

## Bid Addendum No. 1

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November 17, 2023

### Pawling Central School District 2020 Capital Project – Phase 3

SED Project No. & Review No.

Pawling Elementary School: SED No. 13-12-01-04-0-001-024

CSArch Project No. 208-2101.03



### Previously Issued Addenda Incorporated into Bid Documents

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None

This Addendum No. 1 forms part of the Contract Documents and modifies the original construction documents Issued for Bid: November 1, 2023. Addendum No. 1 consists of TWO page(s) and the listed attachments.

### General

1. **Add** PRE-BID Meeting SIGN-IN SHEET.

### Revisions to the Project Manual

2. **Delete** Section 007216.01 – NYSIR Insurance Specifications for Capital Projects, **Add** revised Section 007216.01.
3. **Delete** Section 075323 – EPDM Roofing for Patching, **Add** revised Section 075323.

### Revisions to the Contract Drawings

4. Drawing S201: **Add** note "DETAIL 2/S201 IS TYPICAL OF (6) LOCATIONS AS SHOWN ON THE PLANS".
5. **Delete** drawing sheet AD101, **Add** revised drawing sheet AD101.
6. **Delete** drawing sheet AD202, **Add** revised drawing sheet AD202.
7. **Delete** drawing sheet AD401, **Add** revised drawing sheet AD401.
8. **Delete** drawing sheet AD801, **Add** revised drawing sheet AD801.

9. **Delete** drawing sheet AD821, **Add** revised drawing sheet AD821.
10. **Delete** drawing sheet A111, **Add** revised drawing sheet A111.
11. **Delete** drawing sheet A112, **Add** revised drawing sheet A112.
12. **Delete** drawing sheet A121, **Add** revised drawing sheet A121.
13. **Delete** drawing sheet A201, **Add** revised drawing sheet A201.
14. **Delete** drawing sheet A401, **Add** revised drawing sheet A401.
15. **Delete** drawing sheet A601, **Add** revised drawing sheet A601.
16. **Delete** drawing sheet A602, **Add** revised drawing sheet A602.
17. **Delete** drawing sheet A607, **Add** revised drawing sheet A607.
18. **Delete** drawing sheet A608, **Add** revised drawing sheet A608.
19. **Delete** drawing sheet A609, **Add** revised drawing sheet A609.
20. **Delete** drawing sheet A811, **Add** revised drawing sheet A811.
21. **Delete** drawing sheet AF111, **Add** revised drawing sheet AF111.
22. **Delete** drawing sheet AF112, **Add** revised drawing sheet AF112.
23. **Delete** drawing sheet AF113, **Add** revised drawing sheet AF113.
24. **Delete** drawing sheet AF114, **Add** revised drawing sheet AF114.

**END OF BID ADDENDUM NO. 1**

**Pawling Central School District**  
**CAPITAL PROJECT – Phase 3**  
**PRE-BID Meeting - November 15<sup>TH</sup>, 2023**  
**SIGN-IN SHEET**

NAME	COMPANY	CELL PHONE	EMAIL
Tony Ferrari	Ferrari & Sons	845 797-4115	tonyferrariindsonsinco.com
Donald Malm	Sandview Sheet Metal	(845) 978-5857	dmalm@sandviewmetal.com
Mark Pulehovich	Worth Construction	(203) 797-8788	chiefestimator@worthconstruction.com
FRAN ULA	EMPIRE CORE GROUP	(914) 498-6400	fula@empirecore.com
Michael Dutton	Key Construction	845-742-0520	mdutton@contacticcs.com
Brian May	ITC North	845 384 2528	bmay@ITCNorth.com
DENNIS RANIC	SAI	973-767-9176	ESTIMATING@SAI-ENV.COM
Sean Rath	PC Construction	802-578-2404	srath@pcconstruction.com
JO ANN GOODSELL	PIAZZA	914-387-8589	GOODSELL@PIAZZABROTHERS.COM
John Neil	Penu	732-306-0454	Jneel@penu.com
John Gjokaj	RK Roofing	(914) 275-2521	Johngjokaj@RKroofers.com
Travis Walsh	J&J Suss Electric	(845) 594-4528	TWalsh@JJSuss.com
Bryce Borer	Upstate Electric	845-500-5786	BryceB@UpstateElectricNY.com
SABIR Radesich	Kasselman Electric	(914) 279-7952	srabir@KasselmanElectricNY.com

NAME	COMPANY	CELL PHONE	EMAIL
JASON SOMA	YMI	845-591-9690	JSOMA@THE-YMI-GROUP.COM
Doug Tompkins	MDS HVAC-R	914 760-8190	douglast@mdshvacr.com
Andrii Chabanovych	Insarea inc	732 580 9159	andrey@insarea.net
Mike Thomas	OCS INDUSTRIES	845-745-5014	estimating@ocsindustries.com
Adam BRENER	ARSENAL Scaffolding	914-760-3689	ABRENER@ARSENALSCAFFOLD.COM
CHRIS GRECO	ANDRON Construction	914-557-1305	CGRECO@ANDRONCL.COM
Chaz Winter	Andron	914-306+9135	CAWinter@Androncc.com
Eric Derise	STO Construction	845-8793-3326	ederise@stocouserv.com
Kerry Chasen	Ashley mechanical	845 331 1652	KELAS@ashleymechanical.com
STEVE MGRADITCHIAN	PIEROTTI CORP.	914-233-9990	STEVE@PIEROTTICORP.COM





007216.01

## **SAMPLE INSURANCE REQUIREMENTS – CAPITAL CONSTRUCTION**

1. Notwithstanding any terms, conditions or provisions, in any other writing between the parties, the contractor hereby agrees to effectuate the naming of the District/BOCES as an Additional Insured on the contractor's insurance policies, except for workers' compensation and N.Y. State Disability insurance.
2. The policy naming the District as an Additional Insured shall:
  - a. Be an insurance policy from an A.M. Best A- rated or better insurer, **licensed and admitted** to conduct business in New York State. A New York licensed and admitted insurer is **required**.
  - b. State that the organization's coverage shall be primary and non-contributory coverage for the District/BOCES, its Board, employees and volunteers including a waiver of subrogation in favor of the District/BOCES for all coverages including Workers Compensation.
  - c. Additional insured status for General Liability coverage shall be provided by standard or other endorsements that extend coverage to the District/BOCES for on-going operations (CG 20 38 or equivalent) and products and completed operations (CG 20 37 or equivalent). The decision to accept an endorsement rest solely with the District/BOCES. A completed copy of the endorsements must be attached to the Certificate of Insurance to include General Liability, Auto Liability and Umbrella/Excess coverages.
3.
  - a. The certificate of insurance must describe **all services** provided by the contractor (e.g., roofing, carpentry or plumbing) that are covered by the liability policies.
  - b. At the District's/BOCES' request, the contractor shall provide a copy of the declaration page of the liability and umbrella/excess policies with a list of endorsements and forms. If requested, the contractor will provide a copy of the policy endorsements and forms.
  - c. There will be no coverage restrictions and/or exclusions involving New York State Labor Law statutes or gravity related injuries.
  - d. No policies containing escape clauses or exclusions contrary to the Owner's interests will be accepted.



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- e. A fully completed New York Construction Certificate of Liability Insurance Addendum (ACORD 855 2014/15) must be included with the certificates of insurance. For any “Yes” answers on Items G through L on this Form– additional details must be provided in writing. Policy exclusions may not be accepted.
- 4. The contractor agrees to indemnify the District/BOCES for applicable deductibles and self-insured retentions.
- 5. Minimum Required Insurance:
  - a. **Commercial General Liability Insurance**  
\$1,000,000 per Occurrence/\$2,000,000 Aggregate  
\$2,000,000 Products and Completed Operations  
\$1,000,000 Personal and Advertising Injury  
\$100,000 Fire Damage  
\$10,000 Medical Expense  
The general aggregate shall apply on a per-project basis.
  - b. **Owners Contractors Protective (OCP) Insurance**  
For projects less than or equal to \$1,000,000 and/or work on 1 story (10 feet) only;  
\$1,000,000 per occurrence, \$2,000,000 aggregate with the District/BOCES as the Named Insured.  
  
For projects greater than \$1,000,000 and/or work over 1 story (10 feet); \$2,000,000 per occurrence, \$4,000,000 aggregate with the District/BOCES as the Named Insured.  
  
**The OCP Policy must be with a NYS licensed and admitted carrier.**  
  
The District/BOCES will be the Named Insured on OCP Policies. There will be no Additional Insureds on any OCP Policies.
  - c. **Automobile Liability**  
\$1,000,000 combined single limit for owned, hired, borrowed and non-owned motor vehicles.
  - d. **Workers' Compensation and NYS Disability Insurance**  
Statutory Workers' Compensation (C-105.2 or U-26.3); and NYS Disability Insurance (DB-120.1) for all employees. Proof of coverage must be on the approved specific form, as required by the New York State Workers' Compensation Board. ACORD certificates are not acceptable. A person seeking an exemption



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must file a CE-200 Form with the state. The form can be completed and submitted directly to the WC Board online.

e. **Builder's Risk**

Must be purchased and maintained by the Owner to include interest of the Owner, Contractor, Subcontractors and Sub subcontractors jointly. The limit must reflect the total completed value (all material and labor costs) and provide coverage for fire, lightning, explosion, extended coverage, vandalism, malicious mischief, windstorm, hail and/or flood. Coverage will remain in effect until the Owner is the only entity that has an insurable interest in the property.

f. **Umbrella/Excess Insurance**

\$5,000,000 each Occurrence and Aggregate for general construction and no work at elevation (1 story or 10 feet) and project values less than or equal to \$1,000,000.

\$10,000,000 each Occurrence and Aggregate for high-risk construction, work at elevation (>1 story or 10 feet) and project values greater than \$1,000,000.

Umbrella/Excess coverage shall be on a follow-form basis or provide broader coverage over the General Liability and Auto Liability coverages.

6. Contractor acknowledges that failure to obtain such insurance on behalf of the District/BOCES constitutes a material breach of contract and subjects it to liability for damages, indemnification and all other legal remedies available to the District/BOCES. The contractor is to provide the District/BOCES with a certificate of insurance, evidencing the above requirements have been met, prior to the commencement of work. The failure of the District/BOCES to object to the contents of the certificate or the absence of same shall not be deemed a waiver of any rights held by the District/BOCES.
7. **Subcontractors are subject to the same terms and conditions as stated above and must submit same to the District/BOCES for approval prior to the start of any work.**
8. In the event the General Contractor fails to obtain the required certificates of insurance from the Subcontractor and a claim is made or suffered, the General Contractor shall indemnify, defend, and hold harmless the District/BOCES, its Board, employees and volunteers from any and all claims for which the required insurance would have provided coverage. **This indemnity obligation is in addition to any other indemnity obligation provided in the Contract.**



007216.01

## **ADDITIONAL REQUIREMENTS ASBESTOS, LEAD ABATEMENT AND/OR HAZARDOUS MATERIALS**

### **Asbestos/Lead Abatement/Pollution Liability Insurance**

\$2,000,000 per occurrence/\$2,000,000 aggregate, including products and completed operations. Such insurance shall include coverage for the Contractor's operations including, but not limited to, removal, replacement, enclosure, encapsulation and/or disposal of asbestos, or any other hazardous material, along with any related pollution events, including coverage for third-party liability claims for bodily injury, property damage and clean-up costs. If a retroactive date is used, it shall pre-date the inception of the Contract.

If the Contractor is using motor vehicles for transporting hazardous materials, the Contractor shall maintain pollution liability broadened coverage (ISO Endorsement CA 9948 or CA 01 12), as well as proof of MCS 90. Coverage shall fulfill all requirements of these specifications and shall extend for a period of three (3) years following acceptance by the District/BOCES of the Certificate of Completion.

### **Testing Company Errors and Omission Insurance**

\$1,000,000 per occurrence/\$2,000,000 aggregate for the testing and other professional acts of the Contractor performed under the Contract with the District/BOCES.

SECTION 075323 - ETHYLENE-PROPYLENE-DIENE-MONOMER (EPDM) ROOFING  
(FOR PATCHING OF EXISTING ROOFING) – **Addendum 1**

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
  - 1. Ethylene-propylene-diene-monomer (EPDM) roofing system.
  - 2. Roof insulation.

1.3 DEFINITIONS

- A. Roofing Terminology: Definitions in ASTM D 1079 and glossary of NRCA's "The NRCA Roofing and Waterproofing Manual" apply to work of this Section.

1.4 PREINSTALLATION MEETINGS

- A. Preinstallation Roofing Conference: Conduct conference at Project site.
  - 1. Meet with Owner, Architect, Owner's insurer if applicable, testing and inspecting agency representative, roofing Installer, roofing system manufacturer's representative, deck Installer, and installers whose work interfaces with or affects roofing, including installers of roof accessories and roof-mounted equipment.
  - 2. Review methods and procedures related to roofing installation, including manufacturer's written instructions.
  - 3. Review and finalize construction schedule, and verify availability of materials, Installer's personnel, equipment, and facilities needed to make progress and avoid delays.
  - 4. Examine deck substrate conditions and finishes for compliance with requirements, including flatness and fastening.
  - 5. Review structural loading limitations of roof deck during and after roofing.
  - 6. Review base flashings, special roofing details, roof drainage, roof penetrations, equipment curbs, and condition of other construction that affects roofing system.



7. Review governing regulations and requirements for insurance and certificates if applicable.
8. Review temporary protection requirements for roofing system during and after installation.
9. Review roof observation and repair procedures after roofing installation.

#### 1.5 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Shop Drawings: For roofing system. Include plans, elevations, sections, details, and attachments to other work, including:
  1. Base flashings and membrane terminations.
  2. Tapered insulation, including slopes.
  3. Roof plan showing orientation of steel roof deck and orientation of roofing and fastening spacings and patterns for mechanically fastened roofing.
  4. Insulation fastening patterns for corner, perimeter, and field-of-roof locations.
- C. Samples for Verification: For the following products:
  1. Sheet roofing, of color required.

#### 1.6 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For Installer and manufacturer.
- B. Manufacturer Certificates: Signed by roofing manufacturer certifying that roofing system complies with requirements specified in "Performance Requirements" Article.
  1. Submit evidence of complying with performance requirements.
- C. Product Test Reports: For components of roofing system, tests performed by manufacturer and witnessed by a qualified testing agency.
- D. Field quality-control reports.
- E. Sample Warranties: For manufacturer's special warranties.

#### 1.7 CLOSEOUT SUBMITTALS

- A. Maintenance Data: For roofing system to include in maintenance manuals.

## 1.8 QUALITY ASSURANCE

- A. Installer Qualifications: A qualified firm that is approved, authorized, or licensed by roofing system manufacturer to install manufacturer's product and that is eligible to receive manufacturer's special warranty.

## 1.9 DELIVERY, STORAGE, AND HANDLING

- A. Deliver roofing materials to Project site in original containers with seals unbroken and labeled with manufacturer's name, product brand name and type, date of manufacture, approval or listing agency markings, and directions for storing and mixing with other components.
- B. Store liquid materials in their original undamaged containers in a clean, dry, protected location and within the temperature range required by roofing system manufacturer. Protect stored liquid material from direct sunlight.
  - 1. Discard and legally dispose of liquid material that cannot be applied within its stated shelf life.
- C. Protect roof insulation materials from physical damage and from deterioration by sunlight, moisture, soiling, and other sources. Store in a dry location. Comply with insulation manufacturer's written instructions for handling, storing, and protecting during installation.
- D. Handle and store roofing materials, and place equipment in a manner to avoid permanent deflection of deck.

## 1.10 FIELD CONDITIONS

- A. Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit roofing system to be installed according to manufacturer's written instructions and warranty requirements.

## 1.11 WARRANTY

- A. Special Warranty: Manufacturer agrees to repair or replace components of roofing system that fail in materials or workmanship within specified warranty period.
  - 1. Special warranty includes membrane roofing, base flashings, roof insulation, fasteners,] roofing accessories, and other components of roofing system.
  - 2. Warranty Period: 20 years from date of Substantial Completion.

**a. Maintain Pawling Elementary School – 2007 Firestone 20-year Red Shield - Warranty for all roof patching work on the existing elementary school roof.**

- B. Special Project Warranty: Submit roofing Installer's warranty, on warranty form at end of this Section, signed by Installer, covering Work of this Section, including all components of roofing system such as membrane roofing, base flashing, roof insulation, fasteners, cover boards, substrate boards, vapor retarders, roof pavers, and walkway products, for the following warranty period:

1. Warranty Period: Two years from date of Substantial Completion.

## PART 2 - PRODUCTS

### 2.1 MANUFACTURERS

- A. Source Limitations: Obtain components including roof insulation fasteners for roofing system from same manufacturer as membrane roofing.

### 2.2 PERFORMANCE REQUIREMENTS

- A. General Performance: Installed roofing and base flashings shall withstand specified uplift pressures, thermally induced movement, and exposure to weather without failure due to defective manufacture, fabrication, installation, or other defects in construction. Roofing and base flashings shall remain watertight.
1. Accelerated Weathering: Roofing system shall withstand 2000 hours of exposure when tested according to ASTM G 152, ASTM G 154, or ASTM G 155.
  2. Impact Resistance: Roofing system shall resist impact damage when tested according to ASTM D 3746 or ASTM D 4272.
- B. Material Compatibility: Roofing materials shall be compatible with one another and adjacent materials under conditions of service and application required, as demonstrated by roofing manufacturer based on testing and field experience.
- C. Roofing System Design: Provide membrane roofing system that is identical to systems that have been successfully tested by a qualified testing agency to resist uplift pressures
1. **Design Roof system to withstand 90 mph wind uplift for 3 second peak wind gust. Design roof system to exceed roof pressures indicated on structural drawings.**

- D. Exterior Fire-Test Exposure: ASTM E 108 or UL 790, Class A; for application and roof slopes indicated; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.
- E. Reroofing: Recovering or replacing and existing roof covering shall comply with NYS Building Code Section S1510

## 2.3 EPDM ROOFING

- A. EPDM: ASTM D 4637, Type I, nonreinforced, uniform, flexible EPDM sheet.
  - 1. **Basis-of-Design Product:** Subject to compliance with requirements, provide **Firestone Building Products / ELEVATE**; RubberGard EPDM or a comparable product by one of the following:
    - a. **Carlisle SynTec Incorporated.**
    - b. **GenFlex Roofing Systems.**
  - 2. Thickness: **60 mils (1.5 mm)**, nominal.
  - 3. Exposed Face Color: Black.

## 2.4 AUXILIARY ROOFING MATERIALS

- A. General: Auxiliary materials recommended by roofing system manufacturer for intended use and compatible with roofing.
  - 1. Liquid-type auxiliary materials shall comply with VOC limits of authorities having jurisdiction.
- B. Sheet Flashing: **60-mil- (1.5-mm-)** thick EPDM, partially cured or cured, according to application.
- C. Protection Sheet: Epichlorohydrin or neoprene nonreinforced flexible sheet, **55- to 60-mil- (1.4- to 1.5-mm-)** thick, recommended by EPDM manufacturer for resistance to hydrocarbons, non-aromatic solvents, grease, and oil.
- D. Bonding Adhesive: Manufacturer's standard.
- E. Low-Rise, Urethane, Membrane Adhesive: Roof system manufacturer's standard spray-applied, low-rise, two-component urethane adhesive formulated for compatibility with and use at gypsum roof decks.
- F. Seaming Material: Manufacturer's standard, synthetic-rubber polymer primer and **3-inch- (75-mm-)** wide minimum, butyl splice tape with release film.

- G. Lap Sealant: Manufacturer's standard, single-component sealant, colored to match membrane roofing.
- H. Water Cutoff Mastic: Manufacturer's standard butyl mastic sealant.
- I. Metal Termination Bars: Manufacturer's standard, predrilled stainless-steel or aluminum bars, approximately 1 by 1/8 inch (25 by 3 mm) thick; with anchors.
- J. Fasteners: Factory-coated steel fasteners and metal or plastic plates complying with corrosion-resistance provisions in FM Global 4470, designed for fastening membrane to substrate, and acceptable to roofing system manufacturer.
- K. Miscellaneous Accessories: Provide pourable sealers, preformed cone and vent sheet flashings, molded pipe boot flashings, preformed inside and outside corner sheet flashings, reinforced EPDM securement strips, T-joint covers, in-seam sealants, termination reglets, cover strips, and other accessories.

## 2.5 ROOF INSULATION

- A. General: Preformed roof insulation boards manufactured by EPDM roofing manufacturer, selected from manufacturer's standard sizes suitable for application, of thicknesses indicated.
- B. Polyisocyanurate Board Insulation: ASTM C 1289, Type II, Class 1, Grade 2, felt or glass-fiber mat facer on both major surfaces.
  - 1. **Basis-of-Design Product:** Subject to compliance with requirements, provide **Firestone Building Products** ISO 95+ GL Insulation.
- C. Tapered Insulation: Provide factory-tapered insulation boards fabricated to slope of 1/4 inch per 12 inches (1:48) unless otherwise indicated.
  - 1. **Basis-of-Design Product:** Subject to compliance with requirements, provide Firestone Building Products; ISO 95+ GL Insulation.
- D. Provide preformed saddles, crickets, tapered edge strips, and other insulation shapes where indicated for sloping to drain. Fabricate to slopes indicated.

## 2.6 INSULATION ACCESSORIES

- A. General: Roof insulation accessories recommended by insulation manufacturer for intended use and compatibility with roofing.



- B. Fasteners: Factory-coated steel fasteners and metal or plastic plates complying with corrosion-resistance provisions in FM Global 4470, designed for fastening roof insulation to substrate, and acceptable to roofing system manufacturer.
- C. Insulation Adhesive: Insulation manufacturer's recommended adhesive formulated to attach roof insulation to substrate or to another insulation layer as follows:
  - 1. Full-spread spray-applied, low-rise, two-component urethane adhesive.

## 2.7 WALKWAYS

- A. Flexible Walkways: Factory-formed, nonporous, heavy-duty, solid-rubber, slip-resisting, surface-textured walkway pads or rolls, approximately **3/16 inch (5 mm)** thick and acceptable to roofing system manufacturer.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements and other conditions affecting performance of the Work:
  - 1. Verify that roof openings and penetrations are in place, curbs are set and braced, and roof-drain bodies are securely clamped in place.
  - 2. Verify that wood blocking, curbs, and nailers are securely anchored to roof deck at penetrations and terminations and that nailers match thicknesses of insulation.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 PREPARATION

- A. Clean substrate of dust, debris, moisture, and other substances detrimental to roofing installation according to roofing system manufacturer's written instructions. Remove sharp projections.
- B. Prevent materials from entering and clogging roof drains and conductors and from spilling or migrating onto surfaces of other construction. Remove roof-drain plugs when no work is taking place or when rain is forecast.

### 3.3 ROOFING INSTALLATION, GENERAL

- A. Install roofing system according to roofing system manufacturer's written instructions.

- B. Complete terminations and base flashings and provide temporary seals to prevent water from entering completed sections of roofing system at the end of the workday or when rain is forecast. Remove and discard temporary seals before beginning work on adjoining roofing.
- C. Install roofing and auxiliary materials to tie in to existing roofing to maintain weathertightness of transition.

