

# OSSINING UNION FREE SCHOOL DISTRICT

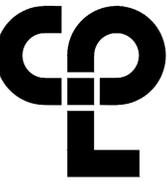
## ROOSEVELT ELEMENTARY SCHOOL TOILET ROOM RENOVATIONS & HVAC UPGRADES SED NO. 66-14-01-03-0-005-022

### OWNER

OSSINING UNION FREE SCHOOL DISTRICT  
400 EXECUTIVE BOULEVARD  
OSSINING, NEW YORK 10562  
PHONE: 914-941-7700

### ARCHITECT / ENGINEER

CPL  
50 FRONT STREET, SUITE 202  
NEWBURGH, NEW YORK 12550  
PHONE: 800-274-9000



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#### PROJECT INFORMATION

Project Number  
14428.1B  
Client Name  
**OSSINING UNION FREE SCHOOL DISTRICT**  
Project Name  
**2021-2022 CIP**

District Office Address  
400 EXECUTIVE BLVD OSSINING, NY 10562

#### Multiple Building Names

14428.1B - OWNER AS SED# 66-14-01-03-0-005-022  
14428.1B - SED# 66-14-01-03-0-005-022  
14428.1B - SED# 66-14-01-03-0-005-022

#### PROJECT ISSUE & REVISION SCHEDULE

No. Date Description

#### NEW YORK STATE EDUCATION DEPARTMENT

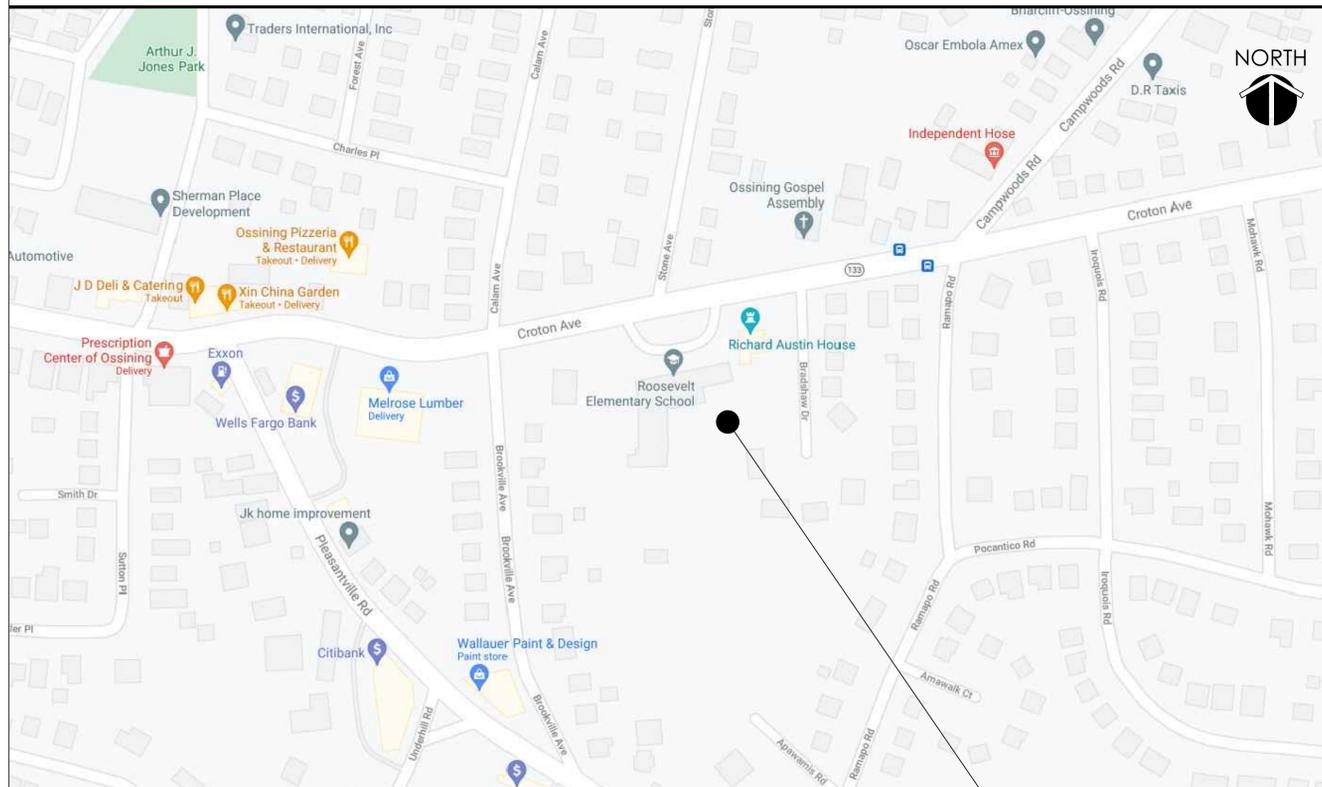
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE CHARTERED SCHOOL DISTRICTS ACT TO REPRODUCE OR TRANSMIT IN ANY MANNER THE CONTENTS OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED. THE ARCHITECT'S SEAL AND SIGNATURE SHALL BE AFFIXED TO THIS DOCUMENT AND THE WORKMAN SHALL BE FOLLOWED BY THEIR SIGNATURE AND THE DATE OF EACH ALTERATION AND A RECORD OF THE ALTERATION.

#### SHEET INFORMATION

Issued  
11/15/2021  
Scale  
AS INDICATED  
Project Status  
BID SET  
Drawn By  
AW  
Checked By  
BP  
Drawing Title  
TITLE SHEET

Drawing Number  
**RES  
T001**

### LOCATION MAP



**ROOSEVELT ELEMENTARY SCHOOL**  
190 CROTON AVENUE, OSSINING, NY 10562

### DRAWINGS LIST

<b>GENERAL:</b> T-001	TITLE SHEET	<b>PLUMBING:</b> P101 P200 P201 P300 P301 P601 P801	PLUMBING DEMOLITION PLANS GROUND FLOOR- SANITARY AND VENT PIPING FIRST & SECOND FLOOR- SANITARY AND VENT PIPING GROUND FLOOR- DOMESTIC WATER PIPING FIRST & SECOND FLOOR- DOMESTIC WATER PIPING PLUMBING RISER DIAGRAMS PLUMBING SCHEDULES & DETAILS
<b>ABATEMENT:</b> AA000 AA100 AA200 AA300 AA400	ASBESTOS ABATEMENT NOTES GROUND FLOOR- ASBESTOS ABATEMENT PLANS FIRST FLOOR- ASBESTOS ABATEMENT PLANS SECOND FLOOR- ASBESTOS ABATEMENT PLANS SECOND FLOOR- ASBESTOS ABATEMENT PLANS		
<b>ARCHITECTURAL:</b> A001 A101 A102 A103 A201 A202 A203 A401 A501 A601 A901	OVERALL FLOOR PLANS GROUND FLOOR- EXISTING/ DEMOLITION PLAN FIRST FLOOR- EXISTING/ DEMOLITION PLAN SECOND FLOOR- EXISTING/ DEMOLITION PLAN GROUND FLOOR- NEW WORK PLANS & ELEVATIONS FIRST FLOOR- NEW WORK PLANS & ELEVATIONS SECOND FLOOR- NEW WORK PLANS & ELEVATIONS PARTITION TYPES TYPICAL FIXTURE MOUNTING HEIGHTS REFLECTED CEILING PLANS DOOR SCHEDULE, DOOR TYPES & DOOR FRAME TYPES		
<b>INTERIORS:</b> I201 I250	TOILET ROOM FINISH PLANS FINISH SCHEDULE & TYPICAL PATTERN DETAILS		
<b>HVAC:</b> H000 H100 H101 H102 H103 H104 H200 H201 H202 H203 H204 H500 H800 H801 H900	HVAC SYMBOLS LIST BASEMENT- HVAC DEMOLITION PLAN GROUND FLOOR- HVAC DEMOLITION PLAN FIRST FLOOR- HVAC DEMOLITION PLAN SECOND FLOOR- HVAC DEMOLITION PLAN ROOF PLAN- HVAC DEMOLITION PLAN BASEMENT LEVEL- HVAC DEMOLITION PLAN GROUND FLOOR- HVAC NEW PLAN FIRST FLOOR- HVAC NEW PLAN SECOND FLOOR- HVAC NEW PLAN ROOF PLAN- HVAC NEW PLAN MECHANICAL CONTROLS AND SCHEMATICS DETAIL PLAN DETAIL PLAN DETAIL SCHEDULE		
<b>ELECTRICAL:</b> E000 E001 E100 E101 E102 E103 E200 E201 E202 E203 E300 E301 E302 E900	ELECTRICAL LEGEND AND NOTES OVERALL ELECTRICAL PLANS GROUND FLOOR- ELECTRICAL DEMOLITION PLAN FIRST FLOOR- ELECTRICAL DEMOLITION PLAN SECOND FLOOR- ELECTRICAL DEMOLITION PLAN GYMNASIUM- ELECTRICAL DEMOLITION PLAN GROUND FLOOR- POWER & SYSTEMS PLAN FIRST FLOOR- POWER & SYSTEMS PLAN SECOND FLOOR- POWER & SYSTEMS PLAN GYMNASIUM- POWER & SYSTEMS PLAN GROUND FLOOR- LIGHTING PLAN FIRST FLOOR- LIGHTING PLAN SECOND FLOOR- LIGHTING PLAN ELECTRICAL SCHEDULES		

### GENERAL NOTES

THE DESIGN OF THIS PROJECT CONFORMS TO ALL APPLICABLE PROVISIONS OF NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE NEW YORK STATE ENERGY CONSERVATION CODE, AND THE BUILDING STANDARDS OF THE NEW YORK STATE EDUCATION DEPARTMENT.

Plotted By: Aulfin H West

Date last plotted: 2/1/2023 8:44 AM

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Project's Ossining UFSD 2021-2022 CIP/D Design\06 CAD\AutoCAD\Comp\RES-T-BLOCK\T000 RES.dwg

Sheet size: 24x36

Drawing Name: S:\Projects\Ossining UFSD 2021-2022 CIP/D Design\06 CAD\AutoCAD\Comp\RES-T-BLOCK\T000 RES.dwg



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**PROJECT INFORMATION**

Project Number  
14428.20

Client Name

**OSSINING UNION FREE SCHOOL DISTRICT**

Project Name

**2022-2023 CIP**

Project Address

400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING**

ROOSEVELT ELEMENTARY SCHOOL



**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description



NEW YORK STATE EDUCATION DEPARTMENT  
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 ASSIST OR BEHOLD IN ANY WAY, BY AN INDIVIDUAL BEARING THE SEAL OF AN ARCHITECT,  
 ENGINEER OR LAND SURVEYOR, THE ARCHITECTURE OR SURVEYING SHALL BE VOID AND  
 THE SEAL AND THE NOTATION, ALTERED BY FOLLOWING BY THESE  
 STATUTES AND THE RULES OF SUCH A PERSON, AND A FURTHER  
 DESCRIPTION OF THE ALTERATION.

**SHEET INFORMATION**

Issued 10-31-22

Scale N.T.S.

Project Status

BID SET

Drawn By JP

Checked By RL

Drawing Title

ASBESTOS ABATEMENT NOTES

Drawing Number

**RES  
AA000**

PRE-ABATEMENT WORK NOTES:

1. THESE DRAWINGS HAVE BEEN PREPARED BY UTILIZING THE OWNERS ORIGINAL CONSTRUCTION DOCUMENTS IN ORDER TO ILLUSTRATE THE EXISTING CONDITIONS OF THE SITE AND STRUCTURES THEREIN. THE CONTRACTOR SHALL BEE RESPONSIBLE FOR ACTUAL VERIFICATION OF ALL EXISTING CONDITIONS IN THE FIELD.
2. THE ASBESTOS CONTAINING MATERIALS, CONFIGURATIONS AND LOCATIONS SHOWN IN THESE DRAWINGS ARE BASED ON THE ASBESTOS CONTAINING MATERIALS TESTING REPORT. REFER TO THE ASBESTOS CONTAINING MATERIALS REPORT FOR FURTHER INFORMATION.
3. THE CONTRACTOR SHALL DETERMINE EXACT FINAL LOCATIONS OF PERSONAL AND WASTE DECONTAMINATION ENCLOSURES, PICK UP AREA FOR REFUSE AND ASBESTOS DEBRIS, THESE LOCATIONS SHALL BE REVIEWED AND PROPERLY APPROVED BY THE DISTRICT PRIOR TO COMMENCEMENT OF WORK. THIS CONTRACTOR SHALL ESTABLISH, LABEL AND MAINTAIN PROPER EXITS AND WAYS OF DEPARTURE WITHIN EACH WORK AREA FOR NORMAL AND EMERGENCY USE BY WORKERS DURING ALL ABATEMENT.
4. THE CONTRACTOR, PRIOR TO BIDDING, SHALL BE RESPONSIBLE TO BECOME COMPLETELY FAMILIAR WITH ALL ASPECTS OF THE PROJECT, INCLUDING, BUT NOT LIMITED TO, ALL DEMOLITION AND CONSTRUCTION WORK AS SHOWN IN THE COMPLETE SET OF DRAWINGS AND IN THE PROJECT MANUAL/SPECIFICATIONS, IN ORDER THAT THE FULL SCOPE OF WORK WHICH MAY ENCOUNTER ASBESTOS CONTAINING MATERIALS IS UNDERSTOOD AND ACCOUNTED FOR BY THE CONTRACTOR IN HIS PROJECT WHETHER OR NOT SHOWN IN THESE DOCUMENTS.

ASBESTOS REMOVAL GENERAL NOTES:

1. ASBESTOS ABATEMENT INDICATED ON THIS DRAWING SHALL BE PERFORMED BY A NYS DEPARTMENT OF LABOR LICENSED ASBESTOS CONTRACTOR, SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND QUANTITIES PRIOR TO BID.
2. THE CONTRACTOR SHALL PERFORM ALL CONTRACT WORK IN ACCORDANCE WITH CONTRACT SPECIFICATIONS, NEW YORK STATE DEPARTMENT OF LABOR (NYSDDL) INDUSTRIAL CODE RULE 56, OSHA, NESHAPS, AHEA, NYSDEC AND ALL OTHER APPLICABLE CODES.
3. THE CONTRACTOR SHALL MAINTAIN THE SITE AS NEAT AS POSSIBLE AND ORDERLY DURING THE WORK. ALL LOOSE DEBRIS WHICH MAY BLOW OFF THE SITE SHALL BE COLLECTED AND DISPOSED OF PROPERLY BY THE CONTRACTOR ON A DAILY BASIS AS PART OF THE PROJECT.
4. THE CONTRACTOR SHALL PROVIDE BARRIERS AROUND THE WORK AREAS IN ORDER TO ENSURE SAFE PASSAGE BY ANY PERSON. THESE BARRIERS SHALL ALSO SERVE TO KEEP ALL UNAUTHORIZED PERSONS OUT THE PROJECT AREA FOR THE DURATION OF THE WORK.
5. VARIANCES: CONTRACTOR SHALL PAY FOR AND OBTAIN ANY NECESSARY SITE SPECIFIC VARIANCES.
6. THE CONTRACTOR SHALL MAINTAIN SECURITY IN THE BUILDING AND THE WORK AREAS AT ALL TIMES.
7. PROJECT STAGING, STORAGE, SCHEDULING AND ACCESS SHALL BE COORDINATED WITH AND APPROVED BY THE ARCHITECT AND OWNER PRIOR TO PROCEEDING WITH WORK.
8. SHOULD IT BE NECESSARY, CONTRACTOR SHALL COORDINATE SHUT DOWN AND LOCK OUT OF THE ELECTRICAL POWER WITH OWNER'S POWER WITH OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK.
9. ALL TEMPORARY POWER TO THE WORK AREA SHALL BE BROUGHT IN FROM OUTSIDE THE WORK AREA THROUGH A GROUND-FAULT CIRCUIT INTERRUPTER AT THE SOURCE.
10. CONTRACTOR SHALL COORDINATE HOOKUP OF WATER SERVICE FOR DECONTAMINATION PURPOSES WITH OWNERS REPRESENTATIVE. WATER FOR THE DECONTAMINATION UNITS IS AVAILABLE FROM THE OWNER.
11. THE OWNER OR OWNER'S REPRESENTATIVE IS RESPONSIBLE TO CONTRACT FOR NYSDDL PROJECTS MONITORING/AIR SAMPLING TECHNICIAN SERVICES AS REQUIRED.
12. CONTRACTOR TO PROVED A COPY OF MSD'S FOR ANY CHEMICAL AGENTS TO BE USED DURING THE ASBESTOS ABATEMENT TO THE PROJECT MONITOR AD THE OWNER'S REPRESENTATIVE.
13. CONTRACTOR SHALL REQUEST AND RECEIVE PROJECT MONITOR AND OWNER'S REPRESENTATIVE APPROVAL OF ALL WORK BEFORE ANY ABATEMENT IS UNDERTAKEN.
14. UNDER NO CIRCUMSTANCES SHALL CONTAMINATED WASTE WATER BE FILTERED THOUGH A SYSTEM WITH AT LEAST A 5.0 MICRON PARTICLE SIZE COLLECTION CAPABILITY.
15. DRAWINGS ATTEMPT TO INDICATE THE GENERAL SCOPE OF EXISTING CONDITIONS AND ITEMS EFFECTED BY THE ABATEMENT WORK. CONTRACTOR SHALL EXAMINE THE WORK AREA PRIOR TO BID AND SHALL INCLUDE FIELD VARIATIONS FROM THOSE SHOWN WITH IN THE GENERAL INTENT OF THE WORK.
16. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ASBESTOS CONTAINING MATERIALS CONTAINED WITHIN THE PROJECT AND ASSOCIATED WITH ALL PROJECT WORK, IN COMPLIANCE WITH ALL APPLICABLE LAWS, RULES, REGULATIONS AND ALL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
17. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ASBESTOS CONTAINING MATERIALS CONTAINED WITHIN THE PROJECT AND ASSOCIATED WITH ALL PROJECT WORK, IN THE MOST EFFICIENT AND COST EFFECTIVE METHOD POSSIBLE, WHICH ALSO COMPLIES WITH THE REQUIREMENTS LISTED ABOVE.

POST-ABATEMENT WORK NOTES:

1. PROVIDE ALL APPLICABLE CODE RULE 56 PROCEDURES, CLEAN UP, AND ADDITIONAL TESTING AS REQUIRED.
2. PRIOR TO ABATEMENT, ALL CONTRACTORS WILL SURVEY EXISTING CONDITIONS IN THE ABATEMENT AND GENERAL WORK AREAS. ITEMS/MATERIALS/ETC. DAMAGED, OR NON-FUNCTIONAL SHALL BE LISTED, NOTED, PHOTOGRAPHED AND REVIEWED WITH THE PROJECT INSPECTOR. ALL OTHER ITEMS/MATERIALS SHALL BE REVIEWED WITH THE PROJECT INSPECTOR. ALL OTHER ITEMS/MATERIALS SHALL BE ASSUMED TO BE IN GOD CONDITION AND GOOD WORKING ORDER. IT SHALL BE THE RESPONSIBILITY OF THE ABETMENT CONTRACTOR TO MAINTAIN ALL MATERIALS, ITEMS, EQUIPMENT, SYSTEMS, ETC. IN ITS ORIGINAL CONDITION AND RETURN TO OWNER/GC, ETC. IN SAME CONDITION AT THE END OF THIS CONTRACT.
3. REMOVE ALL TEMPORARY ENCLOSURES, BARRIERS, ETC. REINSTALL ITEMS/WORK PREVIOUSLY REMOVE, ALL TAPE AND ADHESIVE RESIDUALS TO BE REMOVED. TEST AND REPAIR.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE AGAINST DAMAGE TO THE EXISTING WORK TO REMAIN IN PLACE. ANY DAMAGE TO SUCH WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER AT NO ADDITIONAL COST TO THE CONTRACT.
5. AT COMPLETION OF THE ABATEMENT WORK, A CONDITION SURVEY SHALL BE DON BY ALL CONTRACTORS AND PROJECT INSPECTOR (SEE NOTE #2). ANY VARIATION (I.E. DAMAGE BY THE CONTRACTOR), AND OTHERWISE NOT INCLUDED AS PART OF THE RECONSTRUCTION WORK, SHALL BE REPAIRED/RESTORED BY THE ABATEMENT CONTRACTOR.
6. THE CONTRACTOR SHALL, UPON COMPLETION OF THE REMOVAL, PROVIDE WRITTEN DOCUMENTATION (INCLUDING ALL APPROPRIATE THIRD PARTY TESTING RESULTS) THAT THE PROJECT WORK AREAS ARE COMPLETELY FREE OF ALL ASBESTOS CONTAINING MATERIALS.
7. THE CONTRACTOR SHALL PROVIDE RECORDS OF ALL ASBESTOS CONTAINING MATERIALS REMOVED FROM THE SITE, INCLUDING THE COMPOSITION AND VOLUMES OF DISPOSED MATERIALS AND THE FINAL DISPOSAL SITE(S).

Plotted by: bholmes

Date last plotted: 1/24/2023 5:49 PM

Date last accessed: 2/9/2022 2:48 PM

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 Latham, NY 12110  
 CPLteam.com



**PROJECT INFORMATION**

Project Number  
14428.20  
 Client Name  
**OSSINING UNION FREE SCHOOL DISTRICT**  
 Project Name  
**2022-2023 CIP**

Project Address  
400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING**

ROOSEVELT ELEMENTARY SCHOOL

**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description



NEW YORK STATE EDUCATION DEPARTMENT  
 THE EDUCATION OF THE NEW YORK STATE EDUCATION LAW AND THE  
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 ASSIST AN ENGINEER IN ANY WAY, IF AN ENGINEER BEARING THE SEAL OF AN ARCHITECT,  
 ENGINEER OR SURVEYOR IS NOTED, THE ARCHITECT OR SURVEYOR SHALL APPLY TO THE  
 BOARD, THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR  
 SIGNATURE AND THE DATE OF EACH ALTERATION, AND A SPECIFIC  
 DESCRIPTION OF THE ALTERATION."

**SHEET INFORMATION**

Issued  
10-31-22  
 Project Status  
BID SET  
 Drawn By  
JPL  
 Checked By  
RL  
 Drawing Title  
**SECOND FLOOR ASBESTOS ABATEMENT PLAN**

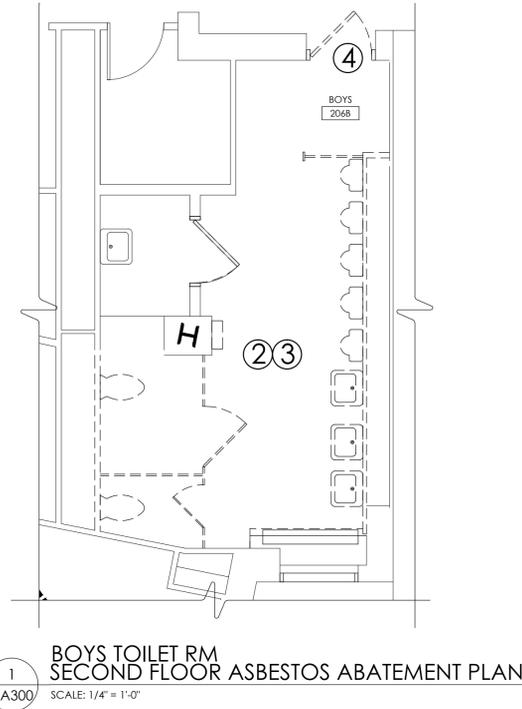
Drawing Number  
**RES AA300**

Plotted By: bholmes

Date last plotted: 1/26/2023 5:55 PM

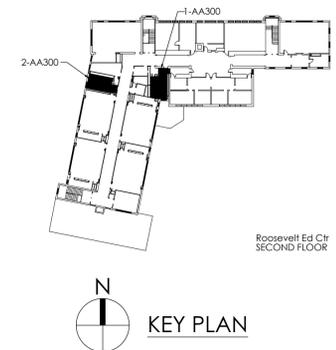
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 Drawing Name: C:\Users\bholmes\Desktop\Quest\2021\Ossining\UFS\Sheet Set\RES-AA300-400 A1\_RES\_T0108-23-21.dwg



ACM LEGEND:

- ① REMOVE AND DISPOSE OF ASBESTOS CONTAINING PIPE INSULATION AND MUDDED JOINT PACKING (EXPOSED).
- ② REMOVE AND DISPOSE OF ASBESTOS CONTAINING PIPE INSULATION AND MUDDED JOINT PACKING (CONCEALED).
- ③ REMOVE AND DISPOSE OF PRESUMED ASBESTOS CONTAINING MIRROR GLUE DABS.
- ④ REMOVE AND DISPOSE OF PRESUMED ASBESTOS CONTAINING BATHROOM DOOR INSULATION.
- ⑤ REMOVE AND DISPOSE OF PRESUMED ASBESTOS CONTAINING UNIT VENT INSULATING MATERIALS.





