



**GENERAL NOTES**

- THE SUBJECT PROPERTY IS KNOWN AS LOTS 90 & 91 IN BLOCK 1 AS SHOWN ON SHEET 117.19 OF THE OFFICIAL TAX MAP OF THE TOWN OF MOUNT PLEASANT, WESTCHESTER COUNTY, NEW YORK, DATED MARCH 31, 1996 AND LAST REVISED JULY 20, 2012.
- THE PROPERTY IS LOCATED IN THE GENERAL COMMERCIAL (C-G) DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 434,783.55 ± SQ. FT. ACRES.
- OWNER: GSONDI FAMILY LIMITED PARTNERSHIP  
11 HARDING  
WHITE PLAINS, NY 10606
- APPLICANT: MARK MATHIAS  
LBA OF WESTCHSTER, LLC  
179 NELSON ROAD  
SCARSDALE, NY 10583
- THE SUBJECT PROPERTIES ARE PRESENTLY A TWO STORY OFFICE BUILDING AND PARKING LOT ON LOT 90 AND A TWO STORY RESIDENCE ON LOT 91. THE APPLICANT PROPOSES TO CONSTRUCT A TWO STORY CHILD CARE FACILITY WITH OUTDOOR PLAYGROUNDS, PARKING LOT, AND OTHER SITE APPURTENANCES.
- BOUNDARY SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHICAL SURVEY FOR LIGHTBRIDGE VALHALLA," SHEET 1 OF 1, DATED OCTOBER 8, 2018, PREPARED BY MASER CONSULTING P.A., P.L.S. LIC. NO. 059820 OF NEW YORK.
- THE HORIZONTAL DATUM IS RELATIVE TO THE NEW YORK STATE PLANE COORDINATE SYSTEM EAST ZONE AND ADJUSTED TO NAD 1983. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.
- NO FRESHWATER WETLANDS ARE KNOWN TO EXIST ON THE SITE AS SHOWN ON THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) ENVIRONMENTAL RESOURCE MAPS. MOST OF THE SITE IS DEVELOPED.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
  - A NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2002, AS SUPPLEMENTED.
  - B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
  - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
  - D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- REFUSE AND RECYCLABLES SHALL BE STORED WITHIN THE TRASH ENCLOSURE UNTIL DESIGNATED PICK UP DAY OR WITHIN OUTSIDE SCREENED TRASH ENCLOSURES AS NOTED ON THE PLANS.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH DWELLING/BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL PLOT PLANS/ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED ZONING REQUIREMENTS.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THEREON.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "READY FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS. TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADEQUATE RECORDS TO AVOID COLLISIONS. THE CONTRACTOR SHALL NOTIFY THE UNDERGROUND PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RESULT IN HAZARDOUS MATERIALS OR INEFFECTIVE.
- NO UTILITY SERVICE UPGRADES ARE ANTICIPATED IN THIS PROJECT.
- THIS PLAN IS NOT DICTATING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES. INTERPRETATION, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERGROUND PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

**SUPPLEMENTAL REGULATIONS FOR CHILD-CARE CENTERS**

CODE	ALLOWABLE	PROVIDED
[18-99-A3](a)[2]	INTERIOR FLOOR AREAS FOR CHILD DAY-CARE CENTERS SHALL NOT BE LOCATED IN BASEMENTS OR UPPER FLOORS LACKING A STAIRWAY ACCESS.	NO (W)
[18-99-A3](a)[1]	EACH CHILD DAY-CARE CENTER SHALL CONTAIN A DESIGNATED OUTDOOR PLAY AREA WHICH SHALL BE SHOWN AND DETAILED ON THE REQUIRED SITE PLAN.	YES (OUTDOOR PLAY AREA DETAILED ON ARCH PLANS)
[18-99-A3](a)[3]	THE OUTDOOR PLAY AREA SHALL NOT BE LOCATED IN THE FRONT YARD AND SHALL BE SUBJECT TO SETBACKS EQUAL TO THOSE FOR CHEMICAL TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERGROUND PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.	NO (W) (PLAYGROUND DOES MEET ALL SETBACK REQUIREMENTS)
[18-99-A3](a)[3b]	THE OUTDOOR PLAY AREA SHALL NOT BE LOCATED IN AN AREA THAT IS DIRECTLY ADJACENT TO THE ACCESS OF THE INDOOR PORTION OF THE CENTER. A DESIGNATED CROSSWALK OR ACCESS PATH WILL BE REQUIRED TO PROVIDE ADDITIONAL SECURITY PROTECTION.	NO (W)
[18-99-A3](a)[3c]	THE OUTDOOR PLAY AREA SHALL BE ENCLOSED BY A CHAIN-LINK FENCE OR FENCE OF EQUIVALENT MATERIAL. SUCH FENCE SHALL BE SIX (6) FEET IN HEIGHT. GATES DESIGNATED WITH APPROPRIATE LOCKS SHALL BE INSTALLED WITHIN THE FENCING TO ENSURE SAFETY FOR THE STAFF AND CHILDREN USING THE AREA.	YES (OUTDOOR PLAY AREA FENCE DETAILED ON ARCH PLANS)
[18-99-A3](a)[4]	THE SURFACE MATERIAL AND CONSTRUCTION COMPONENTS OF THE FENCING AND PLAY APPARATUS SHALL BE OF A SUITABLE TYPE FOR RECREATIONAL PURPOSES AND WHICH ENSURE THE SAFETY OF THE STAFF AND CHILDREN OF THE CHILD DAY-CARE CENTER.	YES (OUTDOOR PLAY AREA DETAILED ON ARCH PLANS)
[18-99-A3](a)[5]	THE GROUND SURFACE OF THE OUTDOOR PLAY AREA SHALL BE COVERED BY A CELLULOSE MULCH OR OTHER SUITABLE MATERIAL TYPE FOR RECREATIONAL PURPOSES.	YES (OUTDOOR PLAY AREA SURFACE DETAILED ON ARCH PLANS)
[18-99-A3](a)[6]	THE OUTDOOR PLAY AREA SHALL BE FREE FROM ANY CONDITION WHICH IS KNOWN TO BE HAZARDOUS AND/OR DANGEROUS TO THE HEALTH AND SAFETY OF THE STAFF AND CHILDREN USING THE AREA.	YES
[18-99-A3](a)[1]	EACH CHILD DAY-CARE CENTER SHALL CONTAIN A DESIGNATED DROP-OFF / PICKUP AREA WHICH SHALL BE SHOWN AND DETAILED ON THE REQUIRED SITE PLAN.	YES (SEE LAYOUT PLAN)
[18-99-A3](a)[2]	THE DROP-OFF / PICKUP AREA SHALL PROVIDE DIRECT ACCESS TO THE CHILD DAY-CARE CENTER AND ALL LOADS OF CHILDREN FROM VEHICLES SHALL ONLY BE PERMITTED FROM THE DESIGNATED AREA.	YES (SEE LAYOUT PLAN)
[18-99-A3](a)[3]	THE DROP-OFF / PICKUP AREA SHALL BE LOCATED SO THAT CHILDREN DO NOT HAVE TO WALK ACROSS THE PARKING AREA OR TRAFFIC AREAS TO REACH A VEHICLE OR THE RELATED FACILITIES OF THE CENTER.	YES (SEE LAYOUT PLAN)
[18-99-A3](a)[4]	THE DROP-OFF / PICKUP AREA SHALL PROVIDE ONE-WAY TRAFFIC FLOW WITH A SEPARATE STANDING AREA CONSISTING OF A MINIMUM OF ONE DROP-OFF / PICKUP SPACE FOR EACH CHILDREN OF THE CENTER'S LICENSED CAPACITY. EACH DROP-OFF / PICKUP SPACE SHALL MEASURE TWENTY (20) FEET LONG IN LENGTH AND TWELVE (12) FEET IN WIDTH FOR PERPENDICULAR PARKING. SUCH AREAS SHALL BE CLEARLY IDENTIFIED BY PAVEMENT MARKINGS AND APPROPRIATE ABOVE GROUND SIGNAGE.	NO (W) (SEE LAYOUT PLAN)
[18-99-A3](a)[5]	THE DROP-OFF / PICKUP AREA AND VEHICLE STANDING AREA SHALL BE PAVED.	YES (SEE LAYOUT PLAN)

