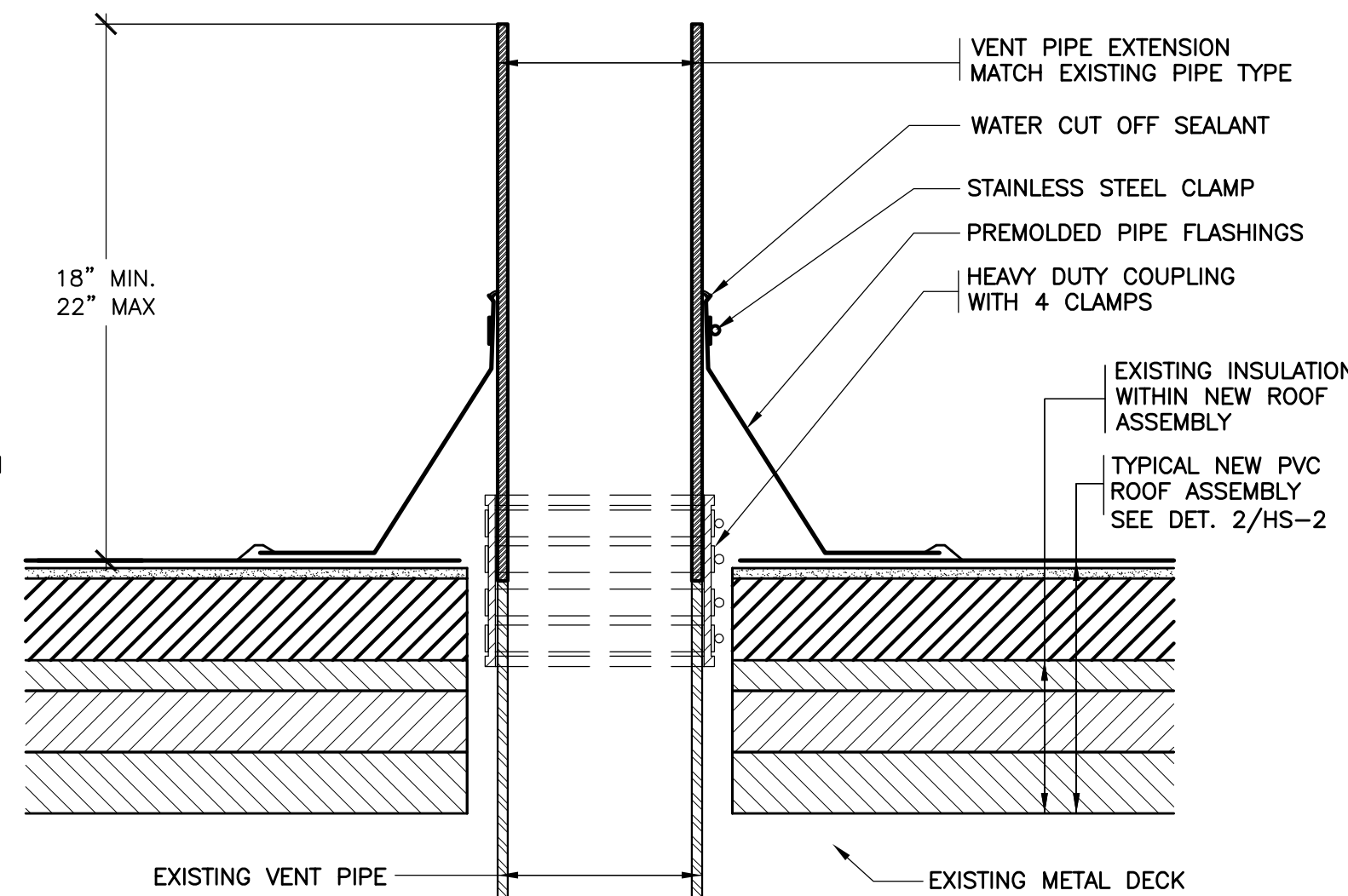


28 NEW PARAPET RAILING
NOT TO SCALE



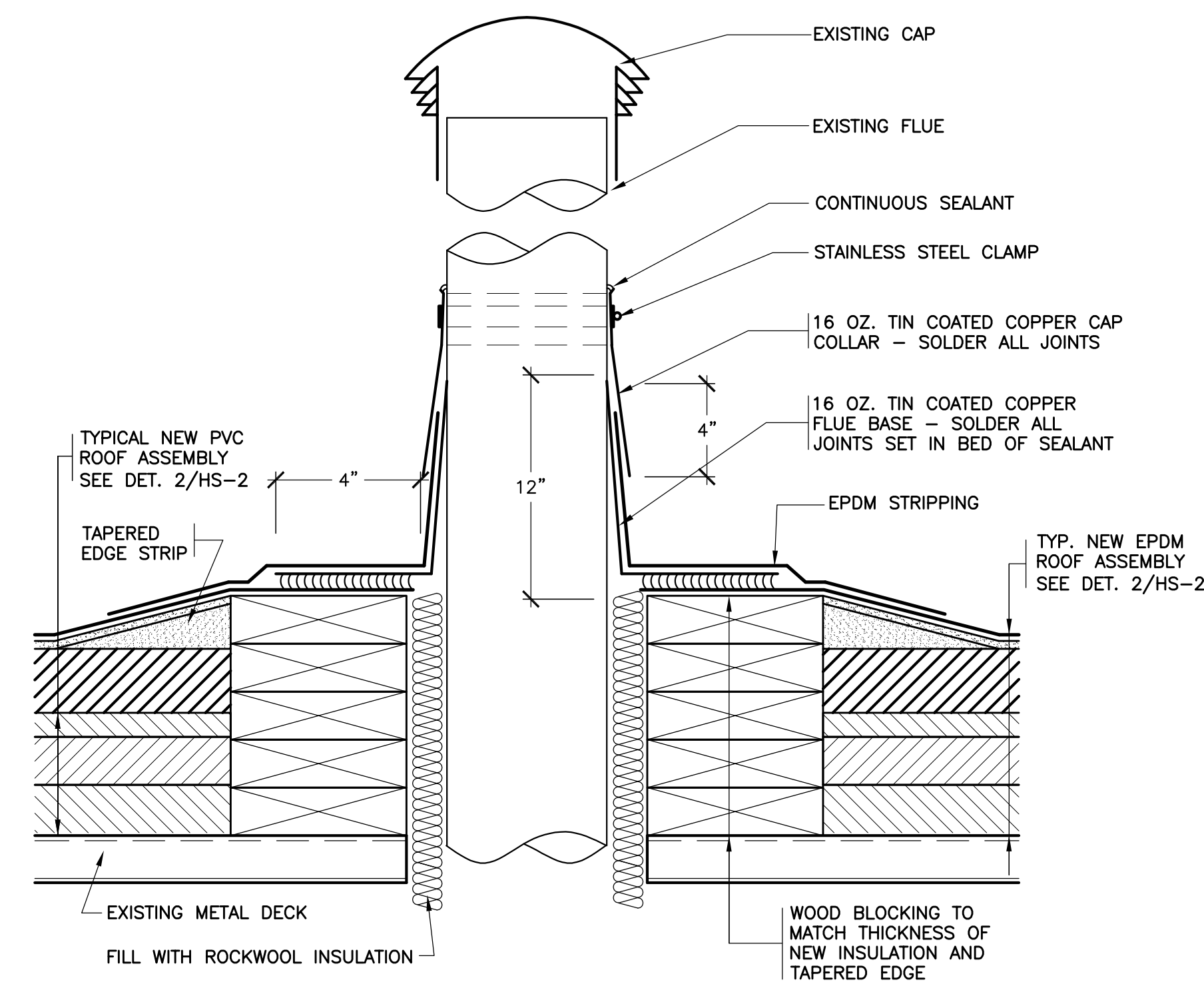
- NOTES:
1. REMOVE EXISTING ROOF DRAINS AND RELATED FLASHINGS.
 2. INSTALL TAPERED EDGE STRIPS & INSULATION FILLERS TO CREATE A MINIMUM 4 FT. x 4 FT. SQUARE SUMP AT EACH DRAIN.
 3. INSTALL INSULATION ON ALL HORIZONTAL DRAIN LINES, NEW VERTICAL DRAIN LINES AND THE UNDERSIDE OF THE NEW DRAIN BOWL.
 4. AT OVERFLOW ROOF DRAINS, DO NOT INSTALL A SUMP.

29 REVISED ROOF DRAIN
SCALE: 0" 1" 2" 4" 8"

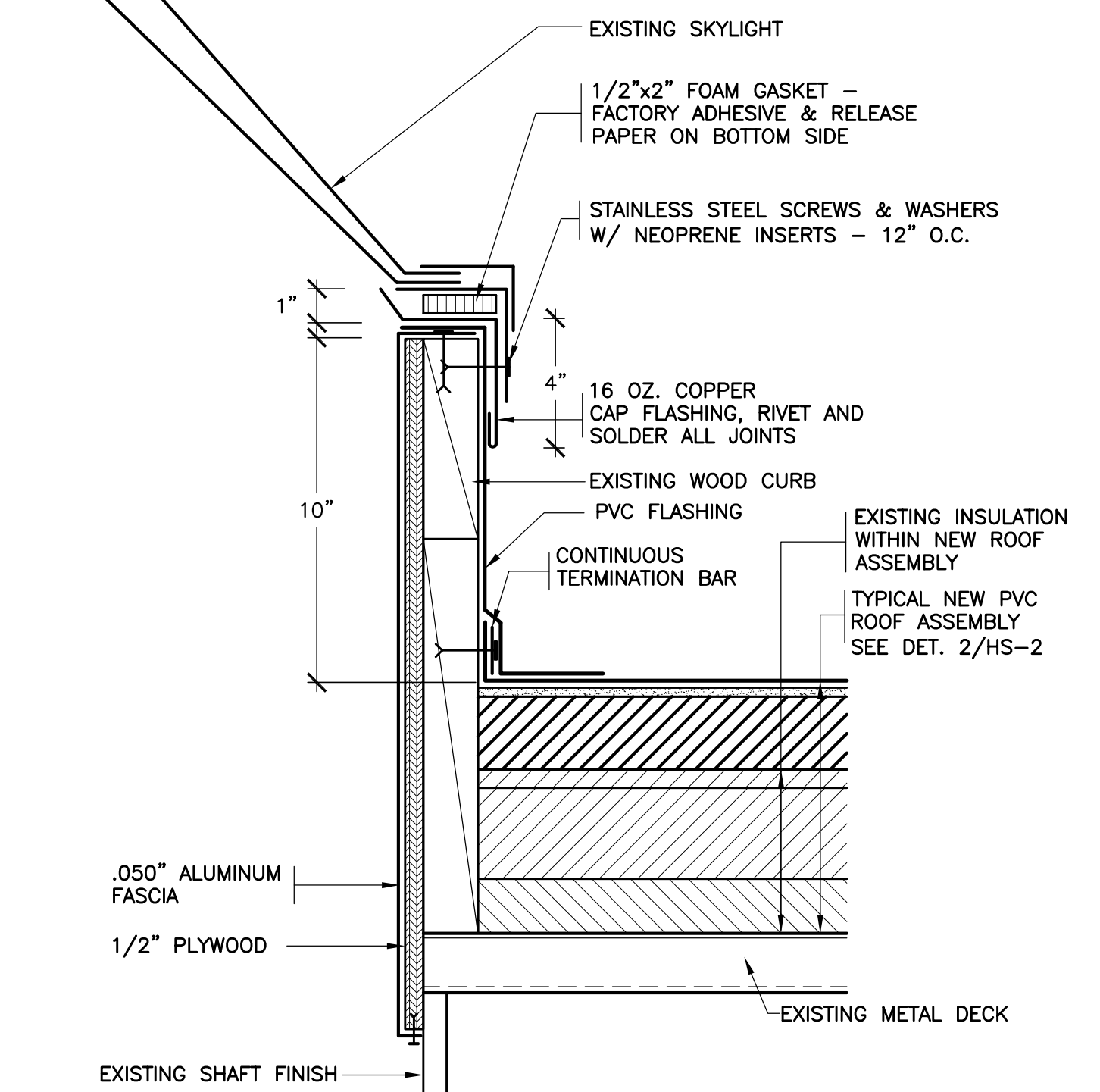


- NOTES:
1. REMOVE ALL EXISTING FLASHINGS.
 2. REMOVE KENNEDY COUPLINGS AND EXTEND VENT PIPES TO MEET HEIGHT REQUIREMENT.
 3. INSTALL PREMOLDED PIPE FLASHINGS WHENEVER POSSIBLE. WHEN PREMOLDED PIPE FLASHINGS CANNOT BE INSTALLED USE FIELD WRAPPED FLASHINGS.

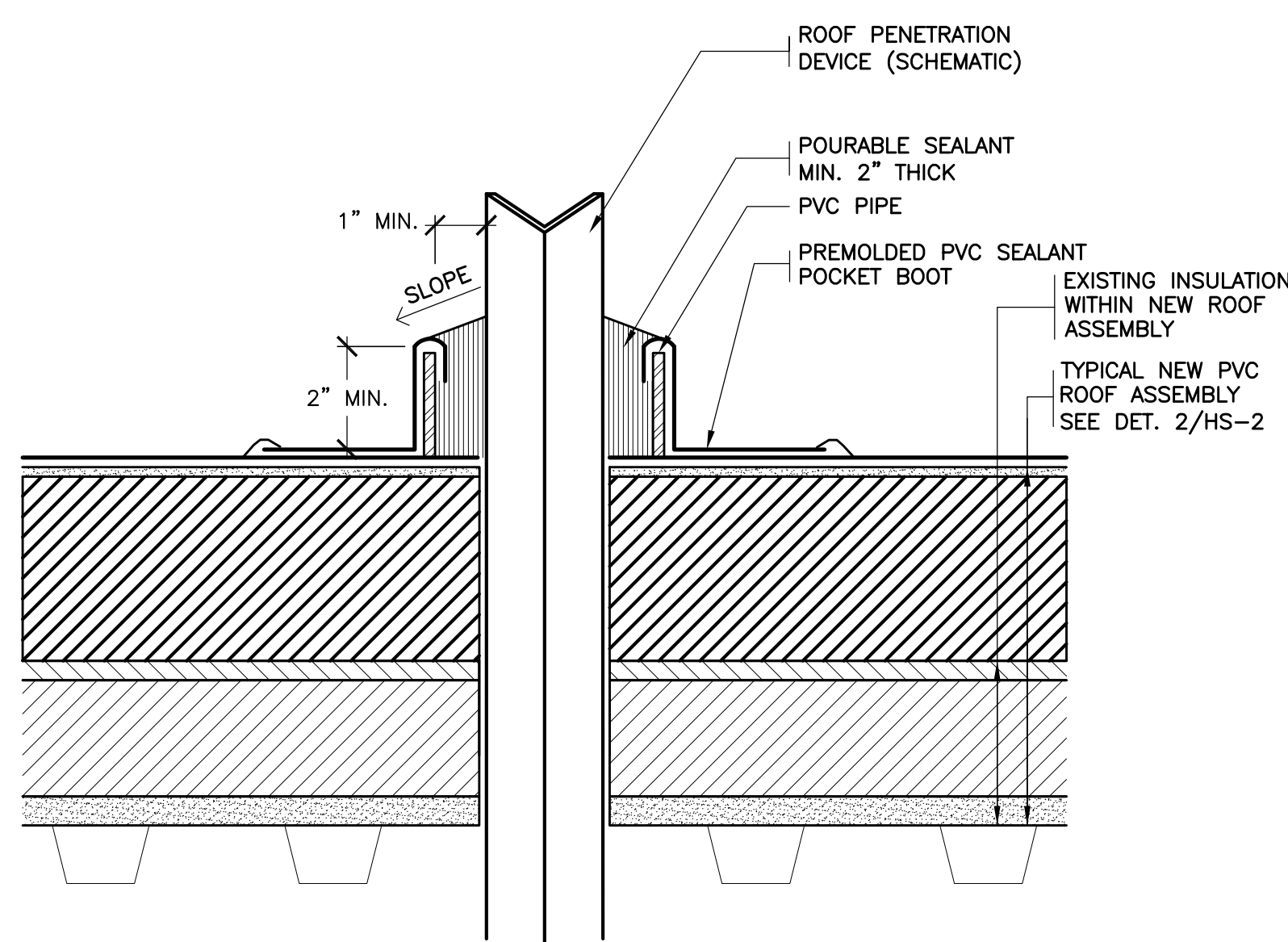
30 REVISED VENT PIPE
SCALE: 0" 1" 2" 4" 8"



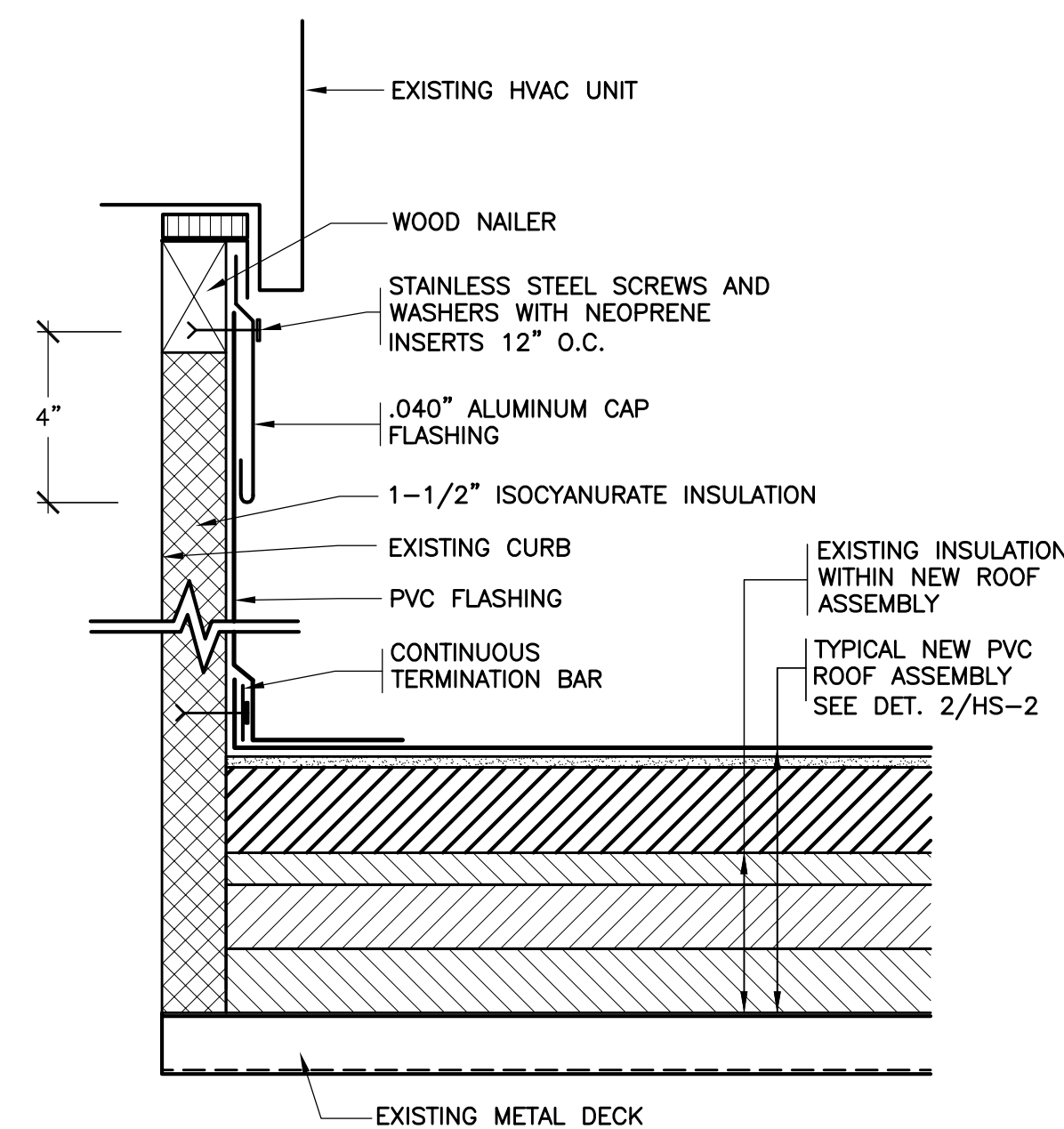
31 REVISED FLUE FLASHING
SCALE: 0" 1" 2" 4" 8"



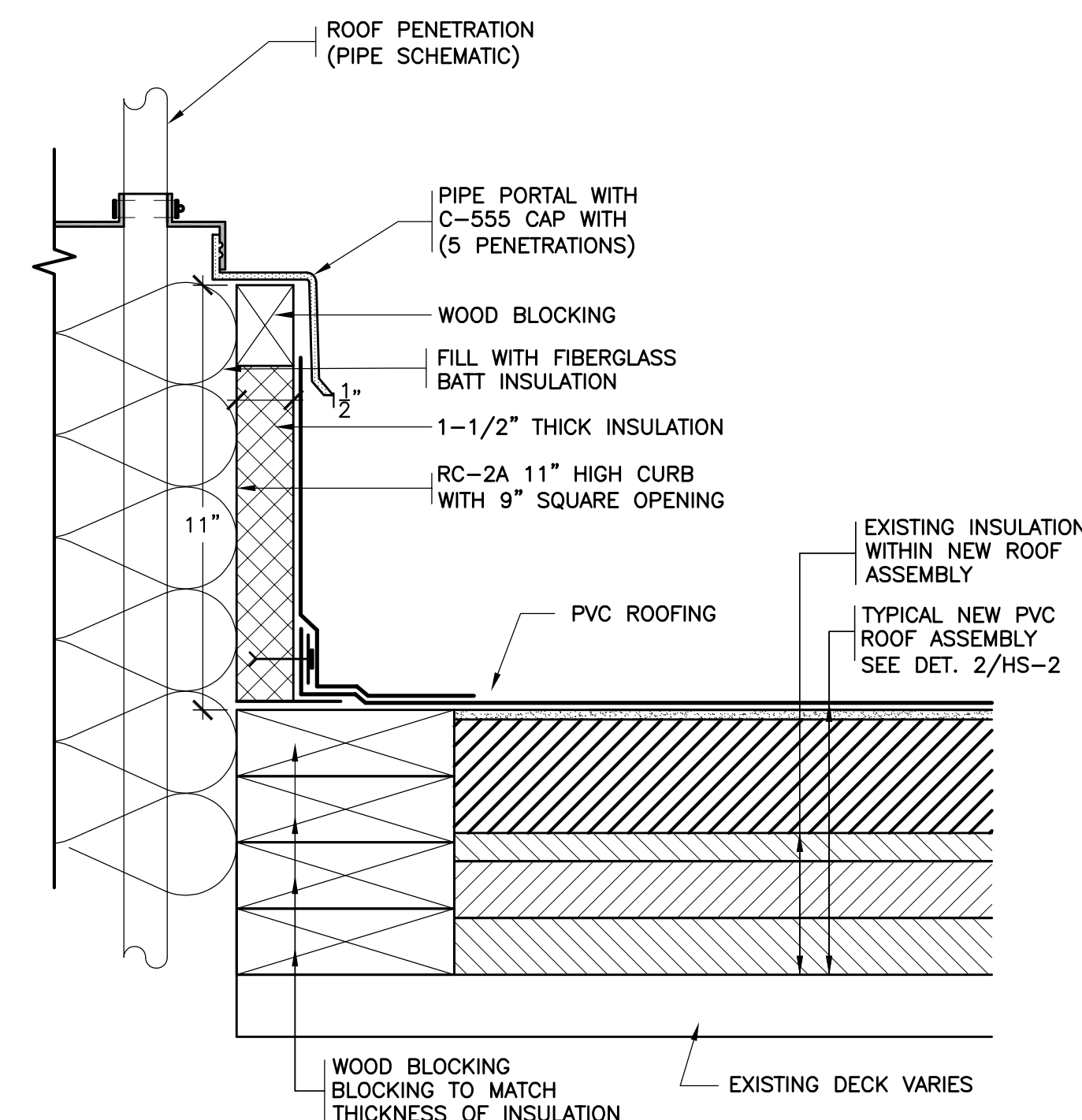
32 REVISED SKYLIGHT
SCALE: 0" 1" 2" 4" 8"



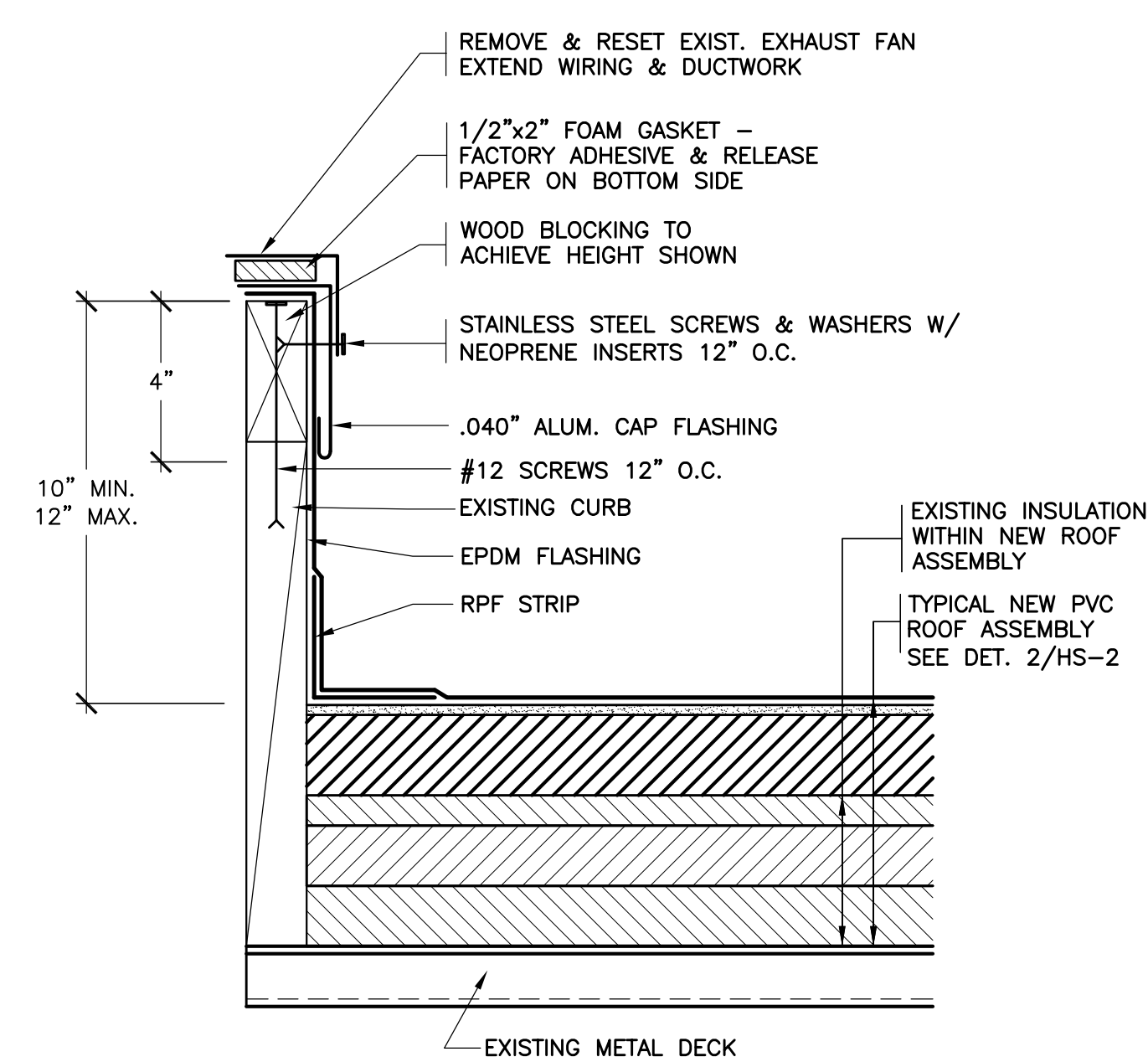
33 REVISED SEALANT POCKET
SCALE: 0" 1" 2" 4" 8"



34 REVISED HVAC CURB
SCALE: 0" 1" 2" 4" 8"



35 PORTALS PLUS
SCALE: 0" 1" 2" 4" 8"



36 REVISED EXHAUST FAN
SCALE: 0" 1" 2" 4" 8"

DISTRICT WIDE
ROOFING PROJECT

CROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520



KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KG+DARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1010-007
BUS GARAGE 66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

NOTE: ALL DESIGNS, DESIGNS, APPROVALS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF ANTHONY GARIBAY & ASSOCIATES, INC. (AG&A) AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF AG&A.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION OF TITLE 16, SECTION 2-10.1 OF THE NEW YORK STATE LAW. COPYRIGHT 2022 ANTHONY GARIBAY & ASSOCIATES, INC. ALL RIGHTS RESERVED.

Professional Seal

2 4/20/2023 BID SET
1 3/17/2023 CONSTRUCTION DOCUMENTS

No. 1 Date Issue
Sheet Title
HIGH SCHOOL
ROOF DETAILS

Job No. 2023-1002 Date 03/17/2023
Scale AS NOTED Drawn / Checked

Sheet Number
HS-4

DISTRICT WIDE
ROOFING PROJECT

CROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520



KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

NOTE: ALL DEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF ANDY/ER GARMENT & JANDSON ARCHITECTS PC (KGAD), AND HAVE BEEN CREATED FOR USE ON THIS PROJECT. NONE OF SUCH DEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF KGAD.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION OF TITLE 16, SECT. 245 OF NEW YORK STATE LAW.
COPYRIGHT 2022 ER GARMENT & JANDSON ARCHITECTS & ENGINEERS, PC. ALL RIGHTS RESERVED.

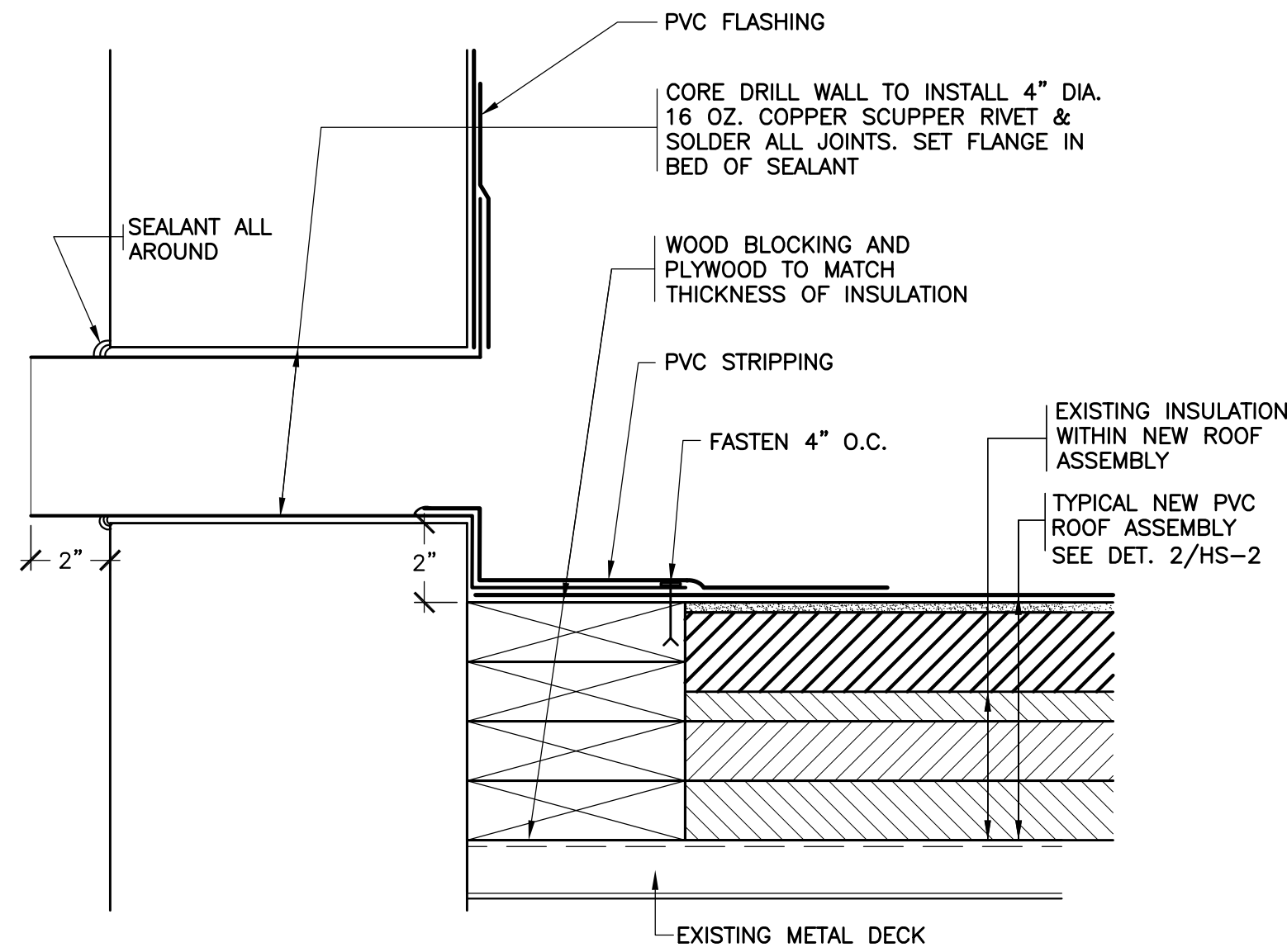
Professional Seal

2 4/20/2023 BID SET
1 3/17/2023 CONSTRUCTION DOCUMENTS

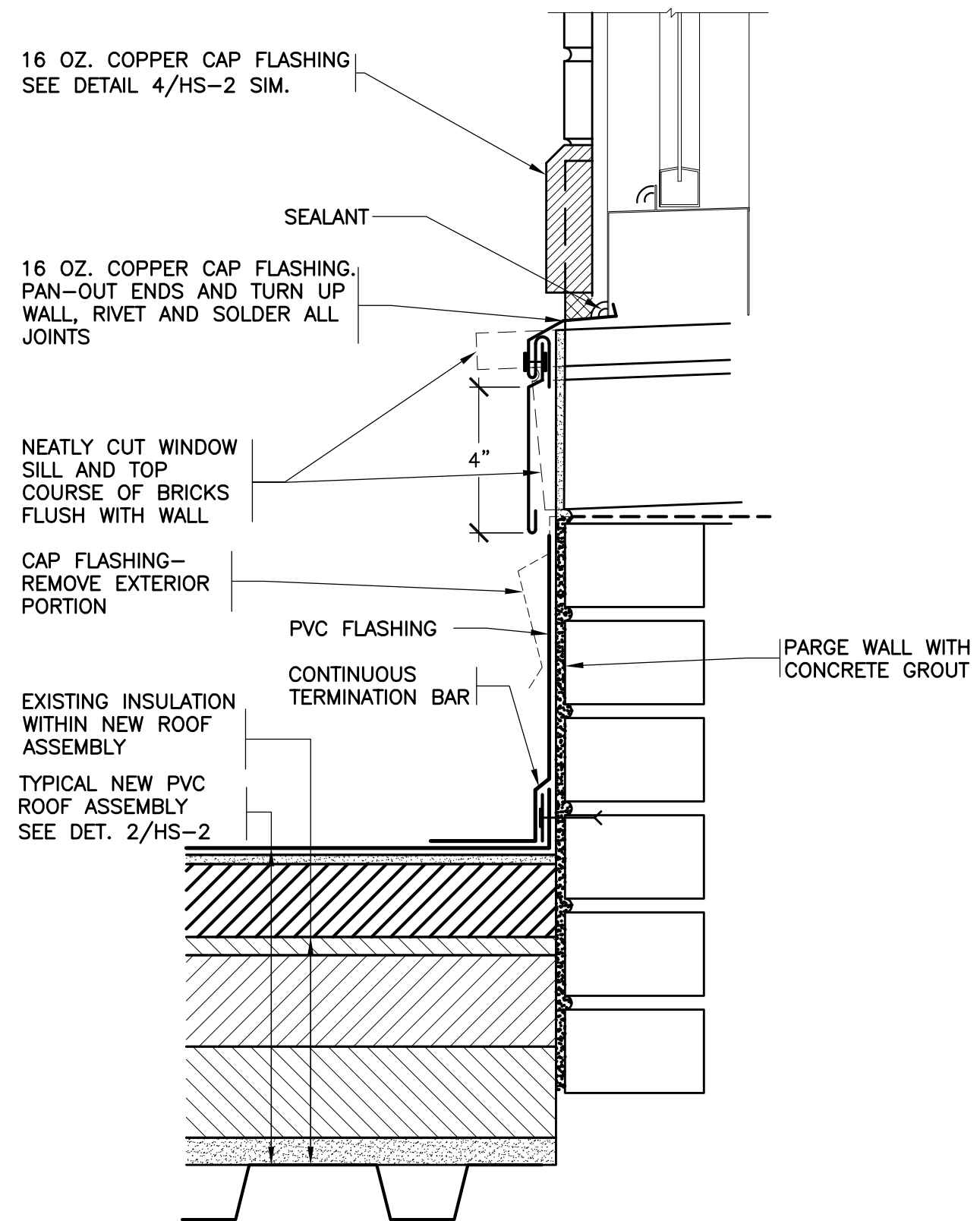
No. Date Issue
Sheet Title
HIGH SCHOOL
ROOF DETAILS

Job No. 2023-1002 Date 03/17/2023
Scale AS NOTED Drawn / Checked

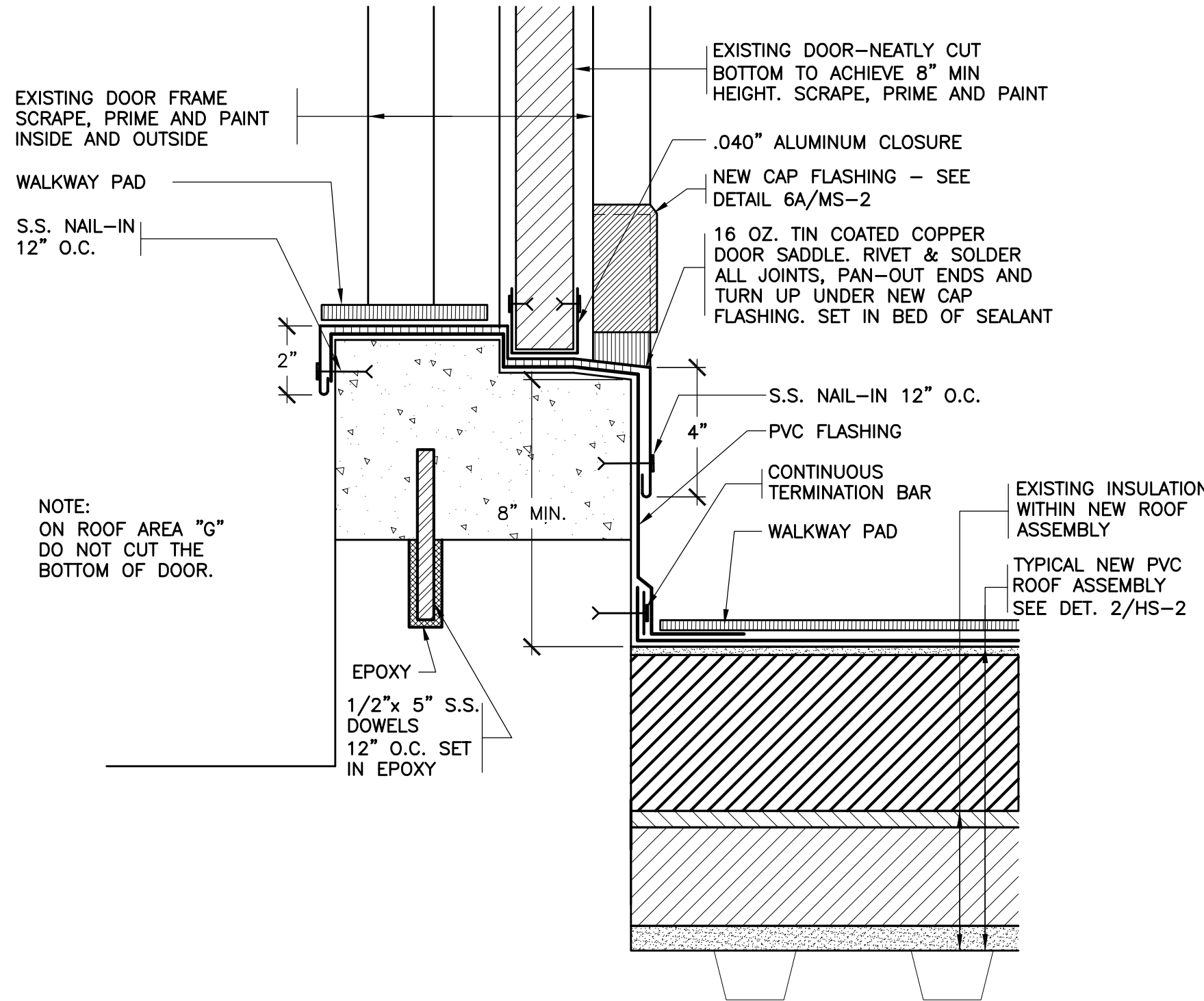
Sheet Number
HS-5



37 NEW OVERFLOW SCUPPER
SCALE: 0" 1" 2" 4" 8"



38 REVISED WINDOW FLASHING
SCALE: 0" 1" 2" 4" 8"



39 REVISED DOOR FLASHING
SCALE: 0" 1" 2" 4" 8"

KGD listen
imagine
build
KGD . ARCHITECTS PC
MAIN STREET MOUNT KISCO . NEW YORK . 10959
666.5900 KGDARCHITECTS.COM

TRITON
CONSTRUCTION

650 7th Ave 14th Floor, New York, NY 10018
279 Rte 300 1st Floor, Newburgh, NY 12550



BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS
IT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED
CT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION
N.Y. SECT. 69.5 (b) OF NEW YORK STATE LAW.
DAVIDSON ARCHITECTS & ENGINEERS, P.C.
RESERVED.

