

HIGHLAND CENTRAL SCHOOL DISTRICT HIGHLAND HIGH SCHOOL 2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1

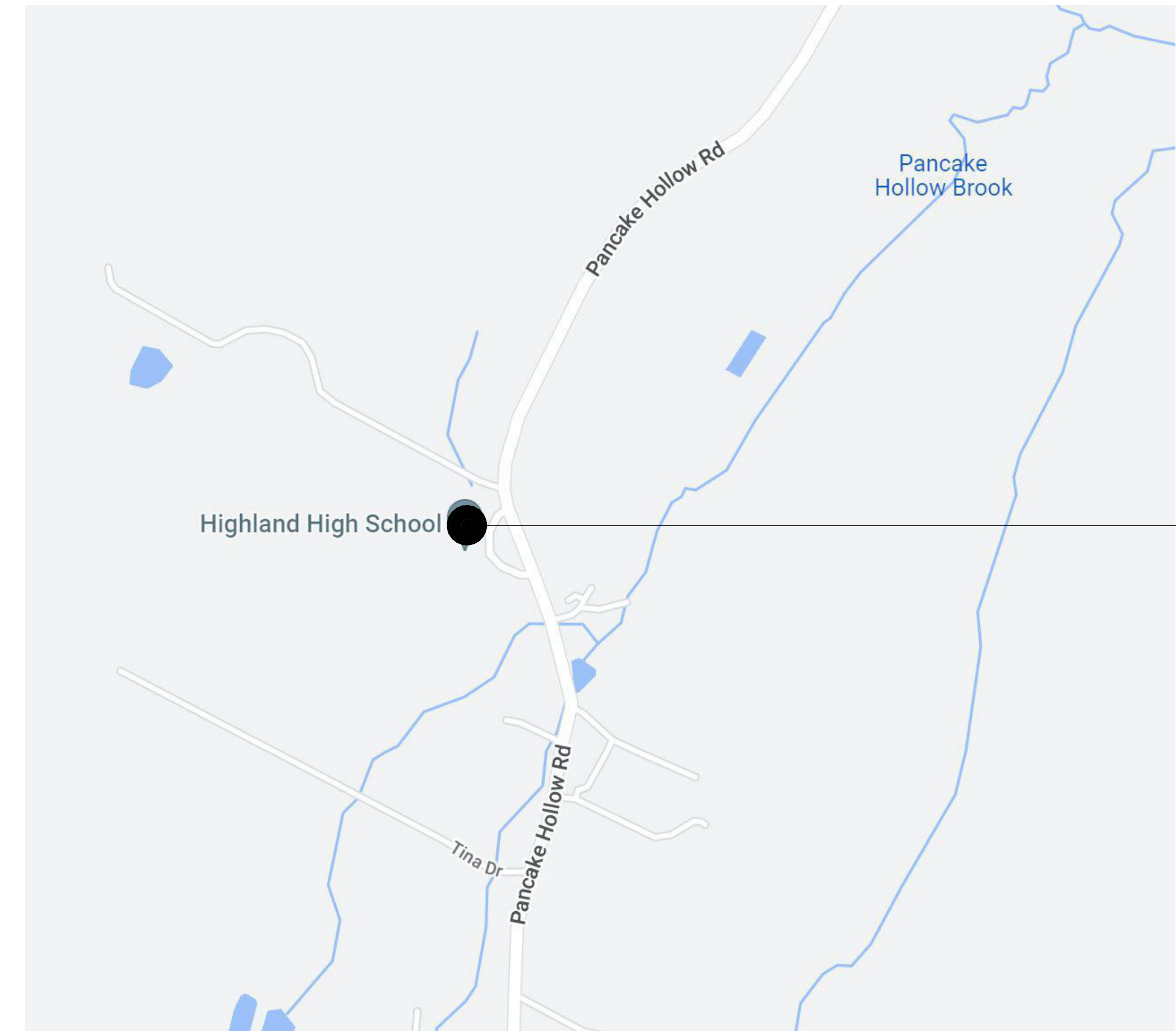


ISSUED FOR BID: 08/18/23

CSARCH - ARCHITECTS
PASSERO ASSOCIATES - SITE/CIVIL & STRUCTURAL ENGINEERS
BLAKE ENGINEERING, PLLC - M.E.P. ENGINEERS
QUALITY ENVIRONMENTAL SOLUTIONS & TECHNOLOGIES, INC. - HAZARDOUS MATERIALS DESIGNER

STATE EDUCATION DEPARTMENT PROJECT CONTROL NUMBER:
HIGHLAND HIGH SCHOOL 62-08-03-04-0-009-014
THE DESIGN OF THIS PROJECT CONFORMS TO APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AND THE MANUAL OF PLANNING STANDARDS OF THE NEW YORK STATE EDUCATION DEPARTMENT.

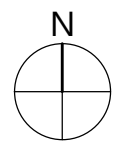
CSArch PROJECT NO. 197-2201.01



HIGHLAND HIGH SCHOOL
320 PANCAKE HOLLOW ROAD,
HIGHLAND, NY 12528

VICINITY MAP

NTS



DRAWING LIST

HIGHLAND HIGH SCHOOL (HHS)

GENERAL DRAWINGS

HHS G000 COVER
HHS G001 SYMBOLS, ABBREVIATIONS, KEY PLANS, AND MISC.

CIVIL DRAWINGS

HHS C130 EXISTING CONDITIONS, DEMOLITION, & PROPOSED CONDITIONS PLANS

LIFE SAFETY DRAWINGS

HHS LS111 FIRST FLOOR LIFE SAFETY PLAN – AREA 'A'
HHS LS112 FIRST FLOOR LIFE SAFETY PLAN – AREA 'B'
HHS LS115 FIRST FLOOR LIFE SAFETY PLAN – AREA 'E'

HAZARDOUS MATERIALS DRAWINGS

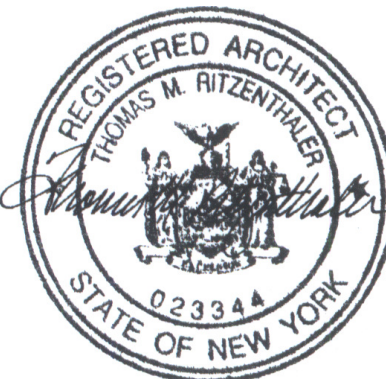
HHS HAZ000 ASBESTOS ABATEMENT NOTES
HHS HAZ101 HIGH SCHOOL FIRST FLOOR ABATEMENT PLAN

ARCHITECTURAL DEMOLITION DRAWINGS

HHS AD110 OVERALL FIRST FLOOR DEMOLITION PLAN
HHS AD111 FIRST FLOOR DEMOLITION PLAN – AREA 'A'
HHS AD112 FIRST FLOOR DEMOLITION PLAN – AREA 'B'
HHS AD113 FIRST FLOOR DEMOLITION PLAN – AREA 'C'
HHS AD115 FIRST FLOOR DEMOLITION PLAN – AREA 'D'
HHS AD400 OVERALL ROOF DEMOLITION PLAN

ARCHITECTURAL DRAWINGS

HHS A110 OVERALL FIRST FLOOR NEW WORK PLAN
HHS A111 FIRST FLOOR NEW WORK PLAN – AREA 'A'
HHS A112 FIRST FLOOR NEW WORK PLAN – AREA 'B'
HHS A113 FIRST FLOOR NEW WORK PLAN – AREA 'C'
HHS A115 FIRST FLOOR NEW WORK PLAN – AREA 'D'
HHS A351 SECTION DETAILS
HHS A400 OVERALL ROOF NEW WORK PLAN



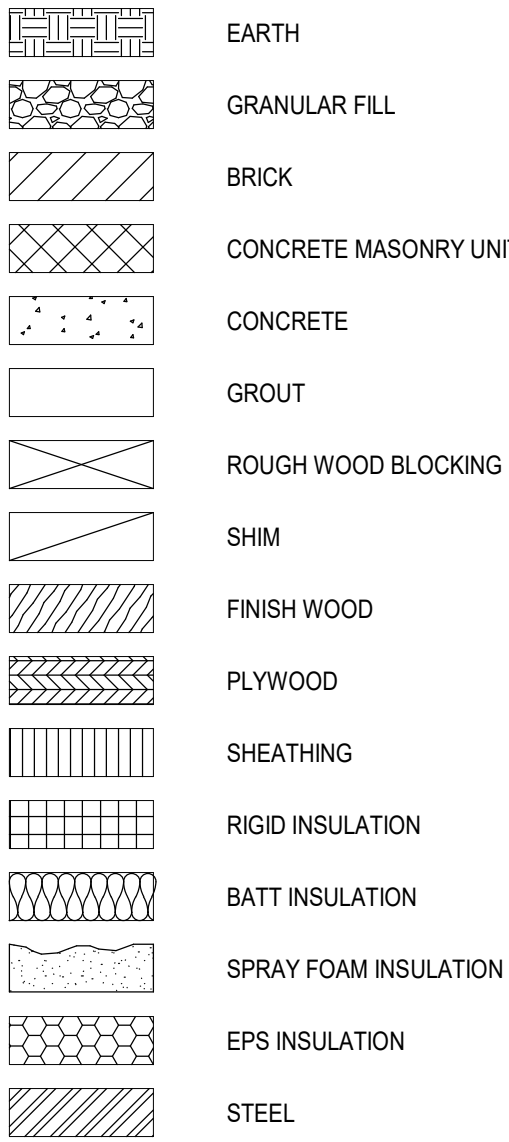
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ABBREVIATIONS

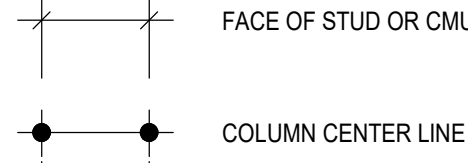
ABBREVIATION	DESCRIPTION
ADD	ADDENDUM
ADMIN	ADMINISTRATIVE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
APPROX	APPROXIMATE
ARCH	ARCHITECT / ARCHITECTURAL
AV	AUDIO VISUAL
BLDG	BUILDING
BOT OR B1	BOTTOM OF BASEMENT
BSMT	
CJ	CONTROL / CONSTRUCTION JOINT
CL	CENTERLINE
CLG / CLNG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONF	CONFERENCE
CONT	CONTINUOUS
COORD	COORDINATE
CORR	CORRIDOR
DEMO	DEMOLITION
DET	DETAIL
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
ED	EDUCATION
EIFS	EXTERIOR INSULATION FINISH SYSTEM
ELECT	ELECTRIC / ELECTRICAL
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EQ	EQUAL
EQUIP	EQUIPMENT
EXST	EXISTING
EJ	EXPANSION JOINT
EXT	EXTERIOR
FIN	FINISH
FIN FL	FINISH FLOOR
FKT	FIXTURE
FLR	FLOOR
FRT	FIRE-RETARDANT-TREATED MATERIAL
FTG	FOOTING
GA	GAUGE
GAL	GALLON
GALV	GALVANIZED(I)
GC	GENERAL CONTRACT(OR)
GND	GROUND
GWB	GYPSUM WALL BOARD
GWBS	GYPSUM WALL BOARD SOFFIT
HC	HANDICAPPED ACCESSIBLE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HTG	HEATING
HVAC	HEATING/VENTILATING/AIR CONDITIONING
ID	INSIDE DIMENSION
IN	INCH / INCHES
INT	INTERIOR
JAN	JANITOR
JC	JANITOR'S CLOSET
JST	JOIST
JT	JOINT
LAB	LABORATORY
LB	POUND
LN	LINEAR
LVL	LEVEL
MAN	MANUAL
MAS	MASONRY
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURE(R)
MD	MIDDLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTL	METAL
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OHHD	OVERHEAD
OFT	OPTIONAL
OZ	OUNCE
PERIM	PERIMETER
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLAS	PLASTER
PLYWD	PLYWOOD
PNL	PANEL
PNT	PAINT(ED)
POLYSO	POLYISOCYANURATE
PPT	PRESSURE PRESERVATIVE TREATED
PR	PAIR
PREP	PREPARATORY
PTN	PARTITION
PVC	POLYVINYL CHLORIDE
RAD	RADIUS
RB	RUBBER / RUBBER WALL BASE
REQD	REQUIRED
RM	ROOM
RND	ROUND
RO	ROUGH OPENING
SCH	SCHEDULED
SECT	SECTION
SF	SQUARE FEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STC	SOUND TRANSMISSION CLASS
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL / STRUCTURE
SUSP	SUSPENDED
SAC	SUSPENDED ACOUSTICAL CEILING
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
TECH	TECHNOLOGY
TEMP	TEMPERARY
TMPO	TEMPERED
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TYP	TYPICAL
UL	UNDERWRITERS LABORATORY
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VEST	VESTIBULE
VF	VERIFY IN FIELD
W	WITH
W/O	WITHOUT
WD	WOOD
WPT	WOOD PRESERVED-TREATED MATERIAL
WT	WEIGHT
YD	YARD

ARCHITECTURAL LEGEND

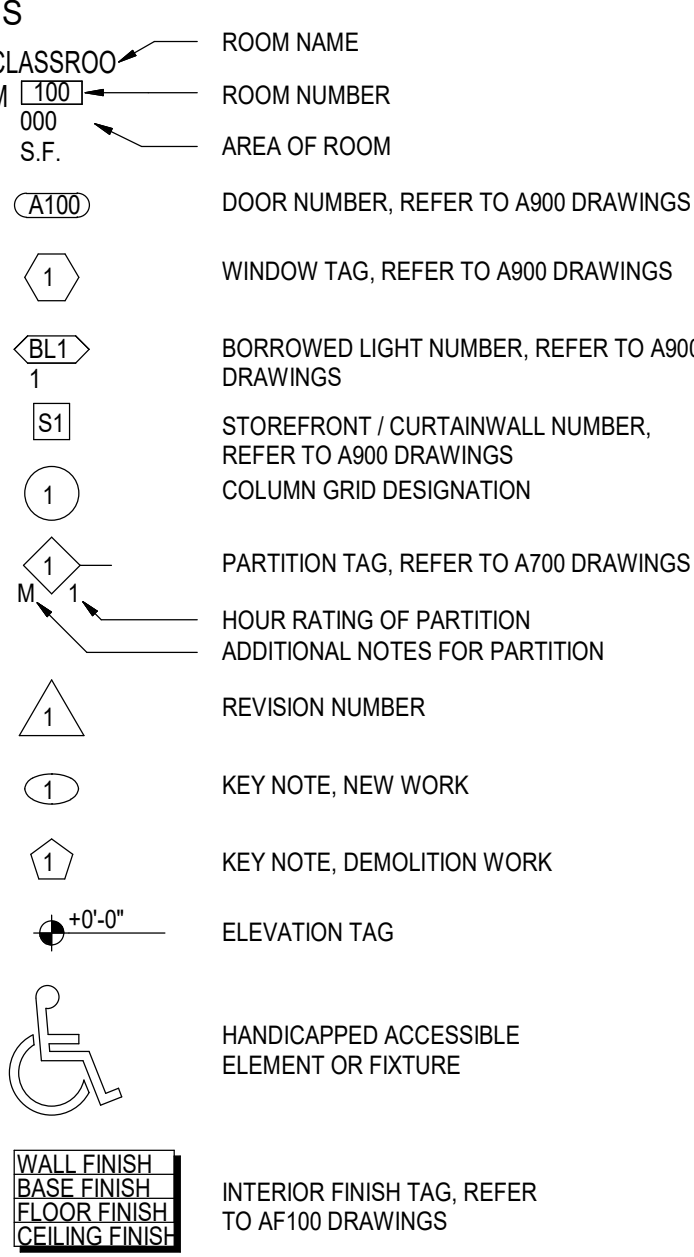
MATERIAL INDICATIONS



DIMENSIONING CONVENTIONS



SYMBOL

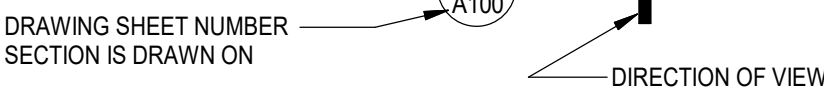


DETAIL INDICATOR LEGEND

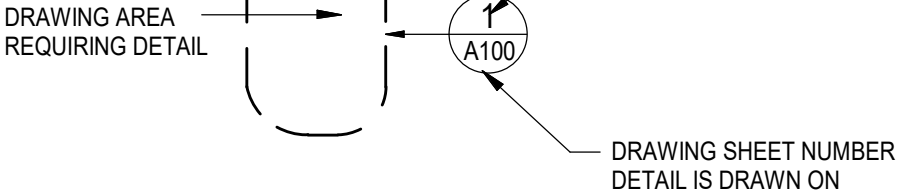
SECTION INDICATOR



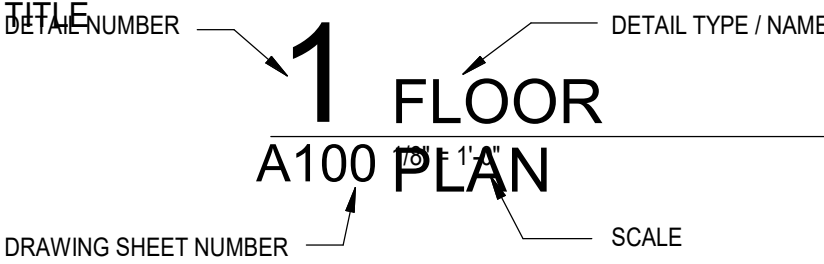
DETAIL INDICATOR (SECTION)