**DEMOLITION NOTES**

- THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:
  - BOUNDARY AND TOPOGRAPHIC SURVEY FOR SECTION 117.19, BLOCK 1, LOT 91, PREPARED BY MASER CONSULTING P.A., DATED 10/08/18.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNING REGARDING THE APPLICABLE STATE STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT, SHALL BE RAISED WITH THE ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR:
  - OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
  - NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 24 HOURS PRIOR TO START OF WORK.
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
  - LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE FIBER, OPTIC, CABLE, ETC., WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
  - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
  - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT AN ADDITIONAL COST TO THE OWNER.
  - IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
  - THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
  - THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
  - THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
  - CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
  - CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT UTILITIES AND SERVICES. THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
  - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DERIVED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
  - THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO PRE-DEMOLITION CONDITION.
  - CONTRACTOR IS RESPONSIBLE TO SCHEDULED SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
  - CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
  - THE DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
  - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (OLID WASTE) SHALL BE DROPPED IN IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
  - CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPTED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMANLIKE MANNER, AND TURNED OVER TO THE OWNER UPON COMPLETION OF THE WORK.
  - GC IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, PAVEMENT, DRAINAGE STRUCTURES, ETC., WHICH ARE TO REMAIN. GC WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE AFOREMENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.

**ADA NOTES TO CONTRACTOR**

- CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN, FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL, FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCES. THESE COMPONENTS MUST COMPLY WITH THESE ADA CODE REQUIREMENTS, THESE INCLUDED, BUT ARE NOT LIMITED TO THE FOLLOWING:
  - PARKING SPACES AND PARKING AISLES - SLOPE MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION.
  - CURB RAMPS - SLOPES MUST NOT EXCEED 1:12 (8.33%) FOR A MAXIMUM OF SIX (6) FEET. CURB RAMPS SHALL NOT RISE MORE THAN 6" WITHOUT A HANDICAP RAMP.
  - LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS. MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) CROSS SLOPE.
  - PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERHANGS CANNOT REDUCE THE MINIMUM WIDTH). THE SLOPE MUST NOT GREATER THAN 1:20 (5%) OR 1/4" PER FOOT) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.33%), FOR A MAXIMUM DISTANCE OF 30 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE.
  - DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE UP THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).
- IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.
- AT ALL CROSSWALKS, GC IS TO MAINTAIN A MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% RUNNING SLOPE. NOTIFY ENGINEER OF ANY DISCREPANCIES IN FIELD.
- CONTRACTOR MUST ENSURE A MAXIMUM OF 1/4" VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" EXISTS. CONTRACTOR MUST ENSURE THAT THE TOP OF 1/4" CHANGE IN LEVEL IS BEHELD WITH A SLOPE NOT GREATER THAN 1:2.
- OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG ACCESSIBLE PATH MUST NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2".

**UTILITY NOTES**

- LOCATION OF ALL EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL CONNECTION POINTS SHALL BE VERIFIED IN FIELD BY GC AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY REGARDING ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT LOWEST INVERT AND PROGRESS UP GRADIENT. PROPOSED CROSSING OF EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICES THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE TO REMAIN DURING SITE CONSTRUCTION.
- THE CONTRACTOR TO INSTALL ALL STORM SEWERS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- ALL NEW UTILITIES/SERVICES TO BE INSTALLED UNDERGROUND. ALL TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL UTILITY/SERVICE PROVIDER SPECIFICATIONS AND STANDARDS.
- GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.