**BUILDING CODE INFORMATION:**  
 BASED ON THE 2020 BUILDING CODE OF NEW YORK STATE

OCCUPANCY CLASSIFICATION (SECTION 305):  
 EDUCATIONAL GROUP - E

ROOM AREAS: EXISTING TO REMAIN.

CONSTRUCTION TYPE (SECTION 602):  
 TYPE II-B

BUILDING HEIGHT (SECTION 504.3 & 504.4):  
 EXISTING TO REMAIN.

BUILDING AREAS (SECTION 506.2):  
 EXISTING TO REMAIN.

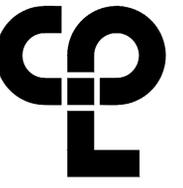
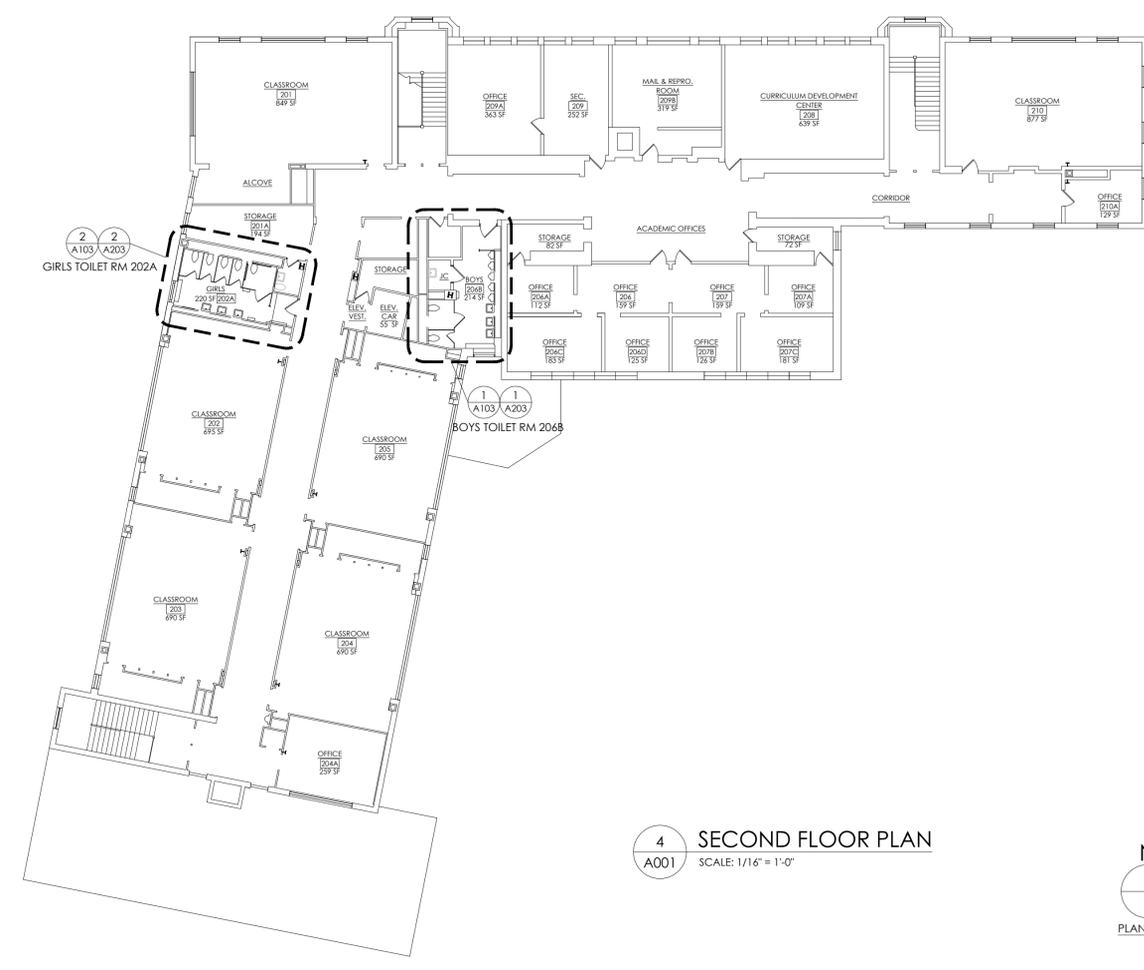
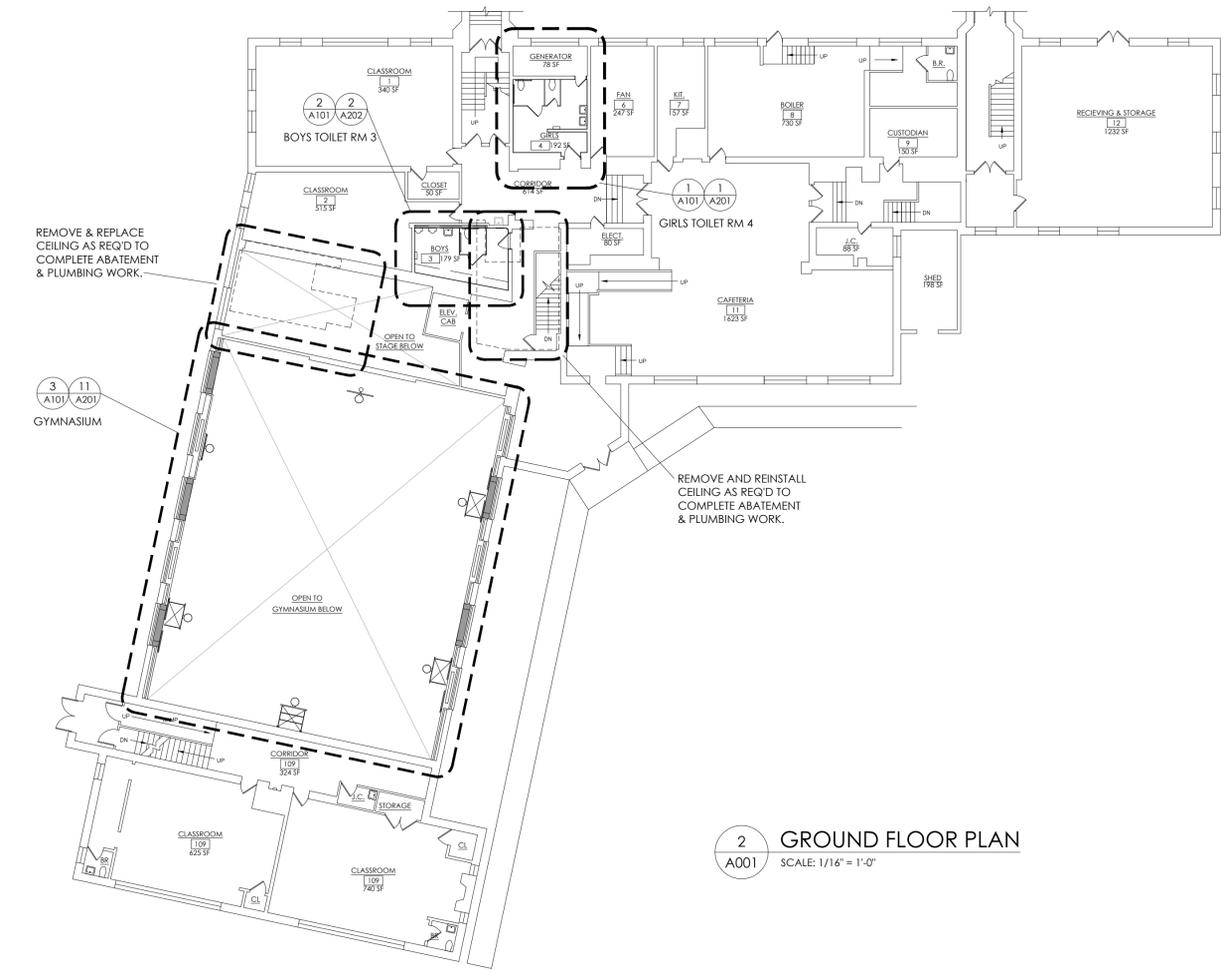
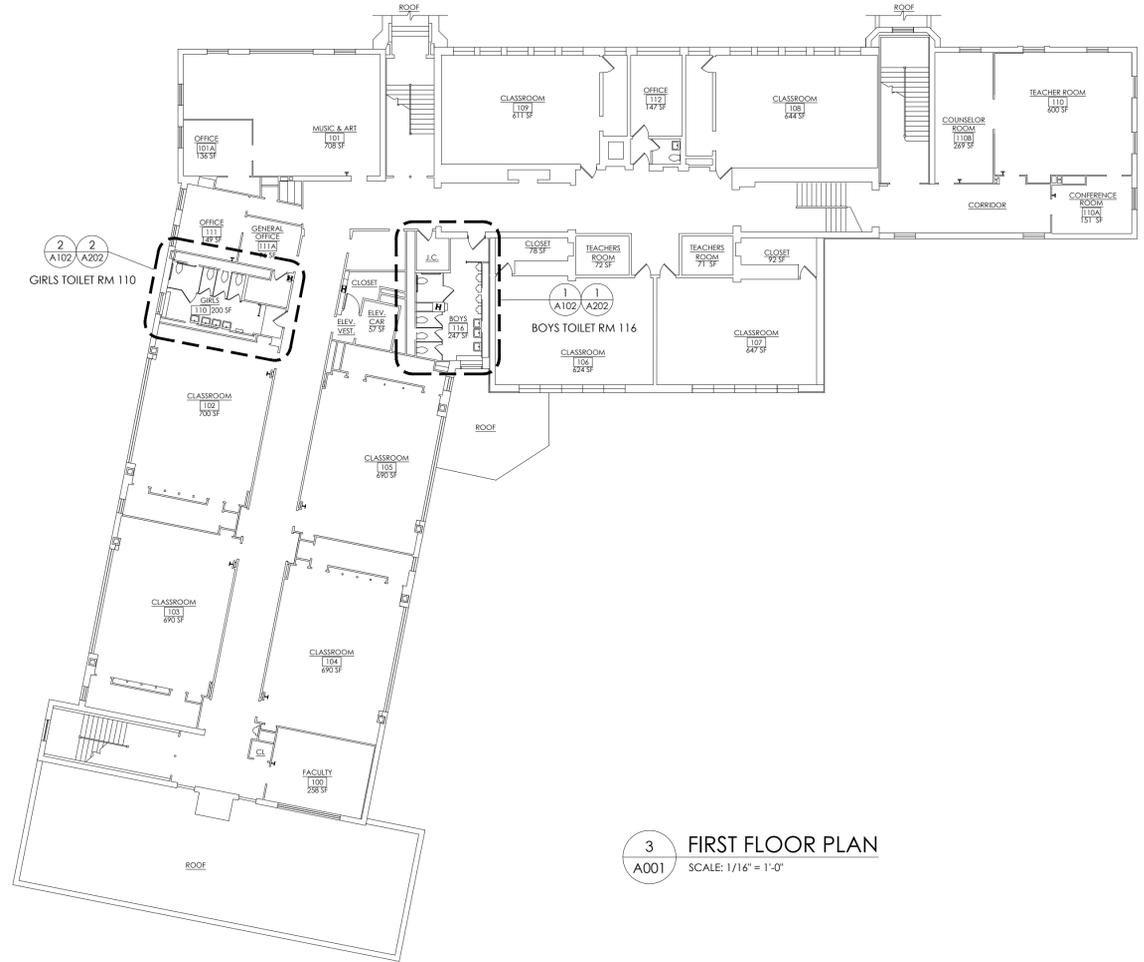
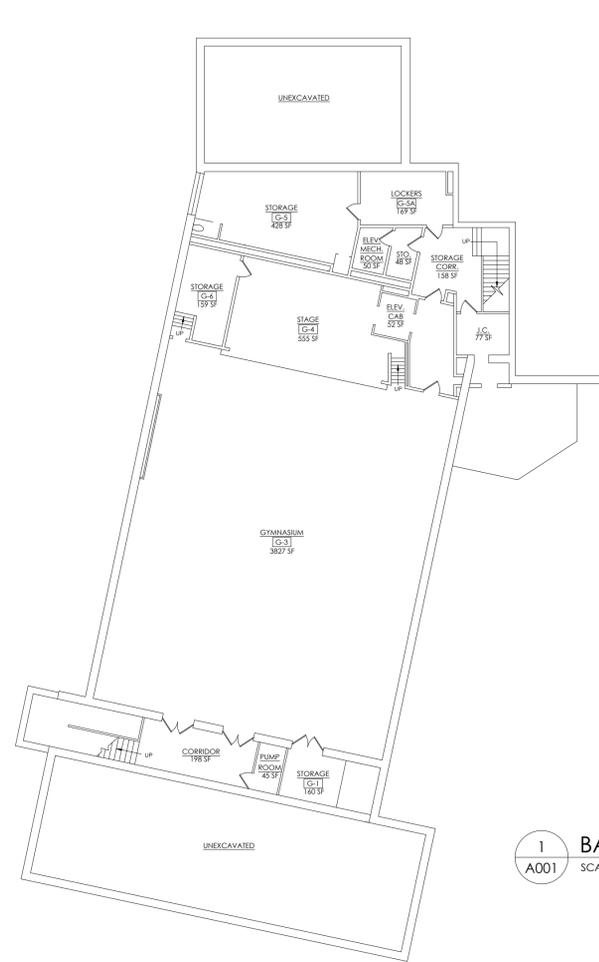
FIRE RESISTANCE RATING REQUIREMENTS (TABLE 601):  
 PRIMARY STRUCTURAL FRAME = 0 HOUR  
 BEARING WALLS (EXTERIOR) = 0 HOUR  
 NON-BEARING WALLS & PARTITIONS (INTERIOR) = 0 HOUR  
 FLOOR CONST. & ASSOC. SECONDARY MEMBERS = 0 HOUR  
 ROOF CONST. & ASSOC. SECONDARY MEMBERS = 0 HOUR

ENERGY CODE INFORMATION:  
 BASED ON THE 2020 ENERGY CONSERVATION  
 CODE OF NEW YORK STATE

CLIMATE ZONE (TABLE C301.1): 4A

	PROPOSED		REQUIRED	
	MALE	FEMALE	MALE	FEMALE
WATER CLOSETS	7	11	7	7
LAVATORIES	7	9	7	7
URINALS	10	-	-	-
MOP SINKS	1	-	1	-
DRINKING FOUNTAINS	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN
SHOWERS	0	0	0	0

ALTERATION LEVEL:  
 ALL WORK IS ALTERATION LEVEL 1



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**PROJECT INFORMATION**  
 Project Number: 14428.18  
 Client Name: OSSINING UNION FREE SCHOOL DISTRICT  
 Project Name: 2021-2022 CIP

District Office Address:  
 400 EXECUTIVE BLVD OSSINING, NY 10562

**Multiple Building Names**  
 █ OPENING HS SED# 46-1401-03-003-028  
 █ OPENING HS SED# 46-1401-03-003-027  
 █ OPENING HS SED# 46-1401-03-003-043

**PROJECT ISSUE & REVISION SCHEDULE**  
 No. Date Description

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**SHEET INFORMATION**  
 Issued: 11/15/2021 Scale: AS INDICATED  
 Project Status: BID SET  
 Drawn By: AW Checked By: BP  
 Drawing Title: OVERALL FLOOR PLANS

Drawing Number:  
**RES A001**

Sheet Size: 24x36  
 Drawing Name: S:\Projects\Ossining\_UFSD\2021-2022\_CIP\A001.dwg  
 Date last accessed: 1/27/2023 12:41 PM  
 Date last plotted: 2/1/2023 8:44 AM  
 Plotted By: Austin H West





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400 EXECUTIVE BLVD OSSINING, NY 10562

**Multiple Building Names**

- HUNTER TOWNERS ASSN SED# 66-1401-03-008-028
- ROOSEVELT HS SED# 66-1401-03-005-022
- OSSINING HS SED# 66-1401-03-003-043

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**SHEET INFORMATION**

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Project Status BID SET

Drawn By AW Checked By BP

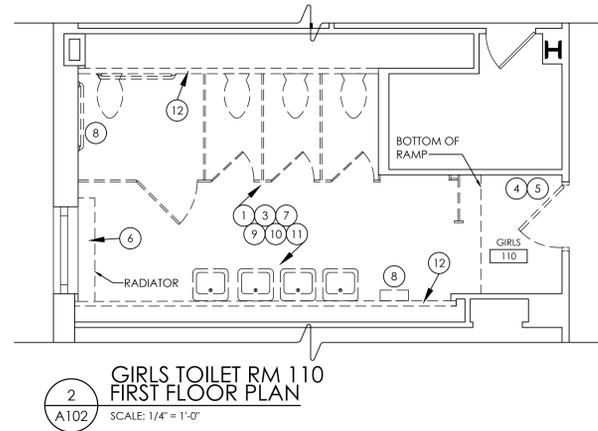
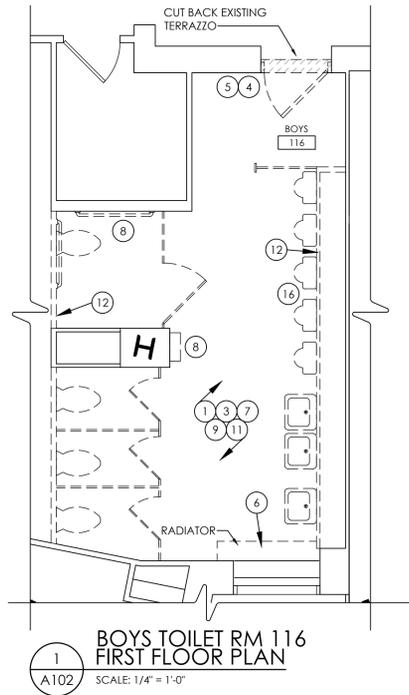
Drawing Title

FIRST FLOOR EXISTING/DEMOLITION PLAN

Drawing Number

RES

A102

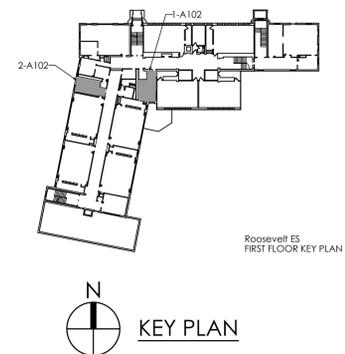


**DEMOLITION KEYNOTES:**

- 1 REMOVE EXISTING FLOOR TILE, BASE TILE & ADHESIVE COMPLETE TO STRUCTURAL FLOOR SLAB AS REQ'D FOR INSTALLATION OF NEW WORK.
- 2 GC SHALL TRENCH & /BACKFILL/ REINSTALL PORTIONS OF EXISTING CONCRETE FLOOR SLAB AS REQ'D FOR INSTALLATION OF NEW WORK. COORDINATE WITH PC.
- 3 REMOVE MUDSET DOWN TO STRUCTURAL FLOOR SLAB.
- 4 REMOVE EXISTING DOOR, DOOR HARDWARE & FRAME COMPLETE AS REQ'D FOR INSTALLATION OF NEW WORK.
- 5 REMOVE EXISTING DOOR FRAME AS REQ'D FOR INSTALLATION OF NEW WORK.
- 6 MC SHALL REMOVE EXISTING PANEL RADIATOR AS REQ'D FOR INSTALLATION OF NEW WORK. SEE HVAC DRAWINGS FOR ADDITIONAL INFORMATION. HC & GC SHALL COORDINATE WORK.
- 7 REMOVE EXISTING TOILET PARTITION SYSTEM COMPLETELY AS REQ'D FOR NEW WORK.
- 8 REMOVE ALL DISPENSERS, ALL DISPOSALS, GRAB BARS, MIRRORS & COAT HOOKS COMPLETE AS REQ'D FOR NEW WORK.
- 9 PC SHALL REMOVE & DISCONNECT EXISTING PLUMBING FIXTURE(S) & RELATED PIPING AS REQ'D FOR NEW WORK.
- 10 REMOVE EXISTING CEILING & SUPPORT SYSTEM IN ITS ENTIRETY FOR INSTALLATION OF NEW WORK. SEE REFLECTED CEILING PLANS FOR ADDITIONAL INFORMATION.
- 11 MC & EC SHALL REMOVE EXISTING LIGHT FIXTURES, DIFFUSERS, GRILLES, SPEAKERS, ACCESS PANELS & HVAC EQUIPMENT AS REQ'D FOR INSTALLATION OF NEW WORK. SEE MECHANICAL & ELECTRICAL DRAWINGS.
- 12 REMOVE EXISTING WALL CONSTRUCTION & PATCH/REPAIR FLOOR, WALL & CEILING AS NEEDED TO ACCOMMODATE NEW WORK.
- 13 SCRAPE/ SAND EXISTING DOOR 7 FRAME TO PREP TO BE REFINISHED.
- 14 CAREFULLY REMOVE AND PROTECT WALL PADDING AS NEEDED TO ACCOMMODATE NEW WORK. REINSTALL AFTER COMPLETION OF NEW WORK. COORDINATE WORK WITH ALL APPLICABLE TRADES.
- 15 DEMO EXISTING WALL CONSTRUCTION AS REQ'D TO REMOVE UNIT VENT FOR NEW WORK. ALL BASKETBALL BACKBOARDS AND SUPPORTING HARDWARE ON THE WALLS WITH WINDOWS SHOULD BE REMOVED AND WALLS PATCHED AND PAINT ENTIRE WALL WHERE BACKBOARDS WERE REMOVED. FOUR IN TOTAL. THE OWNER WILL ARRANGE FOR REPLACEMENT OF THOSE BACKBOARD/ HOOP SYSTEMS THAT ARE REMOVED.
- 16 FILL EXISTING HOLES FROM FLOOR MOUNTED URINALS AS REQ'D WITH CONCRETE AND LAY (2) #3 REBAR, EQUALLY SPACED, ACROSS TOP OF HOLES AND EXTEND REBAR PAST END HOLES BY 6" MIN.