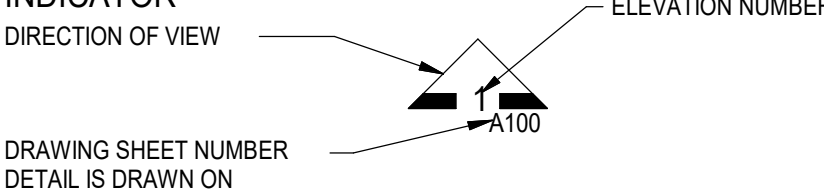
ENLARGED DETAIL INDICATOR



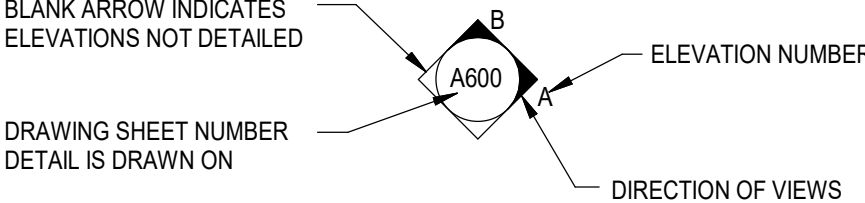
DETAIL



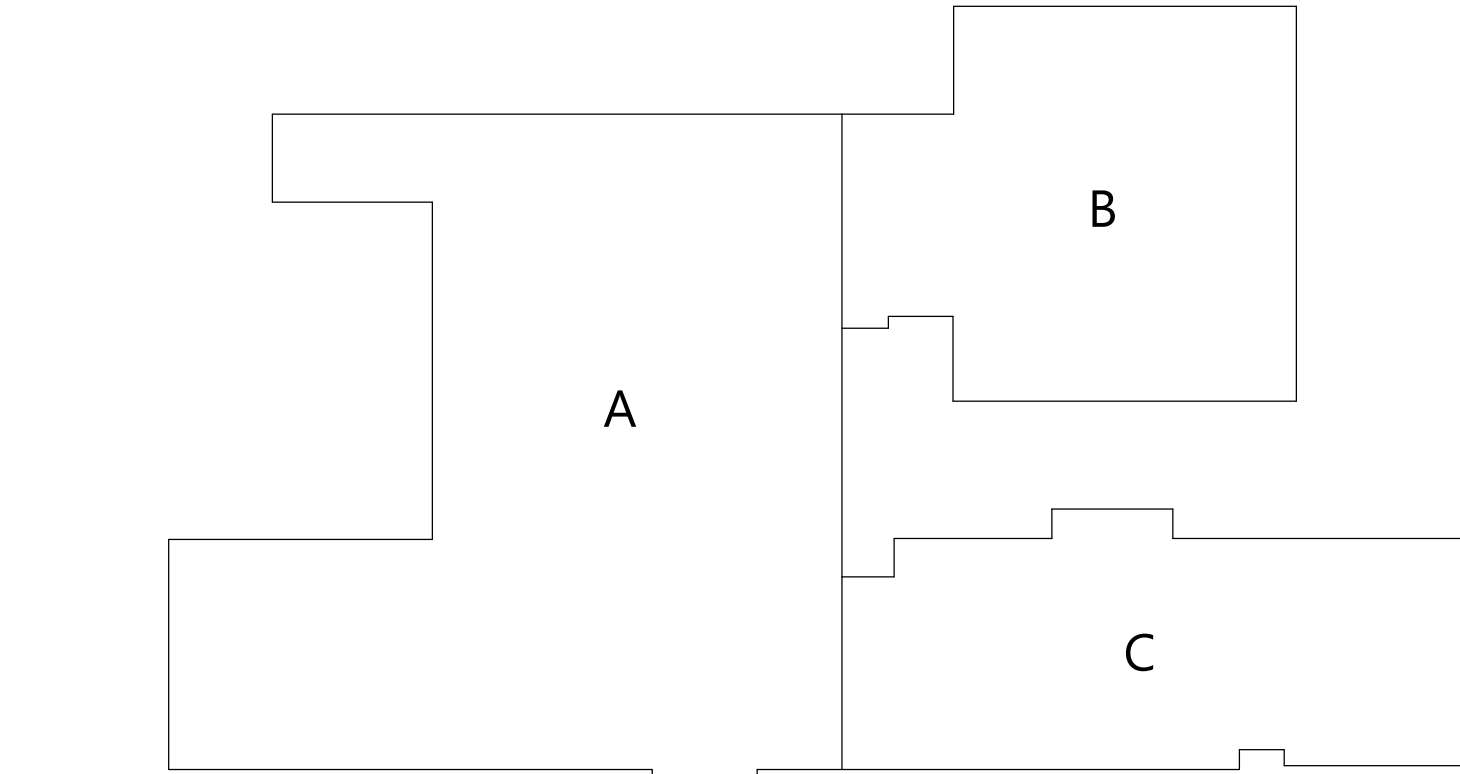
EXTERIOR ELEVATION INDICATOR



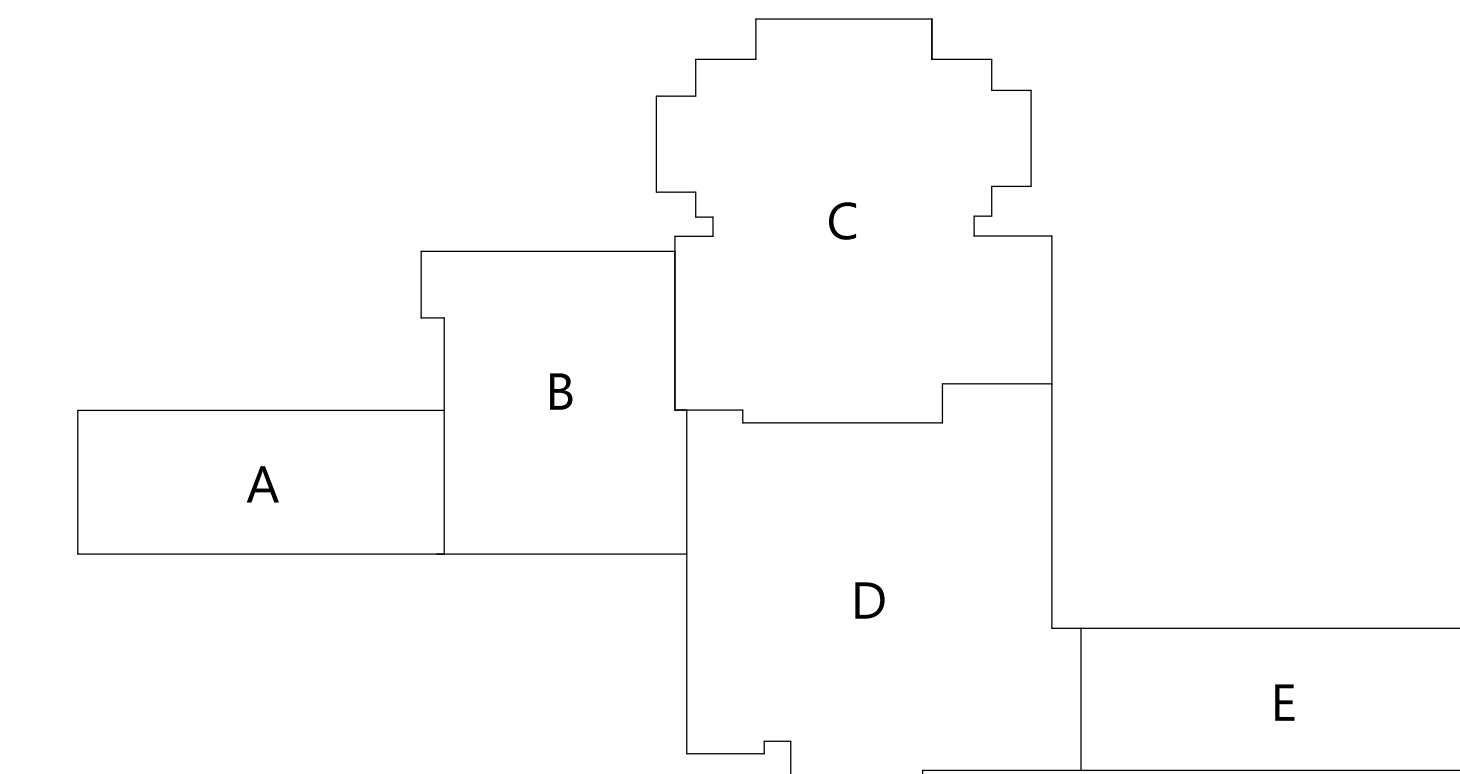
INTERIOR ELEVATION INDICATOR



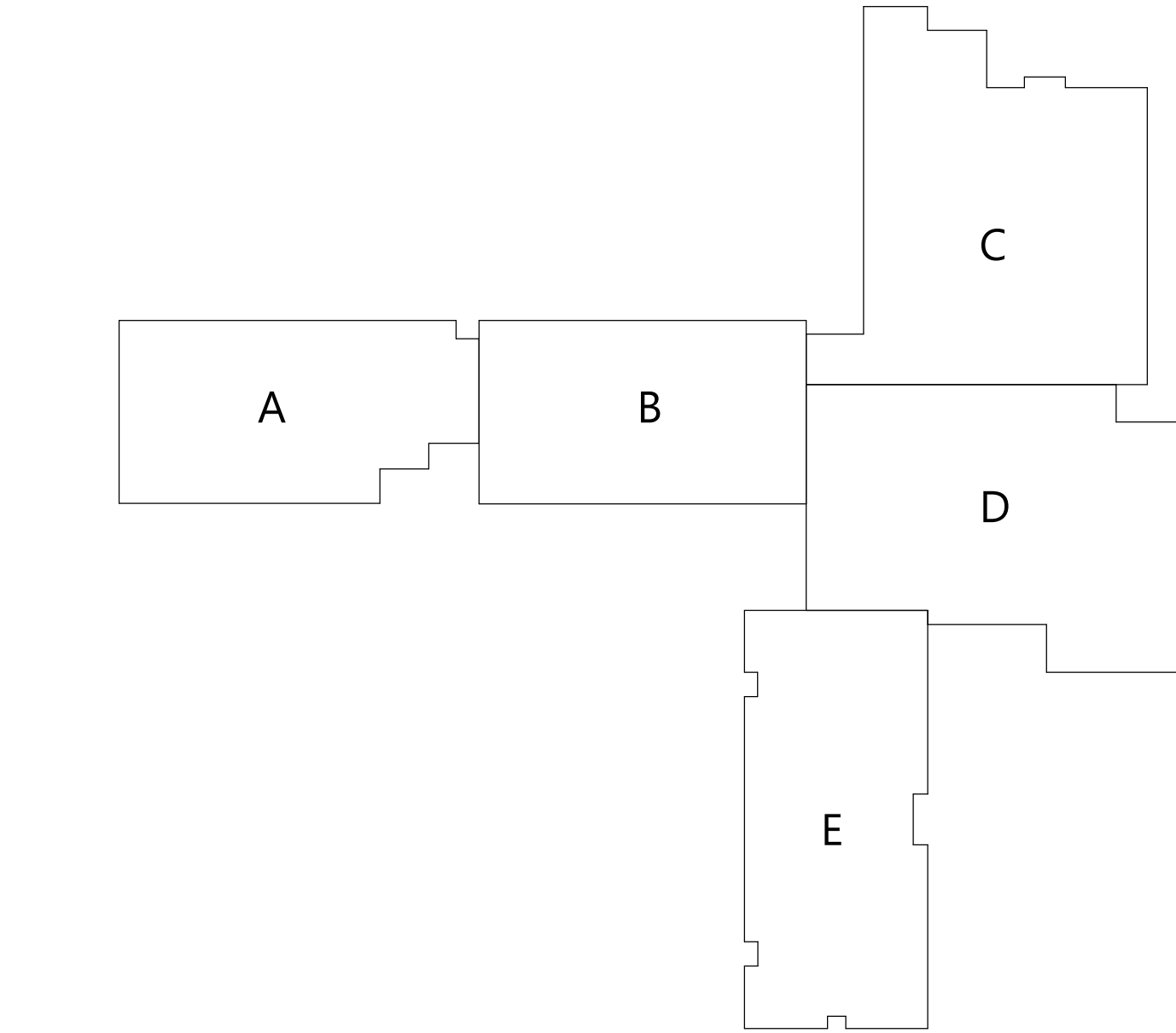
BUILDING KEYPLANS



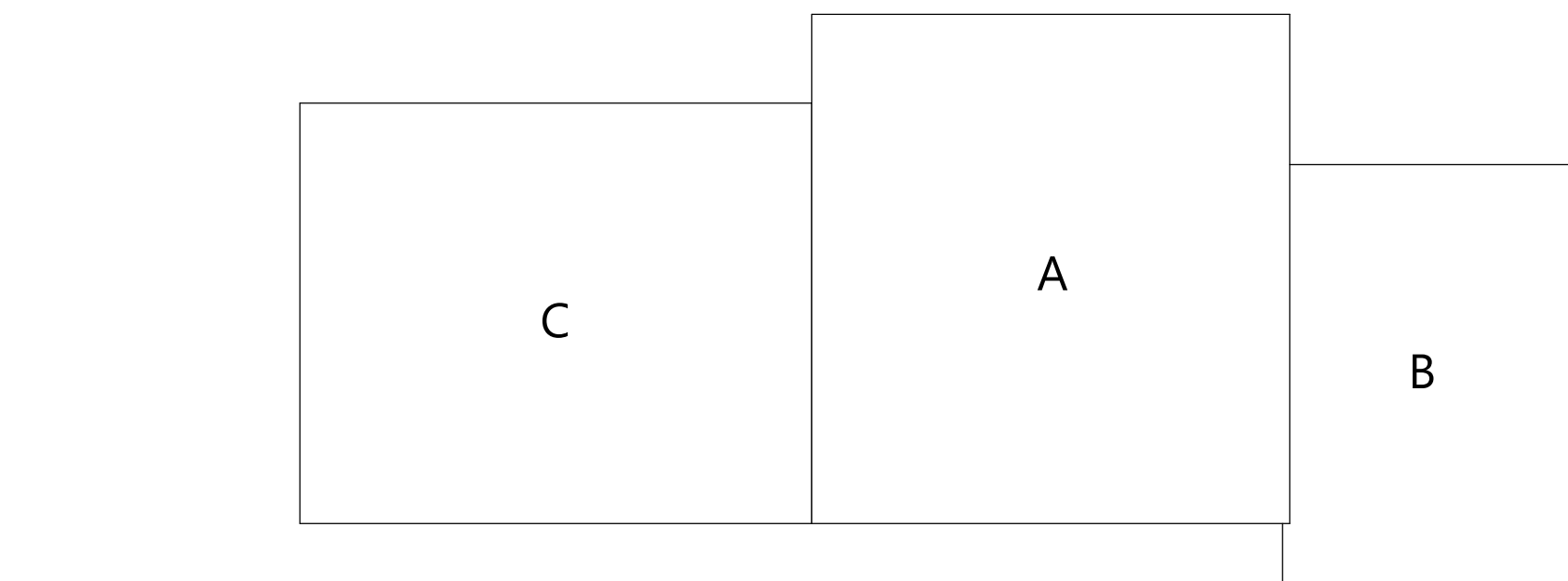
HIGHLAND MIDDLE SCHOOL (HMS)



HIGHLAND HIGH SCHOOL (HHS)

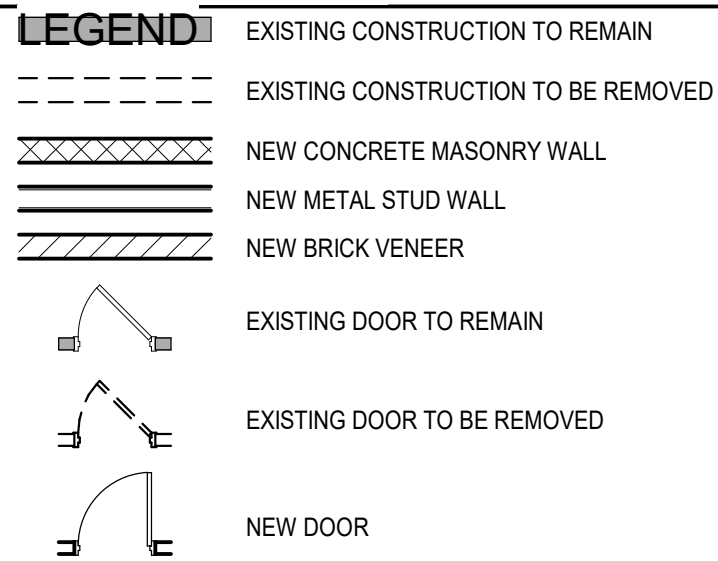


HIGHLAND ELEMENTARY SCHOOL (HES)

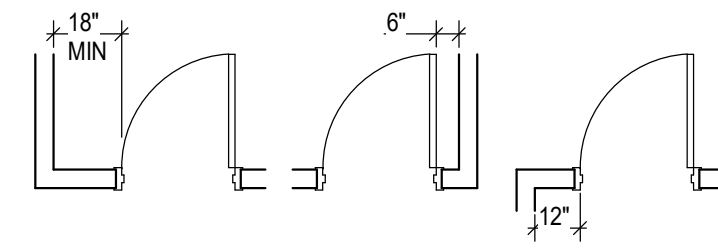


HIGHLAND BUS GARAGE (HBG)

PLAN GRAPHICS



FINISHED DOOR OPENINGS SHALL BE LOCATED AS INDICATED BELOW UNO. DIMENSIONS SHOWN ARE CLEAR DIMENSIONS FROM INSIDE OF FRAME TO WALL FINISH.



GENERAL NOTES

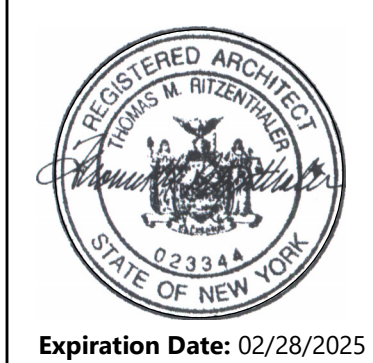
- DIMENSIONS ARE GIVEN THUS (UNLESS NOTED OTHERWISE)
A. TO FACE OF MASONRY WALL
B. TO FACE OF METAL STUD
C. TO COLUMN CENTERLINES
D. TO FINISH FACE OF SOFFIT OR CEILING
E. FACE OF EXISTING CONSTRUCTION
- DO NOT SCALE DRAWINGS. IF A DIMENSION IS NOT SHOWN, BRING IT TO THE ATTENTION OF THE ARCHITECT FOR VERIFICATION BEFORE PROCEEDING WITH THE ASSOCIATED WORK
- WALLS ON COLUMN LINES ARE CENTERED UNO
- ALL DIMENSIONS RELATED TO EXISTING CONDITIONS SHALL BE VERIFIED IN FIELD. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK IN THAT AREA
- LAYOUT OF TOILET FIXTURES AND ACCESSIBILITY CLEARANCES ARE SHOWN AS CLEAR DIMENSION. CONTRACTORS ARE REQUIRED TO COORDINATE LAYOUTS OF PARTITIONS, UTILITY CONNECTIONS, AND THICKNESS OF FINISHES TO ALLOW THESE CLEAR DIMENSIONS.
- ALL ELEVATIONS (X-X') ARE REFERENCE FROM FIRST FLOOR ELEVATION
- ALL WOOD BLOCKING WITHIN ROOFING SYSTEM AND WITHIN 2'-0" OF GRADE SHALL BE PRESSURE TREATED
- ALL FLOOR PENETRATIONS SHALL BE SMOKE-SEALED AND/OR FIRE STOPPED. COORDINATE WITH HF DWGS FOR SMOKE / FIRE DAMPER REQUIREMENTS.
- FOR INTERIOR PARTITION TYPES, REFER TO DRAWING A701
- FOR DOOR SCHEDULE, REFER TO DRAWING A901
- FOR FINISH SCHEDULE, REFER TO DRAWING AF901
- ALL EXPOSED SURFACES OF NEW PARTITIONS AND SOFFITS ARE TO BE FINISHED.
- PROVIDE PATCH TO MATCH EXISTING FINISHES AT ALL REMOVAL AREAS, COORDINATE WITH DEMOLITION DRAWINGS AND SPECIFICATIONS.
- FOR ALL MATERIAL TESTING, REFER TO SPECIFICATION DIVISION 000220
- ALL CONSTRUCTION SHOWN IS NEW UNLESS NOTED OTHERWISE

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HIGHLAND CENTRAL SCHOOL DISTRICT
HIGHLAND HIGH SCHOOL
2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1

Project Title



REV	DATE	DESCRIPTION

Drawn By:	CSA
Checked By:	CSA
Proj. #:	62-08-03-04-0-009-014
CSArch Proj. #:	197-2201.01
Issued for Bid:	08/18/23

Sheet Title

SYMBOLS,
ABBREVIATIONS,
KEY PLANS,
AND MISC.

Sheet No.

HHS
G001

CONSTRUCTION DOCUMENTS

GENERAL NOTES:

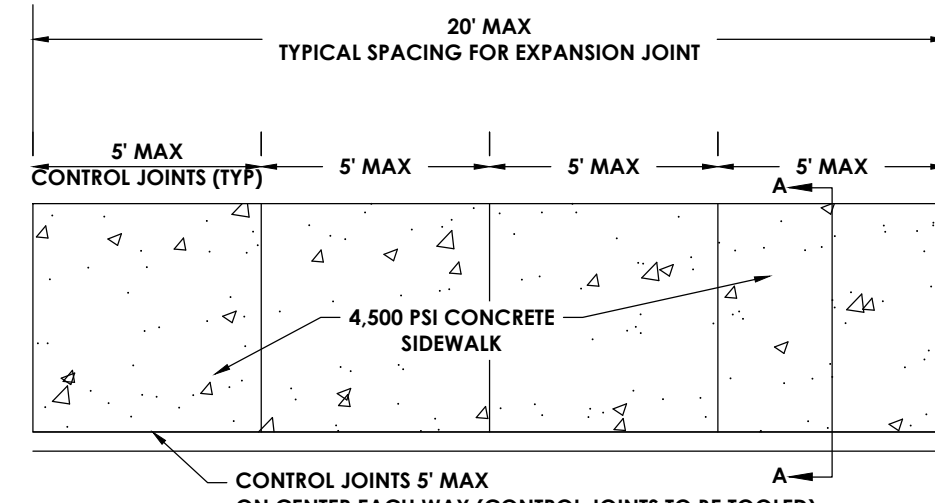
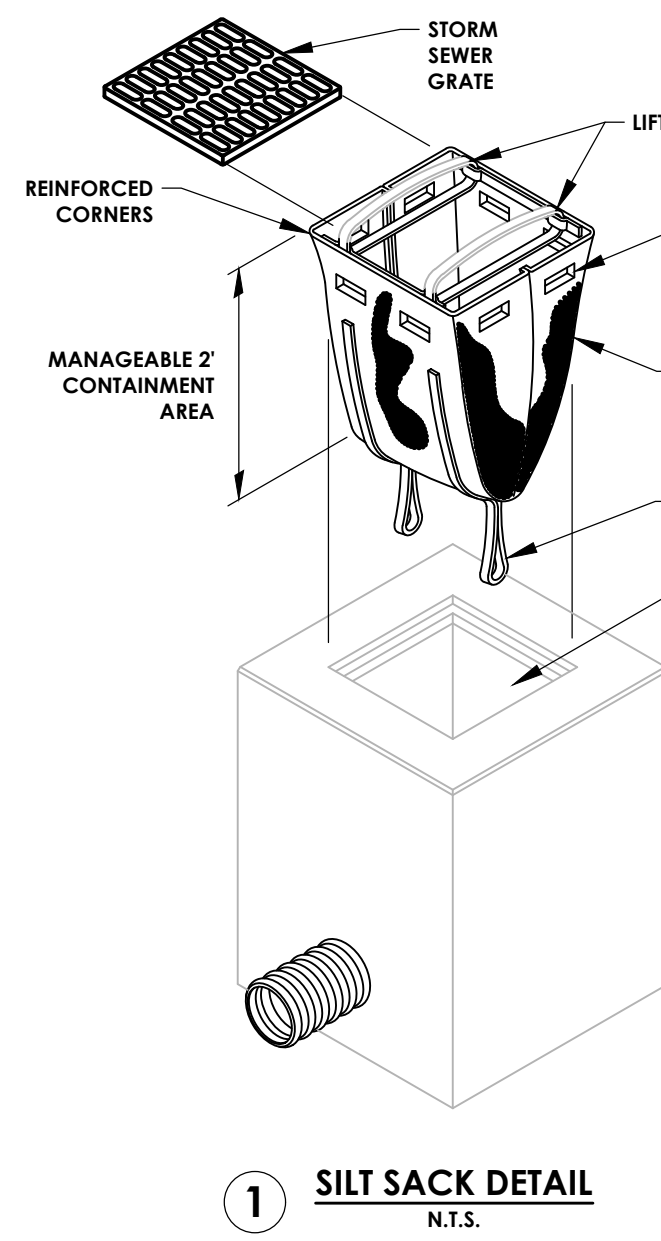
- EXISTING CONDITIONS SHOWN ARE BASED ON THE BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY BOUTON SURVEYING P.C. ON DEC. 31, 2014 AND REVISED JANUARY 11, 2015.
- CONTRACTOR SHALL FIELD VERIFY ACTUAL SITE CONDITIONS. CONTRACTOR SHALL IDENTIFY DISCREPANCIES THAT AFFECT THE WORK TO THE OWNER REPRESENTATIVE AND OBTAIN APPROVAL FOR DEVIATIONS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY AND NOTIFY OWNER REPRESENTATIVE OF DEVIATIONS THAT AFFECT THE WORK. AND OBTAIN WRITTEN APPROVAL FROM THE OWNER REPRESENTATIVE FOR ADJUSTMENTS TO THE WORK.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES DURING THE WORK, AND VERIFY THEIR FUNCTIONALITY FOLLOWING INSTALLATION OF THE PROPOSED CONCRETE SIDEWALK.
- PROPOSED SIDEWALK SHALL GENERALLY FOLLOW THE SAME DIMENSIONS AND ALIGNMENT AS THE EXISTING SIDEWALK.
- UPON COMPLETION, ALL PAVEMENT AREAS SHALL BE SMOOTH. ALL CURBS SHALL HAVE A 6" INCH REVEAL (UNLESS OTHERWISE SPECIFIED), AND STORMWATER RUNOFF SHALL DRAIN TO EITHER EXISTING OR PROPOSED CATCH BASINS.
- ALL EXISTING SURFACE UTILITIES SHALL BE FLUSH WITH ADJACENT CONCRETE OR LAWN SURFACE.
- RESTORE LAWN DAMAGED DURING THE WORK WITH MATERIALS MATCHING THE EXISTING CONDITION.