**GENERAL PLANTING NOTES**

- GENERAL**
    - THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
    - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWS, ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
    - OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
  - PLANT MATERIAL**
    - PLANT MATERIAL** SHALL CONFORM WITH THE ANSI Z601-2004 "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN.
      - PLANTS SHALL BE SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE AND/OR INFESTATION, WITH ROOT BALLS INTACT.
      - ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO THE GROUND GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL WHEN PLANTED.
      - PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
      - THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.
    - PLANT QUANTITIES** THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.
    - PLANTING** THE CONTRACTOR SHALL FURNISH ALL PLANT MATERIAL IN THE CALIBER, SPECIES OR SPREAD INDICATED IN THE PLANT SCHEDULE.
    - SUBSTITUTIONS** NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN FORM OF THE PLANT MATERIAL, UNAVAILABILITY MUST BE DOCUMENTED BY THE CONTRACTOR.
    - GUARANTEE** PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS WITHIN THE GUARANTEE PERIOD SHALL BE REMOVED, REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN ONE YEAR OF ONE GROWING SEASON. TREE STAKES, AND PLASTIC CHAINS SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.
  - PLANTING PROCEDURES**
    - PLANTING BEDS**
      - PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH WELL DRAINING AND FERTILE SOILS. SOILS SHALL BE SANDY LOAM FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE ONE PART EACH OF TOPSOIL, POSTERED PEAT MOSS, AND PARENT MATERIAL.
      - PLANTING BEDS SHALL RECEIVE FOUR (4) TO SIX (6) INCHES OF DOUBLE SHREDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT BALL/COLLAR. UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
    - PLANT LOCATIONS** THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDS SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS. UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
    - PLANTING DATES** PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 1 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE MOIST, FRESH AND NOT MUDDY AT THE TIME OF PLANTING.
    - TREE SUPPORT**
      - TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUIDED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS.
      - TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF TEN FEET, USING OF SOUND, DURABLE UNFINISHED LUMBER CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER.
      - THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2 1/2 TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT BALL.
    - TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF PLASTIC CHAIN LINK TREE TIE (1/2" WIDE RECOMMENDED FOR TREE UP TO 2 1/2 INCHES IN CALIBER).
    - SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT.
    - AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
    - B&B PLANTS SHALL BE HANDED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE REJECTED.
    - CORNER BRACING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER 1/3 OF THE ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.
- MAINTENANCE**
  - PRUNING**
    - EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD, DROOPING OR SUCKERS AND ALL BROKEN OR BOLDY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
    - SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MAXIMUM HEIGHT OF 3'0" ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'0".
  - LAWN AREAS**
    - THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED P & N NUTRIENT LEVELS.
    - ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET.
    - C. SOIL, IF SPECIFIED, SHALL CONSIST OF A NEW YORK CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOO SHALL BE TOPSOILED, LIMED, AND FERTILIZED IN A MANNER PRIOR TO LAWN ESTABLISHMENT.
    - EXISTING VEGETATION, EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE MINIMUM CLEARING DISTANCE. THE FENCING SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
    - SITE CLEANUP: EXISTING DEBRIS (WIRE, TWINE, RUBBERHOSES, B&B TIES, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.

**GENERAL SEEDING NOTES**

- TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 10 LBS. PER 1000 SF OR SPRING OATS APPLIED AT A RATE OF 10 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.
- PERMANENT LAWN SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL - OPTIMUM SEEDING DATES ARE BETWEEN APRIL 1 AND MAY 31; AND AUGUST 16 AND OCTOBER 15.
 

MIX #15 - HARD FESCUE	120 LBS/ACRE	PERENNIAL RYE GRASS	120 LBS/ACRE
		KENTUCKY BLUE GRASS (BLEND)	40 LBS/ACRE
OR			
MIX #16 - TALL FESCUE	160 LBS/ACRE	PERENNIAL RYE GRASS (BLEND)	160 LBS/ACRE
		KENTUCKY BLUE GRASS (BLEND)	20 LBS/ACRE
- PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE. SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.
- FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-20 APPLIED AT A RATE OF 14# PER 1000 SF OR AS DETERMINED BY SOIL TESTS. LIFESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT A RATE OF 90# PER 1000 SF. LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT RATE OF 15# PER 1000 SF.
- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
- MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 115 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL. OR LIQUID MULCH BINDER, AND SHALL BE PROVIDED ON ALL SEEDING. HYDROKULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
- WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC-SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

**GENERAL LIGHTING NOTES**

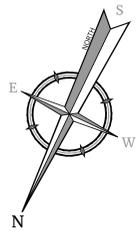
- THE LIGHTING PLAN DETAILS PROVIDED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSPENDED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 9% FOR ALL LED LUMINAIRES.
- THE LIGHTING VALUES AND CALCULATION POINTS DERIVED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED.
- THE LUMINAIRES, LAMPS AND LENSES SHALL BE REGULARLY INSPECTED/MAINTAINED TO INSURE THAT THEY FUNCTION PROPERLY. THIS WORK MAY INCLUDE, BUT IS NOT LIMITED TO, VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DERIVED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT AND/OR LANDSCAPE ARCHITECT AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS SHALL BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- LIGHTING CONTRACTOR TO COORDINATE WITH THE PROJECT ARCHITECT REGARDING POWER SOURCE FROM WITHIN THE BUILDING AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND GOVERNMENTAL REGULATIONS.
- THE LIGHTING PLAN IS TO BE USED FOR LIGHTING PURPOSES ONLY.
- LUMINAIRES, POLES AND MOUNT COLORS TO BE COORDINATED WITH PROJECT ARCHITECT AND LUMINAIRES MANUFACTURER.
- POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF THREE (3) FEET BEHIND CURBS OR IN CAR PARKING AREAS.
- POLE LOCATIONS ARE APPROXIMATE AND MAY VARY DUE TO SPECIFIC SITE CONDITIONS. THE LIGHTING CONTRACTOR SHALL FIELD VERIFY POLE LOCATIONS IN ORDER TO ACCOMMODATE UTILITIES AND PAVEMENT.
- LIGHTING SHOWN ON LIGHTING PLAN DEPICTS AVERTAGE MAINTAINED FOOTCANDLE LEVELS AT GRADE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL.
- CONCRETE FOOTINGS FOR POLE MOUNTED LIGHTS TO BE DESIGNED, SIGNED AND SEALED BY A NY LICENSED ENGINEER.
- ELECTRICAL DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- THIS PLAN EXCLUDES EMERGENCY LIGHTING ABOVE DOORWAYS.
- THIS PLAN EXCLUDES SOFFIT LIGHTS.