**GENERAL DEMOLITION NOTES:**

- 1 REFER TO MECHANICAL, ELECTRICAL, PLUMBING & ASBESTOS DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE REMOVALS WITH ALL OTHER CONTRACTS.
- 2 MAINTAIN INTEGRITY OF ITEMS THAT ARE TO REMAIN. PATCH ALL REMAINING SURFACES DISTURBED BY DEMOLITION AND/OR NEW CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACES.
- 3 COORDINATE EXTENT OF SELECTIVE DEMOLITION WITH NEW WORK.
- 4 PROVIDE TEMPORARY SHORING & BRACING AS REQ'D PRIOR TO COMMENCING DEMOLITION. DO NOT DAMAGE OR DISTURB EXISTING STRUCTURAL ELEMENTS THAT ARE TO REMAIN. WHERE WALLS ARE TO BE REMOVED, DO NOT REMOVE EXISTING COLUMNS, UNLESS NOTED OTHERWISE.
- 5 REMOVE ALL CASEWORK, BOARDS, ACCESSORIES, PROJECTION SCREENS & ITEMS BUILT IN OR LOCATED ON WALLS SHOWN TO BE DEMOLISHED OR AS REQ'D BY NEW CONSTRUCTION.
- 6 PRIOR TO START OF PROJECT, OWNER SHALL REMOVE LOOSE EQUIPMENT SUCH AS FURNITURE, DESKS, CHAIRS, SHELVING, WINDOW AIR CONDITIONERS, ETC., U.N.O. FURNITURE & EQUIPMENT REMAINING SHALL BE COVERED & PROTECTED.
- 7 DEMOLITION TO INCLUDE COMPLETE REMOVAL OF ALL FASTENERS, ADHESIVES & RELATED ITEMS COMPLETELY DOWN TO SUBSTRATE. PATCH SUBSTRATE AS REQ'D FOR NEW FINISHES. PATCH ALL REMAINING SURFACES DISTURBED BY DEMOLITION AND/OR NEW CONSTRUCTION TO BLEND WITH & MATCH EXISTING ADJACENT SURFACES, OR PROVIDE NEW CONSTRUCTION AS SHOWN.



Plotted By: Aulifh H West

Date last plotted: 2/1/2023 8:44 AM

Date last accessed: 1/18/2023 9:19 AM

Sheet size: 24x36  
Drawing Name: S:\Projects\Ossining UFSD\2021-2022 CIP\DWG\Design\06 CAD\AutoCAD\ARCHNA\A\_RES\_10108-23-21.dwg



CPL | Architecture Engineering Planning  
50 Front St. Suite 202  
Newburgh, NY 12550  
CPLearn.com

**PROJECT INFORMATION**

Project Number  
14428.1B  
Client Name

**OSSINING UNION FREE SCHOOL DISTRICT**  
Project Name  
**2021-2022 CIP**

District Office Address  
400 EXECUTIVE BLVD OSSINING, NY 10562

**Multiple Building Names**

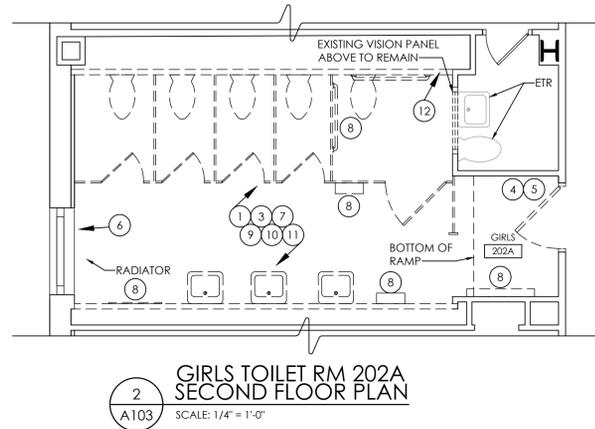
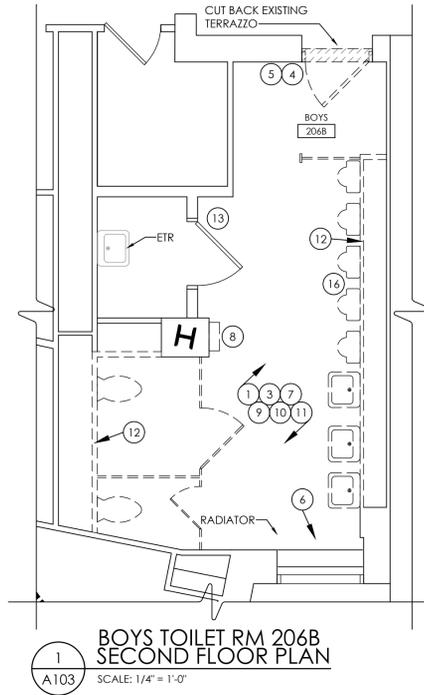
1. HUNTER DONNER HS SED# 66-1401-03-008-028  
2. OSSINING HS SED# 66-1401-03-005-022  
3. OSSINING HS SED# 66-1401-03-003-043

**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description

Date last plotted: 2/1/2023 8:44 AM Plotted By: Aulifh H West

Date last accessed: 1/18/2023 9:19 AM Sheet size: 24x36 Drawing Name: S:\Projects\Ossining\_UFSD\2021-2022\_CIP\Design\06\_CAD\AutoCAD\ARCHNA\A\_RES\_10108-23-21.dwg

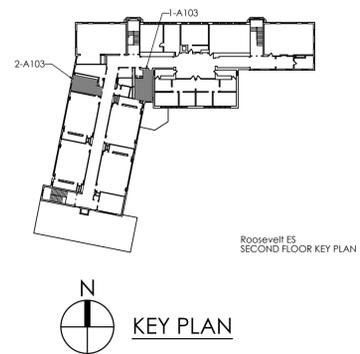


**DEMOLITION KEYNOTES:**

- 1 REMOVE EXISTING FLOOR TILE, BASE TILE & ADHESIVE COMPLETE TO STRUCTURAL FLOOR SLAB AS REQ'D FOR INSTALLATION OF NEW WORK.
- 2 GC SHALL TRENCH & /BACKFILL/ REINSTALL PORTIONS OF EXISTING CONCRETE FLOOR SLAB AS REQ'D FOR INSTALLATION OF NEW WORK. COORDINATE WITH PC.
- 3 REMOVE MUDSET DOWN TO STRUCTURAL FLOOR SLAB.
- 4 REMOVE EXISTING DOOR, DOOR HARDWARE & FRAME COMPLETE AS REQ'D FOR INSTALLATION OF NEW WORK.
- 5 REMOVE EXISTING DOOR FRAME AS REQ'D FOR INSTALLATION OF NEW WORK.
- 6 MC SHALL REMOVE EXISTING PANEL RADIATOR AS REQ'D FOR INSTALLATION OF NEW WORK. SEE HVAC DRAWINGS FOR ADDITIONAL INFORMATION. HC & GC SHALL COORDINATE WORK.
- 7 REMOVE EXISTING TOILET PARTITION SYSTEM COMPLETELY AS REQ'D FOR NEW WORK.
- 8 REMOVE ALL DISPENSERS, ALL DISPOSALS, GRAB BARS, MIRRORS & COAT HOOKS COMPLETE AS REQ'D FOR NEW WORK.
- 9 PC SHALL REMOVE & DISCONNECT EXISTING PLUMBING FIXTURE(S) & RELATED PIPING AS REQ'D FOR NEW WORK.
- 10 REMOVE EXISTING CEILING & SUPPORT SYSTEM IN ITS ENTIRETY FOR INSTALLATION OF NEW WORK. SEE REFLECTED CEILING PLANS FOR ADDITIONAL INFORMATION.
- 11 MC & EC SHALL REMOVE EXISTING LIGHT FIXTURES, DIFFUSERS, GRILLES, SPEAKERS, ACCESS PANELS & HVAC EQUIPMENT AS REQ'D FOR INSTALLATION OF NEW WORK. SEE MECHANICAL & ELECTRICAL DRAWINGS.
- 12 REMOVE EXISTING WALL CONSTRUCTION & PATCH/REPAIR FLOOR, WALL & CEILING AS NEEDED TO ACCOMMODATE NEW WORK.
- 13 SCRAPE/ SAND EXISTING DOOR 7 FRAME TO PREP TO BE REFINISHED.
- 14 CAREFULLY REMOVE AND PROTECT WALL PADDING AS NEEDED TO ACCOMMODATE NEW WORK. REINSTALL AFTER COMPLETION OF NEW WORK. COORDINATE WORK WITH ALL APPLICABLE TRADES.
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**GENERAL DEMOLITION NOTES:**

1. REFER TO MECHANICAL, ELECTRICAL, PLUMBING & ASBESTOS DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE REMOVALS WITH ALL OTHER CONTRACTS.
2. MAINTAIN INTEGRITY OF ITEMS THAT ARE TO REMAIN. PATCH ALL REMAINING SURFACES DISTURBED BY DEMOLITION AND/OR NEW CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACES.
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4. PROVIDE TEMPORARY SHORING & BRACING AS REQ'D PRIOR TO COMMENCING DEMOLITION. DO NOT DAMAGE OR DISTURB EXISTING STRUCTURAL ELEMENTS THAT ARE TO REMAIN. WHERE WALLS ARE TO BE REMOVED, DO NOT REMOVE EXISTING COLUMNS, UNLESS NOTED OTHERWISE.
5. REMOVE ALL CASEWORK, BOARDS, ACCESSORIES, PROJECTION SCREENS & ITEMS BUILT IN OR LOCATED ON WALLS SHOWN TO BE DEMOLISHED OR AS REQ'D BY NEW CONSTRUCTION.
6. PRIOR TO START OF PROJECT, OWNER SHALL REMOVE LOOSE EQUIPMENT SUCH AS FURNITURE, DESKS, CHAIRS, SHELVING, WINDOW AIR CONDITIONERS, ETC., U.N.O. FURNITURE & EQUIPMENT REMAINING SHALL BE COVERED & PROTECTED.
7. DEMOLITION TO INCLUDE COMPLETE REMOVAL OF ALL FASTENERS, ADHESIVES & RELATED ITEMS COMPLETELY DOWN TO SUBSTRATE. PATCH SUBSTRATE AS REQ'D FOR NEW FINISHES. PATCH ALL REMAINING SURFACES DISTURBED BY DEMOLITION AND/OR NEW CONSTRUCTION TO BLEND WITH & MATCH EXISTING ADJACENT SURFACES, OR PROVIDE NEW CONSTRUCTION AS SHOWN.



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THE SUPERVISION OF A LICENSED ARCHITECT SUPERVISOR OR AN ARCHITECT  
ALSO APPLICABLE IN ANY STATE OF NEW YORK BEARING THE SEAL OF AN ARCHITECT.  
REGISTERED PROFESSIONAL ARCHITECTS: THE ARCHITECT FIRM SHALL APPLY TO THE  
NEW YORK SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR  
SIGNATURE AND THE DATE OF EACH ALTERATION, AND A SHORT  
DESCRIPTION OF THE ALTERATION.

**SHEET INFORMATION**

Issued 11/15/2021 Scale AS INDICATED  
Project Status BID SET  
Drawn By AW Checked By BP  
Drawing Title SECOND FLOOR EXISTING / DEMOLITION PLAN

Drawing Number  
**RES  
A103**



Plotted By: Aulfin H West

Date last plotted: 2/1/2022 8:45 AM

Date last accessed: 5/12/2022 9:40 AM

Sheet size: 24x36  
Drawing Name: S:\Projects\Ossining\USD\2021-2022\CIP\DWG\Design\06 CAD\AutoCAD\ARCH\A2\RES\_BATH\_ELEV\_B-2-21.dwg

**GENERAL NOTE:**

Contractor to field verify ALL dimensions and notify architect of any discrepancies prior to construction.

■ NEW WALL CONSTRUCTION



CPL | Architecture Engineering Planning  
50 Front St. Suite 202  
Newburgh, NY 12550  
CPLteam.com

**PROJECT INFORMATION**

Project Number  
14428.18

Client Name

**OSSINING UNION FREE SCHOOL DISTRICT**

Project Name

**2021-2022 CIP**

District Office Address

400 EXECUTIVE BLVD OSSINING, NY 10562

**Multiple Building Names**

■ OPENING DOOR AND SET 66-1401-03-008-028

■ ROOF OVER THE SET 66-1401-03-008-022

■ OSSINING HS SED 66-1401-03-003-043

**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description

**NEW YORK STATE EDUCATION DEPARTMENT**

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**SHEET INFORMATION**

Issued

11/15/2021

Project Status

BID SET

Drawn By

AW

Drawing Title

FIRST FLOOR NEW WORK PLANS & ELEVATIONS

Scale

AS INDICATED

Checked By

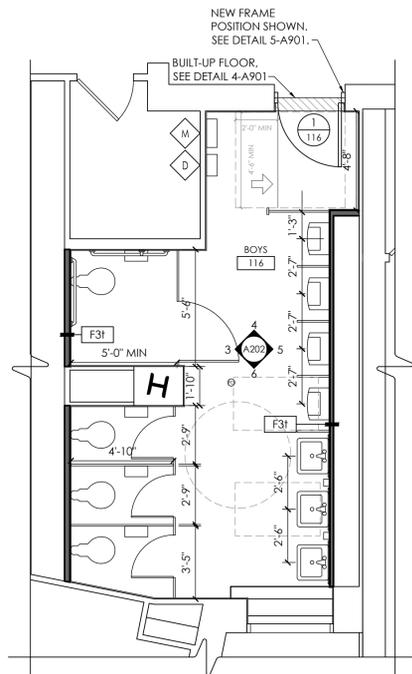
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Project Number

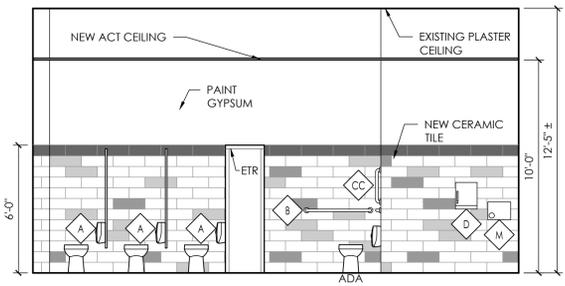
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A202

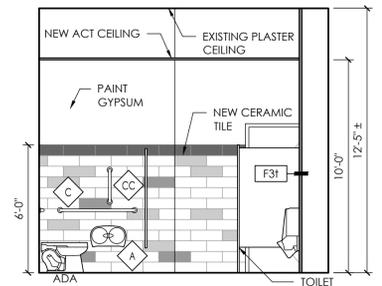
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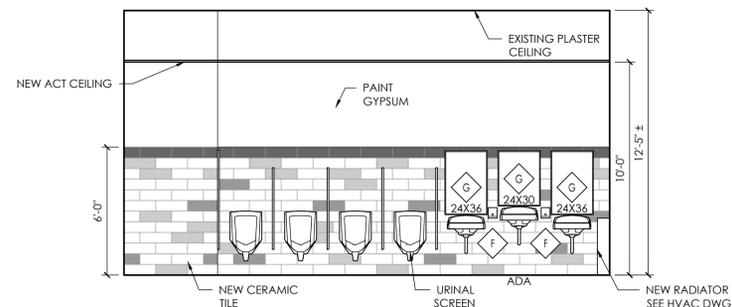
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A202  
FIRST FLOOR BOYS TOILET RM 116  
SCALE: 1/4" = 1'-0"



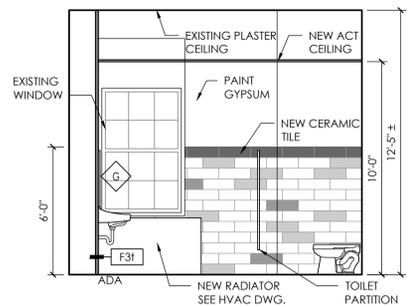
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A202  
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SCALE: 1/4" = 1'-0"



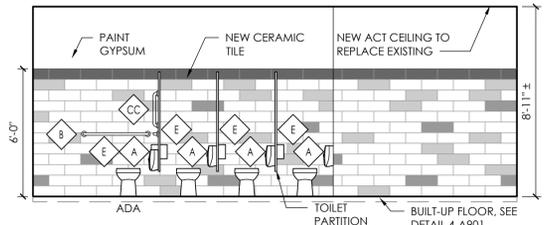
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SCALE: 1/4" = 1'-0"



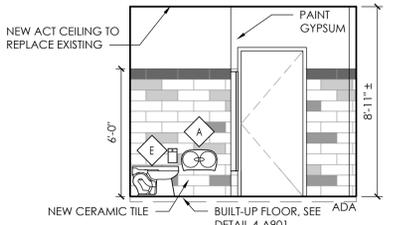
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SCALE: 1/4" = 1'-0"



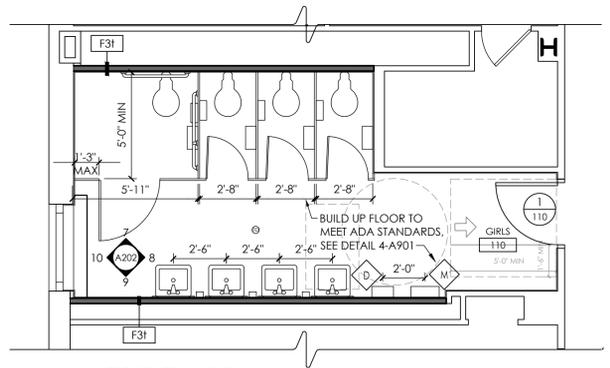
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SCALE: 1/4" = 1'-0"



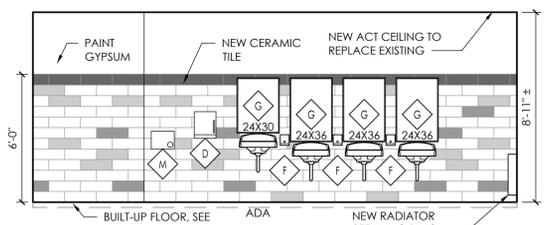
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A202  
ELEVATION AT TOILET RM 110  
SCALE: 1/4" = 1'-0"



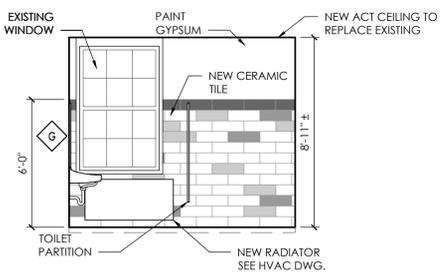
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A202  
ELEVATION AT TOILET RM 110  
SCALE: 1/4" = 1'-0"



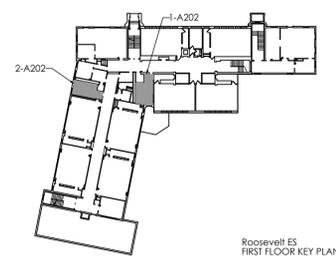
2  
A202  
FIRST FLOOR GIRLS TOILET RM 110  
SCALE: 1/4" = 1'-0"



9  
A202  
ELEVATION AT TOILET RM 110  
SCALE: 1/4" = 1'-0"



10  
A202  
ELEVATION AT TOILET RM 110  
SCALE: 1/4" = 1'-0"



Roosevelt ES  
FIRST FLOOR KEY PLAN







**PROJECT INFORMATION**

Project Number  
14428.18  
 Client Name

**OSSINING UNION FREE SCHOOL DISTRICT**  
 Project Name  
**2021-2022 CIP**

District Office Address  
 400 EXECUTIVE BLVD OSSINING, NY 10562

**Multiple Building Names**

101 NEW YORK STATE SED# 66-1401-03-008-028  
 102 OSSINING HS SED# 66-1401-03-005-022  
 103 OSSINING HS SED# 66-1401-03-003-043

**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description

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 THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR TO  
 ASSIST IN ANY WAY, AT ANY TIME BEARING THE SEAL OF AN ARCHITECT,  
 ENGINEER OR LAND SURVEYOR IN THE DESIGN OF ANY BUILDING OR  
 STRUCTURE AND THE MODIFICATIONS THEREBY FOLLOWED BY THEIR  
 SIGNATURE AND THE DATE OF EACH ALTERATION AND A RECORD  
 DESCRIPTION OF THE ALTERATION.

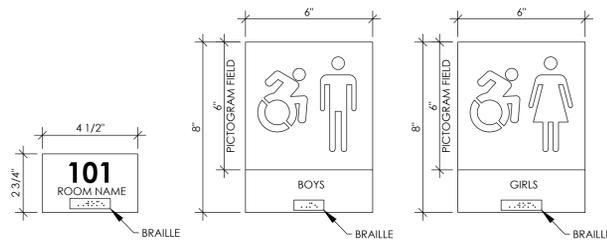
**SHEET INFORMATION**

Issued 11/15/2021 Scale AS INDICATED  
 Project Status  
 BID SET  
 Drawn By AW Checked By BP  
 Drawing Title

TYPICAL FIXTURE MOUNTING HEIGHTS

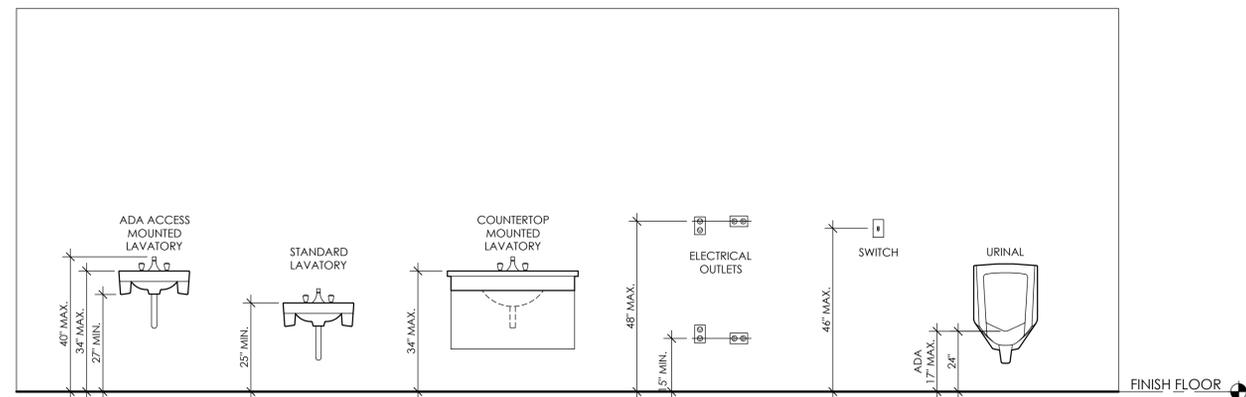
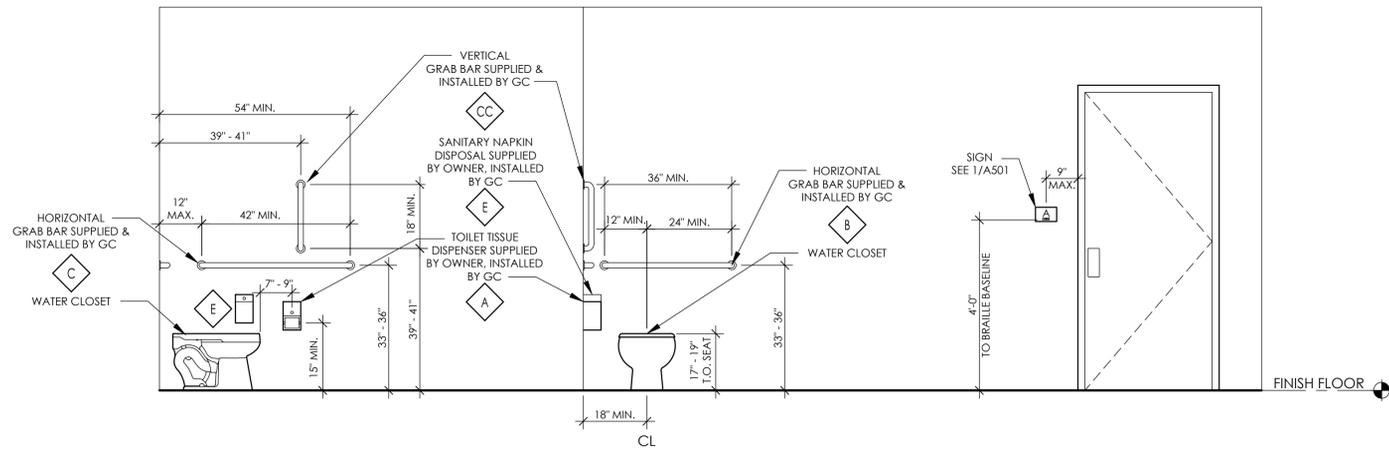
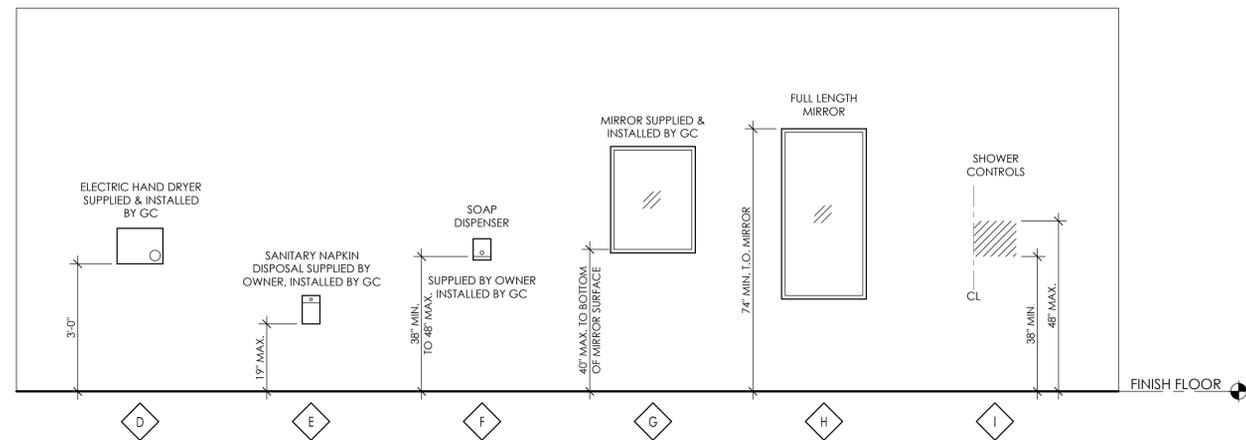
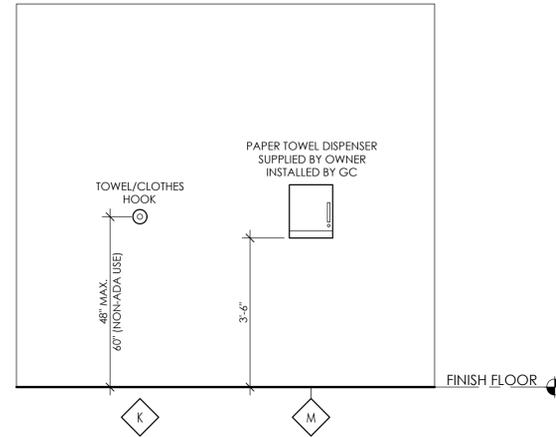
Drawing Number