Professional Seal



MODIFICATION TO FENCE DETAILS 3,4,5/ GEN-SL-1:
TEMPORARY FENCE FOOTINGS MAY BE USED AS LONG AS
THE STRUCTURE OF THE FENCE WITHSTANDS WINDSPEEDS IN
EXCESS OF 110MPH

DISTRICT WIDE
ROOFING PROJECTCROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGARCHITECTS.COM

NY SED PROJECT CONTROL NO.

HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
ELEMENTARY SCHOOL	66-02-02-03-0-003-033
NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

NOTE: ALL DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF ANDREW GARRETT & ASSOCIATES, INC. (G&A). NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF G&A.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION OF TITLE 16, SECTION 17-01 OF THE NEW YORK STATE LAW.

COPYRIGHT 2022 ANDREW GARRETT & ASSOCIATES, INC. ALL RIGHTS RESERVED.

Professional Seal

2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS

No. 1 Date Issue

Sheet Title

PIERRE VAN
CORTLANDT
M.S
ROOF PLAN

Job No. 2023-1002 Date 03/17/2023

Scale AS NOTED Drawn / Checked

Sheet Number

MS-1

GENERAL NOTES:

1. THESE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

2. DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.

3. ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.

4. TEST EACH DRAIN LINE WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. PROVIDE A WRITTEN REPORT OF ANY CLOGGED LINES TO THE OWNER.

A. CLOGGED DRAIN LINES REPORTED TO THE OWNER BEFORE WORK STARTS WILL BE CLEANED BY THE OWNER.

B. COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.

C. PERFORM WHATEVER WORK IS REQUIRED SO ALL DRAIN LINES ARE CLEAN AND FREE FLOWING UPON COMPLETION OF THE PROJECT.

5. REMOVE AND RESET ANY SITE LIGHT FIXTURES, WIRES AND CONDUITS THAT INTERFERE WITH THE NEW EAVE FLASHINGS. REPLACE COMPONENTS THAT CANNOT BE PROPERLY REINSTALLED.

6. REMOVE EXISTING ROOF TOP ELECTRICAL CONDUIT AND GAS PIPE SUPPORTS. RE-SET THE CONDUIT AND PIPES ON ADJUSTABLE HEIGHT FACTORY MANUFACTURED PIPE SUPPORTS PLACED ON WALKWAY PADS SPACED 5 FEET ON CENTER. SECURE THE CONDUITS AND PIPES TO THE PIPE SUPPORTS WITH GALVANIZED CLIPS & BOLTS.

7. WIRE BRUSH, PRIME & PAINT ROOF TOP EQUIPMENT HOUSINGS, EXTERIOR & INTERIOR ACCESS LADDERS, BULKHEAD DOORS & DOOR FRAMES (BOTH SIDES), GAS LINES, AND THE VENT PIPES. DO NOT PAINT OVER EQUIPMENT NAME PLATES AND LABELS.

8. REPAIR EXHAUST EQUIPMENT HOUSINGS SO THEY ARE WATERTIGHT; REPLACE ANY MISSING PIECES.

9. REMOVE, MODIFY AND REMOUNT THE EXISTING LADDERS - REWORK THEM SO THEY ARE OSHA COMPLIANT. SCRAPE, PRIME AND PAINT THE LADDERS. FILL OLD FASTENER HOLES WITH COLOR MATCHING MORTAR.

10. RE-CALK ALL VERTICAL MASONRY CONTROL AND EXPANSION JOINTS IN THE CHANGE IN ELEVATION WALLS ABOVE LOWER LEVEL ROOFS. REMOVE EXISTING SEALANT AND BACK UP MATERIALS, AND INSTALL NEW BACKER ROD AND SEALANT.

11. INSULATE THE EXISTING DRAIN LINES WHERE EXPOSED INSIDE THE BUILDING, ALL NEW DRAIN LINES, AND THE UNDERSIDES OF THE NEW DRAIN BOWLS.

12. INSTALL NEW WALKWAY PADS WHERE SHOWN ON THE ROOF PLAN.

13. REMOVE CURB AT PIPE PENETRATION AND INSTALL, FASTEN A 22 GA. GALVANIZED PLATE ON TOP OF METAL DECK. REMOVE EXTEND AND MODIFY, WIRING & PIPES, FLASH AS PER DETAIL 18/MS-3 (VENT PIPE SIMILAR).

CUPOLA REHABILITATION NOTES

THE CUPOLA IS NOT ILLUSTRATED IN THESE DRAWINGS; VISUALLY INSPECT IT.

A. SCRAPE AND REMOVE ALL LOOSE AND PEELING PAINT. UTILIZE DROP CLOTHES AND HEPA VACUUMS TO COLLECT AND DISPOSE OF THE PAINT CHIPS

B. INSTALL EXTERIOR SPACKLE TO FILL VOIDS WHERE PAINT WAS REMOVED, THEN SAND THE SPACKLE SMOOTH

C. REMOVE AND REPLACE ROTTED AND DETERIORATED WOOD COMPONENTS

D. BACK PRIME NEW WOOD BEFORE INSTALLATION; SPOT PRIME THE SPACKLE AND THEN PRIME THE ENTIRE CUPOLA USING EXTERIOR ALKYD PRIMER.

E. INSTALL TWO FINISH COATS OF EXTERIOR ALKYD PAINT, COLORS TO BE SELECTED.

F. INSTALL A NEW WEATHER VANE, SUPPORTED WITH A 3/4 INCH DIAMETER STAINLESS STEEL ROD, SECURED TO BRACKETS MOUNTED WITHIN THE CUPOLA.

LEGEND:

ROOF AREA DESIGNATION

EXPANSION JOINT

(SEE DET. 13&14/MS-3)

ROOF DRAIN

(SEE DET. 17/MS-3)

OVERFLOW ROOF DRAIN

(SEE DET. 17/MS-3) SIMILAR

VENT PIPE

(SEE DET. 18/MS-3)

CURB PENETRATION

(SEE DET. 18/MS-3 & NOTE 13) SIMILAR

LOUVERED PENTHOUSE

(SEE DET. 19/MS-3)

SEALANT POCKET

(SEE DET. 20/MS-3)

ACCESS DOOR

(SEE DET. 21/MS-3)

INSULATION HIGH POINT

TAPERED ISOCYANURATE INSULATION,

SLOPE 1/8" PER FT

CRICKET- SLOPE 1/4" PER FT

WALKWAY PADS

ROOF PROTECTION NOTES:

1. AVOID WALKING ON NEW AND EXISTING ROOF AREAS.

2. DO NOT STORE MATERIAL OR EQUIPMENT, AND DO NOT PILE DEBRIS ON NEW AND EXISTING ROOF AREAS.

3. INSTALL 1 INCH THICK EXTRUDED POLYSTYRENE INSULATION OVER 6 MIL FIRE RETARDANT POLYETHYLENE, COVERED WITH 2x10 WOOD PLANKS TO PROTECT ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.

4. NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2 INCH OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.

5. DO NOT COVER THE ROOF DRAINS. MAINTAIN THE ROOF DRAIN STRAINERS VISIBLE AND CLEAR AT ALL TIMES.

CODE COMPLIANCE REQUIREMENTS:

1. INSTALL NEW ROOFING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:

A. NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, WHICH INCLUDES BY REFERENCE THE NEW YORK STATE ENERGY CONSERVATION CODE.

B. UNDERWRITERS LABORATORIES INC. CLASS A EXTERNAL FIRE RATING FOR ROOF ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E 108 OR UL 790.

C. UNDERWRITERS LABORATORIES INC. STANDARD 1256 FOR ROOF ASSEMBLIES WITH FOAM INSULATION.

2. INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, BASED ON THIS CRITERIA:

RISK CATEGORY III
BASIC WIND SPEED 130 MPH
EXPOSURE CATEGORY B
BUILDING HEIGHT 30 FT.

3. INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS, CALCULATED IN ACCORDANCE WITH ASCE 7 USING A SAFETY FACTOR OF 2:

FIELD ZONE: 90 PSF
PERIMETER ZONE: 135 PSF
CORNER ZONE: 150 PSF

4. FABRICATE AND INSTALL ROOF PERIMETER FLASHINGS THAT COMPLY WITH THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND WITH ANSI/SPRI ES-1 "WIND STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS", ON A BUILDING USING THE CRITERIA DESCRIBED ABOVE.

5. FABRICATE AND INSTALL WOOD BLOCKING COMPONENTS TO RESIST A FORCE OF 275 POUNDS PER LINEAL FOOT APPLIED IN ANY DIRECTION.

DECK TYPE CHART & INSULATION REQUIREMENTS

ROOF AREA	DECK TYPE	THICKNESS OF EXISTING INSULATION	STARTING THICKNESS OF NEW INSULATION	MIN. R-VALUE OF NEW & EXISTING INSULATION	AVERAGE THICKNESS OF NEW & EXISTING INSULATION	AVERAGE R-VALUE OF NEW & EXISTING INSULATION
G	METAL	5.5"	1.5"	30	7.6"	44.7
H	METAL	3.0"	2.5"	30	5.5"	31.9
I	METAL	3.5"	2.0"	30	6.9"	40.4
J	METAL	3.5"	2.0"	30	6.0"	34.8
K	METAL	4.0"	1.5"	30	6.2"	36.0
KK	METAL	3.0"	2.5"	30	6.2"	36.0
L	METAL	3.0"	2.5"	30	5.8"	33.6

NOTES:

1. INSTALL CONTINUOUS INSULATION ABOVE THE DECK TO ACHIEVE A TOTAL MINIMUM R-VALUE OF 30, AND TO MEET THE NY ENERGY CONSERVATION CONSTRUCTION CODE, INCLUDING THE INTERNATIONAL ENERGY CONSERVATION CODE AND THE NY STATE SUPPLEMENT, FOR A BUILDING IN CLIMATE ZONE 4.

2. INSTALL NEW 2 INCH FLAT ISOCYANURATE INSULATION OVER THE EXISTING 3.75 INCH INSULATION, UNLESS OTHERWISE NOTED. INSTALL THE ISOCYANURATE INSULATION IN MULTIPLE LAYERS, STAGGER ALL JOINTS BETWEEN LAYERS 12 INCHES.

3. INSTALL A COVER BOARD USING LOW RISE FOAM ADHESIVE OVER THE INSULATION AND CRICKETS.

KEY PLAN

NOT TO SCALE

PROJECT NORTH

LEGEND:

NEW ROOFS

EXISTING TO REMAIN

PARTIAL ROOF
PLAN

0' 2' 4' 8'

PROJECT NORTH



DISTRICT WIDE
ROOFING PROJECTCROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COMNY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

NOTE: ALL DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF ANTHONY GARIBAY & ASSOCIATES ARCHITECTS PC (AGAD) AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF AGAD.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION OF TITLE 16, SECTION 26-1.1 OF THE NEW YORK STATE LAW.

COPYRIGHT 2022 ANTHONY GARIBAY & ASSOCIATES ARCHITECTS PC. ALL RIGHTS RESERVED.

Professional Seal

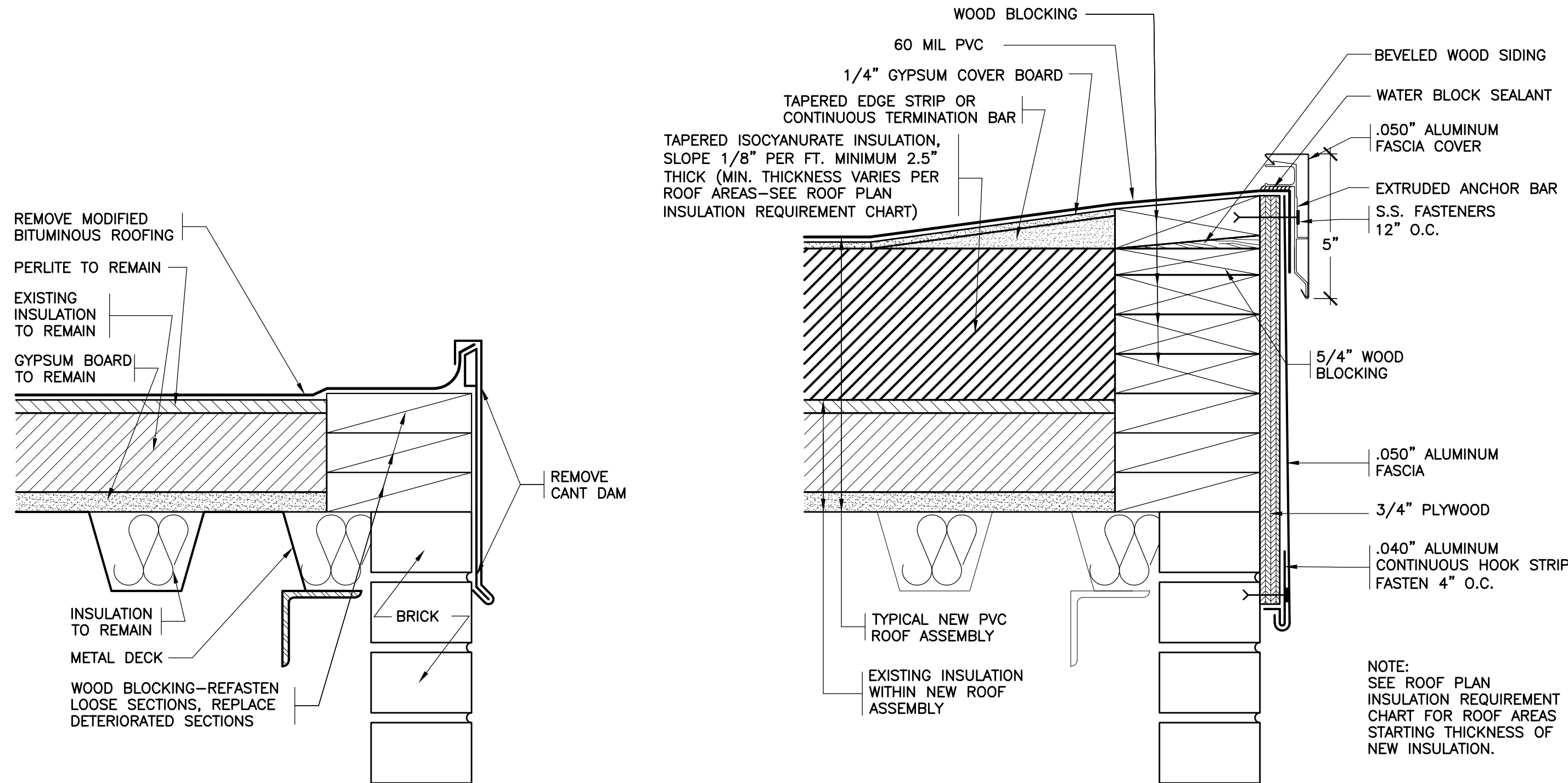
2 4/20/2023 BID SET
1 3/17/2023 CONSTRUCTION DOCUMENTS
No. 1 Date IssueSheet Title
**PIERRE VAN
CORTLANDT
M.S
ROOF DETAILS**

Job No. 2023-1002 Date 03/17/2023

Scale AS NOTED Drawn / Checked

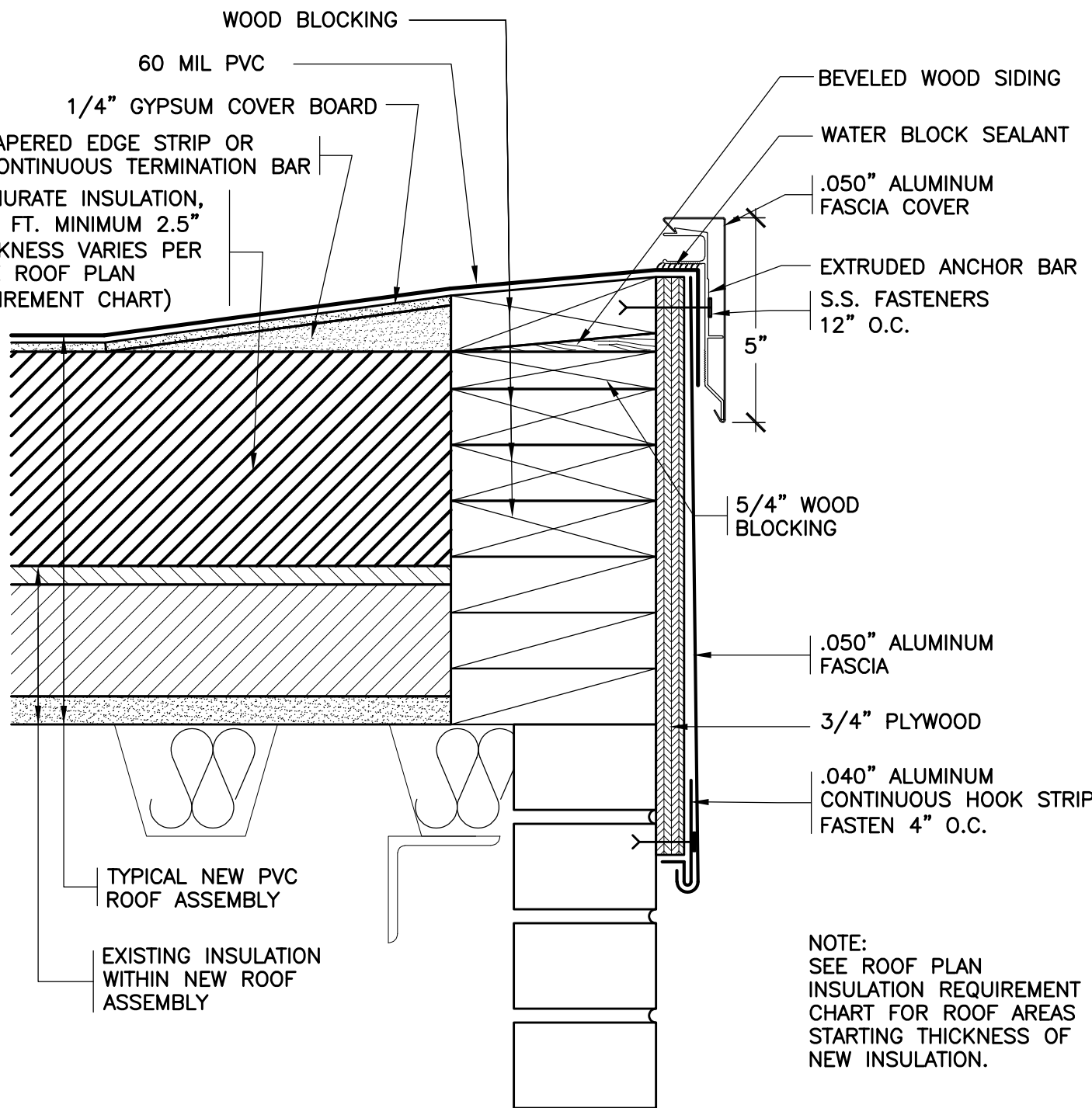
Sheet Number

MS-2



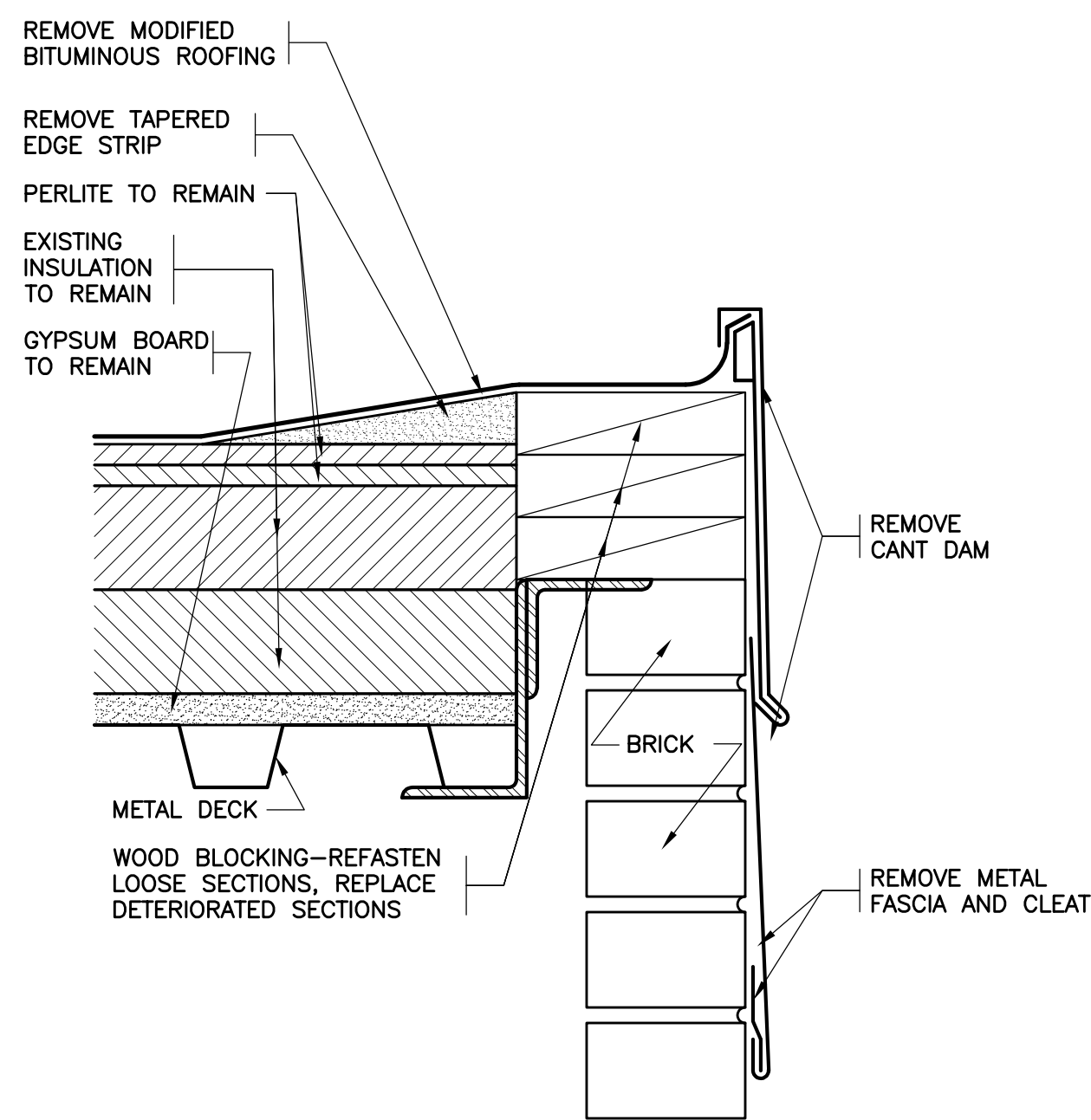
1 EXISTING FAVE

SCALE: 0' 1' 2' 4' 8'



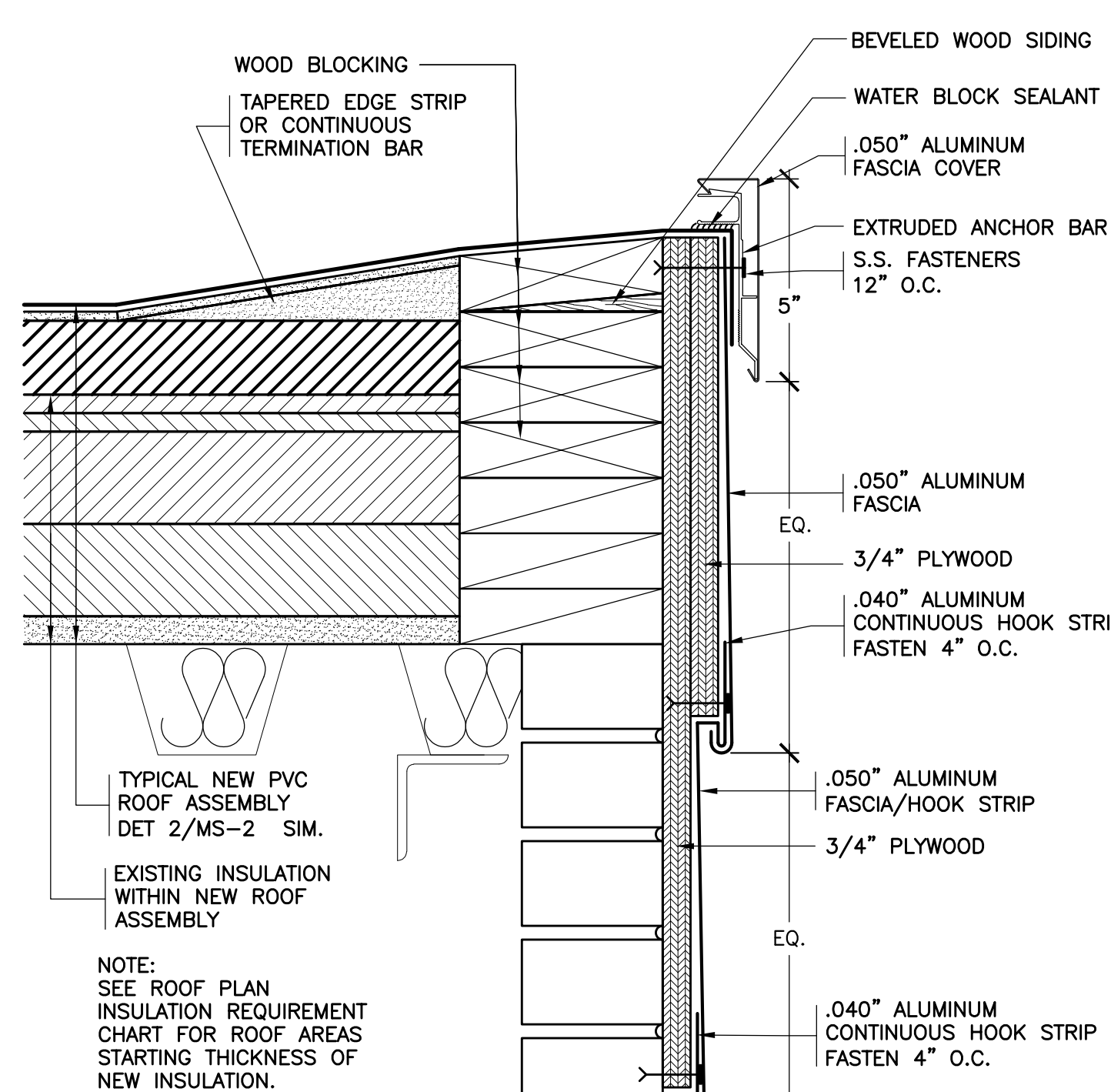
2 REVISED FAVE

SCALE: 0' 1' 2' 4' 8'



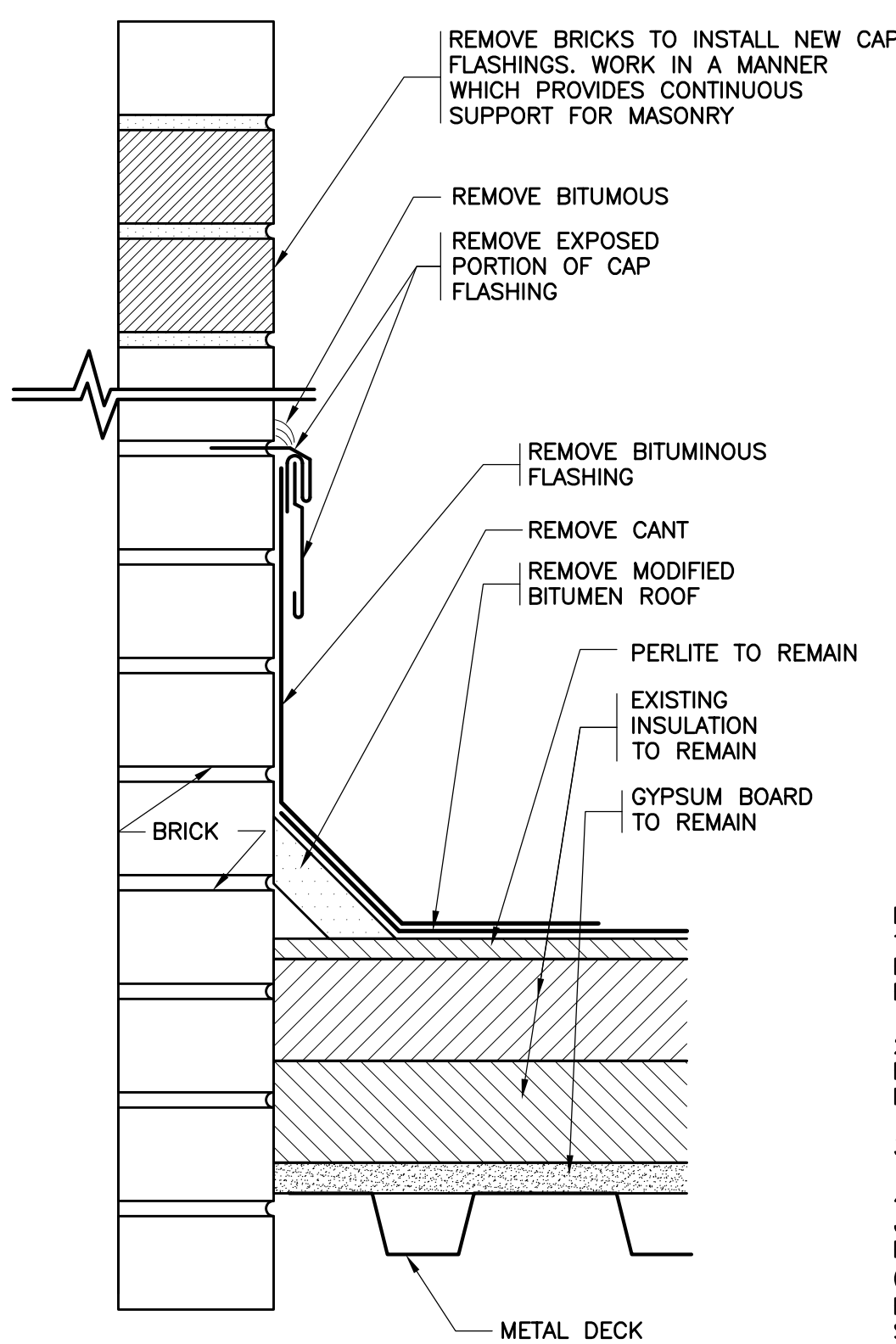
3 EXISTING FAVE

SCALE: 0' 1' 2' 4' 8'



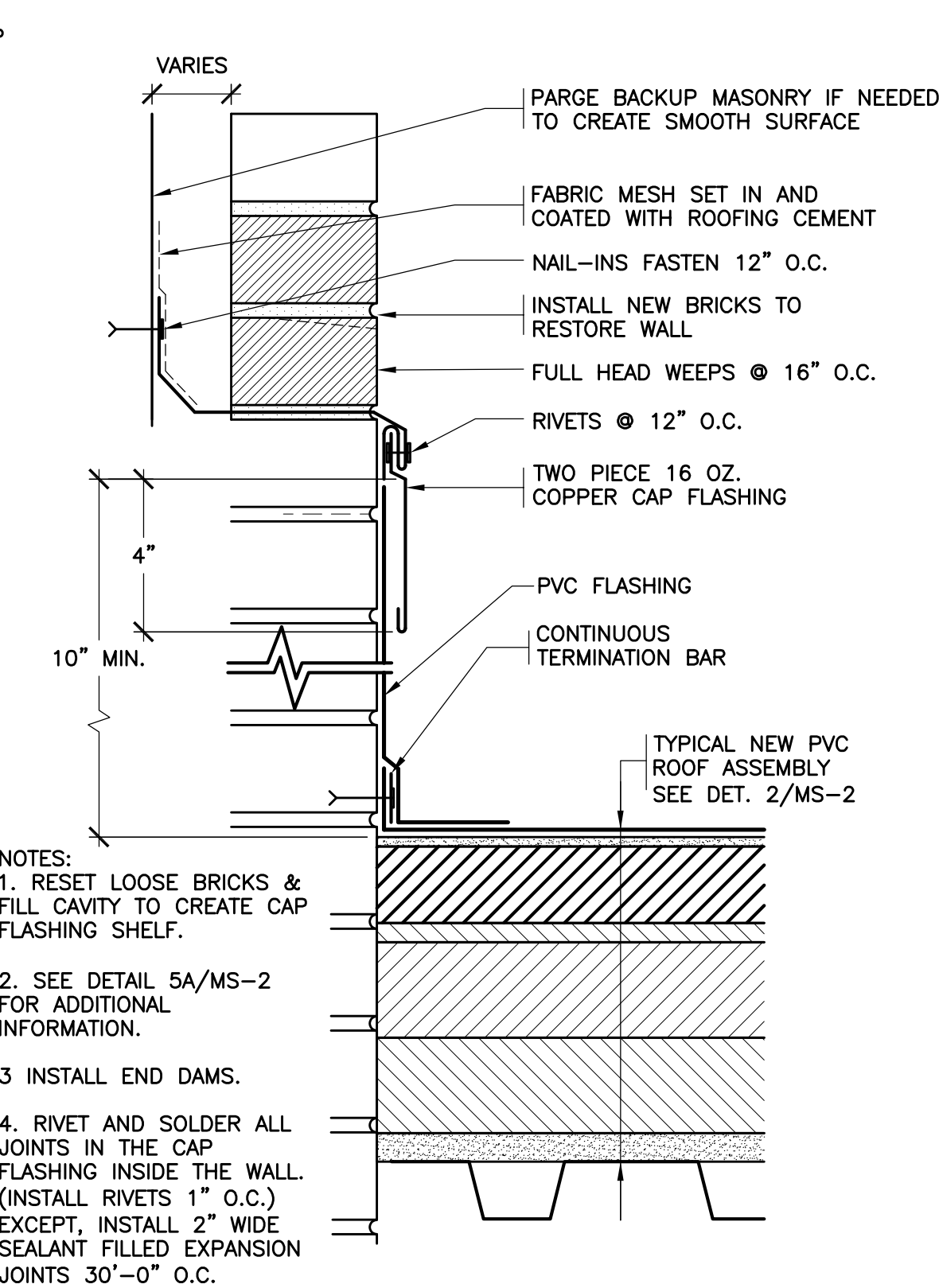
4 REVISED FAVE

SCALE: 0' 1' 2' 4' 8'



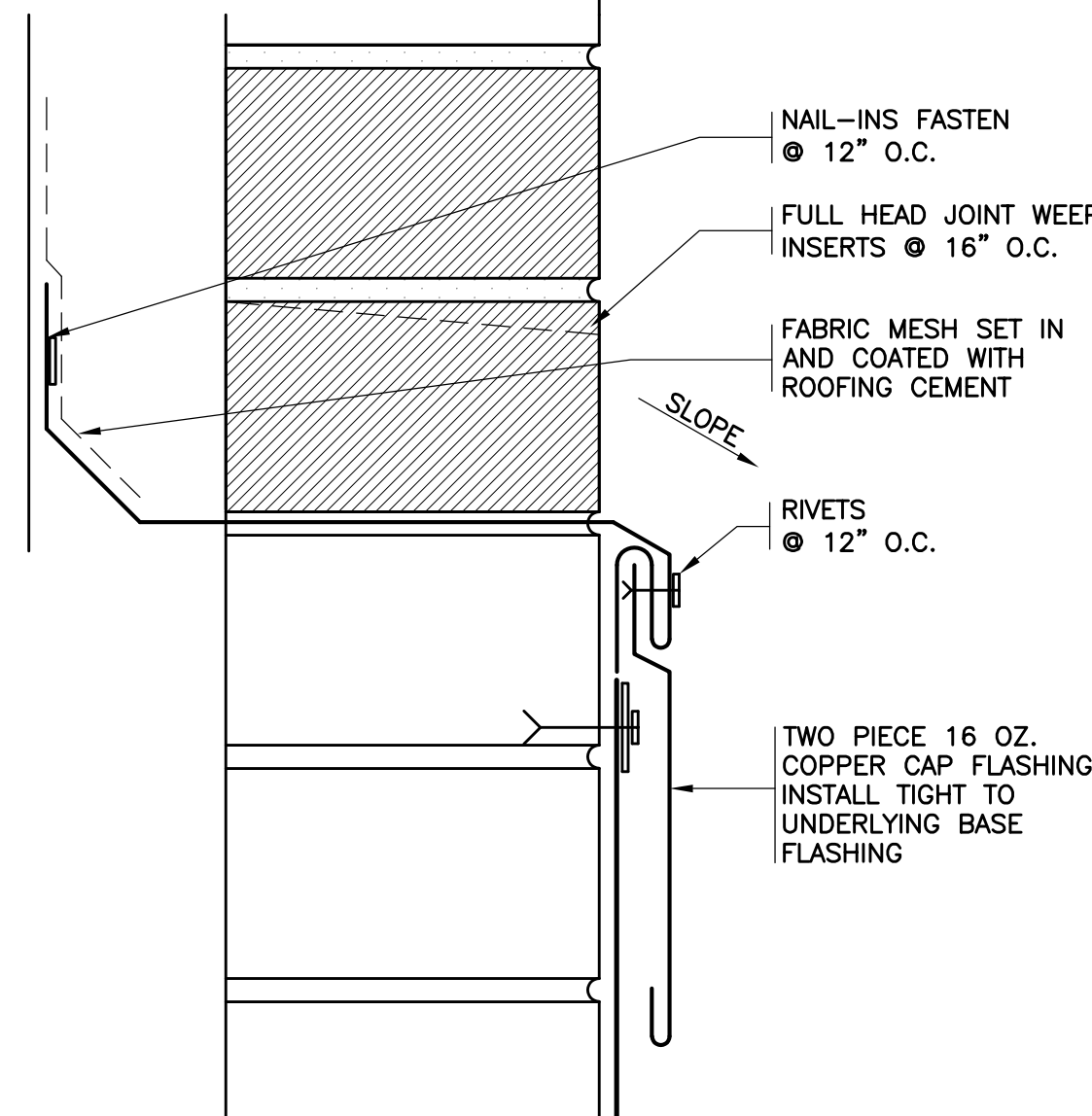
5 EXISTING BASE FLASHING

SCALE: 0' 1' 2' 4' 8'



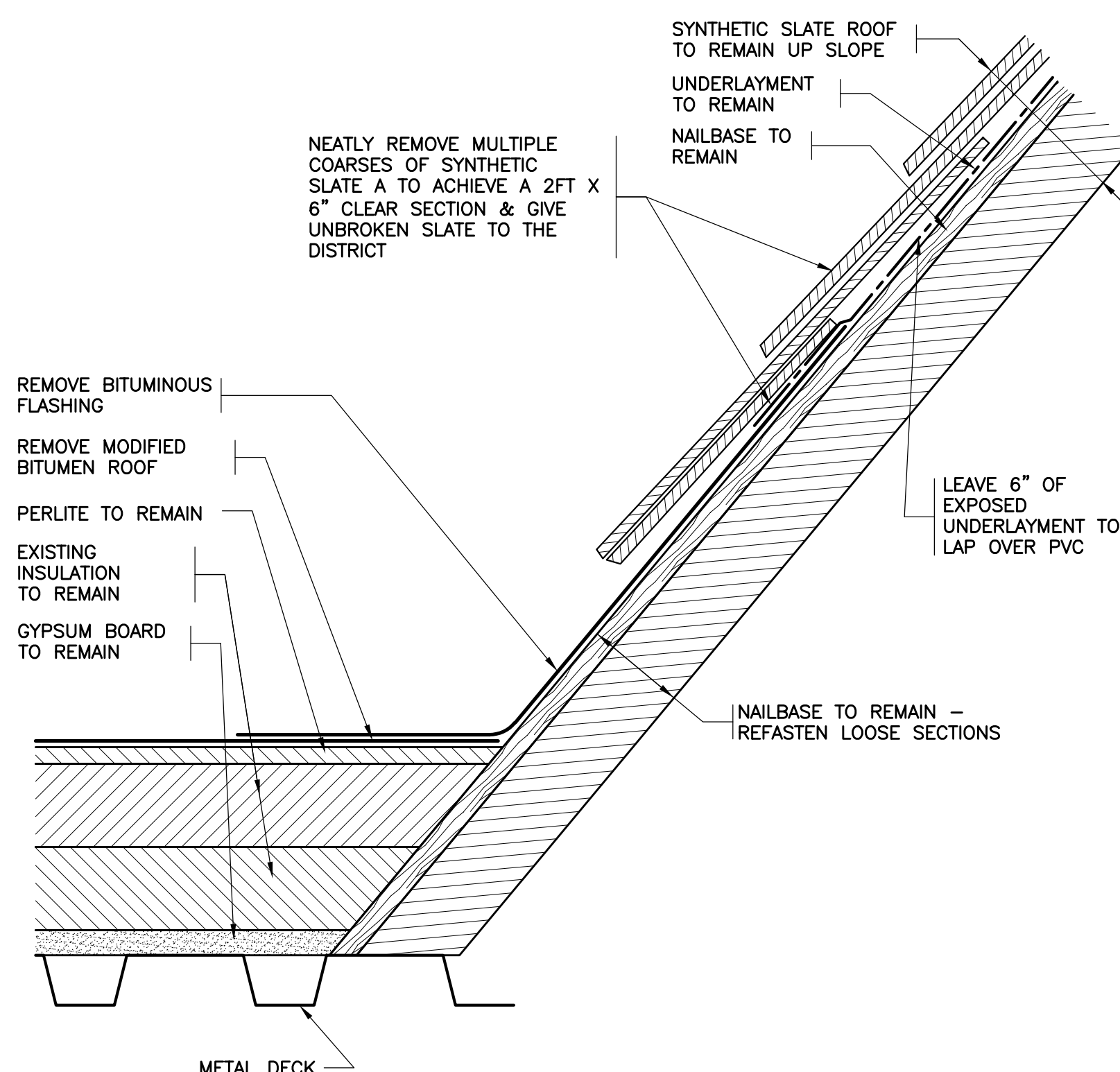
6 REVISED BASE FLASHING

SCALE: 0' 1' 2' 4' 8'