### 3.4 INSULATION INSTALLATION

- A. Coordinate installing roofing system components so insulation is not exposed to precipitation or left exposed at the end of the workday.
- B. Comply with roofing system and insulation manufacturer's written instructions for installing roof insulation.
- C. Install tapered insulation under area of roofing to conform to slopes indicated.
- D. Install insulation under area of roofing to achieve required thickness. Where overall insulation thickness is 2.7 inches (68 mm) or greater, install two or more layers with joints of each succeeding layer staggered from joints of previous layer a minimum of 6 inches (150 mm) in each direction.
  - 1. Where installing composite and noncomposite insulation in two or more layers, install noncomposite board insulation for bottom layer and intermediate layers, if applicable, and install composite board insulation for top layer.
- E. Trim surface of insulation where necessary at roof drains so completed surface is flush and does not restrict flow of water.
- F. Install insulation with long joints of insulation in a continuous straight line with end joints staggered between rows, abutting edges and ends between boards. Fill gaps exceeding 1/4 inch (6 mm) with insulation.
  - 1. Cut and fit insulation within 1/4 inch (6 mm) of nailers, projections, and penetrations.
- G. Adhered Insulation: Install each layer of insulation and adhere to substrate as follows:
  - 1. Set each layer of insulation in a uniform coverage of full-spread insulation adhesive, firmly pressing and maintaining insulation in place.
- H. Mechanically Fastened Insulation: Install each layer of insulation and secure to deck using mechanical fasteners specifically designed and sized for fastening specified board-type roof insulation to deck type.

1. Fasten insulation according to requirements in FM Global's "RoofNav" for specified Windstorm Resistance Classification.
2. Fasten insulation to resist uplift pressure at corners, perimeter, and field of roof.
3. Low-rise foam adhesive, recommended by roofing manufacturer, shall be used at existing gypsum deck areas in lieu of mechanical fasteners. Insulation adhesion to resist uplift pressure at corners, perimeter and field of roof.

### 3.5 ADHERED MEMBRANE ROOFING INSTALLATION

- A. Adhere roofing over area to receive roofing according to membrane roofing system manufacturer's written instructions. Unroll membrane roofing and allow to relax before installing.
- B. Start installation of roofing in presence of roofing system manufacturer's technical personnel.
- C. Accurately align roofing, and maintain uniform side and end laps of minimum dimensions required by manufacturer. Stagger end laps.
- D. Bonding Adhesive: Apply to substrate and underside of roofing at rate required by manufacturer, and allow to partially dry before installing roofing. Do not apply to splice area of roofing.
- E. In addition to adhering, mechanically fasten roofing securely at terminations, penetrations, and perimeters.
- F. Apply roofing with side laps shingled with slope of roof deck where possible.
- G. Adhesive Seam Installation: Clean both faces of splice areas, apply splicing cement, and firmly roll side and end laps of overlapping roofing according to manufacturer's written instructions to ensure a watertight seam installation. Apply lap sealant and seal exposed edges of roofing terminations.
  1. Apply a continuous bead of in-seam sealant before closing splice if required by roofing system manufacturer.
- H. Repair tears, voids, and lapped seams in roofing that do not comply with requirements.
- I. Spread sealant or mastic bed over deck-drain flange at roof drains, and securely seal membrane roofing in place with clamping ring.
- J. Adhere protection sheet over membrane roofing at locations indicated.

### 3.6 BASE FLASHING INSTALLATION

- A. Install sheet flashings and preformed flashing accessories, and adhere to substrates according to roofing system manufacturer's written instructions.
- B. Apply bonding adhesive to substrate and underside of sheet flashing at required rate, and allow to partially dry. Do not apply to seam area of flashing.
- C. Flash penetrations and field-formed inside and outside corners with cured or uncured sheet flashing.
- D. Clean splice areas, apply splicing cement, and firmly roll side and end laps of overlapping sheets to ensure a watertight seam installation. Apply lap sealant and seal exposed edges of sheet flashing terminations.
- E. Terminate and seal top of sheet flashings and mechanically anchor to substrate through termination bars.

### 3.7 WALKWAY INSTALLATION

- A. Flexible Walkways: Install walkway products in locations indicated, at roof access and perimeter of roof top mechanical equipment. Adhere walkway products to substrate with compatible adhesive according to roofing system manufacturer's written instructions.

### 3.8 FIELD QUALITY CONTROL

- A. Final Roof Inspection: Arrange for roofing system manufacturer's technical personnel to inspect roofing installation on completion.
- B. Repair or remove and replace components of roofing system where inspections indicate that they do not comply with specified requirements.
- C. Additional testing and inspecting, at Contractor's expense, will be performed to determine if replaced or additional work complies with specified requirements.

### 3.9 PROTECTING AND CLEANING

- A. Protect membrane roofing system from damage and wear during remainder of construction period. When remaining construction does not affect or endanger roofing, inspect roofing for deterioration and damage, describing its nature and extent in a written report, with copies to Architect and Owner.

- B. Correct deficiencies in or remove membrane roofing system that does not comply with requirements, repair substrates, and repair or reinstall membrane roofing system to a condition free of damage and deterioration at time of Substantial Completion and according to warranty requirements.
- C. Clean overspray and spillage from adjacent construction using cleaning agents and procedures recommended by manufacturer of affected construction.



### 3.10 ROOFING INSTALLER'S WARRANTY

- A. WHEREAS \_\_\_\_\_ of \_\_\_\_\_, herein called the "Roofing Installer," has performed roofing and associated work ("work") on the following project:
1. Owner: Greater Johnstown School District.
  2. Address: 1 Sir Bills Circle, Johnstown, NY 12095.
  3. Building Name/Type: **<Insert information>**.
  4. Address: **<Insert address>**.
  5. Area of Work: **<Insert information>**.
  6. Acceptance Date: \_\_\_\_\_.
  7. Warranty Period: **<Insert time>**.
  8. Expiration Date: \_\_\_\_\_.
- B. AND WHEREAS Roofing Installer has contracted (either directly with Owner or indirectly as a subcontractor) to warrant said work against leaks and faulty or defective materials and workmanship for designated Warranty Period,
- C. NOW THEREFORE Roofing Installer hereby warrants, subject to terms and conditions herein set forth, that during Warranty Period he will, at his own cost and expense, make or cause to be made such repairs to or replacements of said work as are necessary to correct faulty and defective work and as are necessary to maintain said work in a watertight condition.
- D. This Warranty is made subject to the following terms and conditions:
1. Specifically excluded from this Warranty are damages to work and other parts of the building, and to building contents, caused by:
    - a. Lightning;
    - b. Peak gust wind speed exceeding 90 mph (m/sec);
    - c. Fire;
    - d. Failure of roofing system substrate, including cracking, settlement, excessive deflection, deterioration, and decomposition;
    - e. Faulty construction of parapet walls, copings, chimneys, skylights, vents, equipment supports, and other edge conditions and penetrations of the work;
    - f. Vapor condensation on bottom of roofing; and

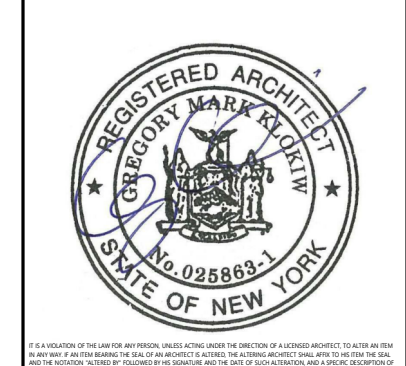
- g. Activity on roofing by others, including construction contractors, maintenance personnel, other persons, and animals, whether authorized or unauthorized by Owner.
2. When work has been damaged by any of foregoing causes, Warranty shall be null and void until such damage has been repaired by Roofing Installer and until cost and expense thereof have been paid by Owner or by another responsible party so designated.
3. Roofing Installer is responsible for damage to work covered by this Warranty but is not liable for consequential damages to building or building contents resulting from leaks or faults or defects of work.
4. During Warranty Period, if Owner allows alteration of work by anyone other than Roofing Installer, including cutting, patching, and maintenance in connection with penetrations, attachment of other work, and positioning of anything on roof, this Warranty shall become null and void on date of said alterations, but only to the extent said alterations affect work covered by this Warranty. If Owner engages Roofing Installer to perform said alterations, Warranty shall not become null and void unless Roofing Installer, before starting said work, shall have notified Owner in writing, showing reasonable cause for claim, that said alterations would likely damage or deteriorate work, thereby reasonably justifying a limitation or termination of this Warranty.
5. During Warranty Period, if original use of roof is changed and it becomes used for, but was not originally specified for, a promenade, work deck, spray-cooled surface, flooded basin, or other use or service more severe than originally specified, this Warranty shall become null and void on date of said change, but only to the extent said change affects work covered by this Warranty.
6. Owner shall promptly notify Roofing Installer of observed, known, or suspected leaks, defects, or deterioration and shall afford reasonable opportunity for Roofing Installer to inspect work and to examine evidence of such leaks, defects, or deterioration.
7. This Warranty is recognized to be the only warranty of Roofing Installer on said work and shall not operate to restrict or cut off Owner from other remedies and resources lawfully available to Owner in cases of roofing failure. Specifically, this Warranty shall not operate to relieve Roofing Installer of responsibility for performance of original work according to requirements of the Contract Documents, regardless of whether Contract was a contract directly with Owner or a subcontract with Owner's General Contractor.

E. IN WITNESS THEREOF, this instrument has been duly executed this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

1. Authorized Signature: \_\_\_\_\_.
2. Name: \_\_\_\_\_.
3. Title: \_\_\_\_\_.

END OF SECTION 075323

## Project Title



1	11/17/2023	Bid Addendum 1			
	DATE	DESCRIPTION			

<b>Drawn By:</b>	MK/JM
<b>Checked By:</b>	PN
<b>Proj. #:</b>	13-12-01-04-0-001-Q24
<b>CSArch Proj. #:</b>	208-2101-03
<b>Issued for Bid:</b>	11/1/2023

Sheet Title

PARTIAL  
LOWER LEVEL  
DEMOLITION  
PLAN - AREA  
'1'

Sheet No. PES  
AD101

1. COORDINATE ALL REMOVALS WITH NEW CONSTRUCTION.
2. PATCH AND REPLACE EXISTING AND NEWLY CREATED HOLES IN WALLS (DUE TO REMOVAL) WITH MATERIALS TO MATCH EXISTING CONSTRUCTION.
3. SALVAGED ITEMS SHALL BE TURNED OVER TO OWNER, UNLESS OTHERWISE SPECIFIED.
4. ALL KEYED REMOVALS SHALL INCLUDE REMOVAL OF ANY AND ALL ANCHORING SYSTEMS INCLUDING OBJECTS EMBEDDED INTO EXISTING WALLS.
5. REFER TO ASBESTOS AND MEP DRAWINGS FOR ALL REMOVAL INFORMATION.
6. PROVIDE TEMPORARY BRACING AS NECESSARY AT ALL AREAS OF WALL REMOVAL AND NEW WALL PENETRATIONS.
7. DRILL CORNERS OF ALL NEW SAWCUT OPENING PRIOR TO SAWCUTTING TO PREVENT CUTTING INTO SCHEDULED CONSTRUCTION TO REMAIN.

#	DESCRIPTION
A1	REMOVE WALL MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO ALL WHITEBOARDS, CHALKBOARDS, GATE RACKS, TACKBOARDS, PROJECTION SCREENS, PROJECTORS, PROJECTOR PLAYS, WALL PADDING, FLAT BRACKETS, DISPLAY CASES, GOGGLES, CABINETS, FIRE EXTINGUISHERS, AND MAP ROLLS. COORDINATE WITH ME IF DRAWINGS FOR ADDITIONAL REMOVALS. PATCH REMOVAL AREAS. CONSTRUCTIONS AS REQUIRED TO MATCH EXISTING ARCHITECTURE. REFER TO EXISTING CHALKBOARD REMOVAL. REFER TO 'AS' DRAWINGS.
A2	REMOVE CASEWORK IN ITS ENTIRETY, INCLUDING ALL BLOCKING, FASTENERS, TRIM AND BASE. REFER TO 'E' AND 'F' DRAWINGS FOR ADDITIONAL REMOVALS.
A6	REMOVE NOOD CHAIR RAIL, TRIM IN ITS ENTIRETY, INCLUDING ALL ASSOCIATED FASTENERS, ETC.
A8	REMOVE AND SALVAGE EXISTING ACOUSTICAL WALL PANELS FOR REINSTALLATION. COORDINATE WITH NEW WORK.
A54	REMOVE AND SALVAGE EXISTING WALL BOXES, INCLUDING ANY BLOCKING AND FASTENERS. PATCH AND PAINT WALL AS NECESSARY. COORDINATE WITH NEW WORK 1/4 101 FOR REINSTALLATION.
D1	REMOVE DOOR, HARDWARE, AND FRAME IN ITS ENTIRETY.
D4	REMOVE OVERHEAD DOOR, HARDWARE, AND FRAME IN ITS ENTIRETY.
F30	REMOVE REFINISHING OR FINISH INCLUDING ALL ADHESIVES, TO SLAB BELOW. REMOVE RUBBER BASE.
F30	SAVING AND REMOVE PORTION OF EXISTING CONCRETE SLAB TO EXPOSE REINFORCING AND/OR INSTALL NEW PIPING. PROVIDE NEW CONCRETE ON COMPLETION OF PLUMBING WORK. COORDINATE WITH NEW PIPING.
G2	REMOVE WINDOW SYSTEM IN ITS ENTIRETY INCLUDING ALL SILLS, FLASHING AND FASTENERS.
G2	REMOVE WINDOW SYSTEM IN ITS ENTIRETY. EXISTING WINDOW SILLS AND STOOLES TO REMAIN. REMOVE EXISTING WINDOW WINDOW TRIM FOR REINSTALLATION.
M1	MECHANICAL EQUIPMENT REMOVAL. REFER TO 'F' DRAWINGS.
M2	REMOVE PLUMBING FIXTURE/EQUIPMENT. REFER TO 'F' DRAWINGS.
N2	SAVING AND REMOVE MASONRY WALL TO EXTENT SHOWN. COORDINATE REMOVAL WITH NEW WORK.
N4	STUD/DRIB PARTITION TO EXTENT SHOWN. COORDINATE REMOVAL WITH NEW WORK.
N4	REMOVE PORTION OF STUD PARTITION TO EXTENT SHOWN. COORDINATE REMOVAL WITH NEW WORK.

A site plan diagram showing four distinct areas labeled AREA '1', AREA '2', AREA '3', and AREA '4'. AREA '1' is a shaded grey polygon at the bottom center. AREA '2' is a white polygon to the right of AREA '1'. AREA '3' is a white polygon to the right of AREA '2'. AREA '4' is a white polygon to the left of AREA '2'. A north arrow is located in the bottom left corner of the plan.

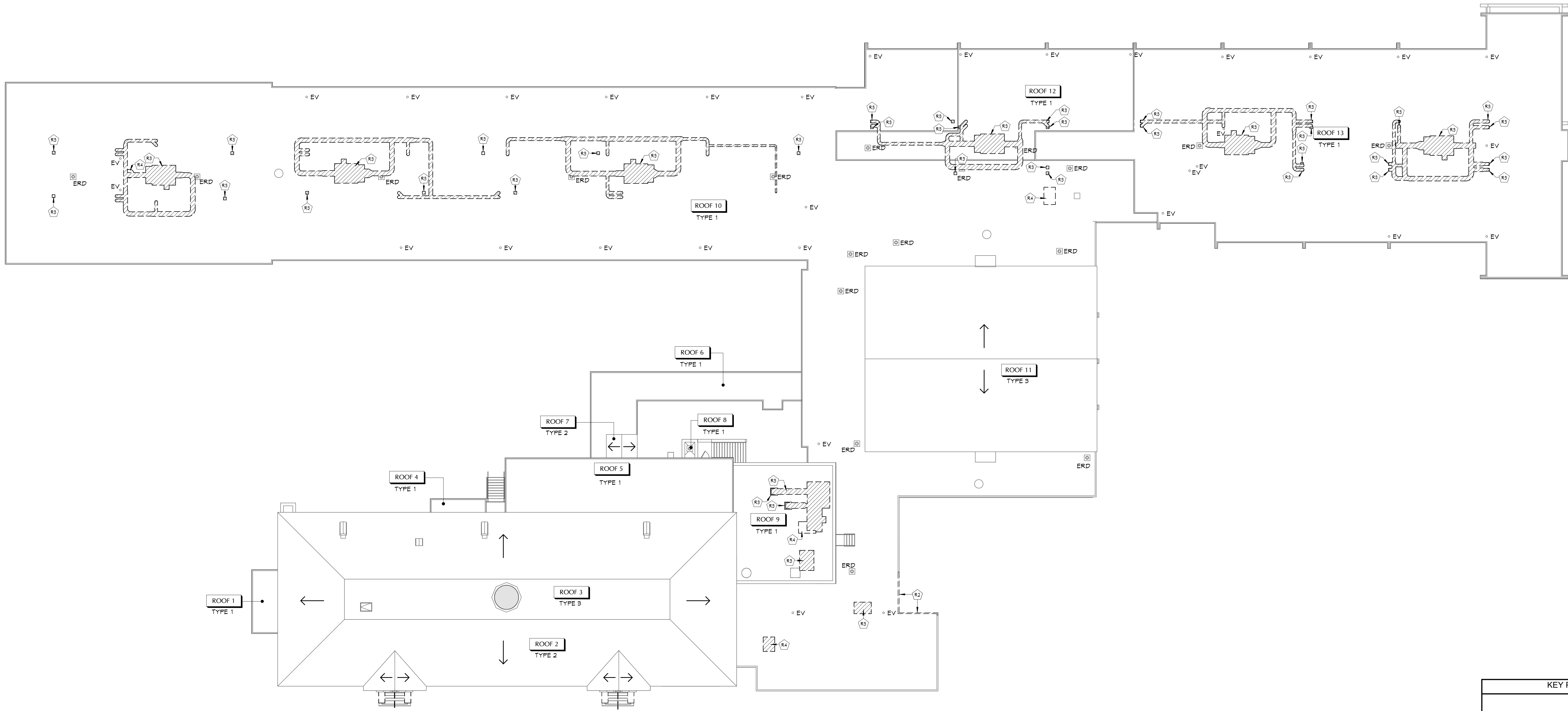








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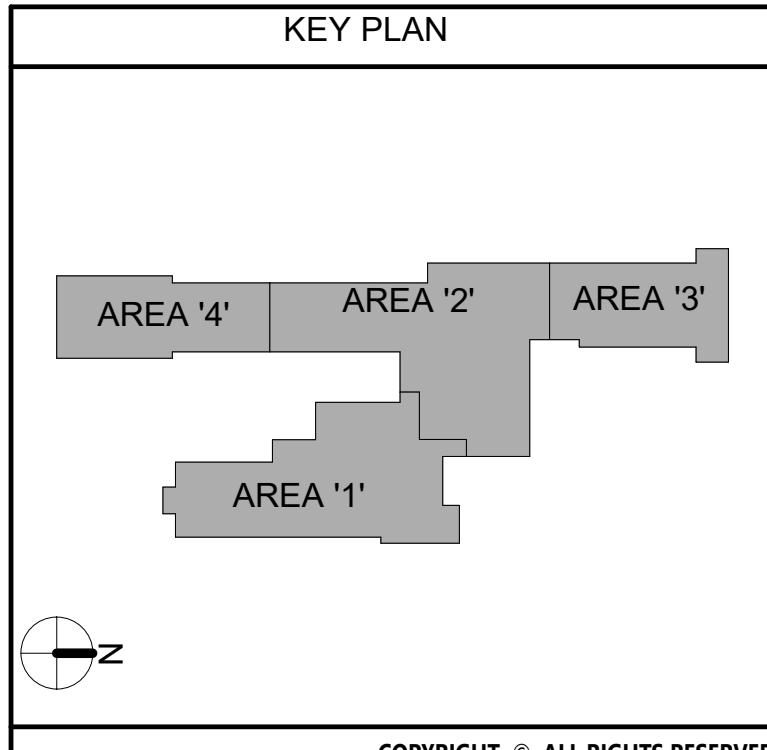
1 OVERALL DEMO ROOF PLAN  
AD401 1/16" = 1'-0"

KEY NOTES	
#	DESCRIPTION
R2	REMOVE ALUMINUM ROOF EDGE AND ASSOCIATED FASCIA BOARDS. COORDINATE WITH NEW WORK.
R3	PROVIDE CUT-OUT IN ROOF DECK FOR DUCTWORK. PENETRATIONS, COORDINATE LOCATIONS WITH NEW WORK AND MECHANICALS. PROVIDE SUPPLEMENTAL STEEL FRAMING AS REQUIRED. REFER TO 'S' DRAWINGS.
R4	REMOVE EXHAUST FAN AND ASSOCIATED CURB. COORDINATE WITH 'M' DRAWINGS.

ROOF REMOVAL NOTES	
1.	EXISTING CURBS, VENTS, DRAINS AND OTHER PENETRATIONS AND LOCATIONS TO REMAIN ARE APPROXIMATE. VERIFY IN FIELD AND COORDINATE AS REQUIRED.
2.	INFILL ALL OPENINGS LEFT AFTER MECHANICAL EQUIPMENT REMOVALS.
3.	COORDINATE ALL REMOVALS WITH MEP DRAWINGS.
4.	COORDINATE ALL REMOVALS WITH NEW CONSTRUCTION.
5.	COORDINATE ALL ROOF REMOVALS AND NEW WORK WITH ASBESTOS ABATEMENT DRAWINGS.
6.	REFER TO AND COORDINATE WITH EXISTING ROOF SYSTEM WARRANTIES FOR ADJACENT ROOF AREAS NEEDING PROTECTION DURING REMOVALS OR AREAS OF ROOF SYSTEM PATCHING, IN ORDER TO PRESERVE CURRENT WARRANTIES IN-PLACE. COORDINATE WITH EXISTING ROOF SYSTEM MANUFACTURERS DIRECTIONS.