PAVEMENT DEMOLITION NOTES:

- REMOVE FULL DEPTH OF ASPHALT AND/OR CONCRETE.
- EXISTING SUITABLE SUB-BASE ENCOUNTERED DURING EXCAVATION SHALL BE STOCKPILED FOR RE-USE. EXCESS OR UNSUITABLE MATERIALS SHALL BE HAULED OFF-SITE.
- PREPARE AND PLACE A SUB-BASE COURSE COMPOSED OF A BLEND OF THE EXISTING SUB-BASE (FROM STOCKPILE) AND ADDITIONAL STONE AGGREGATE (IF NEEDED) TO OBTAIN THE SPECIFIED DEPTH.

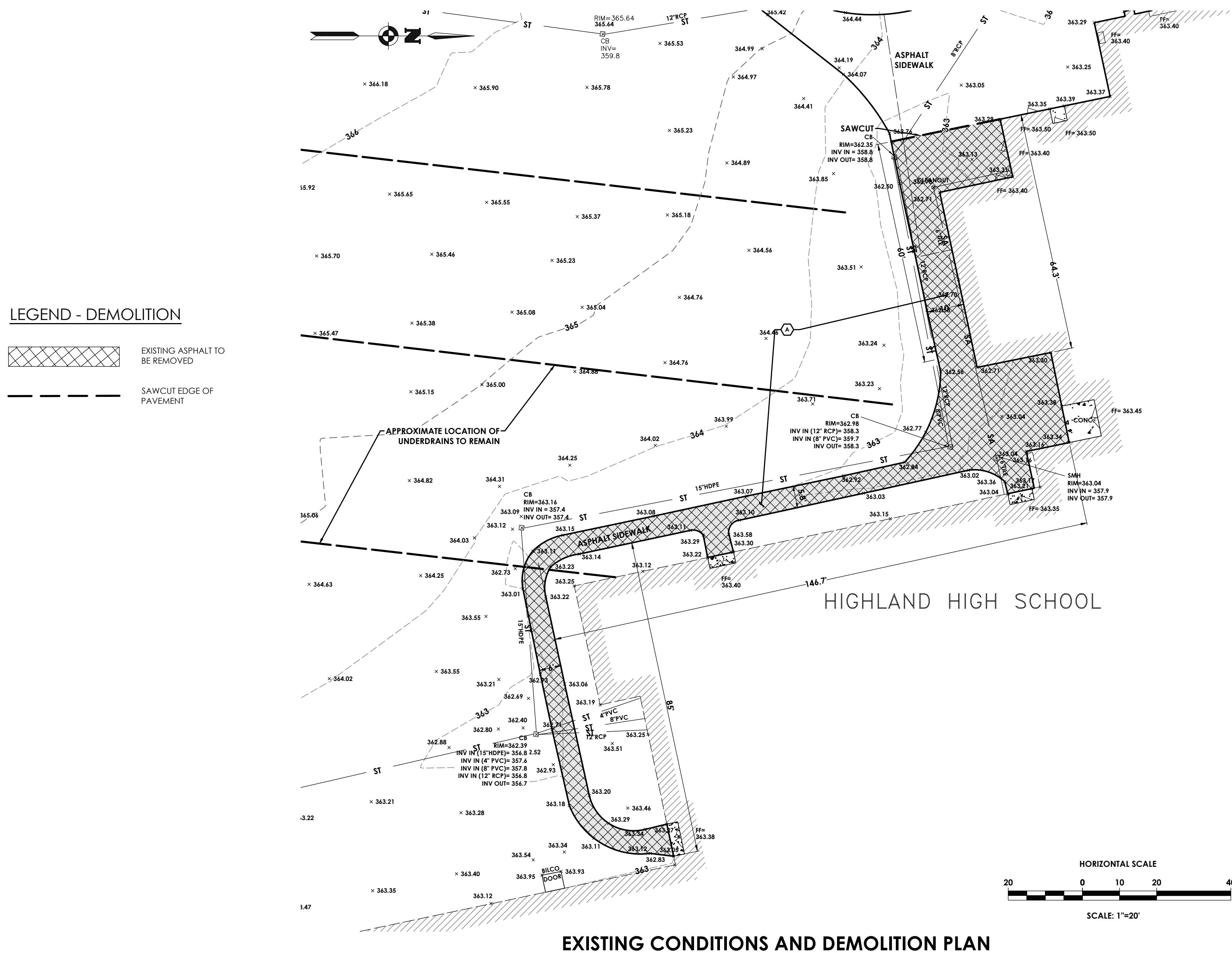
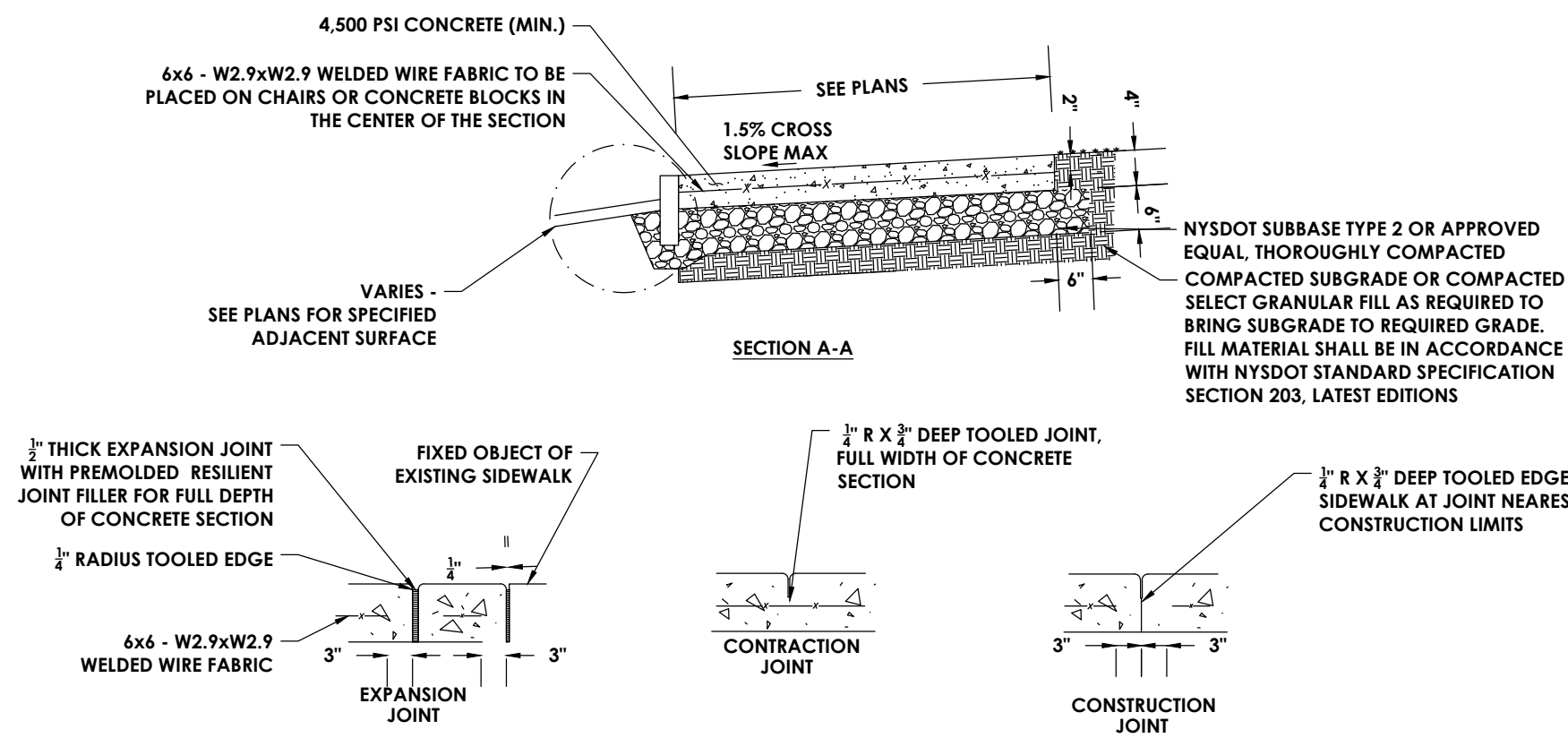
DEMOLITION NOTES:

- DIMENSIONS SHOWN ARE APPROXIMATE AND MAY VARY BASED ON FIELD CONDITIONS.
- SECURITY PROVIDE, INSTALL AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
- DIG SAFE CONTRACTOR IS RESPONSIBLE TO CALL DIG-SAFE PRIOR TO BEGINNING DEMOLITION.
- APPLICABILITY: THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK SHOWN INCLUDING ALL REMOVALS AS NECESSARY FOR THE CONSTRUCTION OF THE WORK EVEN IF NOT SPECIFICALLY NOTED ON THE CONTRACT DOCUMENTS.
- COORDINATION: CONTRACTOR SHALL COORDINATE THE REMOVAL OF DEMOLISHED MATERIAL WITH THE OWNERS REPRESENTATIVE SITE FURNISHINGS AND MATERIAL DETERMINED TO BE REMOVED SHALL BE REMOVED AND EXPORTED OFF-SITE IN A LEGAL MANNER AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- PROTECT: ALL EXISTING FEATURES TO REMAIN, DAMAGE TO EXISTING ASPHALT, LAWN AND OTHER FEATURES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES THAT ARE PROPOSED TO BE REMOVED, UNLESS OTHERWISE INDICATED, SHALL BE EXCAVATED, UTILITY MATERIAL REMOVED, AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS. ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR FILL, COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST. ALL DISTURBED AREAS SHALL BE RESTORED IN KIND IN ACCORDANCE WITH THE DETAILS IN THESE PLANS AND AT A MINIMUM TO THEIR ORIGINAL STATE.
- SAWCUT: AREAS OF ASPHALT AND CONCRETE REMOVAL SHALL BE SAWCUT WITH A HEAT STRAIGHT LINE AT ALL REMOVAL LIMITS.
- PERMITS: CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION AND CONSTRUCTION, INCLUDING ALL FEES ASSOCIATED WITH THOSE PERMITS, IN THE BID.
- ENVIRONMENTAL CONDITIONS OR ISSUES, NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED DURING DEMOLITION. THE CONTRACTORS SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER BEFORE CONTINUING THE DEMOLITION PROCESS.



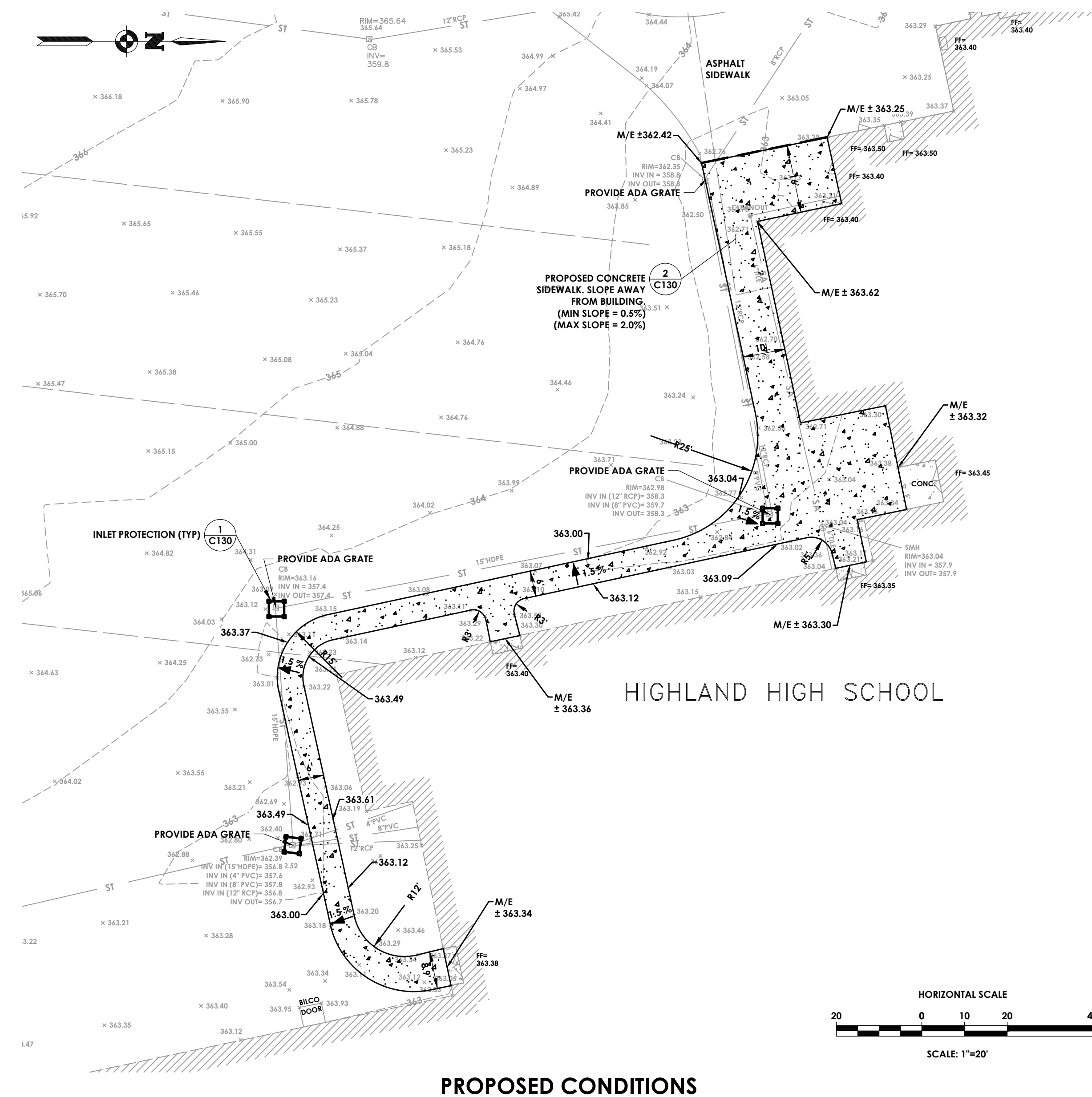
NOTES:

- SIDEWALK WIDTH SHALL BE MEASURED FROM THE BACK OF THE CURB TO SIDEWALK EDGE OR SIDEWALK EDGE TO SIDEWALK EDGE UNLESS OTHERWISE SPECIFIED.
- WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL SHALL BE ON-SITE EXCAVATION SPOIL (IF SUITABLE) AND/OR IMPORTED GENERAL FILL FREE OF CONTAMINANTS AND DELETERIOUS MATERIALS.
- NYSDOT SUBBASE TYPE 2 SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION SECTION 304, LATEST EDITION.
- CONCRETE SHALL NOT BE PLACED UNLESS THE AMBIENT AIR SURFACE TEMPERATURE IS BELOW 40 DEGREES UNLESS AUTHORIZED BY THE ENGINEER.
- SIDEWALKS SHALL HAVE A CROSS SLOPE OF 1.5% PER FOOT UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- ALL EXPOSED CONCRETE SURFACES SHALL BE SMOOTH FINISHED AND THE EDGES SHALL BE FINISHED WITH A 1/2" RADIUS EDGING TOOL.
- THE FINISHED CONCRETE SURFACE SHALL BE TREATED WITH CONCRETE SEALER, HARDENER AND DUSTPROOFER. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



LEGEND - SITE:

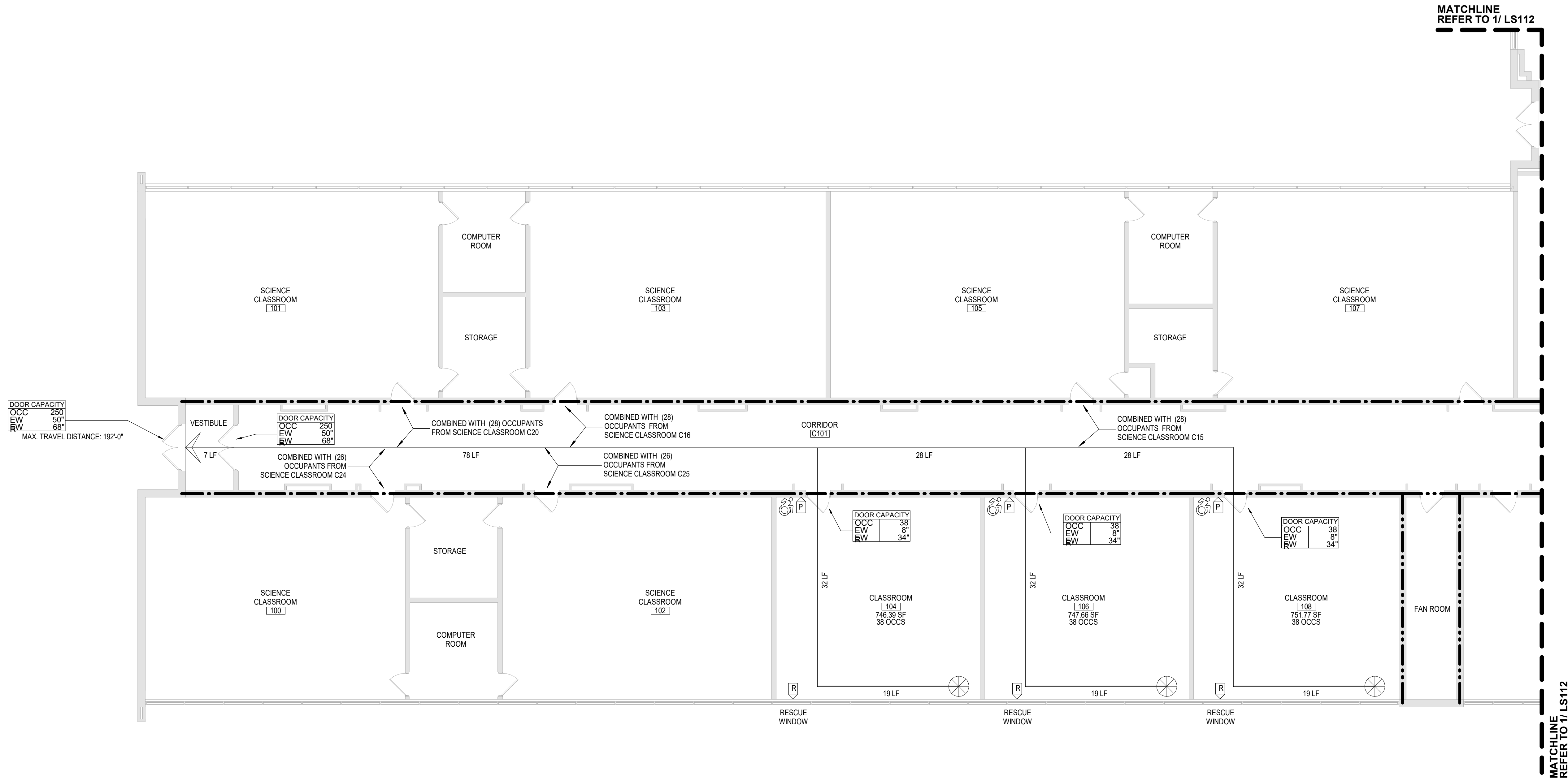
- EXISTING BUILDING
- EXISTING STORM SEWER, MH, CATCH BASIN
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- PROPOSED CONCRETE PAVEMENT
- PROPOSED INLET PROTECTION



DEMOLITION KEY:

- REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT AND SUBBASE (~3,300 SF).