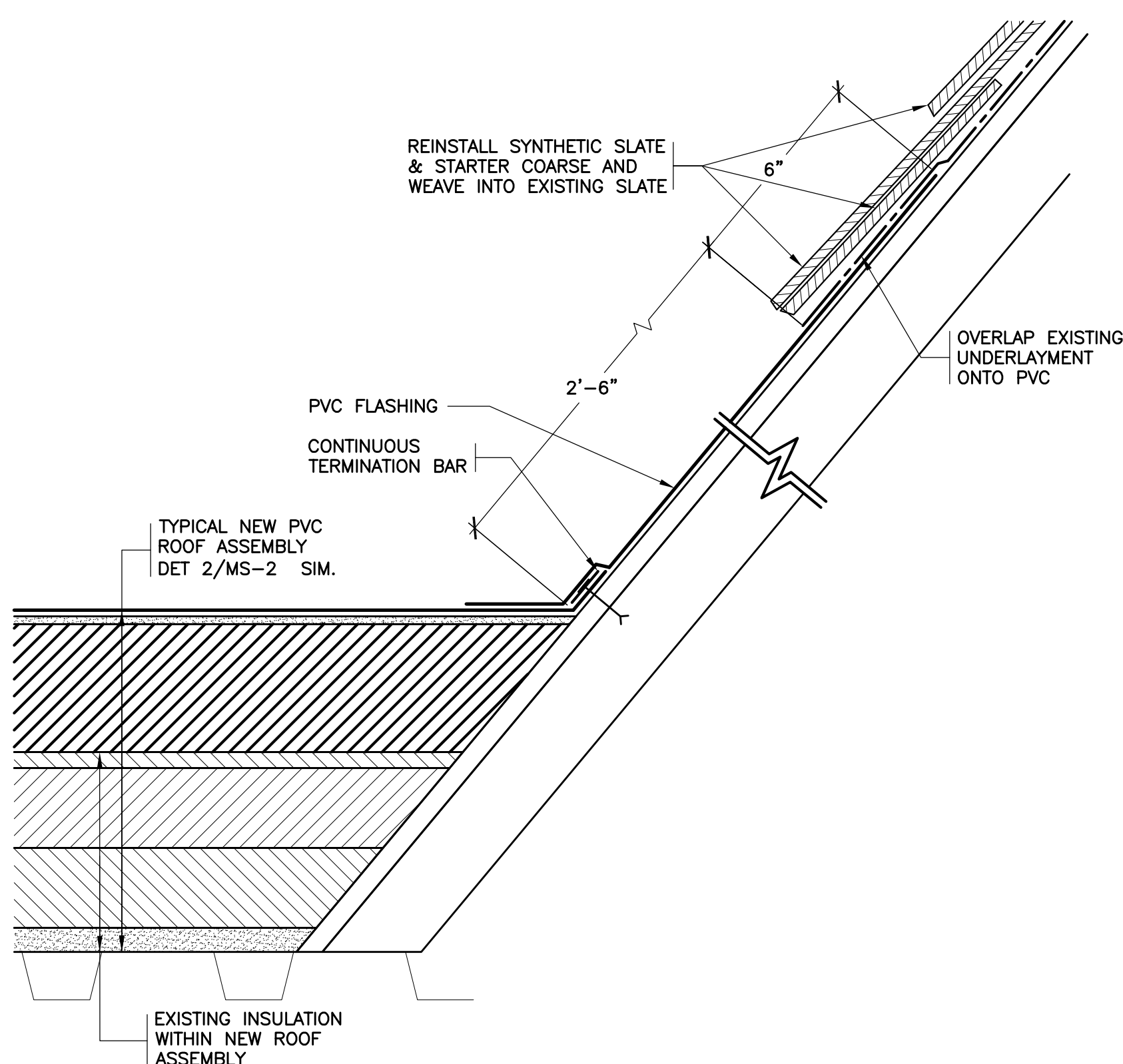
6A REVISED CAP FLASHING

SCALE: 0' 1' 2' 4' 8'



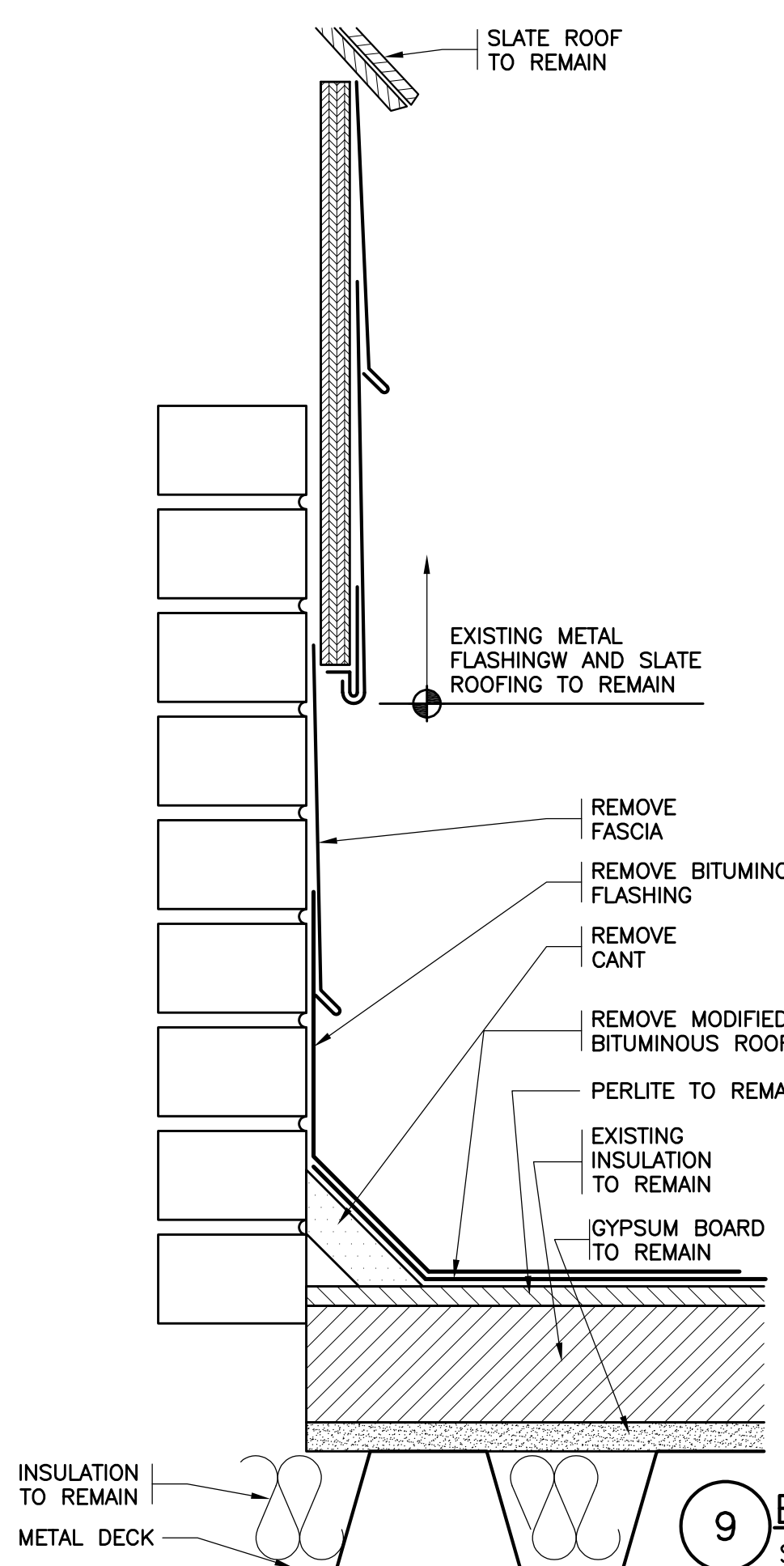
7 EXISTING TRANSITION

SCALE: 0' 1' 2' 4' 8'



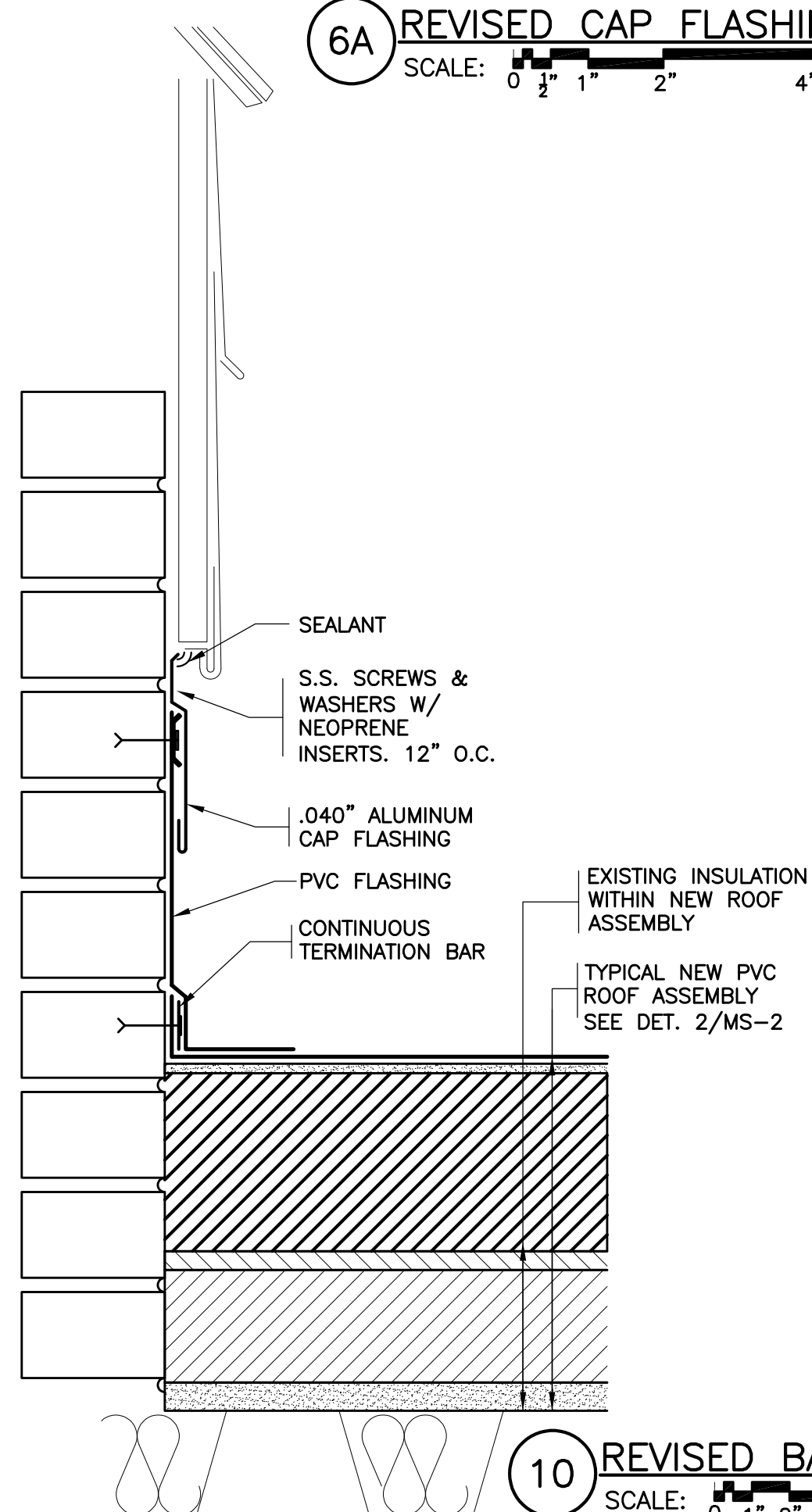
8 REVISED TRANSITION

SCALE: 0' 1' 2' 4' 8'



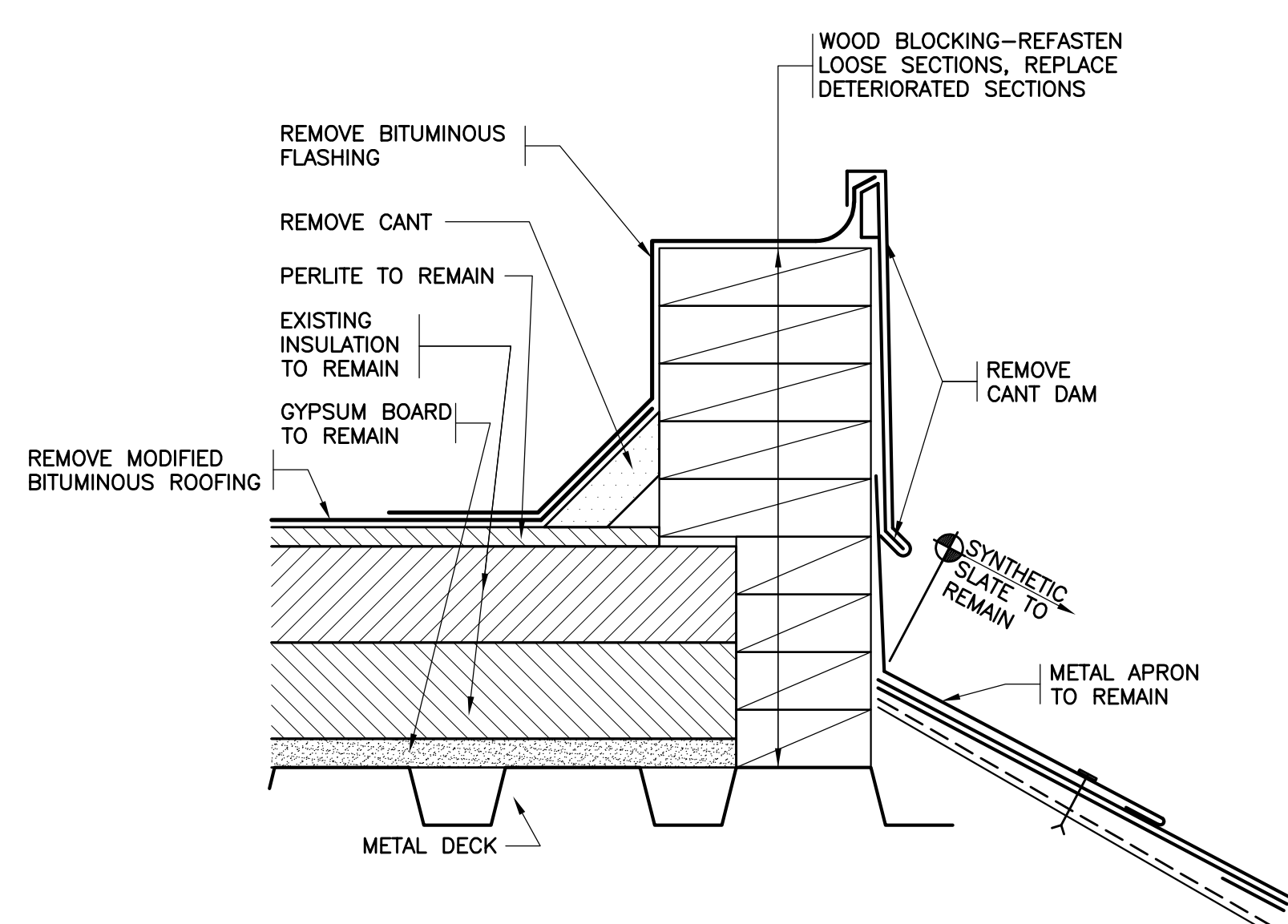
9 EXISTING BASE FLASHING

SCALE: 0' 1' 2' 4' 8'



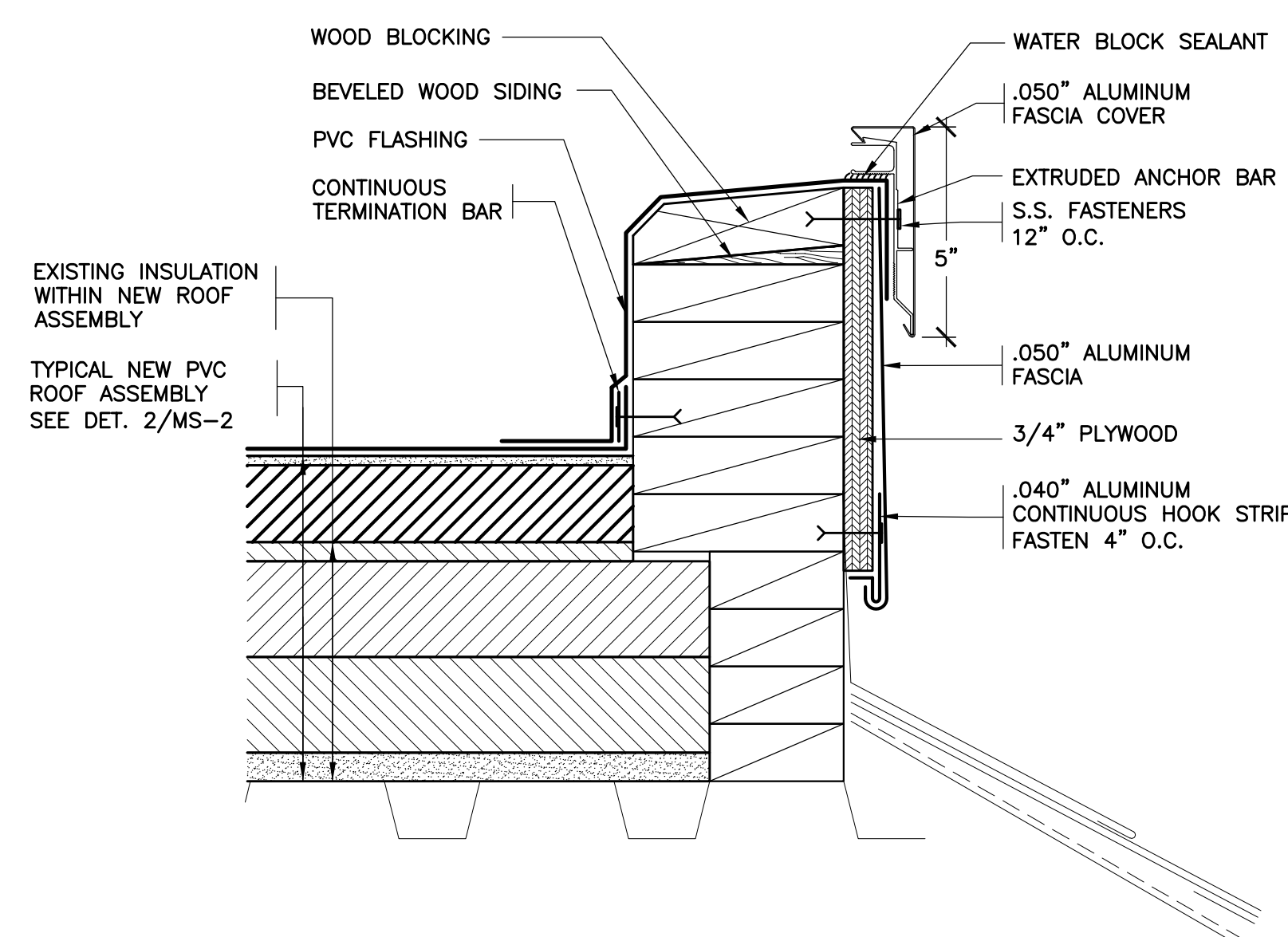
10 REVISED BASE FLASHING

SCALE: 0' 1' 2' 4' 8'



11 EXISTING TRANSITION

SCALE: 0' 1' 2' 4' 8'



12 REVISED TRANSITION

SCALE: 0' 1' 2' 4' 8'

DISTRICT WIDE
ROOFING PROJECTCROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520
 385 MAIN STREET MOUNT KISCO, NEW YORK, 10549
 P:914.666.5900 KGDARCHITECTS.COM

 NY SED PROJECT CONTROL NO.
 HIGH SCHOOL 66-02-02-03-0-001-032
 MIDDLE SCHOOL 66-02-02-03-0-002-029
 ELEMENTARY SCHOOL 66-02-02-03-0-003-033
 NEW BUSINESS OFFICE 66-02-02-03-1-010-007
 BUS GARAGE 66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

 NOTE: ALL REAR, DETAIL, ARRANGEMENTS AND PLANNING NOTED OR
 REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF
 KENNETH GARRETT & JONAS ARCHITECTS PC (KGAD), AND ARE NOT TO BE
 REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION
 OF KGAD.

 WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER
 SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS
 AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY
 VARIATIONS FROM DIMENSIONS AND CONDITIONS BEFORE ANY DETAIL IS
 SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH
 FABRICATION.
 ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS
 DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED
 ARCHITECT, WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION
 OF TITLE 16, SECTION 2-1.1 OF THE NEW YORK STATE LAW.
 COPYRIGHT 2022 KENNETH GARRETT & JONAS ARCHITECTS & ENGINEERS, PC
 ALL RIGHTS RESERVED.

Professional Seal

2 4/20/2023 BID SET

1 3/17/2023 CONSTRUCTION DOCUMENTS

No. 1 Date Issue

Sheet Title

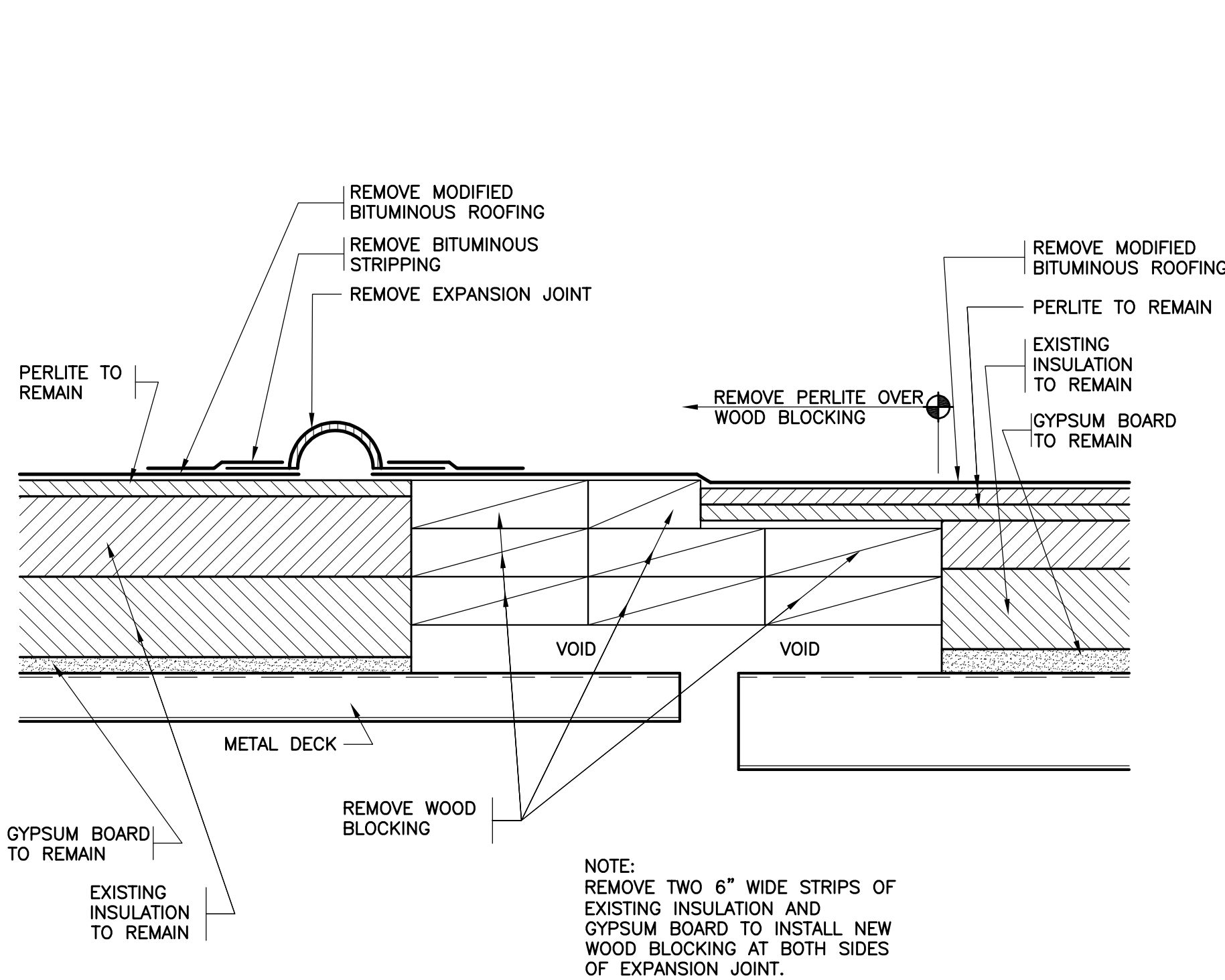
 PIERRE VAN
CORTLANDT
M.S
ROOF DETAILS

Job No. 2023-1002 Date 03/17/2023

Scale AS NOTED Drawn / Checked

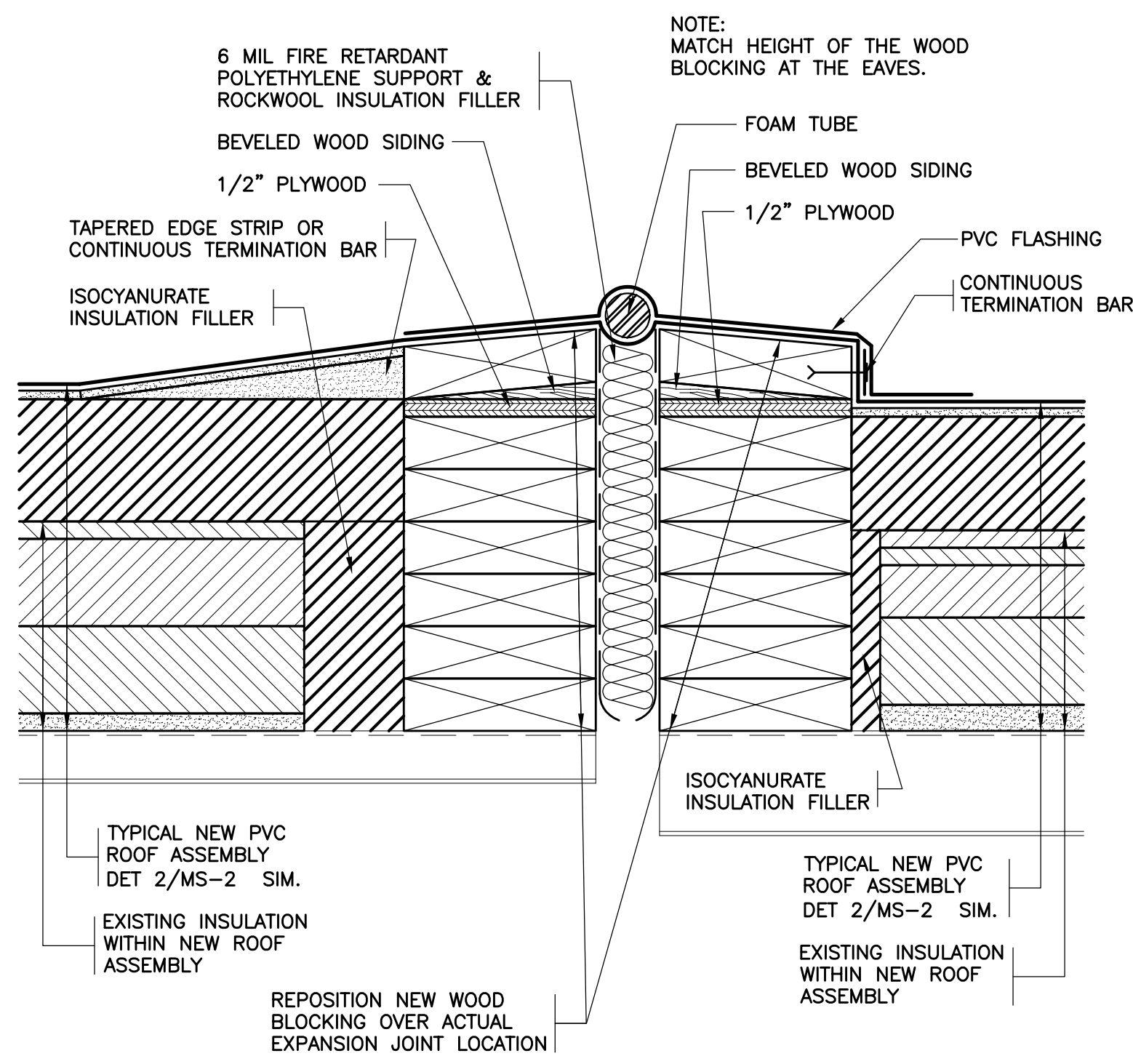
Sheet Number

MS-3



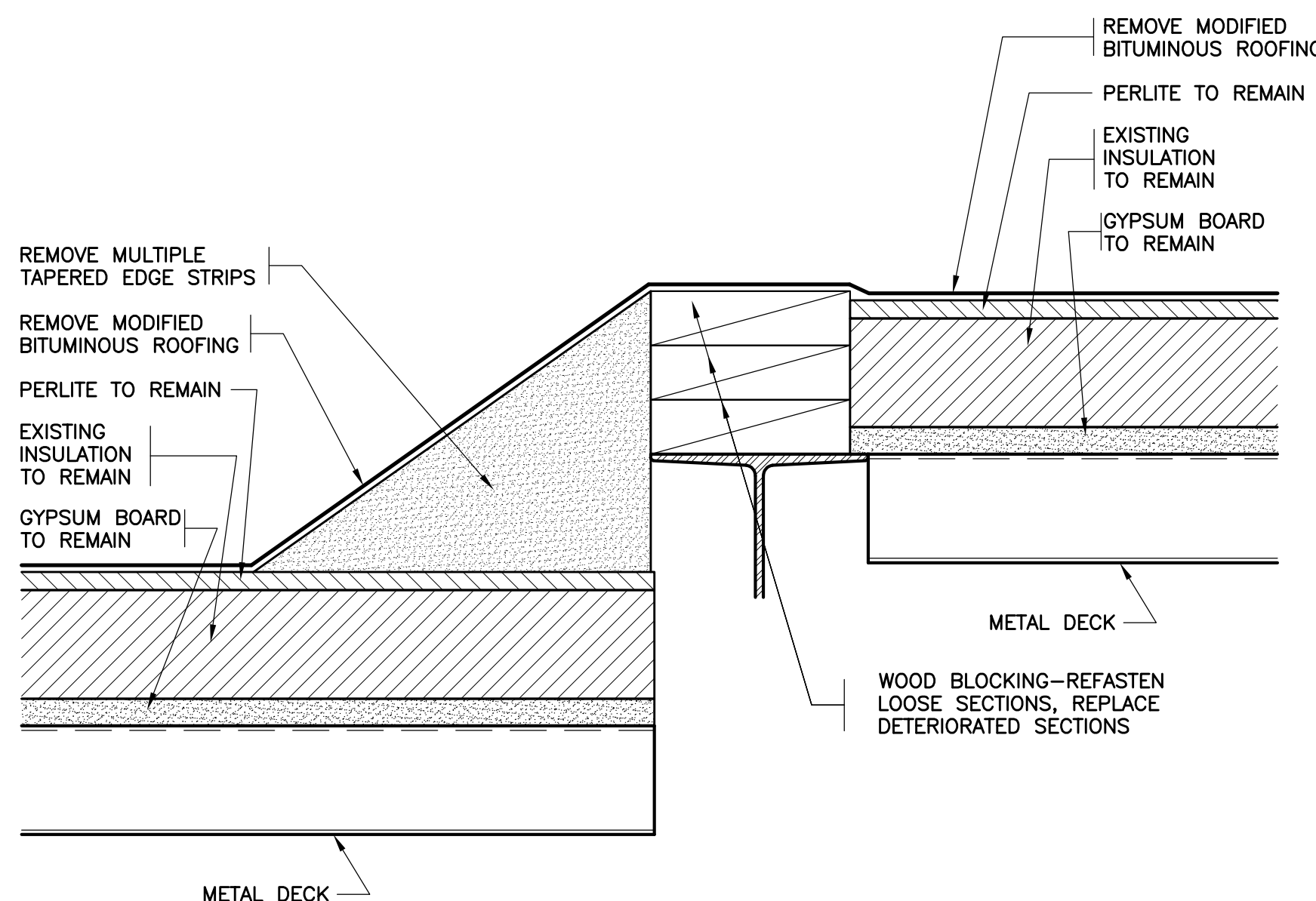
13 EXISTING EXPANSION JOINT

SCALE: 0" 1" 2" 4" 8"



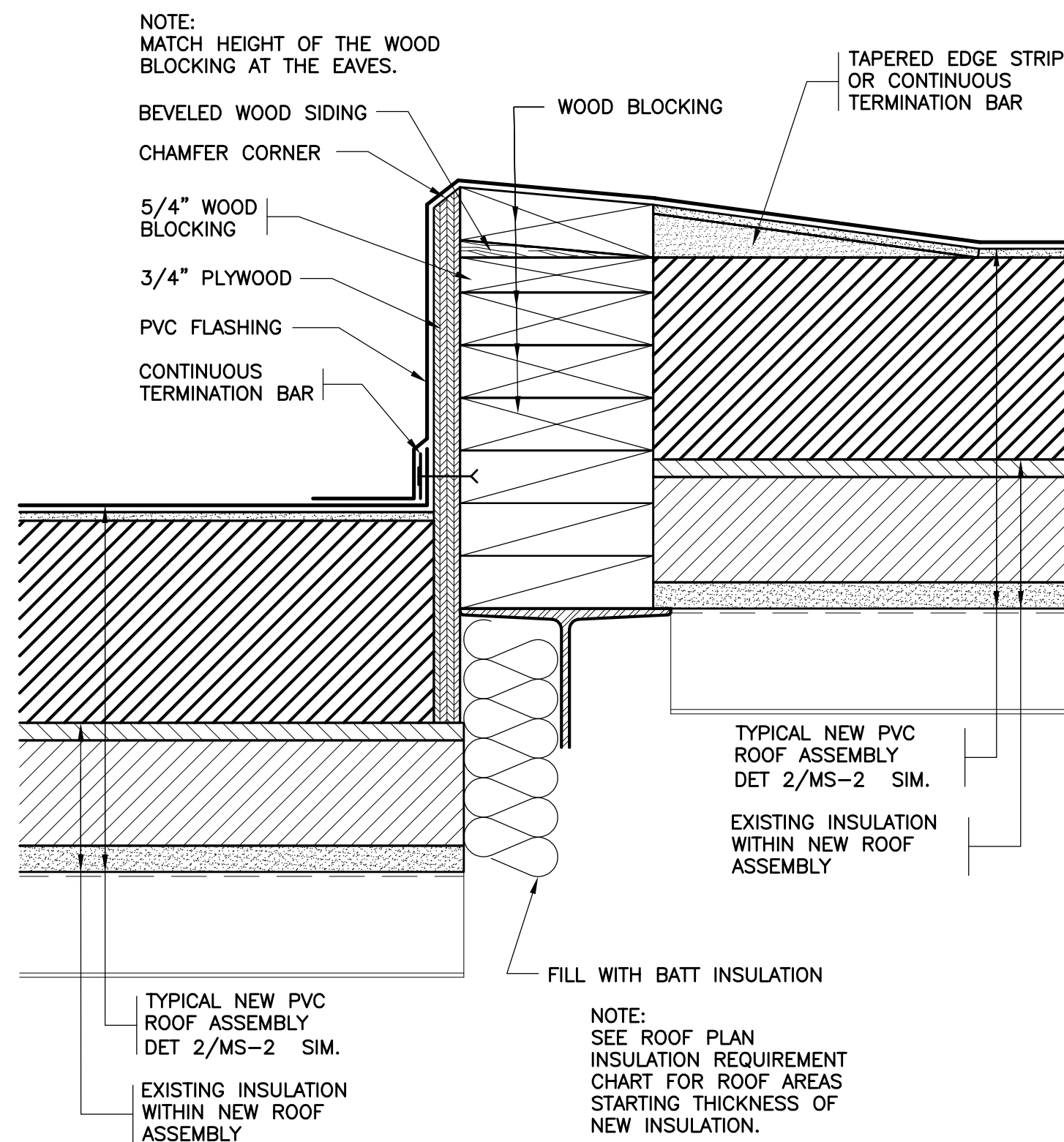
14 REVISED EXPANSION JOINT

SCALE: 0" 1" 2" 4" 8"



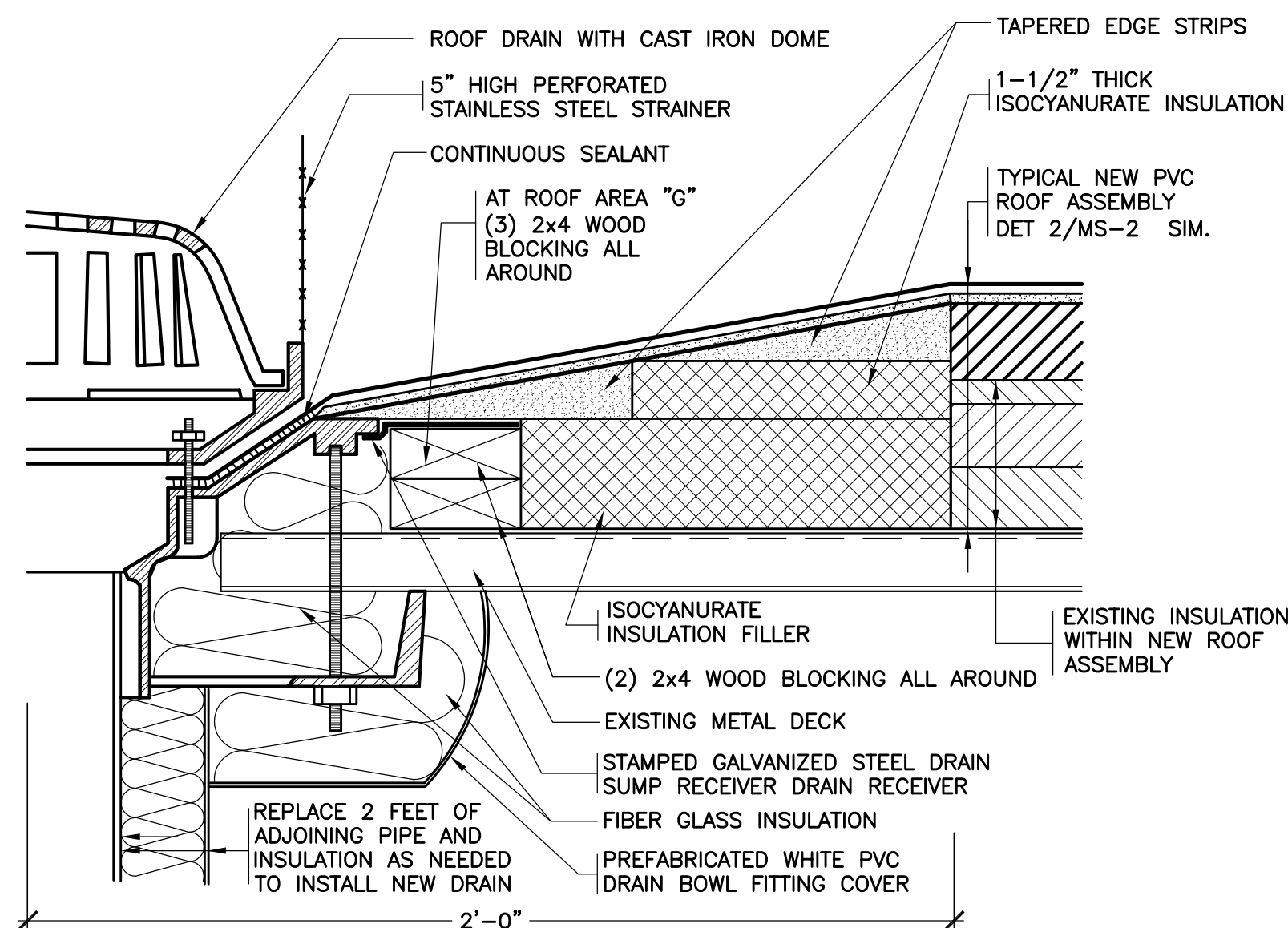
15 EXISTING TRANSITION

SCALE: 0" 1" 2" 4" 8"