EXISTING ROOF CONST.	
ROOF TYPE 1 - EXISTING CONSTRUCTION	
1.	EXISTING EPDM MEMBRANE
2.	EXISTING ROOF INSULATION
3.	GYPSUM ROOF DECK
ROOF TYPE 2 - EXISTING CONSTRUCTION	
1.	EXISTING SLATE SHINGLE
2.	EXISTING WOOD SHEATHING/DECKING
3.	EXISTING WOOD RAFTER FRAMING
ROOF TYPE 3 - EXISTING CONSTRUCTION	
1.	EXISTING EPDM MEMBRANE
2.	EXISTING WOOD SHEATHING/DECKING
3.	EXISTING WOOD RAFTER FRAMING

ROOF LEGEND	
ERD	EXISTING ROOF DRAIN
ESG	EXISTING ROOF SCUPPER
EV	EXISTING VENT PIPE
EP	EXISTING ROOF PENETRATIONS
EAH	EXISTING ROOF ACCESS HATCH
ES	EXISTING SKYLIGHT
→	INDICATES DIRECTION OF SLOPE AT 1/4" PER FOOT MINIMUM UNO
EL	EXISTING ROOF LADDER
EJ	EXPANSION JOINT
AREA	AREA OF ROOF CONSTRUCTION REMOVAL

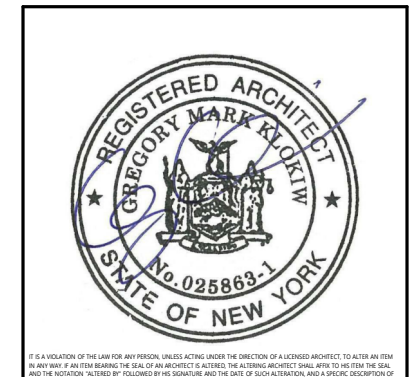


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PAWLING CENTRAL SCHOOL DISTRICT  
PAWLING ELEMENTARY SCHOOL  
2020 CAPITAL PROJECT - PHASE 3



1	11/17/2023	REV	DESCRIPTION
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Sheet Title  
ROOF DEMOLITION PLAN  
Sheet No.  
PES  
AD401  
CONSTRUCTION DOCUMENTS

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1 LOWER LEVEL DEMO RCP - AREA 1  
AD801 1/8" = 1'-0"

## GENERAL NOTES

- COORDINATE ALL REMOVALS WITH NEW CONSTRUCTION.
- PATCH AND REPLACE EXISTING AND NEWLY CREATED HOLES IN WALLS (DUE TO REMOVAL) WITH MATERIALS TO MATCH EXISTING CONSTRUCTION.
- SALVAGED ITEMS SHALL BE TURNED OVER TO OWNER, UNLESS OTHERWISE NOTED.
- ALL KEYED REMOVALS SHALL INCLUDE REMOVAL OF ANY AND ALL ANCHORING SYSTEMS INCLUDING OBJECTS EMBEDDED INTO EXISTING WALLS.
- REFER TO ASBESTOS AND MEP DRAWINGS FOR ADDITIONAL REMOVAL INFORMATION.
- PROVIDE TEMPORARY SHORING AS NECESSARY AT ALL AREAS OF WALL REMOVAL AND NEW WALL PENETRATIONS.
- DRAW CORNERS OF ALL NEW SAWCUT OPENINGS PRIOR TO SAWCUTTING, TO PREVENT CUTTING INTO SCHEDULED CONSTRUCTION TO REMAIN.

## CEILING LEGEND

HALFTONE CELINGS ARE EXISTING TO REMAIN, UNLESS OTHERWISE NOTED.

ETR EXISTING TO REMAIN

## KEY NOTES

#	DESCRIPTION
C1	REMOVE EXISTING SUSPENDED CEILING SYSTEM IN ITS ENTIRETY, INCLUDING ALL HANGERS AND FASTENERS. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR OTHER REMOVALS.
C2	REMOVE EXISTING PLASTER AND/OR GNB CEILING SYSTEM, INCLUDING ALL FRAMING. COORDINATE WITH MEP DRAWINGS FOR OTHER REMOVALS.
C4	REMOVE 1 SALVAGE SUSPENDED CEILING AREA AS REQUIRED FOR NEW MECHANICAL INSTALLATIONS.
C6	REMOVE 1X1 CONCEALED SPLINE CEILING SYSTEM IN ITS ENTIRETY INCLUDING ALL HANGERS AND FASTENERS. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR OTHER REMOVALS.



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## PAWLING CENTRAL SCHOOL DISTRICT PAWLING ELEMENTARY SCHOOL 2020 CAPITAL PROJECT - PHASE 3

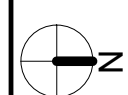
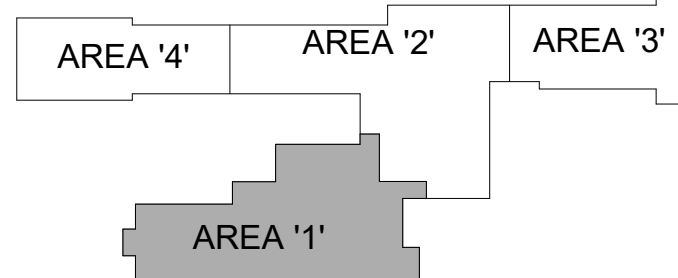
Project Title



DATE	DESCRIPTION
11/17/2023	REV Addition 1

Drawn By:	MK/AM
Checked By:	PN
Proj. #:	13-12-01-84-0-001-024
CSArch Proj. #:	208-2101.03
Issued for Bid:	11/17/2023

## KEY PLAN



Sheet Title

PARTIAL  
LOWER LEVEL  
DEMOLITION  
RCP - AREA '1'

Sheet No.

PES  
AD801


CONSTRUCTION DOCUMENTS

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## Project Title



1	11/17/2023	Bid Addendum 1			
	DATE	DESCRIPTION			
<b>Drawn By:</b>					MK/JM
<b>Checked By:</b>					PN
<b>Proj. #:</b>					13-12-01-04-0-001-024
<b>CSArch Proj. #:</b>					208-2101-03
<b>Issued for Bid:</b>					11/1/2023

Sheet Title

PARTIAL  
SECOND  
FLOOR DEMO.  
RCP PLAN -  
AREA '1'

Sheet No. PES  
AD821

**CONSTRUCTION DOCUMENTS**

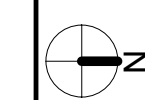
1. COORDINATE ALL REMOVALS WITH NEW CONSTRUCTION.
2. PATCH AND REPLACE EXISTING AND NEWLY CREATED HOLES IN WALLS (DUE TO REMOVAL) WITH MATERIALS TO MATCH EXISTING CONSTRUCTION.
3. SALVAGED ITEMS SHALL BE TURNED OVER TO OWNER, UNLESS OTHERWISE SPECIFIED.
4. ALL KEYED REMOVALS SHALL INCLUDE REMOVAL OF ANY AND ALL ANCHORING SYSTEMS INCLUDING OBJECTS EMBEDDED INTO EXISTING WALLS.
5. REFER TO ASBESTOS AND MEP DRAWINGS FOR ADDITIONAL REMOVAL INFORMATION.
6. FIELD TEMPORARY BRACING IS NECESSARY AT ALL AREAS OF WALL REMOVAL AND NEW WALL PENETRATIONS.
7. DRILL CORNER OF ALL NEW SAVCUT OPENING PRIOR TO SAVCUTTING TO PREVENT CUTTING INTO SCHEDULED CONSTRUCTION TO REMAIN.

	HALFTONE CEILINGS ARE EXISTING TO REMAIN, U.N.O.
ETR	EXISTING TO REMAIN

#	DESCRIPTION
C9	REMOVE AND SALVAGE A PORTION OF SUSPENDED CEILING SYSTEM, GRID AND TILE, AS REQUIRED FOR ABOVE CEILING ACCESS TO MECHANICAL EQUIPMENT REPLACEMENT. COORDINATE WITH M'DWGS.
C19	REMOVE EXISTING SUSPENDED CEILING SYSTEM TO THE EXTENT SHOWN, INCLUDING ALL HANGERS AND FASTERS. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR OTHER REMOVALS.



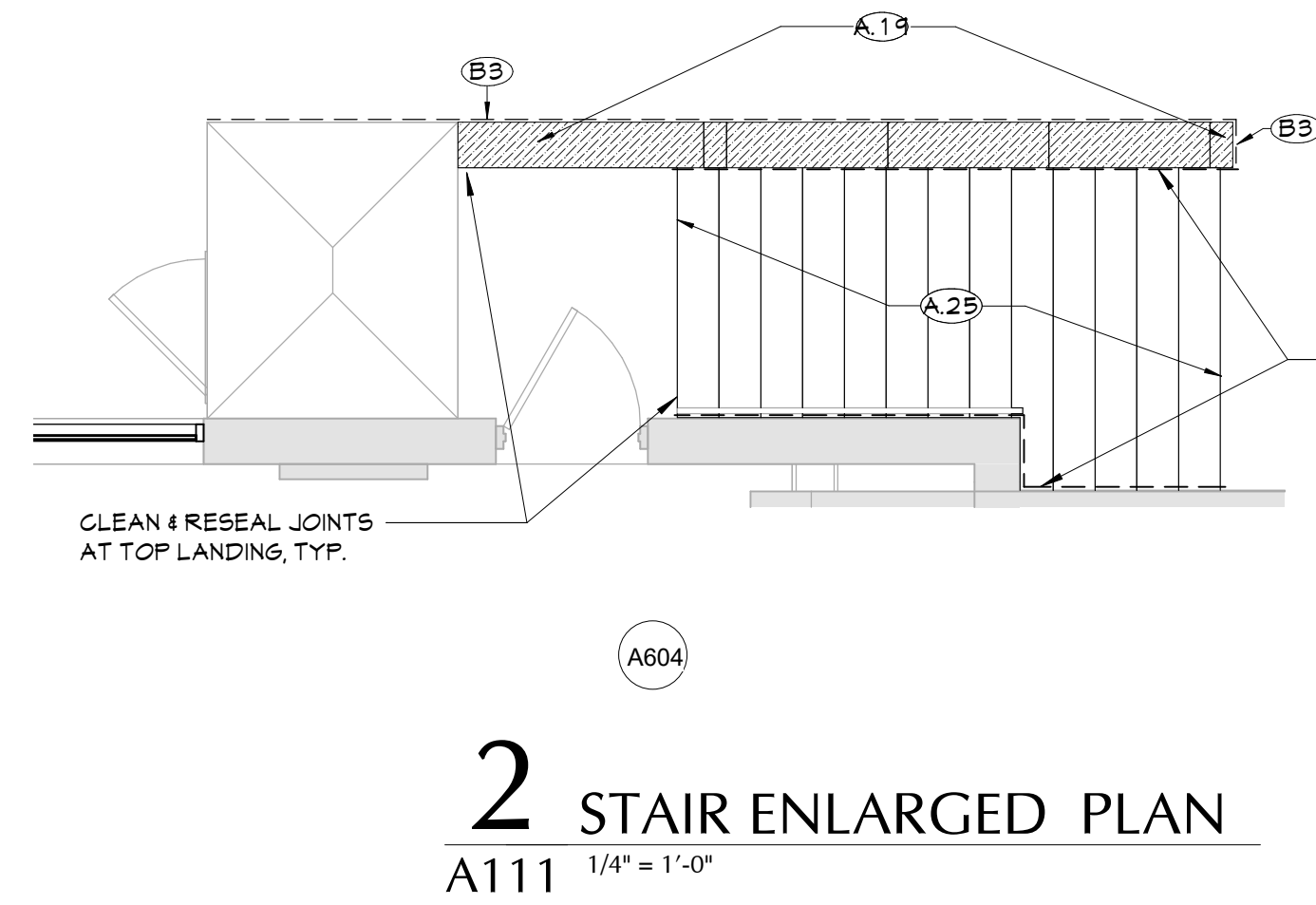
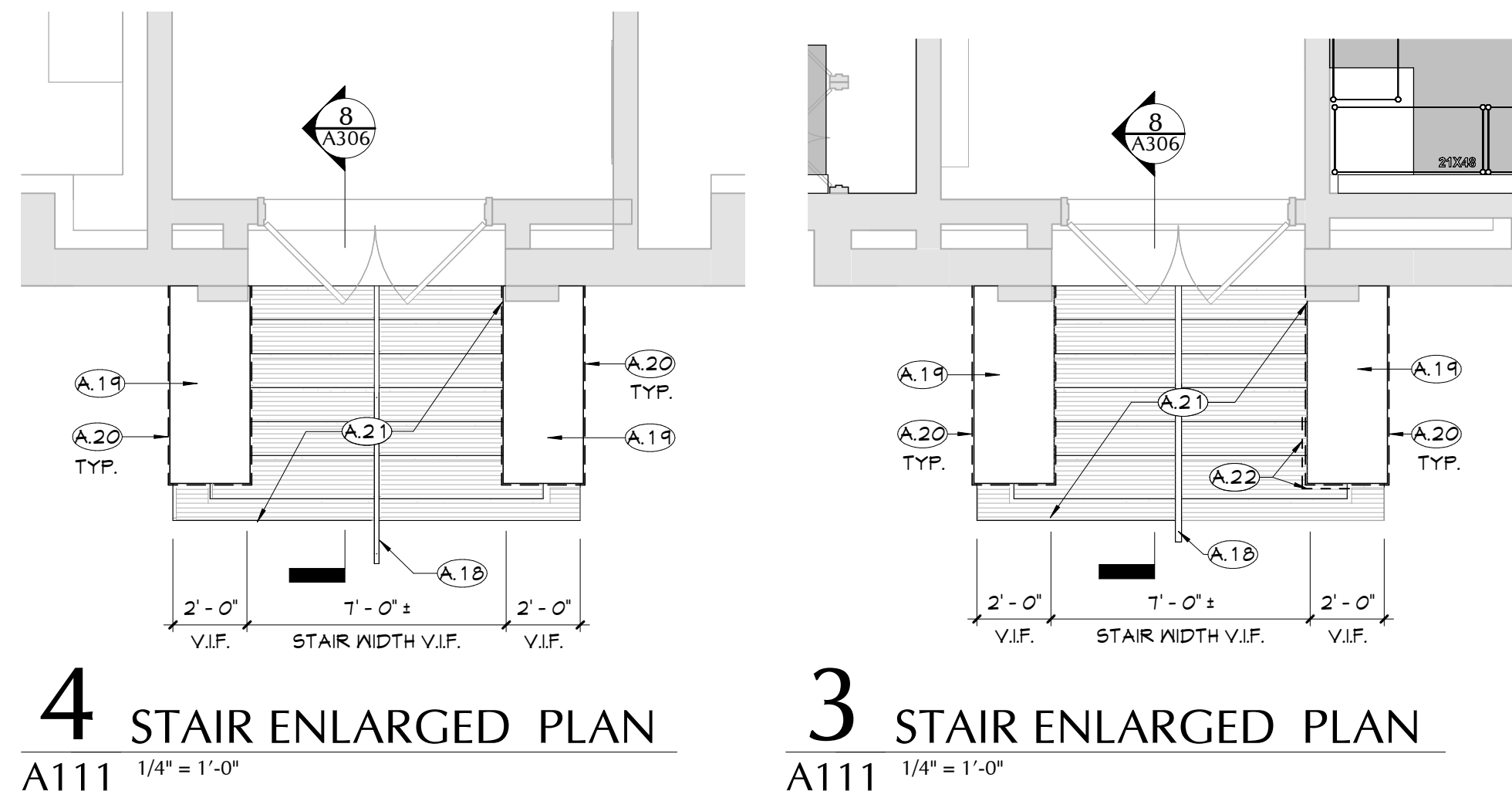
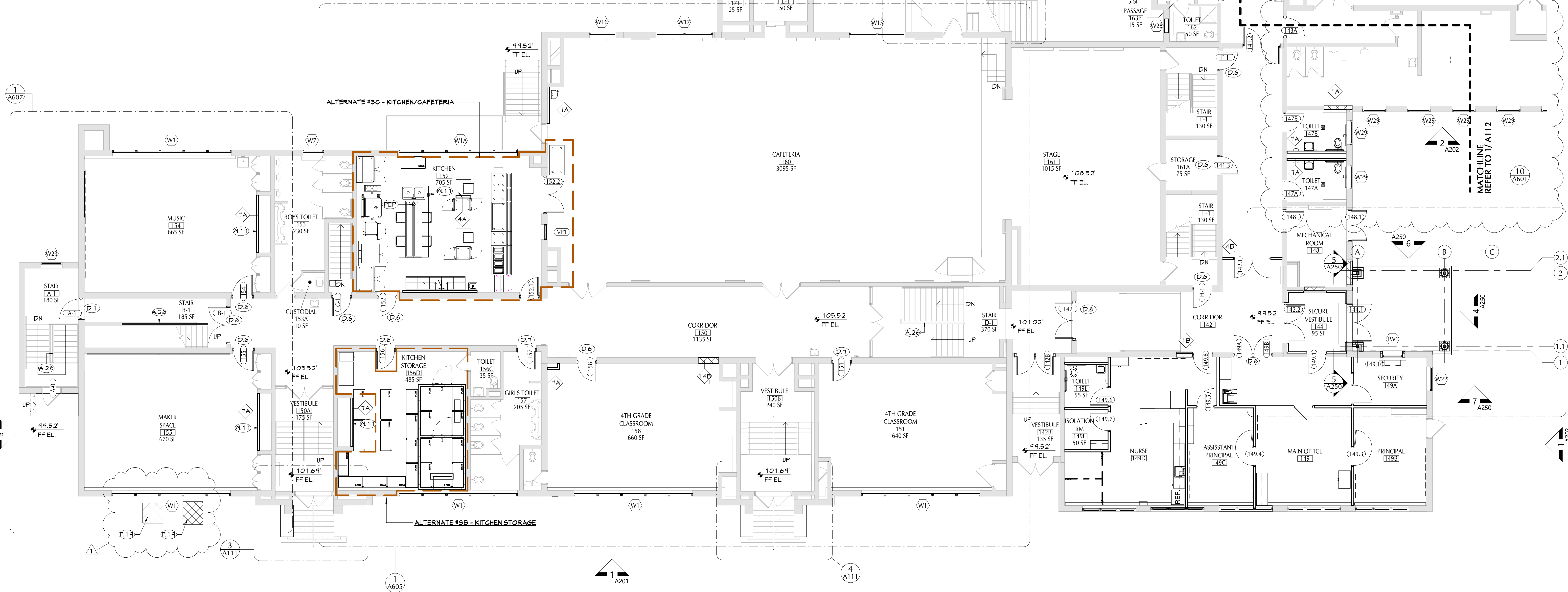
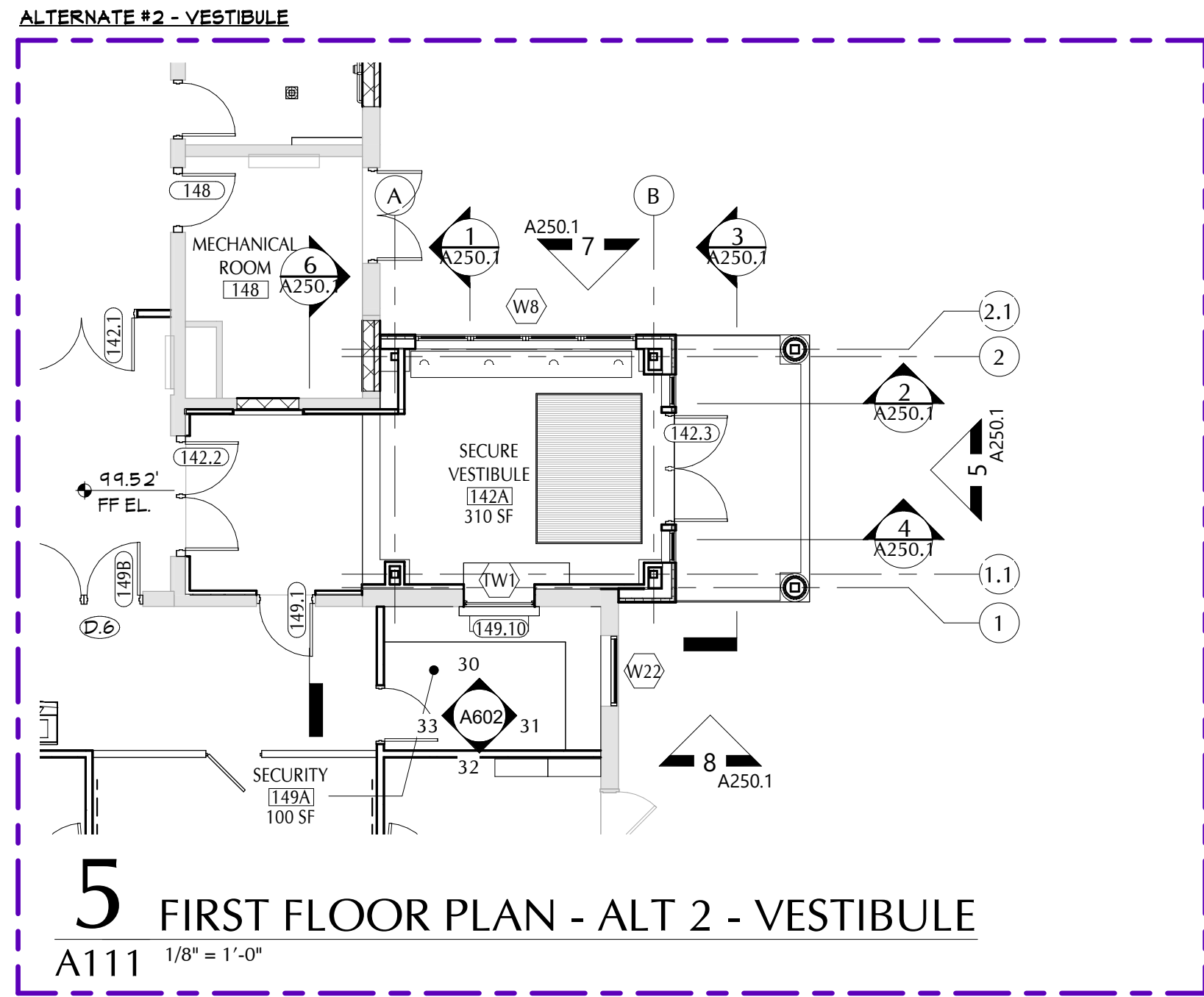
The diagram shows four rectangular areas labeled AREA '1', AREA '2', AREA '3', and AREA '4'. AREA '1' is a dark grey rectangle at the bottom left. AREA '2' is a white rectangle to the right of AREA '1'. AREA '3' is a white rectangle to the right of AREA '2'. AREA '4' is a white rectangle to the left of AREA '2'. The areas are arranged in a grid-like structure with some overlapping and irregular borders.



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GENERAL NOTES	
1. REFER TO SHEET 2-6001 FOR ADDITIONAL GENERAL NOTES.	
KEY NOTES	
#	DESCRIPTION
A18	CLEAN AND RESET SALVAGED HANDRAIL, SET IN GROUT. HANDRAIL TO BE PAINTED.
A19	CLEAN AND RESET SALVAGED BLUESTONE GAP STONES.
A20	PARGE AND SEAL ALL EXPOSED CONCRETE SIDES OF CHEEK WALL.
A21	UPON COMPLETION OF REMOVAL SCOPE, RE-FORM AND POUR NEW CONCRETE STEP. INSTALL FULL WIDTH TREADS WITH AN ABRASIVE FINISH AT EACH STEP.
A22	UPON COMPLETION OF REMOVAL SCOPE, RE-FORM AND POUR NEW CONCRETE AT THE BOTTOM FACE OF EXISTING CHEEK WALL. AT ALL EXPOSED RUSTED BARS, PROVIDE RUST INHIBITOR PRIMER.
A25	CLEAN, RESEAL AND REINSTALL SALVAGED STONE STEPS IN NEW MORTAR BED. REPLACE BROKEN BRICK RISERS, RAKE AND REPOINT.
A26	PROVIDE GUARDRAIL EXTENSION, TOP OF RAIL TO BE 42" PER CODE.
B3	REPLACE BROKEN BRICKS, RAKE AND REPOINT EXISTING BRICK.
D1	PROVIDE NEW WOOD GRAIN HOLLOW METAL DOOR, HARDWARE, AND HOLLOW METAL FRAME.
D6	PROVIDE NEW WOOD GRAIN HOLLOW METAL DOOR, HARDWARE. PROVIDE NEW HOLLOW METAL FRAME. REINSTALL SALVAGED WOOD DOOR HEAD AND JAMB TRIM WITH NEW WOOD BLOCKING AND TYPE X GNB ONCE THE NEW DOOR IS INSTALLED.
D7	PROVIDE NEW WOOD GRAIN HOLLOW METAL DOOR, HARDWARE. PROVIDE NEW HOLLOW METAL FRAME. REINSTALL SALVAGED WOOD DOOR HEAD AND JAMB TRIM WITH NEW WOOD BLOCKING AND TYPE X GNB ONCE THE NEW DOOR IS INSTALLED. PROVIDE NEW TYPE X GNB AT THE CORRIDOR SIDE OF THE EXISTING WOOD TRANSOM TO REMAIN.
F1.1	PROVIDE NEW 5" THICK CONCRETE SLAB ON CLEAN BACKFILL, COMPACTED TO 95% STANDARD PROCTOR. LOCATE BEHIND EXISTING VEGETATION, PROTECT SHRUBS.
PEP	PAINT AND INSULATE EXPOSED PIPE, MODIFY THE SERVING TABLES SURROUNDING IT TO FIT AROUND IT.
PL11	PROVIDE NEW METAL STUD WALL CONSTRUCTION UPON COMPLETION OF MECHANICAL EQUIPMENT INSTALL. PROVIDE PLASTER FINISH TO MATCH EXISTING ADJACENT.

