BID ADDENDUM 01

The items set forth herein, whether of omission, addition, substitution or clarification are to be included in and form a part of the construction documents for the project listed above.

This Addendum consists of the following Parts:

Part 1	Division #0, Bidding and Contract Requirements	
Part 2	Technical Changes, Architectural, Structural and Civil	Not Used
Part 3	Technical Changes, Plumbing, Mechanical and Electrical	Not Used
Part 4	Drawing Changes, Architectural / Civil / Food Service	
Part 5	Drawing Changes, Structural	Not Used
Part 6	Drawing Changes, Plumbing, Mechanical and Electrical	Not Used
Part 7	Clarifications	
Part 8	New Issues – List of Included Documents	

PART 1 Division #0, Bidding and Contract Requirement

1.1 ADD Section 004101 – Proposal Form Attachment – Subcontractors Contractor shall submit form 004101 with their bid.

Per Section 002100 Invitation and Instructions to Bidders, each bidder shall submit with its bid a separate sealed list that names each subcontractor that the Bidder will use to perform work on the contract, and the agreed-upon amount to be paid to each, for: (a) plumbing, (b) heating, ventilating and air conditioning apparatus and (c) electric wiring, equipment, and standard illuminating fixtures.

PART 4 DRAWING CHANGES, ARCHITECTURAL, CIVIL, FOOD SERVICE

- 4.1 DRAWING A101 See attached REVISED A101 with information on the existing structural framing added for reference purposes.
- 4.2 DRAWING A501 See attached REVISED A501 with VET (Vinyl Enhanced Composition Tile) pattern showing 18x36 sized tiles in brick ashlar pattern to match description in Specifications Section 096500

PART 7 CLARIFICATIONS

- 7.1 RFI Question Is the structural framing plan forthcoming?

 Response Drawing A101 shows dashed lines (see demolition legend) indicating the layout of the structural steel framing. See attached REVISED A101 with additional information added pertaining to the existing structural framing for reference purposes.
- 7.2 RFI Question Is the existing steel primed? If the steel is primed, please provide data sheet to confirm the compatibility of the primer with sprayed fire-resistive materials.

 Response Due to varying conditions on the existing steel, the Contractor shall provide metal lath at the steel columns prior to spraying fireproofing materials.
- 7.3 RFI Question Note E on Drawing A101 states to provide temp shoring where required at penthouse penetrations. Please provide clarification and/or a detail around the shoring requirements for this contract.

1

Response – Temporary shoring and support is the responsibility of the Contractor as required for

Bid Addendum #1

the work. See Specifications Section 024100.

- 7.4 RFI Question Drawing A101 & Specification 035400 state to patch, repair, and prep existing concrete floor for new leveling. Is the intent for the new leveling to go across the entire third floor area of work or just patch as necessary. If the intent is to just patch as required, please provide a rough square footage of patching so all bidders are carrying the same footages on bid day. Response Intent is for new leveling of the entire Third Floor area of work.
- 7.5 RFI Question Finish Schedule on A903 list Floor Finish for multiple rooms to be VET however no abbreviation is listed for VET. Please clarify.
 Response VET stands for Vinyl Enhanced Composition Tile. See Specifications Section 096500 2.1 for product information. Please note that the size (18"x36") and installation pattern (brick ashlar) shall be provided. See attached REVISED A501.
- 7.6 RFI Question Sheet PH-1 General Phasing, Staging, & Egress/Access Notes reference temp fencing @ staging/laydown area. This area is not shown on drawings please clarify area to be fenced off or approximate length of temp fencing required.