RES  
A501



**1 SIGNAGE TYPES**  
 SCALE: 3" = 1'-0"

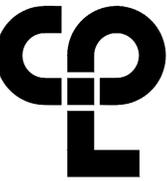
NOTE: FOR REFERENCE ONLY  
 SIGNAGE BY OWNER



**5 TYP. FIXTURE AND ACCESSORY MOUNTING HEIGHTS**  
 SCALE: 1/4" = 1'-0"

NOTE: NOT ALL ITEMS SHOWN ARE INCLUDED IN PROJECT. SEE PLANS FOR REQUIRED ITEMS





**PROJECT INFORMATION**

Project Number  
14428.18

Client Name

**OSSINING UNION FREE SCHOOL DISTRICT**

Project Name

**2021-2022 CIP**

District Office Address

400 EXECUTIVE BLVD OSSINING, NY 10562

**Multiple Building Names**

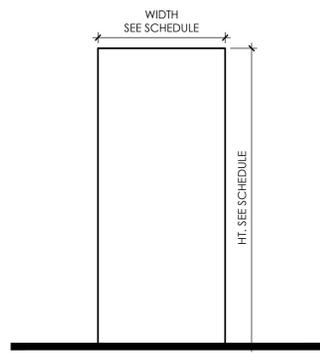
1. JONES H.S. CORNER 46 SEDF 46-1401-03-003-028

2. BOYS TOILET RM 116 46-1401-03-003-027

3. OSSINING HS SEDF 46-1401-03-003-043

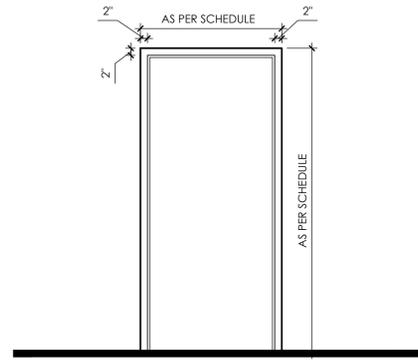
**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description



A

1 DOOR TYPE  
A901 SCALE: N.T.S.



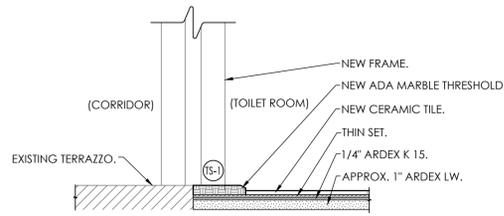
1

2 DOOR FRAME TYPES  
A901 SCALE: N.T.S.

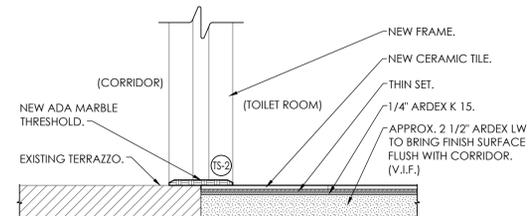
DOORS												FRAMES											
DOOR NO.	NOMINAL SIZE			MATERIAL / FINISH	UNDERCUT	FIRE RATING	OVERALL SIZE				TYPE	MATERIAL / FINISH	JAMB DETAIL	HEAD DETAIL	SILL DETAIL	HARDWARE SET NO.							
	WIDTH	HEIGHT	TH.				WIDTH	HEIGHT	DEPTH	TH.													
1-3	3'-0"	6'-10"	1 3/4"	A	WD/ST	-	3/4 HR	3'-4"	7'-0"	6"	2"	1	HM/PT	MATCH EXISTING	3-A901	SEE SPECS. (SECTION 08 71 00)							
1-4	3'-0"	7'-0"	1 3/4"	A	WD/ST	-	3/4 HR	3'-4"	7'-2"	6"	2"	1	HM/PT	MATCH EXISTING		SEE SPECS. (SECTION 08 71 00)							
1-110	3'-0"	6'-10"	1 3/4"	A	WD/ST	-	3/4 HR	3'-4"	7'-0"	6"	2"	1	HM/PT	MATCH EXISTING	4-A901	SEE SPECS. (SECTION 08 71 00)							
1-116	3'-0"	6'-10"	1 3/4"	A	WD/ST	-	3/4 HR	3'-4"	7'-0"	6"	2"	1	HM/PT	5-A901	6-A901	4-A901 SIMILAR	SEE SPECS. (SECTION 08 71 00)						
1-202A	3'-0"	6'-10"	1 3/4"	A	WD/ST	-	3/4 HR	3'-4"	7'-0"	6"	2"	1	HM/PT	MATCH EXISTING	4-A901	SEE SPECS. (SECTION 08 71 00)							
1-206B	3'-0"	6'-10"	1 3/4"	A	WD/ST	-	3/4 HR	3'-4"	7'-0"	6"	2"	1	HM/PT	5-A901	6-A901	4-A901 SIMILAR	SEE SPECS. (SECTION 08 71 00)						

**LEGEND**  
 WD WOOD  
 HM HOLLOW METAL  
 EX EXISTING  
 PT PAINTED  
 MFR MANUFACTURER  
 ALUM ALUMINUM  
 SIM SIMILAR  
 FRP FIBERGLASS REINFORCED POLYESTER  
 ST STAINED AND POLYURETHANED

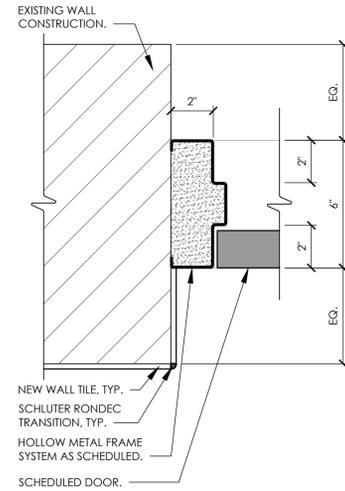
**NOTES:**  
 1. ALL SIZES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL DETERMINE ACTUAL DIMENSIONS IN THE FIELD.  
 2. NEW DOORS SHALL MATCH FIRE-RATING OF EXISTING DOORS THAT THEY REPLACE, U.N.O.  
 3. PATCH ('BONDO', ETC.) EXISTING FRAMES AS NEEDED (AT UNUSED/EXPOSED SCREW HOLES AT REMOVED HARDWARE, ETC.). REPAIR EXISTING DOOR FRAMES TO MATCH EXISTING.



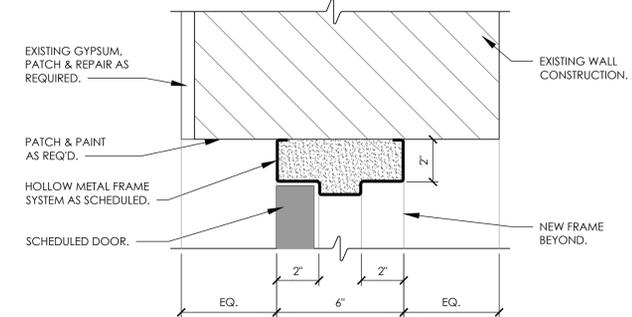
3 THRESHOLD & BUILT-UP FLOOR DETAIL AT BOYS TOILET RM 3  
A901 SCALE: 1 1/2" = 1'-0"



4 BUILT-UP FLOOR DETAIL AT GIRLS TOILET RM 110 & 202A  
A901 SCALE: 1 1/2" = 1'-0"



5 JAMB DETAIL AT BOYS TOILET RM 116 & 206B  
A901 SCALE: 3" = 1'-0"



6 HEAD DETAIL AT BOYS TOILET RM 116 & 206B  
A901 SCALE: 3" = 1'-0"

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 ENGINEER OR LAND SURVEYOR IN THE DESIGN OF ARCHITECTURAL OR  
 ENGINEERING WORK AND THE MODIFICATION THEREOF BY THEIR  
 DELEGATES AND THE DATE OF SUCH ALTERATION, AND A RECORD  
 OF THE ALTERATION.

**SHEET INFORMATION**

Issued 11/15/2021 Scale AS INDICATED

Project Status BID SET

Drawn By AW Checked By BP

Drawing Title DOOR SCHEDULE, DOOR TYPES & DOOR FRAME TYPES

Drawing Number

RES

A901





**PROJECT INFORMATION**

Project Number  
 14428.18  
 Client Name  
**OSSINING UNION FREE SCHOOL DISTRICT**  
 Project Name  
**2021-2022 CIP**

District Office Address  
 400 EXECUTIVE BLVD OSSINING, NY 10562

**Multiple Building Names**

OSSFNS UN FLDNRS HG BLDG 66-1401-03-008-028  
 OSSFNS UN FLDNRS HG BLDG 66-1401-03-005-022  
 OSSFNS UN FLDNRS HG BLDG 66-1401-03-003-043

**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description

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 THE SUPERVISION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR. TO  
 USE OR REPRODUCE IN ANY MANNER THE SEAL OF AN ARCHITECT,  
 ENGINEER OR LAND SURVEYOR WITHOUT THE WRITTEN PERMISSION OF THE  
 NEW YORK STATE EDUCATION DEPARTMENT IS PROHIBITED BY LAW. ANY  
 VIOLATION OF THIS PROHIBITION IS A VIOLATION OF ARTICLE 120 OF THE  
 EDUCATION LAW AND THE VIOLATOR IS SUBJECT TO THE PENALTIES AND  
 DISCIPLINE OF THE EDUCATION LAW.

**SHEET INFORMATION**

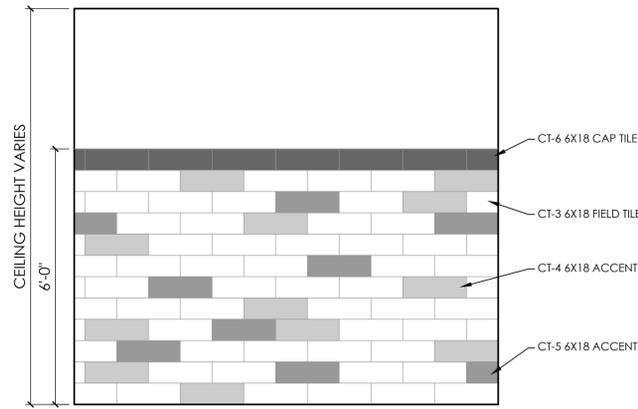
Issued 11/15/2021 Scale AS INDICATED  
 Project Status  
 BID SET  
 Drawn By A.W. Checked By B.P.  
 Drawing Title

**FINISH SCHEDULE & TYPICAL PATTERN DETAILS**

Drawing Number

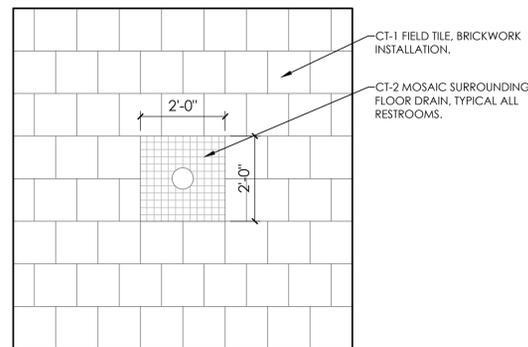
**RES  
 1250**

FINISH SCHEDULE						
FINISH CODE	MANUFACTURER	STYLE/PATTERN	COLOR	SIZE	ADDITIONAL REQUIREMENTS	REMARKS
ACOUSTICAL CEILING TILE						
ACT-1	ARMSTRONG	FINE FISSURED, SQUARE LAY-IN	WHITE	24" X 24"	REFER TO SPECIFICATIONS	TYPICAL CEILING TILE
CERAMIC TILE						
CT-1	MILESTONE / FLORIM	BASALTILE	COORDINATE WITH OWNER	12" x 12"	STAGGERED BRICK PATTERN INSTALL: 10MM THICK, RECTIFIED EDGES; 3/16" GROUT JOINT; DCOF > 0.42	FLOOR TILE - ALL TOILET ROOMS TYPICAL
CT-2	MILESTONE / FLORIM	BASALTINE	COORDINATE WITH OWNER	2" x 2"		FLOOR TILE - ALL TOILET ROOMS NEAR FLOOR DRAINS TYPICAL
CT-3	DALTILE	COLOR WHEEL LINEAR	SEMI-GLOSS COORDINATE WITH OWNER	6" x 18"	3/8" THICK 1/8" GROUT JOINT	FIELD WALL TILE - TOILET ROOMS TYPICAL
CT-4	DALTILE	COLOR WHEEL LINEAR	MATTE COORDINATE WITH OWNER	6" x 18"	3/8" THICK 1/8" GROUT JOINT	ACCENT WALL TILE - TOILET ROOMS TYPICAL
CT-5	DALTILE	COLOR WHEEL LINEAR	MATTE COORDINATE WITH OWNER	6" x 18"	3/8" THICK 1/8" GROUT JOINT	ACCENT WALL TILE - TOILET ROOMS TYPICAL
CT-6	DALTILE	COLOR WHEEL LINEAR	MATTE COORDINATE WITH OWNER	6" x 18"	3/8" THICK 1/8" GROUT JOINT	ACCENT WALL CAP TILE - TOILET ROOMS TYPICAL
LATEX PAINT						
LTX-1	SHERWIN WILLIAMS	PRO INDUSTRIAL WATERBASED CATALYZED EPOXY	COORDINATE WITH OWNER	-	PREP WITH 1CT EXTREME BOND PRIMER AND 2CTS PAINT	GENERAL WALL COLOR - ALL TOILET ROOMS
GROUT						
GRT-1	LATICRETE	TBD	COORDINATE WITH OWNER	-		TYPICAL AT TOILET ROOM FLOOR TILE (CT-1, CT-2)
GRT-2	LATICRETE	TBD	COORDINATE WITH OWNER	-		TYPICAL AT TOILET ROOM WALL TILE (CT-3, CT-4, CT-5, CT-6)
TRANSITIONS						
TS-1	N/A	ADA COMPLIANT MARBLE THRESHOLD		N/A	REFER TO SPECIFICATIONS	USED AT BOYS TOILET RM 3
TS-2	N/A	ADA COMPLIANT MARBLE THRESHOLD		N/A	REFER TO SPECIFICATIONS	TYPICAL AT ALL FLOOR TILE LOCATIONS
TR-1	SCHLUTER	JOLLY	AGTB	N/A		TYPICAL AT ALL PLACES NEW TILE TERMINATES
TR-2	SCHLUTER	DILEX-AHK	AGTB	N/A		TYPICAL AT NEW WALL TILE TO NEW FLOOR TILE
TR-3	SCHLUTER	RONDEC	AGTB	N/A		TYPICAL AT ALL OUTSIDE CORNER OF WALL TILE
TR-4	SCHLUTER	DILEX-AKHA	AGTB	N/A		TYPICAL AT NEW TILE TO EXISTING FLOOR



- CT-3: 50%
- CT-4: 30%
- CT-5: 20%
- CT-6: CAP TILE

**1 TYPICAL TOILET ROOM WALL TILE PATTERN**  
 SCALE: 1/2" = 1'-0"



**2 TYPICAL TOILET ROOM FLOOR TILE DETAIL AT DRAIN**  
 SCALE: 1/2" = 1'-0"





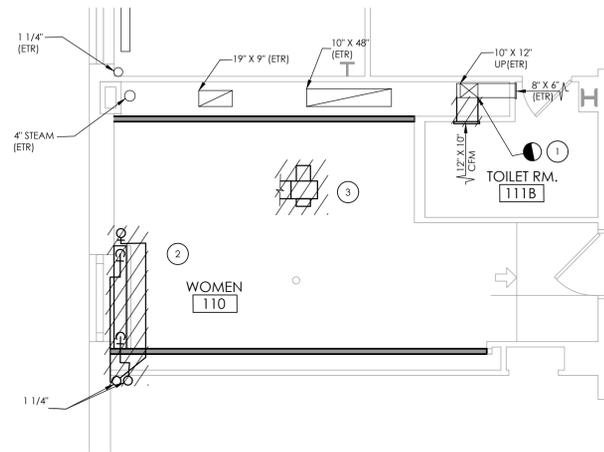




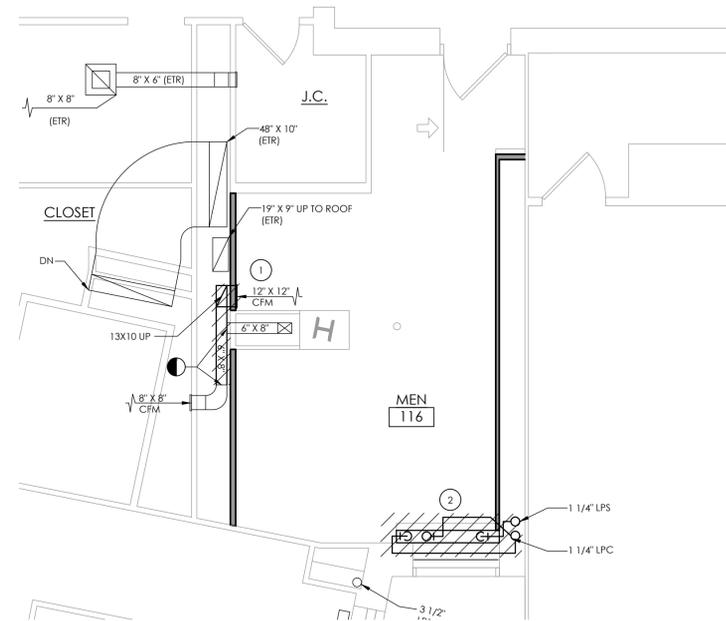
CPL | Architecture Engineering Planning  
 50 Front St. Suite 202  
 Newburgh, NY 12550  
 CPLteam.com

**KEY NOTES:**

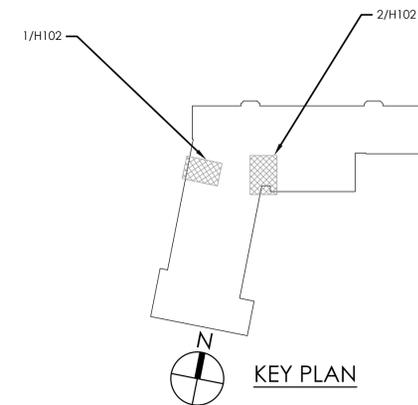
- ① REMOVE EXISTING GRILLE AND DUCT TO POINT AS INDICATED. PREPARE FOR NEW WORK.
- ② REMOVE EXISTING RADIATOR IN ITS ENTIRETY INCLUDING ALL PIPING, CONTROLS AND THERMOSTAT. REMOVE PIPING BACK TO MAINS AND PREPARE FOR NEW WORK.
- ③ REMOVE EXISTING EXHAUST FAN IN IT ENTIRETY.