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIVE (5) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY COVER. IF THE SEASON PREVENTS THE ESTABLISHMENT OF PERMANENT COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- PERMANENT VEGETATION TO BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING, WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT. AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL, HAVING A PH OF 5 OR MORE PRIOR TO SEEDING PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
- AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATION "COVER" SHALL BE REMOVED OR TREATED IN SUCH A MANNER THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE







REV	DATE	DESCRIPTION
1	02/22/2022	ISSUED FOR PERMITS
2	02/22/2022	ISSUED FOR PERMITS
3	02/22/2022	ISSUED FOR PERMITS
4	02/22/2022	ISSUED FOR PERMITS
5	02/22/2022	ISSUED FOR PERMITS
6	02/22/2022	ISSUED FOR PERMITS
7	02/22/2022	ISSUED FOR PERMITS
8	02/22/2022	ISSUED FOR PERMITS
9	02/22/2022	ISSUED FOR PERMITS
10	02/22/2022	ISSUED FOR PERMITS

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
1	02/22/2022	ISSUED FOR PERMITS	JBC	JBC
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3	02/22/2022	ISSUED FOR PERMITS	JBC	JBC
4	02/22/2022	ISSUED FOR PERMITS	JBC	JBC
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9	02/22/2022	ISSUED FOR PERMITS	JBC	JBC
10	02/22/2022	ISSUED FOR PERMITS	JBC	JBC



**Jesse Barrett Cokley**  
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**PRELIMINARY/FINAL SITE PLAN**

**FOR LIGHTBRIDGE VALHALLA**

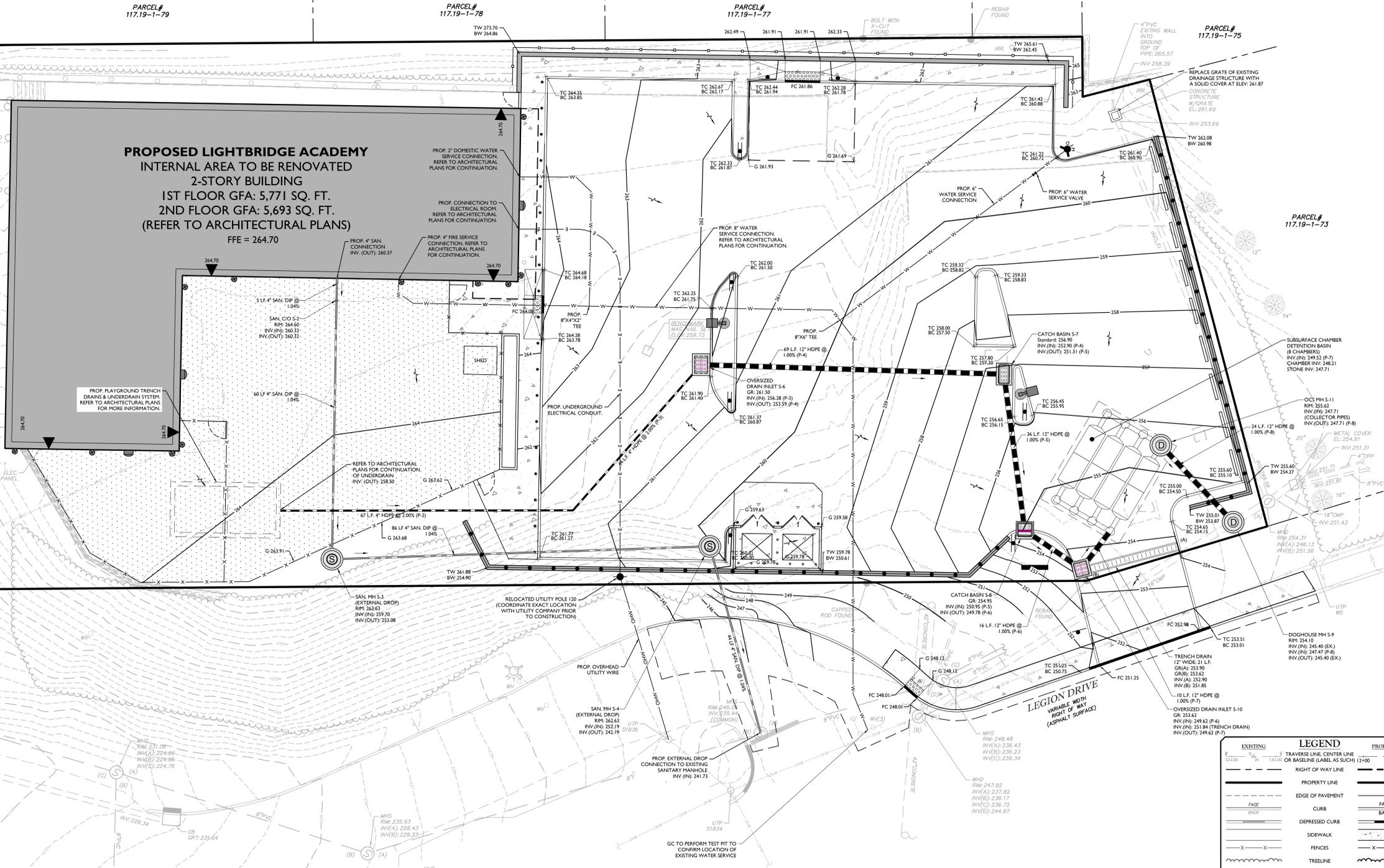
SECTION 117.19  
BLOCK 1  
LOTS 90 & 91

HAMLET OF VALHALLA  
TOWN OF MT. PLEASANT  
WESTCHESTER COUNTY  
NEW YORK

**Colliers** Engineering & Design  
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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	7/1/2020	SF	JBC
PROJECT NUMBER	DRAWING NAME	C-GRAD	