 Response Refer to attached staging plan. Area of storage is approximately 60'x80'
- 7.7 RFI Question Sheet PH-1 General Phasing, Staging, & Egress/Access Notes references Temporary Barriers to include HM doors/frames. These Temp Barriers are not shown on drawings please advise.
 - Response Contractor shall be responsible for maintaining separation between work area and occupied spaces. There are existing doors at Stair 2-EX1 and Stair 3-EX3 that may be utilized for separation, in which case the temporary walls and doors would not be required. The contractor shall be responsible for protection of the existing stair doors to remain and shall be responsible for repairs and/or replacement if damaged during construction. Should the contractor decide to remove these stair doors and save them for reinstallation at the end of the project, then the contractor shall provide temporary fire rated hollow metal doors with proper egress and locking hardware at these two locations, which shall be included as part of the contractor's base bid.
- 7.8 RFI Question Who is installing the access control lock, GC or Security.

 Response The General Contractor shall be responsible for installation of the access control lock equipment on the doors.
- 7.9 RFI Question Please provide the saddle details for Doors No.: 400, 400E, 409A, 409B, 409C, 411B, 415, 416A, 418A, 418B. Are saddles omitted if the flooring treatment is the same as per note 3 on page A902 (detail 3A, B, C)?

Response – Provide saddles / threshold per the following:

- VET to VET Provide vinyl transition strip if VET is different color or pattern. If VET flooring is same on each side, saddle may be omitted.
- VET to Carpet Vinyl transition / reducing strip.
- VET to Concrete Vinyl transition / reducing strip.
- Carpet to Carpet Provide vinyl transition strip if carpet is different color or pattern. If carpet flooring is the same on each side, saddle may be omitted.
- Ceramic Tile to VET Slate per A902. Slate saddles only required at Doors 403, 404, 411a, and 411c.
- 7.10 RFI Question For doors No.: 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 417 & 418 on drawing A201, this opening shows a sidelight frame but the door schedule doesn't call out a sidelight frame. Please advise.

Response – All doors with the 'F1' tag on drawing A201 shall receive the sidelight frame 4/A902.

Doors with the 'F1' tag are doors No. 402, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 416, 417, and 418.

- 7.11 RFI Question Please advise on hardware set 11. It is used for the existing doors EX1 & EX3, but the hardware set states the following: "1 Dummy Cylinder w/ Collar / Coordinate w/ existing hardware". What is the part number and manufacturer for it?
 Response At doors EX1 and EX3, the existing door hardware shall be modified to become a passage set (free passage from the lever-side / stair-side of the door). Current hardware at these doors is Sargent 80 series with keyed cylinder at lever/stair side (12-88XX-ETL, contractor to verify existing function in field).
- 7.12 RFI Question Please advise on the access to get materials up to the 3rd floor.

 Response Due to the ground, first and second floor levels being occupied and regulations maintaining distance from an occupied building, materials and debris will need to be moved to/from the loading dock area.
- 7.13 RFI Question There is reference to Laminated Veneer Lumber in spec: 061000-2.8. Please confirm none is being utilized none found.

 Response There is no laminated veneer lumber in this project. Disregard notes referring to laminated veneer lumber in this section.
- 7.14 RFI Question Sheet A901 calls for 3 5/8" framing but spec section 092900-1.2-A-NOTE#3 calls out for 4". Is it 3 5/8" or 4"?

 Response Utilize 3-5/8" framing per A901.
- 7.15 RFI Question There is a reference to foil faced gypsum board to be utilized at the interior side of all exterior walls (spec 092900-1.8-B) but it isn't specified in detail under 092900-2.2. Is it to be utilized?
 Response Foil faced gypsum board not required at exterior walls. Utilize 5/8" Type X mold and abuse resistant gypsum board.
- 7.16 RFI Question Sheet A901 calls out for ABUSE & MOLD RESISTANT while the spec calls out for MOLD RESISTANT thru-out. Please advise.
 Response Gypsum Board at interior walls shall be Type X abuse and mold resistant per A901.
 See products listed in 092900 2.2 that are abuse and mold resistant, Type X.
- 7.17 RFI Question D1/A901 shows insulation in the gypsum board soffits and above the gypsum board ceilings, but doesn't call out thickness. Please advise on the thickness of the insulation. Response Batt insulation is not required at gypsum board soffits. At all interior walls, batt insulation is required for full height from floor slab to underside of deck for full thickness of the stud assembly.
- 7.18 RFI Question Please provide a location for the dumpsters.Response Dumpsters may be located adjacent to storage area. Refer to Staging Plan.
- 7.19 RFI Question Drawings indicate work on the ground floor, 1st floor, & 2nd floor. Will this work need to be done at off hours? Will contractors have complete access to those rooms? Response These are occupied spaces during the school year. Access will be provided and coordinated during off shift hours.
- 7.20 RFI Question Will we be able to remove a window to load materials or will we need to bring materials in at the loading dock.
 Response Due to the ground, first, and second floors being occupied, and regulations for