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PAWLING CENTRAL SCHOOL DISTRICT  
PAWLING ELEMENTARY SCHOOL  
2020 CAPITAL PROJECT - PHASE 3

Project Title



REVISIONS	
NO.	DESCRIPTION
1	11/17/2023
2	13-12-01-84-001-024
3	208-2101.03
4	11/17/2023

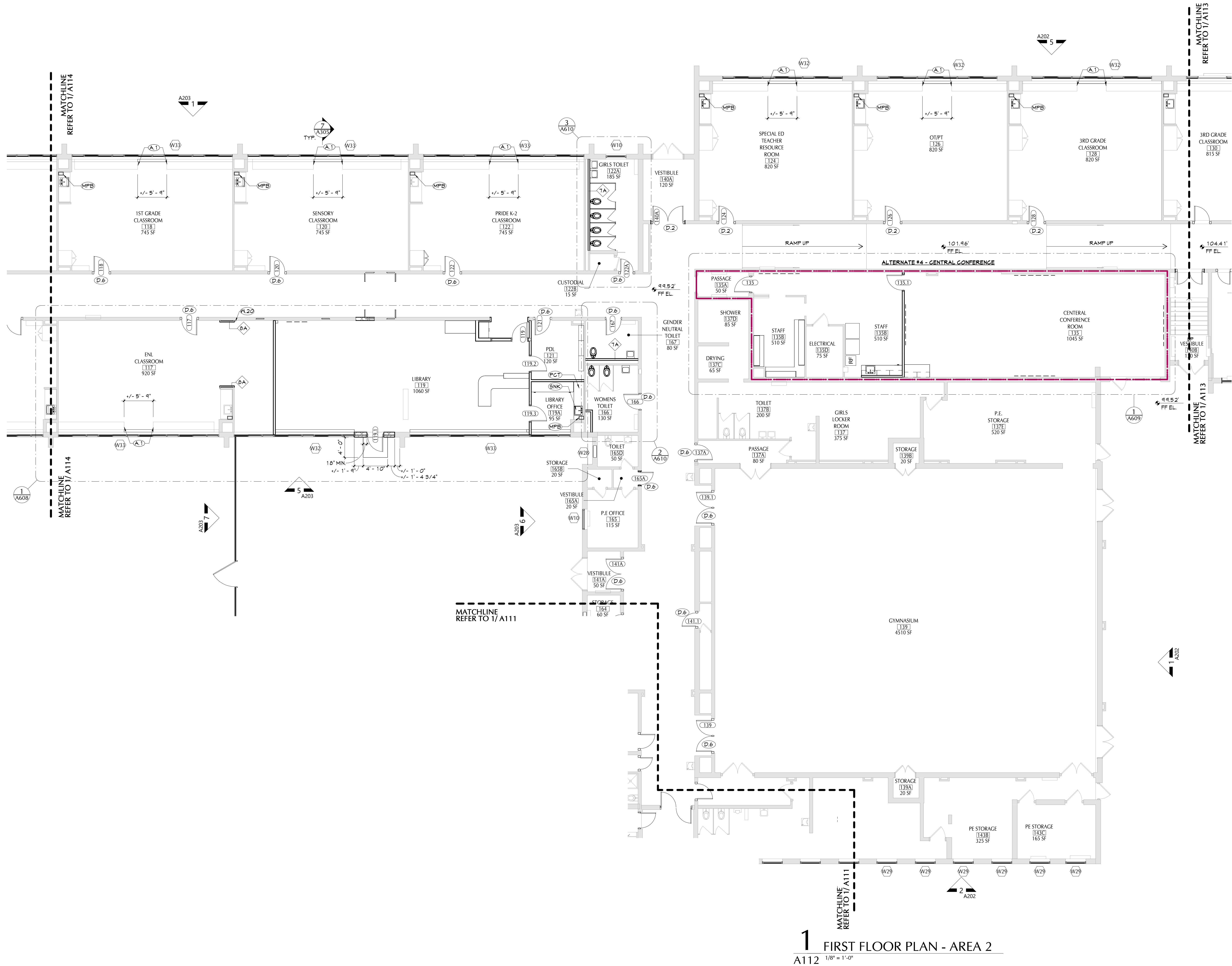
KEY PLAN	
AREA '4'	AREA '2'
AREA '1'	AREA '3'

Sheet No. PES A111

CONSTRUCTION DOCUMENTS

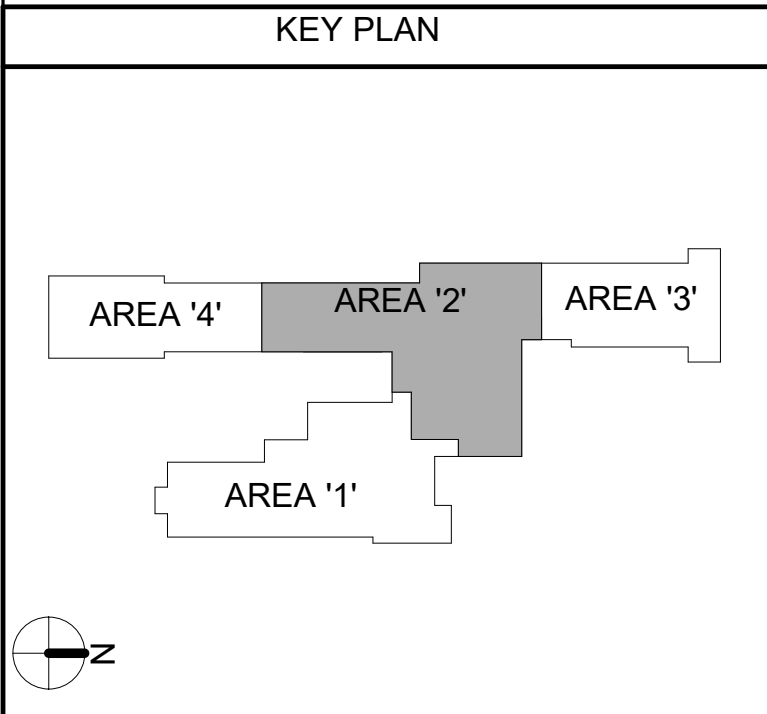


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1  
A112 FIRST FLOOR PLAN - AREA 2  
1/8" = 1'-0"

GENERAL NOTES	
1. REFER TO SHEET 2-6001 FOR ADDITIONAL GENERAL NOTES.	
KEY NOTES	
#	DESCRIPTION
A.1	PROVIDE FINISHED BASE CABINET END PANEL AT EXPOSED CASEWORK WHERE UNIT VENTILATORS ARE BEING REMOVED. PANEL FINISH TO MATCH EXISTING ADJACENT. PATCH AND PAINT ADJACENT WALL AS REQUIRED.
D.2	PROVIDE NEW WOOD GRAIN HOLLOW METAL DOOR, HARDWARE, EXISTING HOLLOW METAL FRAME TO REMAIN.
D.6	PROVIDE NEW WOOD GRAIN HOLLOW METAL DOOR, HARDWARE. PROVIDE NEW HOLLOW METAL FRAME. REINSTALL SALVAGED WOOD DOOR HEAD AND JAMB TRIM WITH NEW WOOD BLOCKING AND TYPE X GNB ONCE THE NEW DOOR IS INSTALLED.
MPB	MILL-WORK PIPE ENCLOSURE BOX FROM BASE CABINET, TO UPPER CABINET, TO CEILING. COORDINATE WITH PLUMBING.
PGT	FLAM COUNTERTOP AND 4" BACKSPLASH, CONTINUOUS
SNK	SINK. REFER TO PLUMBING DRAWINGS
K.20	UPON REMOVAL OF WALL AND ASSOCIATED CASEWORK, PATCH WALL FINISH TO MATCH ADJACENT WALL FINISH.



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PAWLING CENTRAL SCHOOL DISTRICT  
PAWLING ELEMENTARY SCHOOL  
2020 CAPITAL PROJECT - PHASE 3

Project Title

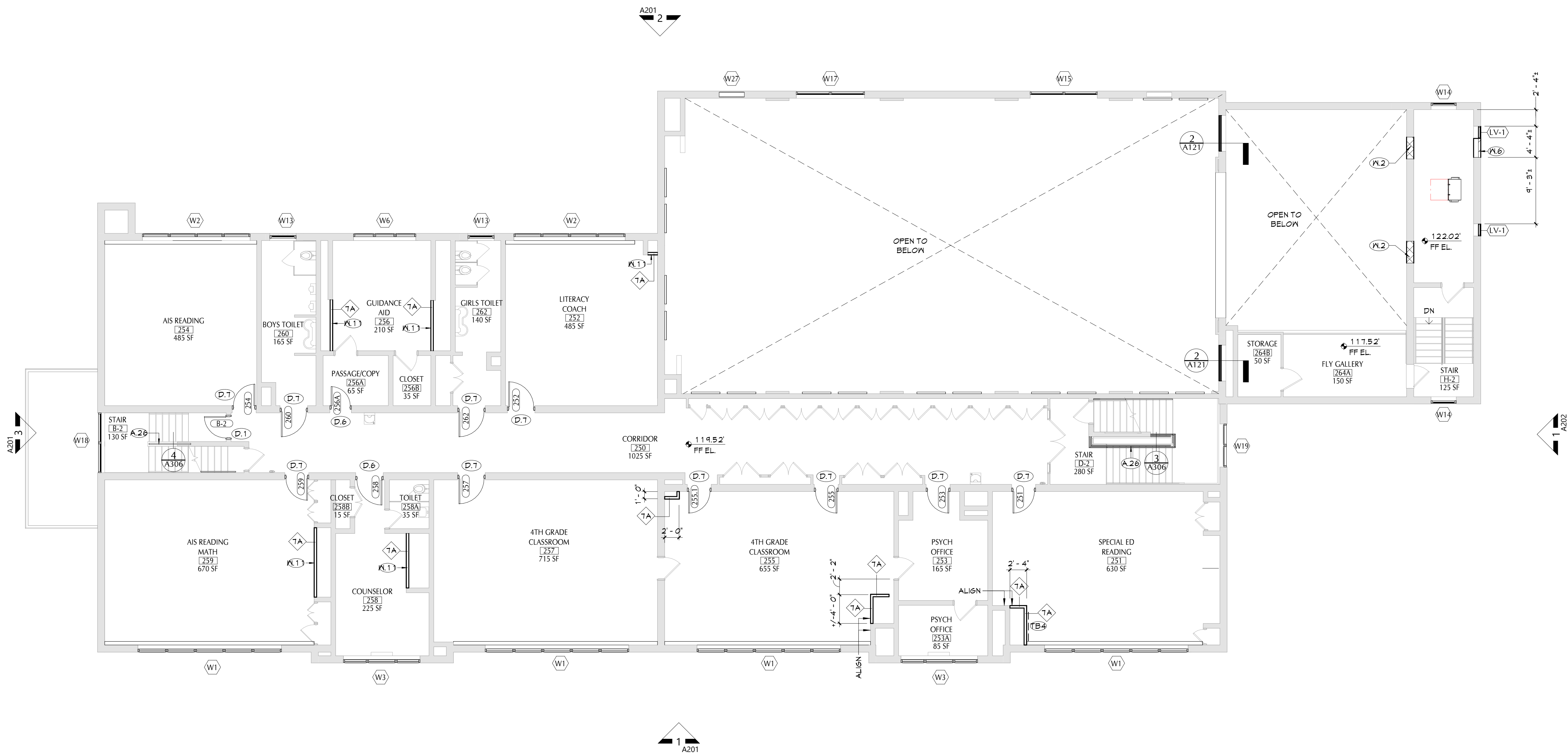


1. 11/17/2023		Bid Addendum 1
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Drawn By: MK/AM		PN
Checked By: 13-12-01-84-001-024		
CSArch Proj. #: 208-2101.03		
Issued for Bid: 11/17/2023		

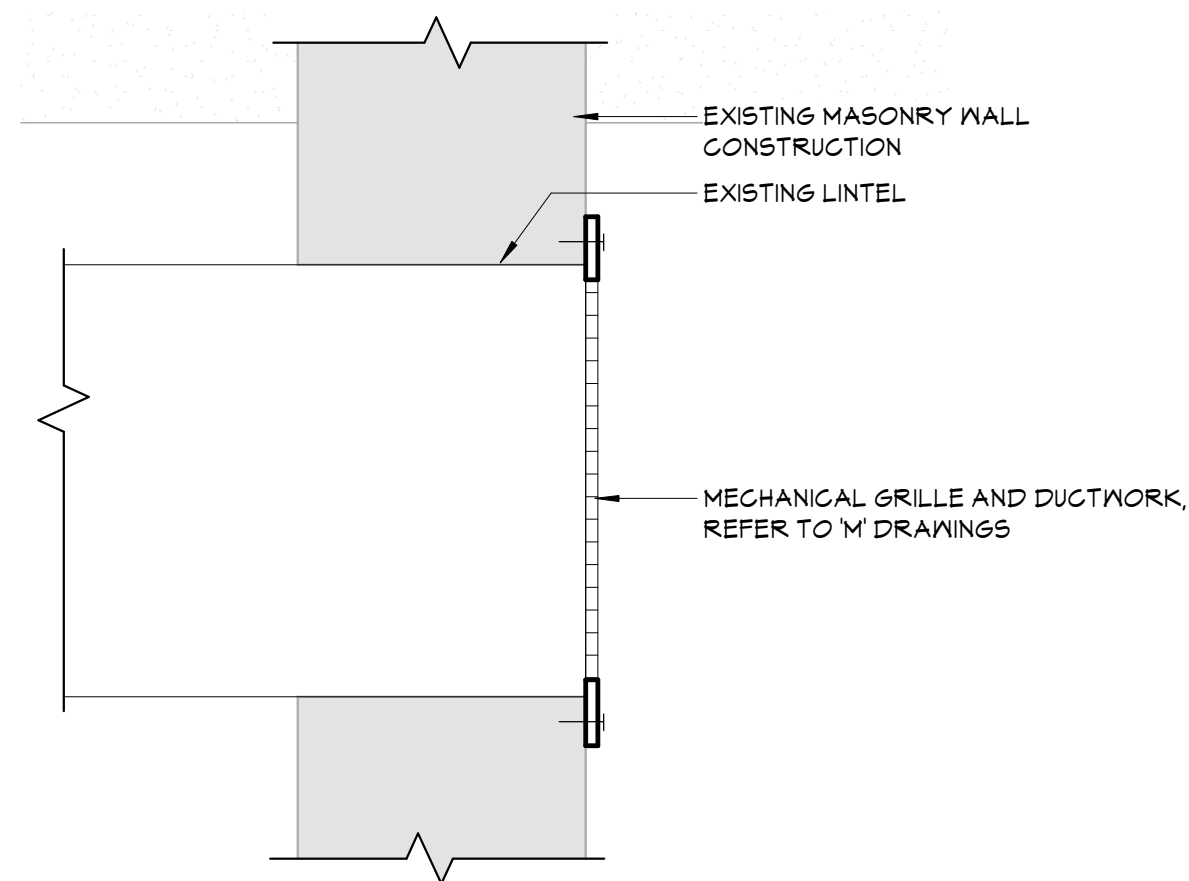
Sheet Title	
PARTIAL FIRST FLOOR PLAN - AREA '2'	
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CONSTRUCTION DOCUMENTS	

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1 SECOND FLOOR PLAN - AREA 1  
A121 1/8" = 1'-0"



2 GRILLE SECTION  
A121 1 1/2" = 1'-0"

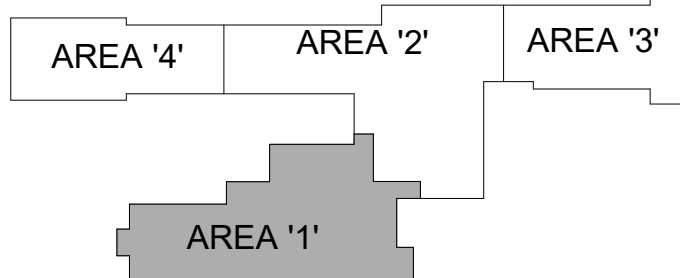
## GENERAL NOTES

1. REFER TO SHEET 2-6001 FOR ADDITIONAL GENERAL NOTES.

## KEY NOTES

#	DESCRIPTION
A26	PROVIDE GUARDRAIL EXTENSION TOP OF RAIL TO BE 42" PER CODE
D.1	PROVIDE NEW WOOD GRAIN HOLLOW METAL DOOR, HARDWARE, AND HOLLOW METAL FRAME
D.6	PROVIDE NEW WOOD GRAIN HOLLOW METAL DOOR, HARDWARE, PROVIDE NEW HOLLOW METAL FRAME, REINSTALL SALVAGED WOOD DOOR HEAD AND JAMB TRIM WITH NEW WOOD BLOCKING AND TYPE X GNB ONCE THE NEW DOOR IS INSTALLED.
D.7	PROVIDE NEW WOOD GRAIN HOLLOW METAL DOOR, HARDWARE, PROVIDE NEW HOLLOW METAL FRAME, REINSTALL SALVAGED WOOD DOOR HEAD AND JAMB TRIM WITH NEW WOOD BLOCKING AND TYPE X GNB ONCE THE NEW DOOR IS INSTALLED. PROVIDE NEW TYPE X GNB AT THE CORRIDOR SIDE OF THE EXISTING WOOD TRANSOM TO REMAIN.
TB4	TACKBOARD, 4H X 4L
N.2	INFILL WALL WITH GMI TO MATCH ADJACENT WALL THICKNESS AND FINISH. PROVIDE WALL RATINGS AS NECESSARY TO COMPLY WITH LOCAL OR STATE CODE JURISDICTIONS. REFER TO LIFE SAFETY PLANS FOR MORE INFORMATION ON RATED WALLS.
N.6	PROVIDE BRICK VENER INFILL AT LOCATION OF WINDOW/LOUVER REMOVAL. BRICK AND MORTAR TO MATCH ADJACENT, TOOTH-IN.
N.11	PROVIDE NEW METAL STUD WALL CONSTRUCTION UPON COMPLETION OF MECHANICAL EQUIPMENT INSTALL. PROVIDE PLASTER FINISH TO MATCH EXISTING ADJACENT.

## KEY PLAN



40 Beaver St., Albany, New York 12207-1511  
518-463-8866 www.csarch.com

CSARCH

PAWLING CENTRAL SCHOOL DISTRICT  
PAWLING ELEMENTARY SCHOOL  
2020 CAPITAL PROJECT - PHASE 3

Project Title



DATE	DESCRIPTION
11/17/2023	Bid Addendum 1

Drawn By:	MC/M
Checked By:	PN
Proj. #:	13-12-01-84-0-001-024
CSArch Proj. #:	208-2101.03
Issued for Bid:	11/17/2023

Sheet Title

SECOND FLOOR PLAN - AREA '1'

Sheet No.