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1 FIRST FLOOR LIFE SAFETY PLAN - AREA 'A'
LS111 1/8" = 1'-0"

CODE NOTES	LIFE SAFETY PLAN LEGEND
<p>ALL NEW WORK TO BE PERFORMED SHALL BE IN ACCORDANCE WITH THE FOLLOWING:</p> <ol style="list-style-type: none">2020 INTERNATIONAL BUILDING CODE2020 INTERNATIONAL EXISTING BUILDING CODENYS BUILDING CODE SUPPLEMENTSANSI A117.1-092022 NYSED MANUAL OF PLANNING STANDARDS <p>ALL EXISTING CONDITIONS AND NEW WORK CONDITIONS CONTAIN THE FOLLOWING MAXIMUM TRAVEL DISTANCES:</p> <ol style="list-style-type: none">EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET FOR UNSPRINKLERED BUILDINGS OF OCCUPANCY TYPE 'E'.ANY POINT IN ANY GROUND FLOOR CORRIDOR MUST BE WITHIN 150 FEET ALONG THE LINE OF TRAVEL TO AN EXTERIOR DOORWAY. ANY POINT IN A CORRIDOR OTHER THAN A GROUND FLOOR CORRIDOR SHALL NOT EXCEED 120 FEET ALONG THE LINE OF TRAVEL TO THE STAIR ENCLOSURE OF AN EXIT STAIRWAY. <p>ALL EXISTING CONDITIONS AND NEW WORK CONDITIONS CONTAIN THE FOLLOWING DEAD-END CORRIDOR INFORMATION:</p> <ol style="list-style-type: none">DEAD-END CORRIDOR POCKETS SHALL NOT EXCEED A MAXIMUM DEPTH OF 1 1/2 TIMES THE WIDTH OF THE POCKET, OR 1 1/2 TIMES THE WIDTH OF THE CORRIDOR, WHICHEVER IS LESS. MAX DEAD- END DISTANCE IS 20'.	<p>PRIMARY EXIT SECONDARY EXIT RESCUE WINDOW (SECONDARY EXIT) ACCESSIBLE EXIT RESCUE ASSISTANCE STATION / AREA OF REFUGE NUMBER OF OCCUPANTS PER TABLE 1004.1.2 (ACTUAL NUMBER OF OCCUPANTS) REQUIRED EXIT WIDTH FOR DOOR BASED ON (OCCUPANT * 0.2) REQUIRED EXIT WIDTH FOR STAIRS BASED ON (OCCUPANT * 0.3) EXIT PATH OF TRAVEL (START - END)</p> <p>ABBREVIATIONS DC DEFIBRILLATOR CABINET EWP EXIT WIDTH PROVIDED EWR EXIT WIDTH REQUIRED FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET OCCS NUMBER OF OCCUPANTS IN SPACE</p> <p>SMOKE SEPARATION NOTES PER S.E.D. S105-1, FLOORS SMOKE SEPARATED PER S.E.D. S109.3.1.5, SMOKE SEPARATED ZONES APPROX. 30,000 SF OR LESS SMOKE BARRIER DUCTWORK PENETRATIONS REQUIRED SMOKE DAMPER PER S.E.D. S105-2.4, IN SPRINKLERED BUILDINGS, ALL CORRIDORS SHALL BE PROTECTED FROM THE SPREAD OF SMOKE FROM ADJACENT SPACES. DOOR CLOSERS AND SMOKE DAMPERS ARE REQUIRED</p> <p>FIRE SEPARATION NOTES 1 HOUR RATED FIRE PARTITION 2 HOUR RATED FIRE PARTITION</p> <p>CODE NARRATIVE: 1960 ORIGINAL CONSTRUCTION: CONSTRUCTION TYPE: IIA FIRST FLOOR AREA: 101,765 SF GROSS CURRENT USE: 'E' - EDUCATION 2001 CONSTRUCTION: CONSTRUCTION TYPE: IIB FIRST FLOOR AREA: 112,216 SF GROSS CURRENT USE: 'E' - EDUCATION BUILDING AREA: (PER TABLE 506.2) PERMITTED FOR TYPE IIB / GROUP 'E' REQUIRED CORRIDOR FIRE-RESISTANCE RATING: (PER TABLE 1004.3.2.1) 1 HOUR</p>
CONSTRUCTION HISTORY 	
KEYPLAN 	
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Consultant

HIGHLAND CENTRAL SCHOOL DISTRICT
HIGHLAND HIGH SCHOOL
2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1

Project Title



Expiration Date: 02/28/2025

DATE	DESCRIPTION

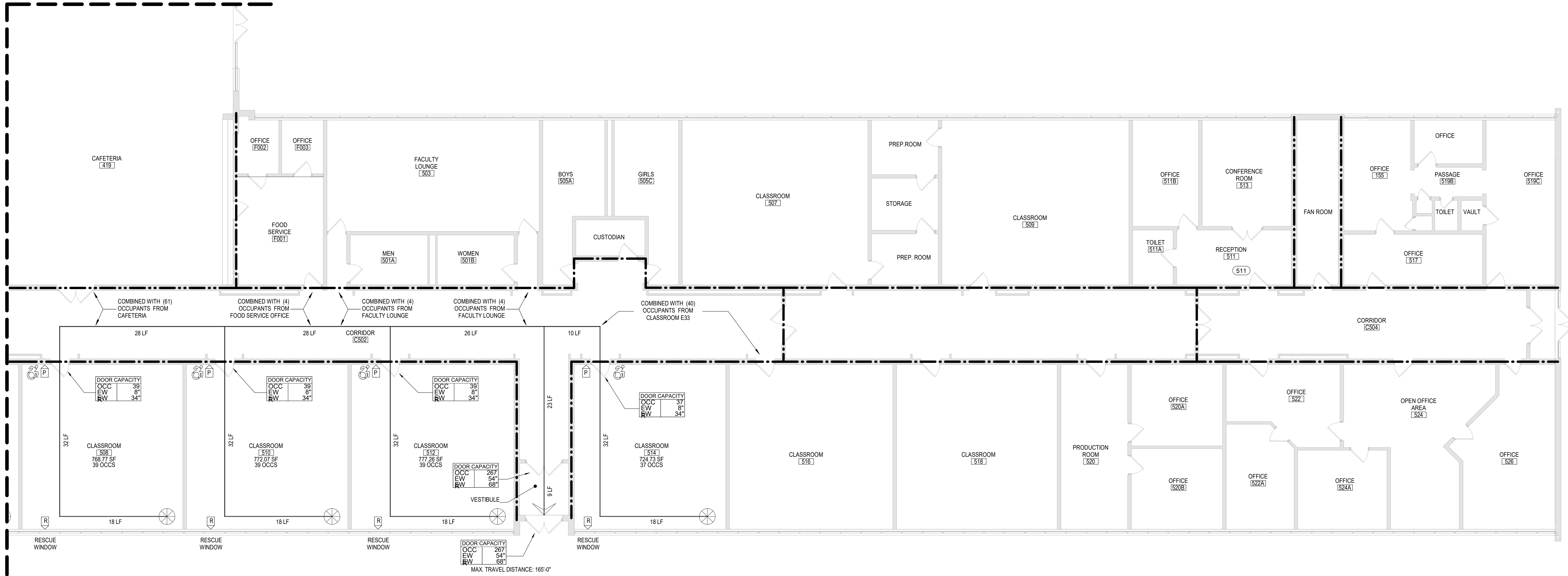
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Checked By: CSA
Proj. #: 62-08-03-04-0-009-014
CSArch Proj. #: 197-2201.01
Issued for Bid: 08/18/23

Sheet Title
FIRST FLOOR
LIFE SAFETY
PLAN - AREA
'A'

Sheet No.
HHS
LS111

CONSTRUCTION DOCUMENTS

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1 FIRST FLOOR LIFE SAFETY PLAN - AREA 'E'
LS115 1/8" = 1'-0"

CODE NOTES ALL NEW WORK TO BE PERFORMED SHALL BE IN ACCORDANCE WITH THE FOLLOWING: 1. 2020 INTERNATIONAL BUILDING CODE 2. 2020 INTERNATIONAL EXISTING BUILDING CODE 3. NYS BUILDING CODE SUPPLEMENTS 4. ANSI A117.1-09 5. 2022 NYSED MANUAL OF PLANNING STANDARDS ALL EXISTING CONDITIONS AND NEW WORK CONDITIONS CONTAIN THE FOLLOWING MAXIMUM TRAVEL DISTANCES: 1. EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET FOR UNSPRINKLERED BUILDINGS OF OCCUPANCY TYPE 'E'. 2. ANY POINT IN ANY GROUND FLOOR CORRIDOR MUST BE WITHIN 150 FEET ALONG THE LINE OF TRAVEL TO AN EXTERIOR DOORWAY. ANY POINT IN A CORRIDOR OTHER THAN A GROUND FLOOR CORRIDOR SHALL NOT EXCEED 120 FEET ALONG THE LINE OF TRAVEL TO THE STAIR ENCLOSURE OF AN EXIT STAIRWAY. ALL EXISTING CONDITIONS AND NEW WORK CONDITIONS CONTAIN THE FOLLOWING DEAD-END CORRIDOR INFORMATION: 1. DEAD-END CORRIDOR POCKETS SHALL NOT EXCEED A MAXIMUM DEPTH OF 1 1/2 TIMES THE WIDTH OF THE POCKET, OR 110 TIMES THE WIDTH OF THE CORRIDOR, WHICHEVER IS LESS. MAX DEAD- END DISTANCE IS 20'. CONSTRUCTION HISTORY 	LIFE SAFETY PLAN LEGEND PRIMARY EXIT SECONDARY EXIT RESCUE WINDOW (SECONDARY EXIT) ACCESSIBLE EXIT RESCUE ASSISTANCE STATION / AREA OF REFUGE NUMBER OF OCCUPANTS PER TABLE 1004.1.2 (ACTUAL NUMBER OF OCCUPANTS) REQUIRED EXIT WIDTH FOR DOOR BASED ON (OCCUPANT * 0.2) REQUIRED EXIT WIDTH FOR STAIRS BASED ON (OCCUPANT * 0.3) EXIT PATH OF TRAVEL (START - END) ABBREVIATIONS DC DEFIBRILLATOR CABINET EWP EXIT WIDTH PROVIDED EWR EXIT WIDTH REQUIRED FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET OCCS NUMBER OF OCCUPANTS IN SPACE SMOKE SEPARATION NOTES PER S.E.D. S-105-1, FLOORS SMOKE SEPARATED PER S.E.D. S-109.3.4.5, SMOKE SEPARATED ZONES APPROX. 30,000 SF OR LESS SMOKE BARRIER DUCTWORK PENETRATIONS REQUIRED SMOKE DAMPER PER S.E.D. S-105-2.4, IN SPRINKLERED BUILDINGS, ALL CORRIDORS SHALL BE PROTECTED FROM THE SPREAD OF SMOKE FROM ADJACENT SPACES. DOOR CLOSERS AND SMOKE DAMPERS ARE REQUIRED FIRE SEPARATION NOTES 1 HOUR RATED FIRE PARTITION 2 HOUR RATED FIRE PARTITION CODE NARRATIVE: 1960 ORIGINAL CONSTRUCTION CONSTRUCTION TYPE: IIA FIRST FLOOR AREA: 101,765 SF GROSS CURRENT USE: 'E' - EDUCATION 2001 CONSTRUCTION CONSTRUCTION TYPE: IIB FIRST FLOOR AREA: 112,216 SF GROSS CURRENT USE: 'E' - EDUCATION BUILDING AREA: (PER TABLE 506.2) PERMITTED FOR TYPE IIB / GROUP 'E' REQUIRED CORRIDOR FIRE-RESISTANCE RATING: (PER TABLE 1004.3.2.1) 1 HOUR
KEYPLAN 	
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HIGHLAND CENTRAL SCHOOL DISTRICT
HIGHLAND HIGH SCHOOL
2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1

Project Title



Expiration Date: 02/28/2025

DATE	DESCRIPTION

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Sheet Title
FIRST FLOOR
LIFE SAFETY
PLAN - AREA
'E'

Sheet No.
HHS
LS115
CONSTRUCTION DOCUMENTS

PRE–ABATEMENT WORK NOTES:

1. THESE DRAWINGS HAVE BEEN PREPARED BY UTILIZING THE OWNERS ORIGINAL CONSTRUCTION DOCUMENTS IN ORDER TO ILLUSTRATE THE EXISTING CONDITIONS OF THE SITE AND STRUCTURES THEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTUAL VERIFICATION OF ALL EXISTING CONDITIONS IN THE FIELD.
2. THE CONTRACTOR SHALL DETERMINE EXACT FINAL LOCATIONS OF PERSONNEL AND WASTE DECONTAMINATION ENCLOSURES, PICK UP AREA FOR REFUSE AND ASBESTOS DEBRIS, THESE LOCATIONS SHALL BE REVIEWED AND PROPERLY APPROVED BY THE DISTRICT PRIOR TO COMMENCEMENT OF WORK. THIS CONTRACTOR SHALL ESTABLISH, LABEL AND MAINTAIN PROPER EXITS AND WAYS OF DEPARTURE WITHIN EACH WORK AREA FOR NORMAL AND EMERGENCY USE BY WORKERS DURING ALL ABATEMENT.
3. THE CONTRACTOR, PRIOR TO BIDDING, SHALL BE RESPONSIBLE TO BECOME COMPLETELY FAMILIAR WITH ALL ASPECTS OF THE PROJECT, INCLUDING, BUT NOT LIMITED TO, ALL DEMOLITION AND CONSTRUCTION WORK AS SHOWN IN THE COMPLETE SET OF DRAWINGS AND IN THE PROJECT MANUAL/SPECIFICATIONS, IN ORDER THAT THE FULL SCOPE OF WORK WHICH MAY ENCOUNTER ASBESTOS CONTAINING MATERIALS IS UNDERSTOOD AND ACCOUNTED FOR BY THE CONTRACTOR IN THIS PROJECT WHETHER OR NOT SHOWN IN THESE DOCUMENTS.

ASBESTOS REMOVAL GENERAL NOTES:

1. ASBESTOS ABATEMENT INDICATED ON THIS DRAWING SHALL BE PERFORMED BY A NYS DEPARTMENT OF LABOR LICENSED ASBESTOS CONTRACTOR, THAT SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND QUANTITIES PRIOR TO BID.
2. THE CONTRACTOR SHALL PERFORM ALL CONTRACT WORK IN ACCORDANCE WITH CONTRACT SPECIFICATIONS, NEW YORK STATE DEPARTMENT OF LABOR (NYSDDL) INDUSTRIAL CODE RULE 56, OSHA, NESHAPS, AHEA, NYSDEC AND ALL OTHER APPLICABLE CODES.
3. THE CONTRACTOR SHALL MAINTAIN THE SITE AS NEAT AS POSSIBLE AND ORDERLY DURING THE WORK. ALL LOOSE DEBRIS WHICH MAY BLOW OFF THE SITE SHALL BE COLLECTED AND DISPOSED OF PROPERLY BY THE CONTRACTOR ON A DAILY BASIS AS PART OF THE PROJECT.
4. THE CONTRACTOR SHALL PROVIDE BARRIERS AROUND THE WORK AREAS IN ORDER TO ENSURE SAFE PASSAGE BY ANY PERSON. THESE BARRIERS SHALL ALSO SERVE TO KEEP ALL UNAUTHORIZED PERSONS OUT THE PROJECT AREA FOR THE DURATION OF THE WORK.
5. VARIANCES: CONTRACTOR SHALL PAY FOR AND OBTAIN ANY NECESSARY SITE SPECIFIC VARIANCES.
6. THE CONTRACTOR SHALL MAINTAIN SECURITY IN THE BUILDING AND THE WORK AREAS AT ALL TIMES.
7. PROJECT STAGING, STORAGE, SCHEDULING AND ACCESS SHALL BE COORDINATED WITH AND APPROVED BY THE ARCHITECT, CM AND OWNER PRIOR TO PROCEEDING WITH WORK.
8. SHOULD IT BE NECESSARY, CONTRACTOR SHALL COORDINATE SHUT DOWN AND LOCK OUT OF THE ELECTRICAL POWER WITH OWNER’S POWER WITH OWNER’S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK.
9. ALL TEMPORARY POWER TO THE WORK AREA SHALL BE BROUGHT IN FROM OUTSIDE THE WORK AREA THROUGH A GROUND–FAULT CIRCUIT INTERRUPTER AT THE SOURCE.
- 10.CONTRACTOR SHALL COORDINATE HOOKUP OF WATER SERVICE FOR DECONTAMINATION PURPOSED WITH OWNER’S REPRESENTATIVE. WATER FOR THE DECONTAMINATION UNITS IS AVAILABLE FROM THE OWNER.
- 11.THE OWNER OR OWNER’S REPRESENTATIVE IS RESPONSIBLE TO CONTRACT FOR NYSDOL PROJECTS MONITORING/AIR SAMPLING TECHNICIAN SERVICES AS REQUIRED.
- 12.CONTRACTOR TO PROVIDE A COPY OF SDS’S FOR ANY CHEMICAL AGENTS TO BE USED DURING THE ASBESTOS ABATEMENT TO THE PROJECT MONITOR AND THE OWNER’S REPRESENTATIVE.
- 13.CONTRACTOR SHALL REQUEST AND RECEIVE PROJECT MONITOR AND OWNER’S REPRESENTATIVE APPROVAL OF ALL WORK BEFORE ANY ABATEMENT IS UNDERTAKEN.
- 14.UNDER NO CIRCUMSTANCES SHALL CONTAMINATED WASTE WATER BE FILTERED THOUGH A SYSTEM WITHOUT AT LEAST A 5.0 MICRON PARTICLE SIZE COLLECTION CAPABILITY.
- 15.DRAWINGS ATTEMPT TO INDICATE THE GENERAL SCOPE OF EXISTING CONDITIONS AND ITEMS EFFECTED BY THE ABATEMENT WORK. CONTRACTOR SHALL EXAMINE THE WORK AREA PRIOR TO BID AND SHALL INCLUDE FIELD VARIATIONS FROM THOSE SHOWN WITH IN THE GENERAL INTENT OF THE WORK.
- 16.THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ASBESTOS CONTAINING MATERIALS CONTAINED WITHIN THE PROJECT AND ASSOCIATED WITH ALL PROJECT WORK, IN COMPLIANCE WITH ALL APPLICABLE LAWS, RULES, REGULATIONS AND ALL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- 17.THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ASBESTOS CONTAINING MATERIALS CONTAINED WITHIN THE PROJECT AND ASSOCIATED WITH ALL PROJECT WORK, IN THE MOST EFFICIENT AND COST EFFECTIVE METHOD POSSIBLE, WHICH ALSO COMPLIES WITH THE REQUIREMENTS LISTED ABOVE.

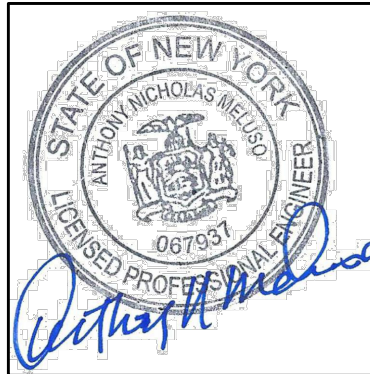
POST–ABATEMENT WORK NOTES:

1. PROVIDE ALL APPLICABLE CODE RULE 56 PROCEDURES, CLEAN UP, AND ADDITIONAL TESTING AS REQUIRED.
2. PRIOR TO ABATEMENT, ALL CONTRACTORS WILL SURVEY EXISTING CONDITIONS IN THE ABATEMENT AND GENERAL WORK AREAS. ITEMS/MATERIALS/ETC. DAMAGED, OR NON–FUNCTIONAL SHALL BE LISTED, NOTED, PHOTOGRAPHED AND REVIEWED WITH THE PROJECT INSPECTOR. ALL OTHER ITEMS/MATERIALS SHALL BE REVIEWED WITH THE PROJECT INSPECTOR. ALL OTHER ITEMS/MATERIALS SHALL BE ASSUMED TO BE IN GOOD CONDITION AND GOOD WORKING ORDER. IT SHALL BE THE RESPONSIBILITY OF THE ABATEMENT CONTRACTOR TO MAINTAIN ALL MATERIALS, ITEMS, EQUIPMENT, SYSTEMS, ETC. IN ITS ORIGINAL CONDITION AND RETURN TO OWNER/GC, ETC. IN SAME CONDITION AT THE END OF THIS CONTRACT.
3. REMOVE ALL TEMPORARY ENCLOSURES, BARRIERS, ETC. REINSTALL ITEMS/WORK PREVIOUSLY REMOVED, ALL TAPE AND ADHESIVE RESIDUALS TO BE REMOVED. TEST AND REPAIR.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE AGAINST DAMAGE TO THE EXISTING WORK TO REMAIN IN PLACE. ANY DAMAGE TO SUCH WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER AT NO ADDITIONAL COST TO THE CONTRACT.
5. AT COMPLETION OF THE ABATEMENT WORK, A CONDITION SURVEY SHALL BE DONE BY ALL CONTRACTORS AND PROJECT INSPECTOR (SEE NOTE #2). ANY VARIATION (I.E. DAMAGE BY THE CONTRACTOR), AND OTHERWISE NOT INCLUDED AS PART OF THE RECONSTRUCTION WORK, SHALL BE REPAIRED/RESTORED BY THE ABATEMENT CONTRACTOR.
6. THE CONTRACTOR SHALL, UPON COMPLETION OF THE REMOVAL, PROVIDE WRITTEN DOCUMENTATION (INCLUDING ALL APPROPRIATE THIRD PARTY TESTING RESULTS) THAT THE PROJECT WORK AREAS ARE COMPLETELY FREE OF ALL ASBESTOS CONTAINING MATERIALS.
7. THE CONTRACTOR SHALL PROVIDE RECORDS OF ALL ASBESTOS CONTAINING MATERIALS REMOVED FROM THE SITE, INCLUDING THE COMPOSITION AND VOLUMES OF DISPOSED MATERIALS AND THE FINAL DISPOSAL SITE(S).