maintaining distances from active building areas, materials (new materials and materials to be disposed) will need to be moved via the loading dock area and elevator.

- 7.21 RFI Question Drawing A401 shows a Typ Window Wall Detail but this cannot be found on the floor plans. Please advise.
 - Response Detail 9/A401 is a typical elevation detail that shall apply to all existing exterior windows within the work area. Refer also to 1/A801 for work to occur at all window locations. There are 23 window locations at the Third Floor that shall receive window treatments, stool/apron, metal stud wall infill at lower panel, sheetrock, insulation, etc. Drawing CC-1 shows the areas of existing rescue windows.
- 7.22 RFI Question Specification 072100 states to provide spray foam insulation at all exterior walls and soffits however there is no wall types indicating spray foam insulation. Please confirm this is required.
 - Response Spray foam insulation shall be provided at all exterior walls for entire perimeter of the third floor as noted in Sections 1&2/A801, General Notes on A801, and in Section 072100.
- 7.23 RFI Question Specification 062000 States that finished carpentry subcontractor must participate in the AWI Certification Program. This requirement will drastically limit the number of subcontractors who can bid this work. Can this spec section be revised to "work shall be performed in accordance to all AWI Certification Program requirements." This will remove the actual certification, drastically increasing the number of bidders, all while still holding the same quality of work.
 - Response Confirming AWI Certification is a requirement for this project per the specifications.
- 7.24 RFI Question Where are details C1, C2, and CA on A901 being used? Response Details C1, C2 and CA/A901 are not required in this project.
- 7.25 RFI Question Who is responsible for supplying and installing the rescue assistance on E-501 detail 10?
 - Response The General Contractor is responsible for supplying and installing the rescue assistance system per 10/E501 at locations indicated on E201. This is not an Owner provided item.
- 7.26 See attached schematic staging plan for additional information regarding staging, storage, and parking.
- 7.27 See attached sign-in sheet from the Pre-Bid Walkthrough on October 3, 2023