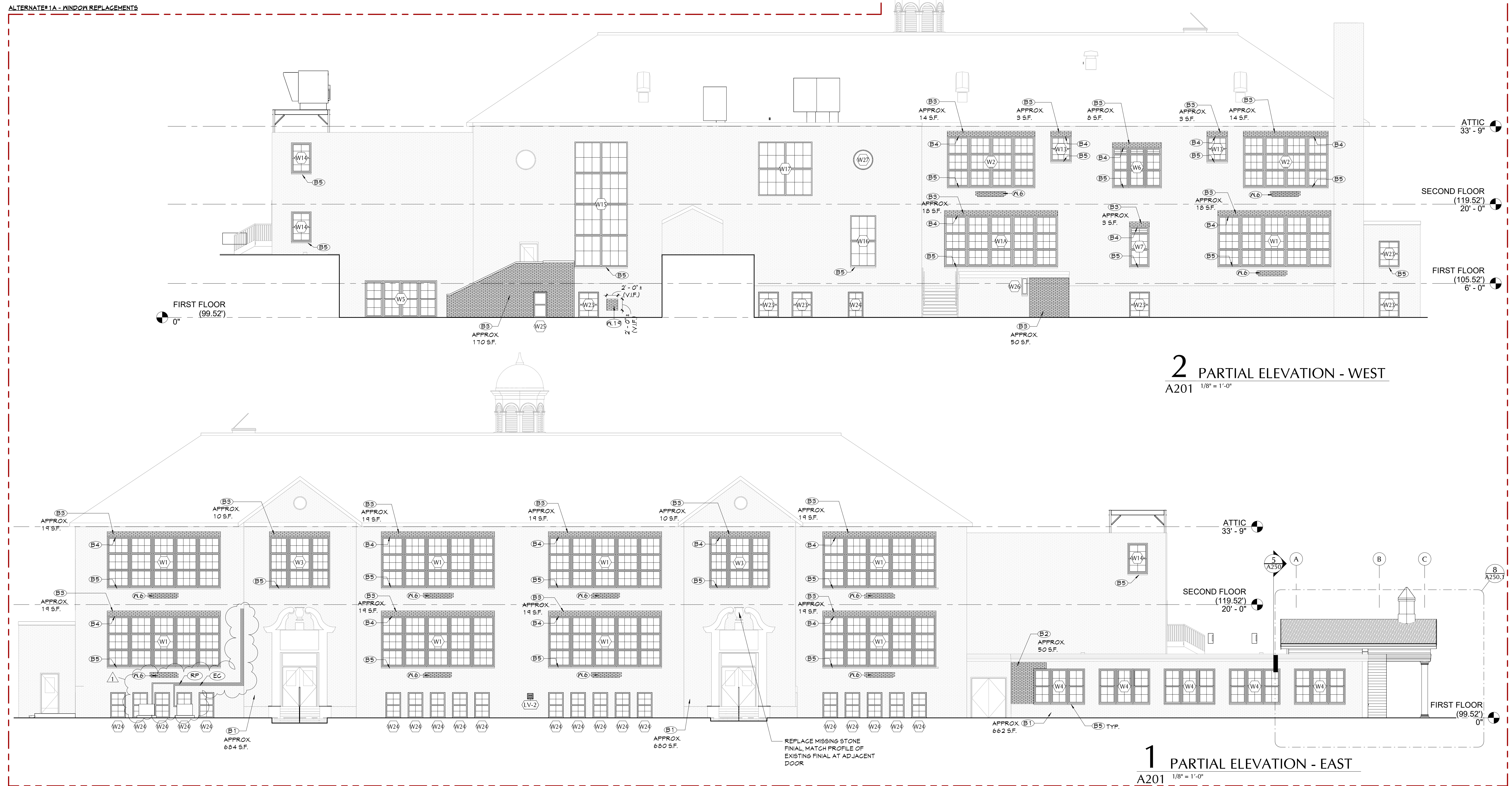
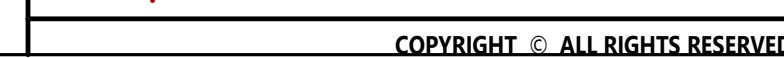
PES  
A121

CONSTRUCTION DOCUMENTS

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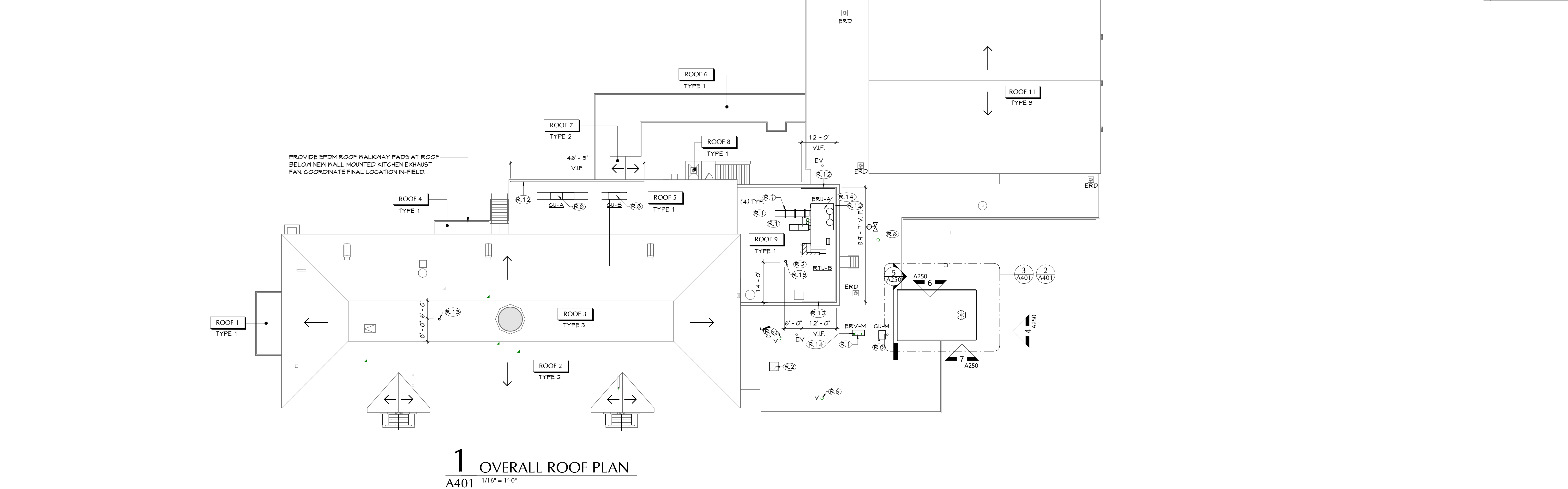
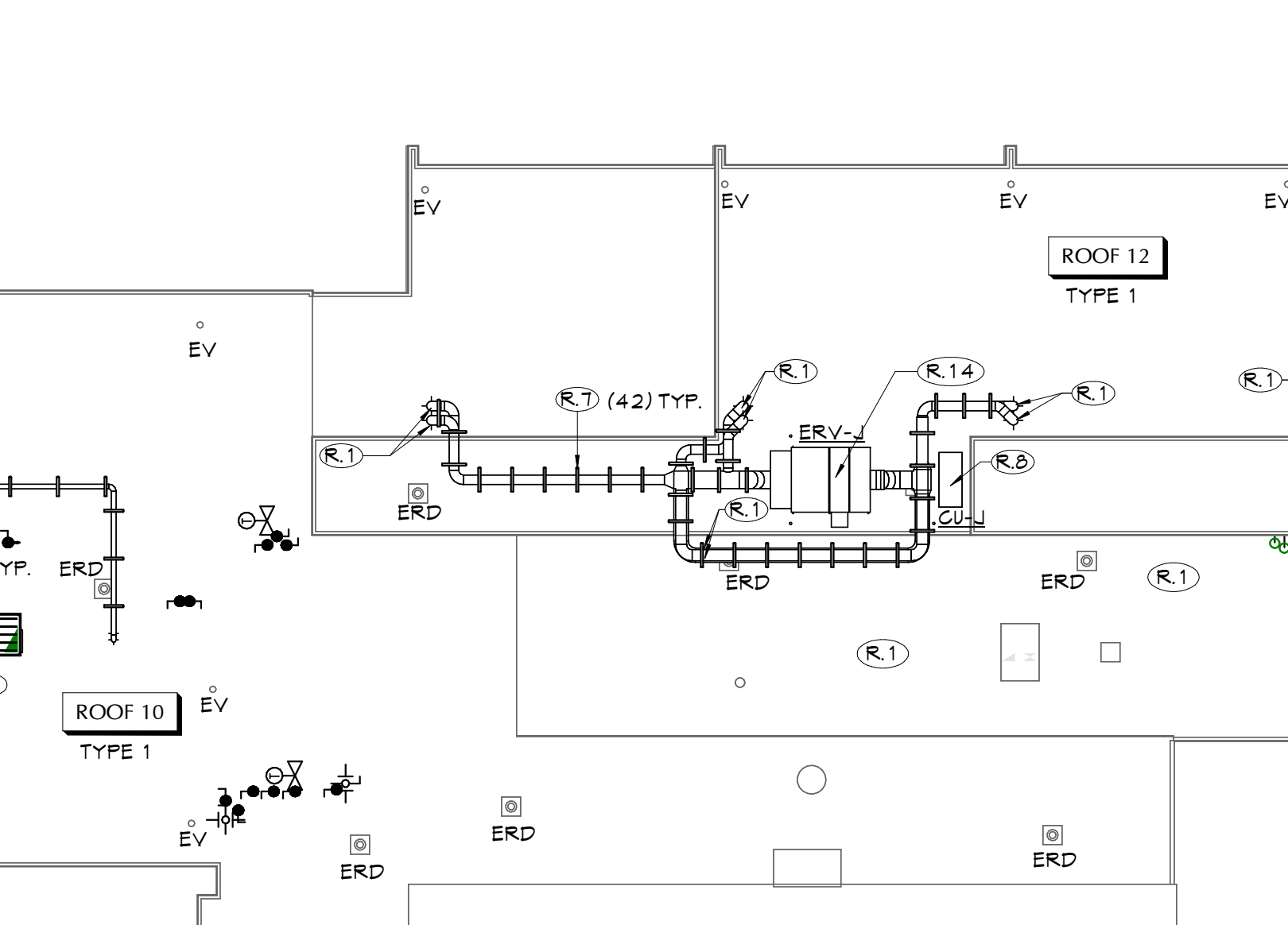
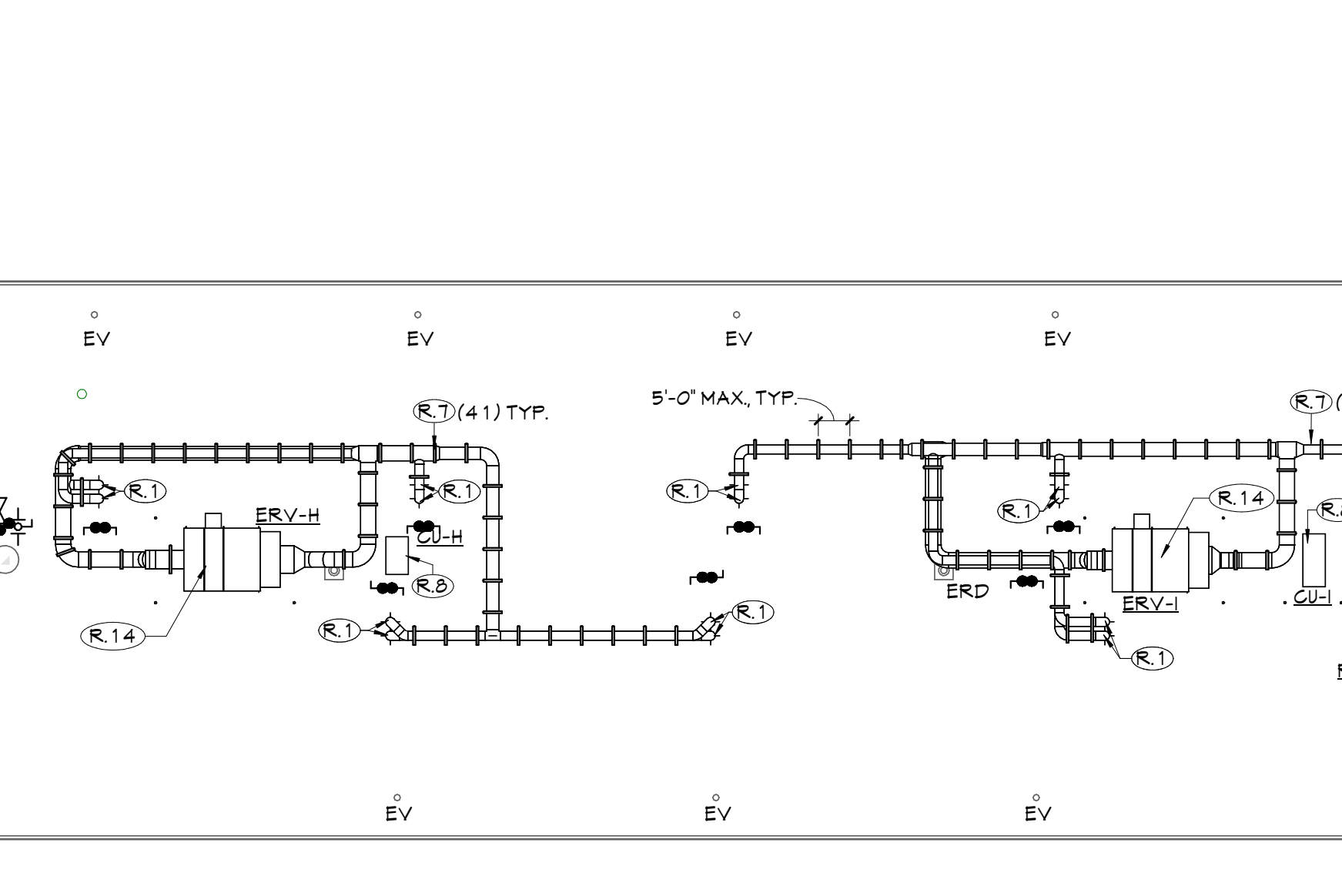
## 2020 CAPITAL PROJECT - PHASE 3





Roof 13  
Type 1

Plan view of Roof 13 Type 1. The central mechanical room contains equipment labeled ERD, ERV, and G. The room is surrounded by a perimeter of rooms labeled R. The plan includes dimensions and a title block.





GENERAL NOTES

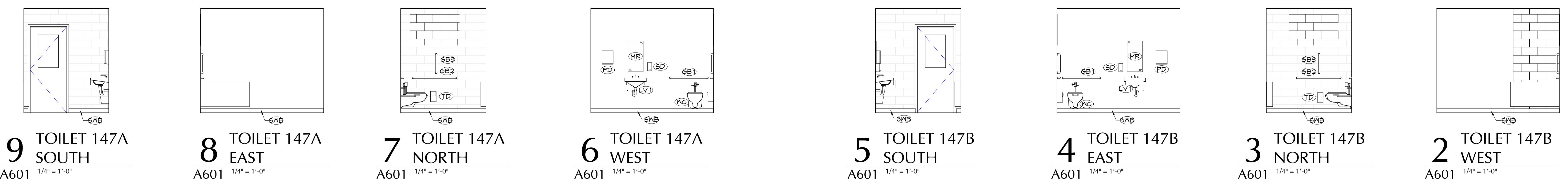
1. ALL CASEWORK SHALL HAVE PLASTIC LAMINATE (PLAM) COUNTERTOPS AND 4" BACK SPLASHES, UNLESS SHOWN OTHERWISE.
2. INSTALL MATCHING FILLER PANELS IN LOCATIONS SHOWN. ADD MATCHING FILLER PANELS AS REQUIRED FOR FINAL FIT/FINISH.
3. PROVIDE BLOCKING IN ALL ADJACENT WALLS AS REQUIRED TO INSTALL ALL CASEWORK.
4. PROVIDE FINISHED END PANEL AT ALL EXPOSED FACES OF CASEWORK.
5. PROVIDE WALL BASE AS SCHEDULED ON ALL EXPOSED TOE KICK SPACES AND EXPOSED END PANELS.

CASEWORK NOTES

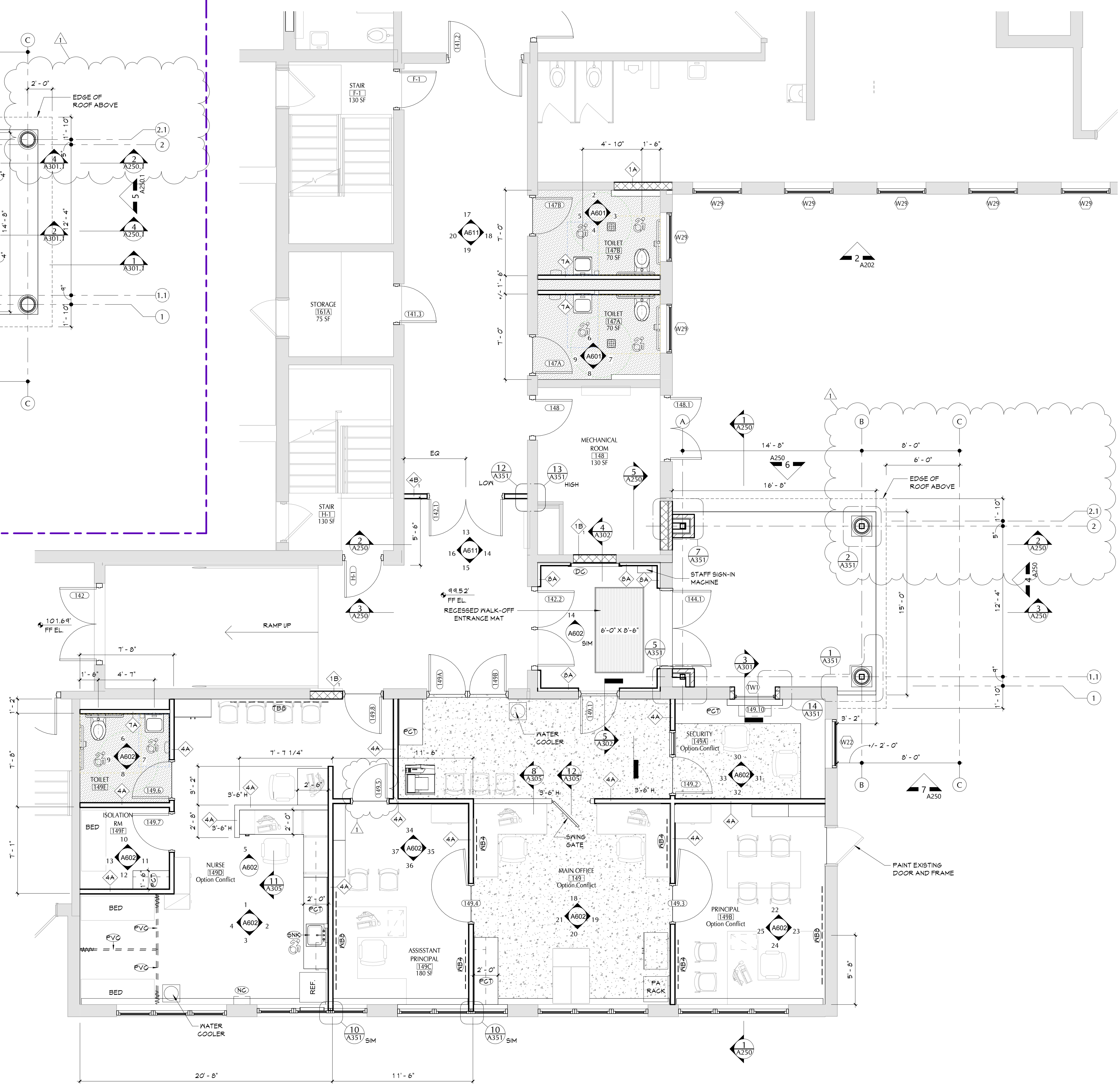
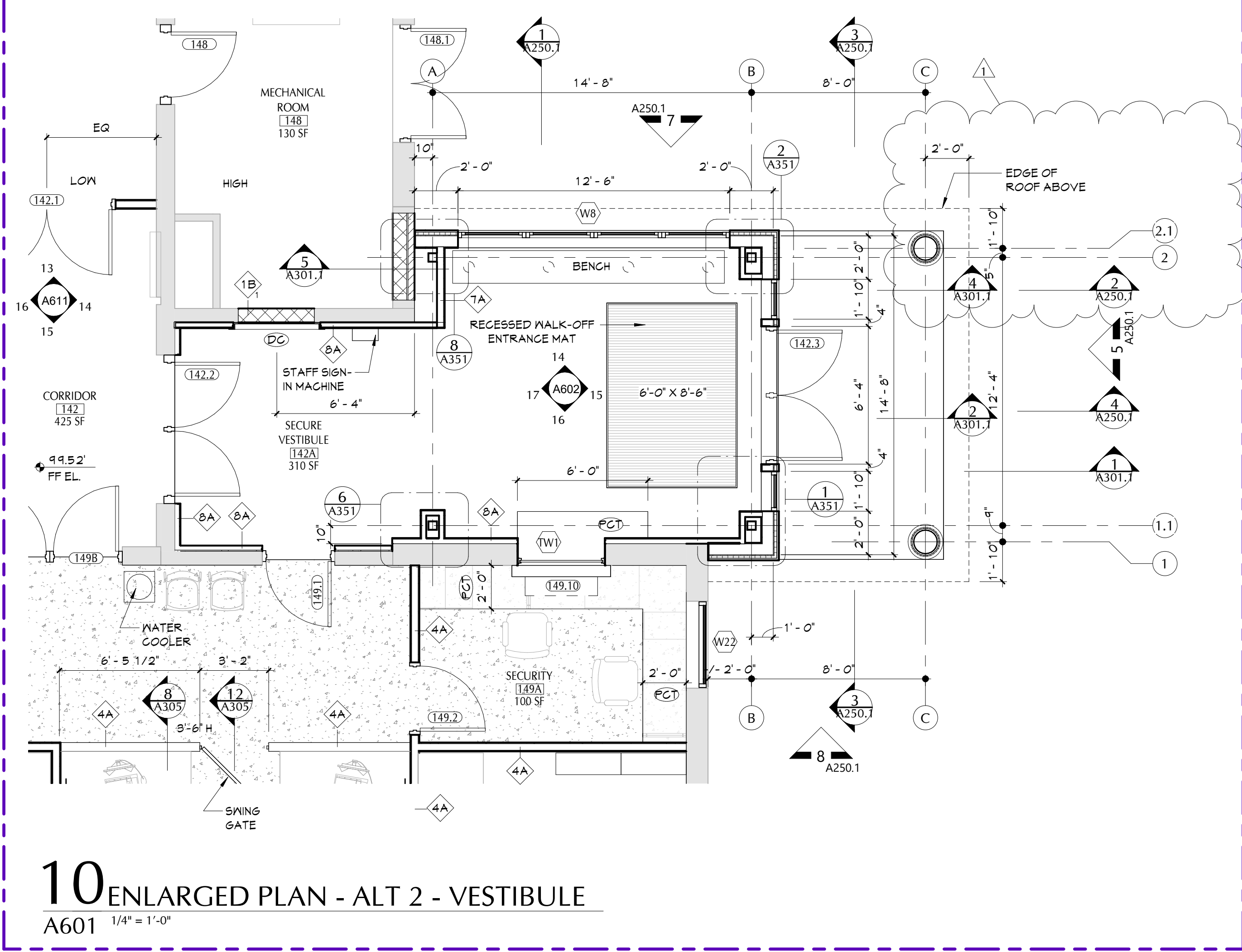
- N: NORTH OF CASEWORK  
D: DEPTH OF CASEWORK  
H: HEIGHT OF CASEWORK  
AN: ANI DESIGN NUMBER (INDICATES ELEVATION LAYOUT ONLY; REFER TO DETAILS AND SPECIFICATIONS FOR CASEWORK CONSTRUCTION REQUIREMENTS)  
C: CASEWORK MATERIAL FINISH
- FINISH  
FL: PLASTIC LAMINATE

KEY NOTES

#	DESCRIPTION
DC	DISPLAY CASE BASES OF DESIGN, AARGO PRODUCTS INC. RECESSED GLAZED 110"X110" DISPLAY BOARD WITH HINGED DOORS 9'-0"X 4'-0"X 4'-0"
GB1	36" GRAB BAR
GB2	42" GRAB BAR
GB3	18" VERTICAL GRAB BAR
LV1	SINGLE STATION LAVATORY, REFER TO PLUMBING DRAWINGS
MR	CHANNEL FRAMED MIRROR, 16"X30"
NC	NARCOTICS CABINET (BASIS OF DESIGN: GLOBAL INDUSTRIAL STAINLESS STEEL NARCOTICS CABINET W/DOUBLE DOOR/DOUBLE LOCK, 16"X16"Dx24"H, TYPICAL 155)
PCT	PLAM COUNTERTOP AND 4" BACKSPLASH, CONTINUOUS
PD	PAPER TOWEL DISPENSER (PROVIDED BY OWNER, SHOWN FOR REFERENCE)
PVC	PRIVACY CURTAIN
SD	SOAP DISPENSER (PROVIDED BY OWNER, SHOWN FOR REFERENCE)
SNK	SINK, REFER TO PLUMBING DRAWINGS
SMB	SCHEDULED WALL BASE
TB3	TACKBOARD, 48"X24"
TD	TOILET TISSUE DISPENSER (SUPPLIED BY OWNER, SHOWN FOR REFERENCE)
WB4	WHITEBOARD, 48"X48"
WB5	WHITEBOARD, 48"X48"
WC	WATER CLOSET, REFER TO PLUMBING DRAWINGS