HIGHLAND CENTRAL SCHOOL DISTRICT
HIGHLAND HIGH SCHOOL
2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1

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Proj. #:	62-08-03-04-0-009-014				
CSArch Proj. #:	197-2201.01				
Construction Documents:	1/31/22				

Sheet Title

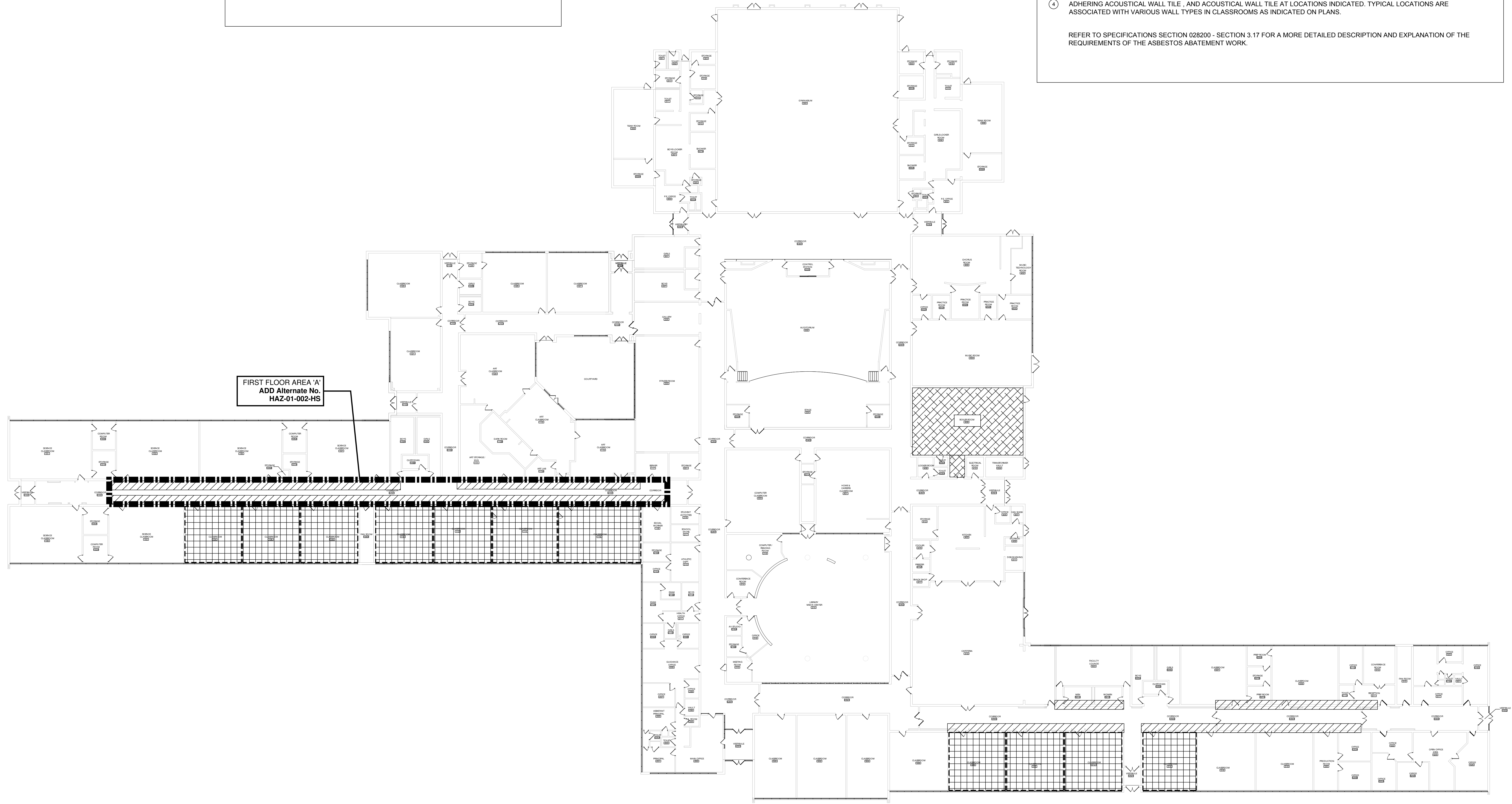
ASBESTOS
ABATEMENT
NOTES

Sheet No.



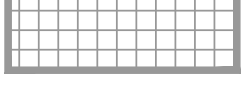

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HAZ-000

CONSTRUCTION DOCUMENTS

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ASBESTOS ABATEMENT LEGEND

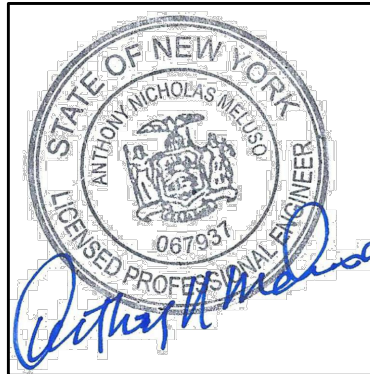
-  REMOVE AND DISPOSE OF FRIABLE ACM JOINT COMPOUND AND SHEETROCK AT WALL AND CEILING LOCATIONS. REFER TO NOTE 1
-  REMOVE AND DISPOSE OF ACM MUDDIED JOINT PACKING (MJP) AND THERMAL SYSTEMS INSULATION AT DESIGNATED LOCATIONS. REFER TO NOTE 2
-  REMOVE AND DISPOSE OF ACM FLOOR TILE AND MASTIC AT DESIGNATED LOCATIONS. REMOVE AND DISPOSE OF RUBBER WALL BASE AS ACM AT DESIGNATED LOCATIONS. REFER TO NOTE 3
-  CONTRACTOR TO REMOVE AND DISPOSE OF ACM CONTAMINATED GLUE DABS AT DESIGNATED LOCATIONS. REFER TO NOTE 4.

ASBESTOS ABATEMENT NOTES

- ASBESTOS CONTRACTOR IS RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF FRIABLE ACM CONTAINING JOINT COMPOUND AND ASSOCIATED SHEETROCK WALLS TO A HEIGHT OF SIX FEET. TYPICAL AT CORRIDOR LOCKER REMOVAL LOCATIONS. LIGHT FIXTURES WILL BE STABILIZED, HEPA VACUUMED, WET WIPED, PLASTICIZED AND REMAIN IN PLACE. ALL SMOKE AND CARBON MONOXIDE (CO) DETECTORS WILL BE PROTECTED WITH 2 LAYERS OF SIX MIL THICKNESS, FIRE RETARDANT POLY.
- ASBESTOS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF FRIABLE ASBESTOS CONTAINING MUDDIED JOINT PIPE (MJP) THERMAL SYSTEMS INSULATION LOCATED IN THE BOILER ROOM. SUSPENDED LIGHT FIXTURES WILL BE STABILIZED, HEPA VACUUMED, WET WIPED, PLASTICIZED AND REMAIN IN PLACE. GRID TO BE REMOVED UNDER CONTAINMENT TO ACCESS ACM. ALL SMOKE AND CARBON MONOXIDE (CO) DETECTORS WILL BE PROTECTED WITH 2 LAYERS OF SIX MIL THICKNESS, FIRE RETARDANT POLY.
- ASBESTOS CONTRACTOR IS RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF NON-FRIABLE ACM FLOOR TILE AND MASTIC AT LOCATIONS INDICATED ON THE PLANS.
- ASBESTOS CONTRACTOR IS RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF ACM GLUE DABS ADHERING ACOUSTICAL WALL TILE, AND ACOUSTICAL WALL TILE AT LOCATIONS INDICATED. TYPICAL LOCATIONS ARE ASSOCIATED WITH VARIOUS WALL TYPES IN CLASSROOMS AS INDICATED ON PLANS.

REFER TO SPECIFICATIONS SECTION 028200 - SECTION 3.17 FOR A MORE DETAILED DESCRIPTION AND EXPLANATION OF THE REQUIREMENTS OF THE ASBESTOS ABATEMENT WORK.

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Sheet Title
HIGH SCHOOL
FIRST FLOOR
ABATEMENT
PLAN

Sheet No.
HHS
HAZ-101

CONSTRUCTION DOCUMENTS

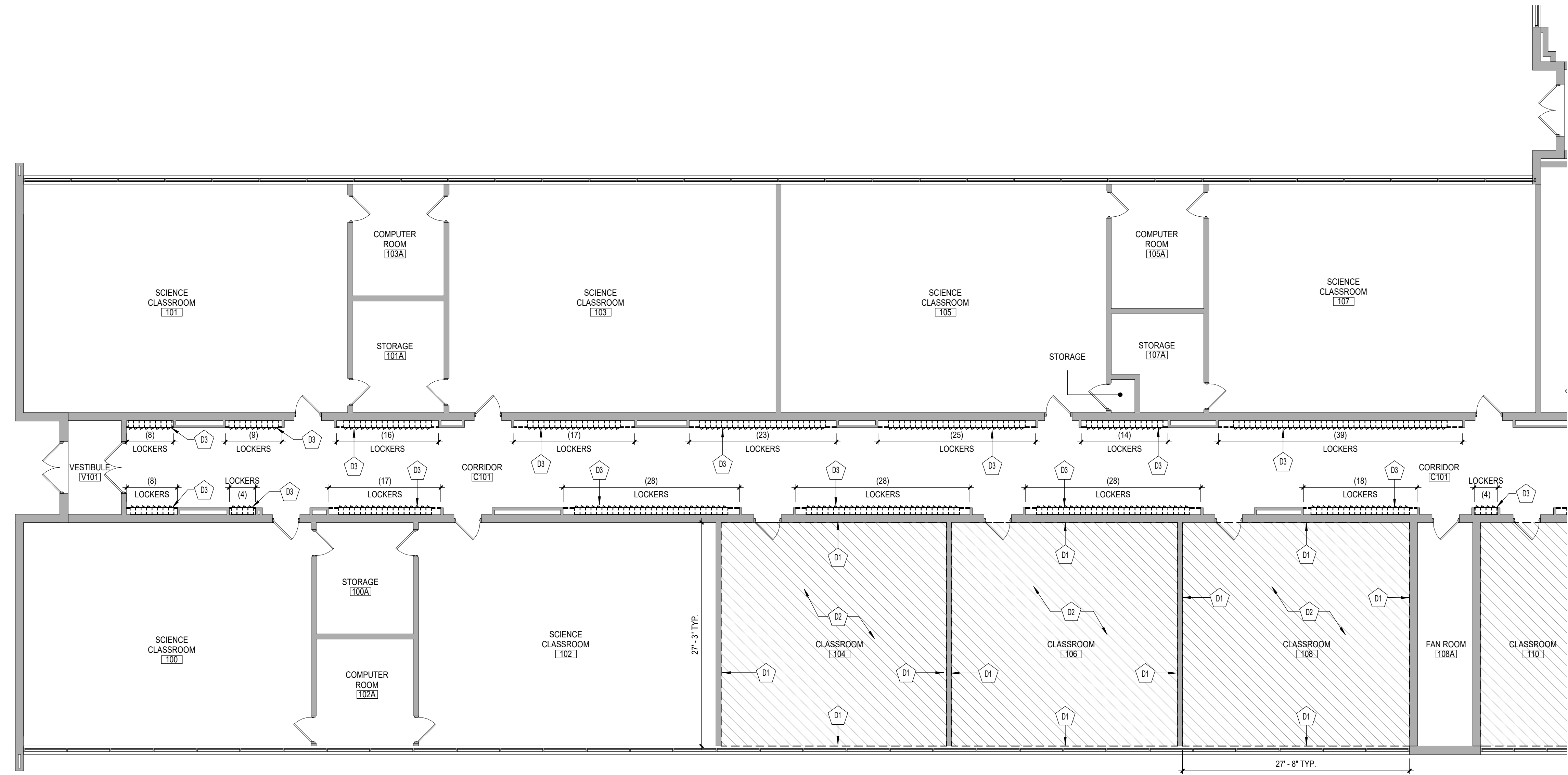
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1 FIRST FLOOR DEMOLITION PLAN - AREA 'A'
AD111 1/8" = 1'-0"

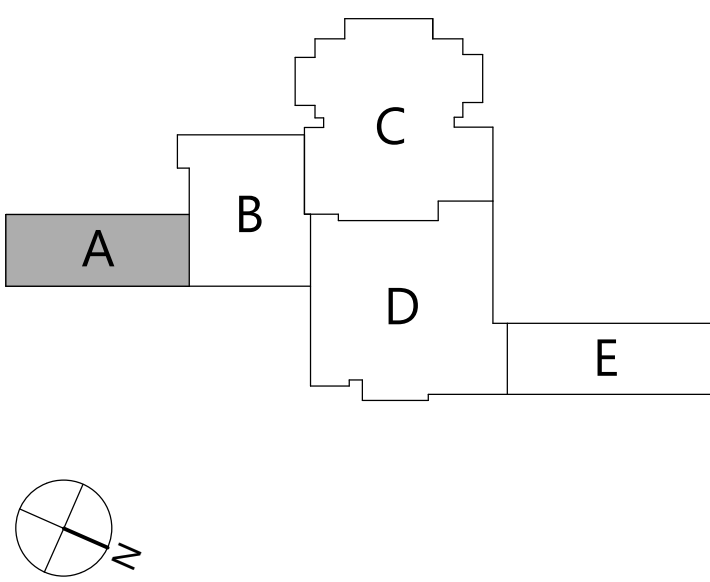
GENERAL NOTES

- COORDINATE ALL REMOVALS WITH NEW CONSTRUCTION.
- PATCH AND REPLACE EXISTING AND NEWLY CREATED HOLES IN WALLS (DUE TO REMOVAL) WITH MATERIALS TO MATCH EXISTING CONSTRUCTION.
- SALVAGED ITEMS SHALL BE TURNED OVER TO OWNER UNO.
- ALL KEYED REMOVALS SHALL INCLUDE REMOVAL OF ANY AND ALL ANCHORING SYSTEMS INCLUDING OBJECTS EMBEDDED INTO EXISTING WALLS.
- REFER TO ASBESTOS AND MEP DRAWINGS FOR ADDITIONAL REMOVAL INFORMATION.
- PROVIDE TEMPORARY SHORING AS NECESSARY AT ALL AREAS OF WALL REMOVAL AND NEW WALL PENETRATIONS.
- DRILL CORNERS OF ALL NEW SAWCUT OPENING PRIOR TO SAWCUTTING, TO PREVENT CUTTING INTO SCHEDULED CONSTRUCTION TO REMAIN.
- ALL EXISTING LOCKERS ARE 8" WIDE x 10" DEEP & SINGLE TIER

KEY NOTES - DEMOLITION

X	DESCRIPTION
D1	REMOVE WALL MOUNTED ACOUSTICAL PANELS IN THEIR ENTIRETY AND PATCH AS REQUIRED. COORDINATE WITH HAZARDOUS MATERIALS DRAWINGS.
D2	REMOVE EXISTING RESILIENT TILE FLOORING, WALL BASE, AND MASTIC IN ITS ENTIRETY. COORDINATE WITH HAZARDOUS MATERIALS DRAWINGS.
D3	EXISTING CORRIDOR LOCKERS INCLUDING OVERHEAD GYPSUM PLASTER SOFFIT AND RUBBER WALL BASE TO BE REMOVED. COORDINATE WITH HAZARDOUS MATERIAL DRAWINGS.

KEYPLAN



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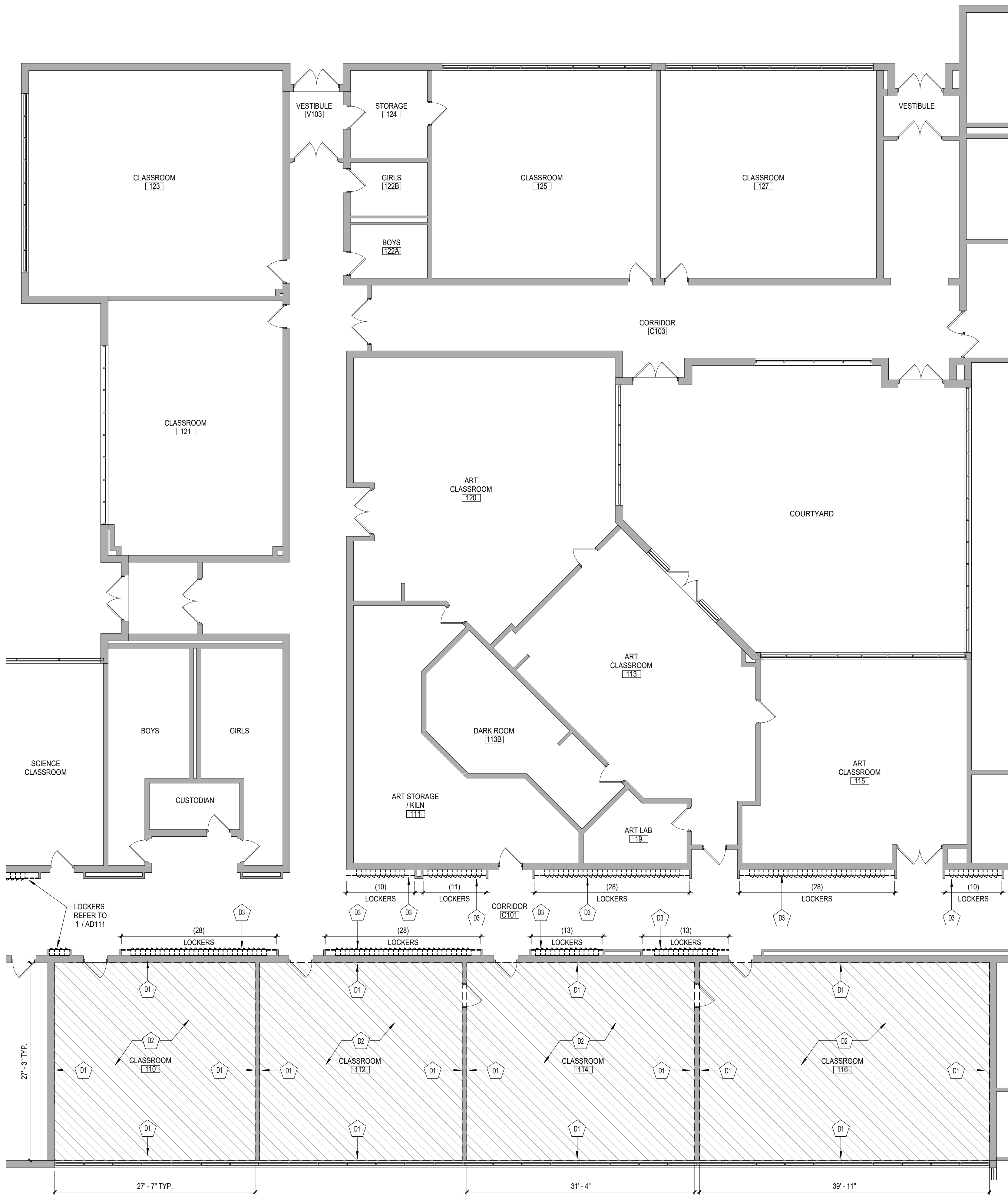
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FIRST FLOOR
DEMOLITION
PLAN - AREA
'A'

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


1 FIRST FLOOR DEMOLITION PLAN - AREA 'B'
AD112 1/8" = 1'-0"

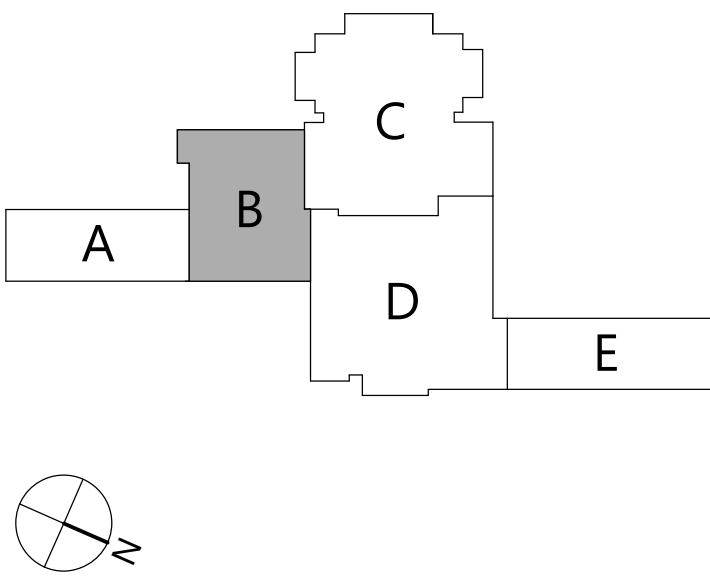
GENERAL NOTES

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- PATCH AND REPLACE EXISTING AND NEWLY CREATED HOLES IN WALLS (DUE TO REMOVAL) WITH MATERIALS TO MATCH EXISTING CONSTRUCTION.
- SALVAGED ITEMS SHALL BE TURNED OVER TO OWNER UNO.
- ALL KEYED REMOVALS SHALL INCLUDE REMOVAL OF ANY AND ALL ANCHORING SYSTEMS INCLUDING OBJECTS EMBEDDED INTO EXISTING WALLS.
- REFER TO ASBESTOS AND MEP DRAWINGS FOR ADDITIONAL REMOVAL INFORMATION.
- PROVIDE TEMPORARY SHORING AS NECESSARY AT ALL AREAS OF WALL REMOVAL AND NEW WALL PENETRATIONS.
- DRILL CORNERS OF ALL NEW SAWCUT OPENING PRIOR TO SAWCUTTING, TO PREVENT CUTTING INTO SCHEDULED CONSTRUCTION TO REMAIN.
- ALL EXISTING LOCKERS ARE 8" WIDE x 10" DEEP & SINGLE TIER

KEY NOTES - DEMOLITION

	DESCRIPTION
D1	REMOVE WALL MOUNTED ACOUSTICAL PANELS IN THEIR ENTIRETY AND PATCH AS REQUIRED. COORDINATE WITH HAZARDOUS MATERIALS DRAWINGS.
D2	REMOVE EXISTING RESILIENT TILE FLOORING, WALL BASE, AND MASTIC IN ITS ENTIRETY. COORDINATE WITH HAZARDOUS MATERIALS DRAWINGS.
D3	EXISTING CORRIDOR LOCKERS INCLUDING OVERHEAD GYPSUM/PLASTER SOFFIT AND RUBBER WALL BASE TO BE REMOVED. COORDINATE WITH HAZARDOUS MATERIAL DRAWINGS.