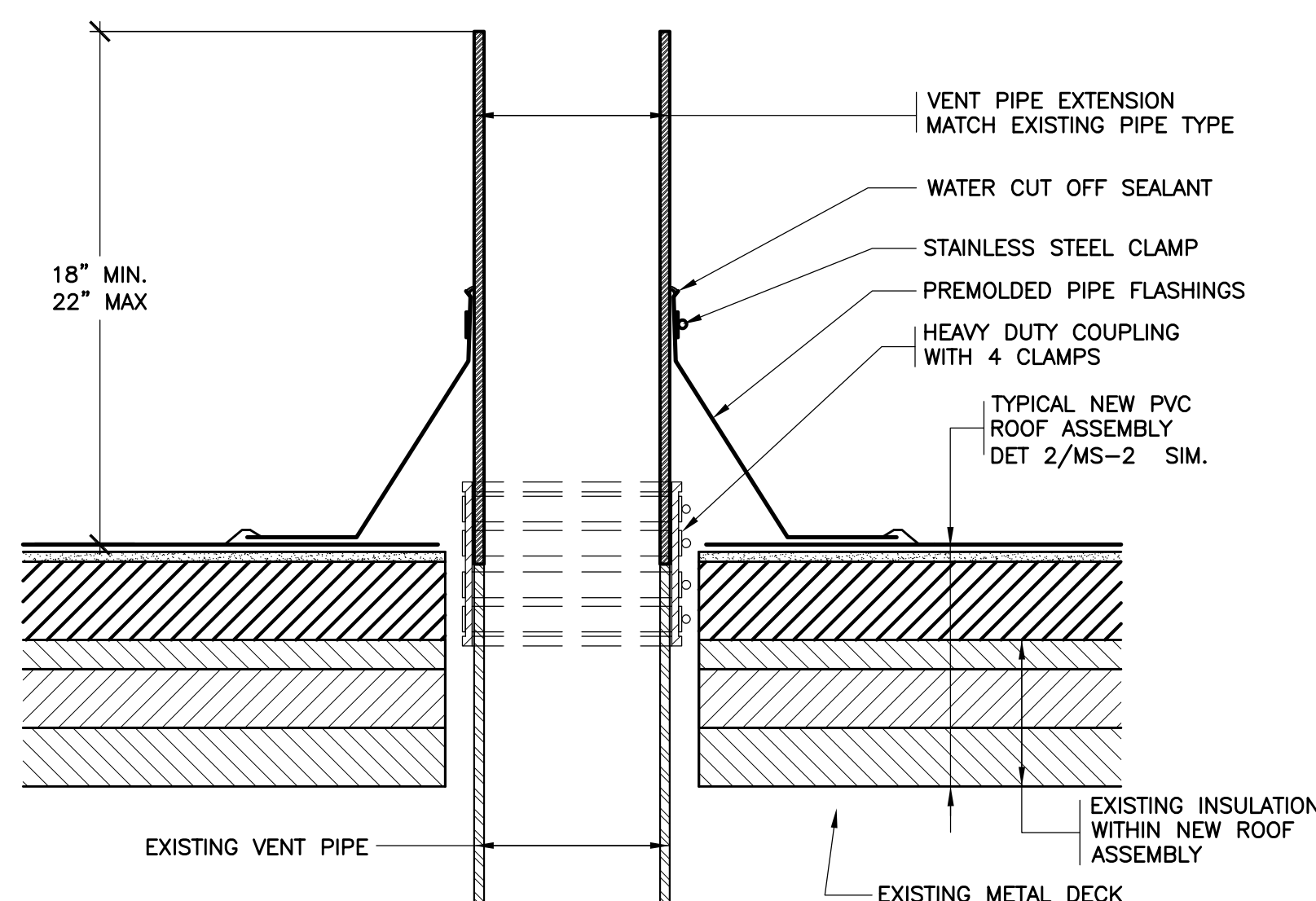
16 REVISED TRANSITION

SCALE: 0" 1" 2" 4" 8"



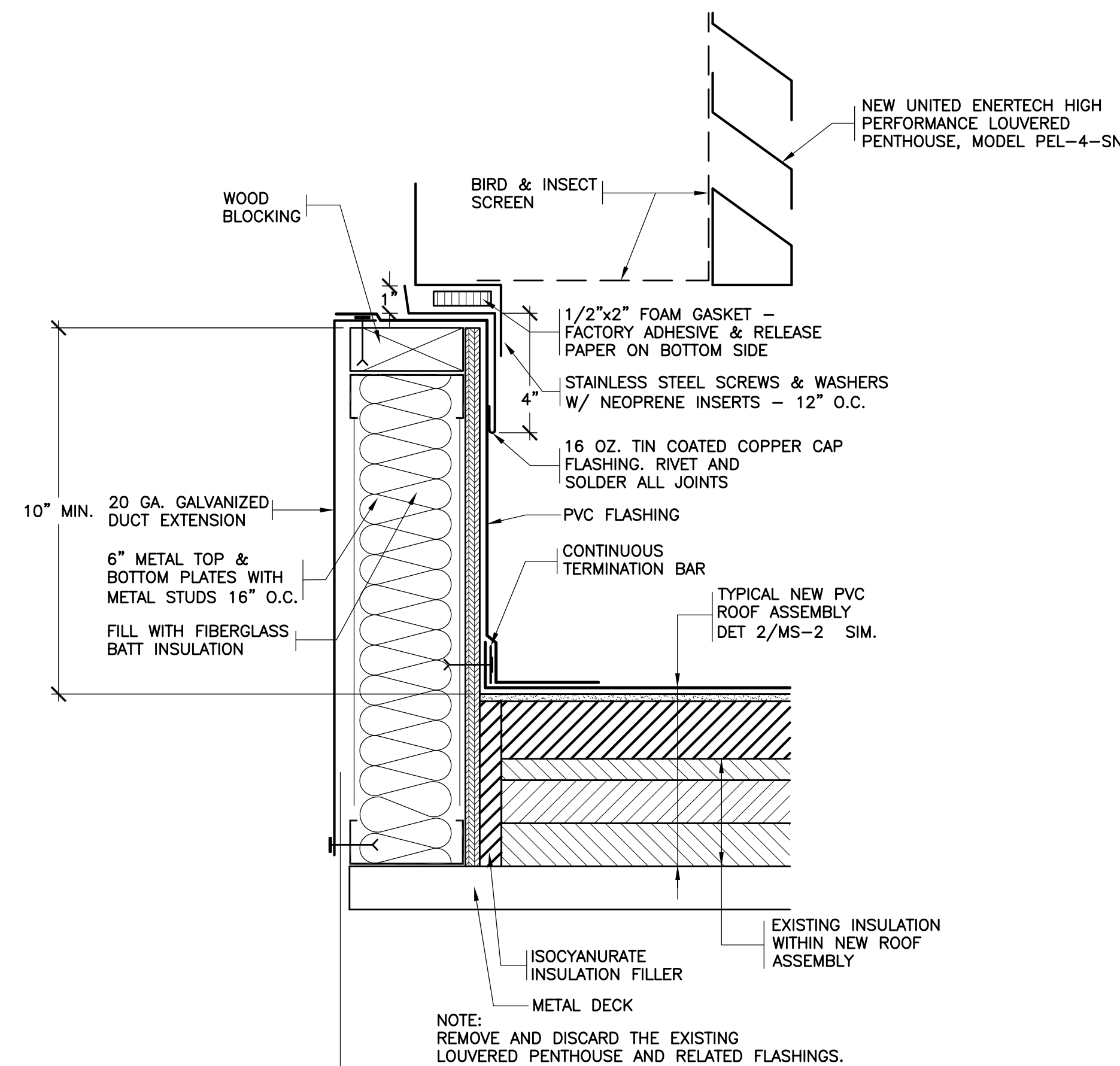
17 REVISED ROOF DRAIN

SCALE: 0" 1" 2" 4" 8"



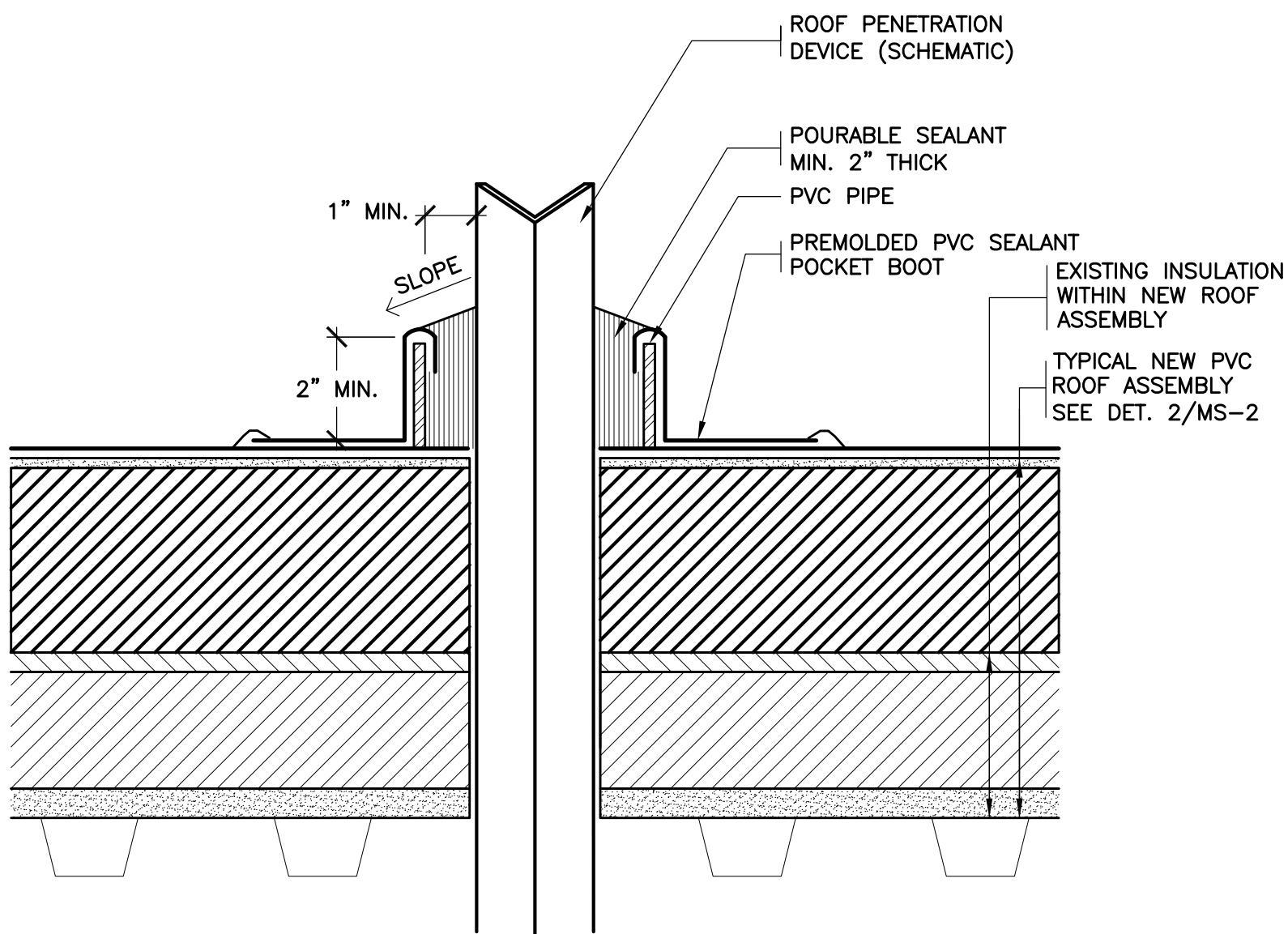
18 REVISED VENT PIPE

SCALE: 0" 1" 2" 4" 8"



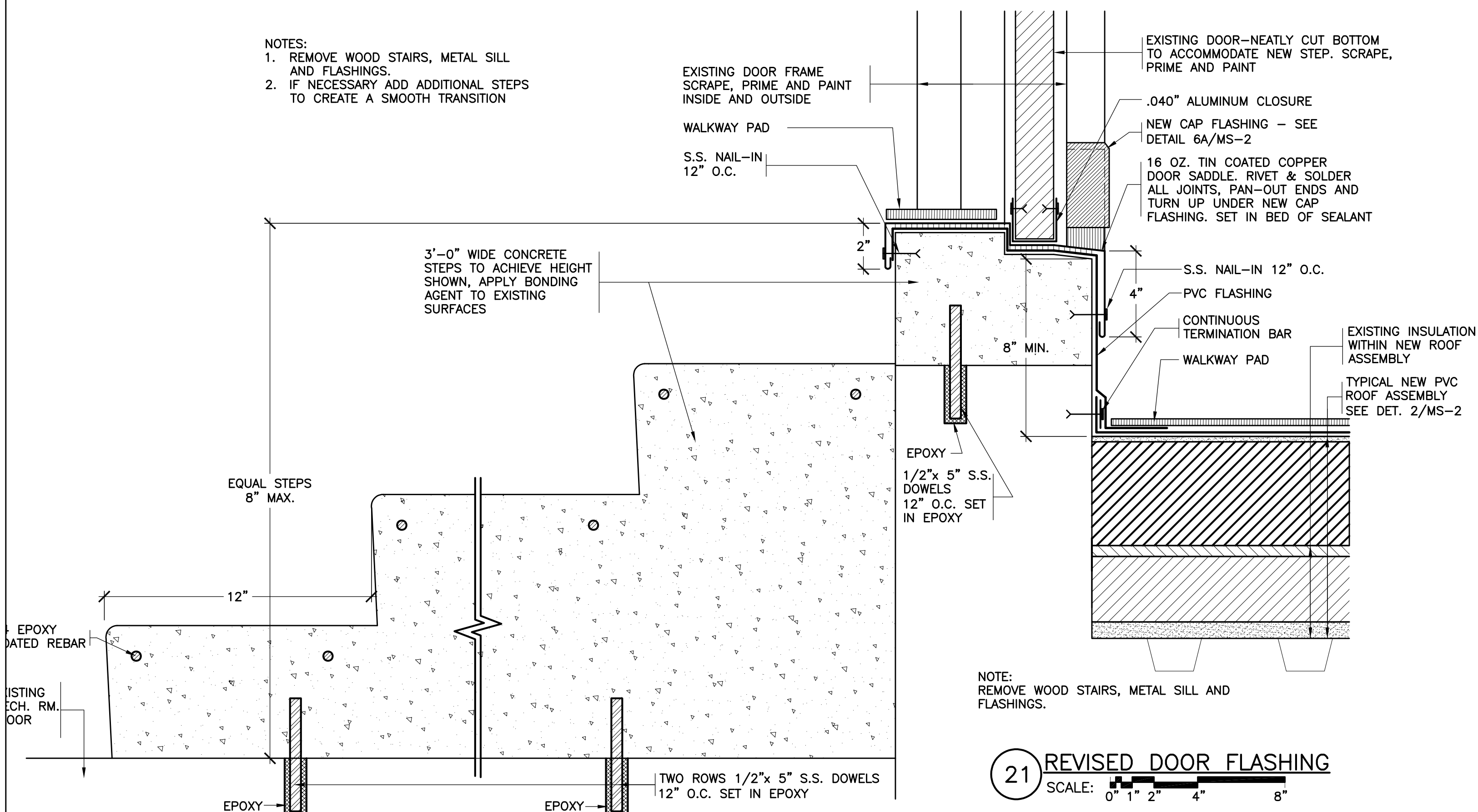
19 NEW LOUVERED PENTHOUSE

SCALE: 0" 1" 2" 4" 8"



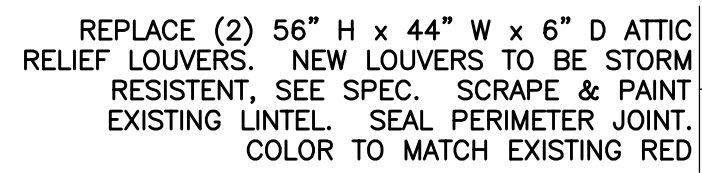
20 REVISED SEALANT POCKET

SCALE: 0" 1" 2" 4" 8"



21 REVISED DOOR FLASHING

SCALE: 0" 1" 2" 4" 8"



ROOF PLAN

0' 4' 8' 16'



2022 CAPITAL PROJECTS

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520



KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO . NEW YORK . 10550
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.	
HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
ELEMENTARY SCHOOL	66-02-02-03-0-003-033
NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAYSER, GARMENT & DAMSON ARCHITECTS, PC (KG&D), AND HAVE BEEN CREATED FOR THE PROJECT, NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED OR DISCLOSED TO ANY PURPOSE (WHATSOEVER) WITHOUT THE WRITTEN PERMISSION OF (KG&D).

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, WITHOUT PROFESSIONAL SEAL IS HEREBY NOTED. IT IS A VIOLATION OF THE PROFESSIONAL SEAL OF ANY STATE TO VIOLATE THIS NOTICE.

COPYRIGHT KAYSER, GARMENT & DAMSON ARCHITECTS A ENGINEERS, P.C.
ALL RIGHTS RESERVED.

Professional Seal

2	4/20/2023	ISSUED FOR BID
1	3/17/2023	CONSTRUCTION DOCUMENTS
No.	Date	Issue

Sheet Title

PIERRE VAN
CORTLANDT
M.S
MASONRY REPAIR

Job No. 2023-1002	Date 03/17/2023
Scale AS NOTED	Drawn / Checked

Sheet Number

MS-4

1	The purpose of these drawings is to show the structural work associated with the installation of new		
	dunnage framing on the roof of Pierre Van Cortlandt Middle School in Croton-on-Hudson, NY.		
2	The work shown on these drawings has been designed in accordance with the structural		
	requirements of the 2020 edition of the Building Code of New York State.		
3	The structural components have been designed for the following loads:		
	A. Roof loads:		
	Snow:		
	Ground snow load, p_g		30 psf
	Flat roof snow load, p_f		30 psf*
	Exposure factor, C_e		1.0
	Importance factor, I_s		1.1
	Thermal factor, C_t		1.0
	Rain loads: in accordance with Section 1611		
	Rainfall intensity (100-year 15-minute interval), i		6.00 in./hr
	B. Wind design data:		
	Basic Design Wind Speed (3-second gust): V		120 mph
	Allowable Stress Design Wind Speed, V_{asd}		93 mph
	Risk category		III
	Wind Exposure		B

C. Earthquake design data:
Earthquake design for existing buildings:
Not required since the proposed alterations do not increase the demand-capacity ratio of any seismic load carrying structural element by more than 10 percent cumulative since the original construction.

D. Special loads:	
Machinery/Equipment: See Plan	
E. Guardrails (load applied in any direction):	
Top rail concentrated	200 lbs
or	
Top rail uniform load	50 plf
Intermediate rail concentrated load	50 lbs

F. Existing buildings:
For existing structural elements carrying gravity loads, the proposed alterations do not increase the stress in any structural element by more than 5 percent nor does it decrease the strength of any structural element to less than required by the building code for new structures.

4 This structure has been designed to be self-supporting and stable after the work shown on these drawings has been completed. The stability of the structure prior to completion is solely the responsibility of the contractor. This responsibility extends to all related aspects of the construction activity including, but not limited to, erection methods, erection sequence, temporary bracing, forms, shoring, use of equipment, and similar construction procedures. Review of the construction by the engineer is for conformance with design aspects only, not to review the contractor's construction procedures. Lack of comment on the part of the engineer with regard to construction procedures is not to be interpreted as approval of those procedures.

5 Jobsite safety and construction procedures are solely the responsibility of the contractor. Review of the construction by the engineer is for conformance with design aspects only, not to review the contractor's provisions for job site safety. Lack of comment by the engineer is not to be interpreted as approval of those aspects of work.

6 PDF digital files of all erection and detail shop drawings for structural steel indicating the fabricator, manufacturer, finish, layout, and all accessories, must be submitted to and be checked by the contractor and subcontractor and bear the checker's initials before submission to the architect for review prior to fabrication. Fabrication and/or delivery to the site of components prior to receiving approved shop drawings shall be at the fabricator's own risk.

7 Testing and inspection of structural steel, and other work are described in the project "Statement of Special Inspections". The contractor shall review the "Statement of Special Inspections" and coordinate the scheduling of inspections with the special inspector. Uninspected work that required inspections may be rejected solely on that basis.

8 If faulty construction procedures, or material, result in defective work that requires additional engineering time to devise corrective measures, professional fees may be charged to the contractor at the standard hourly rate of additional services. Such fees may be withheld from the general contractor's payment.

9 The contractor shall field verify existing conditions before proceeding with any work. The contractor
shall field verify all dimensions noted "±" that are indicated on the drawings.

10 Do not scale drawings.

1 Structural steel:
Design, fabrication and erection of structural steel shall conform to the AISC 360-16 "Specification for Structural Steel for Buildings" as adopted on July 7, 2016, by the American Institute of Steel Construction (AISC) and the 15th Edition of the AISC Steel Construction Manual.

1 Design fabrication and erection of structural steel shall conform to the American Institute of Steel Construction's "Specification for Structural Steel for Buildings", indicated in the code reference section of these general notes.

2 Materials:

Wide flange shapes:	ASTM A 992 Grade 50
American standard shapes, angles,	
Plates and bars:	ASTM A 36
Channels:	

Structural steel tubing,	
Round:	ASTM A 500, Grade C (Fy=46 ksi)
Bolts	ASTM F3125, Grade A 325
Welding electrode	ASTM E 70xx, low hydrogen

3 All welding shall conform to American Welding Society's AWS D1.1 "Structural Welding Code-Steel" code for arc and gas welding and be performed by a certified welder in accordance with A.W.S. standards.

4 High strength bolts: install high-strength bolts according to Research Council on Structural Connections' (RCSC's) "Specification for Structural Joints Using High-Strength Bolts" for type of bolt and type of joint specified.

5 Beam end connections shall be designed for a shear reaction of 12 kips (service load for allowable stress design).

6 The fabricator is responsible for designing connections for the reactions shown on these plans. The reactions shown are "service" loads for "Allowable Stress Design" (ASD). Connections may be designed for these values using the conventional "Allowable Stress Design" method, as specified in the AISC Steel Construction Manual indicated in the code reference section of these general notes.

7 Full or partial penetration groove welds shall be ultrasonic tested, as indicated in the Statement of Special Inspections, and shall be detailed to allow for such ultrasonic testing.

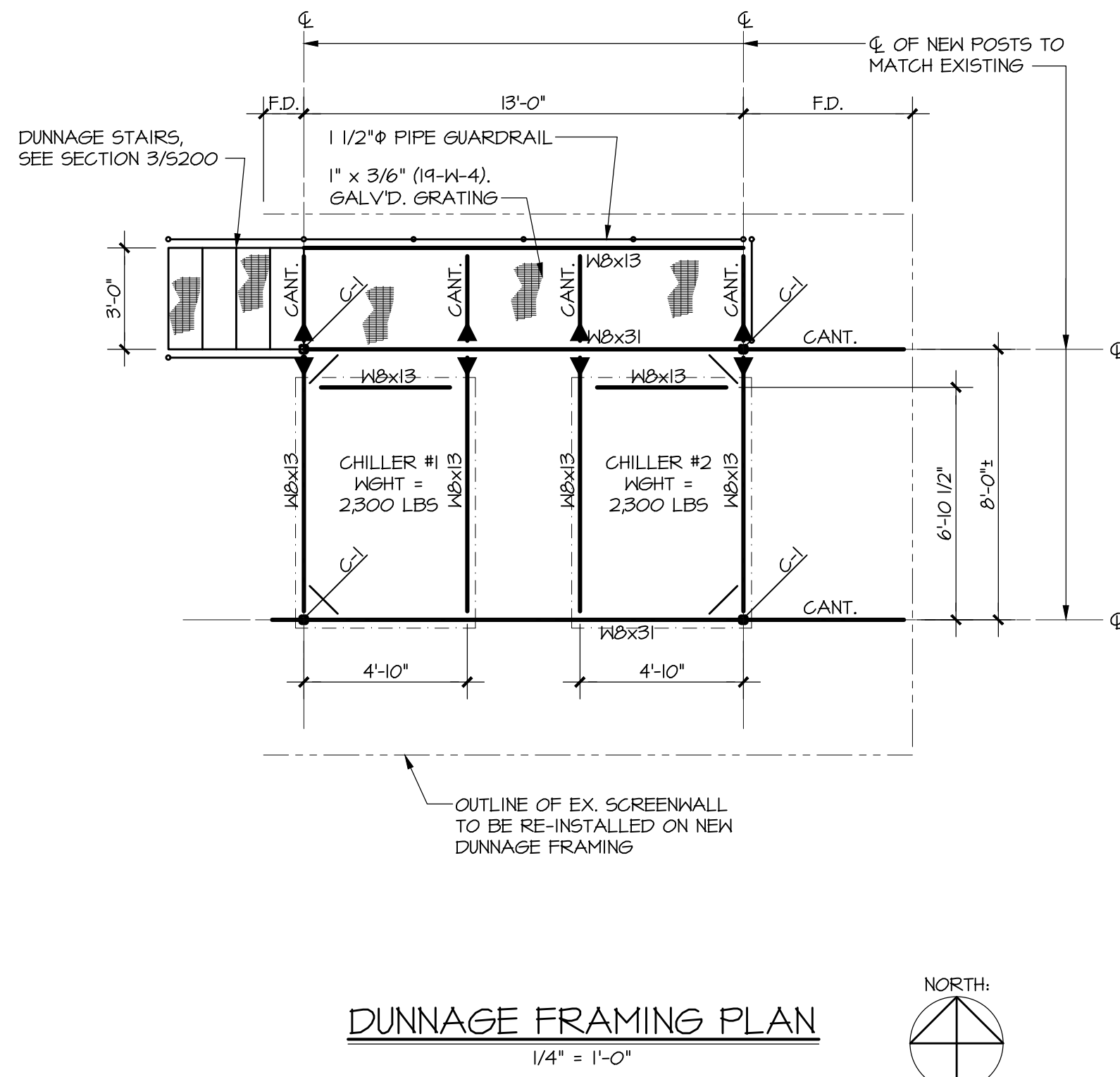
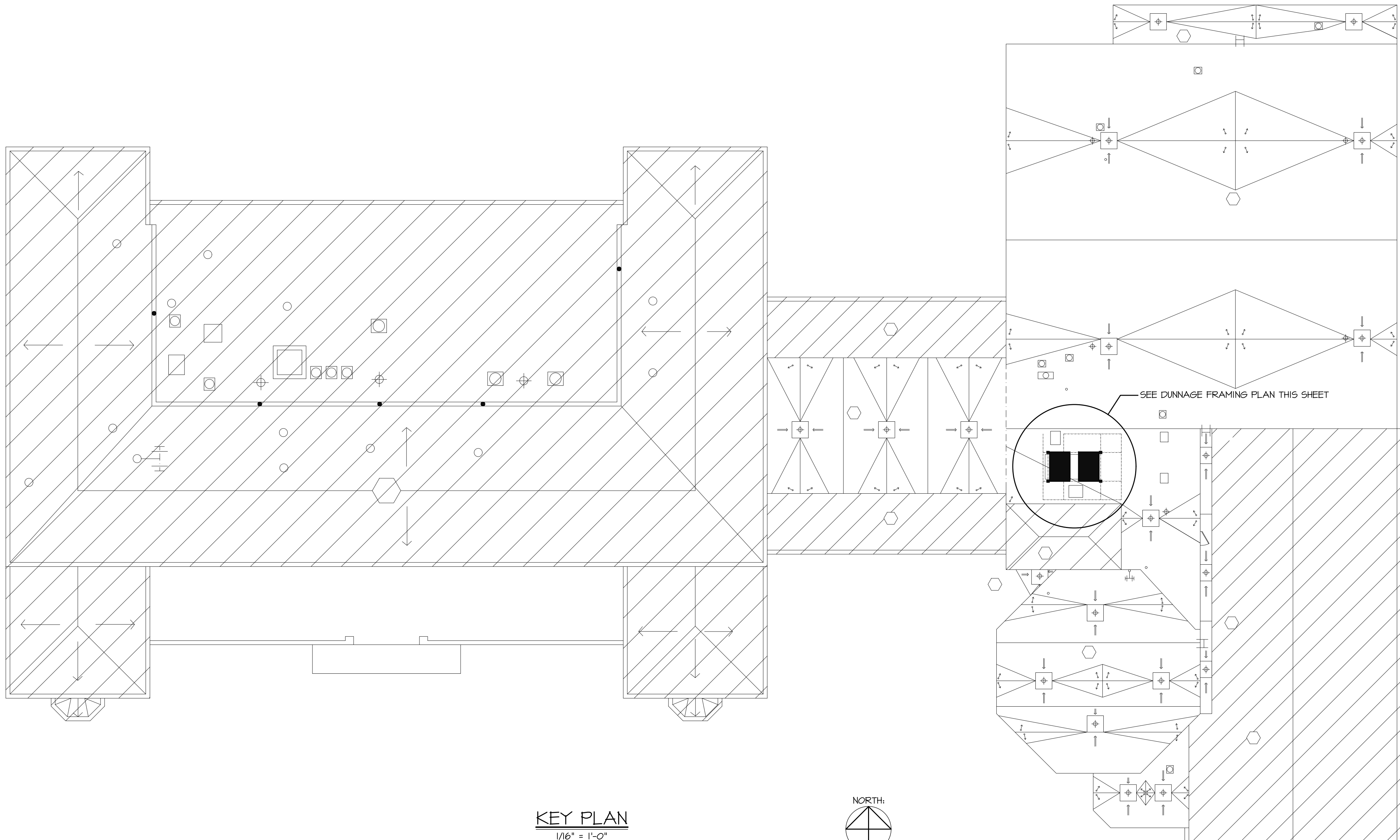
8 All steel members and bolting exposed to weather shall be cleaned in accordance with the Steel Structures Painting Council Specification SP 6 for Commercial Blast Cleaned and hot-dipped galvanized in accordance with ASTM A 123 and ASTM A 153. Minimum acceptable zinc coating

9 Split cantilevers for steel beams shall be designed for the full moment capacity of the beam unless otherwise noted.

10 Unless otherwise noted, at cantilever beam connection to top of columns, provide welded 3/4" cap plate with (4)-3/4" diameter A 325 bolts on beam gage. Provide 1/2" minimum fitted stiffeners welded at both sides of beam web. Locate stiffeners over column flange on cantilever side.

11 Provide 1/4" closure plates with seal weld at ends of all HSS members.
12 Existing steel surfaces to receive field welds shall be thoroughly cleaned and free from paint, rust, grease, etc.

13 Submittals to the engineer are required for certificates of compliance for structural steel, bolts, nuts, washers, and weld filler material prior to the fabrication of any steel



- TOP OF NEW DUNNAGE STEEL ELEVATION, +3'-2" MIN. ABOVE TOP OF SUPPORTING ROOF STEEL.
- "C-" INDICATES NEW GALV'D DUNNAGE POST H56 3.50x0x0.300.
- ALL EXTERIOR STEEL FRAMING AND FASTENERS SHALL BE HOT-DIP GALVANIZED. SEE GENERAL NOTES FOR MORE INFORMATION.
- ALL FRAMING SHOWN IS NEW UNLESS INDICATED AS EXISTING (EX.)
- SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

83 Wooster Heights Rd, Ste 200
Danbury, CT 06810
[203] 490-4140 | www.tdeg.com

The Client acknowledges that the documents, drawings, specifications including electronic media files are instruments of The D'Salvo Engineering Group's services and shall remain the property of The D'Salvo Engineering Group. The Client or any person or entity that acquires or obtains the drawings and specifications from or through The Client shall not use them on any other project, shall not modify, alter or change the drawings and specifications without written authorization from The D'Salvo Engineering Group. Furthermore, The Client agrees to the fullest extent permitted by law to indemnify and hold harmless The D'Salvo Engineering Group, its officers, directors and employees from any and all claims, suits, liability, demands or costs, including attorney fees arising out of or resulting therefrom.

Professional Sea

2	04/20/2023	ISSUED FOR BID
1	03/17/2023	SED SUBMISSION
No.	Date	Issue

Job No. 23043.00	Date 03/17/2023
Scale AS NOTED	Drawn / Checked JM/BDR

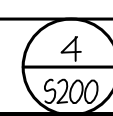
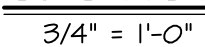
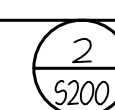
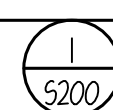
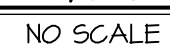
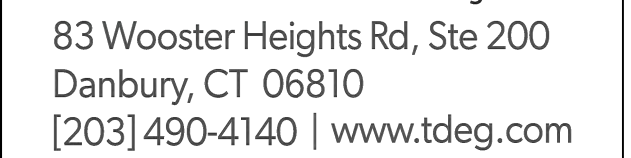
0100

S100

KG+D listen
imagine
build

285 MAIN STREET MOUNT KISCO . NEW YORK . 10549
P:914.666.5900 KGDARCHITECTS.COM

CONSTRUCTION DOCUMENTS



Professional Seal

No.	Date
Sheet Title	

Job No. 23043.00	Date 03/17/2023
Scale AS NOTED	Drawn / Checked JM/BDR

Sheet Number	
--------------	--

5000

\$200

513

DISTRICT WIDE ROOFING PROJECT

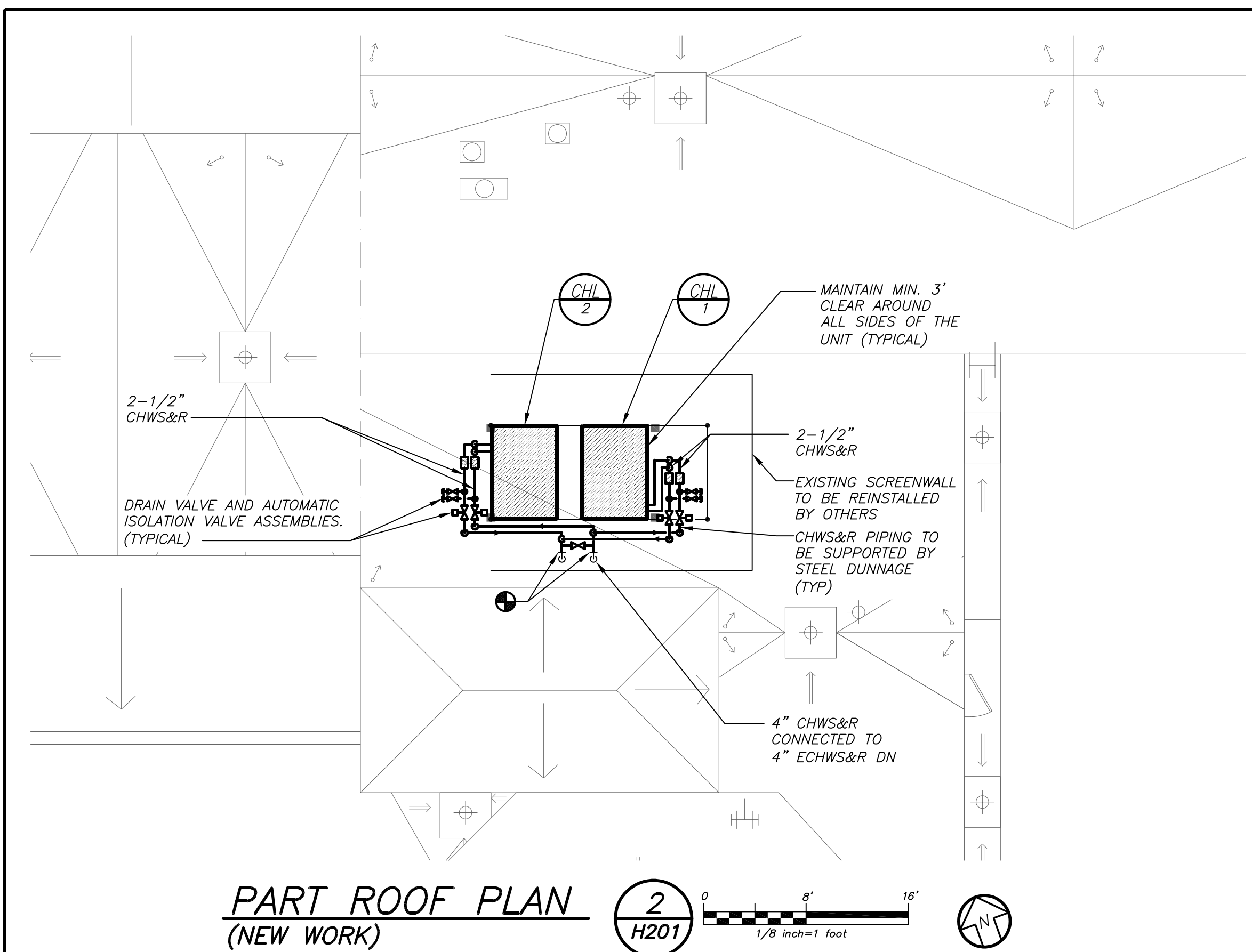
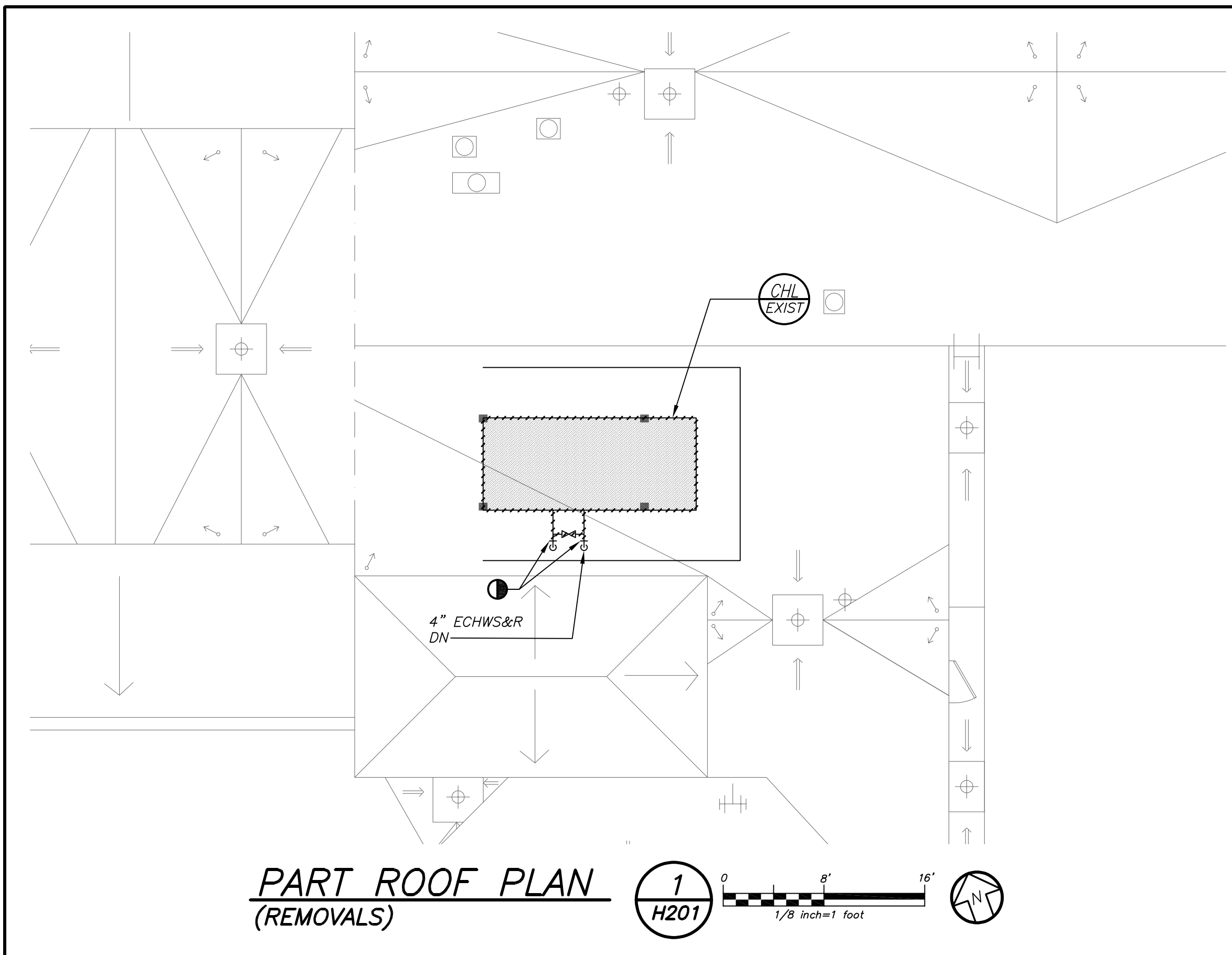
KG+D listen
imagine
build

NY SED PROJECT CONTROL NO.	
HIGH SCHOOL	66-02-02-03-0-001-03
MIDDLE SCHOOL	66-02-02-03-0-002-02
ELEMENTARY SCHOOL	66-02-02-03-0-003-03
NEW BUSINESS OFFICE	66-02-02-03-1-010-00
BUS GARAGE	66-02-02-03-5-004-00

CONSTRUCTION DOCUMENTS



- THE SCOPE OF REMOVAL SHOWN ON "REMOVALS" DRAWINGS IS DIAGRAMATIC ONLY AND INDICATES THE INTENT OF THE WORK TO BE PERFORMED AND NOT THE COMPLETE SCOPE OF DEMOLITION AND/OR REMOVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY RELATED MECHANICAL DEVICES EVEN IF NOT SPECIFICALLY INDICATED TO BE REMOVED ON THESE DRAWINGS IN ORDER TO ACCOMMODATE NEW WORK.
- DEVICES SHOWN CROSS HATCHED ON DRAWINGS ARE ITEMS TO BE REMOVED FROM THE PROJECT. THESE INCLUDE (BUT SHALL NOT BE LIMITED TO) THE REMOVAL OF ALL ASSOCIATED PIPING, CONTROLS, ETC. THAT ARE NOT INCORPORATED IN THE NEW LAYOUT, UNTIL SUCH REMOVAL IS COMPLETE, THE CONTRACTOR SHALL PERFORM ALL WORK REQUIRED TO INSURE CONTINUITY OF SERVICE TO EXISTING REMAINING EQUIPMENT. NO EXTRAS RELATING TO THE SCOPE OF WORK DESCRIBED WILL BE ALLOWED.
- EQUIPMENT, PIPING, ETC., REQUIRED TO RECONNECT SHALL BE INSTALLED CONCEALED WITHIN THE NEW SUSPENDED CEILING, PARTITIONS OR WALLS, FLOORS OR ROOF, OR BE MOUNTED ON EXPOSED EQUIPMENT, PIPING, ETC., SHALL BE PERMITTED, UNLESS SPECIFICALLY INDICATED WHERE PIPING IS INSTALLED EXPOSED.
- ALL ITEMS TO BE REMOVED SHALL BE REVIEWED WITH THE OWNER AND CONTRACTOR PRIOR TO REMOVAL. THE CONTRACTOR SHALL ITEMS THE OWNER WISHES TO KEEP SHALL BE REMOVED WITH CARE AND STORED AS DIRECTED BY OWNER. ITEMS THE OWNER DOES NOT WISH TO KEEP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.