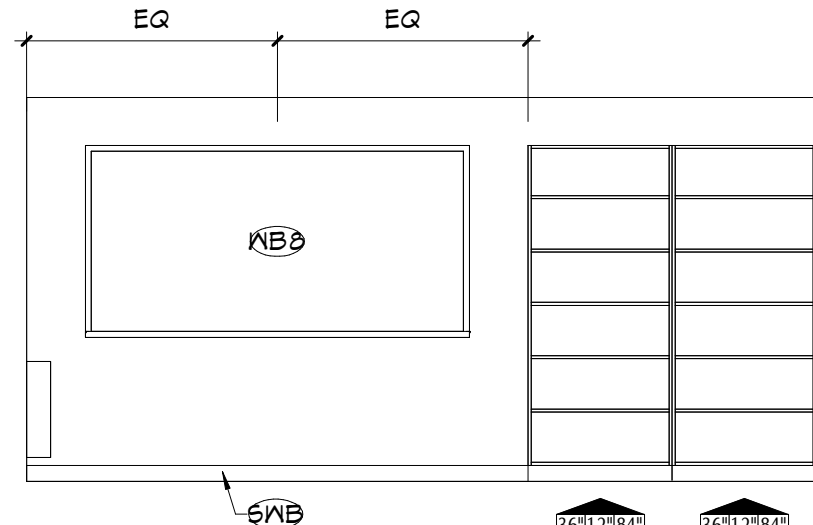


ALTERNATE #2 - VESTIBULE

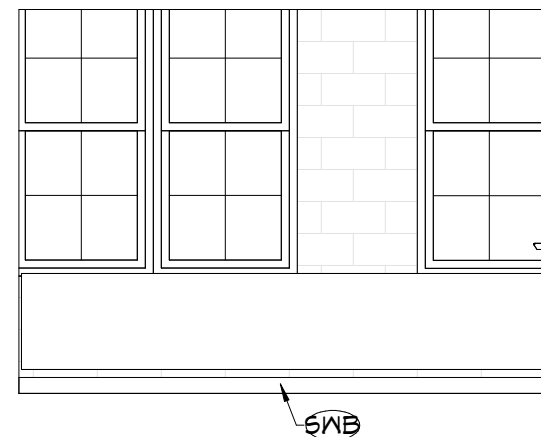




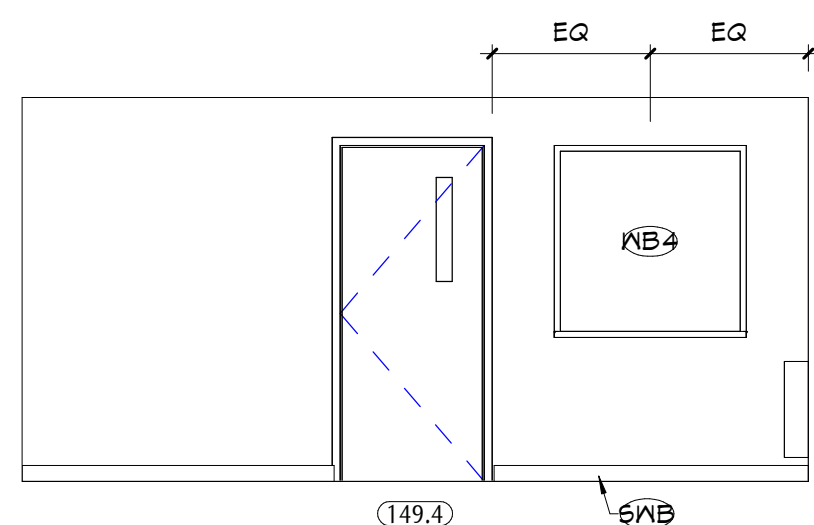
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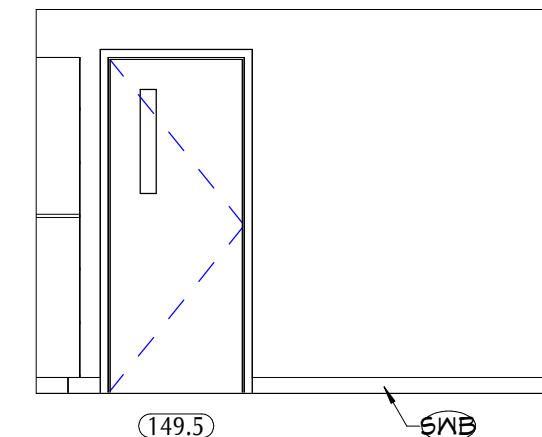
37 A.P. 149C  
SOUTH  
A602 1/4" = 1'-0"



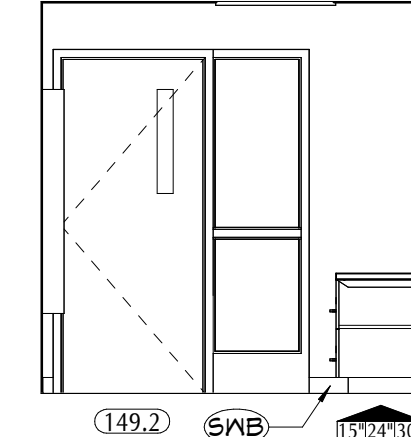
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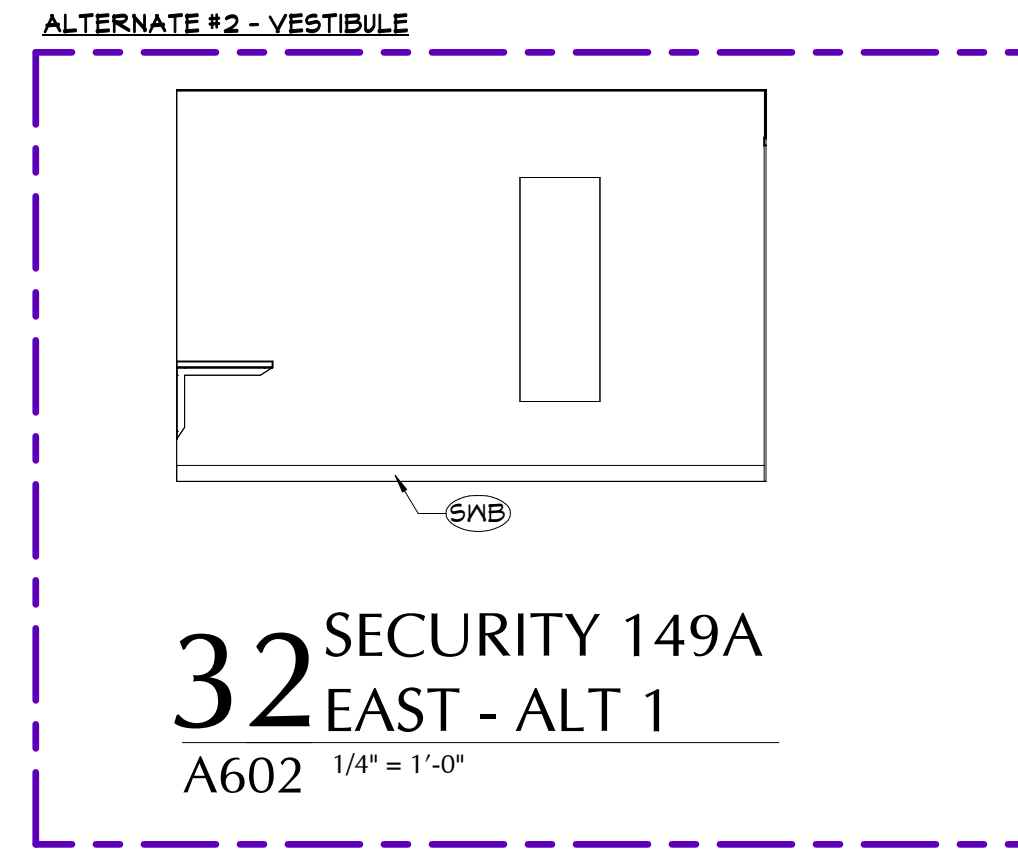
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34 A.P. 149C  
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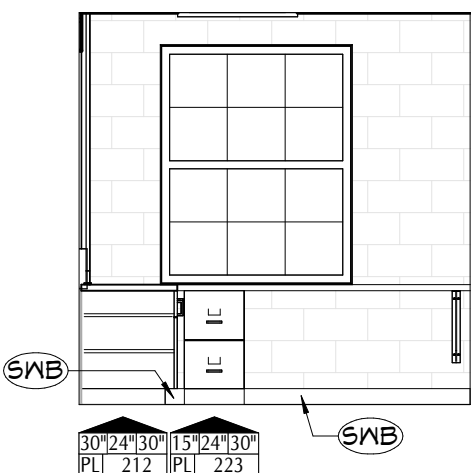


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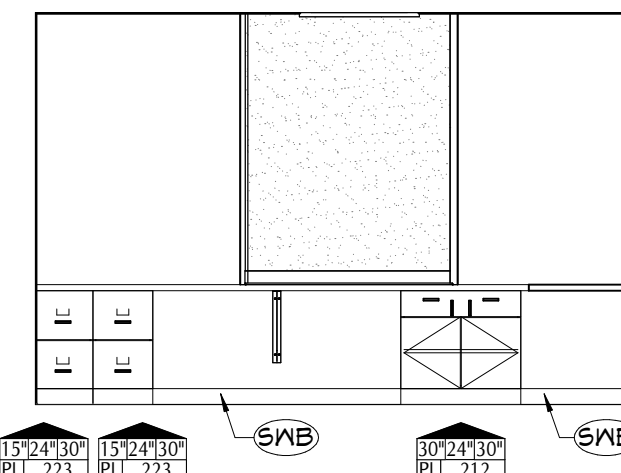