PART 8 NEW ISSUES – LIST OF INCLUDED DOCUMENTS

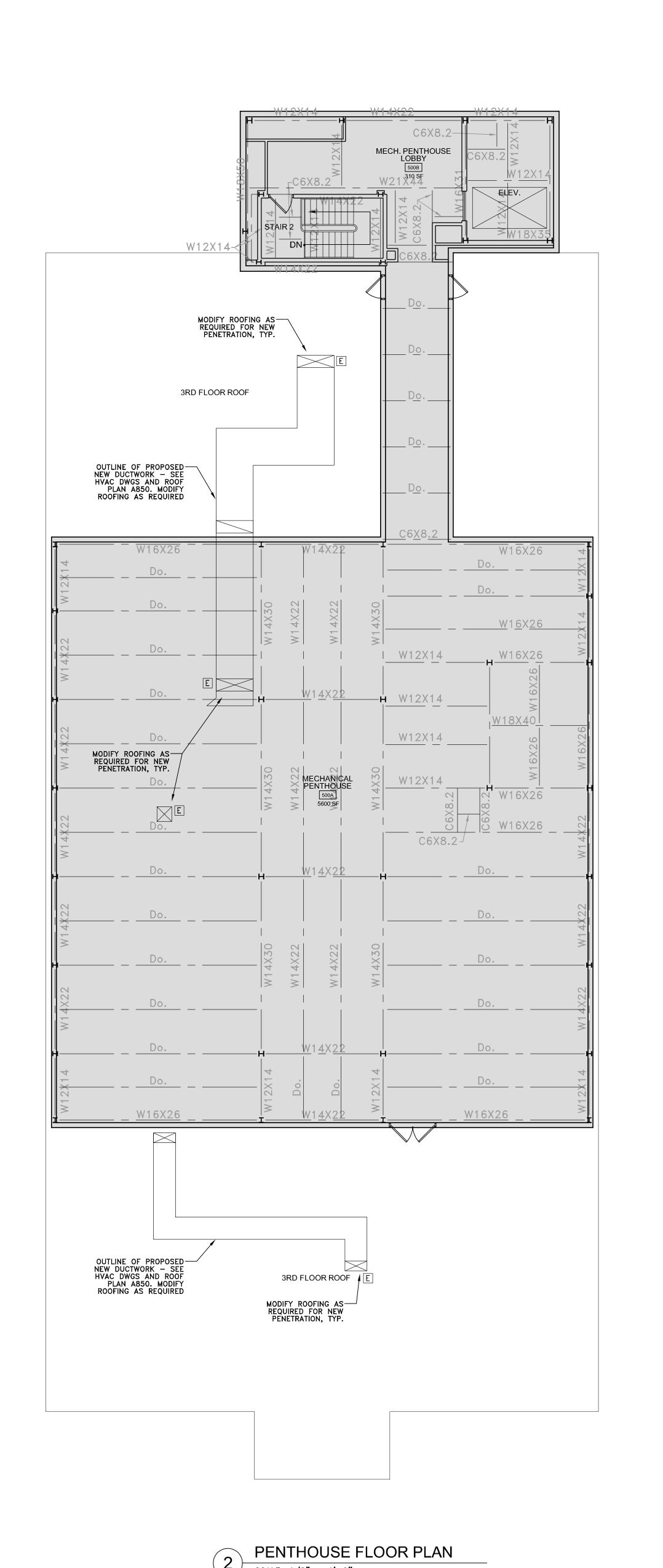
1.	Section 004101 – Proposal Form Attachment – Subcontractors	(1) 8.5x11
2.	Revised Drawing A101 – DEMOLITION FLOOR PLANS	(1) 30x42
3.	Revised Drawing A501 – THIRD FLOOR FLOORING PLANS	(1) 30x42
4.	Schematic Staging Plan	(1) 11x17
5.	Pre-Bid Walk-Thru Sign-In Sheet	(2) 8.5x11