① GIRLS TOILET ROOM DEMOLITION PLAN  
 H102 SCALE: 1/4" = 1'-0"



② BOYS TOILET ROOM DEMOLITION PLAN  
 H102 SCALE: 1/4" = 1'-0"



KEY PLAN

**PROJECT INFORMATION**

Project Number  
14428.18

Client Name

OSSINING UNION FREE SCHOOL DISTRICT

Project Name

2021-2022 CIP

District Office Address

400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING UNION FREE SCHOOL DISTRICT**

ARCHITECT: DORNIER WS SEDR 66-14-01-03-0-008-028

REGISTERED PROFESSIONAL ARCHITECT LICENSE NO. 14000-00000000

REGISTERED PROFESSIONAL ARCHITECT LICENSE NO. 14000-00000000

REGISTERED PROFESSIONAL ARCHITECT LICENSE NO. 14000-00000000

**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description

**NEW YORK STATE EDUCATION EXAMINEE**

THIS ALLOCATION OF THE NEW YORK STATE EDUCATION EXAMINEE AND THE COMMISSION'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A REGISTERED ARCHITECT, ENGINEER OR LAND SURVEYOR TO ALTER OR REPAIR IN ANY WAY, OR TO BEAR THE SEAL OF AN ARCHITECT, ENGINEER OR LAND SURVEYOR, IS VOID WITHOUT THE SIGNATURE AND SEAL OF THE REGISTERED ARCHITECT, ENGINEER OR LAND SURVEYOR TO THE PLAN, THESE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

**SHEET INFORMATION**

Issued 11/15/2021 Scale 1/4" = 1'-0"

Project Status

BID SET

Drawn By DJB Checked By AJS

Drawing Title

FIRST FLOOR HVAC DEMOLITION PLAN

Drawing Number

RES H102

Plotted By: Daniel Batista

Date last plotted: 1/17/2023 10:45 AM

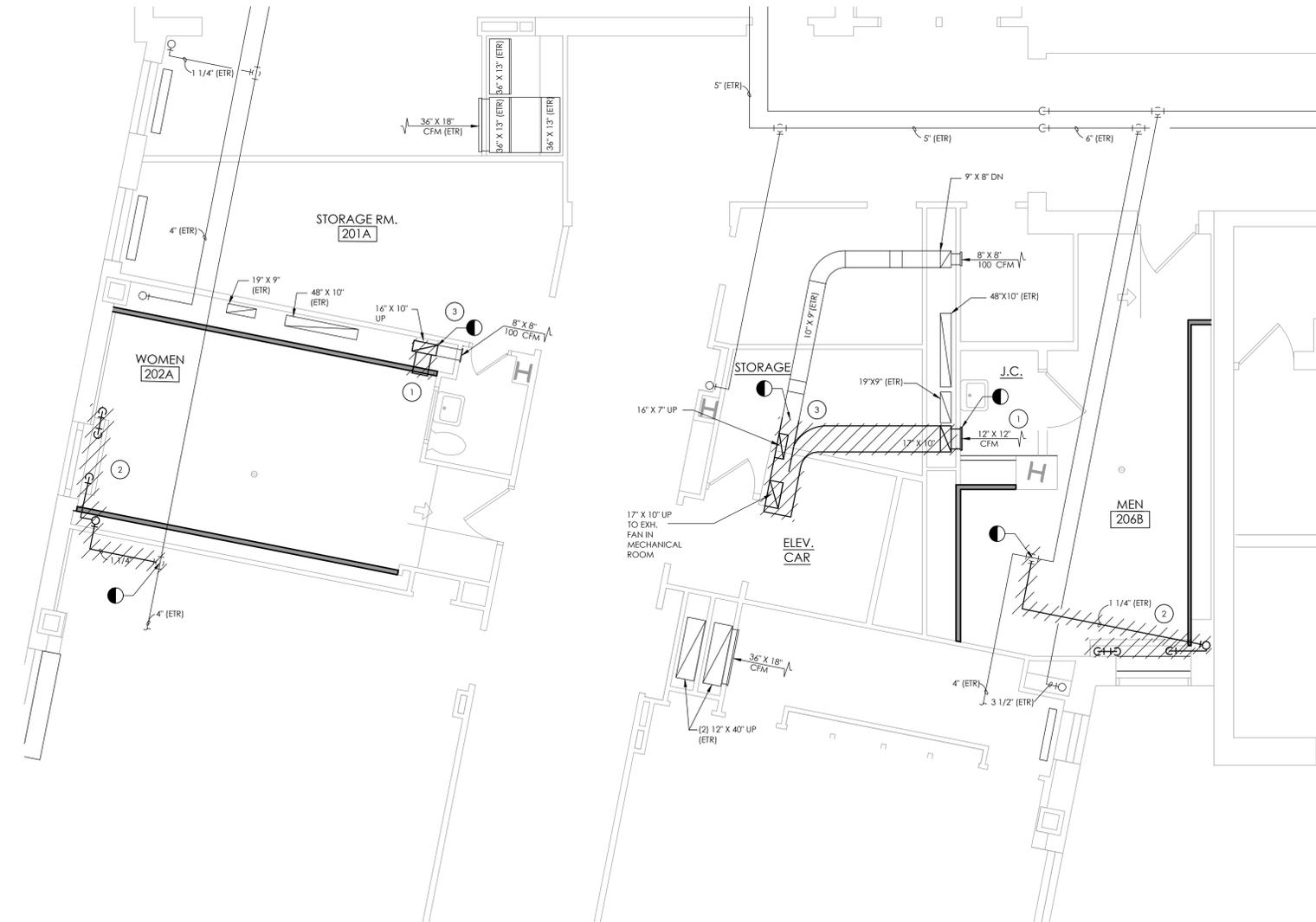
Date last accessed: 1/17/2023 10:12 AM

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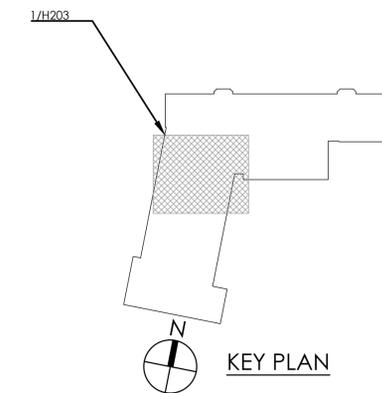


**KEY NOTES:**

- 1 REMOVE EXISTING GRILLE, PREPARE FOR NEW WORK.
- 2 REMOVE EXISTING RADIATOR IN ITS ENTIRETY INCLUDING ALL PIPING, CONTROLS AND THERMOSTAT. REMOVE PIPING BACK TO MAINS AND PREPARE FOR NEW WORK.
- 3 REMOVE EXISTING DUCTWORK TO POINTS INDICATED. PREPARE FOR NEW WORK.



1 SECOND FLOOR TOILET ROOMS DEMOLITION PLAN  
 H103 SCALE: 1/4" = 1'-0"



**PROJECT INFORMATION**

Project Number  
14428.18

Client Name

OSSINING UNION FREE SCHOOL DISTRICT

Project Name

2021-2022 CIP

District Office Address

400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING UNION FREE SCHOOL DISTRICT**

NEW YORK STATE EDUCATION EXAMINER

ARCHITECT REGISTRATION NO. 66-14-01-03-008-028

REGISTERED PROFESSIONAL ARCHITECT LICENSE NO. 66-14-01-03-008-028

OSSINING HS SEDE 66-14-01-03-0-004-043

**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description

**NEW YORK STATE EDUCATION EXAMINER**

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**SHEET INFORMATION**

Issued 11/15/2021 Scale AS NOTED

Project Status BID SET

Drawn By DJB Checked By AJS

Drawing Title

SECOND FLOOR HVAC

DEMOLITION PLAN

Drawing Number

RES

H103





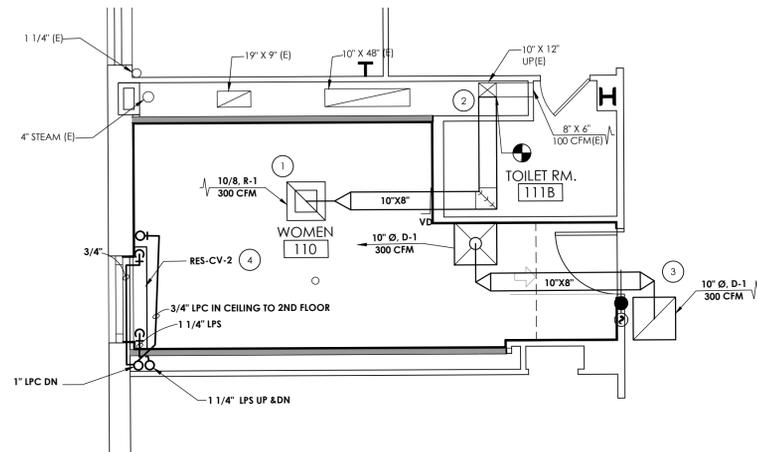




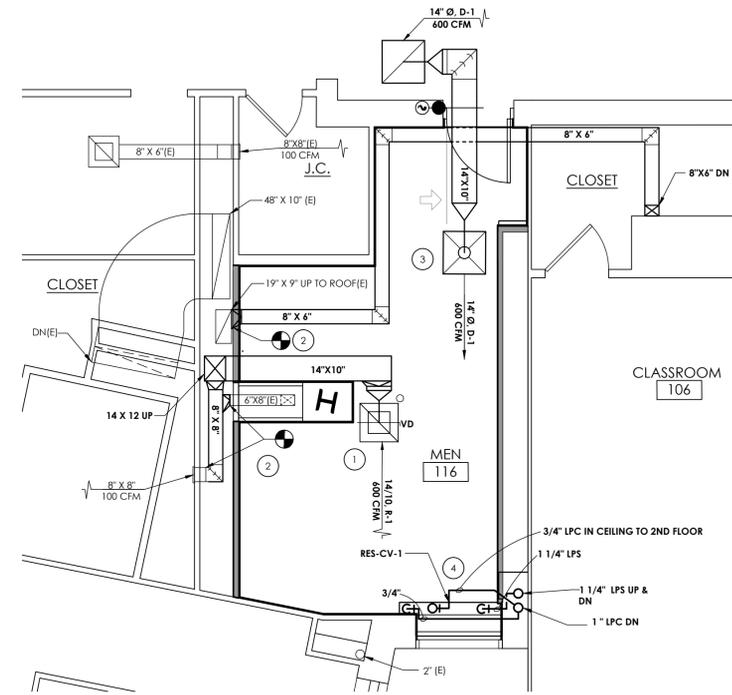
CPL | Architecture Engineering Planning  
 50 Front St. Suite 202  
 Newburgh, NY 12550  
 CPLeam.com

**KEY NOTES:**

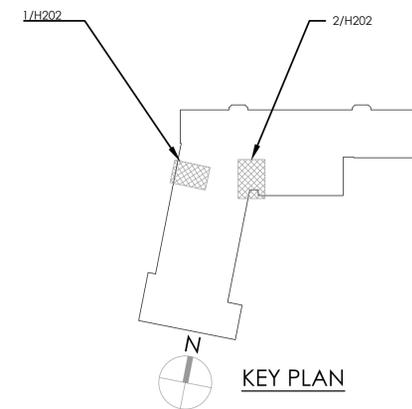
- 1 PROVIDE NEW GRILLE AND DUCTWORK. BALANCE NEW EXHAUST FAN.
- 2 CONNECT NEW DUCTWORK TO EXISTING DUCTS WHERE INDICATED.
- 3 PROVIDE NEW DIFFUSERS WITH SMOKE AND FIRE DAMPERS. PLACE DUCTWORK ABOVE FINISHED CEILING.
- 4 PROVIDE NEW CONVECTORS, INCLUDING CONTROLS. CONNECT BACK TO MAIN.



1 GIRLS TOILET ROOM NEW PLAN  
 SCALE: 1/4" = 1'-0"



2 BOYS TOILET ROOM NEW PLAN  
 SCALE: 1/4" = 1'-0"



KEY PLAN

**PROJECT INFORMATION**

Project Number  
 14428.18  
 Client Name  
**OSSINING UNION FREE SCHOOL DISTRICT**  
 Project Name  
**2021-2022 CIP**

District Office Address  
 400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING UNION FREE SCHOOL DISTRICT**

1 ANNE W. DOWNER NS SED# 46-14-01-03-008-028  
 2 ROBERT E. ELSBACH 46-14-01-03-008-028  
 3 OSSINING HS SED# 46-14-01-03-008-048

**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description

NEW YORK STATE EDUCATION EXAMINER  
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 COMPARABLE REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER  
 THE SUPERVISION OF A REGISTERED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO  
 ALTER ANY ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT,  
 ENGINEER OR LAND SURVEYOR, IS HEREIN REFERRED TO, SHALL APPLY TO THE  
 ITEM, THESE SEALS AND THE HOUSING ALTERED BY FOLLOWING BY THEIR  
 SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC  
 DESCRIPTION OF THE ALTERATION.

**SHEET INFORMATION**

Issued  
 11/15/2021  
 Scale  
 AS NOTED  
 Project Status  
 BID SET  
 Drawn By  
 DJB  
 Checked By  
 AJS  
 Drawing Title

FIRST FLOOR HVAC NEW PLAN

Drawing Number  
**RES  
 H202**

Plotted By: Daniel Batista

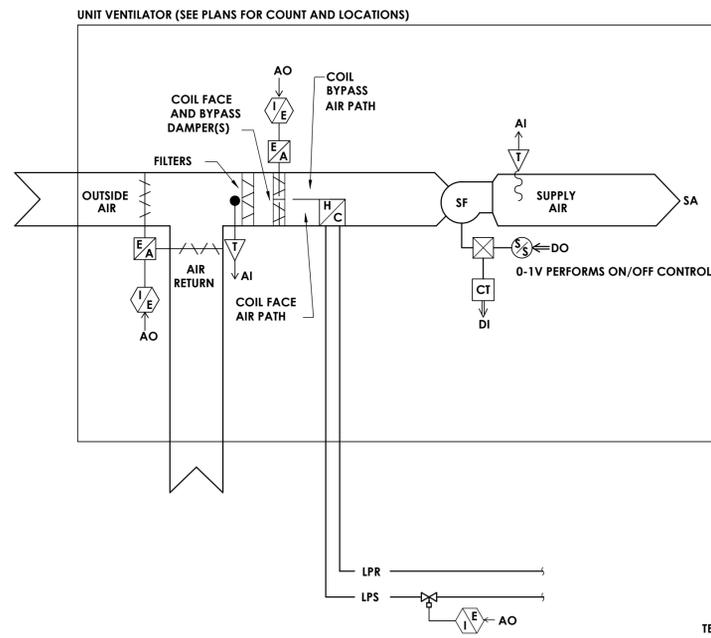
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Date last accessed: 5/23/2022 3:51 PM

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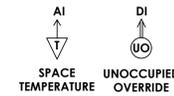




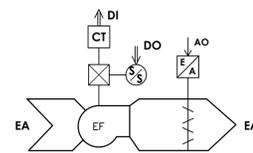


**GENERAL NOTES:**

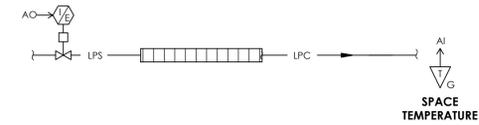
1. PROVIDE OCCUPANCY SENSOR WITH AUXILIARY INPUT TO TIE INTO OCCUPIED VENTILATION MODE WITH DUAL SENSORS INFRARED/ULTRASONIC.



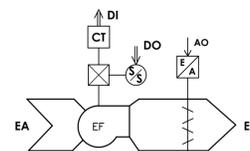
**1 GYMNASIUM HORIZONTAL UV-RES-1,2,3,4,5**  
 H500 SCALE: NOT TO SCALE



**2 TOILET EXHAUST FAN CONTROLS DIAGRAM**  
 H500 NOT TO SCALE



**3 FIN TUBE CONTROLS SCHEMATIC**  
 H500 SCALE: NOT TO SCALE



**4 UV EXHAUST FAN CONTROLS DIAGRAM**  
 H500 NOT TO SCALE

**PROJECT INFORMATION**

Project Number  
14428.18  
 Client Name

**OSSINING UNION FREE SCHOOL DISTRICT**  
 Project Name  
**2021-2022 CIP**

District Office Address  
 400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING UNION FREE SCHOOL DISTRICT**

NEW YORK STATE EDUCATION EXAMINER  
 1. APPROVE AS DESIGNER NS SEDR 66-1401-03-0-008-028  
 2. REVIEW AS DESIGNER NS SEDR 66-1401-03-0-008-028  
 3. OSSINING HS SEDR 66-1401-03-0-008-048

**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description

NEW YORK STATE EDUCATION EXAMINER  
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 ENGINEER OR LAND SURVEYOR IS USED TO OBTAIN A PERMIT TO CONSTRUCT OR  
 FOR THE ISSUANCE OF A PERMIT TO CONSTRUCT, AND THE HOUSING ALTERED BY FOLLOWING BY THEIR  
 SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC  
 DESCRIPTION OF THE ALTERATION.

**SHEET INFORMATION**

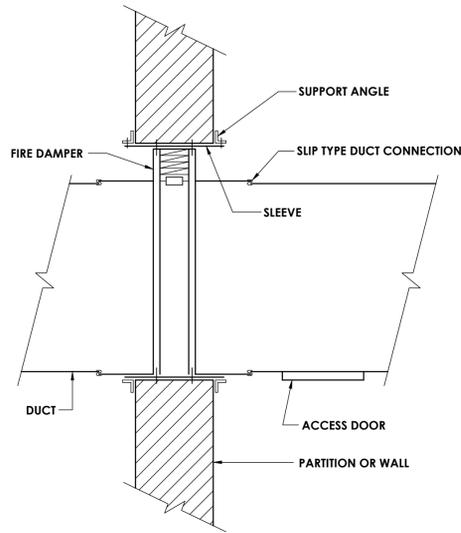
Issued 11/15/2021 Scale AS NOTED  
 Project Status  
 BID SET  
 Drawn By DJB Checked By AJS  
 Drawing Title

**MECHANICAL CONTROLS AND SCHEMATICS**

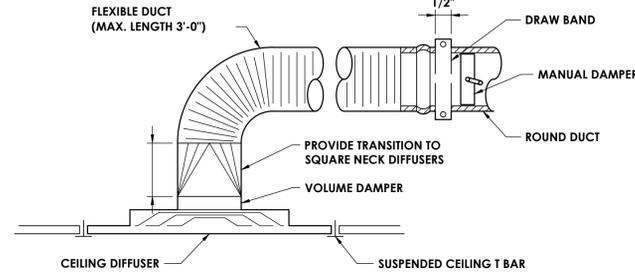
Drawing Number

**RES  
 H500**

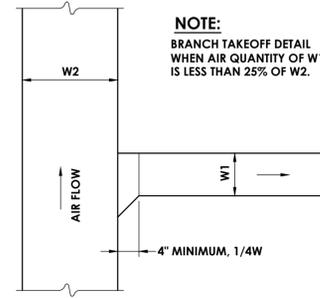




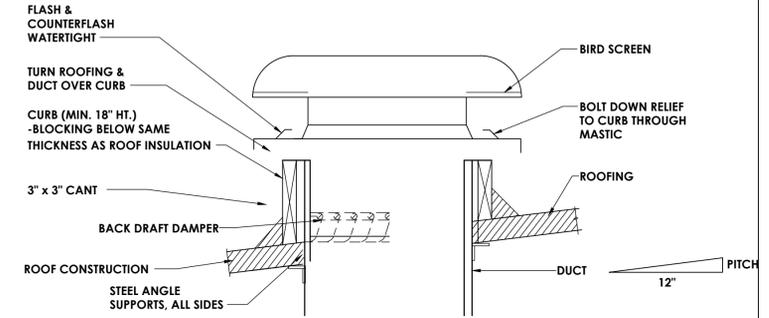
**1 VERTICAL FIRE DAMPER DETAIL**  
H801 NOT TO SCALE



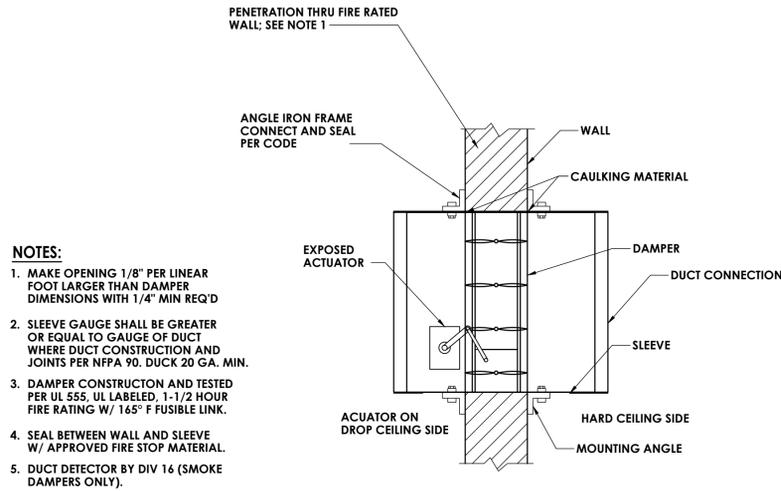
**2 DIFFUSER WITH FLEXIBLE DUCT DETAIL-R1,D1**  
H801 NOT TO SCALE



**3 BRANCH TAKE-OFF DETAIL**  
H801 NOT TO SCALE

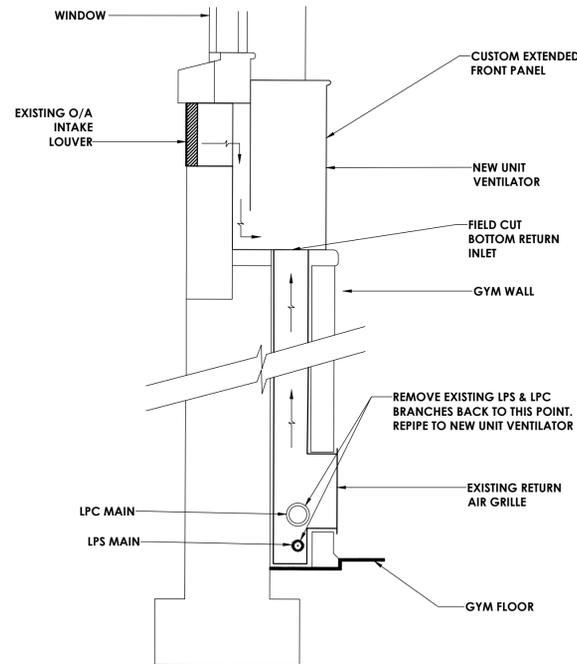


**4 ROOF AIR RELIEF (GRAVITY) DETAIL**  
H801 NOT TO SCALE

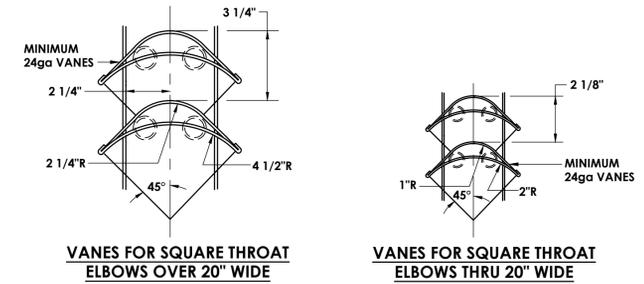


- NOTES:**
1. MAKE OPENING 1/8" PER LINEAR FOOT LARGER THAN DAMPER DIMENSIONS WITH 1/4" MIN REQ'D
  2. SLEEVE GAUGE SHALL BE GREATER OR EQUAL TO GAUGE OF DUCT WHERE DUCT CONSTRUCTION AND JOINTS PER NFPA 90. DUCK 20 GA. MIN.
  3. DAMPER CONSTRUCTION AND TESTED PER UL 555. UL LABELED, 1-1/2 HOUR FIRE RATING W/ 145° F FUSIBLE LINK.
  4. SEAL BETWEEN WALL AND SLEEVE W/ APPROVED FIRE STOP MATERIAL.
  5. DUCT DETECTOR BY DIV 16 (SMOKE DAMPERS ONLY).