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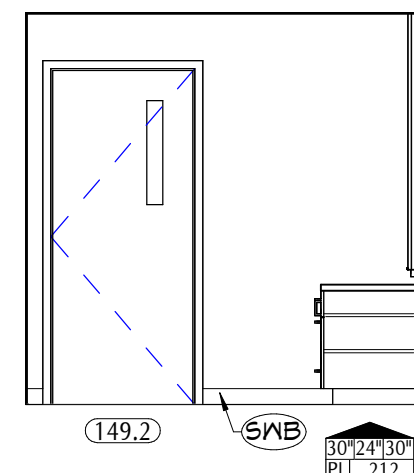
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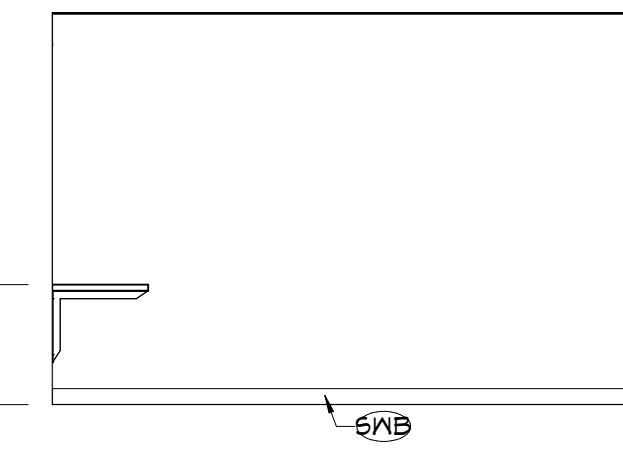
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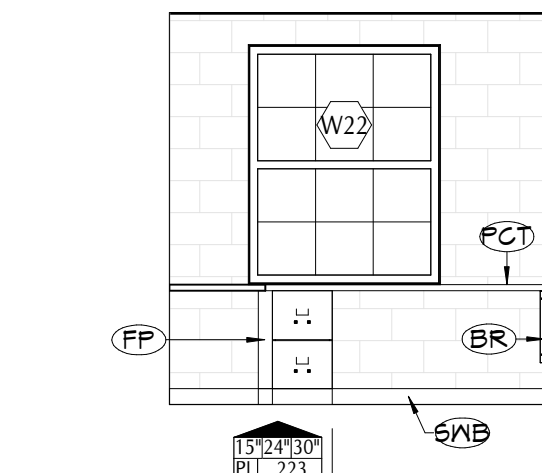
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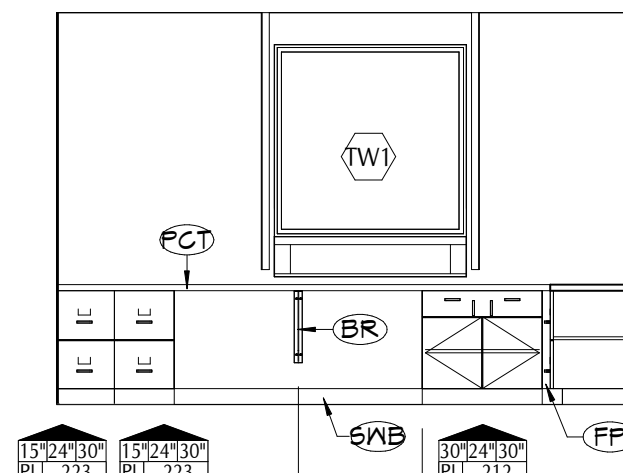
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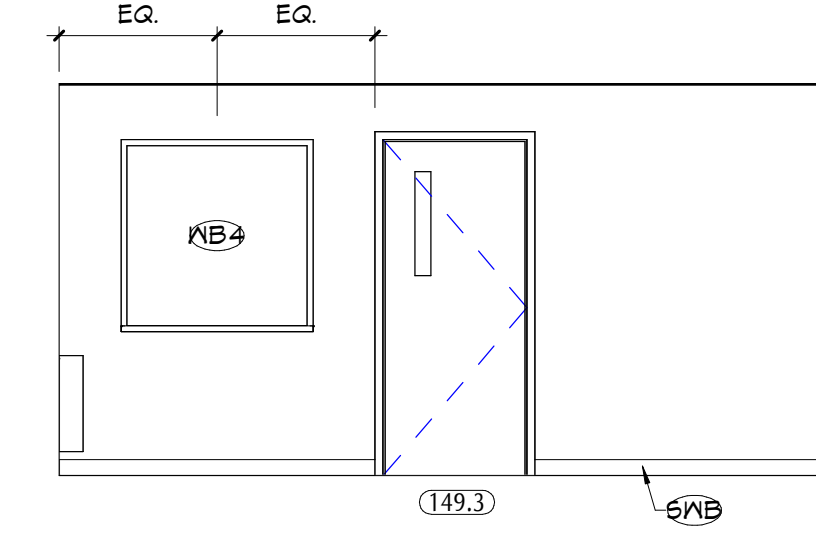
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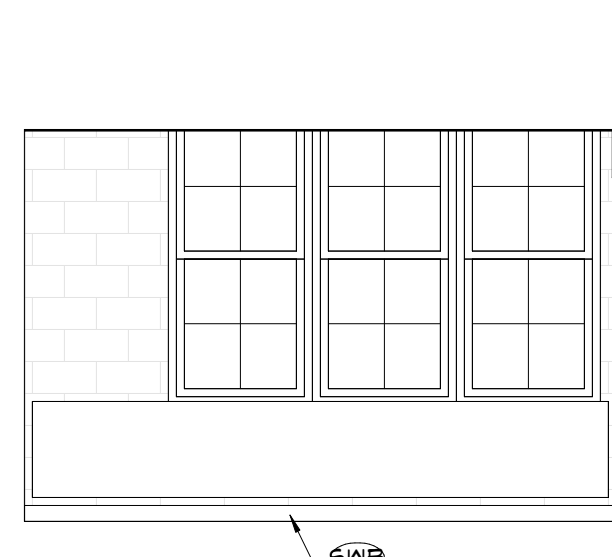
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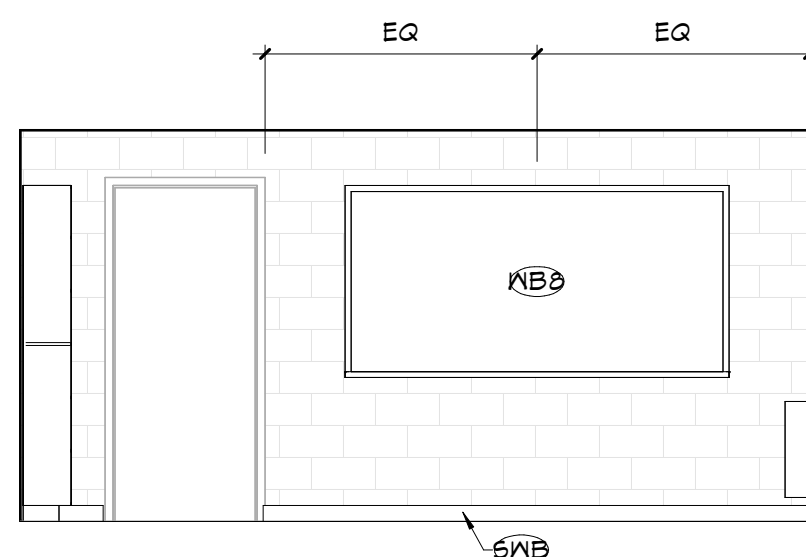
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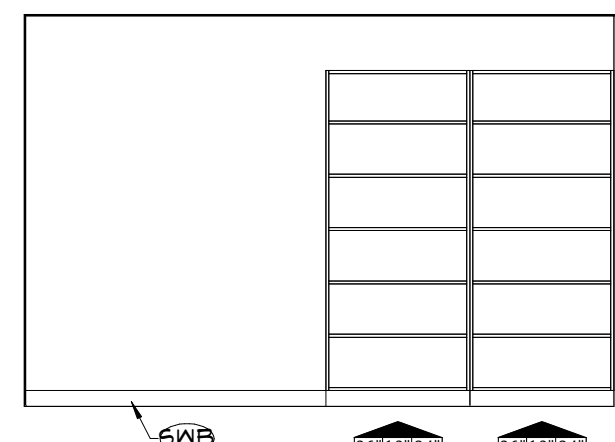
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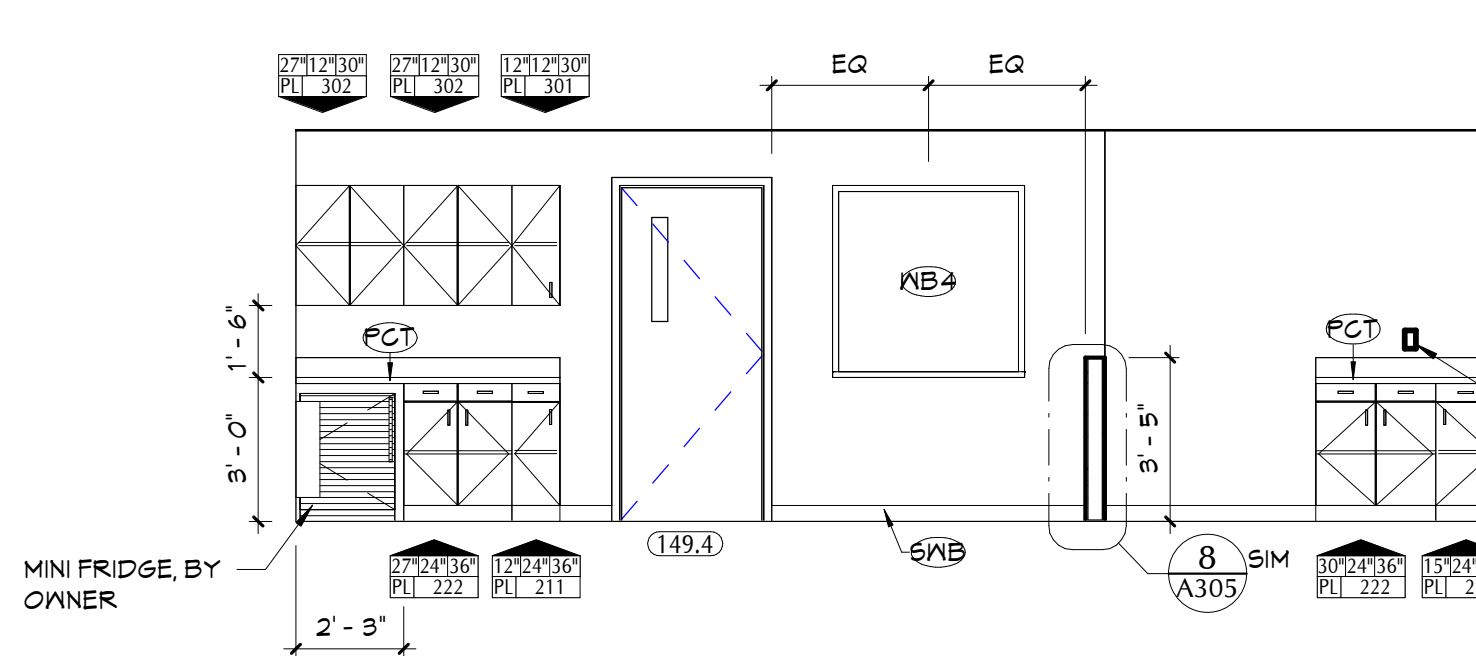
24 PRINCIPAL 149B  
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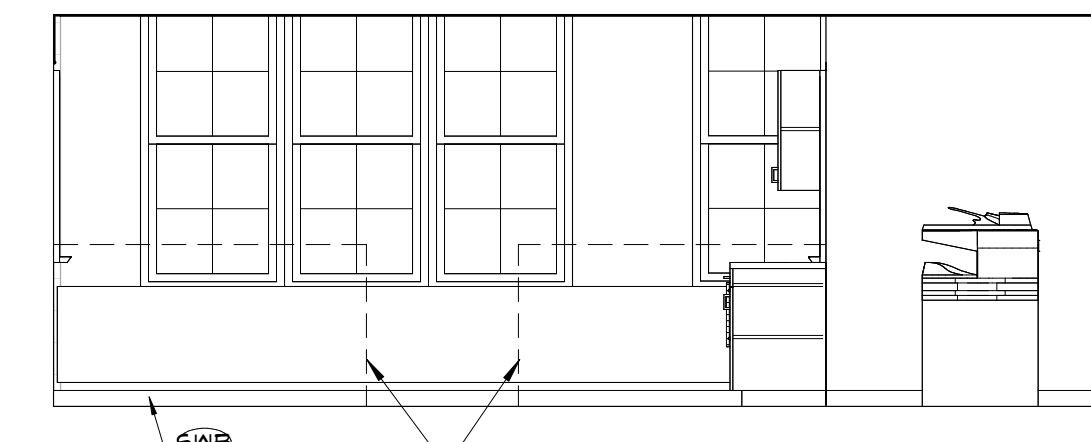
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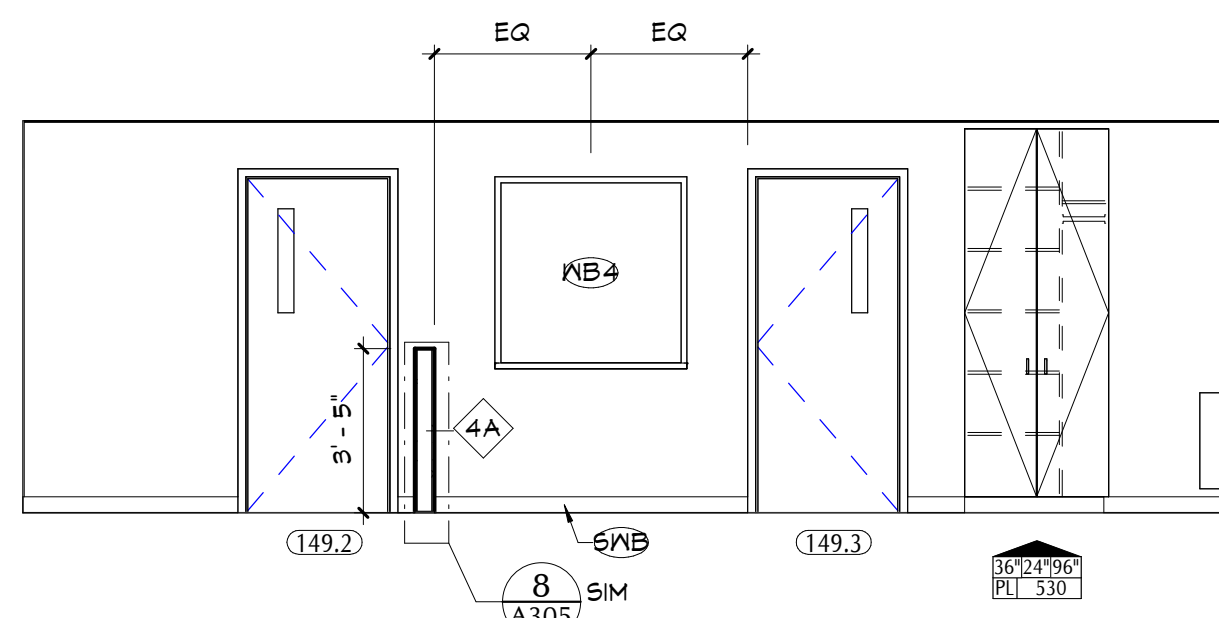
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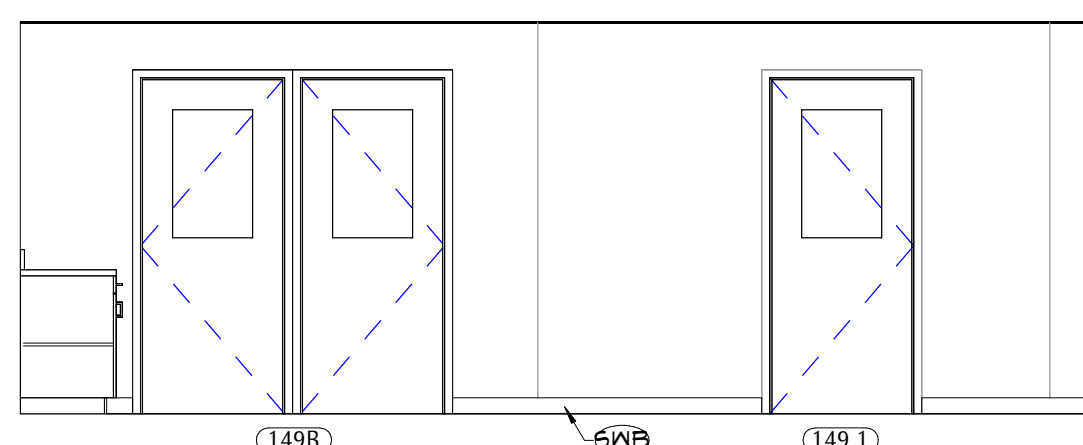
21 MAIN OFFICE 149 - SOUTH  
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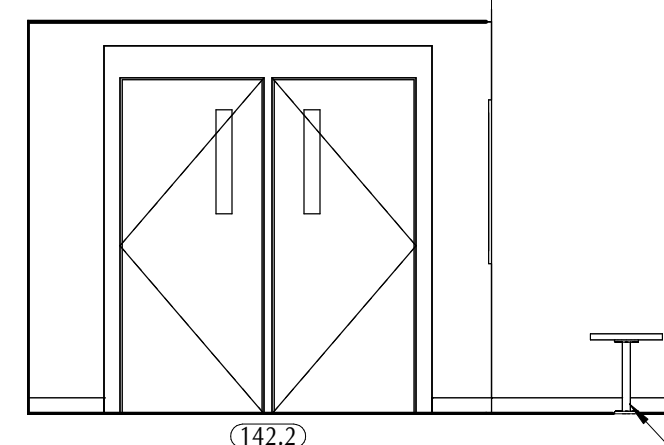
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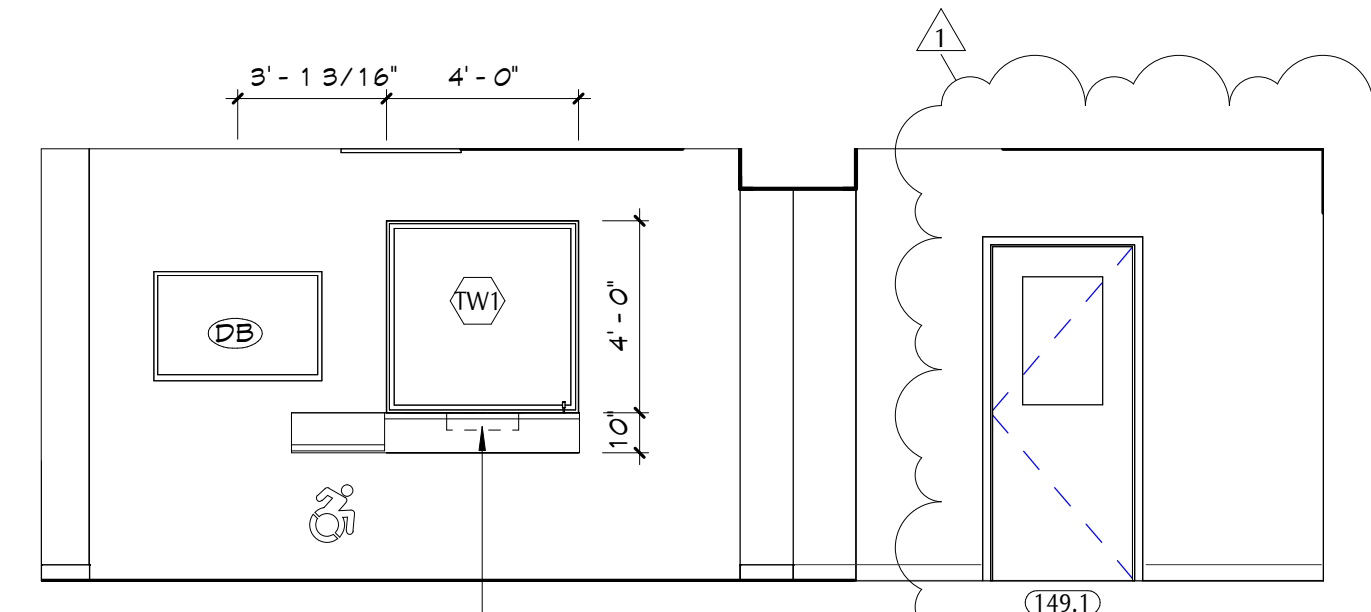
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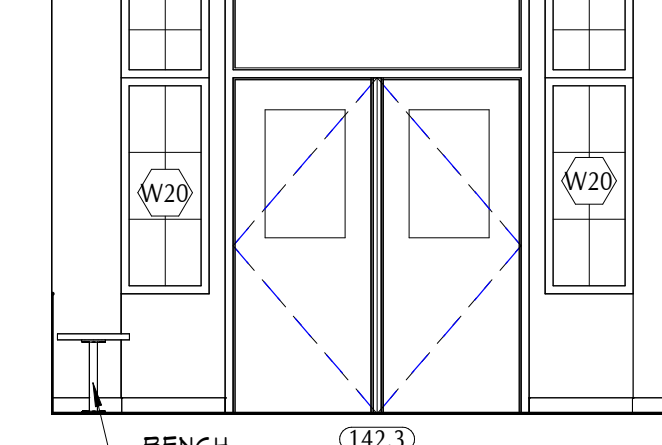
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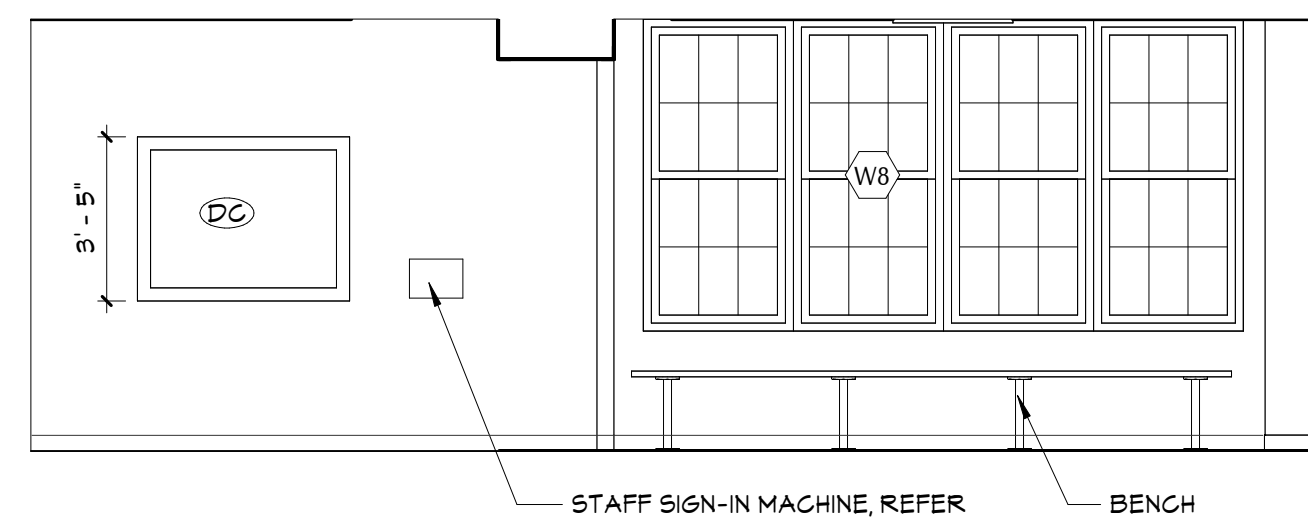
17 SECURE VEST. 142A  
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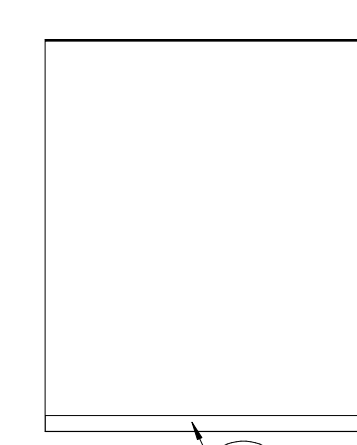
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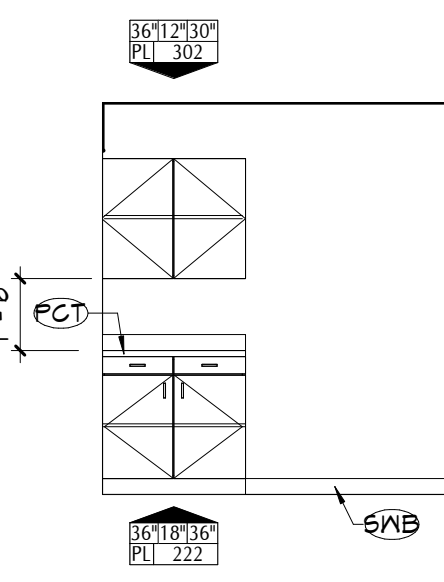
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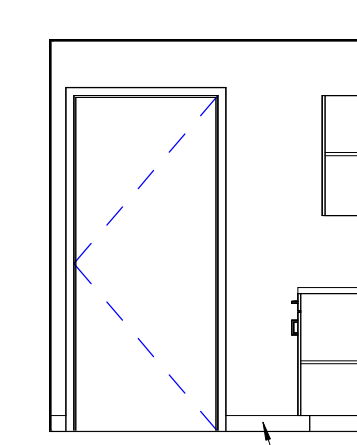
14 SECURE VEST. 142A  
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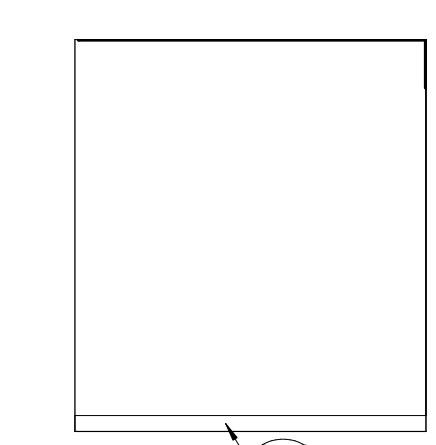
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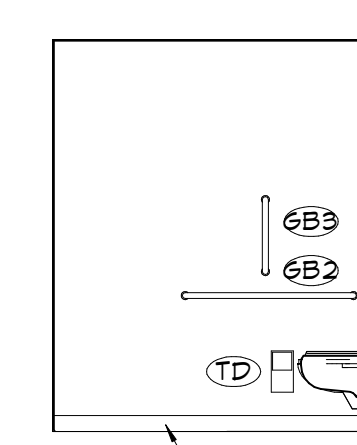
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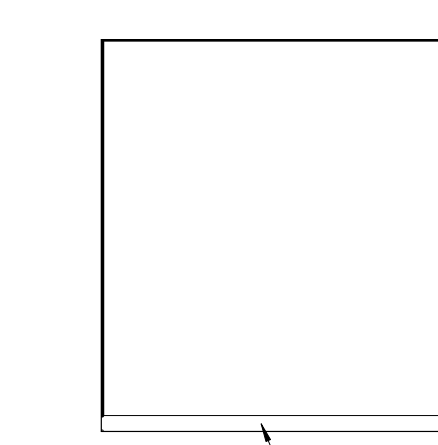
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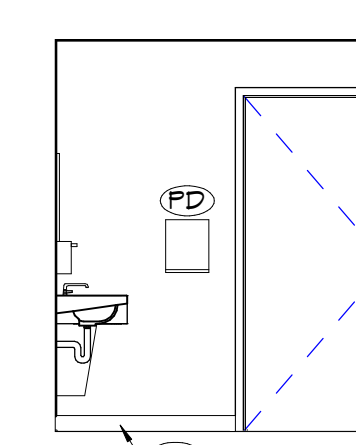
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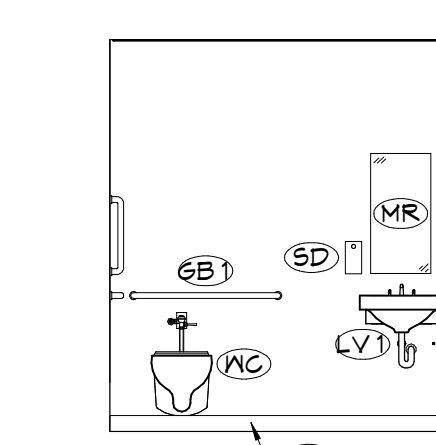
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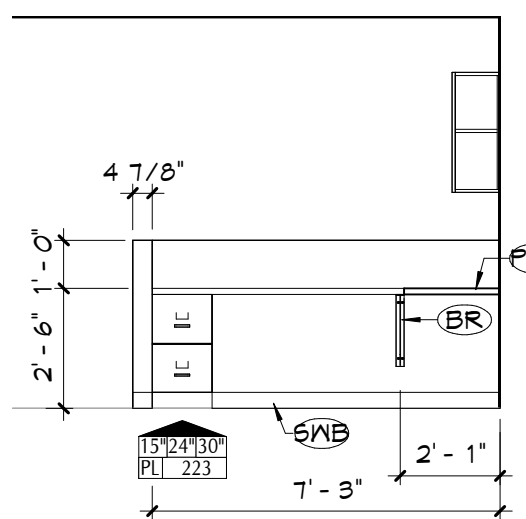
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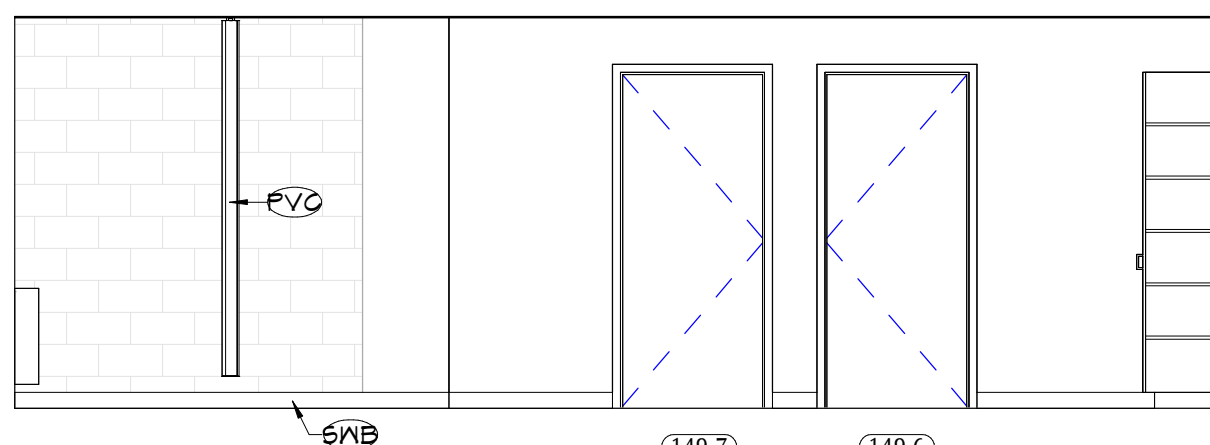
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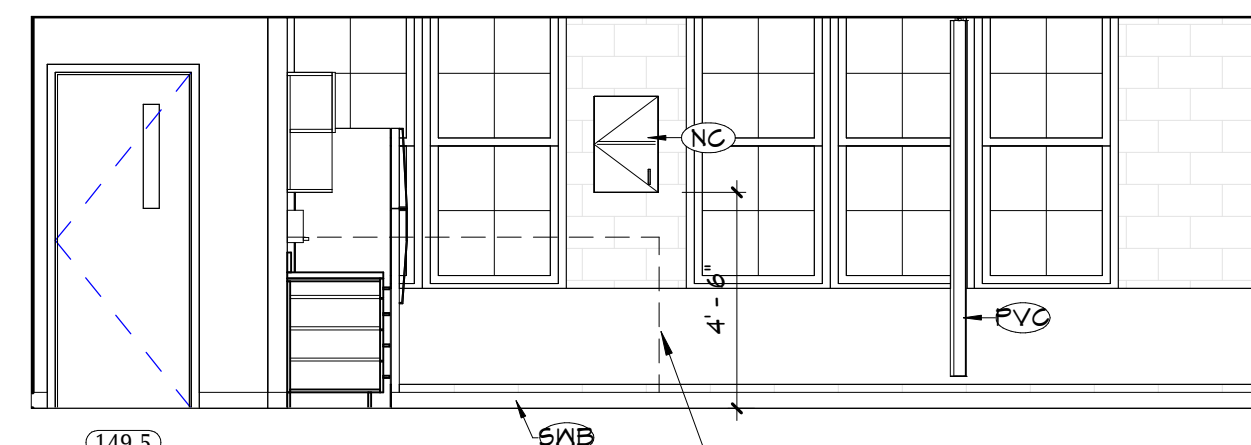
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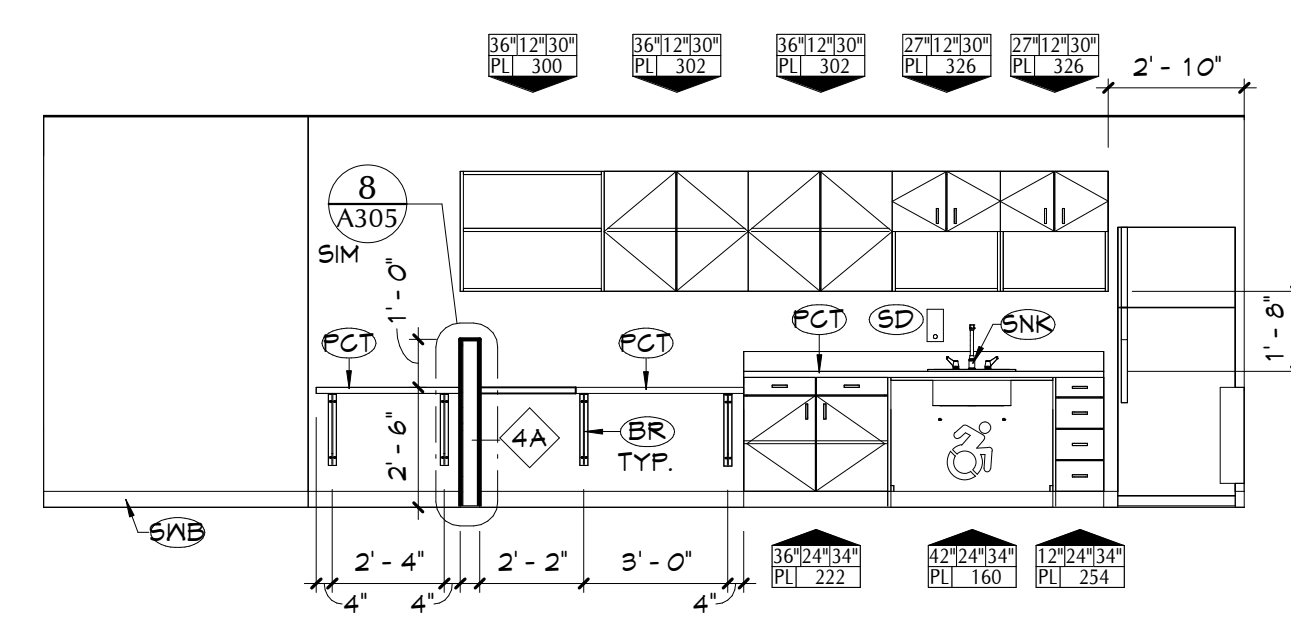
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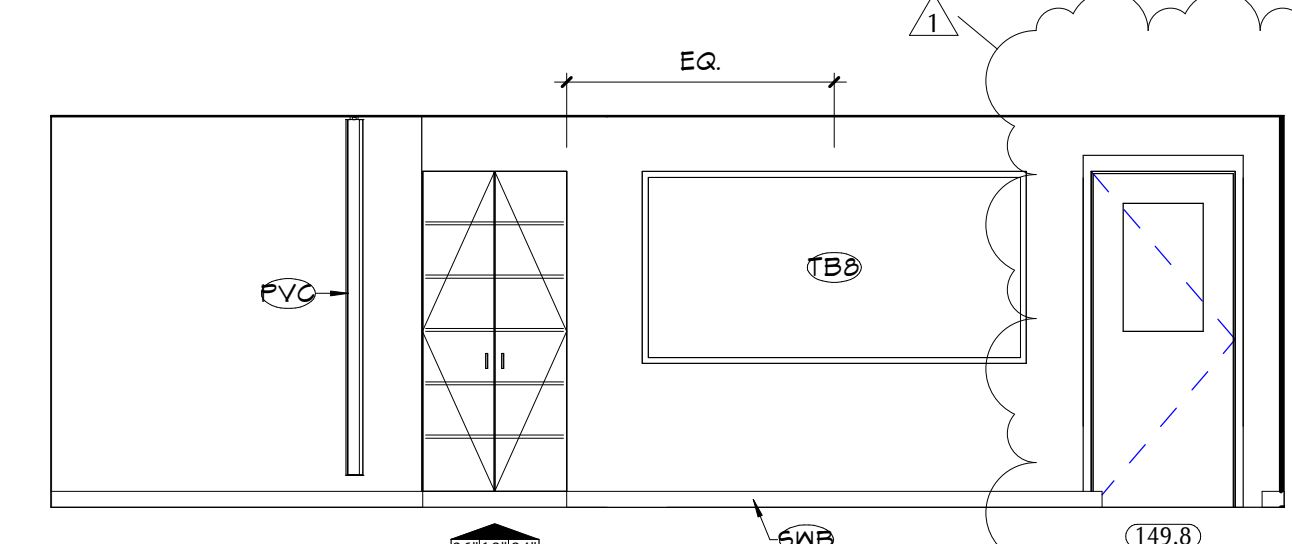
4 NURSE 149D - SOUTH  
A602 1/4" = 1'-0"



3 NURSE 149D - EAST  
A602 1/4" = 1'-0"



2 NURSE 149D - NORTH  
A602 1/4" = 1'-0"



1 NURSE 149D - WEST  
A602 1/4" = 1'-0"

## GENERAL NOTES

1. ALL CASEWORK SHALL HAVE PLASTIC LAMINATE (PLAM) COUNTERTOPS AND 4" BACK SPLASHES, UNO.
2. INSTALL MATCHING FILLER PANELS AS REQUIRED FOR FINAL FIT/FINISH.
3. PROVIDE BLOCKING IN ALL ADJACENT WALLS AS REQUIRED TO INSTALL ALL CASEWORK.
4. PROVIDE FINISHED END PANEL AT ALL EXPOSED FACES OF CASEWORK.
5. PROVIDE WALL BASE AS SCHEDULED ON ALL EXPOSED TOE KICK SPACES AND EXPOSED END PANELS.