SCHEDULE OF AIR COOLED CHILLERS												
MARK	SERVICE	LOCATION	MODEL N.A. □	COOLING CAPACITY (TONS)	GPM	COMPRESSOR QTY / SIZE	FAN QTY / WATTS	ELECTRIC SERVICE	MCA	MOP	PHYSICAL DATA DIMENSION / WEIGHT	REMARKS
CHL-1	CHILLED WATER	ROOF	ACHN40VBAB	.35	84	4 / 10 TONS	4 / 900	208/3/60	147.9	150	85"x60"x88"/2300LBS	REFER TO ELECTRICAL SCHEDULE
CHL-2	CHILLED WATER	ROOF	ACHN40VBAB	.35	84	4 / 10 TONS	4 / 900	208/3/60	147.9	150	85"x60"x88"/2300LBS	REFER TO ELECTRICAL SCHEDULE

NOTES

① AS MANUFACTURED BY "LG".

② DESIGN CONDITIONS BASED ON OUTDOOR AMBIENT TEMPERATURE 95°F COOLING, 44°F LWT AND 54°F EWT.

③ REFRIGERANT USED SHALL BE R-410a.

④ INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
E.E.R. = 10.82, NPLV = 19.40

⑤ BASED ON ARI STANDARD 7.30, MAXIMUM 87 dbA SOUND POWER LEVEL, MAXIMUM 55 dbA SOUND PRESSURE LEVEL @ 30FT.

⑥ ALL COMPRESSORS SHALL BE INVERTER TYPE.

⑦ PROVIDE LG MULTISITE DEGREE 10 CONTROLLERS MODEL PBASE10 WITH ENCLOSURE PANEL AND SOFTWARE FOR INTERFACE WITH ATC SUB-CONTRACTOR. EACH CONTROLLER CONTROLS TWO (2) CHILLER MODULES.

⑧ PROVIDE START-UP SERVICE AND COMMISSIONING BY FACTORY CERTIFIED TECHNICIAN.

⑨ PROVIDE NEOPRENE VIBRATION ISOLATION PADS. SECURE TO NEW DUNNAGE.

⑩ PROPYLENE GLYCOL. 30%. CONTRACTOR RESPONSIBLE TO PROVIDE GLYCOL.

⑪ BEFORE WORK BEGINS, CONTRACTOR TO DETERMINE THE EXISTING FLOW FROM EACH CHILLED WATER PUMP, WITH ALL CONTROL VALVES FULLY OPEN. AT CONCLUSION OF PROJECT, CONTRACTOR SHALL BALANCE SYSTEM TO MAINTAIN THOSE FLOW RATES AT SIMILAR CONDITIONS (NUMBER OF PUMPS OPERATING, VALVE POSITIONS, ETC.)

NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KGAD), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF (KGAD).

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTED UNDER THE DIRECTION OF THE LICENSED ARCHITECT, WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 86.5 (b) OF THE NEW YORK STATE LAW.

COPYRIGHT KAEVER, GARMENT - DAWSON ARCHITECTS & ENGINEERS, PC
ALL RIGHTS RESERVED.

Professional Seal

1	04/20/2023	ISSUED FOR BID
1	03/17/2023	CONSTRUCTION DOCUMENTS
No.	Date	Issue

Sheet Title

LEGEND, NOTES,
SCHEDULE,
DETAILS & PART
ROOF PLANS

Job No. 2023-1002	Date 04/17/2023
----------------------	--------------------

Sheet Number

11201

[illegible]

Page 10 of 10

H201








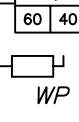




GENERAL NOTES

1. DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES, REGULATIONS, BUILDING STANDARDS AND THE BEST PRACTICES OF THE TRADE FOR FIRST CLASS ELECTRICAL INSTALLATION.
2. THE DRAWINGS INDICATE SIZE AND GENERAL LOCATION OF WORK. SCALED DIMENSIONS SHALL NOT BE USED. THE EXACT LOCATION AND ELEVATION OF ALL ELECTRICAL EQUIPMENT SHALL BE COORDINATED IN FIELD WITH RESPECTIVE CONTRACTOR/OWNER.
3. WHERE PANELBOARDS, SWITCHES, CIRCUIT BREAKERS, ETC. ARE EXISTING AND TO BE REUSED THE CONTRACTOR SHALL CLEAN AND REFURBISH THE EQUIPMENT. THIS SHALL INCLUDE TIGHTENING ALL CONNECTIONS, REPLACING DEFECTIVE MECHANISMS AND PROVIDING ALL REQUIRED AND NECESSARY MISCELLANEOUS COMPONENTS SO THAT THE EQUIPMENT SHALL BE IN PERFECT WORKING ORDER.
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO SUBMISSION OF BID TO DETERMINE WHAT WORK MUST BE PERFORMED AFTER NORMAL BUSINESS HOURS. UNLESS OTHERWISE DIRECTED ANY NOISY WORK (CHOPPING, CORE DRILLING, HAMMERING, ETC.) AND BUILDING POWER INTERRUPTIONS SHALL BE PERFORMED OUTSIDE OF NORMAL BUSINESS HOURS. CONFIRM NORMAL BUSINESS HOURS WITH BUILDING OWNER. NO ADDITIONAL COST WILL BE CHARGED TO OWNER FOR WORK PERFORMED OUTSIDE NORMAL BUSINESS HOURS.
5. ALL WORK WHERE SHOWN WITH DARK/SOLID LINES ON THE DRAWINGS IS NEW UNLESS OTHERWISE NOTED. WHERE SHOWN WITH DASHED LINES WITH LETTER (E) IS EXISTING TO REMAIN, WITH LETTER (R) IS EXISTING TO BE REMOVED, WITH LETTER (ER) IS EXISTING RELOCATED, WITH LETTER (RN) IS EXISTING TO BE REPLACED WITH NEW AND WITH LETTER (RR) IS EXISTING TO BE REMOVED AND RELOCATED.
6. CIRCUIT NUMBERS TO EXISTING PANELS ARE SHOWN FOR INTENT ONLY. ACTUAL CIRCUIT NUMBERS TO BE USED SHALL BE AS PER FIELD CONDITIONS BY UTILIZING SPARE CIRCUITS, BREAKERS OR SPACES IN EXISTING PANEL, SIZE AS INDICATED ON THE PLANS. THE ELECTRICAL CONTRACTOR SHALL BALANCE LOAD OF CIRCUITS EVENLY ON ALL PHASES.
7. FEEDERS AND BRANCH CIRCUITRY SHALL BE RUN IN MINIMUM $\frac{3}{4}$ " CONDUIT UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO MOTORS MAY BE MADE WITH FLEXIBLE METALLIC CONDUIT (NO LONGER THAN 18"). IN UNFINISHED AREAS CONDUIT SHALL BE RUN EXPOSED AND IN FINISHED AREAS CONDUIT SHALL BE RUN CONCEALED.
8. PROVIDE PANEL NAME PLATE MADE OF BLACK LAMINATED PLASTIC WITH WHITE ENGRAVED LETTERING AND TYPE WRITTEN DIRECTORY FOR ALL NEW AND EXISTING PANELS BEING USED FOR THIS PROJECT.
9. ALL CONDUCTORS SHALL BE COPPER, TYPE THHN/THWN INSULATED. ALL CONDUCTORS SHALL HAVE 600 VOLT RATED INSULATION UNLESS OTHERWISE NOTED.
10. THE USE OF FLEXIBLE CONDUIT FROM LIGHTING FIXTURES TO JUNCTION BOX IS PERMITTED ONLY WHEN A SEPARATE GROUND WIRE IS INSTALLED WITH THE CONDUCTORS INSIDE FLEXIBLE CONDUIT. THE GROUND WIRE MUST BOND THE FIXTURE HOUSING TO THE JUNCTION BOX. MAXIMUM LENGTH 6'-0".
11. EXACT LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO THE INSTALLATION.
12. WALL MOUNTED EQUIPMENT (SWITCHES, RECEPTACLES, ETC.) SHALL BE SURFACE MOUNTED IN UNFINISHED AREAS AND ON EXISTING CONCRETE BLOCK WALLS AND FLUSH MOUNTED IN NEW WALLS/PARTITIONS.
13. CONDUIT RUNS SHALL BE PARALLEL WITH OR AT RIGHT ANGLES TO WALLS AND CEILINGS. CONDUIT SHALL BE SUPPORTED BY APPROVED MEANS. SUPPORTS FOR HORIZONTAL RUNS OF CONDUIT SHALL NOT EXCEED SEVEN FEET ON CENTERS.
14. PROVIDE PULL BOXES, JUNCTION BOXES, CONDUIT ELBOWS AND OFFSETS TO SUIT FIELD CONDITIONS AND THE NATIONAL ELECTRICAL CODE.
15. ALL EMPTY CONDUIT SHALL BE PROVIDED WITH A DRAGWIRE.
16. THE MINIMUM WIRE SIZE FOR 120 VOLT BRANCH CIRCUITS SHALL BE NO. 12 AWG, EXCEPT OVER 100' IN LENGTH SHALL BE NO. 10 AWG.
17. PROVIDE ALL REQUIRED AND NECESSARY ACCESSORIES (EX. CONNECTORS, ADAPTERS, BUSHINGS, CLAMPS, ETC.) TO FACILITATE COMPLETE INSTALLATION.
18. COORDINATE LOCATION OF ALL MECHANICAL EQUIPMENT WITH HVAC CONTRACTOR IN FIELD. FUSES FOR ALL MOTOR LOADS SHALL BE DUAL ELEMENTED TIME DELAY TYPE.
19. ALL JUNCTION OR OUTLET BOXES SHALL BE INSTALLED SO AS TO ALLOW ACCESS TO COVER. PROVIDE ARCHITECT APPROVED ACCESS DOORS OR PLATES AS REQUIRED IN AREAS WHERE UNOBSTRUCTED ACCESS TO BOX OR OUTLET IS NOT POSSIBLE.
20. PRIOR TO ANY CHASING, CHOPPING OR CORE DRILLING BEING PERFORMED, THE CONTRACTOR SHALL FIELD INVESTIGATE CONDITIONS AND COORDINATE ALL WORK TO ENSURE THAT IT WILL BE IN HARMONY AND NOT AFFECT ANY EXISTING BUILDING SYSTEMS. THIS WORK MUST BE APPROVED BY BUILDING OWNER PRIOR TO PROCEEDING.
21. OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANCE RATED WALLS, PARTITIONS, FLOORS OR CEILINGS SHALL BE FIRE STOPPED USING APPROVED METHODS. ALL SLEEVES MUST HAVE BUSHINGS. SEALANT SHALL BE 3 HOUR FIRE BARRIER JCP-25 (NO LESS THAN $\frac{3}{4}$ " THICK BACKED UP WITH MINERAL WOOL).
22. ALL PANELBOARD COVERS SHALL BE INSTALLED IN PLACE AT THE COMPLETION OF EACH DAYS WORK.
23. PREPARE "AS-BUILT" DRAWINGS THAT REFLECT ACTUAL CONSTRUCTION AND SHOW DEVIATIONS FROM DESIGN DRAWINGS.
24. ALL NEW CIRCUIT BREAKERS INSTALLED INTO EXISTING PANELBOARDS SHALL BE UL LISTED FOR USE IN THE PANEL.

GENERAL REMOVAL NOTES

1. BEFORE COMMENCING WORK, EXAMINE ALL ADJOINING AREAS THAT MAY BE AFFECTED BY REMOVAL. REPORT TO THE CONTRACTOR ANY CONDITION THAT PREVENTS PERFORMANCE OF THE WORK.
2. BECOME THOROUGHLY FAMILIAR WITH EXISTING CONDITIONS WHERE CONNECTIONS MUST BE MADE, CHANGED OR ALTERED. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER AND NO ASSUMPTION WILL BE MADE AS TO THE LOCATION OR DEGREE OF FAMILIARITY ON THE PART OF THE CONTRACTOR WITH ALL PHYSICAL CONDITIONS AT THE SITE. RESPECT EACH AND EVERY AREA AFFECTED BY THE ALTERATION OF THE SPACE BEFORE SUBMITTAL OF BID.
3. ALL ELECTRICAL EQUIPMENT IN THE AREA OF WORK IS EXISTING TO BE REMOVED UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. DISTRIBUTION BOARDS AND PANELBOARDS.
 - B. CIRCUIT BREAKERS AND DISCONNECT SWITCHES.
4. ALL CONDUCTORS AND CONDUIT ASSOCIATED WITH REMOVED ELECTRICAL EQUIPMENT SHALL BE REMOVED COMPLETELY BACK TO ITS SOURCE OF POWER AND DISCONNECTED.
5. ALL POWER CONDUCTORS, CONTROL WIRING AND CONDUIT ASSOCIATED WITH MECHANICAL EQUIPMENT SUCH AS FANS, AIR CONDITIONING UNITS, PUMPS, ETC. DESIGNATED FOR REMOVAL ON THE HVAC AND PLUMBING REMOVAL DRAWINGS SHALL BE REMOVED CLEAR BACK TO THE SOURCE OF POWER AND DISCONNECTED. ALL MOTOR STARTERS, DISCONNECT SWITCHES, CONTROL DEVICES, ETC. SHALL REMOVED. REF. TO MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
6. CIRCUIT BREAKERS AND/OR SWITCHES IN PANELBOARD(S) OR DISTRIBUTION BOARD(S) MADE SPARE DUE TO REMOVAL SHALL BE DESIGNATED AS SUCH ON THE PANEL SCHEDULE.
7. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO TRACE AND RELOCATE ALL EXISTING FEEDERS AND BRANCH CIRCUIT WIRING WHICH PASSES THROUGH THE REMOVAL AREA THAT SERVE EXISTING OCCUPIED SPACES TO REMAIN. COORDINATE WITH BUILDING MANAGER PRIOR TO ANY SHUTDOWNS OR DISRUPTIONS THAT MAY BE REQUIRED TO ACCOMPLISH THIS WORK.
8. DISPOSE OF ALL REMOVED EQUIPMENT, WHICH IS NOT INTENDED TO BE REUSED. PRIOR TO DISPOSAL, CONTACT BUILDING MANAGER TO DETERMINE IF ANY REMOVED EQUIPMENT IS DESIRED FOR STOCK.
9. EXISTING CIRCUIT BREAKERS IN PANEL(S) ARE TO BE RE-USED. ELECTRICAL CONTRACTOR TO DISCONNECT PANEL AND CIRCUIT BREAKERS WITH GREAT CARE TO ENSURE AGAINST DAMAGE. THIS CONTRACTOR SHALL PROVIDE NEW CIRCUIT BREAKERS AS REQUIRED. ALL NEW CIRCUIT BREAKERS INSTALLED INTO EXISTING PANELBOARD SHALL BE UL LISTED FOR USE IN THE PANEL.
10. EXISTING EQUIPMENT DESIGNATED FOR REUSE SHALL BE CLEANED, REFURBISHED AND RESTORED TO OPTIMUM PERFORMANCE. THIS SHALL INCLUDE BUT NOT LIMITED TO LAMPING OF LIGHT FIXTURES, REPLACEMENT OF BULB, REPLACE BALLASTS, CLEAN, RESISTANCE TESTING OF BRANCH CIRCUITRY AND FEEDERS, ETC.
11. EXTEND EXISTING CIRCUITRY TO THOSE DEVICES THAT ARE TO BE RELOCATED. MATCH EXISTING TYPE AND SIZE. RELOCATION OF EXISTING EQUIPMENT SHALL BE PERFORMED ONLY UPON OWNERS ACCEPTANCE OF EXISTING EQUIPMENT.
12. EXTEND EXISTING CIRCUITS SERVING EQUIPMENT TO REMAIN FROM PANELS THAT ARE TO BE REMOVED TO NEW PANELS OR EXISTING PANELS THAT ARE TO REMAIN.

ABBREVIATIONS	
ABBV.	DESCRIPTION
A	AMP/AMPERE
AWG	AMERICAN WIRE GAUGE
C	CONDUIT
C.B.	CIRCUIT BREAKER
CHL	CHILLER
CKT	CIRCUIT
(E)	EXISTING TO REMAIN
E.C.	ELECTRICAL CONTRACTOR
EXIST.	EXISTING
G,GRD	GROUND
GFI	GROUND FAULT INTERRUPTER
HVAC	HEATING, VENTILATING AND AIR-CONDITIONING UNIT
KVA	KILOVOLT AMPERE
MCB	MAIN CIRCUIT BREAKER
MDP	MAIN DISTRIBUTION PANEL
NTS	NOT TO SCALE
PNL	PANEL
(R)	REMOVE EXISTING
RCPT	RECEPTACLE
W	WATT
WP	WEATHERPROOF

<h1>LEGEND</h1>	
	HOMERUN TO DESIGNATED PANEL, ARROWHEAD INDICATES SINGLE POLE CIRCUIT. HOMERUN SHALL CONSIST OF 2#12-3/4" U.O.N.
	HOMERUN TO DESIGNATED PANEL, NUMBERS IN PARENTHESIS INDICATE MULTIPLE CIRCUIT, I.E. 3-HOTS AND 1-GROUND U.O.N.
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW
	20A FLUSH WALL MOUNTED GROUND FAULT INTERRUPTING TYPE DUPLEX RECEPTACLE HUBBELL #GF5362.
	SURFACE MOUNTED EXISTING ELECTRICAL PANELBOARD.
	HEAVY DUTY TYPE DISCONNECT SWITCH WITH FINAL FLEXIBLE EQUIPMENT CONNECTION. 240 INDICATES VOLTAGE, 3 INDICATES NO. OF POLES, 60 INDICATES AMPERE RATING, NF INDICATES NON-FUSED(OR FUSE SIZE) U.O.N. REFER TO SPECIFICATION AND DRAWINGS FOR ENCLOSURE. 'WP' WHERE USED INDICATES WEATHERPROOF ENCLOSURE (NEMA 3R).
	MOTOR (F.B.O. WIRED BY ELEC.) - NUMBER INDICATES HORSEPOWER. REFER TO PANEL SCHEDULES FOR WIRING AND OVER CURRENT PROTECTION.
	TAG SYMBOL. NUMERAL DENOTES REFERENCE TO A WORK NOTE.
MECHANICAL EQUIPMENT IDENTIFICATION:	
	EQUIPMENT ABBREVIATION (FE, SF, HV, ETC. SEE ABBREVIATIONS ON THIS DWG.) EQUIPMENT NUMBER
DETAIL/PART PLAN NUMBER IDENTIFICATION:	
	DETAIL/PART PLAN NUMBER DRAWING NUMBER

DISTRICT WIDE ROOFING PROJECT

KG+D listen
imagine
build

KG+D . ARCHITECTS PC

285 MAIN STREET MOUNT KISCO . NEW YORK . 10940
P:914.666.5900 KGDARCHITECTS.COM

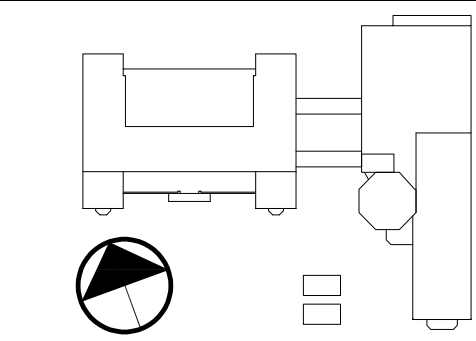
NY SED PROJECT CONTROL NO.

HIGH SCHOOL	66-02-02-03-0-001-03
MIDDLE SCHOOL	66-02-02-03-0-002-02
ELEMENTARY SCHOOL	66-02-02-03-0-003-03
NEW BUSINESS OFFICE	66-02-02-03-1-010-00
BUS GARAGE	66-02-02-03-5-004-00

 BARILE GALLAGHER & ASSOCIATES

CONSULTING ENGINEERS
39 MARBLE AVE. PLEASANTVILLE, NY 10570
914.328.6060 GENERAL@BGA-ENG.com www.BGA-ENG.com

CONSTRUCTION DOCUMENTS



NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (JGAD), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF (JGAD).

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENCED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII SECT. 69.5 (b) OF NEW YORK STATE LAW.
COPYRIGHT KAEYER, GARMENT + DAVIDSON ARCHITECTS & ENGINEERS, PC
ALL RIGHTS RESERVED.

Professional Seal

1	04/20/2023	ISSUED FOR BID
1	03/17/2023	CONSTRUCTION DOCUMENTS
No.	Date	Issue

Sheet Title

ELECTRICAL LEGENDS NOTES, AND ABBREVIATIONS

Job No. 2023-1002	Date 04/17/2023
----------------------	--------------------

Scale AS NOTED	Drawn / Checked BGA / BGA
-------------------	------------------------------

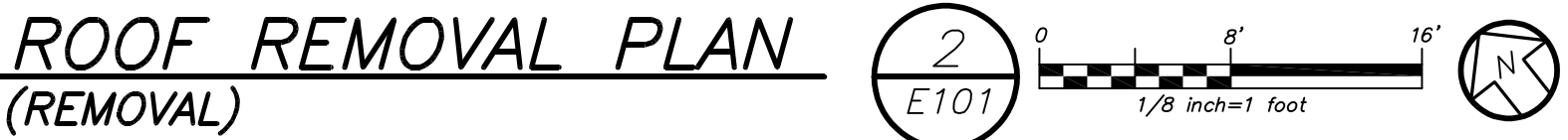
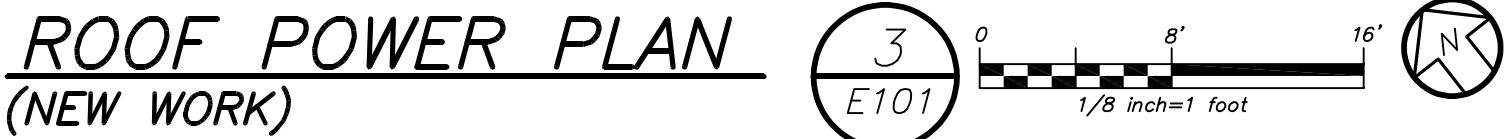
Sheet Number

E001

SED PROJECT CONTROL NO.

BARILE GALLAGHER & ASSOCIATES
CONSULTING ENGINEERS
39 MARBLE AVE. PLEASANTVILLE, NY 10570
914.328.6666 GENERAL@BGA-ENG.COM WWW.BGA-ENG.COM

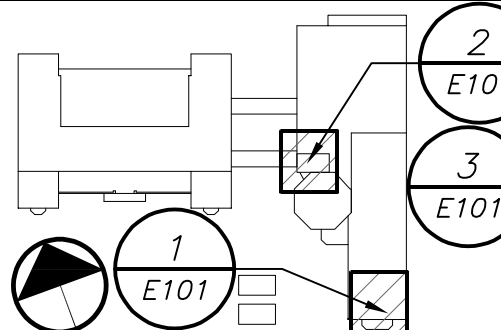
CONSTRUCTION DOCUMENTS



1. ALL DISCONNECTS AND STARTERS SHALL BE REMOVED. REMOVE ALL BRANCH CIRCUITRY AND CONDUIT SHALL BE REMOVED BACK TO SOURCE.

1 PROVIDE 3#1/0+1#6G IN 2" CONDUIT TO MDB IN THE MAIN ELECTRICAL ROOM.
PROVIDE 3P-150 AMP BREAKER AT DISTRIBUTION BOARD.

- 2 PROVIDE 2#12+1#12G IN 3/4" C TO PANEL LP LOCATED BELOW CHILLER IN 2ND FLOOR HALLWAY.



ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR
CONTAINED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF
GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED
ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS
SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER
WITHOUT THE WRITTEN PERMISSION OF (KG&D).

NO DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH WORK.

NO WORK SHALL BE DONE BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS CONTRACT, UNLESS ACTION UNDER THE DIRECTION OF THE LICENSED ARCHITECT OR PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF N.J.S.A. 17:27, 17:28, 17:29, 17:30, 17:31, 17:32, 17:33, 17:34, 17:35, 17:36, 17:37, 17:38, 17:39, 17:40, 17:41, 17:42, 17:43, 17:44, 17:45, 17:46, 17:47, 17:48, 17:49, 17:50, 17:51, 17:52, 17:53, 17:54, 17:55, 17:56, 17:57, 17:58, 17:59, 17:60, 17:61, 17:62, 17:63, 17:64, 17:65, 17:66, 17:67, 17:68, 17:69, 17:70, 17:71, 17:72, 17:73, 17:74, 17:75, 17:76, 17:77, 17:78, 17:79, 17:80, 17:81, 17:82, 17:83, 17:84, 17:85, 17:86, 17:87, 17:88, 17:89, 17:90, 17:91, 17:92, 17:93, 17:94, 17:95, 17:96, 17:97, 17:98, 17:99, 17:100, 17:101, 17:102, 17:103, 17:104, 17:105, 17:106, 17:107, 17:108, 17:109, 17:110, 17:111, 17:112, 17:113, 17:114, 17:115, 17:116, 17:117, 17:118, 17:119, 17:120, 17:121, 17:122, 17:123, 17:124, 17:125, 17:126, 17:127, 17:128, 17:129, 17:130, 17:131, 17:132, 17:133, 17:134, 17:135, 17:136, 17:137, 17:138, 17:139, 17:140, 17:141, 17:142, 17:143, 17:144, 17:145, 17:146, 17:147, 17:148, 17:149, 17:150, 17:151, 17:152, 17:153, 17:154, 17:155, 17:156, 17:157, 17:158, 17:159, 17:160, 17:161, 17:162, 17:163, 17:164, 17:165, 17:166, 17:167, 17:168, 17:169, 17:170, 17:171, 17:172, 17:173, 17:174, 17:175, 17:176, 17:177, 17:178, 17:179, 17:180, 17:181, 17:182, 17:183, 17:184, 17:185, 17:186, 17:187, 17:188, 17:189, 17:190, 17:191, 17:192, 17:193, 17:194, 17:195, 17:196, 17:197, 17:198, 17:199, 17:200, 17:201, 17:202, 17:203, 17:204, 17:205, 17:206, 17:207, 17:208, 17:209, 17:210, 17:211, 17:212, 17:213, 17:214, 17:215, 17:216, 17:217, 17:218, 17:219, 17:220, 17:221, 17:222, 17:223, 17:224, 17:225, 17:226, 17:227, 17:228, 17:229, 17:230, 17:231, 17:232, 17:233, 17:234, 17:235, 17:236, 17:237, 17:238, 17:239, 17:240, 17:241, 17:242, 17:243, 17:244, 17:245, 17:246, 17:247, 17:248, 17:249, 17:250, 17:251, 17:252, 17:253, 17:254, 17:255, 17:256, 17:257, 17:258, 17:259, 17:260, 17:261, 17:262, 17:263, 17:264, 17:265, 17:266, 17:267, 17:268, 17:269, 17:270, 17:271, 17:272, 17:273, 17:274, 17:275, 17:276, 17:277, 17:278, 17:279, 17:280, 17:281, 17:282, 17:283, 17:284, 17:285, 17:286, 17:287, 17:288, 17:289, 17:290, 17:291, 17:292, 17:293, 17:294, 17:295, 17:296, 17:297, 17:298, 17:299, 17:300, 17:301, 17:302, 17:303, 17:304, 17:305, 17:306, 17:307, 17:308, 17:309, 17:310, 17:311, 17:312, 17:313, 17:314, 17:315, 17:316, 17:317, 17:318, 17:319, 17:320, 17:321, 17:322, 17:323, 17:324, 17:325, 17:326, 17:327, 17:328, 17:329, 17:330, 17:331, 17:332, 17:333, 17:334, 17:335, 17:336, 17:337, 17:338, 17:339, 17:340, 17:341, 17:342, 17:343, 17:344, 17:345, 17:346, 17:347, 17:348, 17:349, 17:350, 17:351, 17:352, 17:353, 17:354, 17:355, 17:356, 17:357, 17:358, 17:359, 17:360, 17:361, 17:362, 17:363, 17:364, 17:365, 17:366, 17:367, 17:368, 17:369, 17:370, 17:371, 17:372, 17:373, 17:374, 17:375, 17:376, 17:377, 17:378, 17:379, 17:380, 17:381, 17:382, 17:383, 17:384, 17:385, 17:386, 17:387, 17:388, 17:389, 17:390, 17:391, 17:392, 17:393, 17:394, 17:395, 17:396, 17:397, 17:398, 17:399, 17:400, 17:401, 17:402, 17:403, 17:404, 17:405, 17:406, 17:407, 17:408, 17:409, 17:410, 17:411, 17:412, 17:413, 17:414, 17:415, 17:416, 17:417, 17:418, 17:419, 17:420, 17:421, 17:422, 17:423, 17:424, 17:425, 17:426, 17:427, 17:428, 17:429, 17:430, 17:431, 17:432, 17:433, 17:434, 17:435, 17:436, 17:437, 17:438, 17:439, 17:440, 17:441, 17:442, 17:443, 17:444, 17:445, 17:446, 17:447, 17:448, 17:449, 17:450, 17:451, 17:452, 17:453, 17:454, 17:455, 17:456, 17:457, 17:458, 17:459, 17:460, 17:461, 17:462, 17:463, 17:464, 17:465, 17:466, 17:467, 17:468, 17:469, 17:470, 17:471, 17:472, 17:473, 17:474, 17:475, 17:476, 17:477, 17:478, 17:479, 17:480, 17:481, 17:482, 17:483, 17:484, 17:485, 17:486, 17:487, 17:488, 17:489, 17:490, 17:491, 17:492, 17:493, 17:494, 17:495, 17:496, 17:497, 17:498, 17:499, 17:500, 17:501, 17:502, 17:503, 17:504, 17:505, 17:506, 17:507, 17:508, 17:509, 17:510, 17:511, 17:512, 17:513, 17:514, 17:515, 17:516, 17:517, 17:518, 17:519, 17:520, 17:521, 17:522, 17:523, 17:524, 17:525, 17:526, 17:527, 17:528, 17:529, 17:530, 1

Professional Seal

04/20/2023	ISSUED FOR BID
03/17/2023	CONSTRUCTION DOCUMENTS
Date	Issue

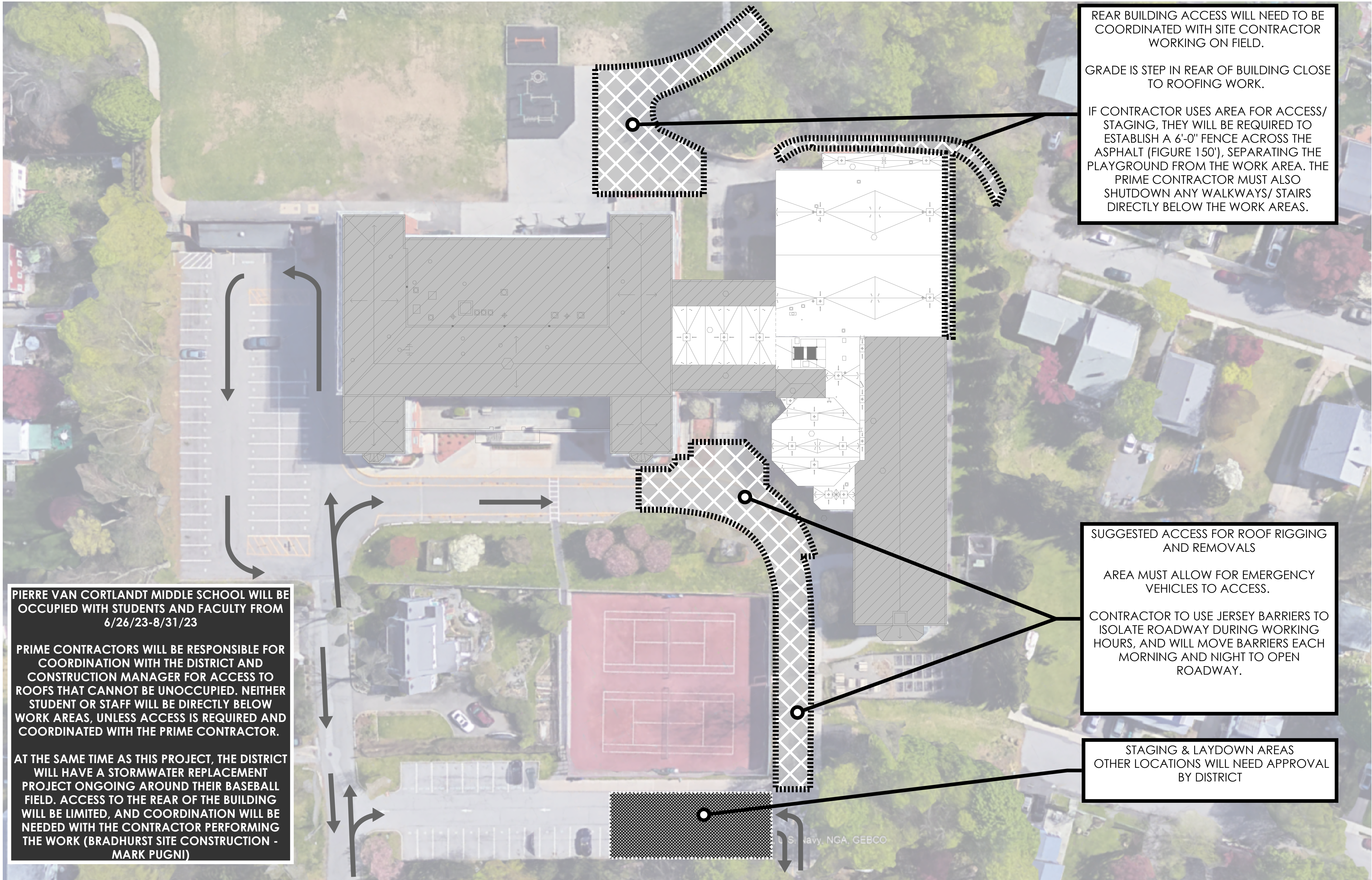
OOF ELECTRICAL REMOVALS AND NEW POWER PLAN

No.	Date
2023-1002	04/17/2023

AS NOTED	Drawn / Checked BGA / BGA
----------	------------------------------

et Number

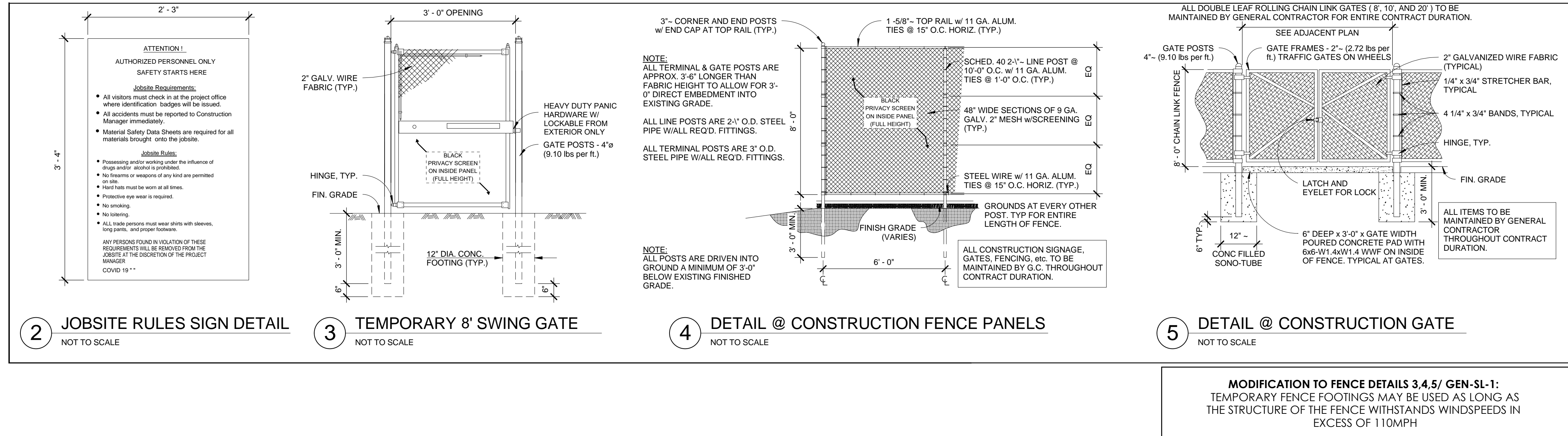
E101



1
PVC
LOG-1

PIERRE VAN CORTLANDT MIDDLE SCHOOL ROOFING PROJECT - OVERALL STAGING AND PHASING PLAN

SCALE = N.T.S.