**GRADING, DRAINAGE, AND UTILITIES PLAN**



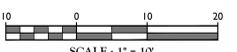
	1-YEAR STORM	10-YEAR STORM	25-YEAR STORM	100-YEAR STORM
<b>EXISTING</b>				
EDA1	1.16 CFS	2.89 CFS	3.71 CFS	4.98 CFS
<b>PROPOSED</b>				
PDA1	1.15 CFS	2.87 CFS	3.70 CFS	4.92 CFS

GC SHALL DIG TEST PITS TO CONFIRM LOCATION OF EXISTING WATER SERVICE AND UPGRADE TO PROPOSED BOTH DOMESTIC AND FIRE SERVICE TO BUILDING.

EXISTING WATER AND SERVICES THAT WILL NO LONGER BE OF USE SHALL BE CUT AND CAPPED AT THE MAINS.

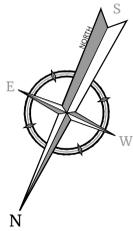
**LEGEND**

	EXISTING TRAVERSE LINE, CENTER LINE		PROPOSED TRAVERSE LINE, CENTER LINE
	EXISTING RIGHT OF WAY LINE		PROPOSED RIGHT OF WAY LINE
	PROPERTY LINE		EDGE OF PAVEMENT
	FACE BACK		DEPRESSED CURB
	SIDEWALK		FENCES
	TREELINE		ROADWAY SIGNS
	WETLAND LINE		MUNICIPAL BOUNDARY LINE
	B INLET		E INLET
	STORM MANHOLE		SANITARY MANHOLE
	FLARED END SECTION		HEADWALL
	HYDRANT		POLE MOUNTED LIGHT
	CONTOURS		SPOT ELEVATION
	DIRECTION OF OVERLAND FLOW		TOP OF CURB ELEVATION
	BOTTOM OF CURB ELEVATION		TOP OF DEPRESSED CURB ELEVATION









PARCEL#  
117.19-1-79

PARCEL#  
117.19-1-78

PARCEL#  
117.19-1-77

PARCEL#  
117.19-1-76

PARCEL#  
117.19-1-75

PARCEL#  
117.19-1-73

PARCEL#  
117.19-1-89

**PROPOSED LIGHTBRIDGE ACADEMY**  
INTERNAL AREA TO BE RENOVATED  
2-STORY BUILDING  
1ST FLOOR GFA: 5,771 SQ. FT.  
2ND FLOOR GFA: 5,693 SQ. FT.  
(REFER TO ARCHITECTURAL PLANS)

PROP. SILT AND CONSTRUCTION FENCE AT LIMIT OF DISTURBANCE, SHOWN WITH 2' OFFSET FOR GRAPHICAL PURPOSES ONLY (TYP.)

PROP. LOCATION OF CONSTRUCTION STAGING AND MATERIALS STORAGE AREA

REBAR FOUND

POTENTIAL LOCATION OF SOIL STOCKPILE

BOLT WITH X-CUT FOUND

PROP. INLET FILTER (TYP.)

PROP. SILT FENCE (TYP.)

PROP. LIMIT OF DISTURBANCE ± 29,910 SF (0.69 AC)

TRUCK DRIVE  
VARIABLE WIDTH  
RIGHT OF WAY  
(ASPHALT SURFACE)

REV	DATE	DESCRIPTION
1	12/20/20	ISSUED FOR PERMITS
2	12/20/20	REVISED FOR TOWN ENGINEER COMMENTS
3	12/20/20	REVISED FOR TOWN ENGINEER COMMENTS
4	12/20/20	REVISED FOR TOWN ENGINEER COMMENTS
5	12/20/20	REVISED FOR TOWN ENGINEER COMMENTS
6	12/20/20	REVISED FOR TOWN ENGINEER COMMENTS
7	12/20/20	REVISED FOR TOWN ENGINEER COMMENTS

SEE CONSTRUCTION DETAILS FOR EROSION AND SEDIMENT CONTROL DETAILS

THIS PLAN IS TO BE UTILIZED FOR EROSION CONTROL PURPOSES ONLY.