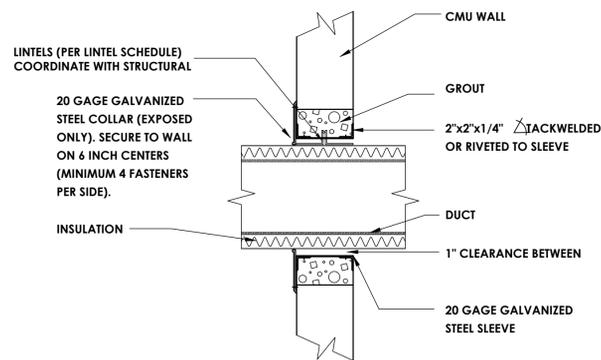
**5 VERTICAL FIRE DAMPER DETAIL**  
H801 NOT TO SCALE



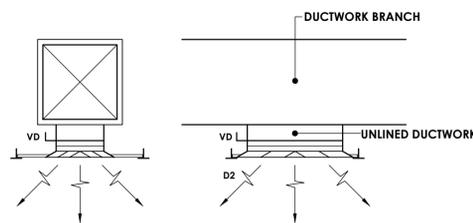
**6 TYPICAL REPLACEMENT UNIT VENTILATOR DETAIL**  
H801 NOT TO SCALE



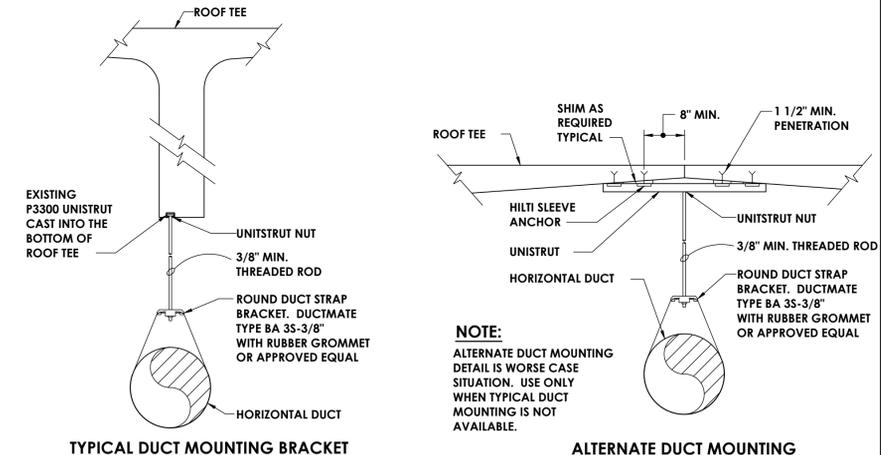
**7 TYPICAL TURNING VANE DETAIL**  
H801 NOT TO SCALE



**8 DUCT PENETRATION THROUGH WALL (NON FIRE-RATED)**  
H801 NOT TO SCALE



**9 DIFFUSER DETAIL - R2,D2**  
H801 NOT TO SCALE



**10 DUCT MOUNTING DETAILS**  
H801 NOT TO SCALE

**PROJECT INFORMATION**  
Project Number  
14428.18  
Client Name  
**OSSINING UNION FREE SCHOOL DISTRICT**  
Project Name  
**2021-2022 CIP**

Director Office Address  
400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING UNION FREE SCHOOL DISTRICT**  
ARCHITECT: JAMES W. DORNER NS SED# 46-14-01-03-008-028  
REGISTERED ELECTRICAL ENGINEER: JAMES W. DORNER NS SED# 46-14-01-03-008-028  
REGISTERED MECHANICAL ENGINEER: JAMES W. DORNER NS SED# 46-14-01-03-008-048

**PROJECT ISSUE & REVISION SCHEDULE**  
No. Date Description

**SHEET INFORMATION**  
Issued  
11/15/2021  
Scale  
NOT TO SCALE  
Project Status  
BID SET  
Drawn By  
DJB  
Checked By  
AJS  
Drawing Title  
DETAIL PLAN

**NEW YORK STATE EDUCATION EXAMINER**  
THE AVALON OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONERS REGULATIONS FOR ANY PERSON UNLESS ACTING UNDER THE SUPERVISION OF A REGISTERED ARCHITECT, ENGINEER OR LAND SURVEYOR TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR LAND SURVEYOR IS SHOWN ON THESE PLANS SHALL APPLY TO THE SEAL, THERE SEAL, AND THE HOUSING ALTERED BY FOLLOWING BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

ROOSEVELT ELEMENTARY SCHOOL EXHAUST CALCS				
SPACE	OCCUPANCY CLASSIFICATION	TOTAL TOILET FIXTURES	SERVICE FAN	REQUIRED EXHAUST (CFM)
ROOSEVELT ELEMENTARY SCHOOL	TOILET ROOM 3- BOYS	3	RES-EF-3	225
ROOSEVELT ELEMENTARY SCHOOL	TOILET ROOM 4- GIRLS	2	RES-EF-3	150
ROOSEVELT ELEMENTARY SCHOOL	TOILET ROOM 110 - BOYS	8	RES-EF-1	600
ROOSEVELT ELEMENTARY SCHOOL	TOILET ROOM 111 - GIRLS	4	RES-EF-1	300
ROOSEVELT ELEMENTARY SCHOOL	TOILET ROOM 202A - GIRLS	5	RES-EF-1	375
ROOSEVELT ELEMENTARY SCHOOL	TOILET ROOM 206B - BOYS	6	RES-EF-1	450
ROOSEVELT ELEMENTARY SCHOOL	S.S. CLOSET (GYM FLOOR)	1	RES-EF-1	100
ROOSEVELT ELEMENTARY SCHOOL	JANITORS CLOSET - 116	-	RES-EF-1	100
ROOSEVELT ELEMENTARY SCHOOL	STORAGE ROOM G5 - GYM FLOOR	-	RES-EF-3	214
ROOSEVELT ELEMENTARY SCHOOL	LOCKERS-G-5A	-	RES-EF-3	42
ROOSEVELT ELEMENTARY SCHOOL	ELEV. MECH ROOM	-	RES-EF-3	50
ROOSEVELT ELEMENTARY SCHOOL	STORAGE-G-5B	-	RES-EF-3	24
ROOSEVELT ELEMENTARY SCHOOL	GYM	-	RES-EF-2	3100
ROOSEVELT ELEMENTARY SCHOOL	STAGE	-	RES-EF-2	422
ROOSEVELT ELEMENTARY SCHOOL	STORAGE ROOM-G6	-	RES-EF-2	24
ROOSEVELT ELEMENTARY SCHOOL	JANITORS CLOSET - 206A	1	RES-EF-1	100
ROOSEVELT ELEMENTARY SCHOOL	GENERAL OFFICE BATHROOM -111A	1	RES-EF-1	100
ROOSEVELT ELEMENTARY SCHOOL	MECH. ROOM 1ST FLOOR	1	RES-EF-1	100
ROOSEVELT ELEMENTARY SCHOOL	TOILET ROOM 206	1	RES-EF-1	100
ROOSEVELT ELEMENTARY SCHOOL	STORAGE ROOM - 201B	1	RES-EF-1	100

FAN SCHEDULE														
MARK	LOCATION	SERVICE	TYPE	ROOF OPENING (IN.)	CFM	SP IN W.G.	DIAMETER (IN.)	RPM	ELECTRICAL DATA				TYPICAL UNIT MFG & MODEL NO.	REMARKS:
									BHP / HP	VOLTS	HZ	VFD		
RES-EF-1	ROOF	T-110,T-111, T-202A, T-206B	BELT	20.5 X 20.5	2425	0.24	35.5	568	.25/33	115	60	1	GREENHECK-GB-200	1,2,3,4
RES-EF-2	ROOF	STORAGE G5 LOCKERS,MECH ROOM, STOR. T-3,T-4	DIRECT	12.5 X 12.5	705	0.06	21.8	1120	.04/16	115	60	1	GREENHECK-G-095-VG	1,2,3,4
<b>REMARKS:</b>														
1. PROVIDE FACTORY MOUNTED DISCONNECT SWITCH														
2. BIRD SCREEN														
3. PROVIDE MANUFACTURE CURB														
4. BACKDRAFT DAMPER, GRAVITY OPERATED														

CONVECTOR SCHEDULE						
MARK	MBH	LENGTH	HEIGHT	DEPTH	TYPICAL UNIT MFG & MODEL NO.	REMARKS:
RES-CV-1	13.7	44	32	6	STERLING SF-A	1,2,3
RES-CV-2	8	44	24	4	STERLING SF-A	1,2,3
RES-CV-3	12	40	32	6	STERLING SF-A	1,2,3
RES-CV-4	11	40	24	6	STERLING SF-A	1,2,3
<b>REMARKS:</b>						
1. COLOR SELECTED BY ARCHITECT, BASED ON MANUFACTURER'S STANDARD COLORS.						
2. SLOPED OUTLET, STAMPED LOUVERS, PENCIL PROOF, STEAM COIL						
3. PROVIDE WITH ACCESS DOOR						

STEAM UNIT VENTILATOR SCHEDULE																					
MARK	ROOM SERVES	EA FAN	UNIT TYPE	CFM	ELECTRICAL		RETURN AIR	MIN. OA CFM	WINTER		STEAM COIL CAPACITY				DX COIL CAPACITY				TYPICAL UNIT MFG & MODEL NO.	REMARKS:	
					MCA	VOLT/Ø			OA °F	RA °F	EWT °F	EAT °F	LAT °F	MBH	PSI	EWT °F	EAT °F	LAT °F			MBH
RES-UV-1	GYM	RES-EF-2	VERTICAL	1474	6.3	115/1	759	715	0	69	180	35.8	88.9	84.6	2.0	67	80.0	54.8	53.7	DAIKEN-UAVS 9H15	1,2,3,4,5,6,7,8,9
RES-UV-2	GYM	RES-EF-2	VERTICAL	1474	6.3	115/1	759	715	0	69	180	35.8	88.9	84.6	2.0	67	80.0	54.8	53.7	DAIKEN-UAVS 9H15	1,2,3,4,5,6,7,8,9
RES-UV-3	GYM	RES-EF-2	VERTICAL	1474	6.3	115/1	765	709	0	69	180	35.8	88.9	84.6	2.0	67	80.0	54.8	53.7	DAIKEN-UAVS 9H15	1,2,3,4,5,6,7,8,9
RES-UV-4	GYM	RES-EF-2	VERTICAL	1474	6.3	115/1	765	709	0	69	180	35.8	88.9	84.6	2.0	67	80.0	54.8	53.7	DAIKEN-UAVS 9H15	1,2,3,4,5,6,7,8,9
RES-UV-5	GYM	RES-EF-2	VERTICAL	1474	6.3	115/1	765	709	0	69	180	35.8	88.9	84.6	2.0	67	80.0	54.8	53.7	DAIKEN-UAVS 9H15	1,2,3,4,5,6,7,8,9
<b>REMARKS:</b>																					
1. FACTORY MOUNTED AND WIRED DISCONNECT.																					
2. CONDENSATE PUMP, DRAIN PAN ALARM FOR FUTURE DX CONNECTION.																					
3. FULL ADAPTER WITH ENCLOSED PIPE TUNNEL, FINISHED ENDS, CUSTOM EXTENDED FRONT PANEL																					
4. ECM MOTORS.																					
5. FIELD CUT RETURN AIR INLET AT BOTTOM OF UNIT.																					
6. 2-POSITION END-OF-CYCLE VALVES TO BE EMPLOYED TO PREVENT OVER-HEATING DURING MILD WEATHER.																					
7. COLOR OF U.V. TO BE DETERMINED BY ARCHITECT USING STANDARD COLORS AVAILABLE.																					
8. FIELD MOUNTED CONTROLS.																					
9. PROVIDE WITH FACE AND BY-PASS.																					

RELIEF AIR VENTILATOR SCHEDULE								
MARK	TYPE	MANUFACTURER	LOCATION	SERVICE	MODEL	THROAT DIMENSION (IN)	CAPACITY (CFM)	NOTES:
RTH-1	RELIEF	GREENHECK	ROOF	G-3, G-4, G-6	GRSR-24	24	1430-3600	1,2,3
<b>NOTES:</b>								
1. PROVIDE ALUMINUM WIRE MESH BIRD SCREEN.								
2. PROVIDE RELIEF GRAVITY BACKDRAFT DAMPER.								
3. PROVIDE 18-INCH HIGH ROOF CURB. COMPLY WITH THE WIND RESTRAINT REQUIREMENTS OF THIS PROJECT.								

REGISTERS, GRILLES, AND DIFFUSERS						
MARK	APPLICATION	MATERIAL	TYPE	FINISH	DESIGN EQUIP.	REMARKS
R-1	RETURN/EA	STEEL	LAY-IN	WHITE	PRICE 530	1, 2,3
R-2	RETURN/EA	STEEL	SIDEWALL	WHITE	PRICE 530	2
D-1	SUPPLY	STEEL	LAY-IN	WHITE	PRICE SCD	1, 2,3
D-2	SUPPLY	STEEL	SIDEWALL	WHITE	PRICE SCD	2
<b>REMARKS:</b>						
1. PROVIDE WITH 24"X24" CEILING MODULE FRAME LAY IN STYLE						
2. COLOR SELECTED BY ARCHITECT BASED ON MANUFACTURES STANDARD COLORS						
3. REFER TO PLANS FOR NECK SIZE						

ROOSEVELT ELEMENTARY SCHOOL OUTSIDE AIR CALCULATIONS										
EQUIPMENT TAG	SPACE	OCCUPANCY CLASSIFICATION	TOTAL SQ. FT.	OCCUPANT DENSITY #/1000 SQ. FT.	TOTAL OCCUPANCY FOR VENTILATION	O.A. PER PERSON (CFM)	O.A. PER SQ. FT. (CFM)	Vbz (CFM)	AIR DISTRIBUTION EFFECTIVENESS	Voz=Vbz (CFM)
UV-1,2,3,4,5	RES-Gymnasium & Stage	Gym	4382	7	31	20	0.18	1402	1	1402
UV-1,2,3,4,5	RES-Storage-G6	Storage	159	0	0	0	0.12	19.08	0.8	24

ROOSEVELT ELEMENTARY SCHOOL EVENT DVC OUTSIDE AIR CALCULATIONS										
EQUIPMENT TAG	SPACE	OCCUPANCY CLASSIFICATION	TOTAL SQ. FT.	OCCUPANT DENSITY #/1000 SQ. FT.	TOTAL OCCUPANCY FOR VENTILATION	O.A. PER PERSON (CFM)	O.A. PER SQ. FT. (CFM)	Vbz (CFM)	AIR DISTRIBUTION EFFECTIVENESS	Voz=Vbz (CFM)
UV-1,2,3,4,5	RES-Gymnasium	Multise Space	3827	100	383	7.5	0.06	3100	1	3100
UV-1,2,3,4,5	RES-Stage	Stages	555	70	39	10	0.06	422	1	422
UV-1,2,3,4,5	RES-Storage-G6	Storage	159	0	0	0	0.12	19.08	0.8	24

DEMAND CONTROL VENTILATION CALCS		
OUTDOOR AIR FLOW RATE CFM/PERSON	CO2 DIFFERENTIAL (PPM)	STANDARD OCCUPANCY MIN OA (CFM)
V <sub>o</sub>		
5.8	1828	710



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Newburgh, NY 12550  
CPteam.com

PROJECT INFORMATION

Project Number  
14428.18  
Client Name

OSSINING UNION FREE SCHOOL DISTRICT  
Project Name  
2021-2022 CIP

District Office Address

400 EXECUTIVE BLVD OSSINING, NY 10542

OSSINING UNION FREE SCHOOL DISTRICT

FILE # 2021-03-0008-028  
PROJECT # 2021-03-0008-028  
OSSINING HS SEED #6-1401-03-00-048

PROJECT ISSUE & REVISION SCHEDULE

No. Date Description

NEW YORK STATE EDUCATION EXAMINER  
THE ADEQUACY OF THE NEW YORK STATE EDUCATION LAW AND THE  
COMPADRENTS REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER  
THE SUPERVISION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR TO  
ALSO AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT,  
ENGINEER OR SURVEYOR IS USED, THE CONTRACTOR SHALL BE RESPONSIBLE TO THE  
ITEM, THESE SEAL AND THE NOTATION "ALTERED" FOLLOWED BY THEIR  
SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC  
DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION

Issued  
11/15/2021  
Scale  
NOT TO SCALE

Project Status  
BID SET

Drawn By  
DJB  
Checked By  
AJS

Drawing Title  
DETAIL SCHEDULE

Drawing Number

RES  
H900







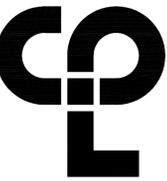












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**PROJECT INFORMATION**

Project Number  
1428.18

Client Name

**OSSINING UNION FREE SCHOOL DISTRICT**

Project Name  
**2021-2022 CIP**

District Office Address

400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING UNION FREE SCHOOL DISTRICT**

JANE M. ZORNER HS SED# 46-1401-030-003-028

ROOSEVELT ES SED# 46-1401-03-004-020

OSSINING HS SED# 46-1401-030-003-043

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	5/17/22	SED Addendum No. 2

**NEW YORK STATE EDUCATION DEPARTMENT**

THIS A REVISION OF THE NEW YORK STATE EDUCATION DEPARTMENT AND THE COMMISSIONERS REGULATION FOR ANY PROVISIONS ACTING UNDER THE AUTHORITY OF A LICENSED ARCHITECT, ENGINEER OR SURVEYOR TO ALTER ANY PLAN IN ANY WAY, IF ANYTHING BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS AFFECTED BY A REVISION, THE REVISION SHALL BE TO THE ORIGINAL SEAL AND THE REVISION ALTERED BY FOLLOWED BY THE SIGNATURE AND THE DATE OF EACH ALTERATION AND A BRIEF DESCRIPTION OF THE ALTERATION.

**SHEET INFORMATION**

Issued 11/15/2021 Scale AS INDICATED

Project Status BID SET

Drawn By MAY Checked By JAS

Drawing Title

**SECOND FLOOR POWER & SYSTEMS PLAN**

Systems Plan

Drawing Number

**RES**

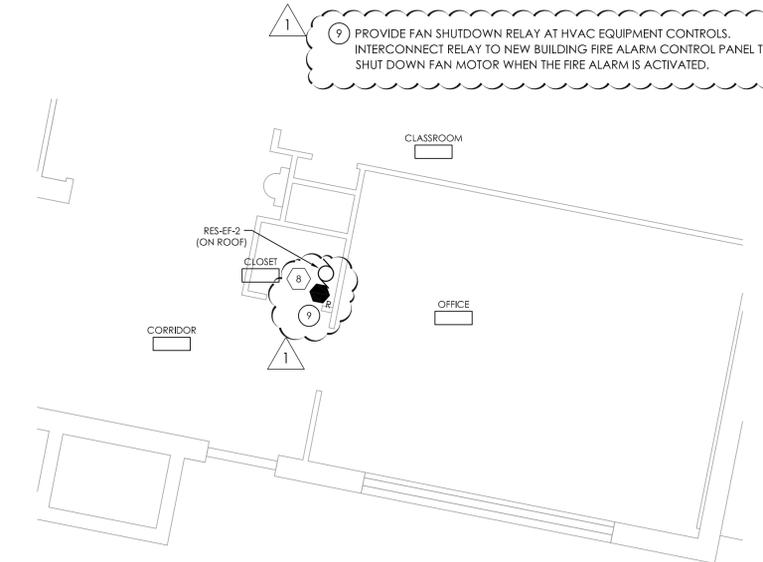
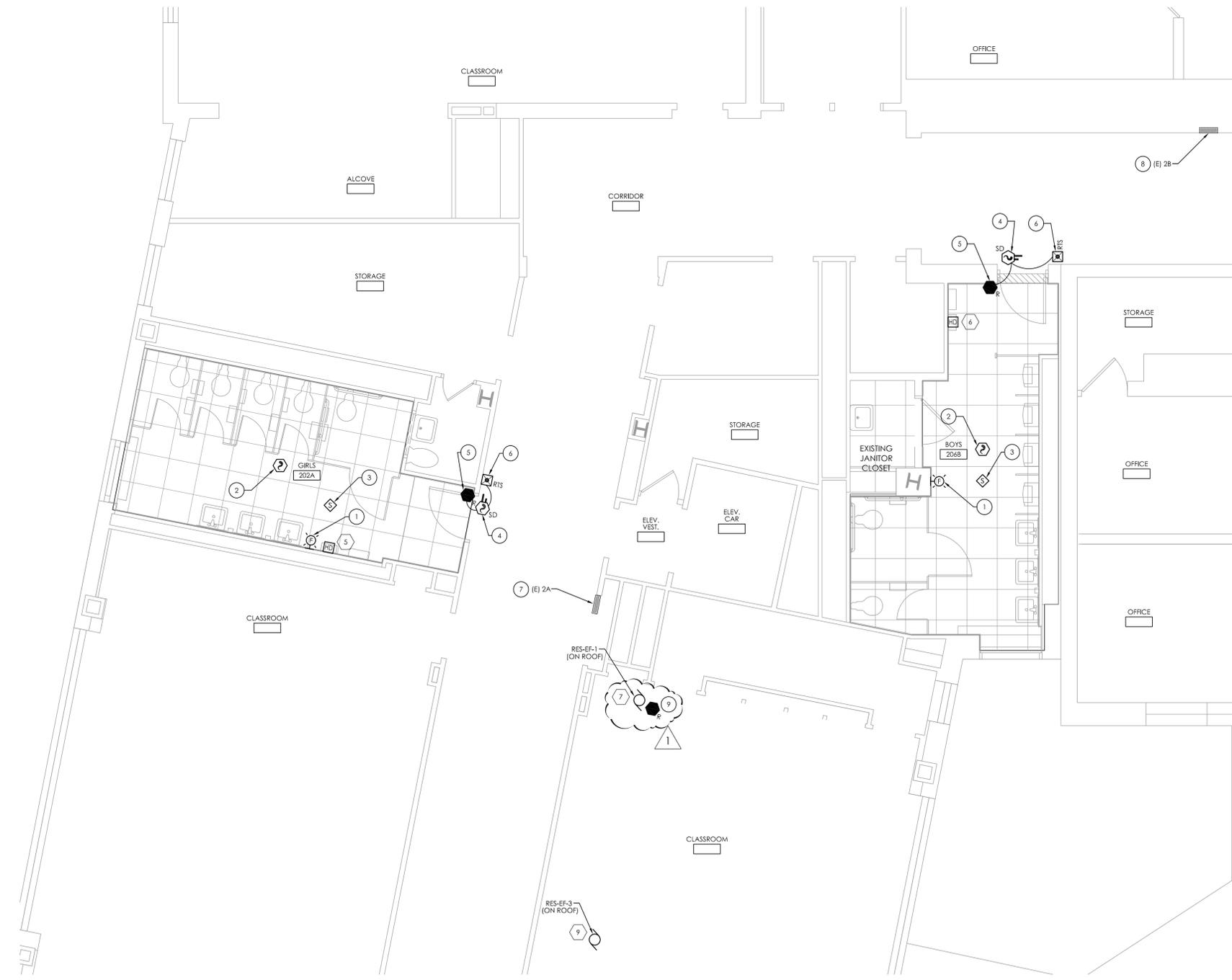
**E202**

**GENERAL NOTES:**

- A. AT EACH (X) SYMBOL INDICATES, REFER TO ELECTRICAL EQUIPMENT WIRING SCHEDULE ON DRAWING RES E900.
- B. PROVIDE PUBLIC ADDRESS SYSTEM SPEAKER WIRING PER SYSTEM MANUFACTURER RECOMMENDATIONS. CIRCUIT TO NEAREST SPEAKER IN CORRIDOR.
- B. INFORMATION ON DRAWING WAS OBTAINED THROUGH FIELD OBSERVATION AND AS-BUILT DOCUMENTATION. AREAS WITHOUT NEW FIRE ALARM DEVICES ARE NOT PART OF PROJECT SCOPE AND HAVE BEEN FIELD VERIFIED AND DETERMINED TO MEET NEW YORK STATE SED REQUIREMENTS MANUAL PLANNING STANDARDS 2014 VERSION.
- C. DRAWINGS ARE GRAPHICAL REPRESENTATIONS OF APPROXIMATE EQUIPMENT AND DEVICE LOCATIONS. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXACT EXTENT OF FIRE ALARM WORK REQUIRED TO COMPLETE THE PROJECT.
- D. FINAL TESTING OF FIRE ALARM SYSTEM SHALL COMPLY WITH ALL NFPA 72 REQUIREMENTS. ANY ALTERED CIRCUIT(S) SHALL HAVE ALL ASSOCIATED LOOP DEVICES TESTED IN THEIR ENTIRETY AND 10% OF NEIGHBORING ZONE/LOOP DEVICES ARE ALSO TO BE TESTED.
- E. ALL SYSTEMS CABLING SHALL BE RUN IN FREE-AIR AND SUPPORTED ABOVE CEILINGS VIA J-HOOKS. J-HOOKS NOT TO EXCEED 5'-0" SPACING.
- F. FIRE ALARM CABLING RUN EXPOSED IN UNFINISHED AREAS SHALL BE INSTALLED IN EMT CONDUIT AND PAINTED TO MATCH EXISTING WALL/CEILING FINISH. HORIZONTAL RUNS THROUGH WALLS AND VERTICAL RUNS THROUGH FLOORS SHALL BE SLEEVED IN EMT CONDUIT AND FIRE CAULKED. ALL FIRE ALARM CABLING RUN EXPOSED IN FINISHED SPACES SHALL BE INSTALLED IN 500 SERIES STEEL WIREMOLD, IVORY IN COLOR.
- G. CABLE DUCT SMOKE DETECTOR INITIATING FIRE ALARM CIRCUIT IN RACEWAY TO EXISTING FIRE ALARM CONTROL PANEL LOCATED IN FRONT ENTRY VESTIBULE.
- H. REFER TO MANUFACTURER INSTALLATION GUIDELINES FOR DUCT SMOKE DETECTOR INSTALLATION.
- I. INSTALL DUCT SMOKE DETECTORS WITHIN DUCTWORK, COORDINATE WITH HVAC FOR INSTALLATION.