GENERAL LOGISTICS NOTES

1. ROOFING CONSTRUCTION TRADE PRIME CONTRACTOR IS TO PROVIDE 6'-0" TALL CONSTRUCTION FENCE W/ PRIVACY SCREEN AROUND ALL STORED MATERIAL AND ACTIVE WORK AREAS WHERE WORK IS BEING PERFORMED OVERHEAD OR AT GROUND LEVEL.
2. ALL PRIME CONTRACTORS TO UTILIZE THE STAGING LOCATION, PROVIDED BY THE ROOFING CONTRACTOR. EACH PRIME CONTRACTOR SHALL COORDINATE MATERIAL AND EQUIPMENT WITHIN STAGING LOCATIONS, WITH THE OTHER PRIME CONTRACTORS AND CM.
3. MATERIAL WILL NOT BE PERMITTED TO BE STORED OUTSIDE FENCED-IN AREAS OR IN AREAS NOT DESIGNATED BY THE CONSTRUCTION MANAGER/OWNER. MATERIAL STORAGE ON THE INTERIOR OF THE BUILDING THAT IS NOT USED WITHIN 72HRS. WILL NOT BE PERMITTED.
4. ALL CRANES PICKS SHOULD BE SCHEDULED TO TAKE PLACE DURING THE SUMMER MONTHS, OR DURING AFTER-HOURS. THE PRIME CONTRACTOR PERFORMING THE CRANE PICK ASSUMES ALL RESPONSIBILITY FOR RESTORATION OF THE LANDSCAPE/HARDSCAPE THROUGH APPROVAL BY THE ARCHITECT/CIVIL ENGINEER/CM.
- CRANE PICKS THAT REQUIRE UTILIZING THE VILLAGE/TOWN/CITY/STATE ROAD WILL REQUIRE THE CONTRACTOR TO FILE ANY PERMITS NEEDED TO SHUTDOWN THE ROAD/LANES FOR THEIR CRANE OPERATIONS. ANY COST ASSOCIATED WITH THE PERMITTING PROCESS OR FINES INCURRED AS A RESULT OF NOT FILING THE CORRECT PERMITS. WILL BE THE RESPONSIBILITY OF THAT CONTRACTOR PERFORMING THE CRANE PICK.
- CRANE PICKS, BOOM LIFTS OR ANY OVERHEAD MATERIAL TRANSPORTATION WILL NOT BE ALLOWED WITHIN 20' OF AN OCCUPIED SPACE. THE PRIME CONTRACTOR PERFORMING THE CRANE PICK/BOOMING, WILL BE REQUIRED TO SUBMIT A CRANE/BOOM LOGISTICS PLAN SHOWING THE WORKING RADIUS OF THE EQUIPMENT AWAY FROM OCCUPIED SPACES.
5. THE ROOFING PRIME CONTRACTOR PROVIDING THE STAGING LOCATION IS RESPONSIBLE TO REPAIR THE GRADE, GRASS, SHRUBBERY, AND HARDSCAPES (ASPHALT/CONCRETE) AFTER REMOVAL OF FENCING AND MATERIAL FROM WITHIN THE STAGING LOCATION. THIS INCLUDES ANY REPAIRS AS A RESULT OF THEIR EQUIPMENT AND ACTIVITIES AROUND THE BUILDING AS A RESULT OF THEIR WORK. DAMAGE TO THE LANDSCAPE/HARDSCAPE AS A RESULT OF ANOTHER PRIME CONTRACTOR, OUTSIDE OF THE STAGING AREA, WILL BE THE RESPONSIBILITY OF THAT CONTRACTOR TO REPAIR.
- THIS INCLUDES RESTORING ANY TEMPORARY LOGISTICS FOR EGRESS, SUCH AS WALKWAYS, ASPHALT RAMPS, ETC...
6. DELIVERIES ARE TO BE COORDINATED WITH THE CM AND OWNER TO AVOID INTERFERENCE WITH SCHOOL ACTIVITIES.
7. DUMPSTERS AND REFUSE CONTAINERS, PROVIDED BY THE ROOFING PRIME CONTRACTOR ARE FOR USE BY FOR ALL PRIME CONTRACTORS, AND ARE PERMITTED WITHIN STAGING AREAS. IF DUMPSTERS ARE NEEDED OUTSIDE OF STAGING AREAS, THEY WILL NEED TO BE SECURED AND SURROUNDED BY ADDITIONAL FENCING, LOCKED WITH PRIVACY MESH AND SIGNAGE - APPROVED BY THE CM AND THE OWNER.
8. EACH PRIME CONTRACTOR IS REQUIRED TO COORDINATE WITH THE CONSTRUCTION MANAGER AND ANY OTHER TRADE- THEIR OWN WORK, IN WHICH THEY MAY IMPACT OTHER TRADES OR THE OWNER AND ITS PROPERTY.
9. THE ROOFING CONSTRUCTION PRIME CONTRACTOR IS TO PROVIDE AND MAINTAIN PERIODICALLY ALL TEMPORARY CONSTRUCTION SIGNAGE AS SHOWN ON THE LOGISTICS PLANS AND PER NYS, OSHA AND LOCAL/FEDERAL GOVERNMENT REGULATION.
- THIS INCLUDES BUT IS NOT LIMITED TO:
 - JOBSITE RULES SIGN (3'-4" X 2'-3") SECURED TO SITE FENCE AT EACH ENTRANCE OF THE STAGING AREA (4 MINIMUM - 1 AT EACH LOCATION)
 - PERSONAL PROTECTIVE EQUIPMENT/ HARD HATS REQUIRED SIGNAGE AT 20' INTERVALS ON ENTIRE PERIMETER OF SITE FENCE.
 - NOTICE - PREVENT SPREAD OF CORONAVIRUS, SANITIZE/WASH YOUR HANDS FREQUENTLY, "WEAR FACE MASK WHILE MAINTAINING SOCIAL DISTANCING"
10. EACH PRIME CONTRACTOR WILL BE REQUIRED TO SCHEDULE DELIVERIES WITH THE CONSTRUCTION MANAGER AND THE DISTRICT. THE DISTRICT AND/OR THE CONSTRUCTION MANAGER HOLD THE RIGHT TO REJECT DELIVERIES IF NOT SCHEDULED WITH THE CONSTRUCTION MANAGER OR DISTRICT WITH 72 HOURS OF THE DELIVERY.
11. EACH PRIME CONTRACTOR IS REQUIRED TO PROVIDE A (2X) DEDICATED FLAGMEN WHEN ACCEPTING DELIVERIES WITHIN/FROM THE STREET TO THE DEDICATED STAGING AREA. THE SITE AND SURROUNDING AREA MAY BE ACTIVE WITH STUDENTS AND FACULTY, REQUIRING THE UTMOST PROTECTION AND SAFETY.
12. PARKING FOR CONSTRUCTION PERSONNEL WILL BE ALLOWED ON SITE IN EXISTING PARKING SPACES DURING SUMMER CONSTRUCTION. ANY PARKING BEFORE OR AFTER THE SUMMER, CONTRACTOR'S WILL BE REQUIRED TO PARK OFF-SITE, AT NO ADDITIONAL COST TO THE OWNER.
13. WORKERS ARE REQUIRED TO WEAR ID BADGES, HIGH VISIBILITY VESTS, HARD HATS AND ALL OTHER REQUIRED PPE AT ALL TIMES WHILE ON SITE. WORKERS/PERSONNEL WITHOUT THESE REQUIREMENTS WILL BE ASKED TO BE REMOVED FROM THE SITE WITH A ONE-STRIKE POLICY.
14. INTERACTION BETWEEN CONSTRUCTION PERSONNEL AND STAFF/STUDENTS IS NOT PERMITTED. ANY PERSONNEL FOUND INTERACTING WITH STUDENTS OR FACULTY MAY BE ESCORTED BY LAW ENFORCEMENT FROM THE SITE. THIS IS A ZERO-STRIKE POLICY.
15. REFERENCE DIVISION 01 OF THE SPECIFICATIONS FOR ALL OTHER LOGISTICAL REQUIREMENTS IN HAND WITH INFORMATION INCLUDED ON THE LOGISTICS PLANS.
16. EACH PRIME CONTRACTOR MUST IMPLEMENT AND FOLLOW ALL NYS GUIDELINES AND REGULATIONS REGARDING COVID-19. INCLUDING BUT NOT LIMITED TO HAND WASHING/SANITIZING STATIONS, DISINFECTING, SOCIAL DISTANCING, CONTACT TRACING LOGS, ETC., COVID-19 PROTOCOLS, POLICY AND PROCEDURES MUST BE DETAILED AND INCLUDED IN EACH PRIME CONTRACTOR'S SAFETY MANUAL AND LOGISTICS PLAN AND IS TO BE SUBMITTED TO THE CONSTRUCTION MANAGER WEEKLY. THIS REQUIREMENT EXTENDS TO ALL SUBCONTRACTORS OF THE PRIME CONTRACTOR.

DISTRICT WIDE
ROOFING PROJECT

CROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520



NY SED PROJECT CONTROL NO.

HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
ELEMENTARY SCHOOL	66-02-02-03-0-003-033
NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-5-004-008



550 7th Ave 14th Floor, New York, NY 10018
1279 Rte 300 1st Floor, Newburgh, NY 12550

CONSTRUCTION DOCUMENTS

NOTE: ALL IDEAL DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEFER, GARMENT & DAVIDSON ARCHITECTS, PC (KGD), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAL DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF KGD.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTICED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE 16, SECTION 1615 OF NEW YORK STATE LAW.

COPYRIGHT KAEFER, GARMENT & DAVIDSON ARCHITECTS & ENGINEERS, PC. ALL RIGHTS RESERVED.

Professional Seal

1	4/20/2023	ISSUED FOR BID
No.	Date	Issue
Sheet Title		
PIERRE VAN CORTLANDT MS LOGISTICS		
Job No.	2023-1002	Date 4/18/23
Scale	N.T.S.	Drawn / Checked JH - TCC
Sheet Number		
PVC LOG-1		

DISTRICT WIDE
ROOFING PROJECT

CROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520



KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

NOTE: ALL DESIGNS, DESIGNS, APPROVALS AND PLANS INDICATED OR
REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF
KARLIS GARMENT & ASSOCIATES ARCHITECTS PC. NO PART OF THIS DRAWING
SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS
ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY
ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN
PERMISSION OF KARLIS GARMENT & ASSOCIATES ARCHITECTS PC.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER
SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS
AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY
VARIATIONS FROM DIMENSIONS AND CONDITIONS BEFORE. SHOP DETAILS MUST
BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH
FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS
DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED
ARCHITECT, WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION
OF TITLE 16, SECTION 16-01 OF THE NEW YORK STATE LAW.
COPYRIGHT 2022 KARLIS GARMENT & ASSOCIATES ARCHITECTS PC
ALL RIGHTS RESERVED.

Professional Seal

2 4/20/2023 BID SET
1 3/17/2023 CONSTRUCTION DOCUMENTS
No. 1 Date Issue

Sheet Title

CARRIE E. TOMPKINS
E.S.
ROOF PLAN

Job No. 2023-1002 Date 03/17/2023
Scale AS NOTED Drawn / Checked

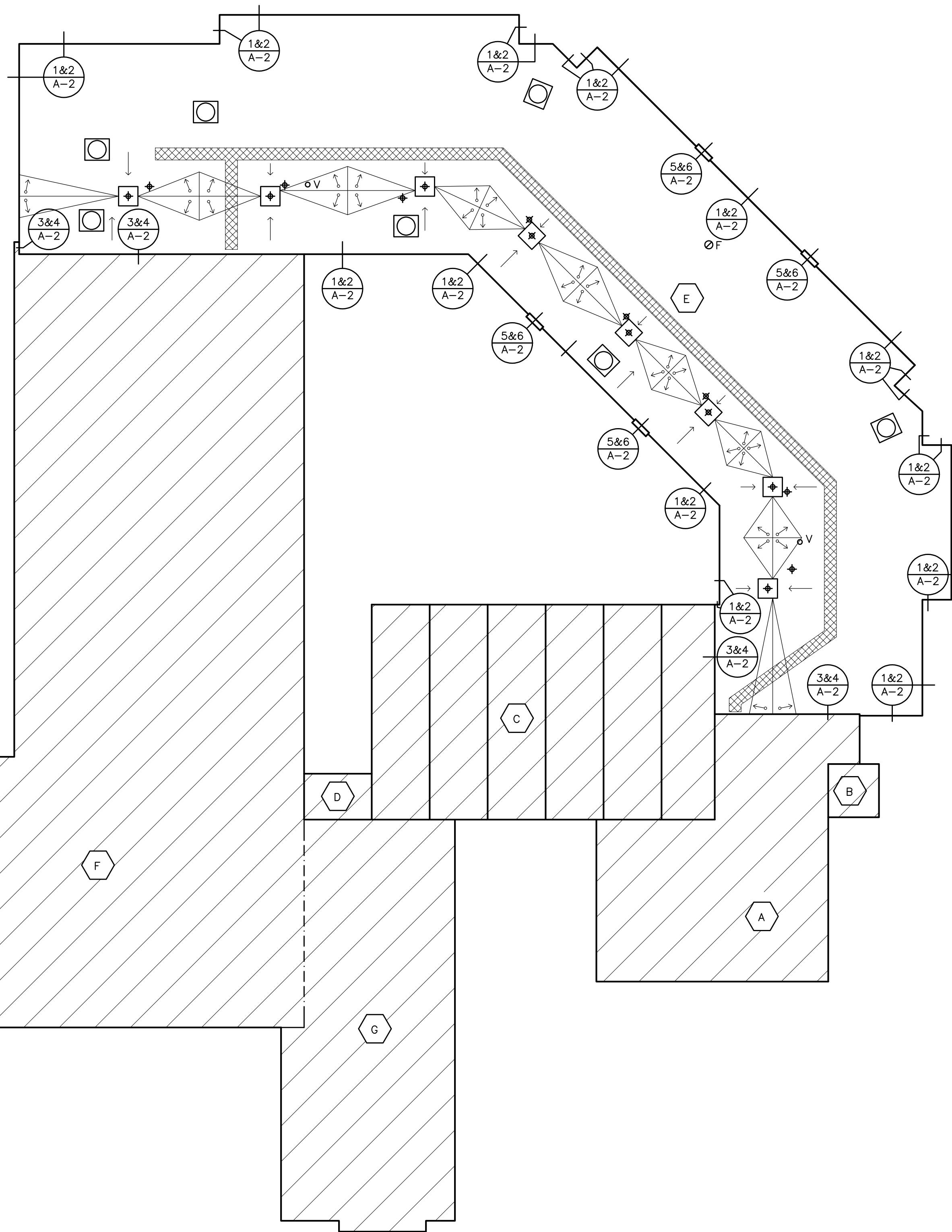
Sheet Number

ES-1

DECK TYPE CHART & INSULATION REQUIREMENTS					
ROOF AREA	DECK TYPE	THICKNESS OF EXISTING INSULATION	STARTING THICKNESS OF NEW INSULATION	MIN. R-VALUE OF NEW & EXISTING INSULATION	AVERAGE THICKNESS OF NEW & EXISTING INSULATION
E	METAL	3.75"	2.0"	30	5.75"

NOTES:
1. INSTALL CONTINUOUS INSULATION ABOVE THE DECK TO ACHIEVE A TOTAL MINIMUM R-VALUE OF 30, AND TO MEET THE NYS ENERGY CONSERVATION CONSTRUCTION CODE, INCLUDING THE INTERNATIONAL ENERGY CONSERVATION CODE AND THE NY STATE SUPPLEMENT, FOR A BUILDING IN CLIMATE ZONE 4.
2. INSTALL NEW 2 INCH FLAT ISOCYANURATE INSULATION OVER THE EXISTING 3.75 INCH INSULATION, UNLESS OTHERWISE NOTED. INSTALL THE ISOCYANURATE INSULATION IN MULTIPLE LAYERS. STAGGER ALL JOINTS BETWEEN LAYERS 12 INCHES.
3. INSTALL A COVER BOARD USING LOW RISE FOAM ADHESIVE OVER THE INSULATION AND CRICKETS.
4. EXISTING CRICKETS TO REMAIN.

LEGEND:
A ROOF AREA DESIGNATION
+ ROOF DRAIN (SEE DET. 7/ES-2)
+ ROOF DRAIN (SEE DET. 7/ES-2)
+ VENT PIPE (SEE DET. 8/ES-2)
o V FLUE (SEE DET. 9/ES-2)
o F EXHAUST FAN (SEE DET. 10/ES-2)
H ROOF HATCH (SEE DET. 11/ES-2)
→ DECK SLOPE
↔ CRICKET
WALKWAY PADS



ROOF PROTECTION NOTES:

1. AVOID WALKING ON NEW AND EXISTING ROOF AREAS.
2. DO NOT STORE MATERIAL OR EQUIPMENT, AND DO NOT PILE DEBRIS ON NEW AND EXISTING ROOF AREAS.
3. INSTALL 1 INCH THICK EXTRUDED POLYSTYRENE INSULATION OVER 6 MIL FIRE RETARDANT POLYETHYLENE, COVERED WITH 2x10 WOOD PLANKS TO PROTECT ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.
4. NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2 INCH OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.
5. DO NOT COVER THE ROOF DRAINS. MAINTAIN THE ROOF DRAIN STRAINERS VISIBLE AND CLEAR AT ALL TIMES.

CODE COMPLIANCE REQUIREMENTS:

1. INSTALL NEW ROOFING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:
A. NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, WHICH INCLUDES BY REFERENCE THE NEW YORK STATE ENERGY CONSERVATION CODE.
B. UNDERWRITERS LABORATORIES INC. CLASS A EXTERNAL FIRE RATING FOR ROOF ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E 108 OR UL 790.
C. UNDERWRITERS LABORATORIES INC. STANDARD 1256 FOR ROOF ASSEMBLIES WITH FOAM INSULATION.
2. INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, BASED ON THIS CRITERIA:
RISK CATEGORY III
BASIC WIND SPEED 130 MPH
EXPOSURE CATEGORY B
BUILDING HEIGHT 30 FT.
3. INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS, CALCULATED IN ACCORDANCE WITH ASCE 7 USING A SAFETY FACTOR OF 2:
FIELD ZONE: 90 PSF
PERIMETER ZONE: 135 PSF
CORNER ZONE: 150 PSF
4. FABRICATE AND INSTALL ROOF PERIMETER FLASHINGS THAT COMPLY WITH THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND WITH ANSI/SPRI ES-1 "WIND STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS", ON A BUILDING USING THE CRITERIA DESCRIBED ABOVE.
5. FABRICATE AND INSTALL WOOD BLOCKING COMPONENTS TO RESIST A FORCE OF 275 POUNDS PER LINEAL FOOT APPLIED IN ANY DIRECTION.

GENERAL NOTES:

1. THESE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.
2. DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.
3. ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
4. TEST EACH DRAIN LINE WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. PROVIDE A WRITTEN REPORT TO THE OWNER.
A. CLOGGED DRAIN LINES REPORTED TO THE OWNER BEFORE WORK STARTS WILL BE CLEANED BY THE OWNER.
B. COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.
C. PERFORM WHATEVER WORK IS REQUIRED SO ALL DRAIN LINES ARE CLEAN AND FREE FLOWING UPON COMPLETION OF THE PROJECT.
5. REMOVE AND RESET SITE LIGHT FIXTURES, WIRES AND CONDUITS THAT INTERFERE WITH THE ROOF EAVE FLASHINGS. REPLACE COMPONENTS THAT CANNOT BE PROPERLY REINSTALLED.
6. REPAIR EXHAUST EQUIPMENT HOUSINGS SO THEY ARE WATERTIGHT; REPLACE ANY MISSING PIECES.
7. REMOVE EXISTING ROOF HATCH SAFETY RAILS AND INSTALL NEW RAILS.
8. INSULATE THE EXISTING DRAIN LINES WHERE EXPOSED INSIDE THE BUILDING, ALL NEW DRAIN LINES, AND THE UNDERSIDES OF THE NEW DRAIN BOWLS.
9. INSTALL NEW WALKWAY PADS WHERE SHOWN ON THE ROOF PLAN.

ROOF PLAN
0' 4' 8' 16'



DISTRICT WIDE
ROOFING PROJECTCROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520

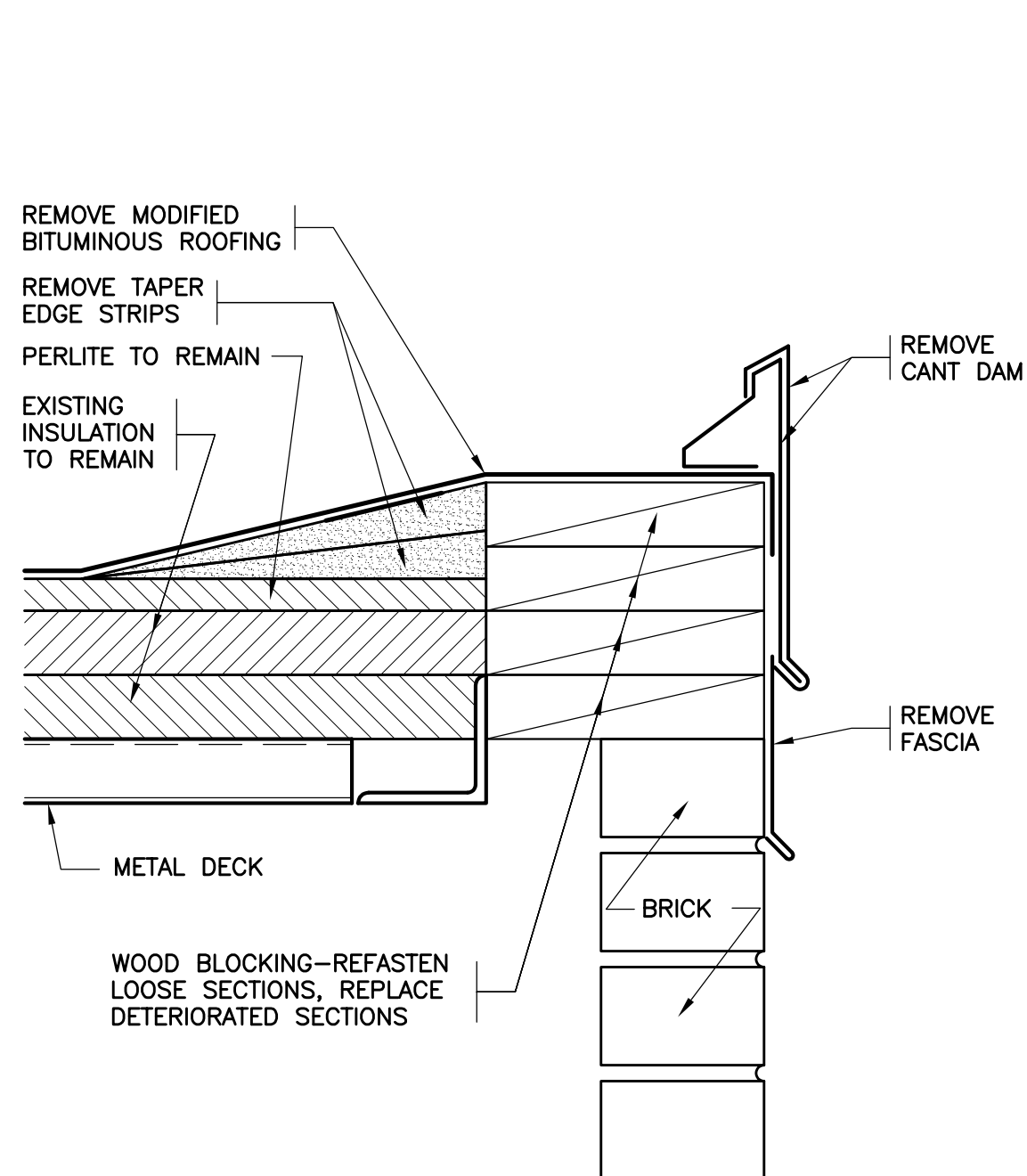
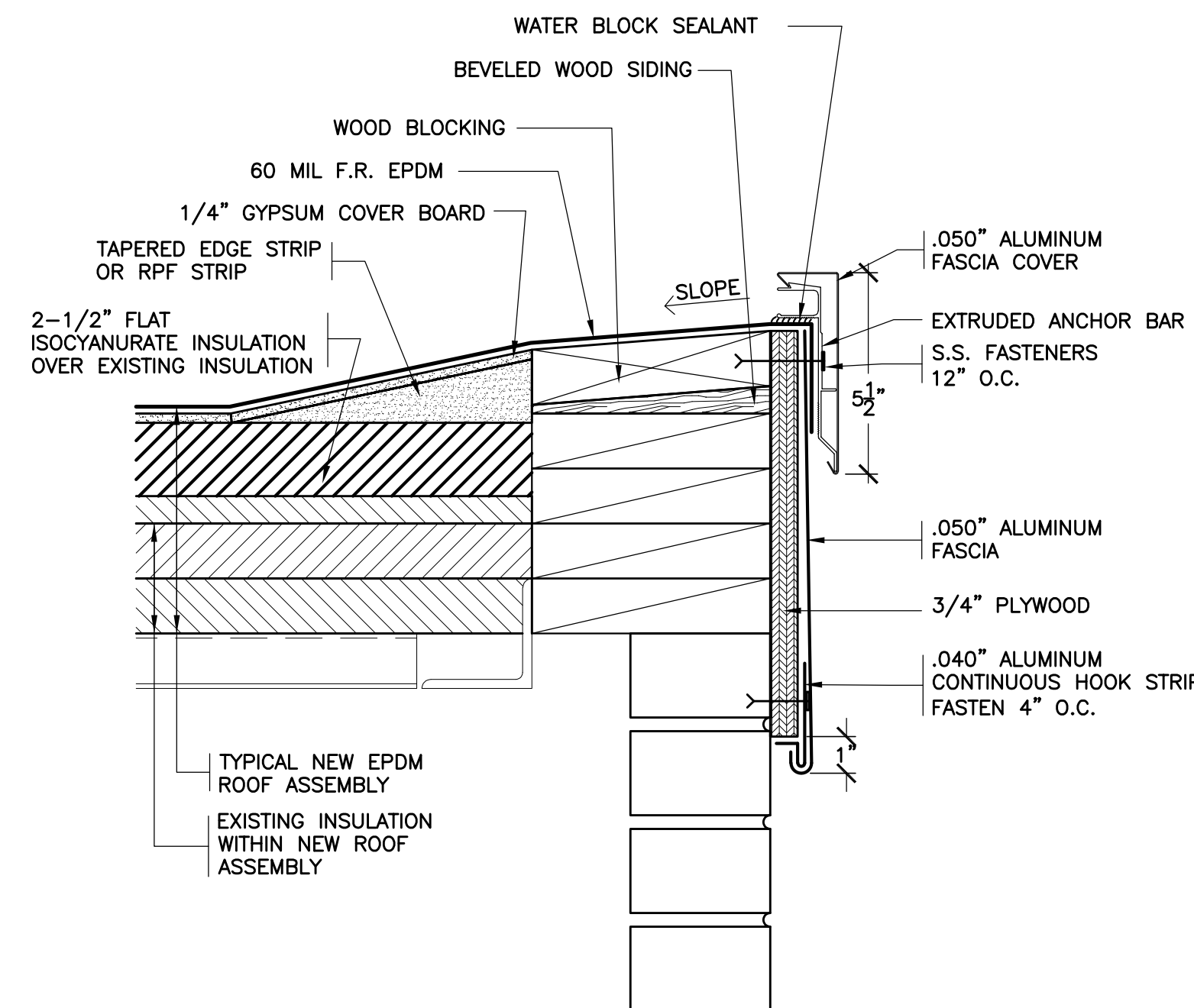
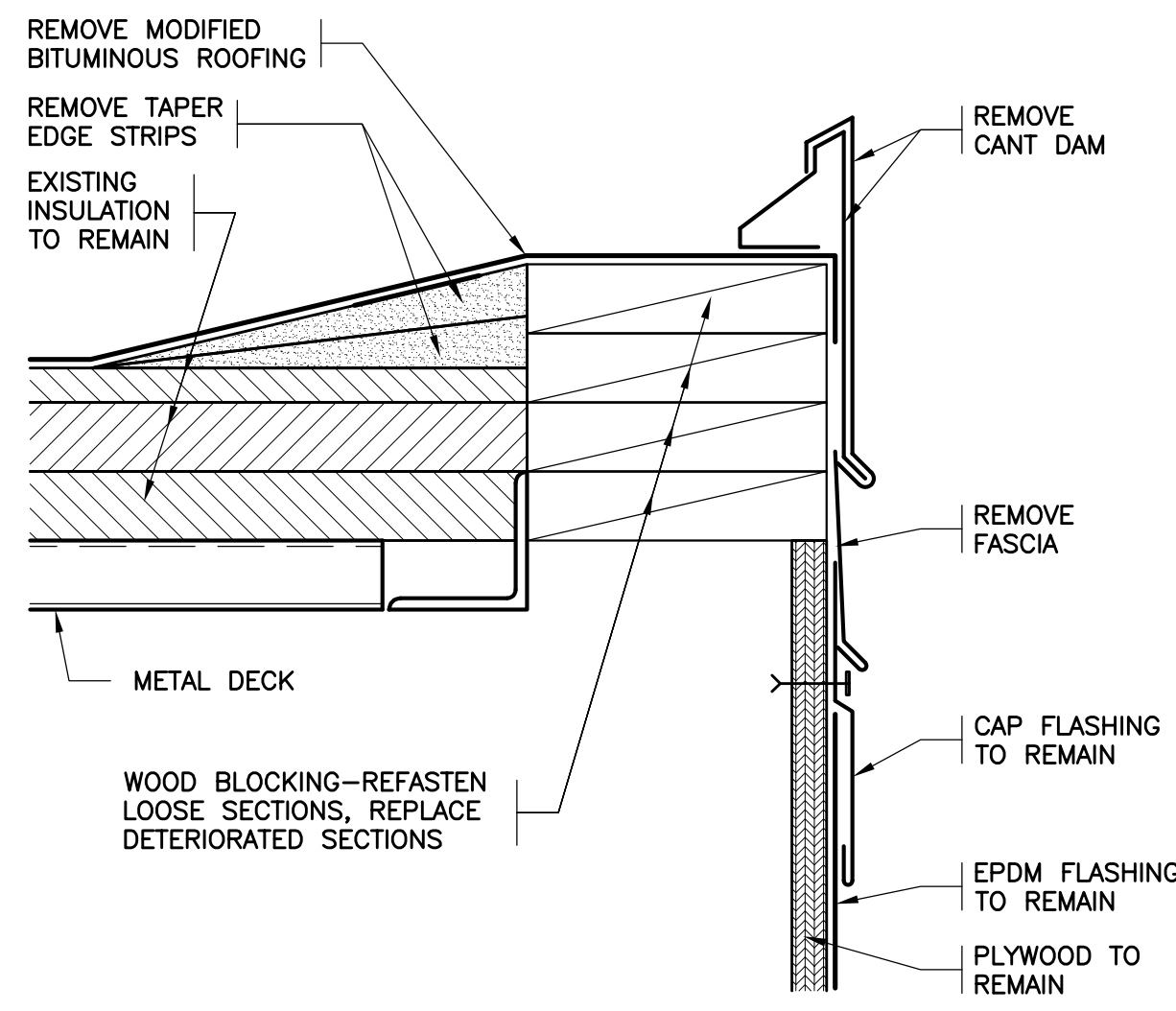
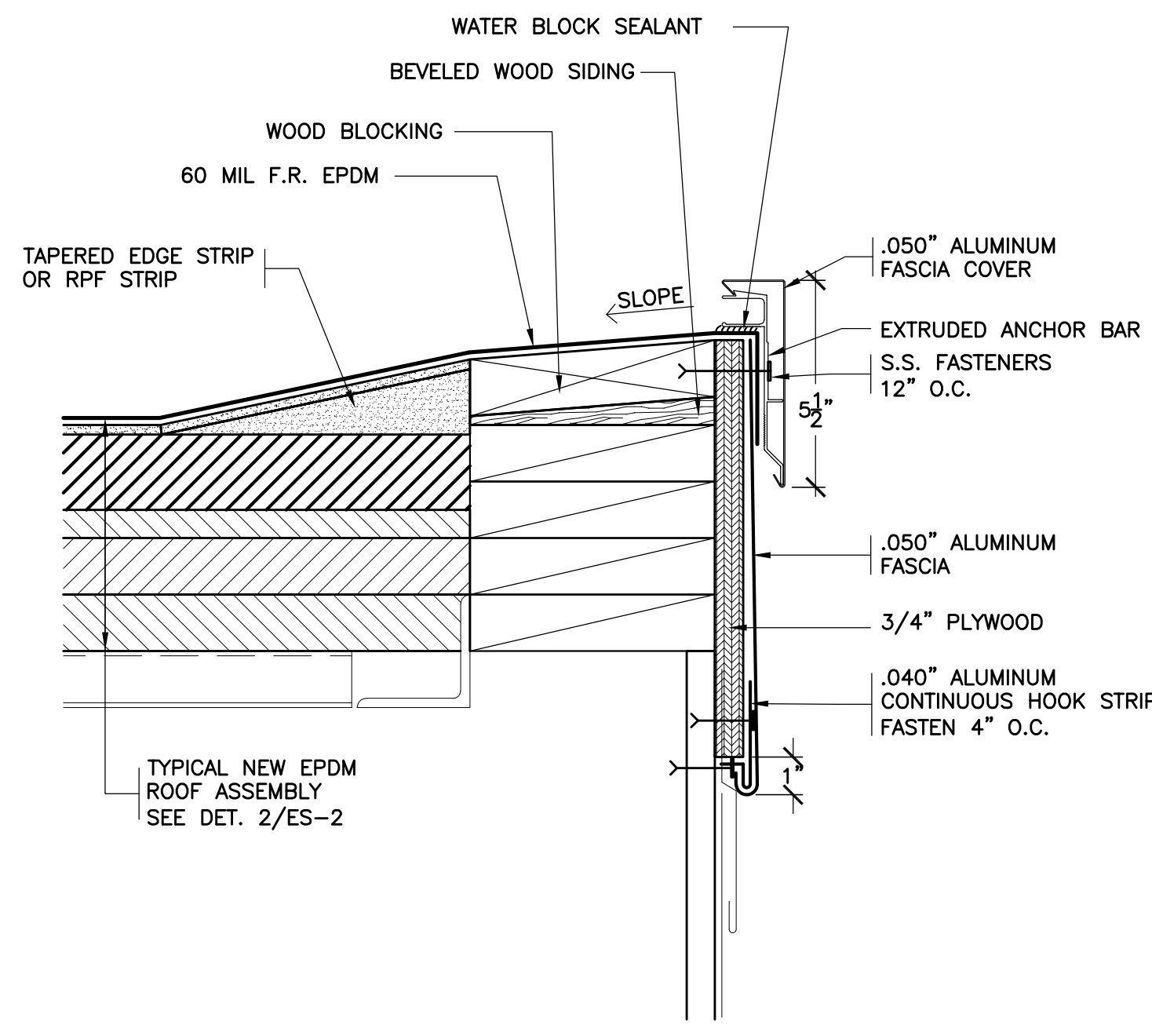
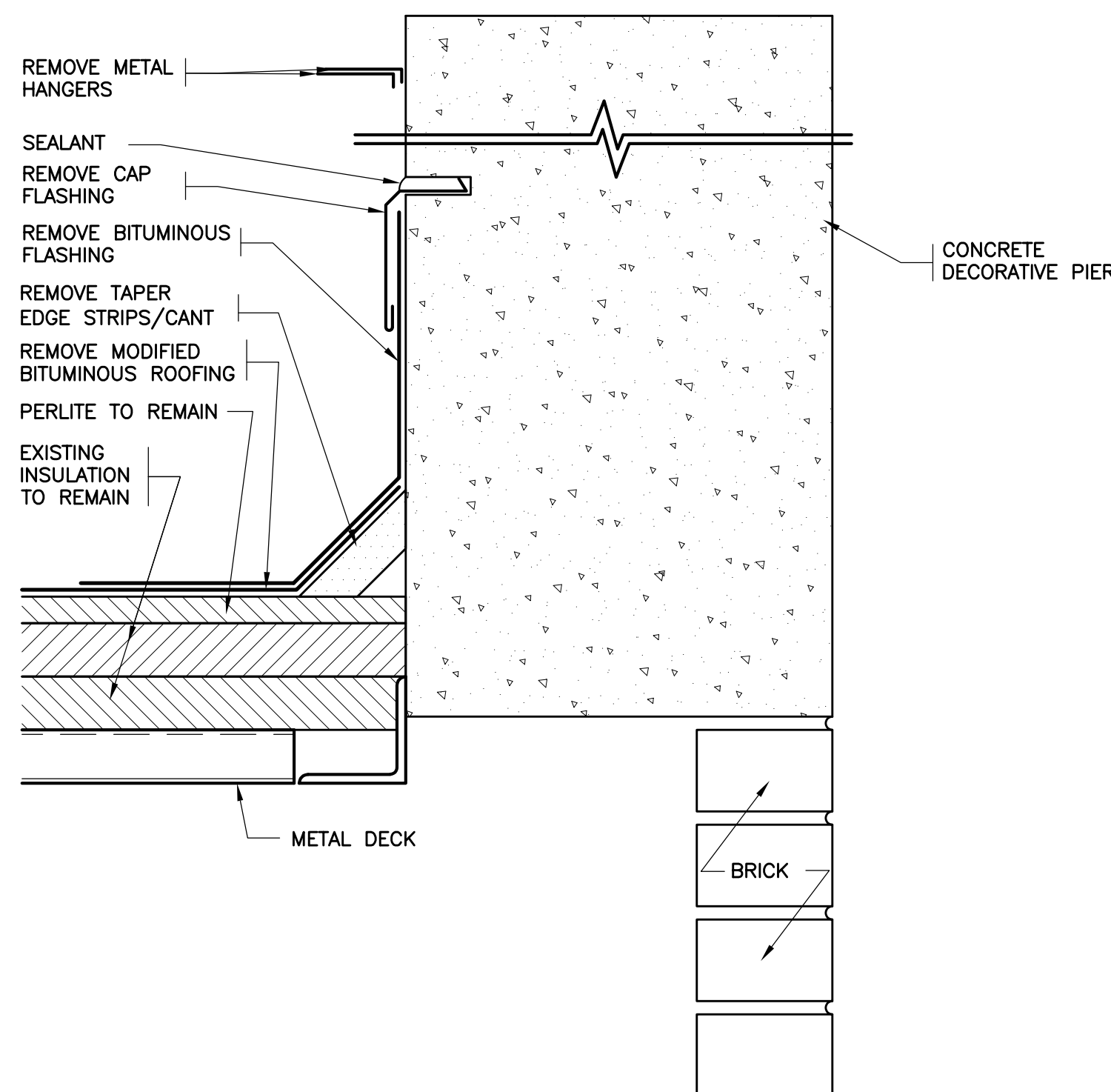
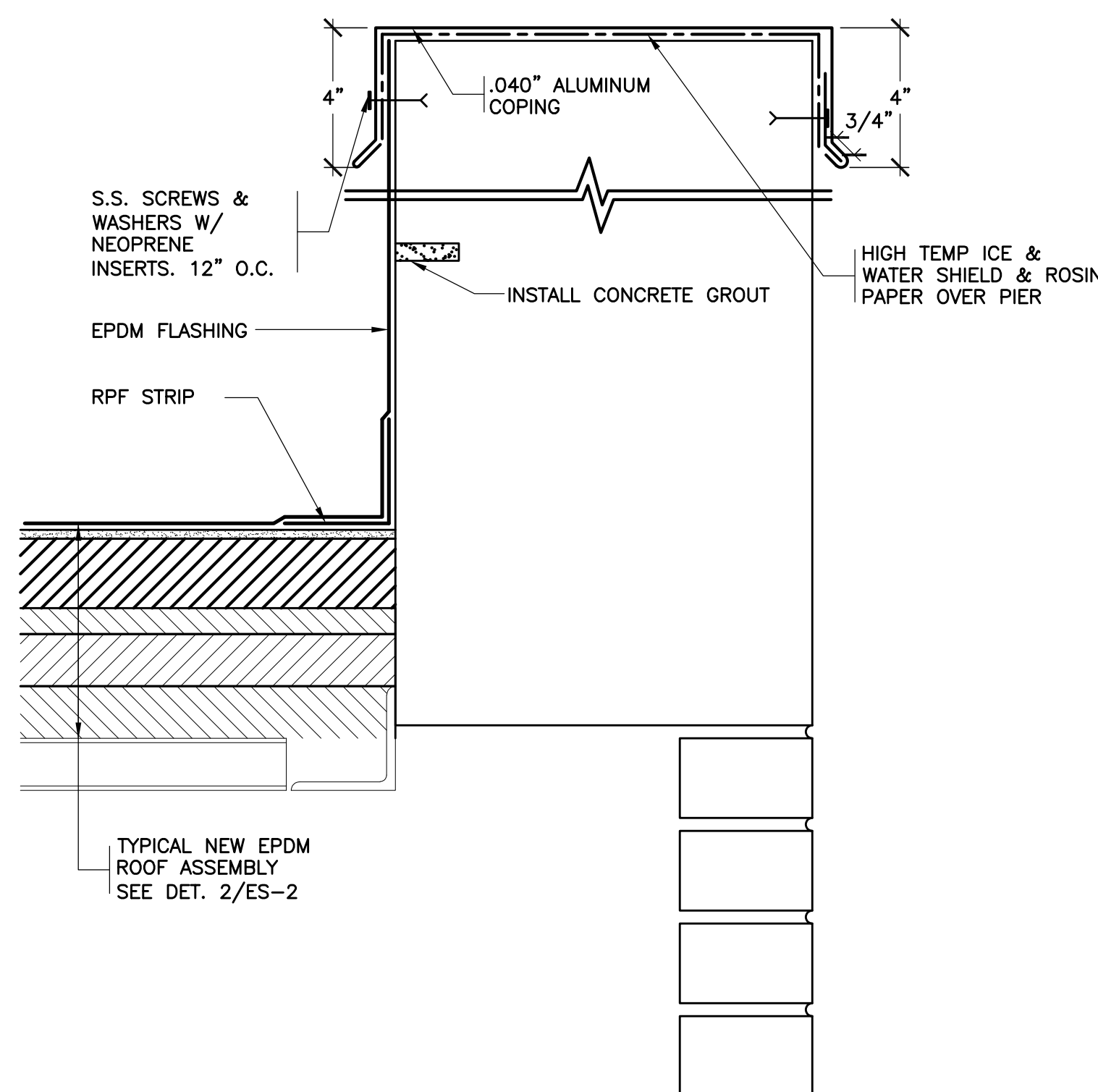
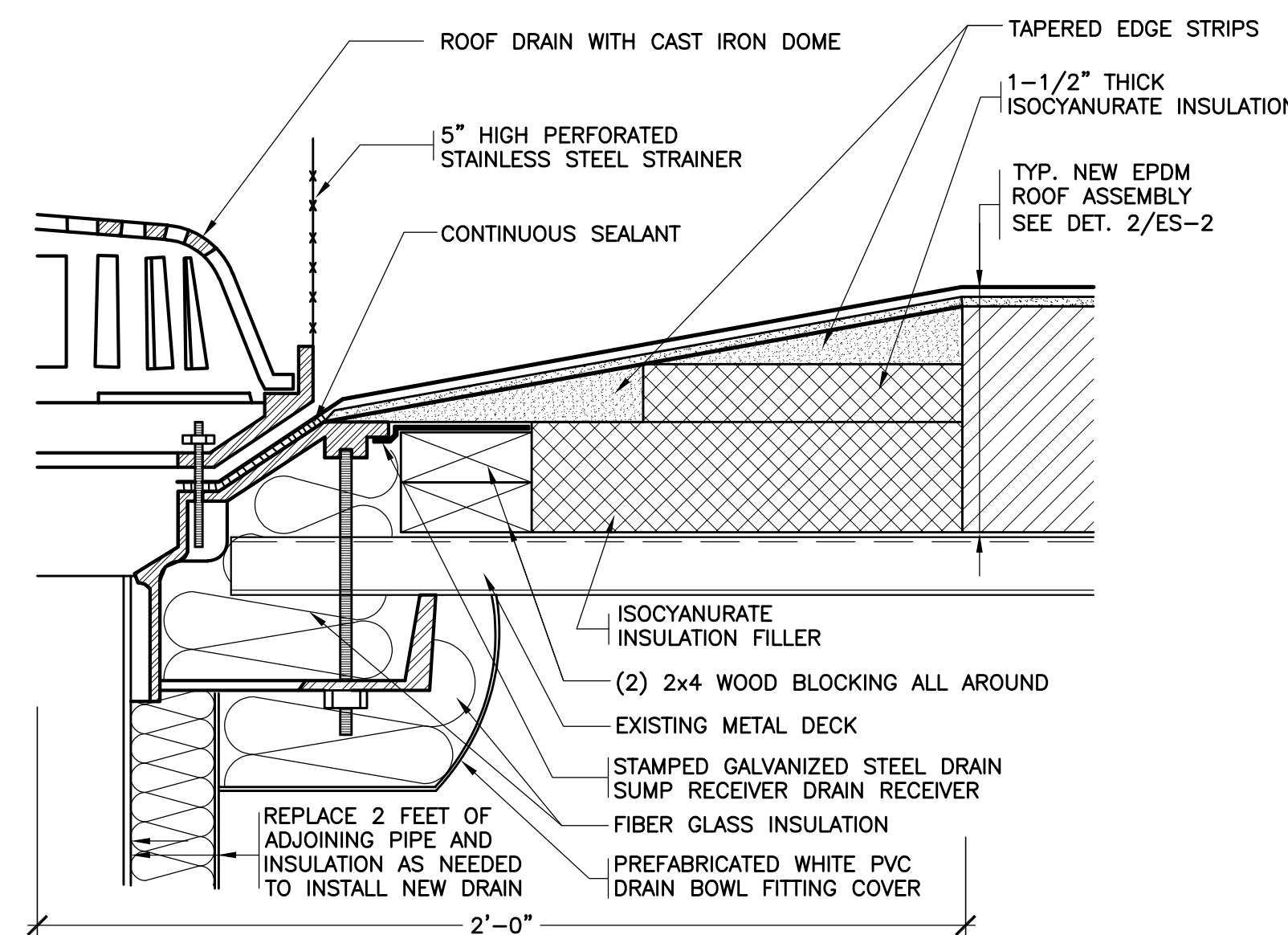
KG+D . ARCHITECTS PC

285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

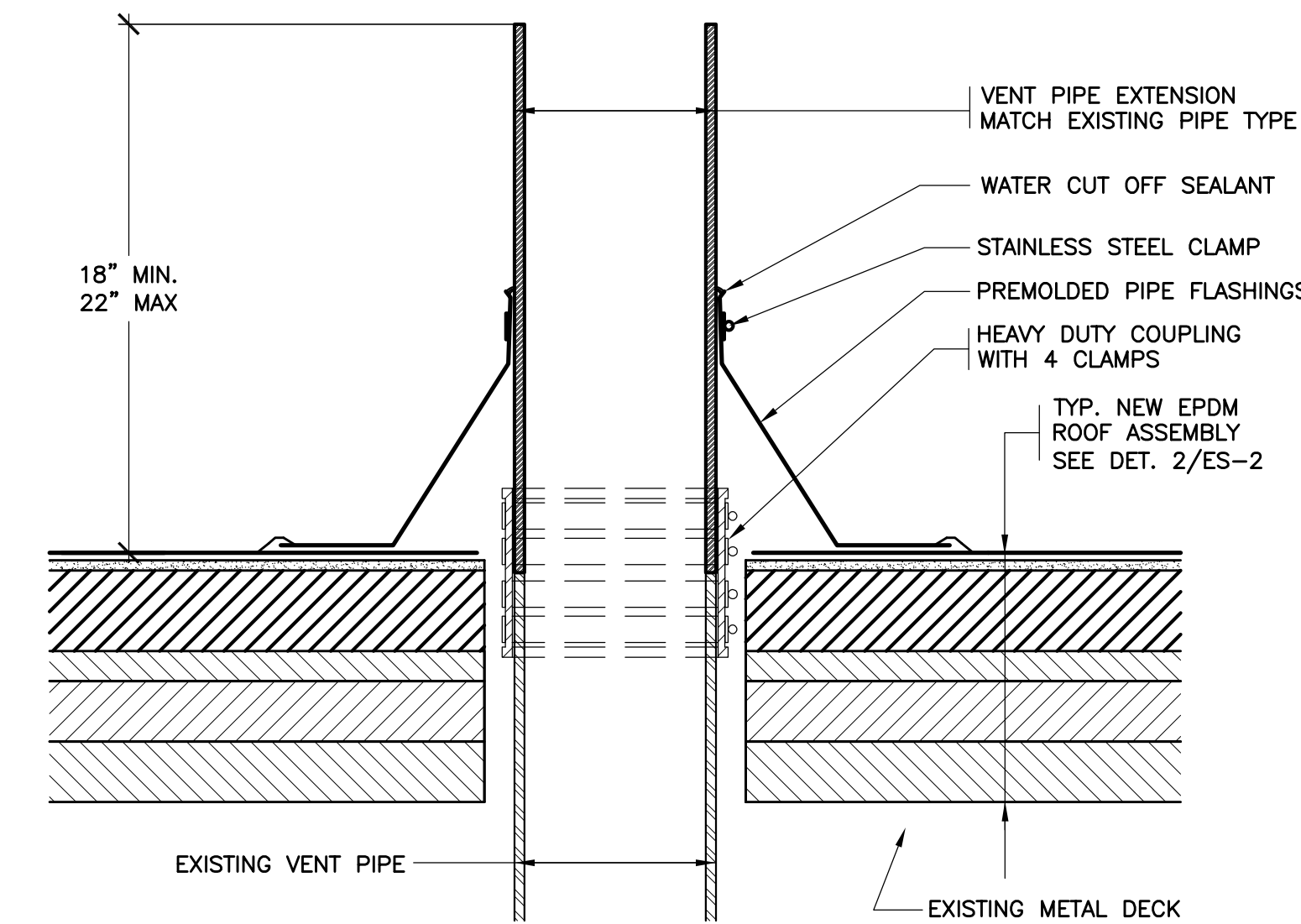
NY SED PROJECT CONTROL NO.

HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
ELEMENTARY SCHOOL	66-02-02-03-0-003-033
NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-5-004-008

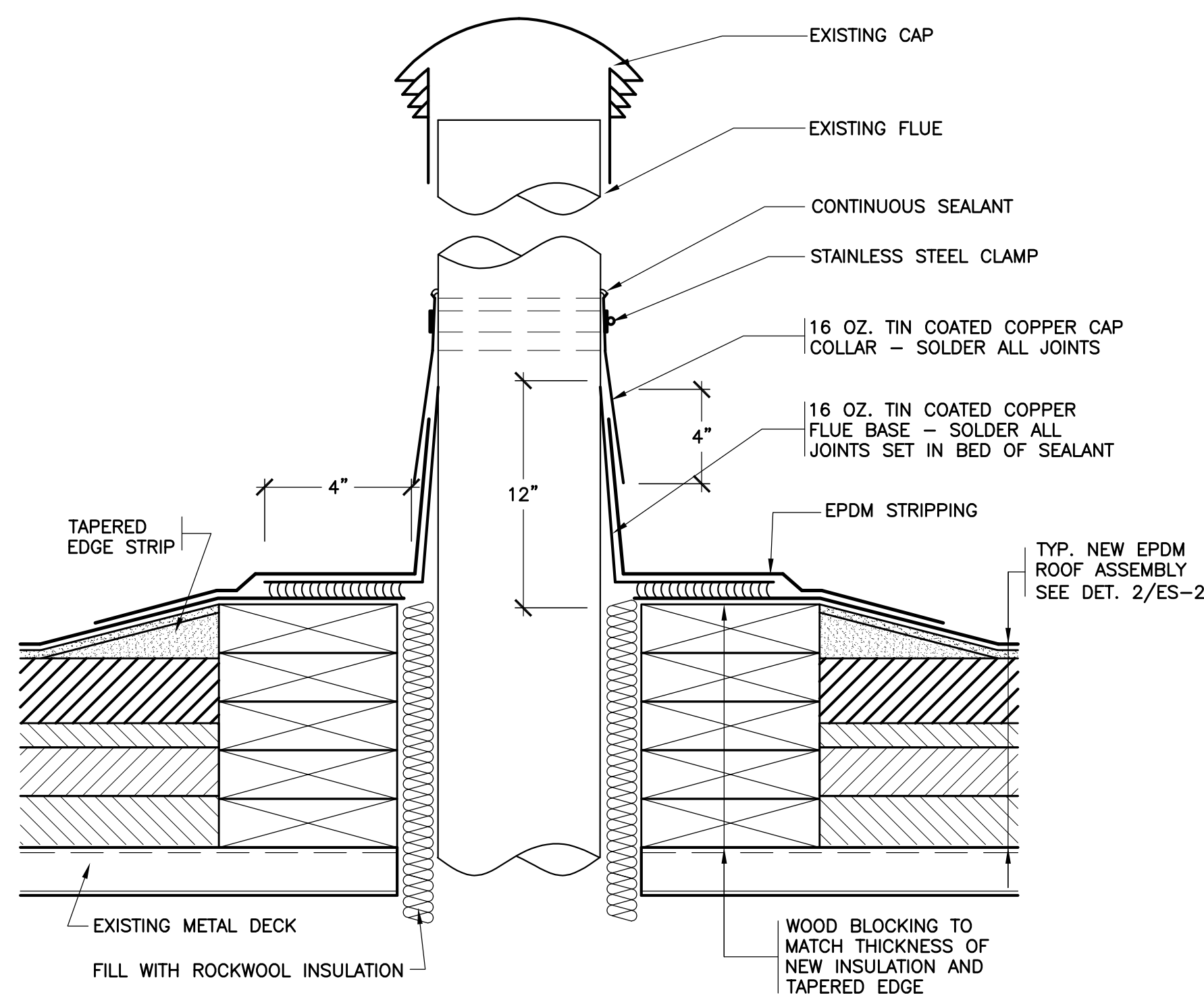
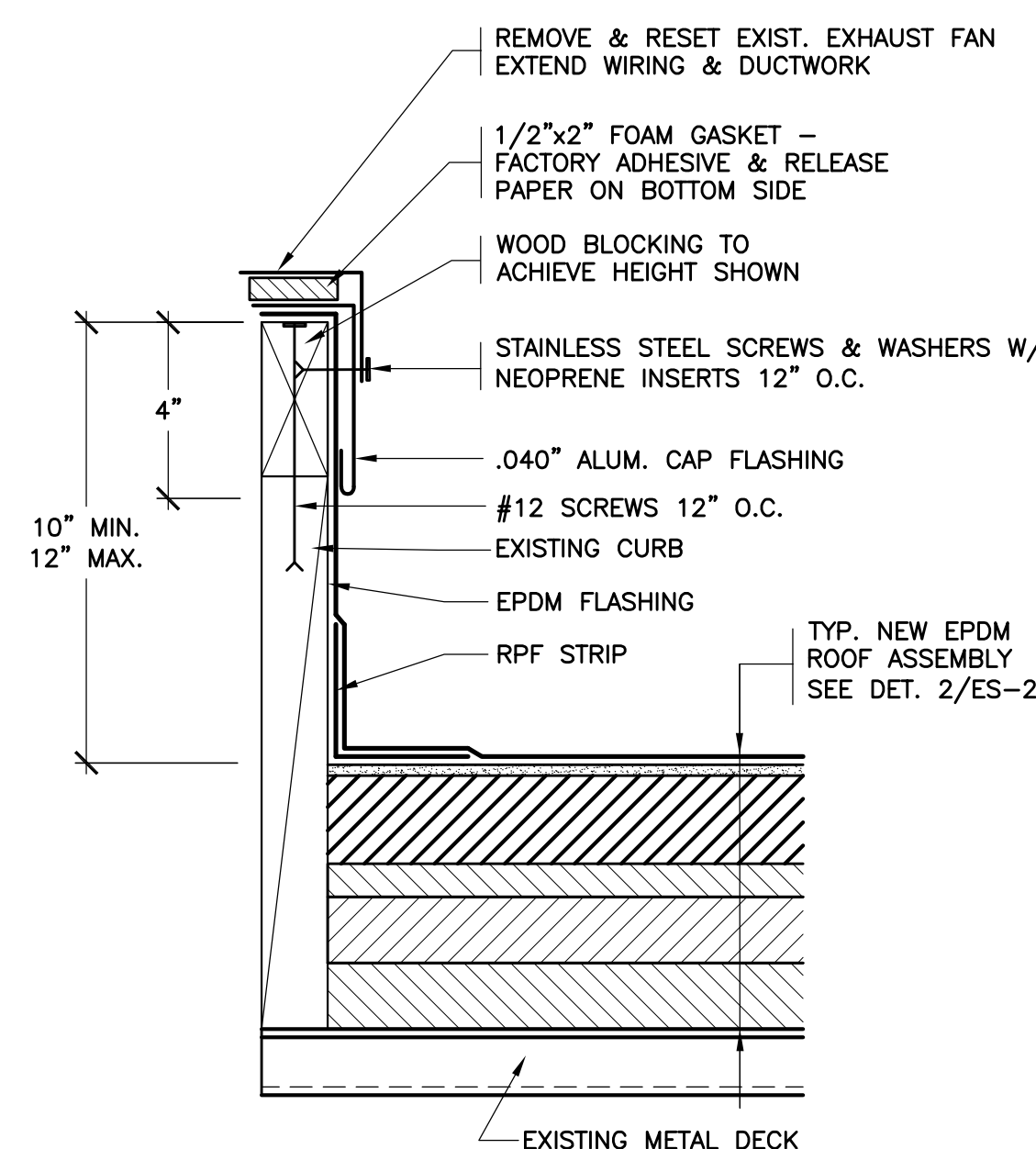
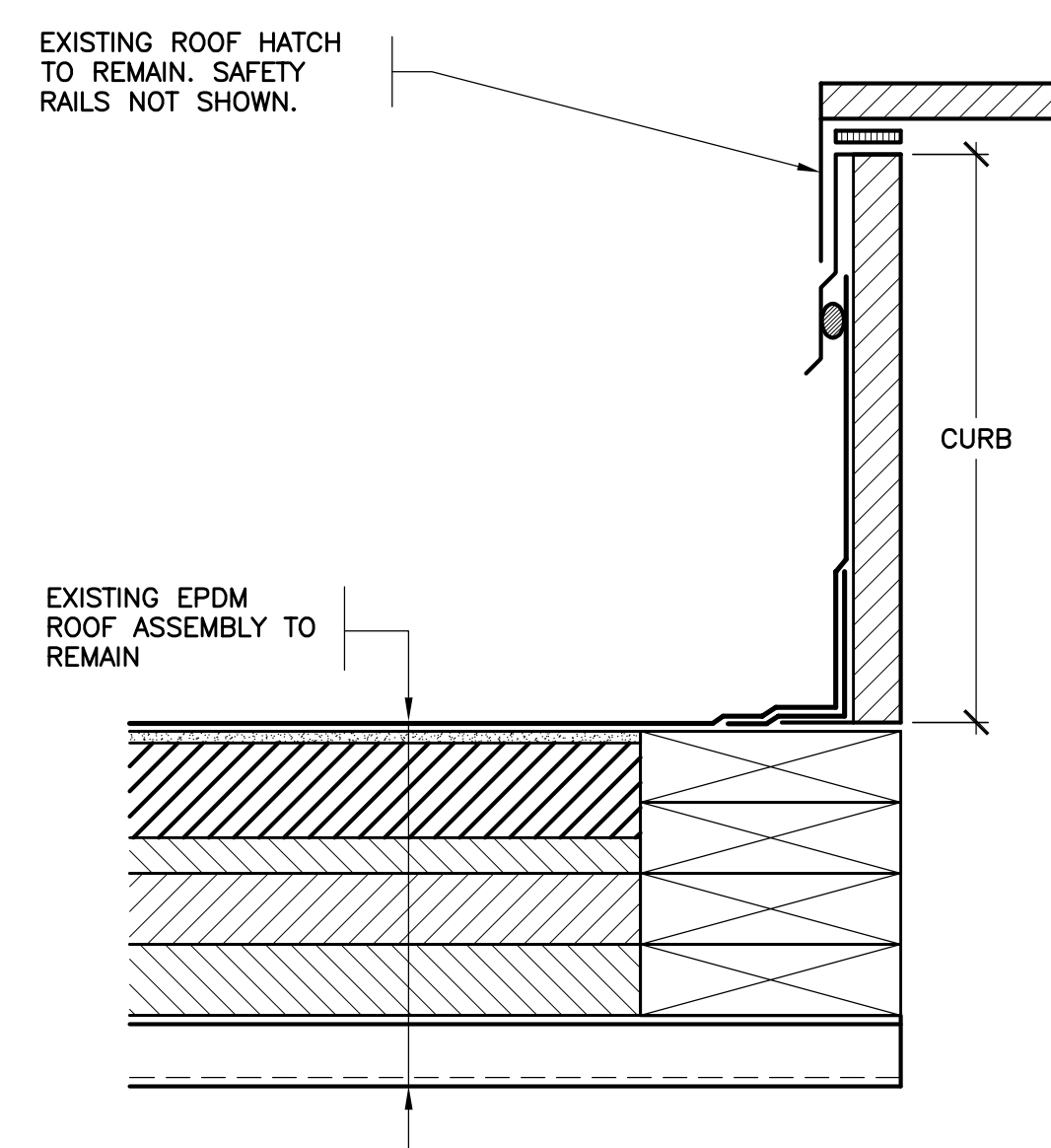
CONSTRUCTION DOCUMENTS

1 EXISTING EAVE
SCALE: 0" 1" 2" 4" 8"2 REVISED EAVE
SCALE: 0" 1" 2" 4" 8"3 EXISTING EAVE TRANSITION
SCALE: 0" 1" 2" 4" 8"4 REVISED EAVE TRANSITION
SCALE: 0" 1" 2" 4" 8"5 EXISTING PIER
SCALE: 0" 1" 2" 4" 8"6 REVISED PIER
SCALE: 0" 1" 2" 4" 8"

- NOTES:
1. REMOVE EXISTING ROOF DRAINS AND RELATED FLASHINGS.
 2. INSTALL TAPERED EDGE STRIPS & INSULATION FILLERS TO CREATE A MINIMUM 4 FT. x 4 FT. SQUARE SUMP AT EACH DRAIN.
 3. INSTALL INSULATION ON ALL HORIZONTAL DRAIN LINES, NEW VERTICAL DRAIN LINES AND THE UNDERSIDE OF THE NEW DRAIN BOWL.
 4. DO NOT INSTALL OVERFLOW DRAINS IN SUMPS, INSTALL FLUSH WITH ROOF SURFACE.

7 REVISED ROOF DRAIN
SCALE: 0" 1" 2" 4" 8"

- NOTES:
1. REMOVE ALL EXISTING FLASHINGS.
 2. REMOVE KENNEDY COUPLINGS AND EXTEND VENT PIPES TO MEET HEIGHT REQUIREMENT.
 3. INSTALL PREMOLDED PIPE FLASHINGS WHENEVER POSSIBLE. WHEN PREMOLDED PIPE FLASHINGS CANNOT BE INSTALLED USE FIELD WRAPPED FLASHINGS.

8 REVISED VENT PIPE
SCALE: 0" 1" 2" 4" 8"9 REVISED FLUE FLASHING
SCALE: 0" 1" 2" 4" 8"10 REVISED EXHAUST FAN
SCALE: 0" 1" 2" 4" 8"

NOTE:
INSTALL NEW SAFETY RAILS
ON THE EXISTING ROOF
HATCHES ON AREAS "K",
"L" & "P". REMOVE THE
EXISTING RAILS.

11 TYPICAL ROOF HATCH
SCALE: 0" 1" 2" 4" 8"

NOTE: ALL DESIGNS, DESIGNS, APPROVALS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KENNEDY GARRETT & ASSOCIATES, INC. (KG&A). NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KG&A.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION OF TITLE 16, SECTION 16-01 OF THE NEW YORK STATE LAW.

COPYRIGHT 2022 KENNEDY GARRETT & ASSOCIATES, INC. ALL RIGHTS RESERVED.

Professional Seal

2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS

No.	Date	Issue
-----	------	-------

Sheet Title

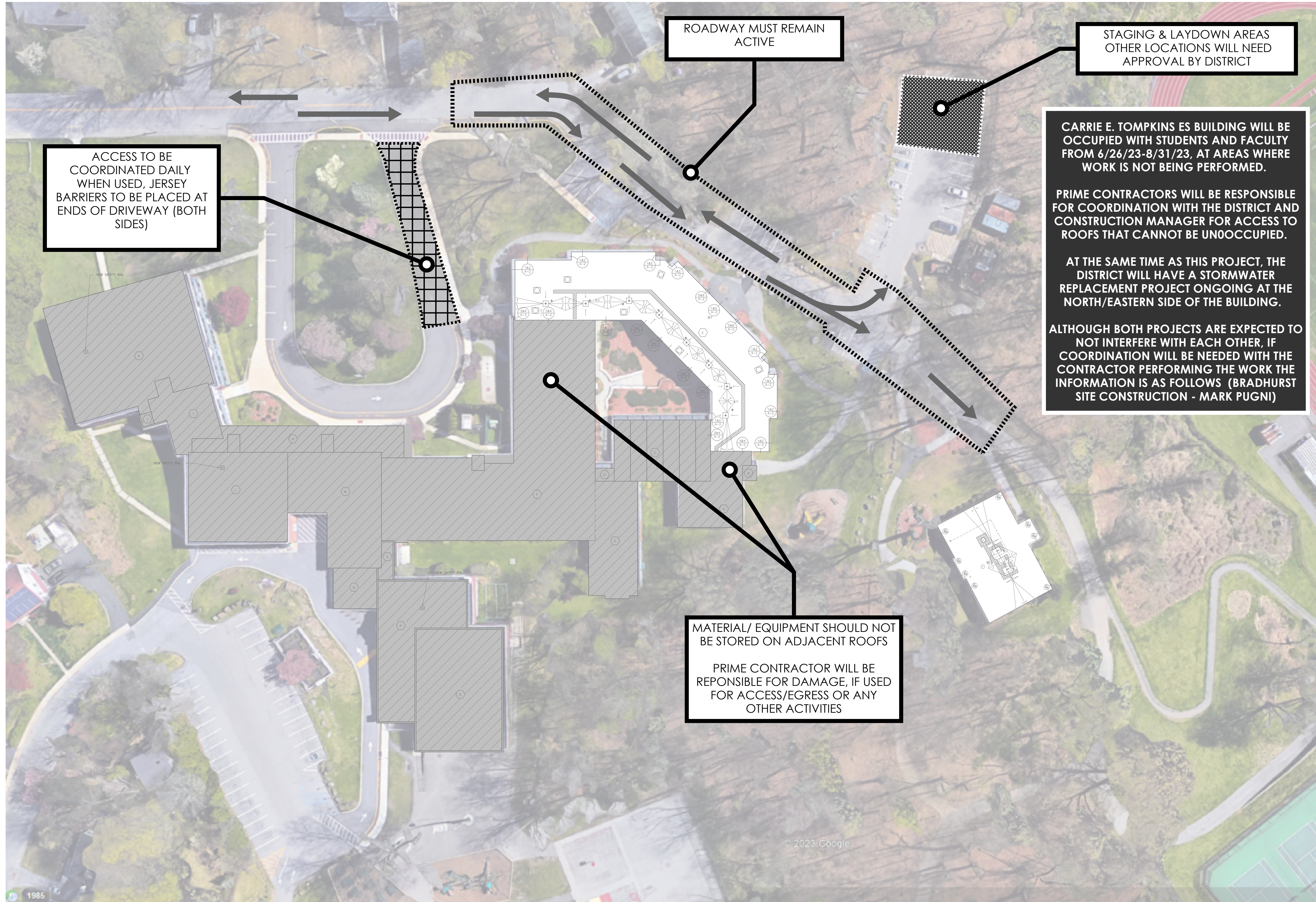
CARRIE E. TOMPKINS
E.S.
ROOF DETAILS

Job No.	2023-1002	Date	03/17/2023
---------	-----------	------	------------

Scale	AS NOTED	Drawn / Checked	
-------	----------	-----------------	--

Sheet Number	
--------------	--

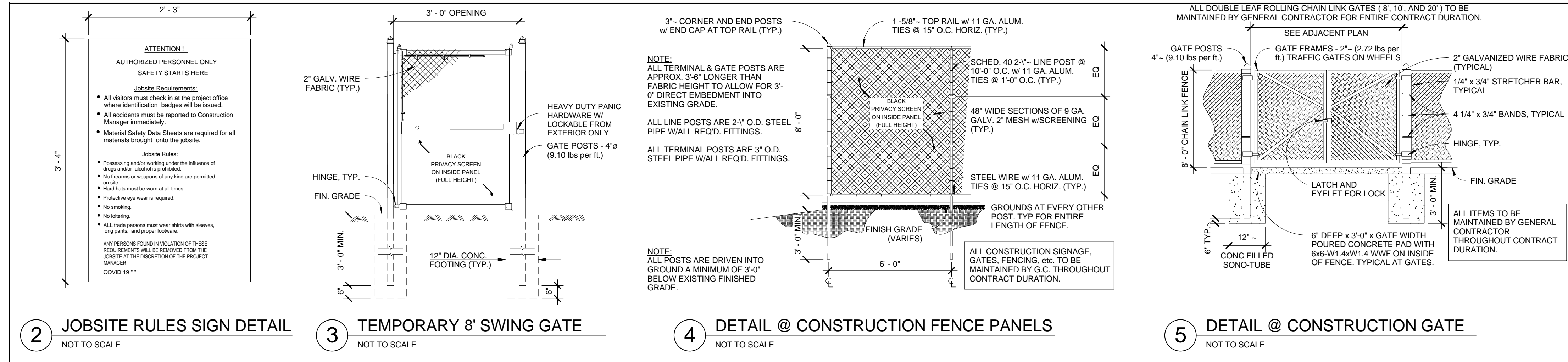
ES-2



1
CET/DO
LOG-1

CARRIE E. TOMPKINS ES & DISTRICT OFFICE ROOF PROJECT - OVERALL STAGING AND PHASING PLAN

SCALE = N.T.S.



MODIFICATION TO FENCE DETAILS 3.4.5/ GEN-SL-1:
TEMPORARY FENCE FOOTINGS MAY BE USED AS LONG AS THE STRUCTURE OF THE FENCE WITHSTANDS WINDSPEEDS IN EXCESS OF 110MPH

GENERAL LOGISTICS NOTES

1. ROOFING CONSTRUCTION TRADE PRIME CONTRACTOR IS TO PROVIDE 6'-0" TALL CONSTRUCTION FENCE W/ PRIVACY SCREEN AROUND ALL STORED MATERIAL AND ACTIVE WORK AREAS WHERE WORK IS BEING PERFORMED OVERHEAD OR AT GROUND LEVEL.
2. ALL PRIME CONTRACTORS TO UTILIZE THE STAGING LOCATION, PROVIDED BY THE ROOFING CONTRACTOR. EACH PRIME CONTRACTOR SHALL COORDINATE MATERIAL AND EQUIPMENT WITHIN STAGING LOCATIONS, WITH THE OTHER PRIME CONTRACTORS AND CM.
3. MATERIAL WILL NOT BE PERMITTED TO BE STORED OUTSIDE FENCED-IN AREAS OR IN AREAS NOT DESIGNATED BY THE CONSTRUCTION MANAGER/OWNER. MATERIAL STORAGE ON THE INTERIOR OF THE BUILDING THAT IS NOT USED WITHIN 72HRS, WILL NOT BE PERMITTED.
4. ALL CRANES PICKS SHOULD BE SCHEDULED TO TAKE PLACE DURING THE SUMMER MONTHS, OR DURING AFTER-HOURS. THE PRIME CONTRACTOR PERFORMING THE CRANE PICK, ASSUMES ALL RESPONSIBILITY FOR RESTORATION OF THE LANDSCAPE/HARDSCAPE THROUGH APPROVAL BY THE ARCHITECT/CIVIL ENGINEER/CM.

CRANE PICKS THAT REQUIRE UTILIZING THE VILLAGE/TOWN/CITY/STATE ROAD WILL REQUIRE THE CONTRACTOR TO FILE ANY PERMITS NEEDED TO SHUTDOWN THE ROAD/LANES FOR THEIR CRANE OPERATIONS. ANY COST ASSOCIATED WITH THE PERMITTING PROCESS OR FINES INCURRED AS A RESULT OF NOT FILING THE CORRECT PERMITS, WILL BE THE RESPONSIBILITY OF THAT CONTRACTOR PERFORMING THE CRANE PICK.

CRANE PICKS, BOOM LIFTS OR ANY OVERHEAD MATERIAL TRANSPORTATION WILL NOT BE ALLOWED WITHIN 20' OF AN OCCUPIED SPACE. THE PRIME CONTRACTOR PERFORMING THE CRANE PICK/BOOMING, WILL BE REQUIRED TO SUBMIT A CRANE/BOOM LOGISTICS PLAN SHOWING THE WORKING RADIUS OF THE EQUIPMENT AWAY FROM OCCUPIED SPACES.

5. THE ROOFING PRIME CONTRACTOR PROVIDING THE STAGING LOCATION IS RESPONSIBLE TO REPAIR THE GRADE, GRASS, SHRUBBERY, AND HARDSCAPES (ASPHALT/CONCRETE) AFTER REMOVAL OF FENCING AND MATERIAL FROM WITHIN THE STAGING LOCATION. THIS INCLUDES ANY REPAIRS AS A RESULT OF THEIR EQUIPMENT AND ACTIVITIES AROUND THE BUILDING AS A RESULT OF THEIR WORK. DAMAGE TO THE LANDSCAPE/HARDSCAPE AS A RESULT OF ANOTHER PRIME CONTRACTOR, OUTSIDE OF THE STAGING AREA, WILL BE THE RESPONSIBILITY OF THAT CONTRACTOR TO REPAIR.

THIS INCLUDES RESTORING ANY TEMPORARY LOGISTICS FOR EGRESS, SUCH AS WALKWAYS, ASPHALT RAMPS, ETC...

6. DELIVERIES ARE TO BE COORDINATED WITH THE CM AND OWNER TO AVOID INTERFERENCE WITH SCHOOL ACTIVITIES.

7. DUMPSTERS AND REFUSE CONTAINERS, PROVIDED BY THE ROOFING PRIME CONTRACTOR ARE FOR USE BY FOR ALL PRIME CONTRACTORS, AND ARE PERMITTED WITHIN STAGING AREAS. IF DUMPSTERS ARE NEEDED OUTSIDE OF STAGING AREAS, THEY WILL NEED TO BE SECURED AND SURROUNDED BY ADDITIONAL FENCING, LOCKED WITH PRIVACY MESH AND SIGNAGE - APPROVED BY THE CM AND THE OWNER.

8. EACH PRIME CONTRACTOR IS REQUIRED TO COORDINATE WITH THE CONSTRUCTION MANAGER AND ANY OTHER TRADE, THEIR OWN WORK, IN WHICH THEY MAY IMPACT OTHER TRADES OR THE OWNER AND ITS PROPERTY.

9. THE ROOFING CONSTRUCTION PRIME CONTRACTOR IS TO PROVIDE AND MAINTAIN PERIODICALLY ALL TEMPORARY CONSTRUCTION SIGNAGE AS SHOWN ON THE LOGISTICS PLANS AND PER NYS, OSHA AND LOCAL/FEDERAL GOVERNMENT REGULATION.

THIS INCLUDES BUT IS NOT LIMITED TO:
• JOBSITE RULES SIGN (3'-4" X 2'-3") SECURED TO SITE FENCE AT EACH ENTRANCE OF

THE STAGING AREA (4 MINIMUM - 1 AT EACH LOCATION)
• PERSONAL PROTECTIVE EQUIPMENT/ HARD HATS REQUIRED SIGNAGE AT 20' INTERVALS ON ENTIRE PERIMETER OF SITE FENCE.
• "NOTICE - PREVENT SPREAD OF CORONAVIRUS, SANITIZE/WASH YOUR HANDS FREQUENTLY", "WEAR FACE MASK WHILE MAINTAINING SOCIAL DISTANCING"

10. EACH PRIME CONTRACTOR WILL BE REQUIRED TO SCHEDULE DELIVERIES WITH THE CONSTRUCTION MANAGER AND THE DISTRICT. THE DISTRICT AND/OR THE CONSTRUCTION MANAGER HOLD THE RIGHT TO REJECT DELIVERIES IF NOT SCHEDULED WITH THE CONSTRUCTION MANAGER OR DISTRICT WITH 72 HOURS OF THE DELIVERY.

11. EACH PRIME CONTRACTOR IS REQUIRED TO PROVIDE A (2X) DEDICATED FLAGMEN WHEN ACCEPTING DELIVERIES WITHIN/FROM THE STREET TO THE DEDICATED STAGING AREA. THE SITE AND SURROUNDING AREA MAY BE ACTIVE WITH STUDENTS AND FACULTY, REQUIRING THE UTMOST PROTECTION AND SAFETY.

12. PARKING FOR CONSTRUCTION PERSONNEL WILL BE ALLOWED ON SITE IN EXISTING PARKING SPACES DURING SUMMER CONSTRUCTION. ANY PARKING BEFORE OR AFTER THE SUMMER, CONTRACTOR'S WILL BE REQUIRED TO PARK OFF-SITE, AT NO ADDITIONAL COST TO THE OWNER.

13. WORKERS ARE REQUIRED TO WEAR ID BADGES, HIGH VISIBILITY VESTS, HARD HATS AND ALL OTHER REQUIRED PPE AT ALL TIMES WHILE ON SITE. WORKERS/PERSONNEL WITHOUT THESE REQUIREMENTS WILL BE ASKED TO BE REMOVED FROM THE SITE WITH A ONE-STRIKE POLICY.

14. INTERACTION BETWEEN CONSTRUCTION PERSONNEL AND STAFF/STUDENTS IS NOT PERMITTED. ANY PERSONNEL FOUND INTERACTING WITH STUDENTS OR FACULTY MAY BE ESCORTED BY LAW ENFORCEMENT FROM THE SITE. THIS IS A ZERO-STRIKE POLICY.

15. REFERENCE DIVISION 01 OF THE SPECIFICATIONS FOR ALL OTHER LOGISTICAL REQUIREMENTS IN HAND WITH INFORMATION INCLUDED ON THE LOGISTICS PLANS.

16. EACH PRIME CONTRACTOR MUST IMPLEMENT AND FOLLOW ALL NYS GUIDELINES AND REGULATIONS REGARDING COVID-19, INCLUDING BUT NOT LIMITED TO HAND WASHING/SANITIZING STATIONS, DISINFECTING, SOCIAL DISTANCING, CONTACT TRACING LOGS, ETC., COVID-19 PROTOCOLS, POLICY AND PROCEDURES MUST BE DETAILED AND INCLUDED IN EACH PRIME CONTRACTOR'S SAFETY MANUAL AND LOGISTICS PLAN AND IS TO BE SUBMITTED TO THE CONSTRUCTION MANAGER WEEKLY. THIS REQUIREMENT EXTENDS TO ALL SUBCONTRACTORS OF THE PRIME CONTRACTOR.

2022 CAPITAL PROJECTS

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520

KG+D listen imagine build
KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK . 10549
P-914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

TRITON CONSTRUCTION
550 7th Ave 14th Floor, New York, NY 10018
1279 Rte 300 1st Floor, Newburgh, NY 12550

CONSTRUCTION DOCUMENTS

NOTE: ALL IDEAL DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED IN THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEFER, GARMENT & DAVIDSON ARCHITECTS, PC (KGD), AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAL DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF KGD.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTICED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE 8, SECTION 28.13 OF NEW YORK STATE LAW.

COPYRIGHT KAEFER, GARMENT & DAVIDSON ARCHITECTS & ENGINEERS, PC. ALL RIGHTS RESERVED.

Professional Seal

No.	Date	Issue
1	4/20/2023	ISSUED FOR BID
Sheet Title		

CARRIE E. TOMPKINS ES & DISTRICT OFFICE ROOFING LOGISTICS

Job No.	2023-1002	Date	4/18/23
Scale	N.T.S.	Drawn / Checked	JH - TCC
Sheet Number			

CET/DO LOG-1

DISTRICT WIDE
ROOFING PROJECT

CROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520

KG+D

listen
imagine
build

KG+D . ARCHITECTS PC

285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.	
HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
ELEMENTARY SCHOOL	66-02-02-03-0-003-033
NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

NOTE: ALL DESIG. DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF ANDERSON GARNETT & JANDSON ARCHITECTS PC (AG&J), AND HAVE BEEN CREATED FOR USE ON THIS PROJECT. NONE OF SUCH DESIGNS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF AG&J.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION OF TITLE 16, SECTION 16-1.1 OF NEW YORK STATE LAW.
COPYRIGHT 2022 BY ANDERSON GARNETT & JANDSON ARCHITECTS & ENGINEERS, PC. ALL RIGHTS RESERVED.

Professional Seal

2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS
No.	Date	Issue

ADMIN
ROOF PLAN

Job No.	2023-1002	Date	03/17/2023
Scale	AS NOTED	Drawn /	Checked

Sheet Number

AD-1

GENERAL NOTES:

- THESE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.
- DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.
- ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
- TEST EACH DRAIN LINE WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. PROVIDE A WRITTEN REPORT OF ANY CLOGGED LINES TO THE OWNER.
A. CLOGGED DRAIN LINES REPORTED TO THE OWNER BEFORE WORK STARTS WILL BE CLEANED BY THE OWNER.
B. COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.
C. PERFORM WHATEVER WORK IS REQUIRED SO ALL DRAIN LINES ARE CLEAN AND FREE FLOWING UPON COMPLETION OF THE PROJECT.
- REMOVE AND RESET EXISTING AC CONDENSERS ON 2 X 2 FOOT X 2 INCH THICK CONCRETE PAVERS SET ON WALKWAY PADS A MINIMUM OF 10 FT. AWAY FROM THE ROOF EAVE. FASTEN THE CONDENSERS TO THE PAVERS WITH STAINLESS STEEL NAIL-INS. DISCONNECT, ADJUST, MODIFY, AND RECONNECT THE EXISTING SUPPLY & RETURN LINES AND CONDUITS.
- REMOVE AND RESET SITE LIGHT FIXTURES, WIRES AND CONDUITS THAT INTERFERE WITH THE NEW EAVE FLASHINGS. REPLACE COMPONENTS THAT CANNOT BE PROPERLY REINSTALLED.
- REMOVE EXISTING ROOF TOP ELECTRICAL CONDUIT AND GAS PIPE SUPPORTS. RE-SET THE CONDUIT AND PIPES ON ADJUSTABLE HEIGHT FACTORY MANUFACTURED PIPE SUPPORTS PLACED ON WALKWAY PADS SPACED 5 FEET ON CENTER. SECURE THE CONDUITS AND PIPES TO THE PIPE SUPPORTS WITH GALVANIZED CLIPS & BOLTS.
- REPAIR EXHAUST EQUIPMENT HOUSINGS SO THEY ARE WATERTIGHT; REPLACE ANY MISSING PIECES.
- INSULATE ALL NEW DRAIN LINES, AND THE UNDERSIDES OF THE NEW DRAIN BOWLS.
- INSTALL NEW WALKWAY PADS WHERE SHOWN ON THE ROOF PLAN.

ROOF PROTECTION NOTES:

- AVOID WALKING ON NEW AND EXISTING ROOF AREAS.
- DO NOT STORE MATERIAL OR EQUIPMENT, AND DO NOT PILE DEBRIS ON NEW AND EXISTING ROOF AREAS.
- INSTALL 1 INCH THICK EXTRUDED POLYSTYRENE INSULATION OVER 6 MIL FIRE RETARDANT POLYETHYLENE, COVERED WITH 2x10 WOOD PLANKS TO PROTECT ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.
- NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2 INCH OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.
- DO NOT COVER THE ROOF DRAINS. MAINTAIN THE ROOF DRAIN STRAINERS VISIBLE AND CLEAR AT ALL TIMES.