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N.Y. C.O.A.# 0017609

PRELIMINARY/FINAL  
SITE PLAN  
FOR  
**LIGHTBRIDGE VALHALLA**  
SECTION 117.19  
BLOCK 1  
LOTS 90 & 91  
HAMLET OF VALHALLA  
TOWN OF MT. PLEASANT  
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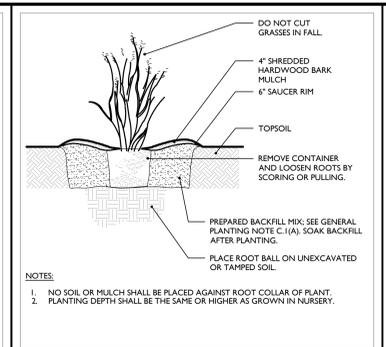
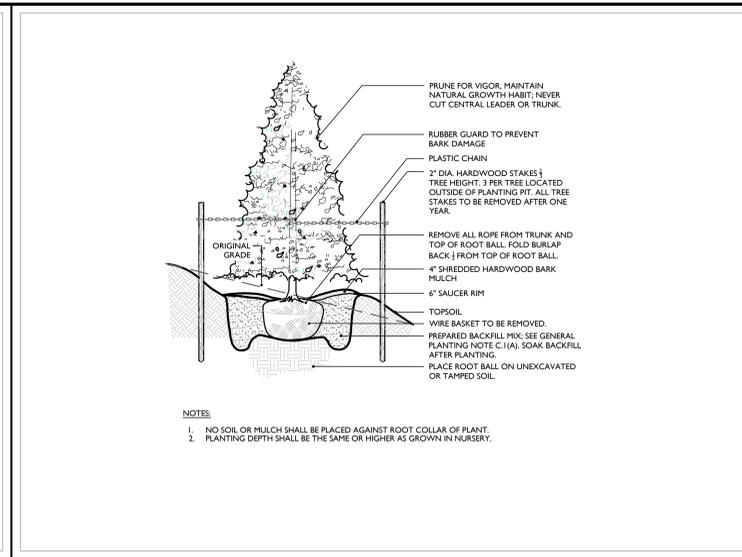
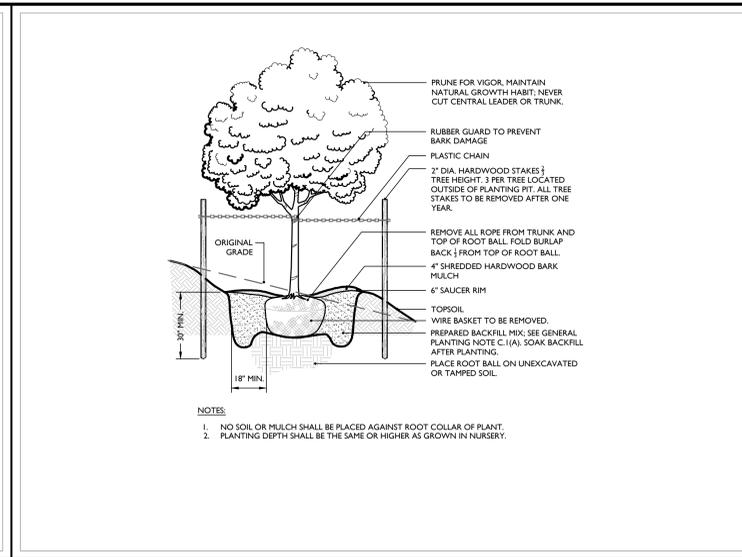
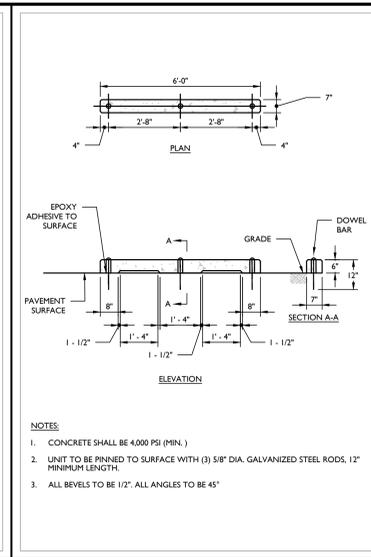
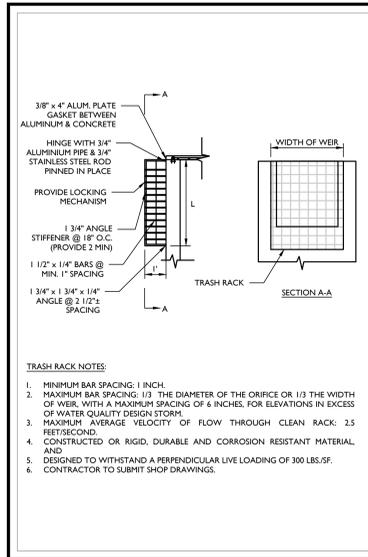
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AS SHOWN	7/1/2020	SF	JBC
PROJECT NUMBER:	DRAWING NAME:		
180092624	C-SESC		

SHEET TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

SHEET NUMBER:  
**8 of 11**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.