KEYPLAN



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HIGHLAND CENTRAL SCHOOL DISTRICT
HIGHLAND HIGH SCHOOL
2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1

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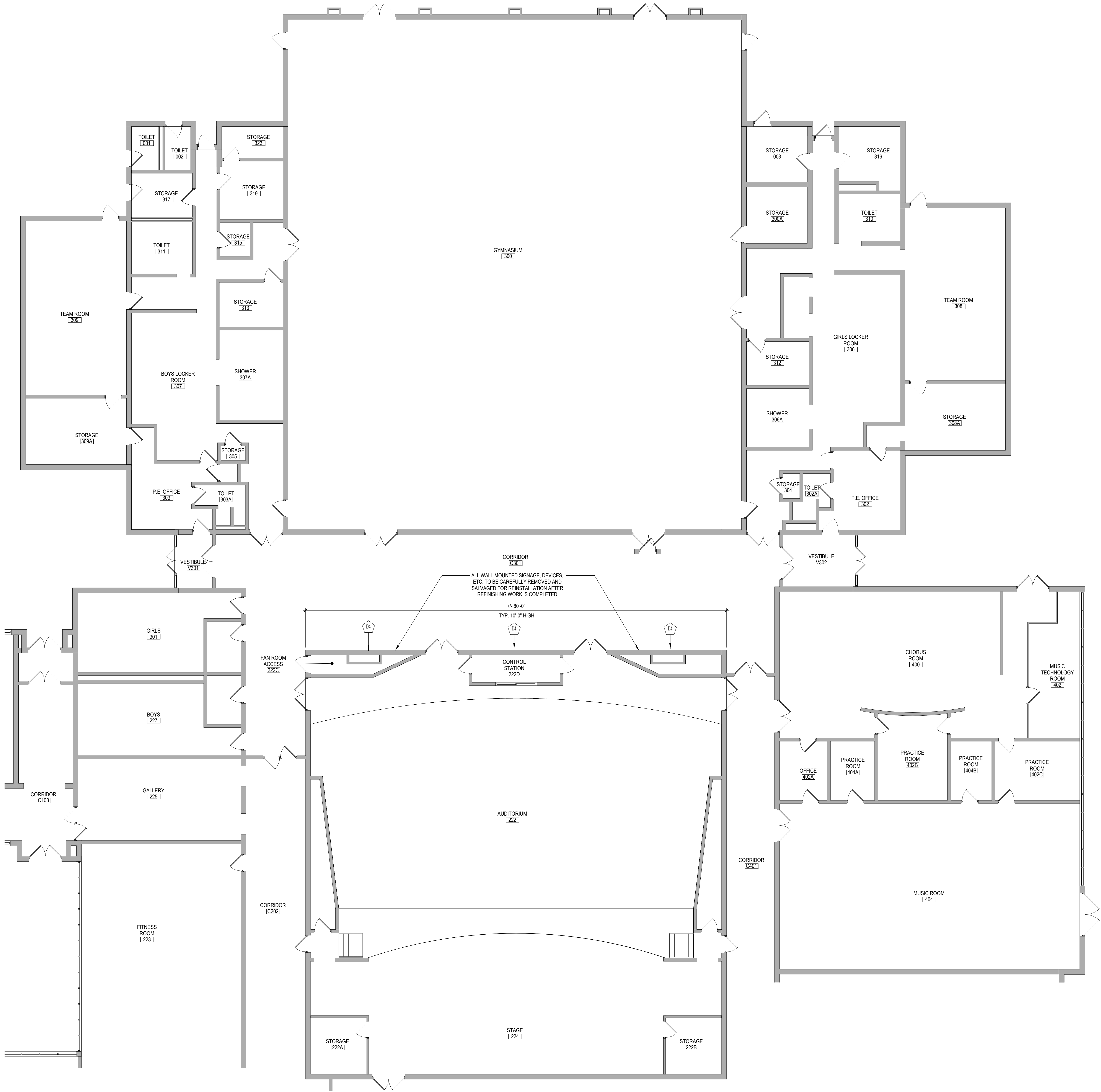
Sheet Title
FIRST FLOOR
DEMOLITION
PLAN - AREA
'B'

Sheet No.
HHS
AD112

CONSTRUCTION DOCUMENTS

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1 FIRST FLOOR DEMOLITION PLAN - AREA 'C'
AD113 1/8" = 1'-0"

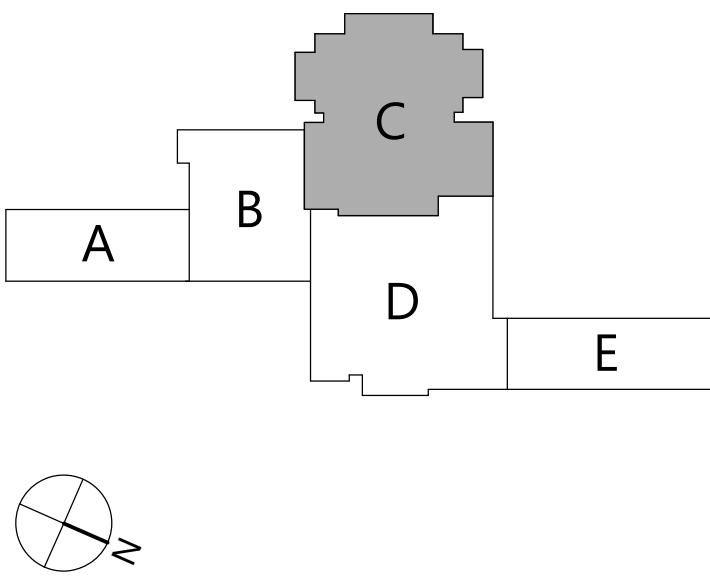
GENERAL NOTES

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- PROVIDE TEMPORARY SHORING AS NECESSARY AT ALL AREAS OF WALL REMOVAL AND NEW WALL PENETRATIONS.
- DRILL CORNERS OF ALL NEW SAWCUT OPENING PRIOR TO SAWCUTTING, TO PREVENT CUTTING INTO SCHEDULED CONSTRUCTION TO REMAIN.
- ALL EXISTING LOCKERS ARE 8" WIDE x 10" DEEP & SINGLE TIER.

KEY NOTES - DEMOLITION

DESCRIPTION
D4 REMOVE FINISH AND SEALER FROM EXISTING WOOD PANEL WALL WITH WOOD STRIPPING MATERIAL SPECIFIED. SAND WOOD PANELS AND PREP FOR REFINISHING.

KEYPLAN



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Sheet Title

FIRST FLOOR
DEMOLITION
PLAN - AREA
'C'

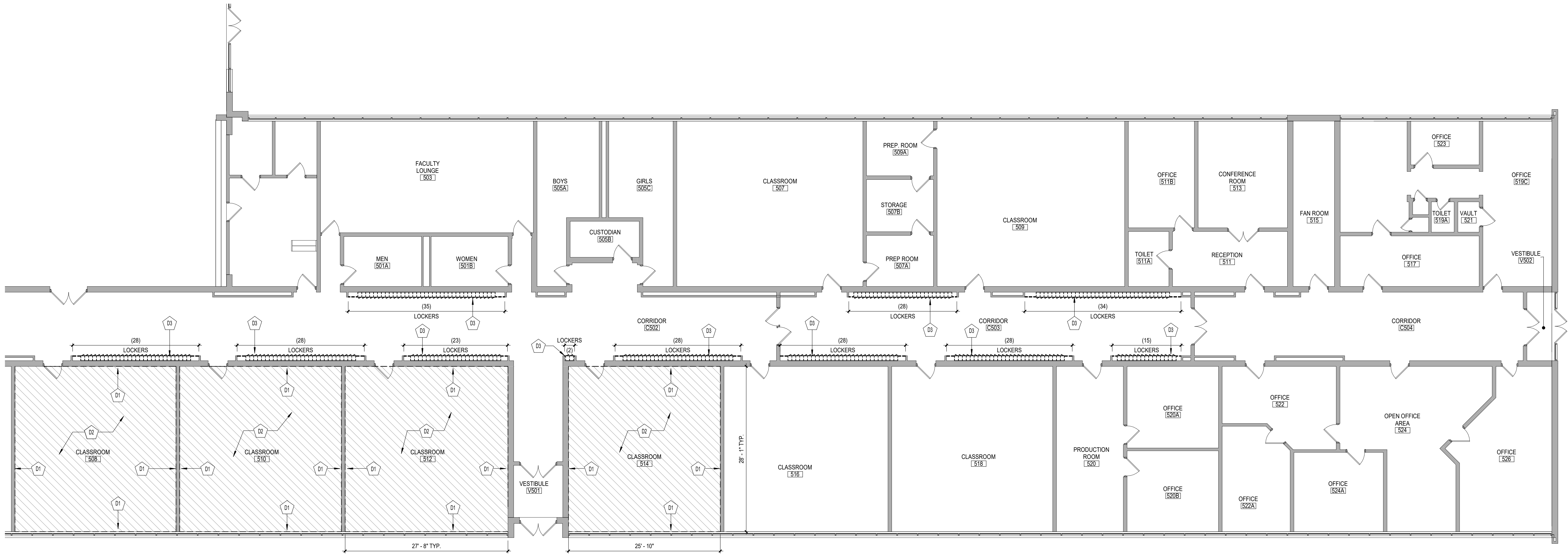
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1 FIRST FLOOR DEMOLITION PLAN - AREA 'E'
AD115 1/8" = 1'-0"

- GENERAL NOTES**
- COORDINATE ALL REMOVALS WITH NEW CONSTRUCTION.
 - PATCH AND REPLACE EXISTING AND NEWLY CREATED HOLES IN WALLS (DUE TO REMOVAL) WITH MATERIALS TO MATCH EXISTING CONSTRUCTION.
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 - PROVIDE TEMPORARY SHORING AS NECESSARY AT ALL AREAS OF WALL REMOVAL AND NEW WALL PENETRATIONS.
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KEY NOTES - DEMOLITION	
X	DESCRIPTION
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D2	REMOVE EXISTING RESILIENT TILE FLOORING, WALL BASE, AND MASTIC IN ITS ENTIRETY. COORDINATE WITH HAZARDOUS MATERIALS DRAWINGS.
D3	EXISTING CORRIDOR LOCKERS INCLUDING OVERHEAD OYSPUMPLASTER SOFFIT AND RUBBER WALL BASE TO BE REMOVED. COORDINATE WITH HAZARDOUS MATERIAL DRAWINGS.

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KEYPLAN	

KEYPLAN	
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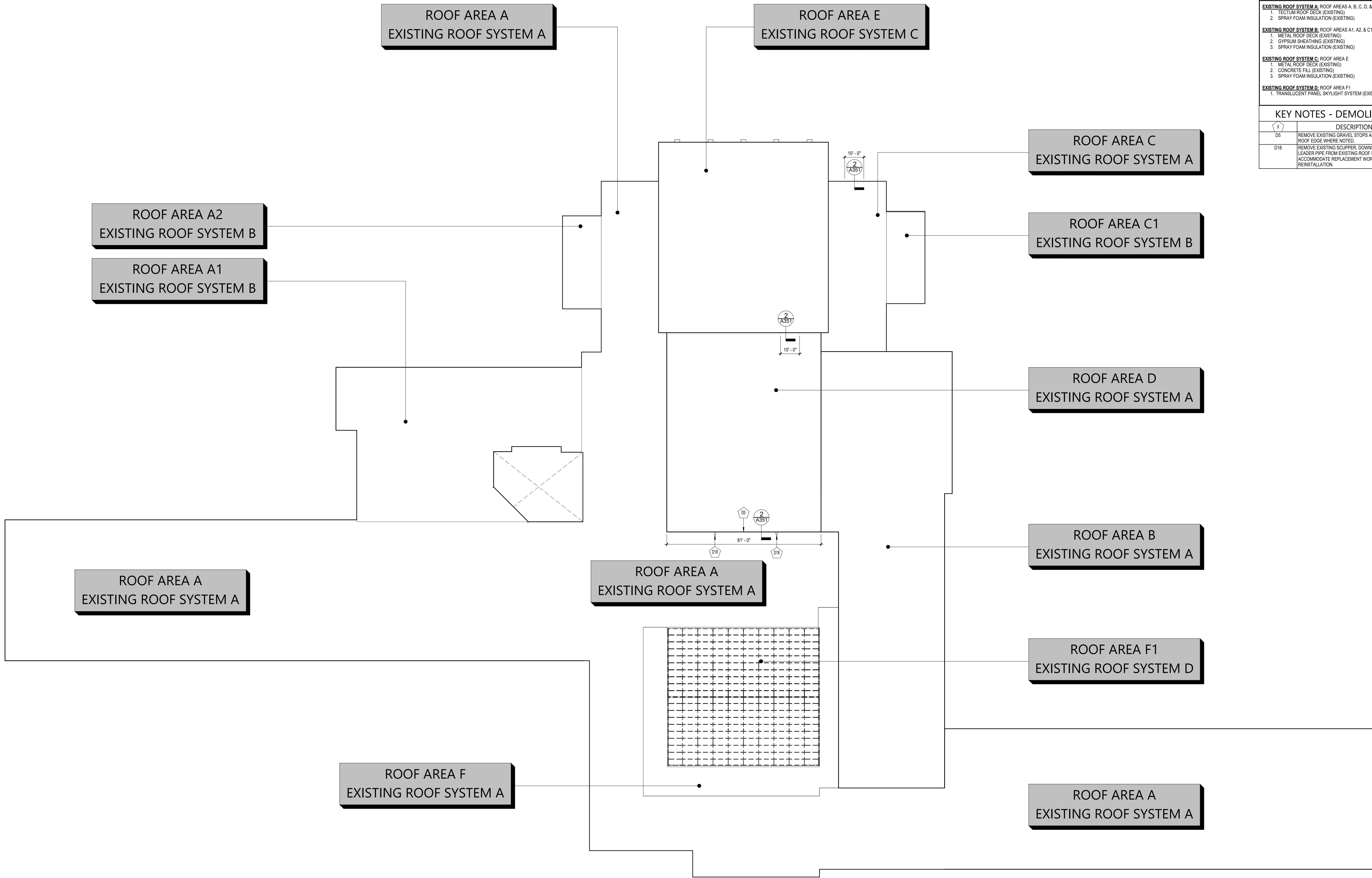
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1 OVERALL ROOF DEMOLITION PLAN
AD400 1" = 20'-0"

ROOF DESCRIPTIONS	
EXISTING ROOF SYSTEM A: ROOF AREAS A, B, C, D, & F	
1. TECTUM ROOF DECK (EXISTING)	
2. SPRAY FOAM INSULATION (EXISTING)	
EXISTING ROOF SYSTEM B: ROOF AREAS A1, A2, & C1	
1. METAL ROOF DECK (EXISTING)	
2. GYPSUM SHEATHING (EXISTING)	
3. SPRAY FOAM INSULATION (EXISTING)	
EXISTING ROOF SYSTEM C: ROOF AREA E	
1. METAL ROOF DECK (EXISTING)	
2. CONCRETE FILL (EXISTING)	
3. SPRAY FOAM INSULATION (EXISTING)	
EXISTING ROOF SYSTEM D: ROOF AREA F1	
1. TRANSLUCENT PANEL SKYLIGHT SYSTEM (EXISTING)	

KEY NOTES - DEMOLITION	
SYMBOL	DESCRIPTION
D5	REMOVE EXISTING GRAVEL STOPS AND FASCIAS FROM ROOF EDGE WHERE NOTED.
D18	REMOVE EXISTING SCUPPER, DOWNSPOUT, AND LEADER PIPE FROM EXISTING ROOF EDGE TO ACCOMMODATE REPLACEMENT WORK. SALVAGE FOR REINSTALLATION.

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HIGHLAND CENTRAL SCHOOL DISTRICT
HIGHLAND HIGH SCHOOL
2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1

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Professional Seal

Professional Seal

DATE	DESCRIPTION

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Proj. #: 62-08-03-04-0-009-014

CSArch Proj. #: 197-2201.01

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Sheet Title

OVERALL
ROOF
DEMOLITION
PLAN

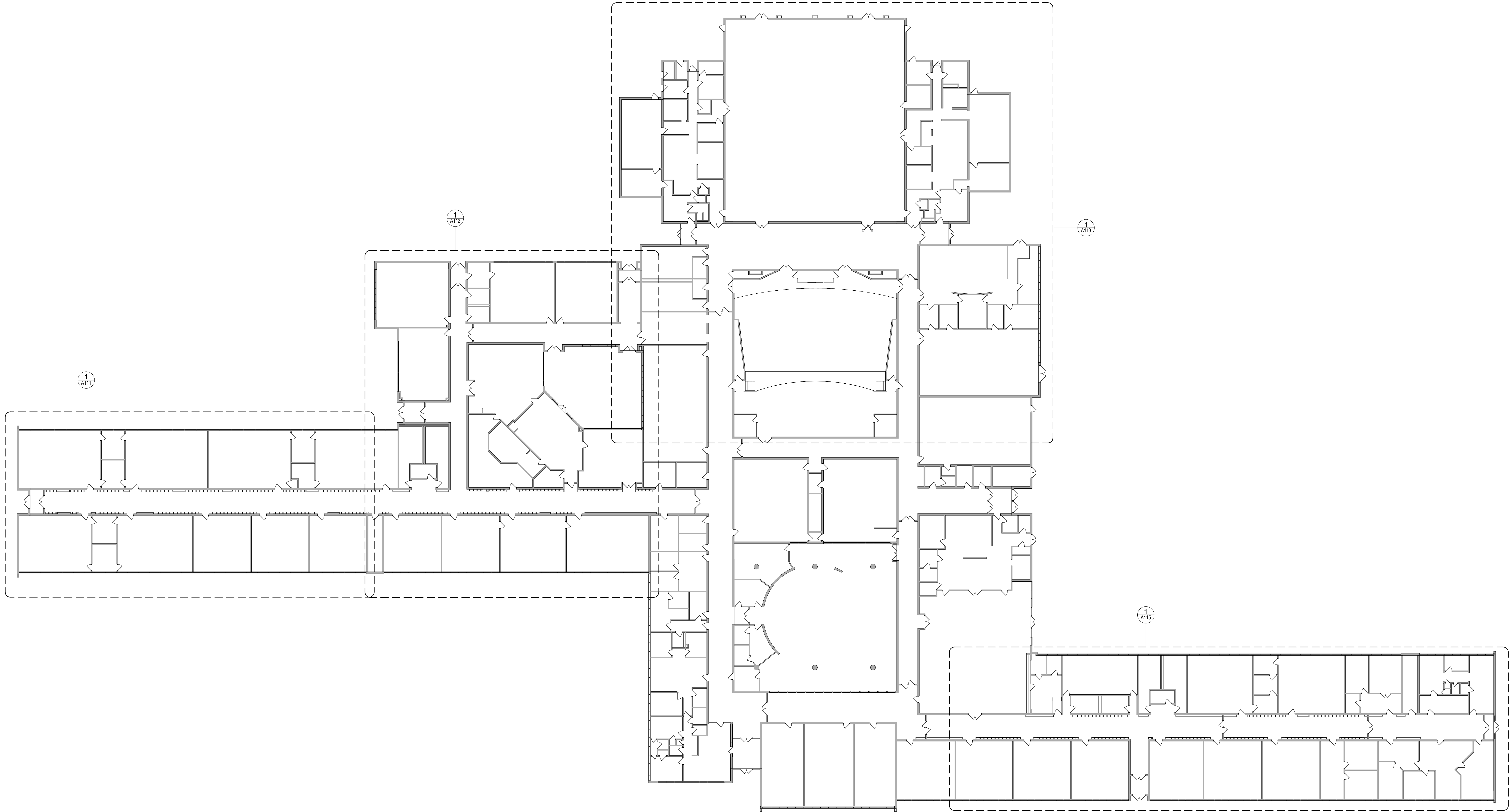
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HHS
AD400

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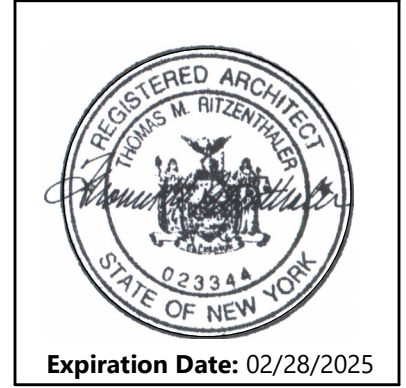
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1 OVERALL FIRST FLOOR NEW WORK PLAN
A110 1" = 20'-0"

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HIGHLAND CENTRAL SCHOOL DISTRICT
HIGHLAND HIGH SCHOOL
2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1



DATE	DESCRIPTION

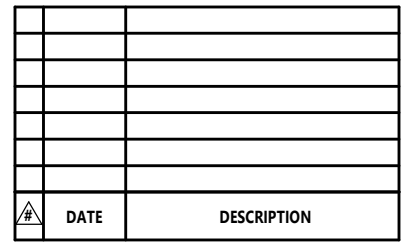
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Sheet Title
OVERALL FIRST
FLOOR NEW
WORK PLAN

Sheet No.
HHS
A110
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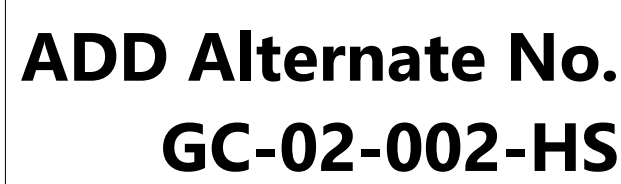
Sheet Title

FIRST FLOOR
NEW WORK
PLAN - AREA
'A'

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A111

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1 FIRST FLOOR NEW WORK PLAN - AREA 'A'

The diagram shows a building layout with five rooms labeled A, B, C, D, and E. Room A is shaded grey. The layout is as follows: Room A is on the left, connected to Room B. Room B is connected to Room C (top) and Room D (bottom). Room C is connected to Room D. Room D is connected to Room E on the right. A compass rose is located at the bottom left, with an arrow pointing towards the top right, indicating North.