**KEY NOTES:**

- 1 REINSTALL EXISTING STORED FIRE ALARM STROBE DEVICE IN THIS LOCATION. EXTEND AND RECONNECT TO EXISTING MAINTAINED FIRE ALARM CIRCUIT.
- 2 PROVIDE FIRE ALARM SMOKE DETECTOR AND FIRE ALARM CIRCUIT AND CONNECT TO NEAREST FIRE ALARM INITIATING CIRCUIT IN CORRIDOR.
- 3 PROVIDE PUBLIC ADDRESS SYSTEM SPEAKER AND SYSTEM CABLE. CONNECT TO NEAREST PUBLIC ADDRESS SYSTEM SPEAKER CIRCUIT IN CORRIDOR.
- 4 PROVIDE DUCT SMOKE DETECTOR TO INTERACT WITH FIRE/SMOKE DAMPER. DUCT SMOKE DETECTOR SHALL CLOSE DAMPER UPON ACTIVATION.
- 5 PROVIDE FAN SHUT DOWN RELAYS AT DAMPER HVAC CONTROLS. INTERCONNECT RELAYS TO BUILDING FIRE ALARM SYSTEM TO CLOSE SMOKE DAMPER WHEN THE FIRE ALARM SYSTEM IS ACTIVATED.
- 6 PROVIDE WALL MOUNTED REMOTE TEST SWITCHES MOUNTED HIGH UP NEAR CEILING. SWITCHES ARE ASSOCIATED WITH DUCT SMOKE DETECTOR FOR THE CLOSING OF SMOKE DAMPER WITHIN DUCTWORK. COORDINATE LOCATION AND MOUNTING WITH OWNER PRIOR TO INSTALLATION.
- 7 PROVIDE (3) 20 AMP, 1-POLE 120 VOLT, 10K AIC CIRCUIT BREAKERS (SERVE EF-1, EF-2 & EF-3) INSTALLED WITHIN EXISTING PANELBOARD. CIRCUIT BREAKERS TO BE UL LISTED FOR INSTALLATION WITHIN EXISTING PANEL MANUFACTURER.
- 8 PROVIDE (2) 20 AMP, 2-POLE 208 VOLT, 10K AIC CIRCUIT BREAKERS (SERVE HAND DRYERS) INSTALLED WITHIN EXISTING PANELBOARD. CIRCUIT BREAKERS TO BE UL LISTED FOR INSTALLATION WITHIN EXISTING PANEL MANUFACTURER.
- 9 PROVIDE FAN SHUTDOWN RELAY AT HVAC EQUIPMENT CONTROLS. INTERCONNECT RELAY TO NEW BUILDING FIRE ALARM CONTROL PANEL TO SHUT DOWN FAN MOTOR WHEN THE FIRE ALARM IS ACTIVATED.



**1 SECOND FLOOR POWER & SYSTEMS PLAN**  
E202 SCALE: 1/4" = 1'-0"

**2 SECOND FLOOR POWER & SYSTEMS PLAN**  
E202 SCALE: 1/4" = 1'-0"

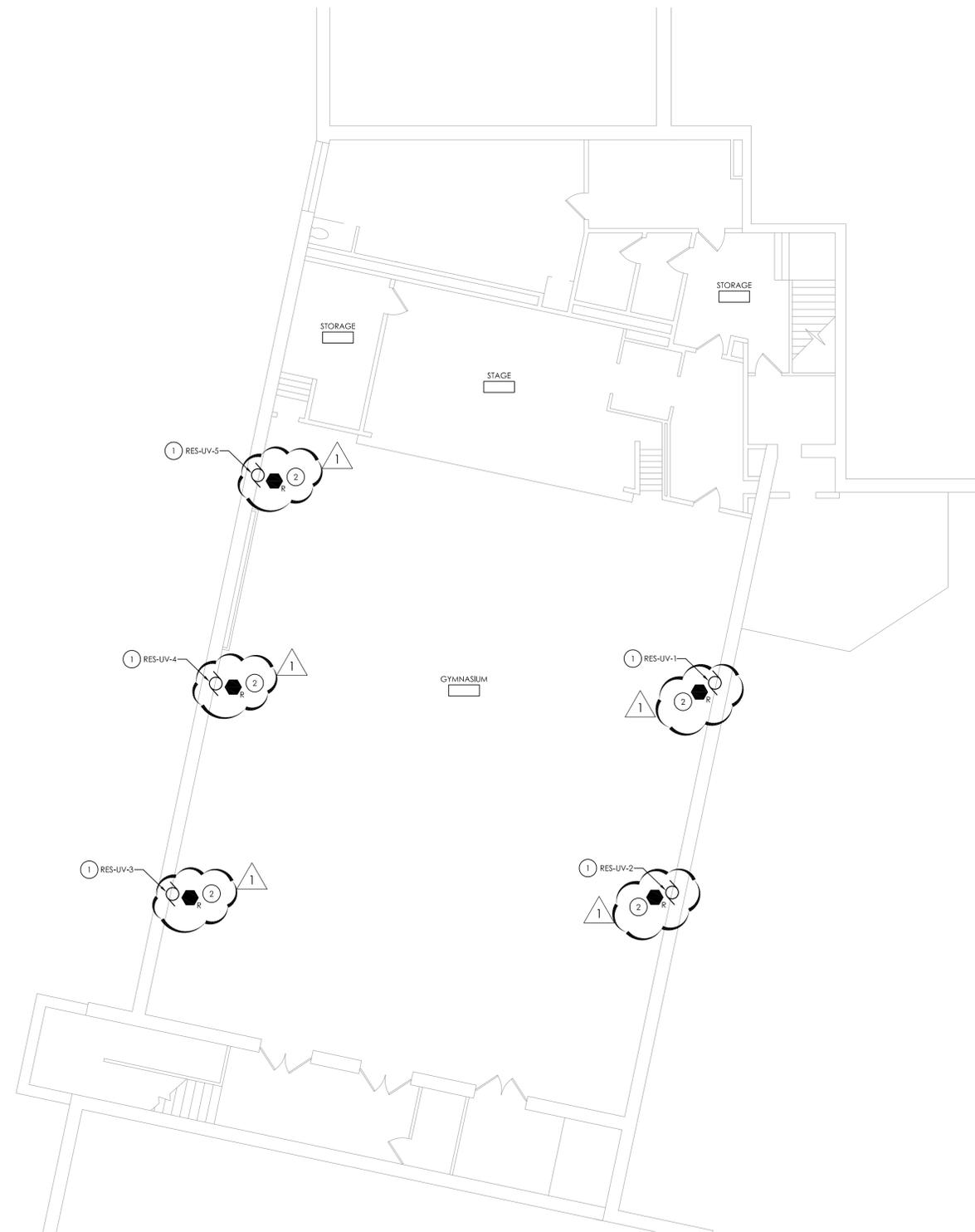
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 Date last accessed: 5/11/2022 1:51 PM  
 Date last plotted: 2/1/2023 9:54 AM  
 Plotted By: Austin H West



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**GENERAL NOTES:**

- A. AT EACH (X) SYMBOL INDICATES, REFER TO ELECTRICAL EQUIPMENT WIRING SCHEDULE ON DRAWING RES E900.
- B. FINAL TESTING OF FIRE ALARM SYSTEM SHALL COMPLY WITH ALL NFPA 72 REQUIREMENTS. ANY ALTERED CIRCUIT(S) SHALL HAVE ALL ASSOCIATED LOOP DEVICES TESTED IN THEIR ENTIRETY AND 10% OF NEIGHBORING ZONE/LOOP DEVICES ARE ALSO TO BE TESTED.
- C. ALL SYSTEMS CABLING SHALL BE RUN IN FREE-AIR AND SUPPORTED ABOVE CEILINGS VIA J-HOOKS. J-HOOKS NOT TO EXCEED 5'-0" SPACING.
- D. FIRE ALARM CABLING RUN EXPOSED IN UNFINISHED AREAS SHALL BE INSTALLED IN EMT CONDUIT AND PAINTED TO MATCH EXISTING WALL/CEILING FINISH. HORIZONTAL RUNS THROUGH WALLS AND VERTICAL RUNS THROUGH FLOORS SHALL BE SLEEVED IN EMT CONDUIT AND FIRE CAULKED. ALL FIRE ALARM CABLING RUN EXPOSED IN FINISHED SPACES SHALL BE INSTALLED IN 500 SERIES STEEL WIREMOLD. IVORY IN COLOR.



**KEY NOTES:**

- 1 RECONNECT EXISTING POWER CONDUCTORS AND CONDUIT TO REPLACEMENT UNIT VENTILATOR FACTORY MOUNTED DISCONNECT. PROVIDE ANY ADDITIONAL 2# 12, 1# 12 EGC TO EXTEND TO REPLACEMENT UNIT TERMINAL LUGS.
- 2 PROVIDE FAN SHUTDOWN RELAY AT HVAC EQUIPMENT CONTROLS. INTERCONNECT RELAY TO NEW BUILDING FIRE ALARM CONTROL PANEL TO SHUT DOWN FAN MOTOR WHEN THE FIRE ALARM IS ACTIVATED.

**PROJECT INFORMATION**

Project Number  
1428.18  
 Client Name  
**OSSINING UNION FREE SCHOOL DISTRICT**  
 Project Name  
**2021-2022 CIP**

District Office Address  
400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING UNION FREE SCHOOL DISTRICT**

1 JAMES M. CORNER HS SED# 46-1401-030-008-028  
 2 ROOSEVELT HS SED# 46-1401-03-008-029  
 3 OSSINING HS SED# 46-1401-030-008-043

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	5/17/22	SED Addendum No. 2

NEW YORK STATE EDUCATION DEPARTMENT  
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 COMMISSIONERS REGULATION FOR ANY PROVISIONS ACTING UNDER  
 THE AUTHORITY OF A LICENSED ARCHITECT, ENGINEER OR SURVEYOR TO  
 ALTER AN EXISTING SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR  
 IN ANY MANNER SHALL BE A VIOLATION OF THE STATE EDUCATION LAW  
 AND THE REGULATION THEREOF. ANY SUCH VIOLATION SHALL BE  
 PENALIZED AS PROVIDED IN SECTION 120.1 OF THE EDUCATION LAW.

**SHEET INFORMATION**

Issued  
11/15/2021  
Scale  
AS INDICATED  
 Project Status  
BID SET  
 Drawn By  
MAY  
Checked By  
JAS  
 Drawing Title  
GYMNASIUM POWER & SYSTEMS PLAN

Drawing Number

RES  
E203

**1 GYMNASIUM POWER & SYSTEMS PLAN**  
 E203 SCALE: 1/8" = 1'-0"

Sheet size: 24x36  
 Drawing Name: S:\Projects\Ossining\1510\2021-2022 CIP\1510 Design\06 CAD\AutoCAD\ELEC\E203 RES-E203.dwg  
 Date last accessed: 5/11/2022 1:51 PM  
 Date last plotted: 2/1/2023 9:57 AM  
 Plotted By: Austin H West



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**GENERAL NOTES:**

- A. FIXTURE TYPE MARK IS INDICATED ADJACENT TO NEW LIGHT FIXTURES. REFER TO LUMINAIRE SCHEDULE ON SHEET RES-E900 FOR FIXTURE DESCRIPTIONS, NOTES, AND SPECIFICATIONS.
- B. INSTALL SWITCHING AND LOW-VOLTAGE SENSORS AS SHOWN. PROVIDE ALL LOW-VOLTAGE WIRING BETWEEN SENSORS, SWITCHES, CONTROLLERS, AND LUMINAIRES.
- C. PROVIDE ANY ADDITIONAL POWER SUPPLIES OR OTHER MISCELLANEOUS COMPONENTS REQUIRED FOR A COMPLETE OPERATIONAL LIGHTING SYSTEM TO MEET INTENT OF LIGHTING SEQUENCE OF OPERATION AS SHOWN.
- D. ALL FIXTURES INDICATED WITH "EM" DESIGNATION SHALL HAVE EMERGENCY BATTERY BACKUP.

**KEY NOTES:**

- 1 PROVIDE #12 AWG BRANCH CIRCUIT WIRING FOR ENTIRE CIRCUIT AND CONNECT TO EXISTING MAINTAINED BRANCH CIRCUIT HOMERUN BACK TO PANELBOARD.
- 2 PROVIDE NEW CEILING MOUNTED OCCUPANCY SENSORS AS NOTED. PROVIDE ALL LOW VOLTAGE WIRING FROM NEW OCCUPANCY SENSORS TO NEW LIGHT FIXTURES.
- 3 PROVIDE NEW DIMMING SWITCHING AS NOTED. PROVIDE ALL LOW VOLTAGE WIRING FROM NEW SWITCHING TO NEW LIGHT FIXTURES.
- 4 FIXTURE TO REMAIN ENERGIZED ON INDEPENDENT OF THE SWITCHING. WIRE CIRCUIT HOT LEG TO FIXTURE FOR CONTINUOUS POWER WHEN SWITCHING IS IN THE OFF POSITION.



**1 GROUND FLOOR LIGHTING PLAN**  
 E300 SCALE: 1/4" = 1'-0"

**PROJECT INFORMATION**

Project Number  
14428.18  
Client Name

**OSSINING UNION FREE SCHOOL DISTRICT**  
 Project Name  
**2021-2022 CIP**

Director Office Address  
 400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING UNION FREE SCHOOL DISTRICT**

SED No. 1 SED# 46-1401-03-003-028  
 SED No. 2 SED# 46-1401-03-003-029  
 SED No. 3 SED# 46-1401-03-003-043

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	5/17/22	SED Addendum No. 2

NEW YORK STATE EDUCATION DEPARTMENT  
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 ALTER AN EXISTING SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IN A MANNER THAT IS NOT PERMITTED BY THE  
 STATE EDUCATION LAW AND THE REGULATION "ALTERED" BY FOLLOWING BY THEIR  
 SIGNATURE AND THE DATE OF EACH ALTERATION AND A SPECIFIC  
 DESCRIPTION OF THE ALTERATION.

**SHEET INFORMATION**

Issued 11/15/2021 Scale AS INDICATED  
 Project Status  
 BID SET  
 Drawn By MAY Checked By JAS  
 Drawing Title

**GROUND FLOOR LIGHTING PLAN**

Drawing Number

**RES  
E300**

Sheet size: 24x36  
 Drawing Name: S:\Projects\Ossining\IFSD\2021-2022\CIP\1.D Design\06 CAD\AutoCAD\ELEC\E300-RES-E300.dwg  
 Date last accessed: 5/11/2022 1:51 PM  
 Date last plotted: 2/1/2023 9:59 AM  
 Plotted By: Austin H West







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**PROJECT INFORMATION**

Project Number  
14428.18  
Client Name

**OSSINING UNION FREE SCHOOL DISTRICT**  
Project Name  
**2021-2022 CIP**

District Office Address  
400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING UNION FREE SCHOOL DISTRICT**

ROOSEVELT HS SED# 46-1441-03-003-028  
OSSINING HS SED# 46-1441-03-003-043

**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description

NEW YORK STATE EDUCATION DEPARTMENT  
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COMMISSIONERS REGULATION FOR ANY PROVISIONS ACTING UNDER  
THE PROVISIONS OF A LOCAL ARCHITECTS ENGINEER AND SURVEYOR TO  
ALTER AN EDP IN ANY WAY, IF ANY, BEARING THE SEAL OF AN ARCHITECT,  
ENGINEER OR SURVEYOR, IS A REVISION OF THE EDP. THIS APPLIES TO THE  
EDP, REVISIONS AND THE NOTATION "ALTERED" FOLLOWED BY THE  
SIGNATURE AND THE DATE OF EACH ALTERATION AND A SPECIFIC  
DESCRIPTION OF THE ALTERATION.

**SHEET INFORMATION**

Issued 11/15/2021 Scale AS INDICATED  
Project Status  
BID SET  
Drawn By MAY Checked By JAS  
Drawing Title

**ELECTRICAL SCHEDULES**

Drawing Number

**RES  
E900**

Plotted By: Austin H West

Date last plotted: 2/1/2023 10:03 AM

Date last accessed: 2/24/2022 3:12 PM

Sheet size: 24x36  
Drawing Name: S:\Projects\Ossining UFSD\2021-2022 CIP\1-D Design\06 CAD\AutoCAD\ELEC\IFA\RES-E900.dwg

ELECTRICAL EQUIPMENT WIRING SCHEDULE										
ITEM NUMBER	EQUIPMENT	ROOM NUMBER	HP/FLA	VOLTS	PHASE	AMPS	BREAKER SIZE/FUSE SIZE	WIRE/CONDUIT SIZE	PANEL/CCT	REMARKS/DWG
1	HAND DRYER	BOYS 3	-	208	1	6.2	20A/2P	(2) #12, #12G IN 3/4" C	PANEL 2	- 1/RES E200
2	HAND DRYER	GIRLS 4	-	208	1	6.2	20A/2P	(2) #12, #12G IN 3/4" C	PANEL 2	- 1/RES E200
3	HAND DRYER	GIRLS 111	-	208	1	6.2	20A/2P	(2) #12, #12G IN 3/4" C	FP2	- 1/RES E201
4	HAND DRYER	BOYS 110	-	208	1	6.2	20A/2P	(2) #12, #12G IN 3/4" C	FP2	- 1/RES E201
5	HAND DRYER	GIRLS 202A	-	208	1	6.2	20A/2P	(2) #12, #12G IN 3/4" C	2B	- 1/RES E202
6	HAND DRYER	BOYS 206B	-	208	1	6.2	20A/2P	(2) #12, #12G IN 3/4" C	2B	- 1/RES E202
7	RES-EF-1	CLASSROOM (ON ROOF)	-	120	1	6.8	20A/1P	(2) #12, #12G IN 3/4" C	2A	- 1/RES E202
8	RES-EF-2	CLASSROOM (ON ROOF)	-	120	1	4.9	20A/1P	(2) #12, #12G IN 3/4" C	2A	- 2/RES E202
9	RES-EF-3	CLOSET (ON ROOF)	-	120	1	1.5	20A/1P	(2) #12, #12G IN 3/4" C	2A	- 1/RES E202

**REMARKS:**

- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE MOUNTING, AND LINE/LOAD SIDE CONNECTIONS OF DISCONNECT AND/OR STARTER DEVICE ASSOCIATED WITH UNIT. MEANS OF DISCONNECT AND/OR STARTER ASSOCIATED WITH UNIT PROVIDED BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL FINAL CONNECTIONS TO EQUIPMENT.
- PROVIDE FIRE ALARM FAN SHUT DOWN AT EACH UNIT INDICATED.

LUMINAIRE SCHEDULE								
MARK	DESCRIPTION	DESIGN MAKE	MODEL #	VOLTS	LAMP			REMARKS
					LUMEN	WATTS	KALVEN COLOR	
A	2X2 LED RECESSED FLAT PANEL FIXTURE	HUBBELL LIGHTING	CFP22-40/33/2835	UNV	2800	30	3500K	
A EM	2X2 LED RECESSED FLAT PANEL FIXTURE WITH EMERGENCY BATTERY BACKUP	HUBBELL LIGHTING	CFP22-40/33/2835-PLD10M	UNV	2800	30	3500K	



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 50 Front St. Suite 202  
 Newburgh, NY 12550  
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**PROJECT INFORMATION**

Project Number  
14428.18

Client Name

**OSSINING UNION FREE SCHOOL DISTRICT**

Project Name

**2021-2022 CIP**

District Office Address

400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING UNION FREE SCHOOL DISTRICT**

111 PARK AVENUE, 2ND FLOOR NY, NY 10022-3902

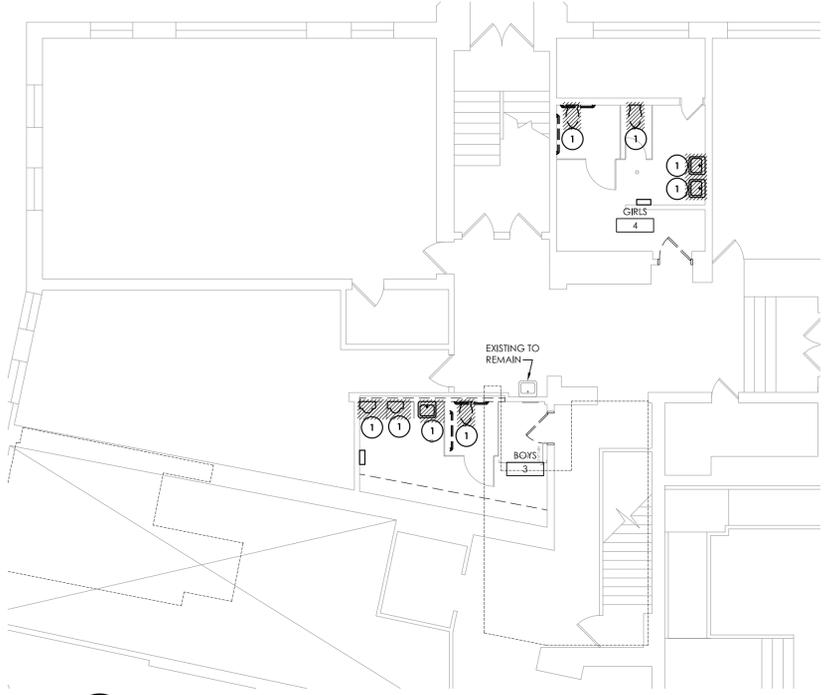
PHONE: 914-339-6100 FAX: 914-339-6101

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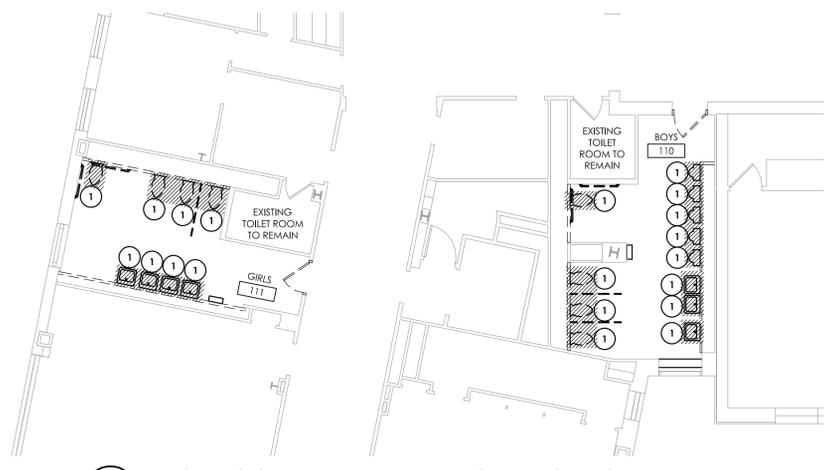
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**KEY NOTES:**

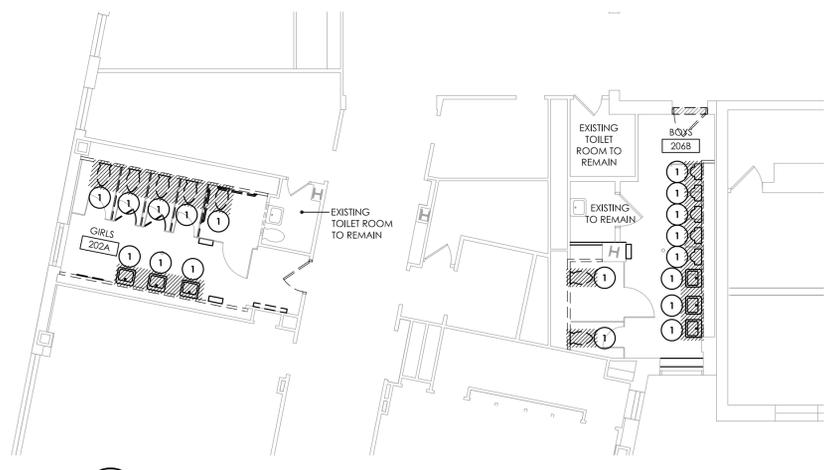
- 1 REMOVE FIXTURE AND ALL ASSOCIATED PIPING AND SUPPORTS. REMOVE SANITARY, VENT, AND WATER PIPING BACK TO NEAREST LIVE MAIN AND CAP. REMOVE ALL PIPING SUCH THAT LIMITED DEAD END PIPING REMAINS BUT ALL REMAINING BUILDING FIXTURES HAVE NECESSARY PIPING. PATCH ALL DISTURBED SURFACES TO MATCH EXISTING.