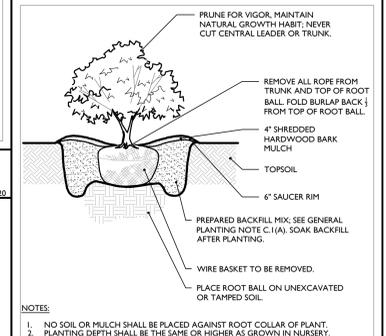
**1 FLAT TRASH RACK DETAIL**  
NOT TO SCALE GNRL-DTLS-STND-GRID 6/11/21

**2 PRECAST CONCRETE BUMPER CURB WHEEL STOP (FOR CARS) DETAIL**  
NOT TO SCALE GNRL-DTLS-STND-GRID 08/2/22

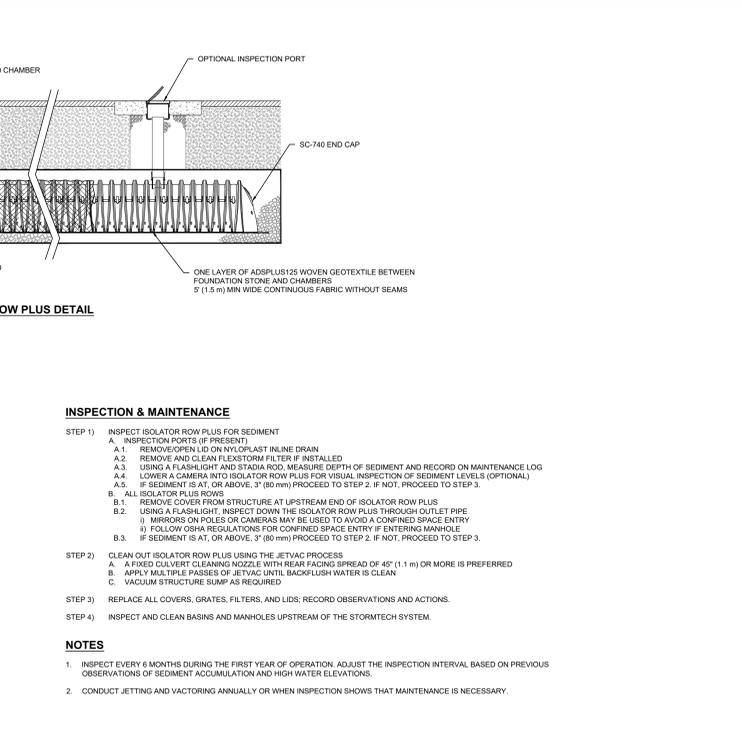
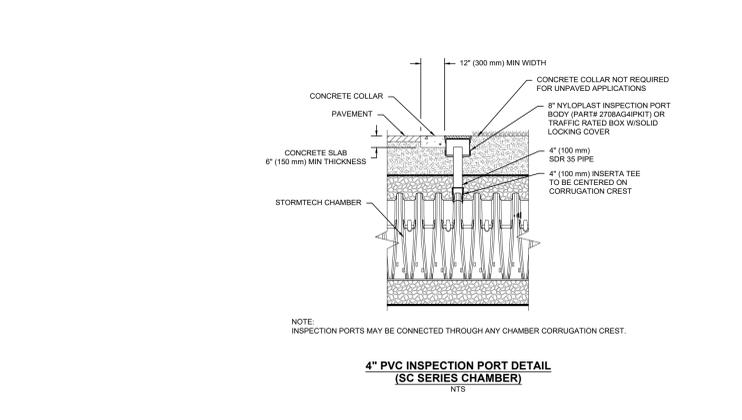
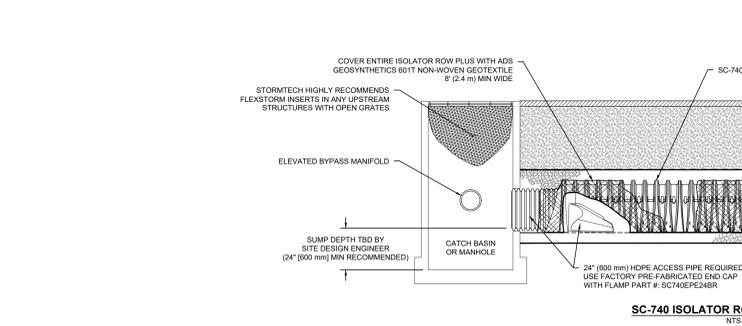
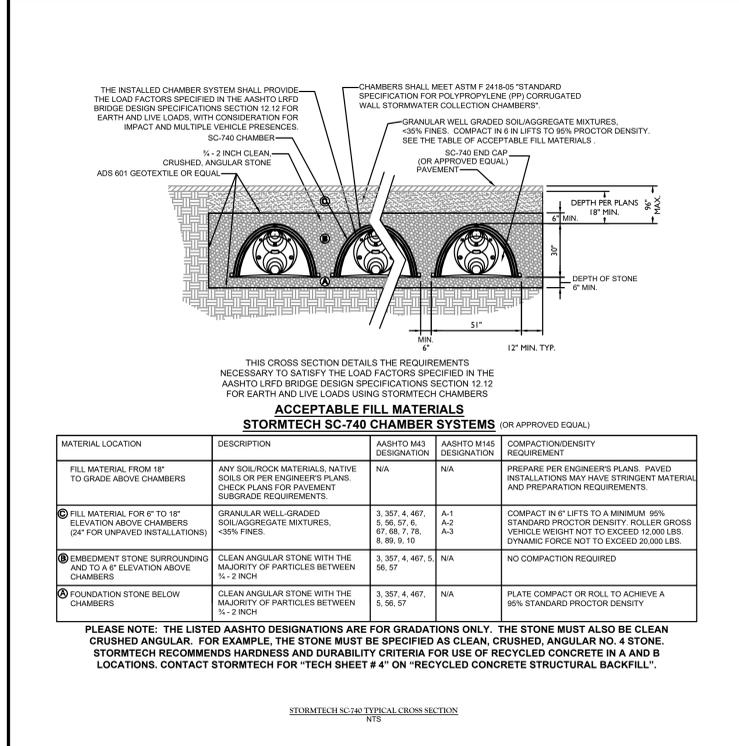
**3 DECIDUOUS TREE SLOPE PLANTING DETAIL**  
NOT TO SCALE GNRL-DTLS-STND-GRID 1/13/2020