GENERAL NOTES	
1.	REFER TO SETTING G001 FOR ADDITIONAL GENERAL NOTES
2.	REFER TO 8000 SERIES DRAWINGS PARTITION TYPES AND ADDITIONAL NOTES
3.	REFER TO 8000 SERIES DRAWINGS FOR DOOR, STOREFRONT, CURTAINWALL, WINDOW AND LOUVER SCHEDULES, DETAILS AND NOTES
4.	ALL NEW LOCKERS ARE 15" WIDE X 10" DEEP & TWO TIER

KEY NOTES - NEW WORK	
(X)	DESCRIPTION
1	POINT ENTIRE WALL INCLUDING AREA WHERE ADJACENT WALL PANELS WERE PREVIOUSLY REMOVED
2	PROVIDE NEW 12"x12" VCT FLOORING AND RUBBER WALL BASE OVER EXISTING SUBSTRATE
3	PROVIDE GYPSUM BOARD PATCHING AND NEW 4" RUBBER WALL BASE AT NEW LOCKER AND NEW LOCKER SYSTEMS TO BE PROVIDED BY LOCKER VENDOR REFER TO DETAILS FOR ADDITIONAL INFORMATION
14	IN-WALL WALLS WHERE LOCKERS WERE PREVIOUSLY REMOVED

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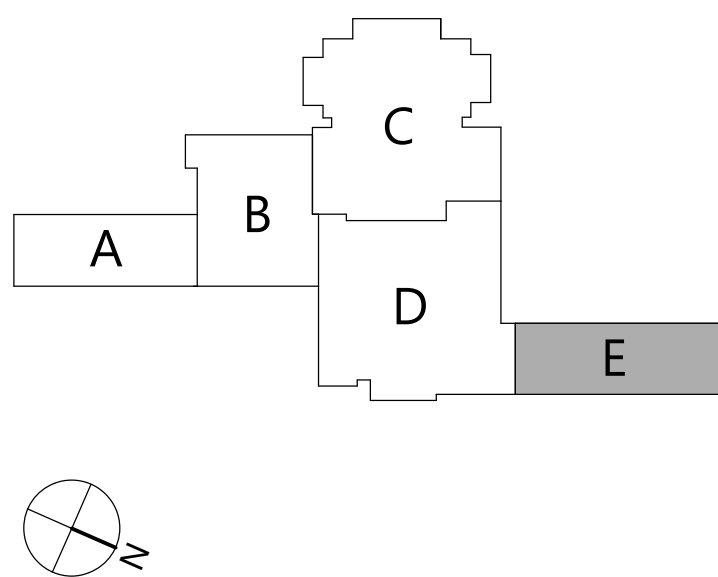
Sheet Title

FIRST FLOOR
NEW WORK
PLAN - AREA
'E'

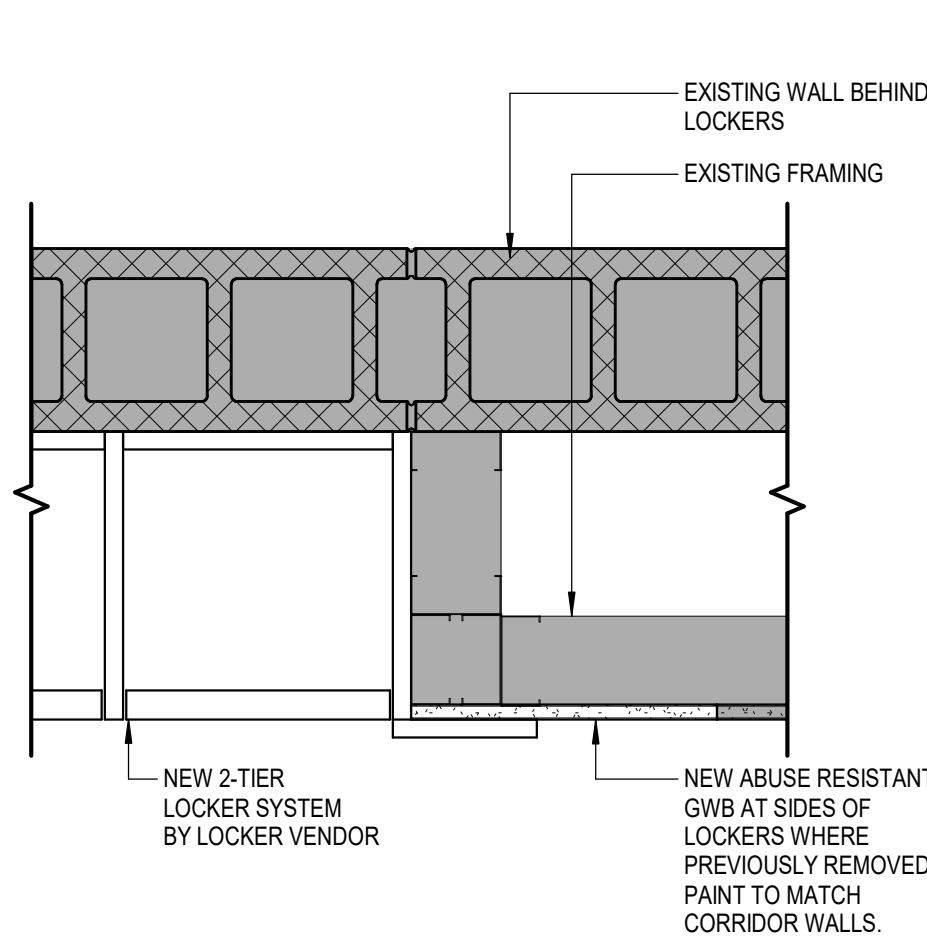
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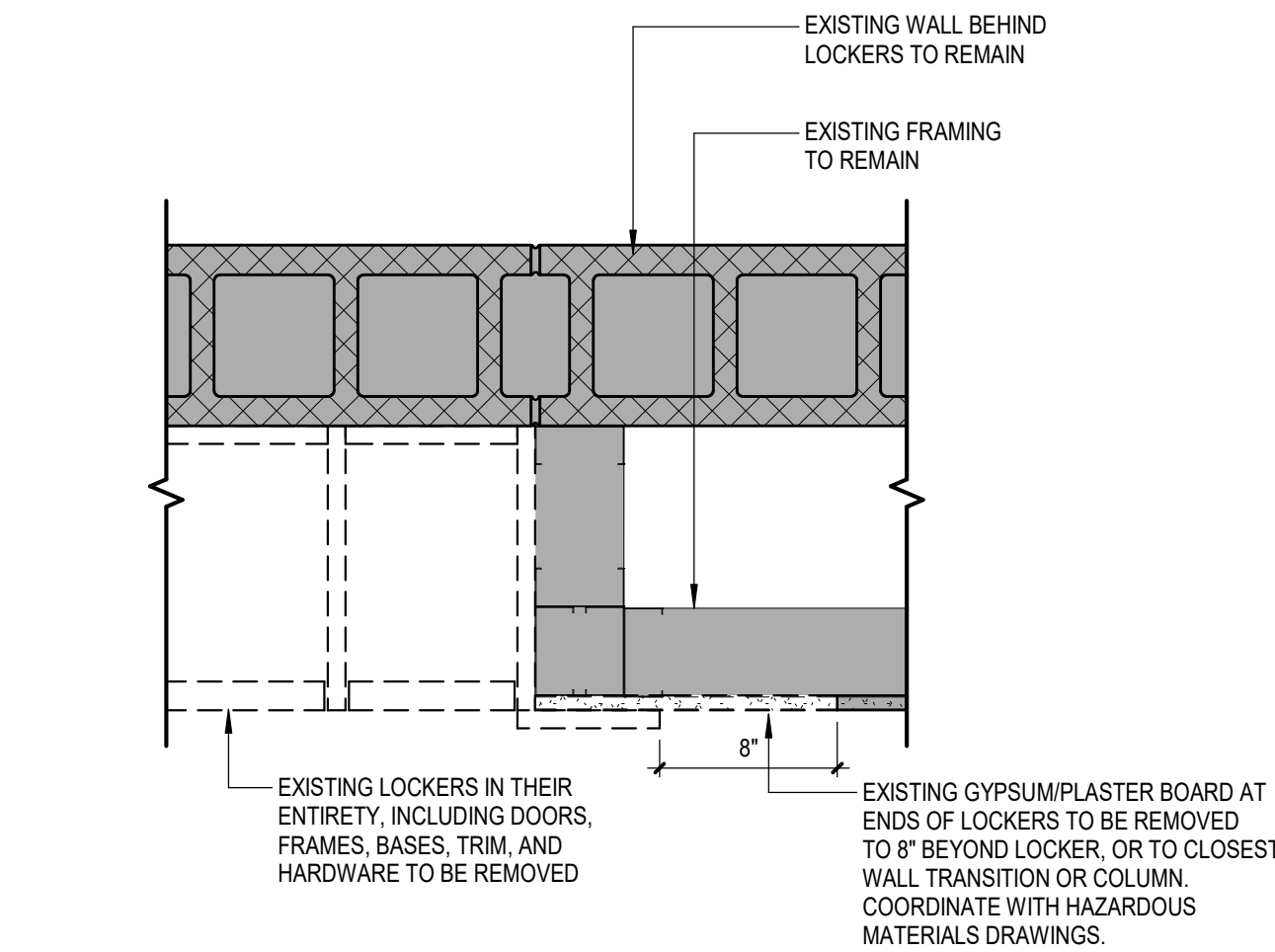
KEYPLAN



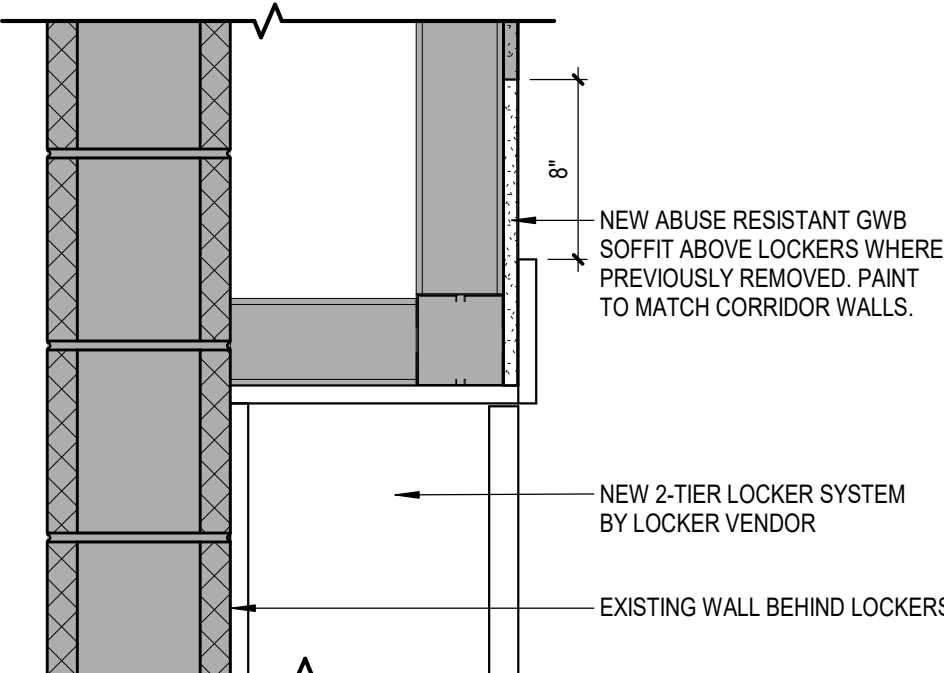
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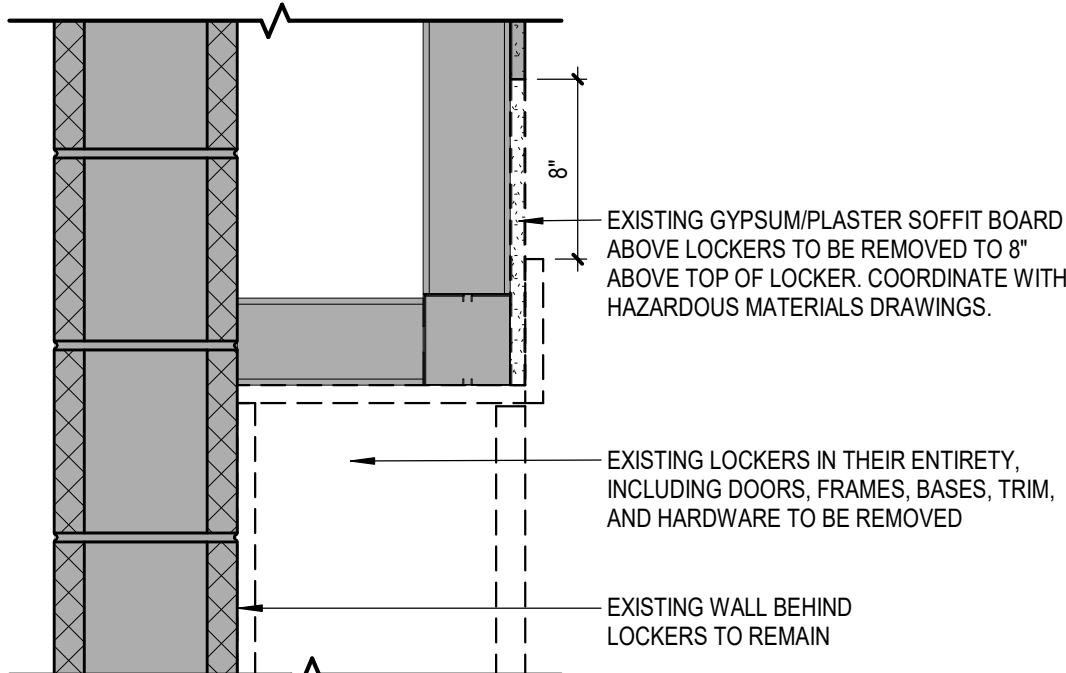
5C NEW LOCKER - ENDS (TYP.)
A351 1 1/2" = 1'-0"



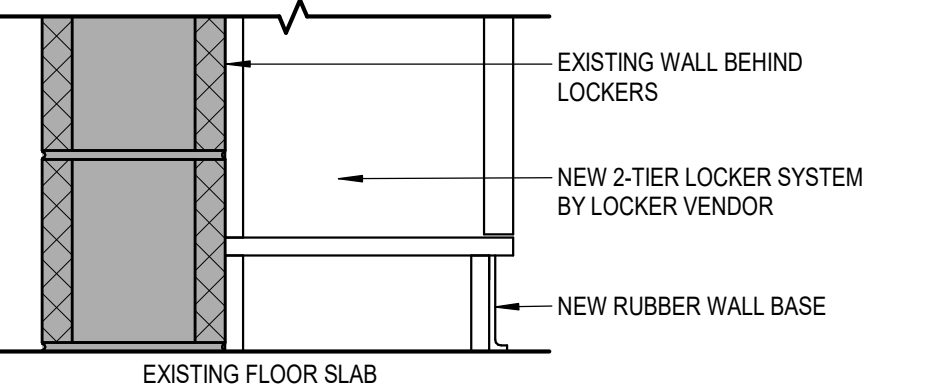
4C LOCKER DEMOLITION - ENDS (TYP.)
A351 1 1/2" = 1'-0"



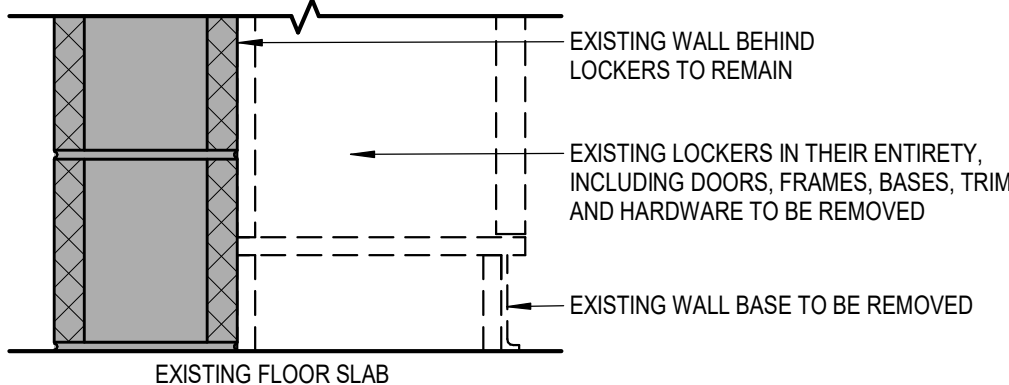
5B NEW LOCKER - SOFFIT
A351 1 1/2" = 1'-0"



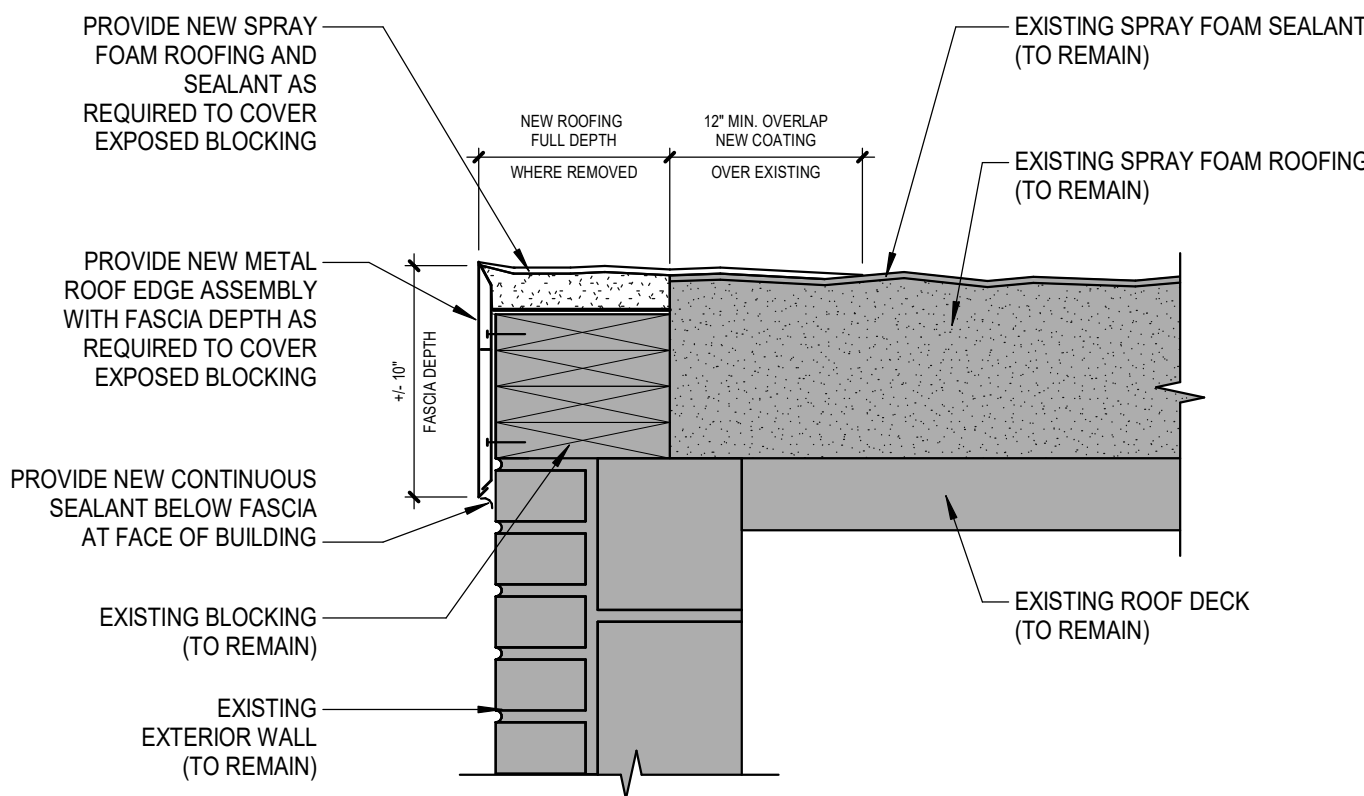
4B LOCKER DEMOLITION - SOFFIT
A351 1 1/2" = 1'-0"