**1 GROUND FLOOR PLAN - PLUMBING DEMOLITION**  
 SCALE: 1/8" = 1'-0"



**2 FIRST FLOOR PLAN - PLUMBING DEMOLITION**  
 SCALE: 1/8" = 1'-0"



**3 SECOND FLOOR PLAN - PLUMBING DEMOLITION**  
 SCALE: 1/8" = 1'-0"

**PROJECT ISSUE & REVISION SCHEDULE**

No. Date Description



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**SHEET INFORMATION**

Issued 11/15/2021 AS NOTED

Project Status

BID SET

Drawn By MEW

Checked By JJW

Drawing Title

PLUMBING DEMOLITION PLANS

Drawing Number

RES

P101

RES

P101

RES

P101

RES

P101

Plotted By: Mary Williams

Date last plotted: 1/23/2023 1:21 PM

Date last accessed: 3/14/2022 3:20 PM

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 Project Name  
**2021-2022 CIP**

District Office Address  
400 EXECUTIVE BLVD OSSINING, NY 10562

**OSSINING UNION FREE SCHOOL DISTRICT**  
 ANNE M. ZORNER HS SED# 66-1401-03-008-028  
 BOSSERFELT HS SED# 66-1401-03-008-029  
 OSSINING HS SED# 66-1401-03-008-043

**PROJECT ISSUE & REVISION SCHEDULE**

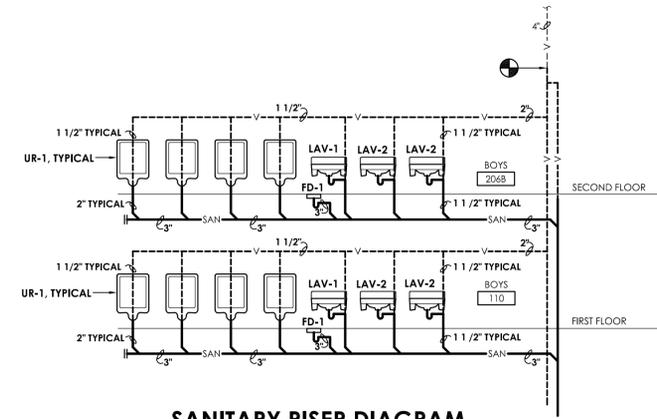
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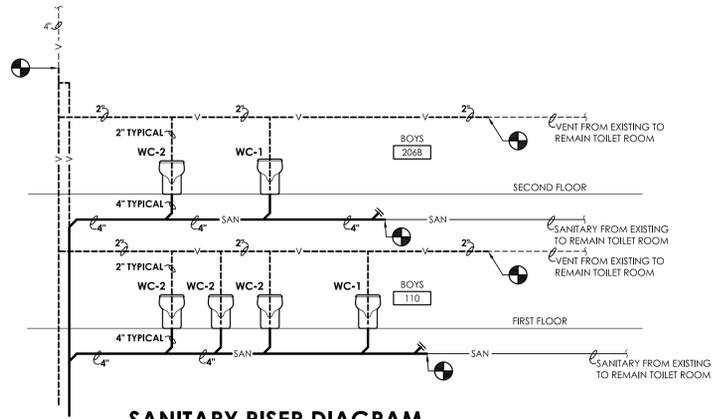
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11/15/2021  
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 Drawn By  
MEW  
Checked By  
JJW  
 Drawing Title  
PLUMBING RISER DIAGRAMS

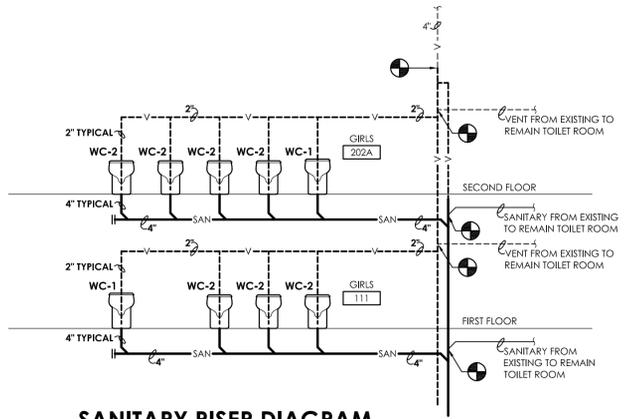
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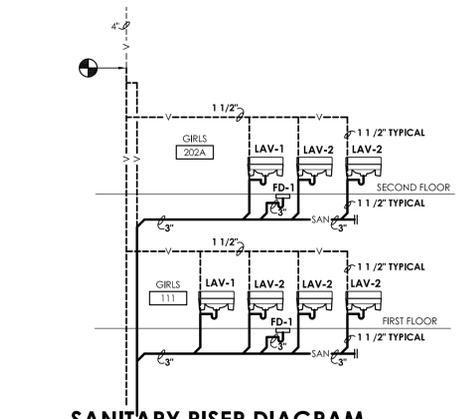
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 BOYS TOILET ROOMS 110 & 206B**



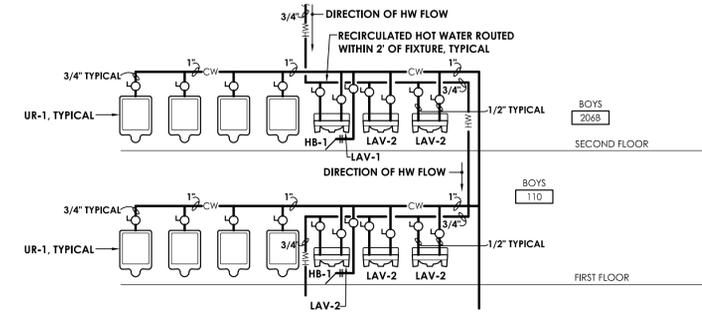
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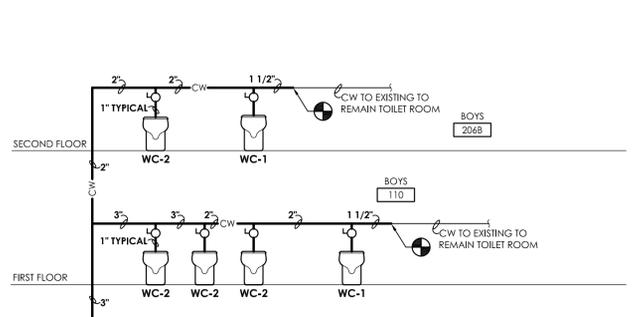
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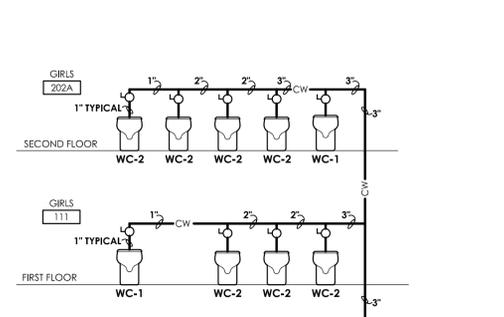
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 GIRLS TOILET ROOMS 111 & 202A**



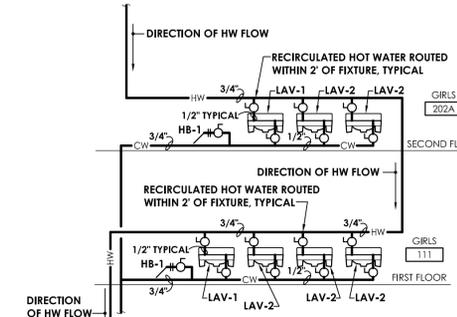
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 DOMESTIC WATER RISER DIAGRAM**



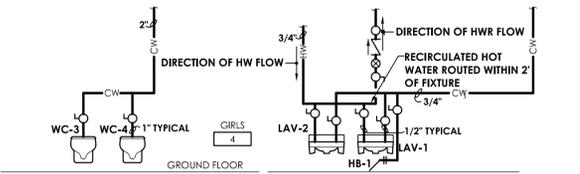
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 DOMESTIC WATER RISER DIAGRAM**



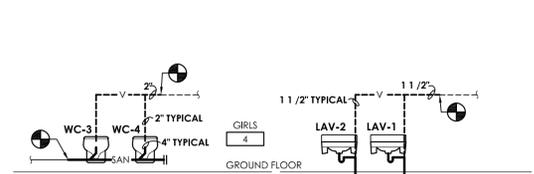
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 DOMESTIC WATER RISER DIAGRAM**



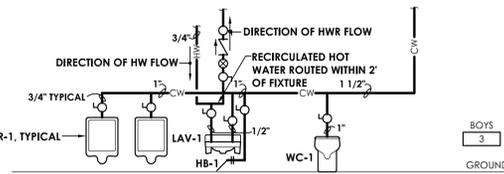
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 DOMESTIC WATER RISER DIAGRAM**



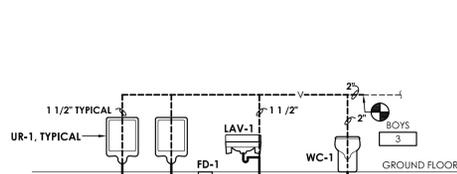
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**GIRLS TOILET ROOM 3  
 DOMESTIC WATER RISER DIAGRAM**



**11**  
P601 NOT TO SCALE  
**GIRLS TOILET ROOM 3  
 SANITARY RISER DIAGRAM**



**10**  
P601 NOT TO SCALE  
**BOYS TOILET ROOM 3  
 DOMESTIC WATER RISER DIAGRAM**



**9**  
P601 NOT TO SCALE  
**BOYS TOILET ROOM 3  
 SANITARY RISER DIAGRAM**

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## PLUMBING EQUIPMENT & FIXTURE SCHEDULE

MARK	FIXTURE	CW	HW	SAN	V	DESCRIPTION	MODEL NUMBER	REMARKS
WC-1	WATER CLOSET, ACCESSIBLE	1"	-	4"	2"	FLOOR MOUNT WATER CLOSET, ELONGATED BOWL SENSOR OPERATED FLUSH VALVE, ACCESSIBLE INSTALLATION, 1.28GPF	AMERICAN STANDARD - MADERA 3451.001 ZURN - AQUASENSE EXPOSED ZER6000-CPM	1, 3
WC-2	WATER CLOSET	1"	-	4"	2"	FLOOR MOUNT WATER CLOSET, ELONGATED BOWL SENSOR OPERATED FLUSH VALVE, 1.28GPF	AMERICAN STANDARD - MADERA 3451.001 ZURN - AQUASENSE EXPOSED ZER6000-CPM	3
WC-3	WATER CLOSET, ACCESSIBLE	1"	-	4"	2"	WALL MOUNT WATER CLOSET, ELONGATED BOWL SENSOR OPERATED FLUSH VALVE, ACCESSIBLE INSTALLATION, 1.28GPF	AMERICAN STANDARD - AFWALL MILLENNIUM 2257101.020 ZURN - AQUASENSE EXPOSED ZER6000-CPM	1, 3
WC-4	WATER CLOSET	1"	-	4"	2"	WALL MOUNT WATER CLOSET, ELONGATED BOWL SENSOR OPERATED FLUSH VALVE, 1.28GPF	AMERICAN STANDARD - AFWALL MILLENNIUM 2257101.020 ZURN - AQUASENSE EXPOSED ZER6000-CPM	3
UR-1	URINAL, ACCESSIBLE	3/4"	-	2"	1 1/2"	WALL MOUNT URINAL, SENSOR OPERATED FLUSH VALVE, .125GPF, ACCESSIBLE INSTALLATION	AMERICAN STANDARD - WASHBROOK 6590.001EC ZURN - AQUASENSE ZER6003AV-CPM-ULF	1, 3
LAV-1	LAVATORY, ACCESSIBLE	1/2"	1/2"	1 1/2"	1 1/2"	WALL HUNG LAVATORY, CONCEALED ARM CARRIER, 18"x20 1/2", SENSOR OPERATED FAUCET, MOUNTED AT ACCESSIBLE HEIGHT, TRAPS AND SUPPLIES PROTECTED BY ADA COMPLIANT VANDAL GUARD SHIELD	AMERICAN STANDARD - LUCERNE 0355.012 ZURN - AQUASENSE Z6915-XL-TMV ZURN - Z6900-VG	1, 3
LAV-2	LAVATORY	1/2"	1/2"	1 1/2"	1 1/2"	WALL HUNG LAVATORY, CONCEALED ARM CARRIER, 18"x20 1/2", SENSOR OPERATED FAUCET, SUPPLIES AND TRAPS PROTECTED BY VANDAL GUARD SHIELD	AMERICAN STANDARD - LUCERNE 0355.012 ZURN - AQUASENSE Z6915-XL-TMV ZURN - Z6900-VG	1, 3
FD-1	FLOOR DRAIN	-	-	-	2"	FLOOR DRAIN, 8" ROUND NICKEL BRONZE STRAINER, CAST IRON BODY, DEEP SEAL P TRAP	ZURN - Z4158	2
HB-1	HOSE BIBB	3/4"	-	-	-	KEY OPERATED, MODERATE CLIMATE, CONCEALED OUTLET, FLUSH MOUNTING BOX WITH COVER, INTEGRAL VACUUM BREAKER WITH HOSE CONNECTION	ZURN - Z1330XL	-

### REMARKS

- ALL ACCESSIBLE EQUIPMENT/FIXTURES TO BE INSTALLED PER ADA REQUIREMENTS.
- SIZED PER PLAN.
- SENSOR OPERATED VALVES TO BE BATTERY POWERED.

### GENERAL PLUMBING EQUIPMENT & FIXTURE COMMENT

- PLUMBING CONTRACTOR SHALL PROVIDE ALL RISERS, CARRIERS, P-TRAPS, STOPS, STRAINERS, TAIL PIECES, DRAINS, ETC. REQUIRED TO HAVE A COMPLETE INSTALLATION.

### GENERAL SPECIFICATION NOTES:

- ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES.
- DOMESTIC WATER LINES SHALL BE TYPE L COPPER, LEAD FREE JOINTS. INSULATE ALL PIPING WITH PREFORMED FIBERGLASS PIPE INSULATION WITH ASJ COVER SIZED PER ENERGY CODE. ALL FITTINGS AND VALVES TO BE COVERED WITH PREFORMED PVC FITTING COVERS. ALL EXPOSED VERTICAL FIXTURE SUPPLY LINES TO BE COVERED WITH PVC JACKET TO 7' ABOVE FINISHED FLOOR.
- UNDERGROUND SANITARY AND VENT PIPING SHALL BE SERVICE WEIGHT CAST IRON. HUB AND SPIGOT WITH RUBBER GASKET PUSH JOINTS. ABOVE GROUND SANITARY AND VET PIPING SHALL BE DWV COPPER WITH DWV COPPER FITTINGS OR NO-HUB CAST IRON.
- IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS WITHIN THE BUILDING PRIOR TO COMMENCEMENT OF ALL DEMOLITION AND NEW WORK.
- IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO REMOVE AND REPLACE EXISTING CEILING UNLESS OTHERWISE NOTED ON THE ARCHITECTURAL DRAWINGS, FOR PERFORMING DEMOLITION OR NEW WORK WITHIN THE BUILDING. THE CONTRACTOR SHALL REINSTALL THE CEILING SYSTEMS TO MATCH THE ORIGINAL INSTALLATION. ANY CEILING SYSTEM COMPONENT DAMAGED DURING DEMOLITION, STORAGE, OR RE-INSTALLATION SHALL BE REPLACED WITH A NEW AT NO EXPENSE TO THE OWNER.
- ALL PIPING AND CONDUIT PENETRATIONS THRU RATED WALLS OR FLOORS SHALL BE PROVIDED WITH FIRE/SMOKE STOPPING.
- UNLESS SHOWN ON THE ARCHITECTURAL DRAWINGS, IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO PATCH AND FINISH ALL EXISTING PIPE PENETRATIONS AND TRENCHING THRU FLOOR AND WALLS AFTER DEMOLITION. IN ADDITION, ALL NEW PENETRATIONS AND TRENCHING SHALL BE PROVIDED FOR INSTALLATION OF PLUMBING SYSTEMS INCLUDING, BUT NOT LIMITED TO, EQUIPMENT, PIPING, ETC.
- UNLESS OTHERWISE INDICATED ON PLANS, PROVIDE WATER HAMMER ARRESTORS ON BRANCH PIPING TO EACH TOILET ROOM, LAUNDRY ROOM, SOLENOID VALVE, OR AS OTHERWISE REQUIRED BY CODE.

### PLUMBING LEGEND

— XX —	PIPING
- - - XX - - -	PIPING BELOW GRADE
— XX —	EXISTING PIPING
CW	COLD WATER
HW	HOT WATER
HW R	HOT WATER RECIRCULATING
SAN	SANITARY SEWER
- - - V - - -	VENT
	PLUMBING TO BE REMOVED
○	ELBOW - TURNED UP
⊥	ELBOW - TURNED DOWN
○	BALL VALVE
⊗	BALANCING VALVE
↺	CHECK VALVE
CO	CLEAN OUT
FCO	FLOOR CLEAN OUT
WCO	WALL CLEAN OUT
HB	HOSE BIBB
FD □	FLOOR DRAIN
⊥	WATER HAMMER ARRESTER
⊙	POINT OF CONNECTION

### PROJECT INFORMATION

Project Number  
14428.18  
Client Name

**OSSINING UNION FREE SCHOOL DISTRICT**  
Project Name  
**2021-2022 CIP**

District Office Address

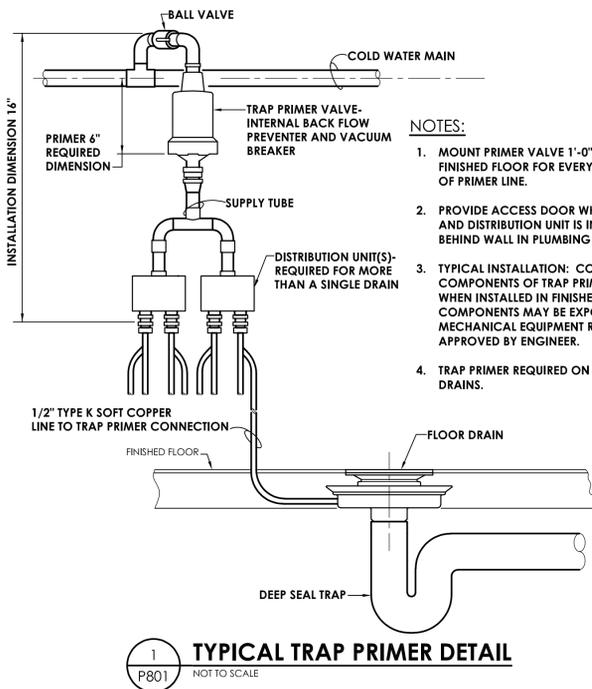
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### OSSINING UNION FREE SCHOOL DISTRICT

PLANNING DEPARTMENT  
100 STATE ST. 2ND FLOOR  
OSSINING, NY 10562  
PHONE: 518.524.4444 FAX: 518.524.4444

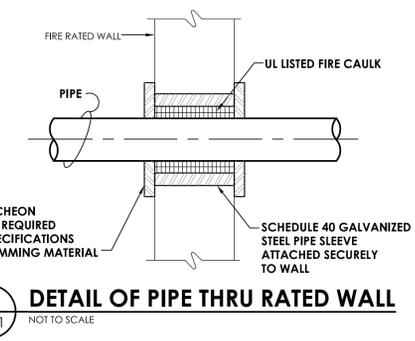
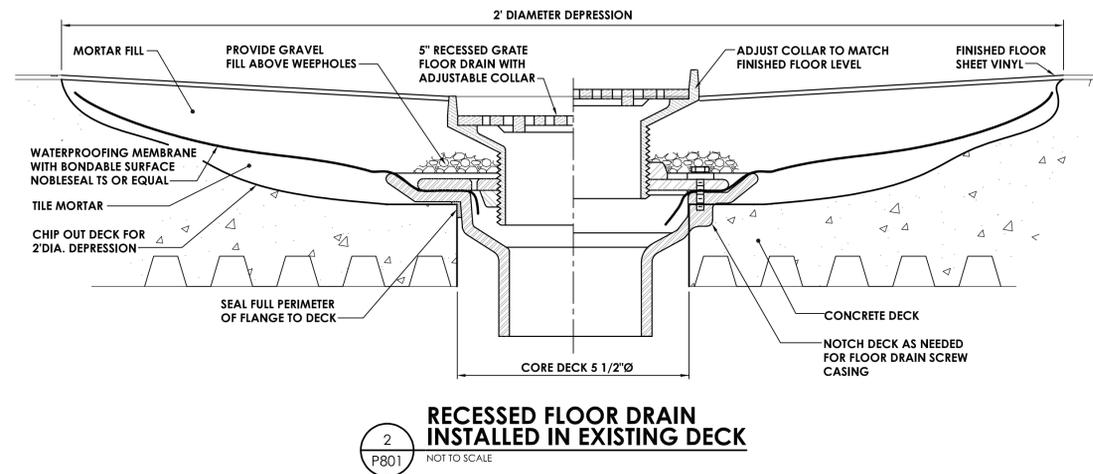
### PROJECT ISSUE & REVISION SCHEDULE

No. Date Description



### NOTES:

- MOUNT PRIMER VALVE 1'-0" ABOVE FINISHED FLOOR FOR EVERY 20'-0" OF PRIMER LINE.
- PROVIDE ACCESS DOOR WHERE VALVE AND DISTRIBUTION UNIT IS INSTALLED BEHIND WALL IN PLUMBING CHASE.
- TYPICAL INSTALLATION: CONCEAL ALL COMPONENTS OF TRAP PRIMER SYSTEM WHEN INSTALLED IN FINISHED SPACES. COMPONENTS MAY BE EXPOSED IN MECHANICAL EQUIPMENT ROOMS AS APPROVED BY ENGINEER.
- TRAP PRIMER REQUIRED ON ALL FLOOR DRAINS.



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