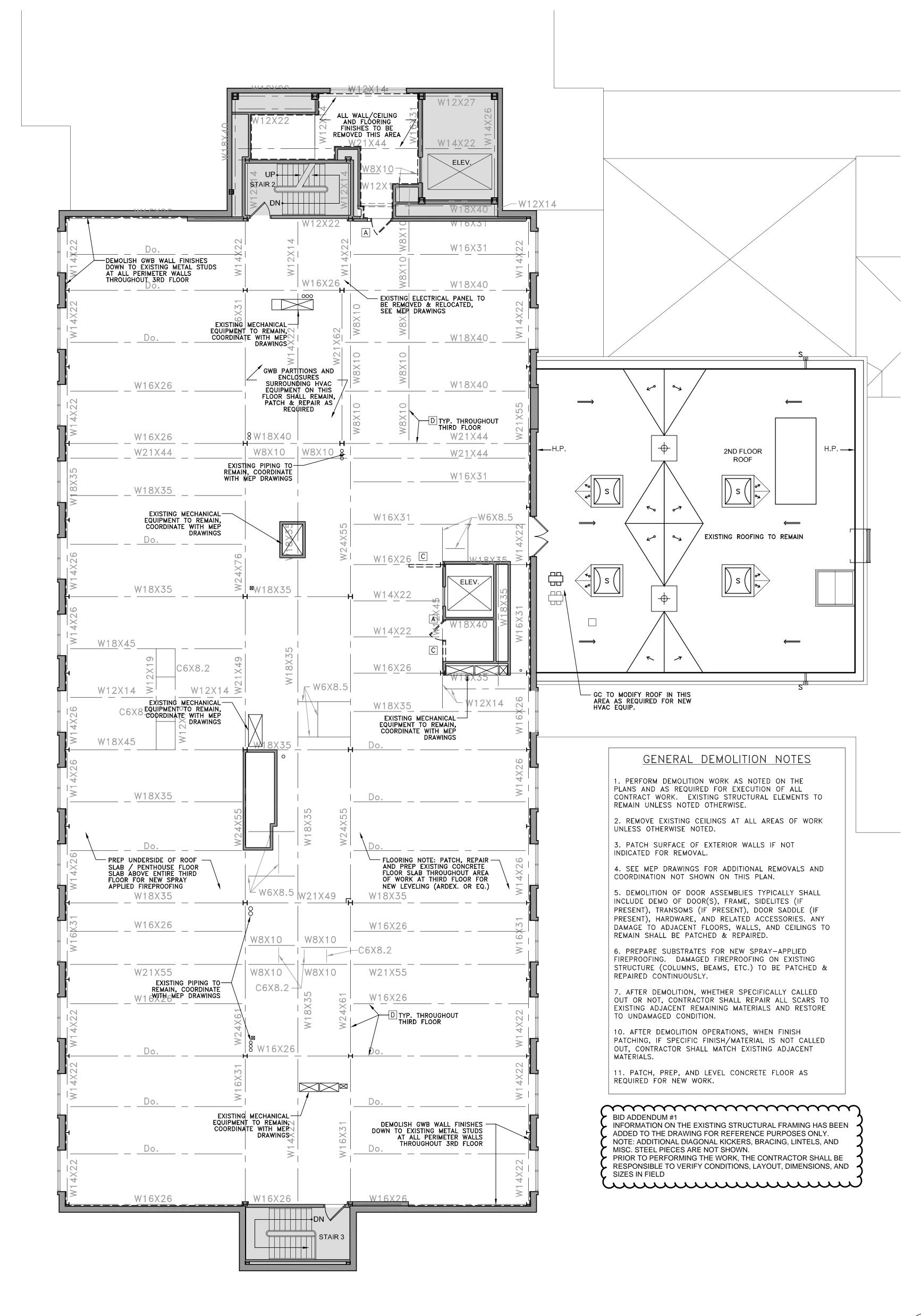
**** END OF BID ADDENDUM #1 ****

Orange-Ulster BOCES Interior Alterations - Third Floor Regional Education Center at Arden Hill

SECTION 004101 - PROPOSAL FORM ATTACHMENT - SUBCONTRACTORS Project: Interior Alterations at the Regional Education Center at Arden Hill Name of Contractor: _____ (Print Name) Authorized Signature: ______(Print Name) (Signature) Each bidder shall submit with its bid a separate sealed list that names each subcontractor that the Bidder will use to perform work on the contract, and the agreed-upon amount to be paid to each, for: (a) plumbing, (b) heating, ventilating and air conditioning apparatus and (c) electric wiring, equipment, and standard illuminating fixtures. A) Plumbing Name of Sub-Contractor: (Print Company Name) B) Heating, Ventilating and Air Conditioning Apparatus Name of Sub-Contractor: (Print Company Name) Cost: ______Dollars (\$______) C) Electric Wiring, Equipment, and Standard Illuminating Fixtures Name of Sub-Contractor: (Print Company Name) Cost: Dollars (\$

END OF PROPOSAL FORM - ATTACHMENT - SUBCONTRACTORS





THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

PROJECT NORTH 0 4' 8' 16' SCALE: 1/8" = 1'-0"