**4 EVERGREEN TREE SLOPE PLANTING DETAIL**  
NOT TO SCALE GNRL-DTLS-STND-GRID 1/13/2020

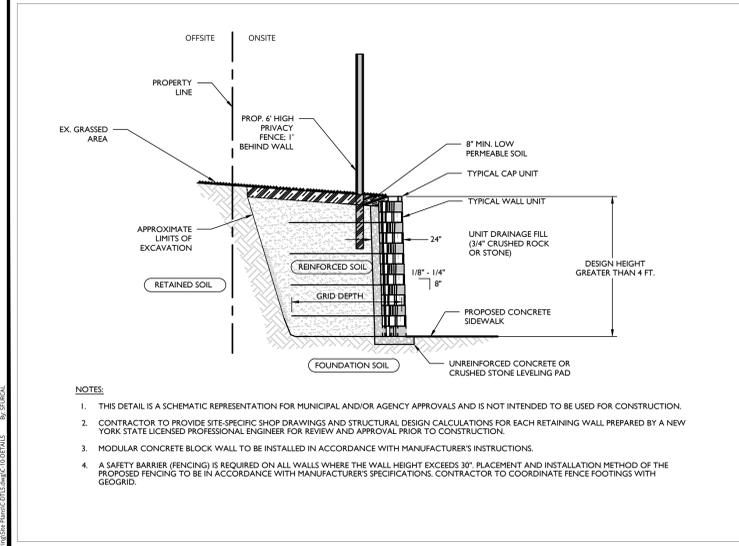
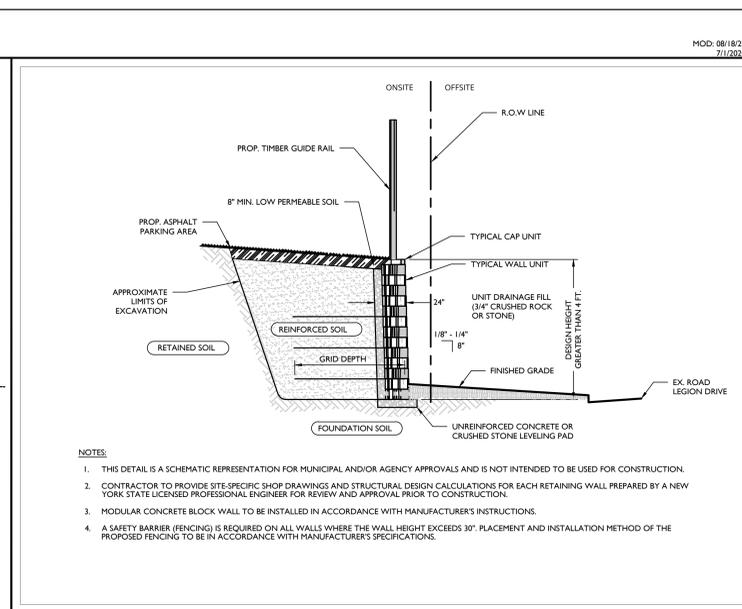
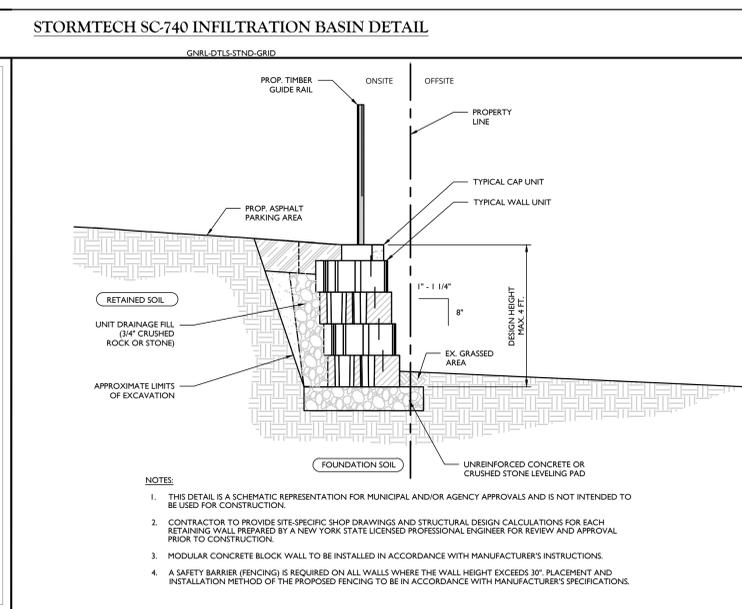
**9 ORNAMENTAL GRASS PLANTING DETAIL**  
NOT TO SCALE GNRL-DTLS-STND-GRID 1/13/2020



**10 SHRUB PLANTING DETAIL**  
NOT TO SCALE GNRL-DTLS-STND-GRID 1/13/2020



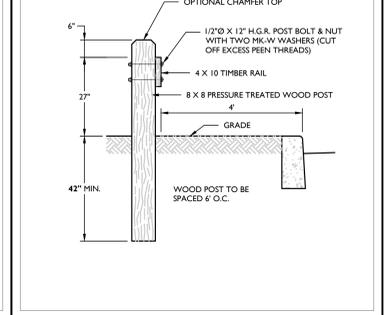
**5 STORMTECH SC-740 INFILTRATION BASIN DETAIL**  
NOT TO SCALE GNRL-DTLS-STND-GRID MOD: 08/18/22 7/11/2020



**11 R1-1 SIGN DETAIL**  
NOT TO SCALE MCM-SIGN-REGU-R1-1 12/01/20



**12 R5-1 SIGN DETAIL**  
NOT TO SCALE MCM-SIGN-REGU-R5-1 12/01/20



**6 TYPICAL REINFORCED WALL SECTION - TYPE "A"**  
(NEAR VERTICAL SETBACK) DETAIL AT SOUTHERN PROPERTY LINE  
NOT TO SCALE MCM-SITE-WALL-1103 MOD: 06/11/21 10/01/19

**7 TYPICAL GRAVITY WALL SECTION - TYPE "B"**  
(MAXIMUM 4 FT. DESIGN HEIGHT) DETAIL AT WESTERN PROPERTY LINE  
NOT TO SCALE MCM-SITE-WALL-1000 MOD: 06/11/21 10/01/19

**8 TYPICAL REINFORCED WALL SECTION - TYPE "C"**  
(NEAR VERTICAL SETBACK) DETAIL AT NORTHERN PROPERTY LINE  
NOT TO SCALE MCM-SITE-WALL-1103 MOD: 06/11/21 10/01/19

**13 TIMBER GUIDE RAIL DETAIL**  
NOT TO SCALE MCM-SITE-INCE-2500 07/01/19

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REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
1	12/01/20	ISSUED FOR PERMITS/AVANCE	SP	SP
2	12/01/20	REVISED FOR TOWN ENGINEER COMMENTS	SP	SP
3	12/01/20	REVISED FOR TOWN ENGINEER COMMENTS	SP	SP
4	12/01/20	REVISED FOR TOWN ENGINEER COMMENTS	SP	SP
5	12/01/20	REVISED FOR TOWN ENGINEER COMMENTS	SP	SP
6	12/01/20	REVISED FOR TOWN ENGINEER COMMENTS	SP	SP
7	12/01/20	REVISED FOR TOWN ENGINEER COMMENTS	SP	SP

**Jesse Barrett Cokley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 9929871  
N.Y. C.O.A.#: 0017659

**PRELIMINARY/FINAL SITE PLAN**  
FOR **LIGHTBRIDGE VALHALLA**  
SECTION 117.19  
BLOCK 1  
LOTS 90 & 91  
HAMLET OF VALHALLA  
TOWN OF MT. PLEASANT  
WESTCHESTER COUNTY  
NEW YORK

**Colliers Engineering & Design**  
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COLLIERS ENGINEERING & DESIGN, P.C.  
DOING BUSINESS AS MASER CONSULTING ENGINEERS & ARCHITECTS

DATE: 7/11/2020  
DRAWN BY: JBC  
CHECKED BY: JBC  
PROJECT NUMBER: 18006262A  
DRAWING NAME: C-0115

SHEET TITLE: CONSTRUCTION DETAILS  
SHEET NUMBER: 10 of 11