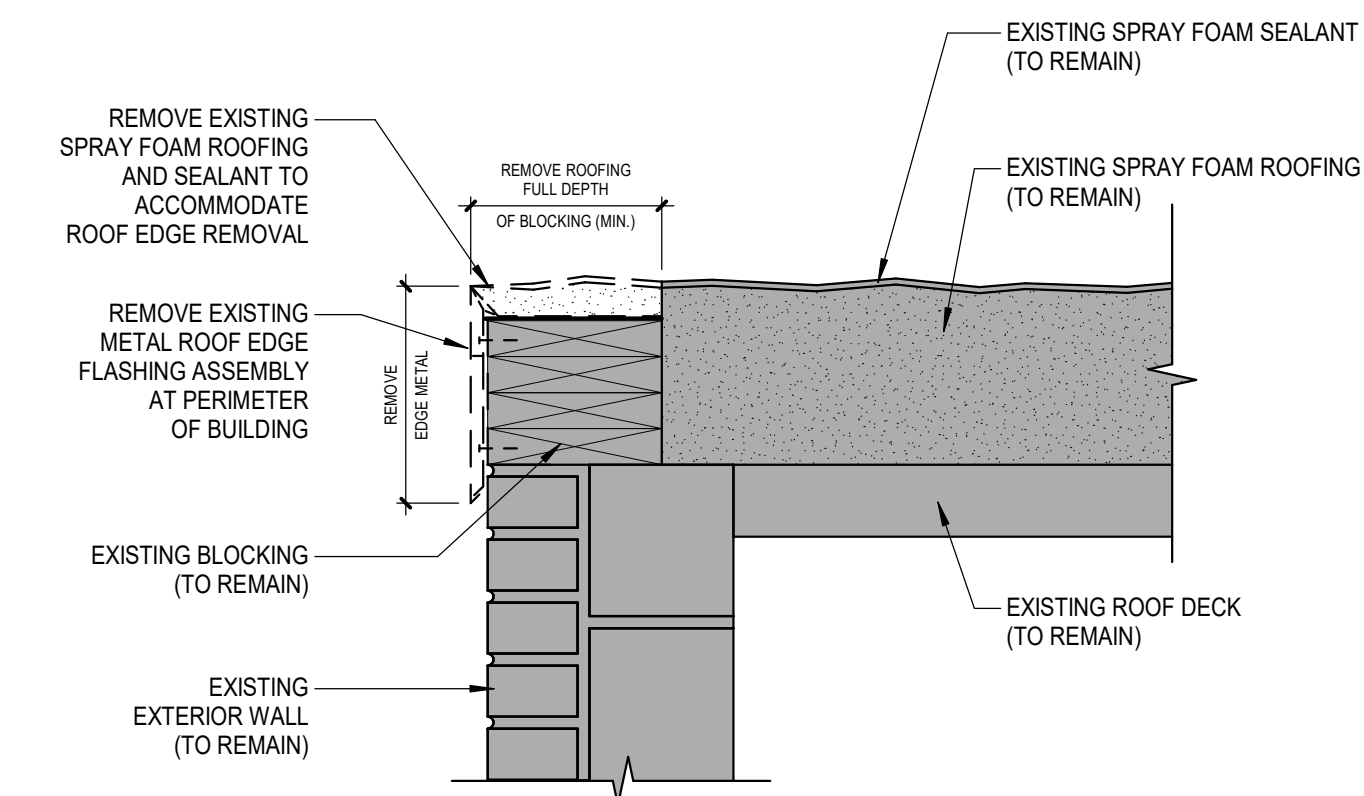
5A NEW LOCKER - BASE
A351 1 1/2" = 1'-0"



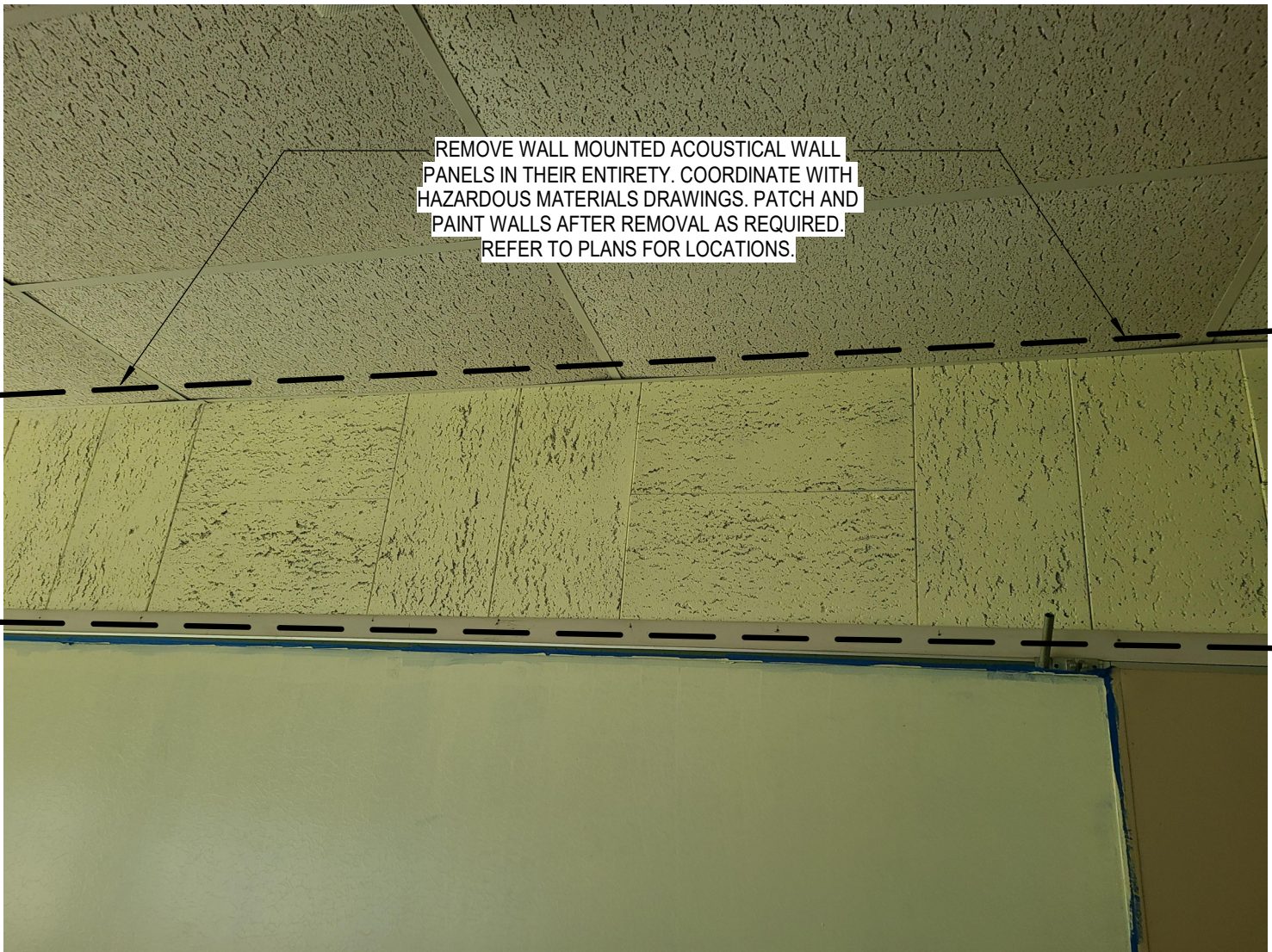
4A LOCKER DEMOLITION - BASE
A351 1 1/2" = 1'-0"



3 NEW ROOF EDGE FLASHING
A351 1 1/2" = 1'-0"



2 ROOF EDGE FLASHING DEMOLITION
A351 1 1/2" = 1'-0"



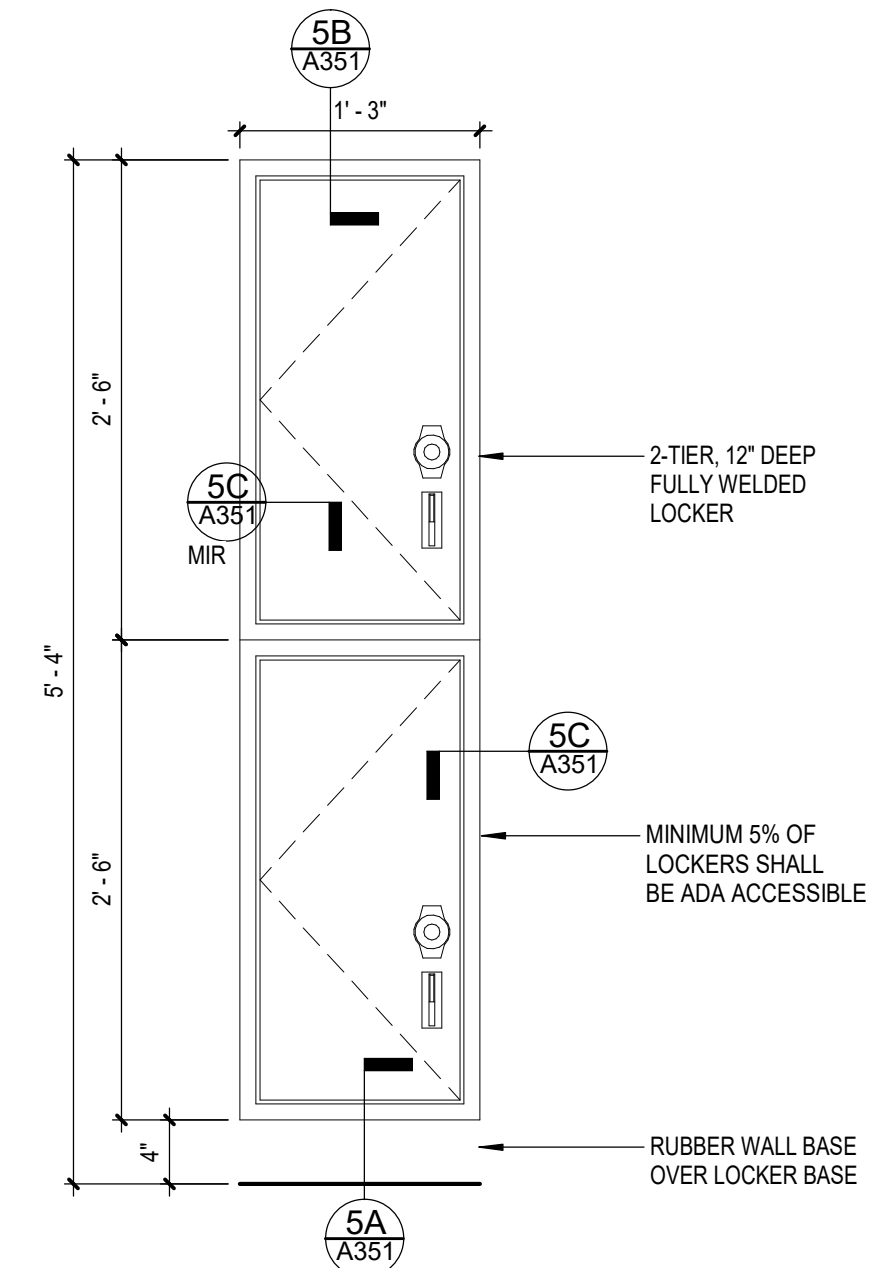
1 TYP. ACOUSTICAL WALL PANELS
A351 1/2" = 1'-0"

ADA ACCESSIBILITY FOR LOCKERS

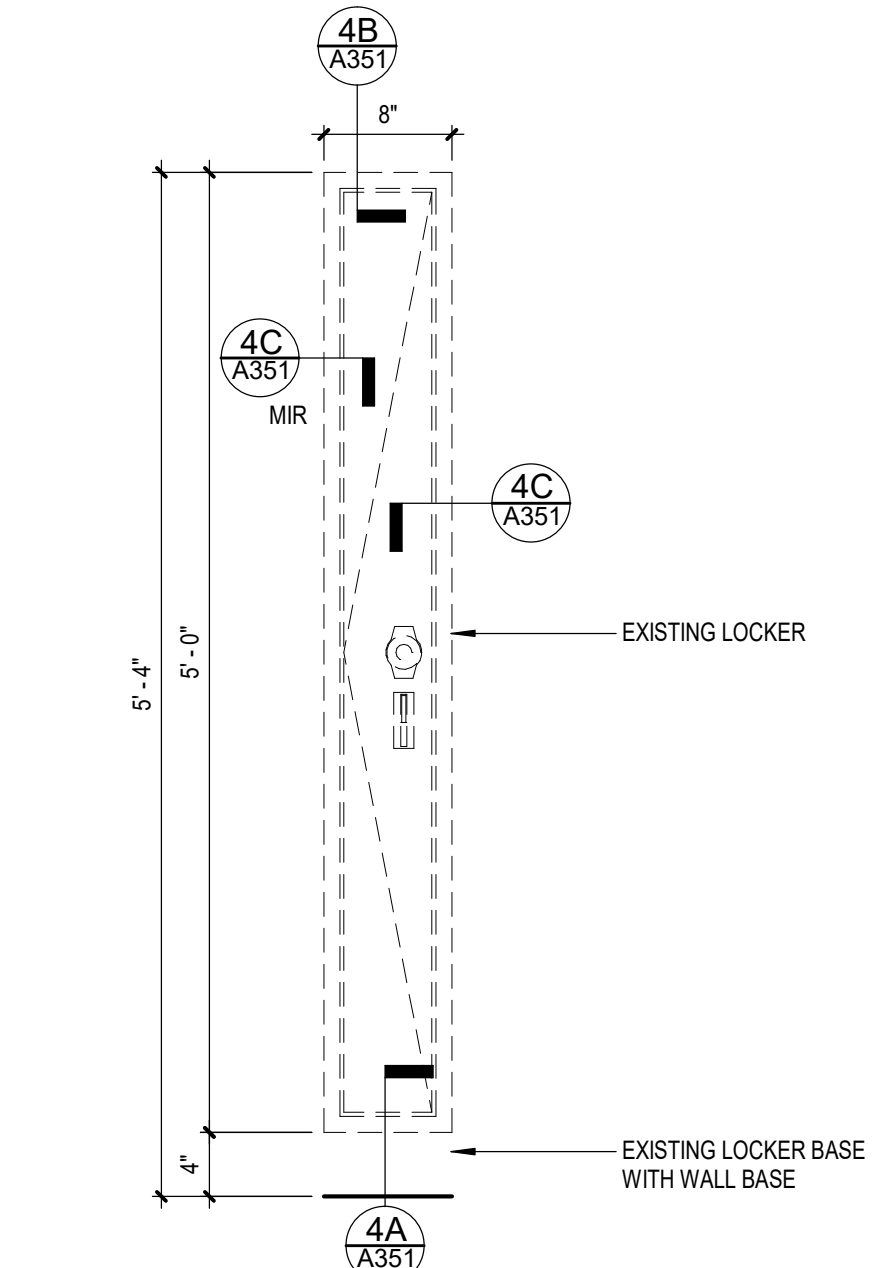
ADA LOCKERS:
PROVIDE MINIMUM (40) ADA ACCESSIBLE LOCKER TYPE L1.

GENERAL LOCKER NOTES:

- PROVIDE FILLER PANELS BETWEEN LOCKERS AND WALLS AS NEEDED.
- PROVIDE FILLER PANELS BETWEEN LOCKERS AT CORNER AREAS AS NEEDED.
- PROVIDE FINISHED END PANELS AT EACH EXPOSED END OF LOCKERS

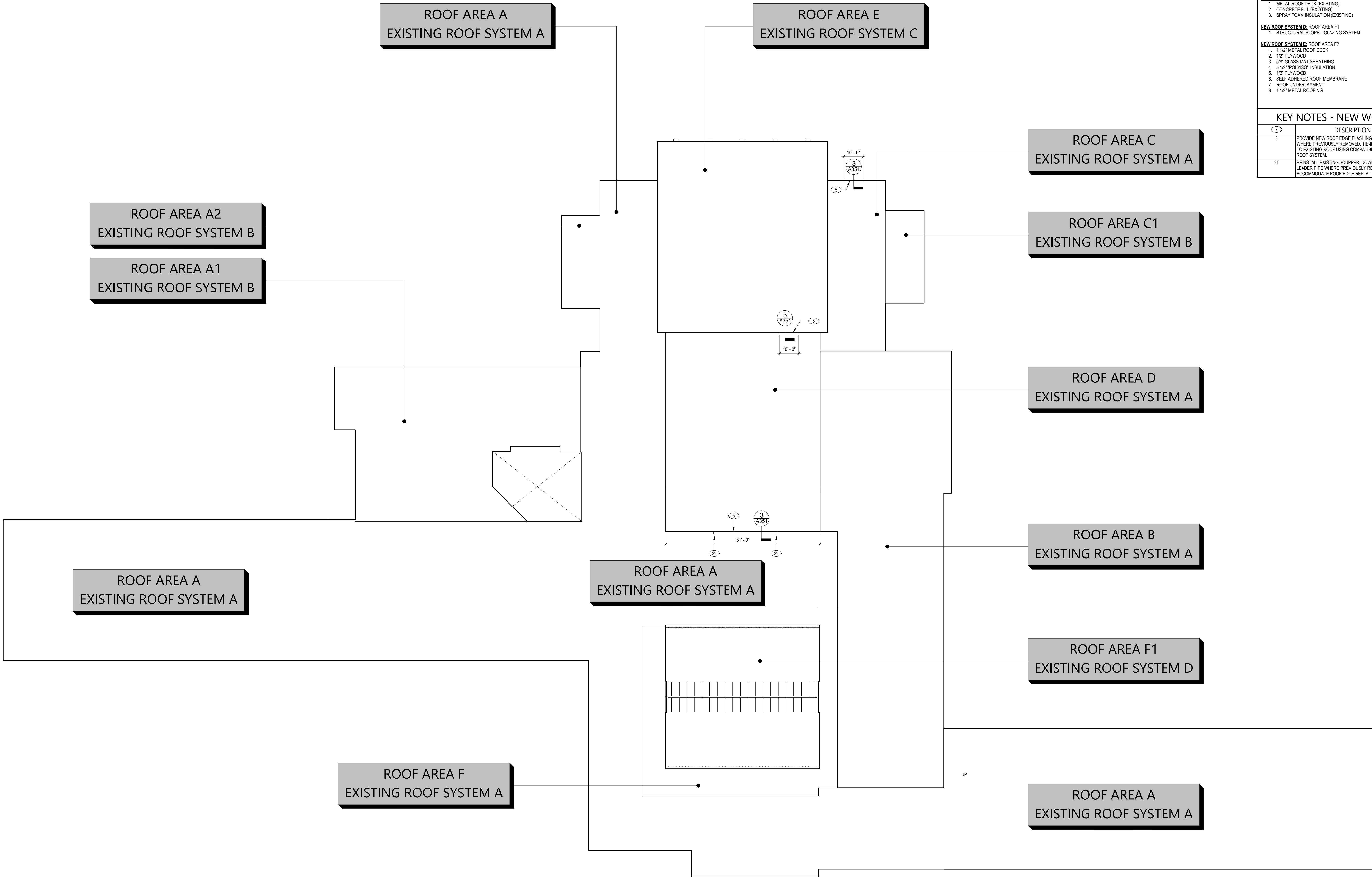


5 NEW LOCKER - TYPE L1
A351 1" = 1'-0"



4 EXISTING LOCKER DEMOLITION
A351 1" = 1'-0"

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ROOF DESCRIPTIONS	
EXISTING ROOF SYSTEM A: ROOF AREAS A, B, C, D, & F	
1. TECTUM ROOF DECK (EXISTING)	
2. SPRAY FOAM INSULATION (EXISTING)	
EXISTING ROOF SYSTEM B: ROOF AREAS A1, A2, & C1	
1. METAL ROOF DECK (EXISTING)	
2. GYPSUM SHEATHING (EXISTING)	
3. SPRAY FOAM INSULATION (EXISTING)	
EXISTING ROOF SYSTEM C: ROOF AREA E	
1. METAL ROOF DECK (EXISTING)	
2. CONCRETE FILL (EXISTING)	
3. SPRAY FOAM INSULATION (EXISTING)	
NEW ROOF SYSTEM D: ROOF AREA F1	
1. STRUCTURAL SLOPED GLAZING SYSTEM	
NEW ROOF SYSTEM E: ROOF AREA F2	
1. 1 1/2" METAL ROOF DECK	
2. 1/2" PLYWOOD	
3. 5/8" GLASS MAT SHEATHING	
4. 5 1/2" POLYISO' INSULATION	
5. 1/2" PLYWOOD	
6. SELF ADHERED ROOF MEMBRANE	
7. ROOF UNDERLAYMENT	
8. 1 1/2" METAL ROOFING	

KEY NOTES - NEW WORK	
(X)	DESCRIPTION
5	PROVIDE NEW ROOF EDGE FLASHINGS AND FASCIAS WHERE PREVIOUSLY REMOVED. TIE-IN NEW FLASHINGS TO EXISTING ROOF USING COMPATIBLE SPRAY FOAM ROOF SYSTEM.
21	REINSTALL EXISTING SCUPPER, DOWNSPOUT, AND LEADER PIPE WHERE PREVIOUSLY REMOVED TO ACCOMMODATE ROOF EDGE REPLACEMENT WORK.

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HIGHLAND CENTRAL SCHOOL DISTRICT
HIGHLAND HIGH SCHOOL
2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1

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Sheet Title

OVERALL
ROOF NEW
WORK PLAN

Sheet No.

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A400

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