Job No.
2023-1008

Date

Scale
1/8" = 1'-0"

Drawn/Checked

DEMOLITION

FLOOR PLANS

ORANGE-ULSTER

BOCES

Regional Education

Center at Arden Hill

Interior Alterations

4 Harriman Drive

Goshen • NY 10924

285 MAIN STREET MOUNT KISCO . NEW YORK .10549

S.E.D. Control No. 44-90-00-00-8-035-008

CONSTRUCTION

DOCUMENTS

DEMOLITION LEGEND

INDICATED WITH DASHED

____ EXISTING STRUCTURE

DEMOLITION KEY NOTES

B NOT USED

REQUIRED.

A REMOVE EXISTING DOOR & FRAME AND PREP OPENING FOR NEW WORK.

REMOVE EXISTING INTERIOR WALLS AS

REQUIRED FOR NEW CONSTRUCTION.
PROVIDE TEMPORARY SHORING AS

D AT BOTTOM OF ALL BEAM FLANGES,

STUDS, ACCESSORIES, ETC.

DWGS. PROVIDE TEMPORARY

IN (2)TWO LAYERS OF GYP.

REPAIR EXISTING GYP BOARD

NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF KAEYER, GARMENT, & DAVIDSON ARCHITECTS, PC (KG&D), AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION

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10/06/23 | BID ADDENDUM #1

09/22/23 | ISSUED FOR BID

03/30/23 | S.E.D. SUBMISSION

No. Date Issue

E GC TO PROVIDE NEW ROOF

REMOVE ALL SPRAY FIREPROOFING,

PENETRATIONS/OPENINGS. SEE HVAC

STRUCTURAL SUPPORTS/SHORING AS REQUIRED. EXISTING PENTHOUSE STRUCTURE IS CURRENTLY WRAPPED

CONTRACTOR TO MODIFY, PATCH AND

SURROUND(S) AS REQUIRED FOR NEW STRUCTURAL STEEL SUPPORTS OF

NEW OPENINGS AT PENTHOUSE ROOF.