CODE COMPLIANCE REQUIREMENTS:

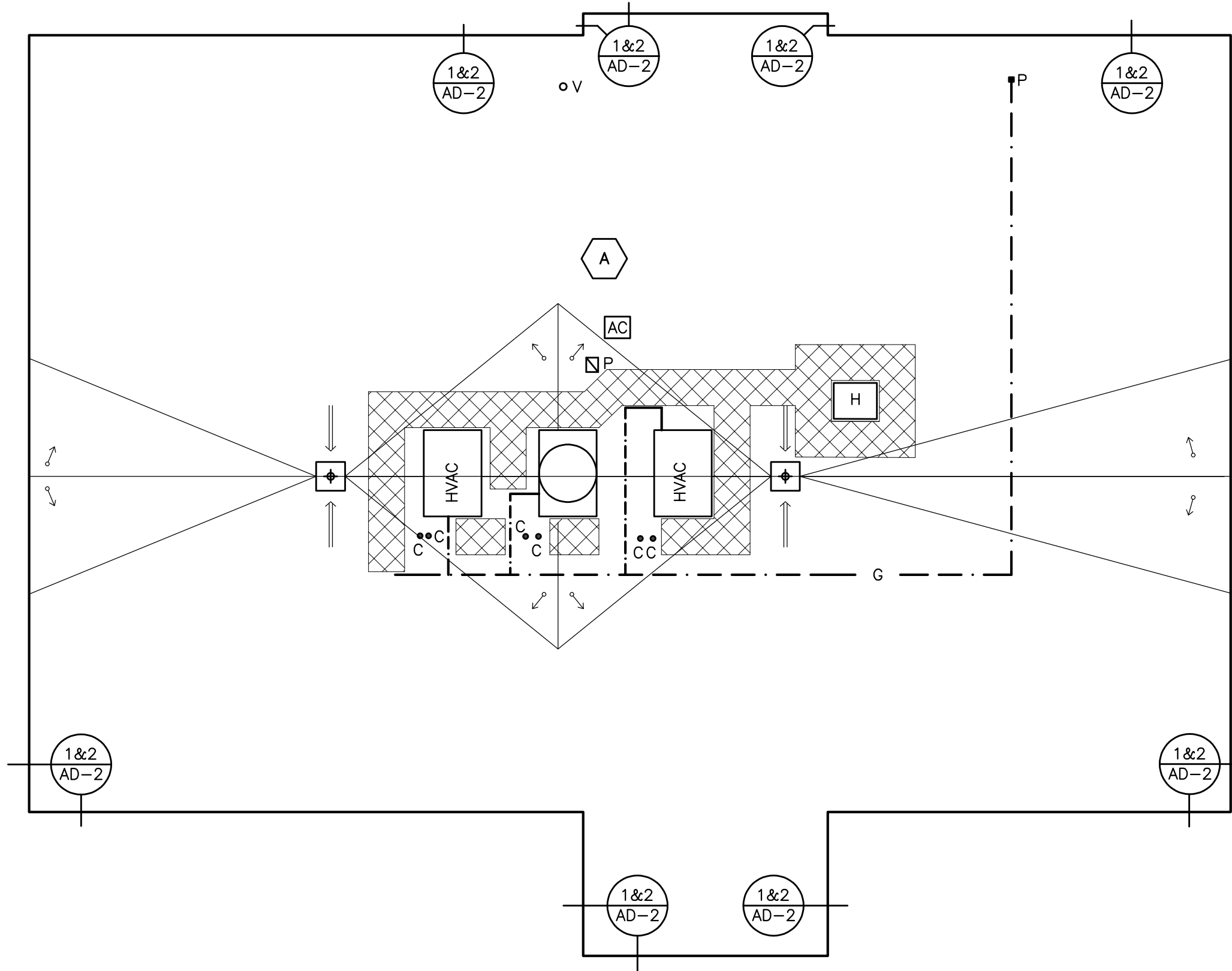
- INSTALL NEW ROOFING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:
A. NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, WHICH INCLUDES BY REFERENCE THE NEW YORK STATE ENERGY CONSERVATION CODE.
B. UNDERWRITERS LABORATORIES INC. CLASS A EXTERNAL FIRE RATING FOR ROOF ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E 108 OR UL 790.
C. UNDERWRITERS LABORATORIES INC. STANDARD 1256 FOR ROOF ASSEMBLIES WITH FOAM INSULATION.
- INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, BASED ON THIS CRITERIA:
RISK CATEGORY III
BASIC WIND SPEED 130 MPH
EXPOSURE CATEGORY B
BUILDING HEIGHT 30 FT.
- INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS, CALCULATED IN ACCORDANCE WITH ASCE 7 USING A SAFETY FACTOR OF 2:
FIELD ZONE: 90 PSF
PERIMETER ZONE: 135 PSF
CORNER ZONE: 150 PSF
- FABRICATE AND INSTALL ROOF PERIMETER FLASHINGS THAT COMPLY WITH THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND WITH ANSI/SPRI ES-1 "WIND STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS", ON A BUILDING USING THE CRITERIA DESCRIBED ABOVE.
- FABRICATE AND INSTALL WOOD BLOCKING COMPONENTS TO RESIST A FORCE OF 275 POUNDS PER LINEAL FOOT APPLIED IN ANY DIRECTION.

LEGEND:

- ROOF AREA DESIGNATION
- ROOF DRAIN (SEE DET. 3/AD-2)
- VENT PIPE (SEE DET. 4/AD-2)
- EXHAUST FAN (SEE DET. 5/AD-2)
- ROOF HATCH (SEE DET. 6/AD-2)
- PORTAL-PLUS CURB (SEE DET. 7/AD-2)
- HVAC CURB (SEE DET. 8/AD-2)
- SEALANT POCKET (SEE DET. 9/AD-2)
- GAS PIPE (SEE DET. 10/AD-2)
- TAPERED ISOCYANURATE INSULATION, SLOPE 1/8" PER FT
- CRICKET- SLOPE 1/4" PER FT
- WALKWAY PADS

DECK TYPE CHART & INSULATION REQUIREMENTS						
ROOF AREA	DECK TYPE	EXISTING THICKNESS OF INSULATION (FLAT)	STARTING THICKNESS OF NEW INSULATION	MIN. R-VALUE OF NEW & EXISTING INSULATION	AVERAGE THICKNESS OF NEW & EXISTING INSULATION	AVERAGE R-VALUE OF NEW & EXISTING INSULATION
A	METAL	2.75"	3"	30	7.7"	45.3

NOTES:
1. INSTALL CONTINUOUS INSULATION ABOVE THE DECK TO ACHIEVE A MINIMUM TOTAL R-VALUE OF 30, AND TO MEET THE NYS ENERGY CONSERVATION CONSTRUCTION CODE, INCLUDING THE INTERNATIONAL ENERGY CONSERVATION CODE AND THE NY STATE SUPPLEMENT, FOR A BUILDING IN CLIMATE ZONE 4.
2. INSTALL NEW TAPERED ISOCYANURATE INSULATION THAT SLOPES 1/8 INCH PER FOOT; MINIMUM STARTING THICKNESS 3 INCHES ON TOP OF THE EXISTING 2.75" INSULATION, UNLESS OTHERWISE NOTED. INSTALL THE ISOCYANURATE INSULATION IN MULTIPLE LAYERS, WITH THE THICKEST LAYER BEING 3 INCHES. STAGGER ALL JOINTS BETWEEN LAYERS AT LEAST 12 INCHES.
3. INSTALL ISOCYANURATE INSULATION CRICKETS OVER THE TAPERED INSULATION.
4. INSTALL A COVER BOARD USING LOW RISE FOAM ADHESIVE OVER THE INSULATION AND CRICKETS.

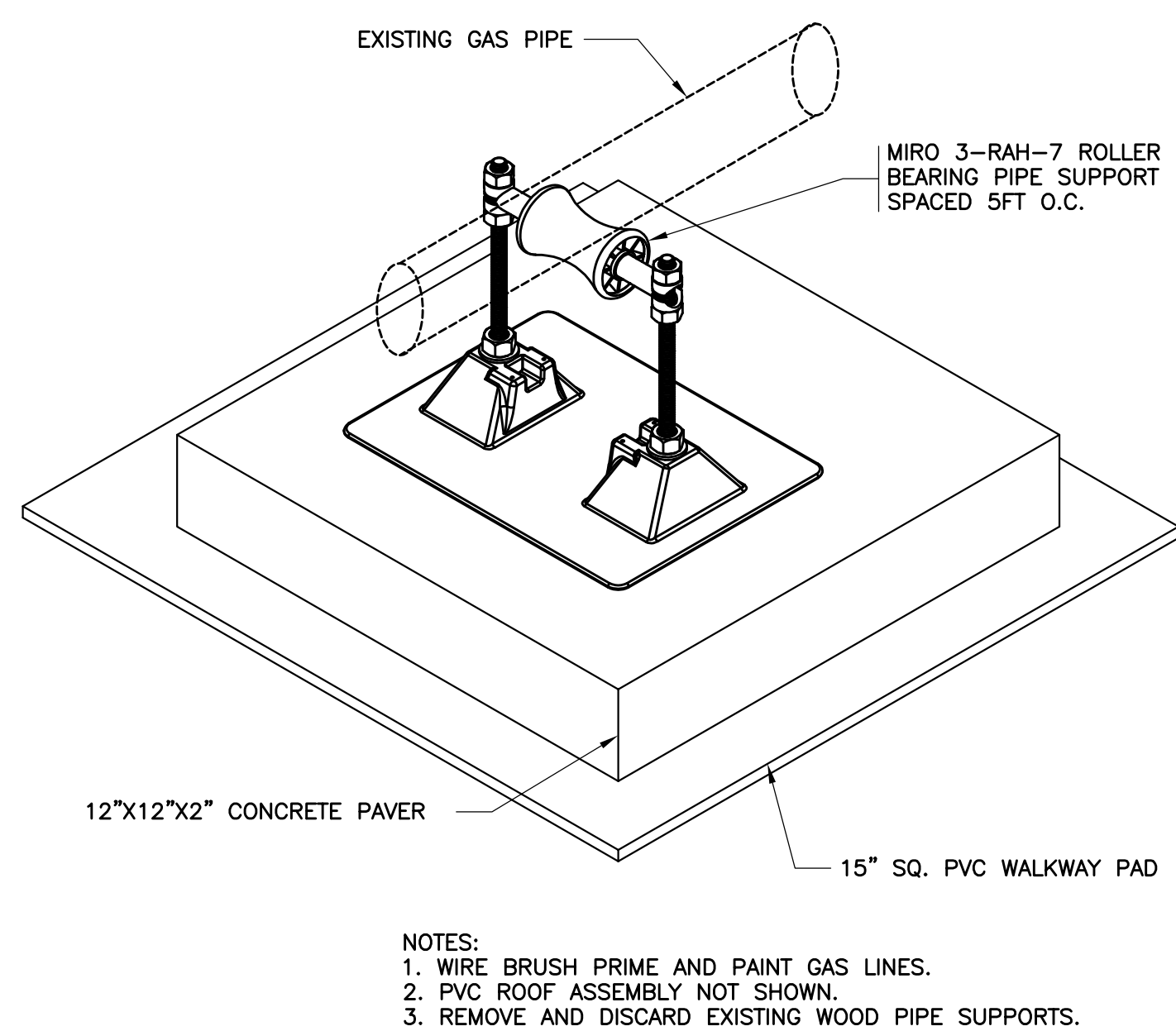
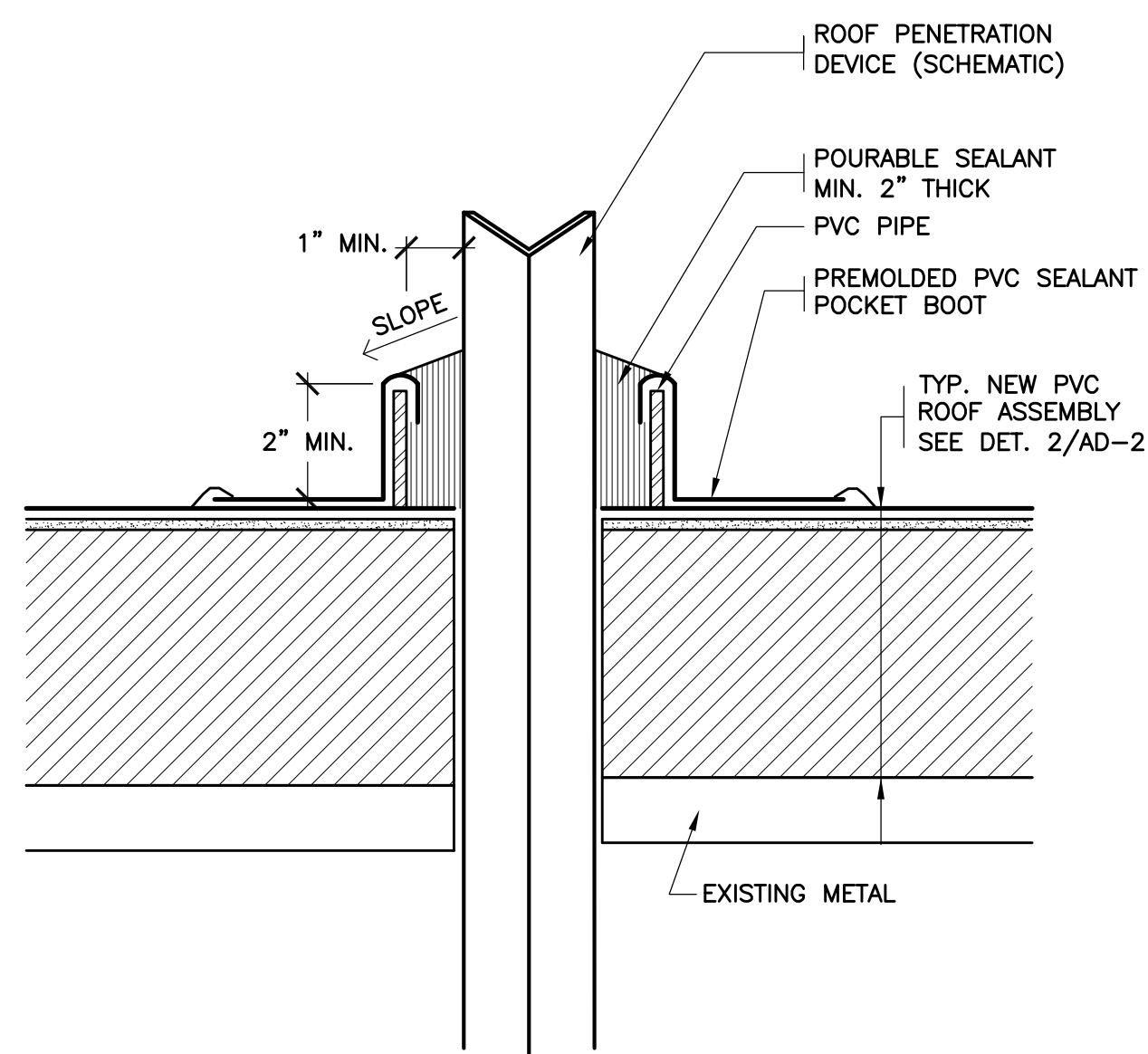
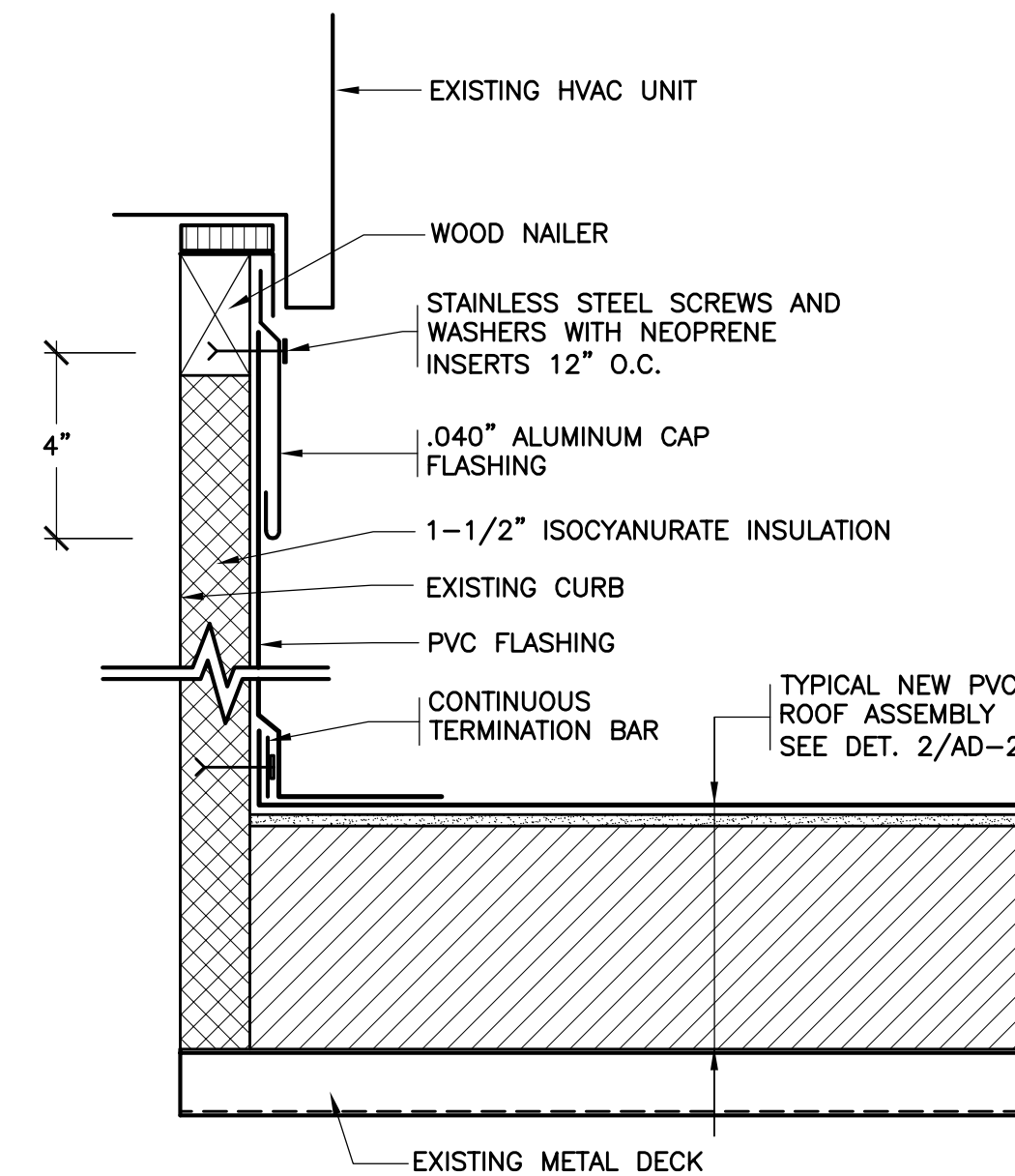
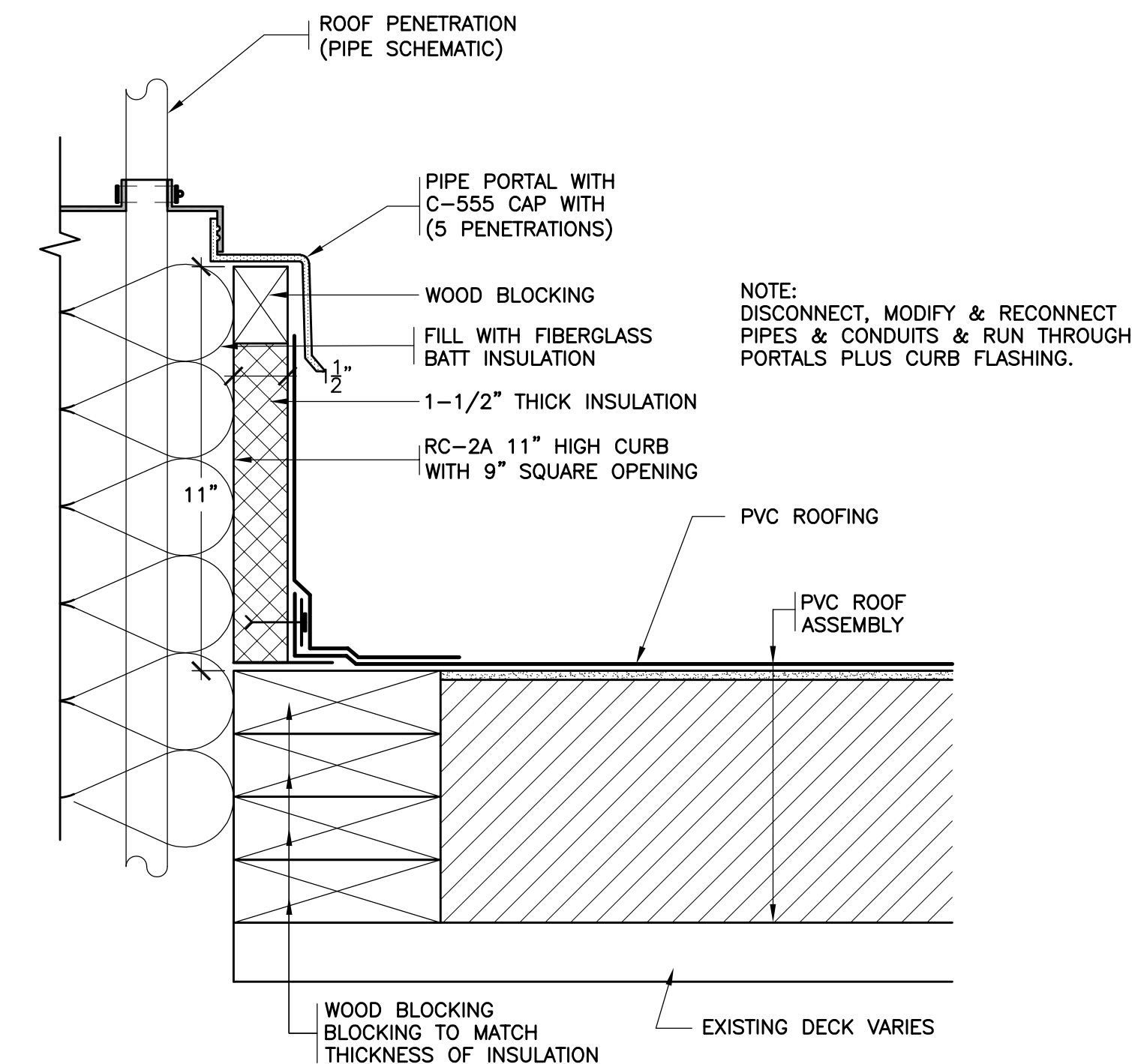
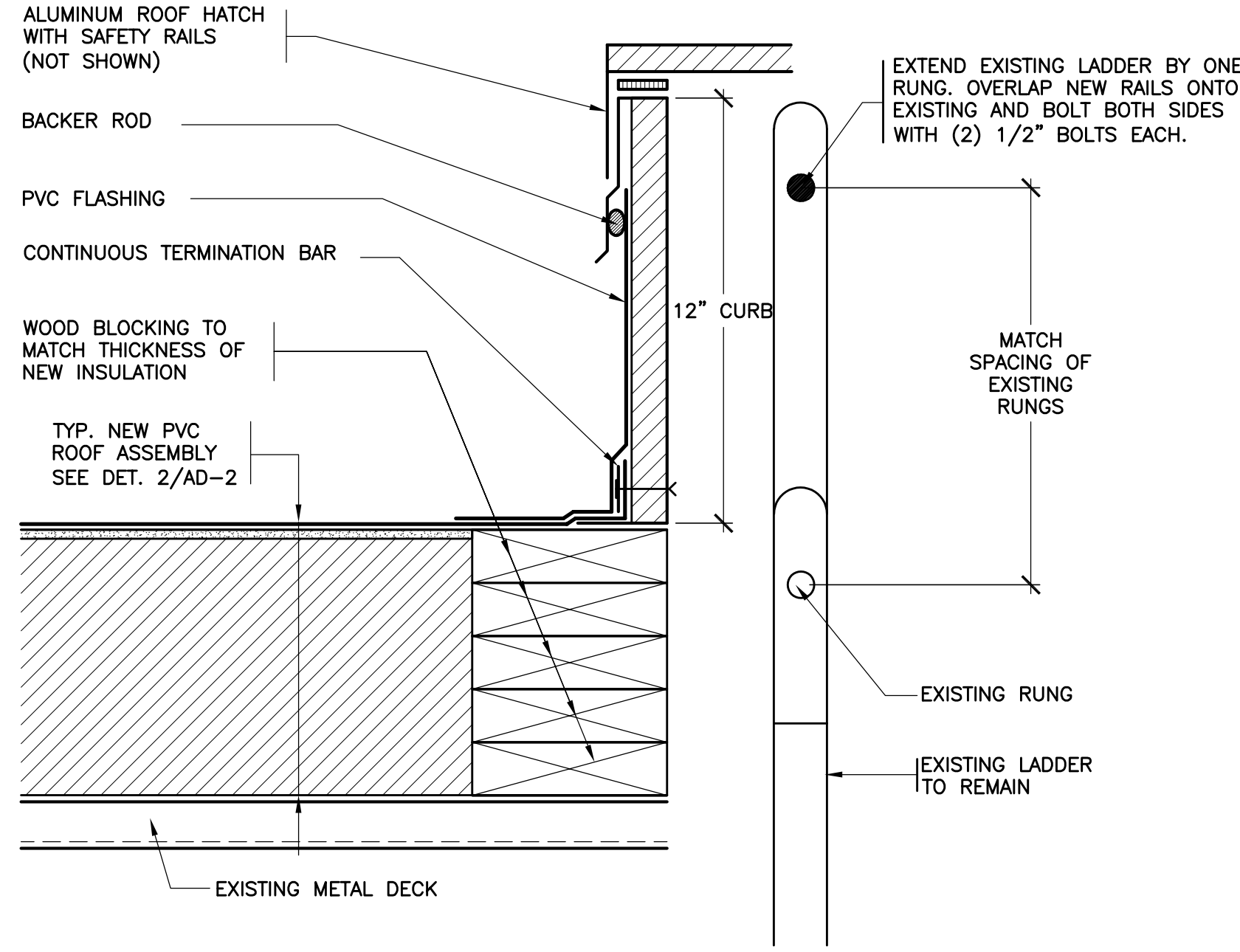
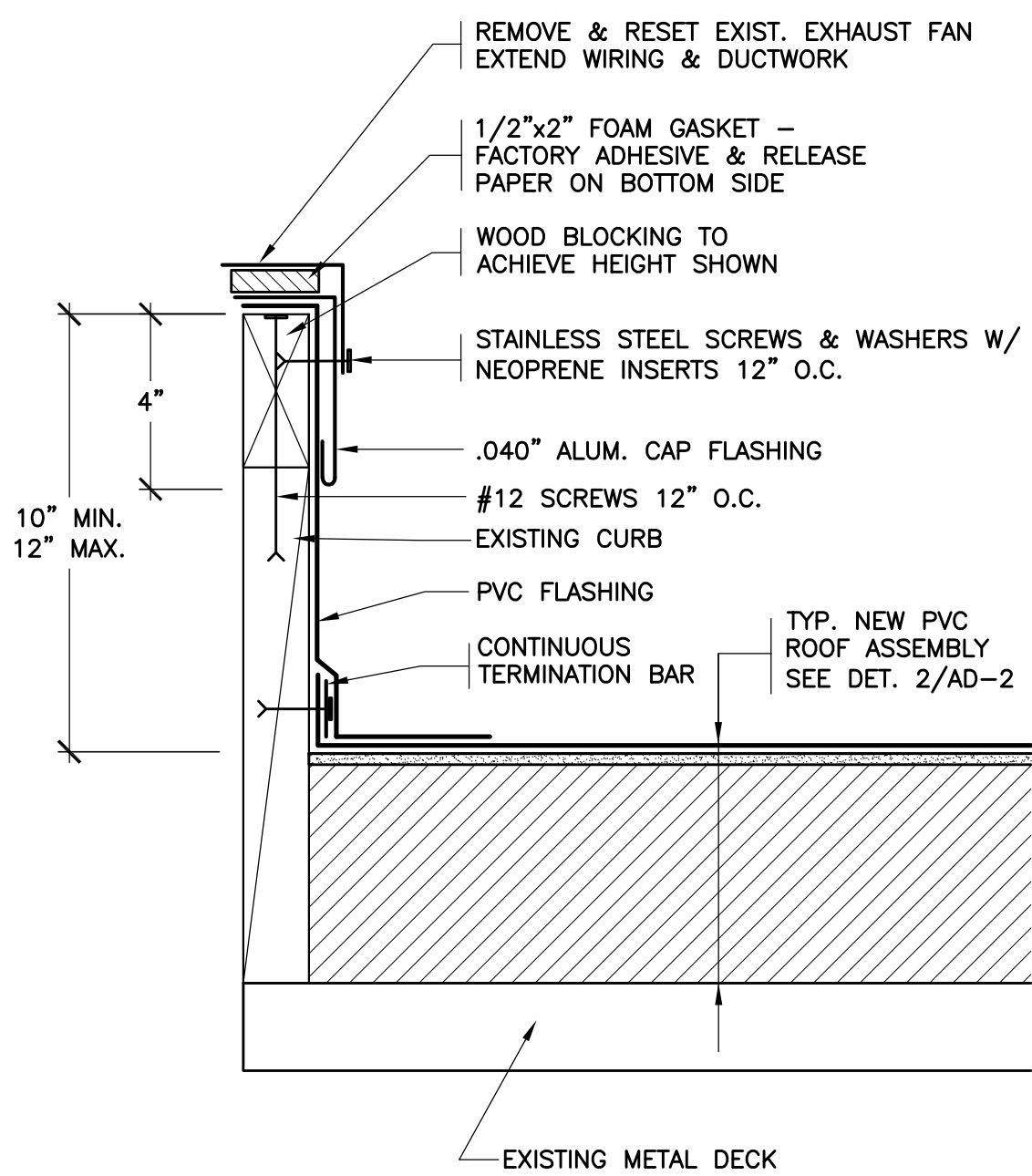
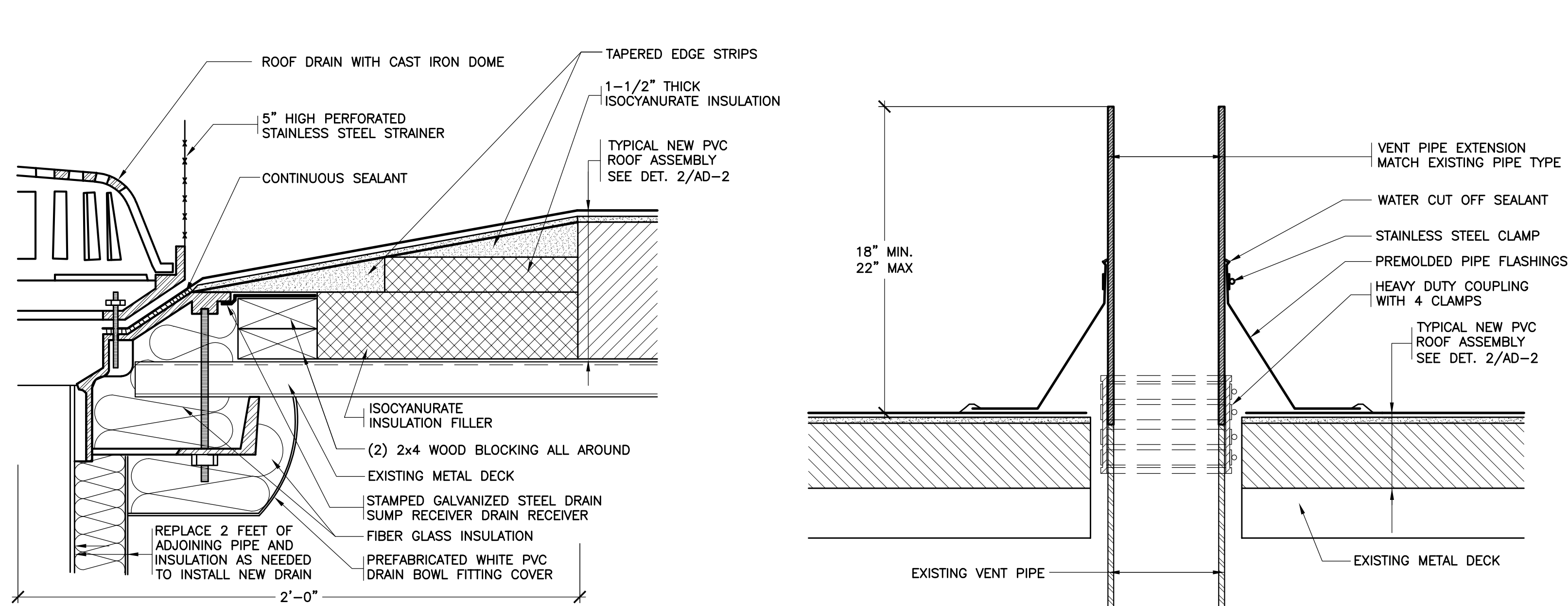
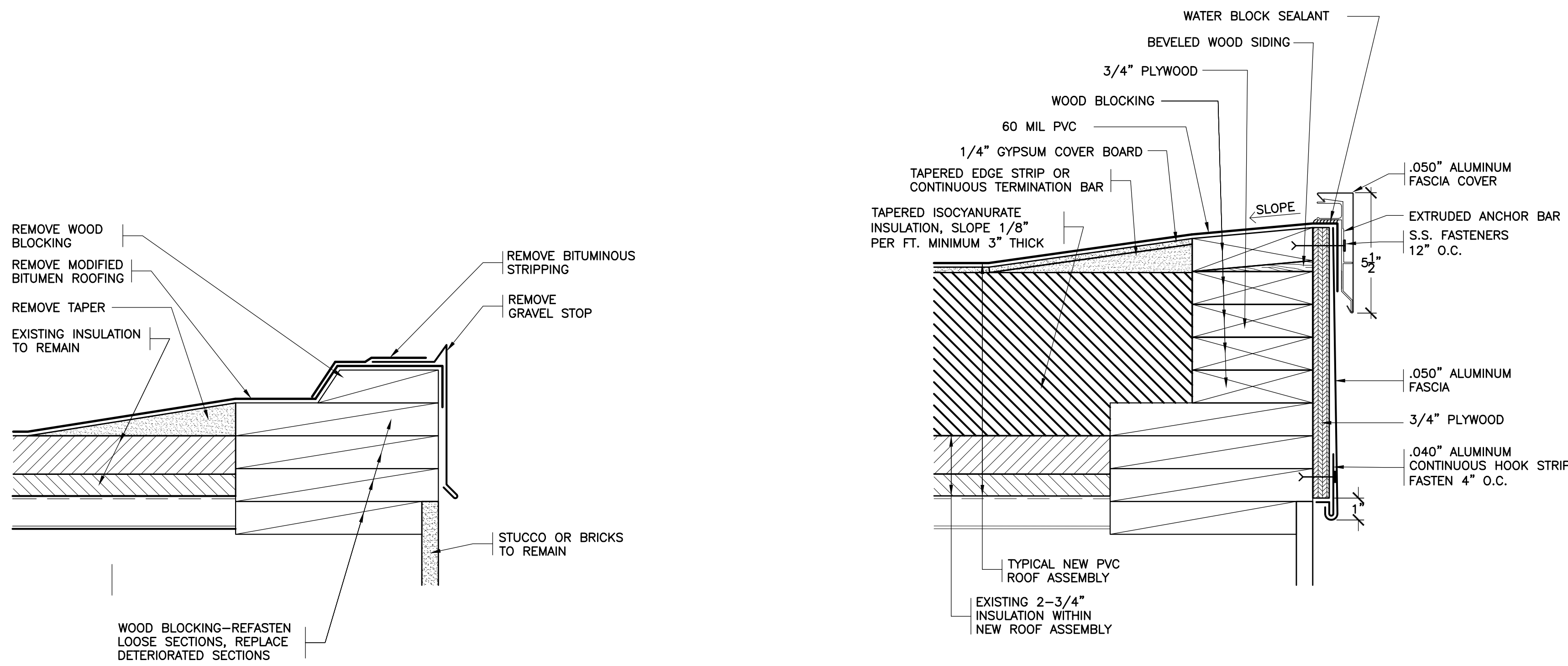


ROOF PLAN

0' 2' 4' 8'



PROJECT
NORTH



DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

NOTE: ALL DESIGNS, DETAILS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KIMBERLY GARRETT & JASONSON ARCHITECTS PC (KGAD), AND HAVE BEEN PREPARED FOR USE ON THIS PROJECT. NONE OF SUCH DESIGNS, DETAILS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF KGAD.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HEREIN, IS A VIOLATION OF TITLE 16, SECTION 16-150 OF NEW YORK STATE LAW.
COPYRIGHT 2022 KIMBERLY GARRETT & JASONSON ARCHITECTS & ENGINEERS, PC. ALL RIGHTS RESERVED.

Professional Seal

2 4/20/2023 BID SET
1 3/17/2023 CONSTRUCTION DOCUMENTS

No. 1 Date Issue

Sheet Title
ADMIN ROOF DETAILS

Job No. 2023-1002 Date 03/17/2023

Scale AS NOTED Drawn / Checked

Sheet Number

DISTRICT WIDE
ROOFING PROJECT

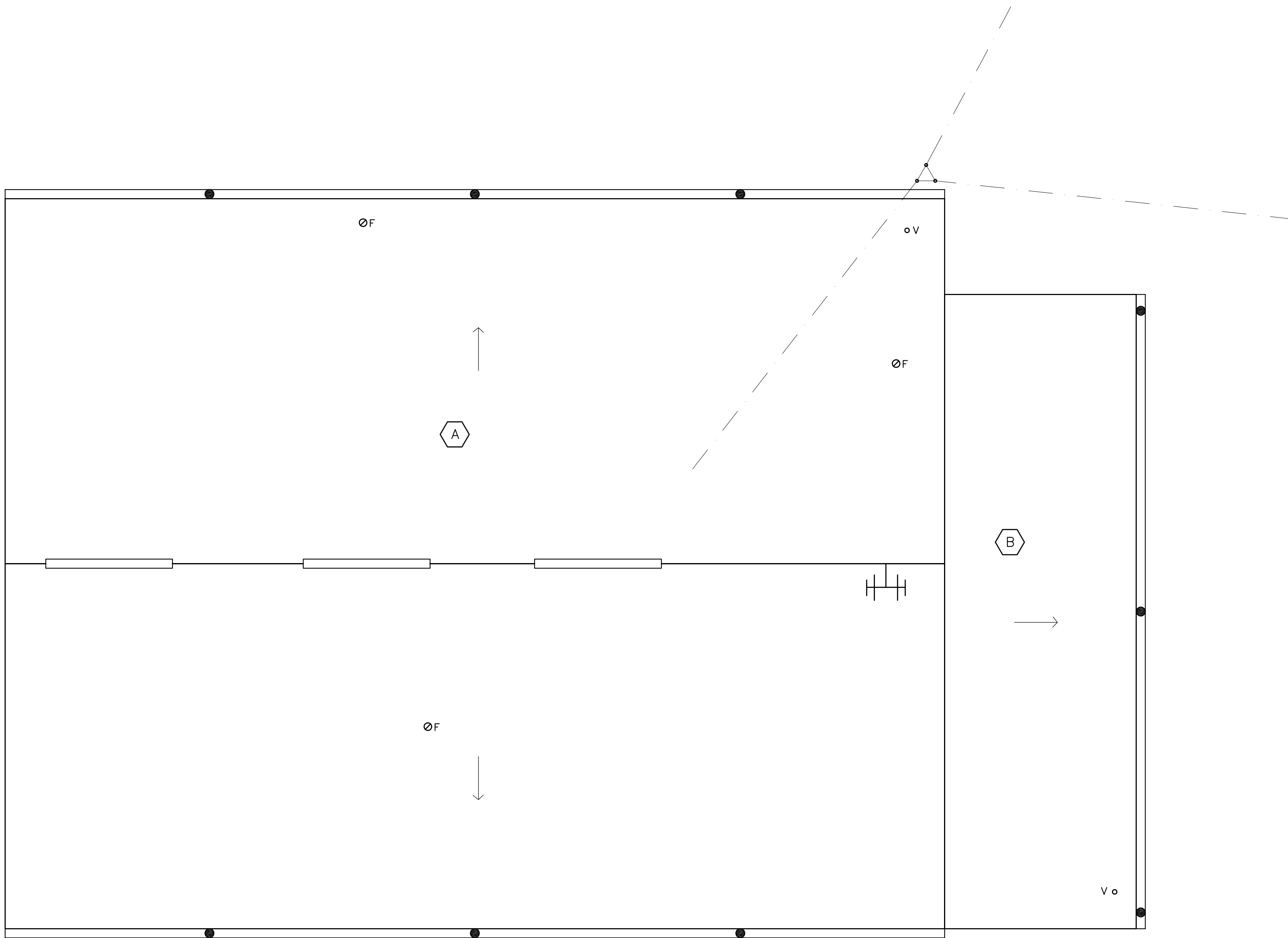
CROTON-HARMON UNION FREE
SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK
10520



KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.	
HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
ELEMENTARY SCHOOL	66-02-02-03-0-003-033
NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS	
------------------------	--



LEGEND:

- ROOF AREA DESIGNATION
- FLUE
- DECK SLOPE
- ANTENNA
- VENT PIPE
- FLUE
- GUTTER & LEADER
- RIDGE VENTILATOR

- GENERAL NOTES:
- THESE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.
 - DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.
 - ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
 - CLEAN THE GUTTERS.
 - TEST EACH DOWNSPOUT WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. REMOVE, CLEAN AND REINSTALL ANY CLOGGED DOWNSPOUTS.
 - INSTALL A NEW STORM COLLAR AND FLUE PIPE CAP, ON THE UNIT HEATER FLUE.
 - REMOVE LOOSE SCREWS, AND SCREWS WITH CRUSHED OR DETERIORATED NEOPRENE WASHERS; INSTALL ONE SIZE LARGER STAINLESS STEEL SCREWS & WASHERS WITH NEOPRENE INSERTS IN THE SAME HOLES.
 - INSTALL WHITE ETERNABOND SELF ADHESIVE ROOF SEAL STRIPS OVER SEAMS IN THE RIDGE CAP-VENT ASSEMBLY AND OVER SEAMS ON THE METAL ROOF ALONG ALL FOUR RAKE ENDS.
 - REPLACE THE GUY WIRE ATTACHMENT EYE-BOLTS, WITH 1/2 DIAMETER STAINLESS STEEL EYE BOLTS; DRILL OUT THE EXISTING HOLES SO THE NEW BOLTS FIT. INSTALL THE EYE BOLTS WITH DOUBLE NUTS AND WASHERS ABOVE AND BELOW THE METAL ROOF PANELS, SET THE WASHERS IN SEALANT.

ROOF PLAN
0' 2' 4' 8'



NOTE: ALL KEYS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KATHYER GARMENT & JANSOON ARCHITECTS PC (KGAD), AND HAVE BEEN CREATED FOR USE ON THIS PROJECT. NONE OF SUCH KEYS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF KGAD.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL ACTUAL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ALTERATIONS BY ANY PERSON IN ANY WAY OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE 16, SECT. 8-0.5 OF NEW YORK STATE LAW.

COPYRIGHT KATHYER GARMENT & JANSOON ARCHITECTS & ENGINEERS, PC. ALL RIGHTS RESERVED.

Professional Seal

2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS
No.	Date	Issue

Sheet Title
**BUS GARAGE
ROOF PLAN**

Job No. 2023-1002 Date 03/17/2023

Scale AS NOTED Drawn / Checked

Sheet Number

BS-1