- AREA OF WORK

NO ARCHITECTURAL

DEMOLITION IN THIS AREA UNLESS SPECIFICALLY NOTED. SEE MEP

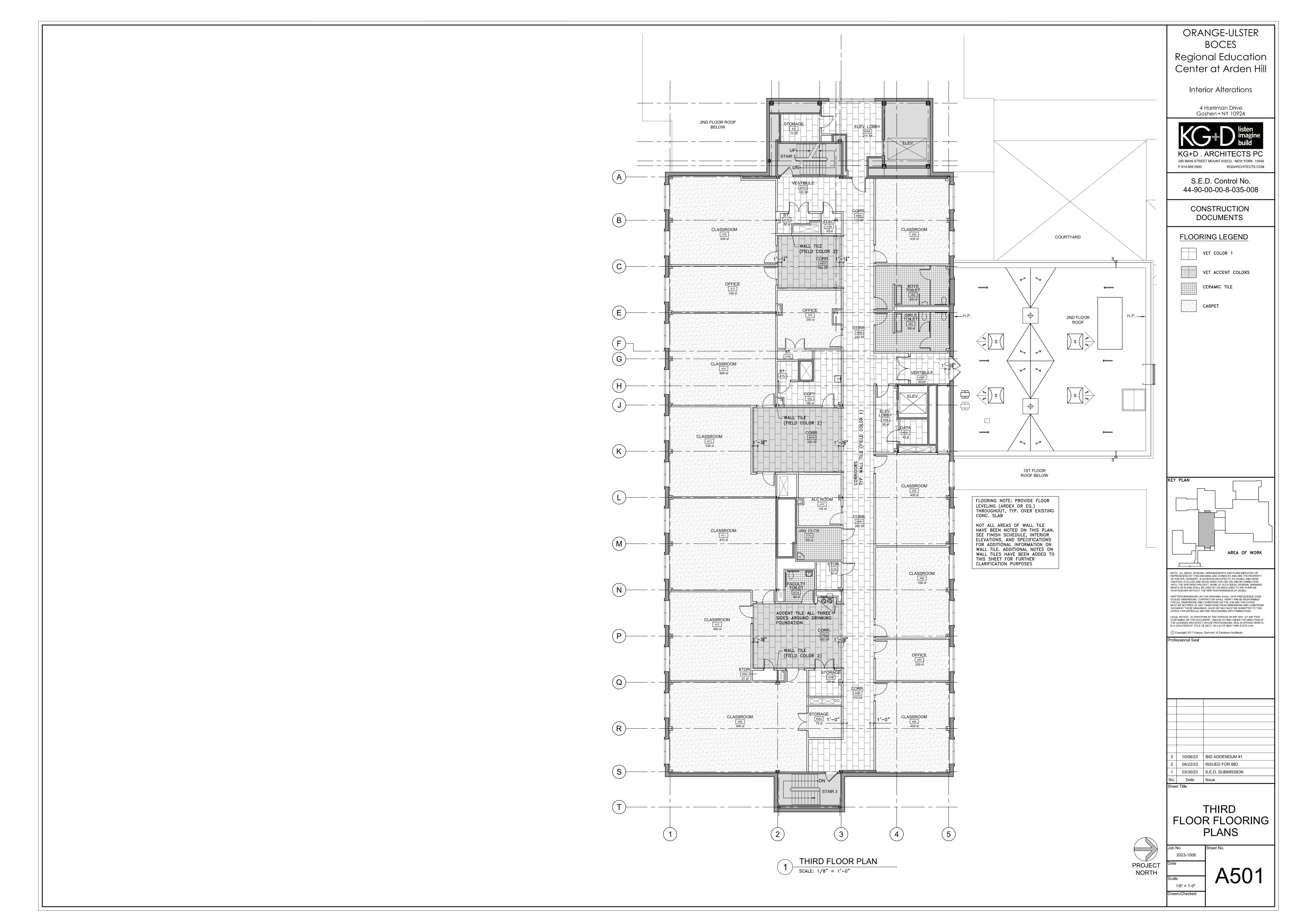
DRAWINGS FOR ADDITIONAL

DEMOLISH WALLS & DOORS

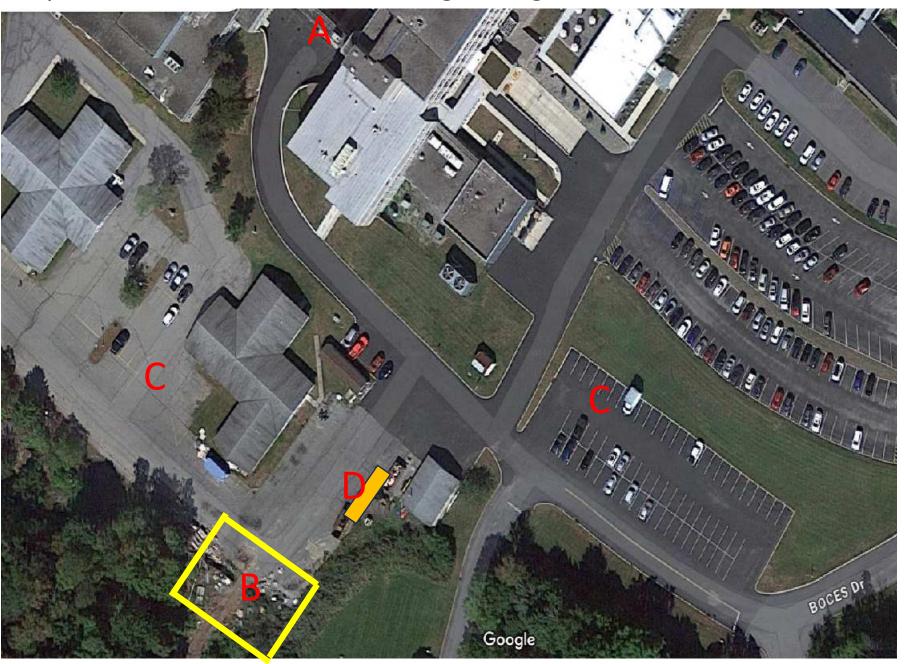
TO REMAIN

P:914.666.5900

KGDARCHITECTS.COM



Proposed Access, Material, Parking Storage Plan – OUBoces Arden Hill



A. Contractor Entrance

coordinate material drop off hours available, but no storage, laydown

B. Contractor Storage

If laydown area is desired, approx. 60x80 space is designated for GC to use, fenced in if not using containers for security. This area already has been cleared and base stone installed

C. Contractor Parking

D. CM Construction Trailer

ORANGE ULSTER BOCES REGIONAL EDUCATION CENTER AT ARDEN HILL INTERIOR ALTERATIONS TO THIRD FLOOR SED NO. 44-90-00-00-8-035-008



Sign In Sheet

Meeting: OUBOCES 3rd Floor Project – Pre-Bid Walk Thru Meeting

Date: <u>10/3/2023 3:00PM</u>		
Name	Company/Trade	Cell/Email
Scott Butler - PM	TPG/CM 84	45-332-0202/sbutler@thepalombogroup.com
Piotr Archacki – PS		743-5996/parchacki@thepalombogroup.com
Dawn Ryan – PA		345-594-5328/dryan@thepalombogroup.com
300 RAVAS		845-434-4030 MAVASIA CGMAN.COM
The Gold	le 4	h & a Simonavirac Govan, cots
Wade Rodriques	MEHL Electric	845-702-7953 wade &mehlvet, can
Iden Fanshaue	Rockland Electric	. 845-627-3232 Rocklandelectricegmail.com
STEVE MGROTTCH IAN	PIEROTTI CORP	914-233-9990 STEVEMOPIEROTTICORP.COM
Michael Rottali	Key B	145-430-156) atratton @ contact kcs.com
ZIELIKA, SCOTT	ENGINEER	875-291-1272 Infoegerardassociateson
HLUCKAN, BILLY		
Anthony Camer 200	GP Placeing Solution	a 646-529-6907 Authory & 6-P Plan Ring Salutions orom
Jessica Horn	Ferrari / GC	845.522-2590 Jestica@ferranandsonsine
Ken Lentz	gooder	845-219-4068 KLENTE Prestering Notion
Noux Coleman	COBOCES	845-291-0160 March Coleman Doubseas as
dre Kusso	Curoces	845-291-0150 Joseph Russon Quehaces, org
MAJNAM LOSLEZ	Kb+ DARCHITEUTS	914-666-5900 BMANGAN OKCODARCHHOTOS.COM
Clark Lowe	Ocemer Company	517-291-3519 clowe@oconnorconcecon
Tony JOVANOSKY	UNI MAK UC'	973.478.4925 TONI @ UNIMALIC. COM
Deffley Weiss	Sullivan Electric	973 600 7824 Jeff@sullivanelectric NJNY.com
J		·



Sign In Sheet

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Date: 10/3/2023 3:00PM

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Name	Company/Trade	Cell/Email
Scott Butler - PM	TPG/CM	845-332-0202/sbutler@thepalombogroup.com
Piotr Archacki – PS		5-743-5996/parchacki@thepalombogroup.com
Dawn Ryan – PA	TPG/CM	845-594-5328/dryan@thepalombogroup.com
Laurie Catal	OUBOCES	845-542-3984 / laurie. Catal @ouboces.org
Adrianna Andrada	OUBOCES	845-291-0162 OUBOCES
ROB DALPE	OUBOCES	845-781-4363 DUBDCE-S
Ilkh Remier	MET/CAC	
Fel.x Castillo	mcf/ctc	631-492-0738
Doug Tompkins	MAS HVAS	845 713 4598 douglastemelshvaer.com
<u> </u>	·	