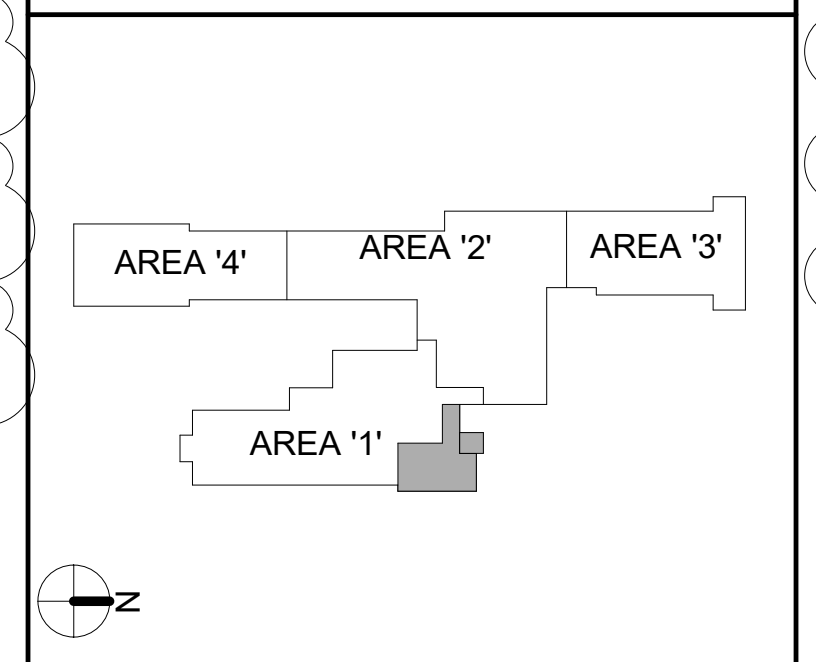
## CASEWORK NOTES

- NIDTH OF CASEWORK  
DEPTH OF CASEWORK  
HEIGHT OF CASEWORK  
FINISH  
FL PLASTIC LAMINATE

## KEY NOTES

#	DESCRIPTION
BR	STEEL SUPPORT BRACKET
DB	DISPLAY MONITOR
DC	DISPLAY CASE BASES OF DESIGN; AARGO PRODUCTS INC. RECESSED GLAZED #10-990 DISPLAY BOARD WITH HINGED DOORS 3'-0" H X 4'-0" W
FP	FILLER PANEL MATERIAL TO MATCH CASEWORK BODY
GB1	36" GRAB BAR
GB2	42" GRAB BAR
GB3	18" VERTICAL GRAB BAR
LV1	SINGLE STATION LAVATORY, REFER TO PLUMBING DRAWINGS
MR	CHANNEL FRAMED MIRROR, 16" X 30"
NC	NARGOTICS CABINET (BASIS OF DESIGN; GLOBAL INDUSTRIAL STAINLESS STEEL NARGOTICS CABINET W/DOUBLE DOOR/DOUBLE LOCK, 16"X16"X24"H, T4F436-95-195)
PCT	PLAM COUNTERTOP AND 4" BACKSPLASH, CONTINUOUS
PD	PAPER TOWEL DISPENSER (PROVIDED BY OWNER, SHOWN FOR REFERENCE)
PVC	PRIVACY CURTAIN
SD	SOAP DISPENSER (PROVIDED BY OWNER, SHOWN FOR REFERENCE)
SNK	SINK, REFER TO PLUMBING DRAWINGS
SNB	SCHEDULED WALL BASE
TB3	TACKBOARD, 4H X 8L
TD	TOILET TISSUE DISPENSER (SUPPLIED BY OWNER, SHOWN FOR REFERENCE)
WB4	WHITEBOARD, 4H X 4L
WB5	WHITEBOARD, 4H X 8L
WC	WATER CLOSET, REFER TO PLUMBING DRAWINGS

## KEY PLAN



40 Beaver St., Albany, New York 12207-1511  
518-463-8806 www.csarch.com

Consultant

PAWLING CENTRAL SCHOOL DISTRICT  
PAWLING ELEMENTARY SCHOOL  
2020 CAPITAL PROJECT - PHASE 3

Project Title



DATE	DESCRIPTION
11/11/2023	REV ADDENDUM 1
11/11/2023	REV ADDENDUM 1

Drawn By: MK/AM  
Checked By: MK/AM  
Proj. #: 13-12-01-84-001-024  
CSArch Proj. #: 208-2101-03  
Issued for Bid: 11/11/2023

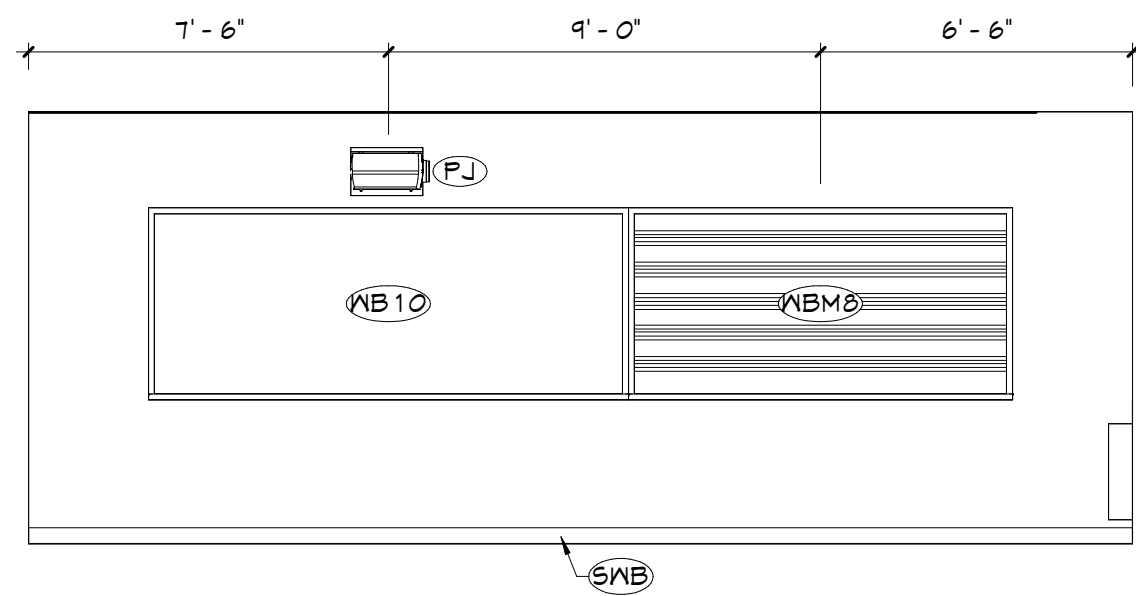
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INTERIOR  
ELEVATIONS -  
MAIN OFFICE /  
ENTRY /  
NURSE

Sheet No.  
PES  
A602

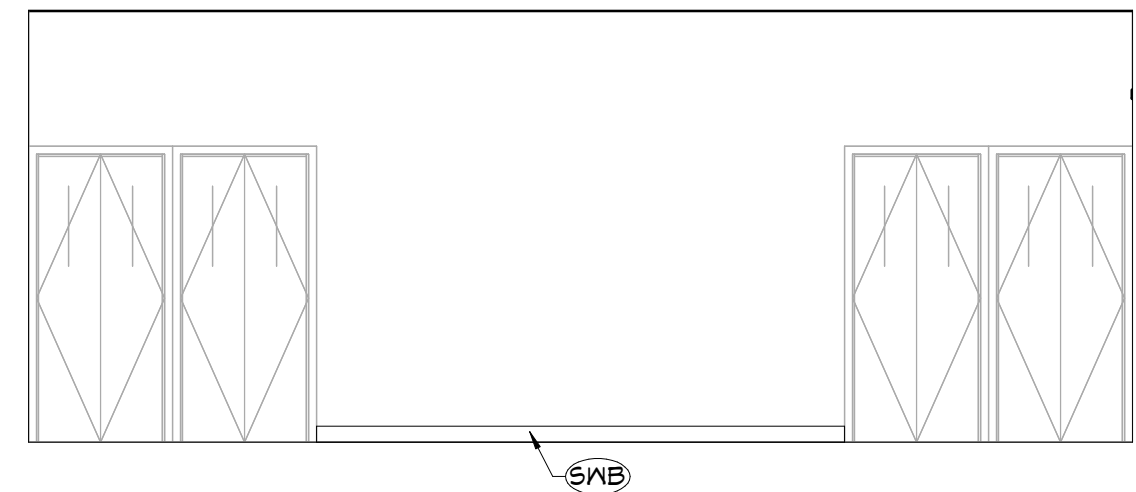
CONSTRUCTION DOCUMENTS



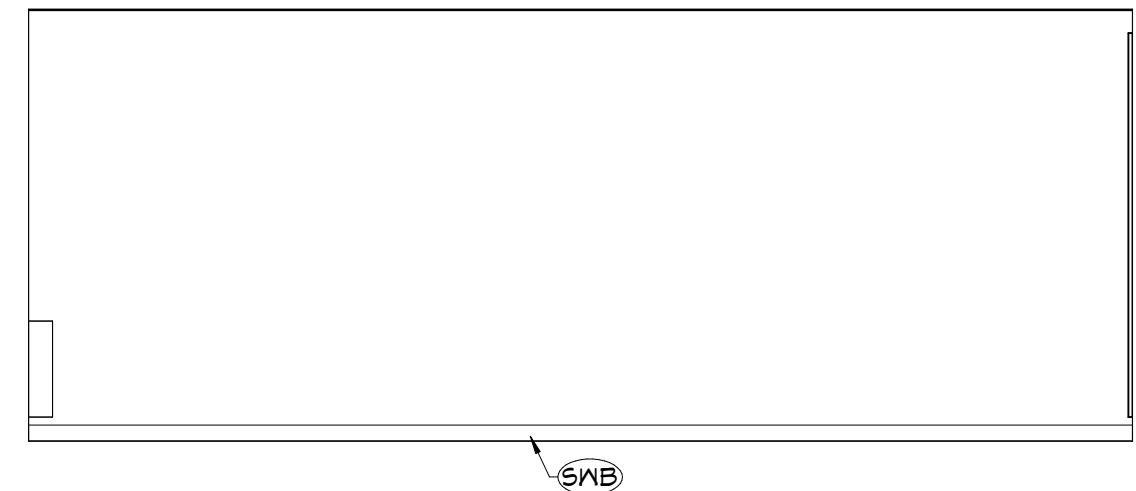
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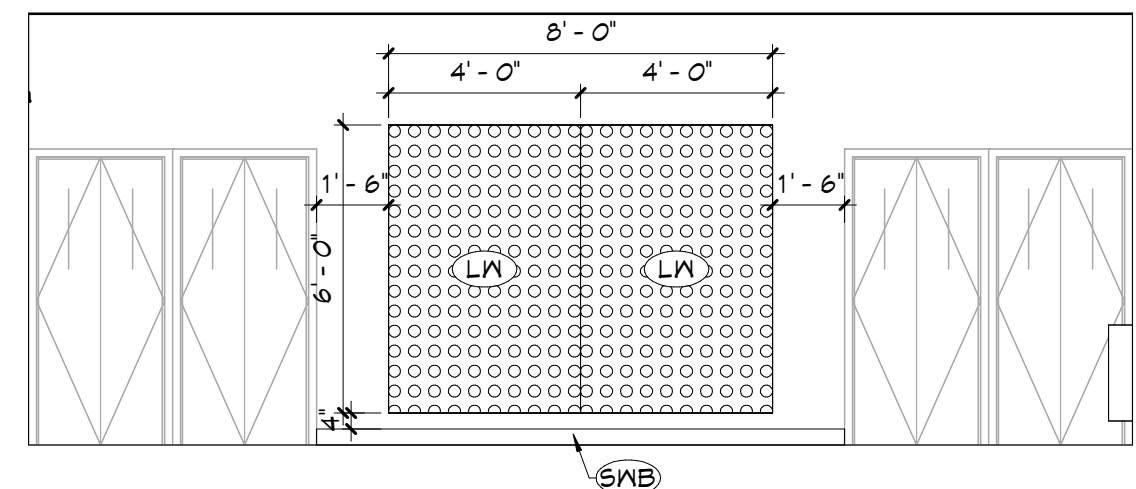
**9** MUSIC 154 - SOUTH  
A607 1/4" = 1'-0"



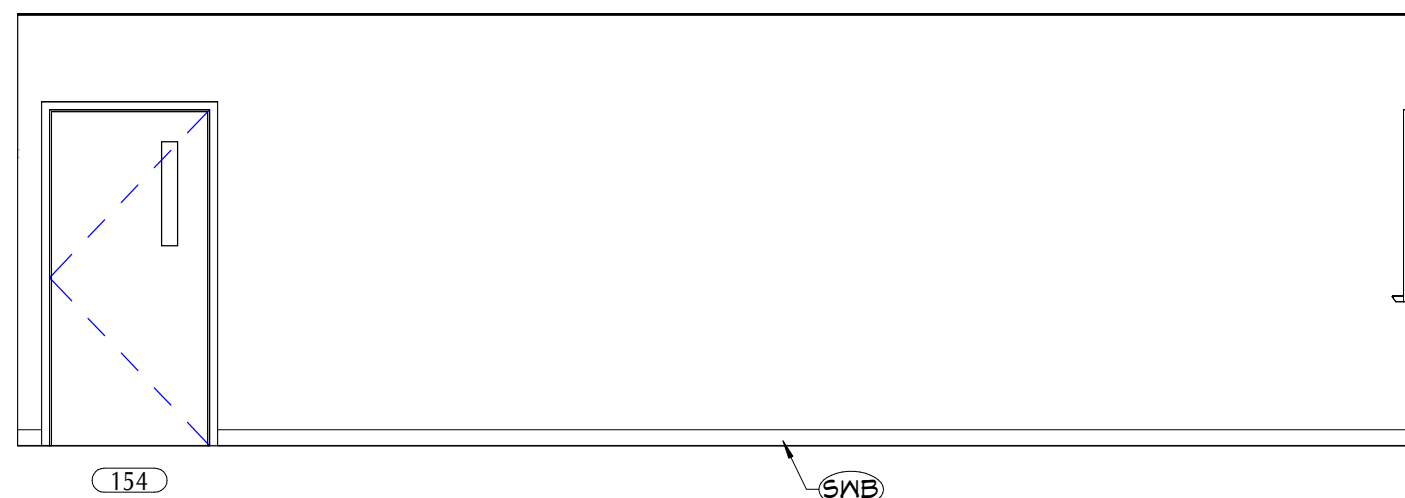
**7** MUSIC 154 - NORTH  
A607 1/4" = 1'-0"



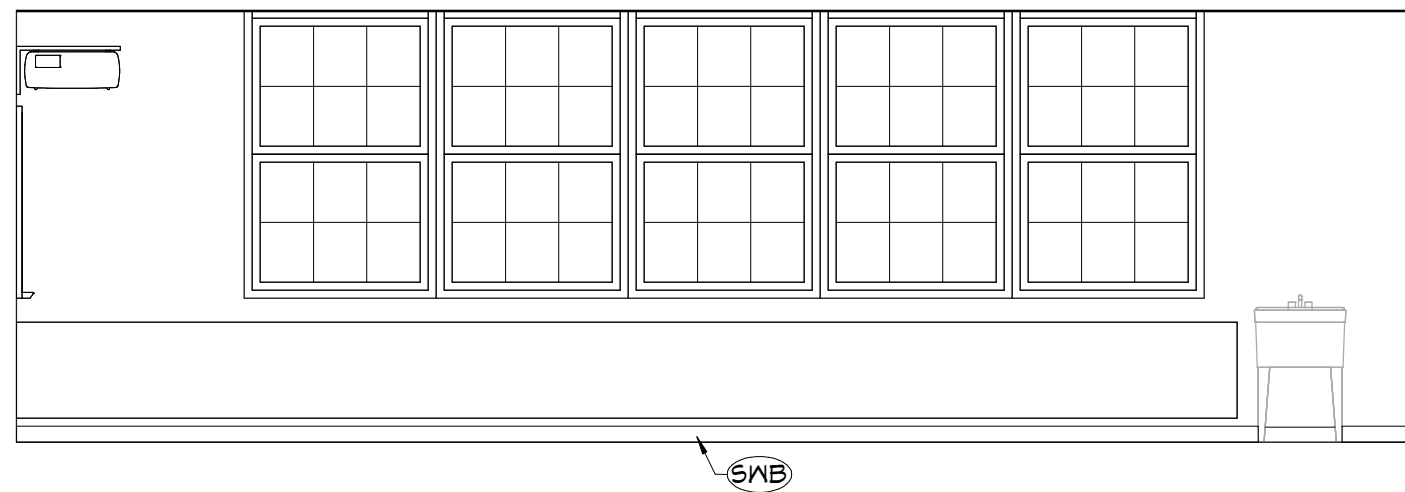
**5** MAKER SPACE 155 - SOUTH  
A607 1/4" = 1'-0"



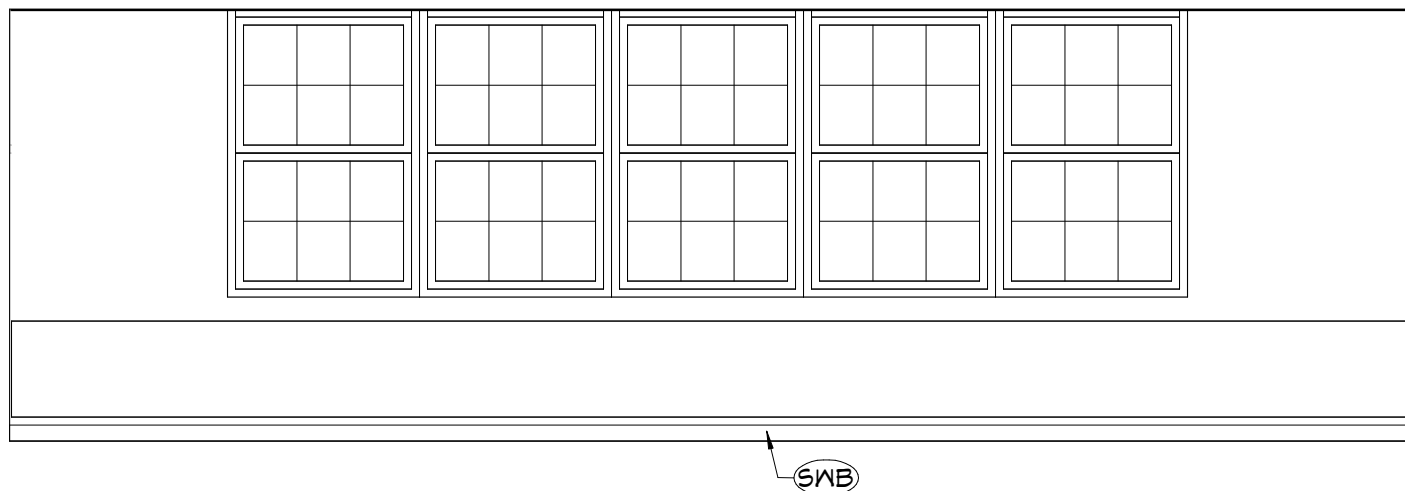
**3** MAKER SPACE 155 - NORTH  
A607 1/4" = 1'-0"



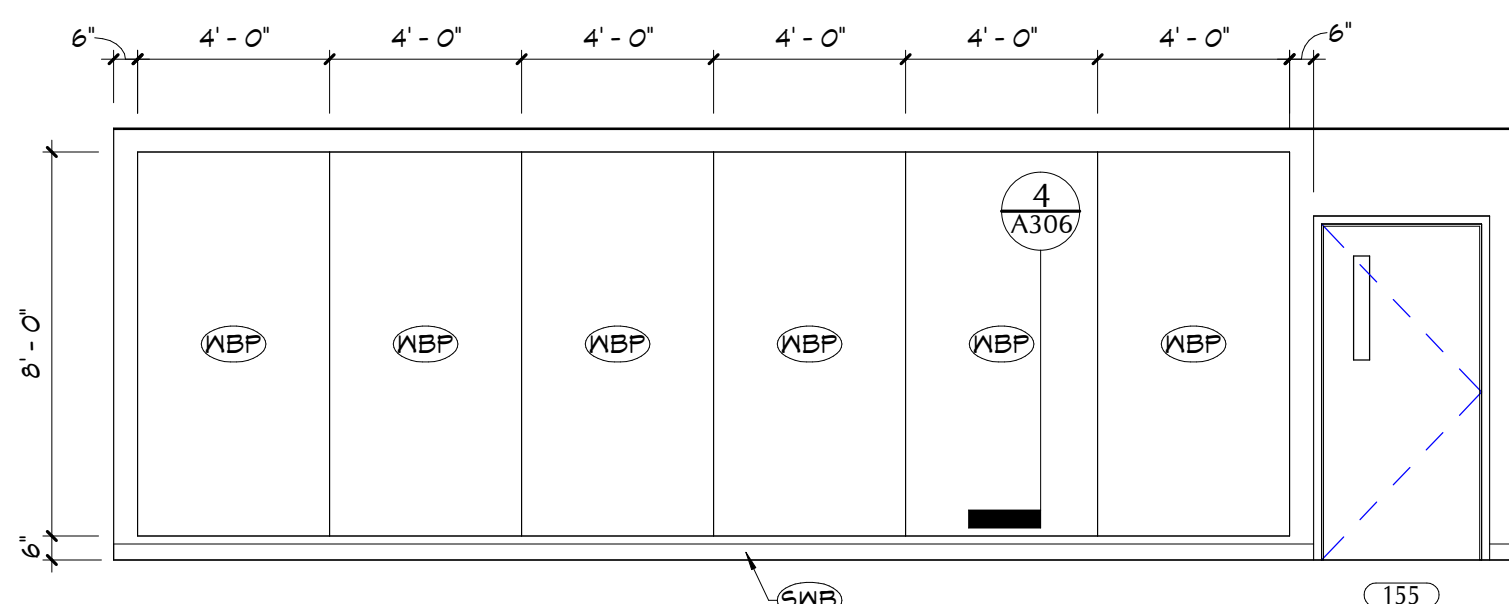
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A607 1/4" = 1'-0"



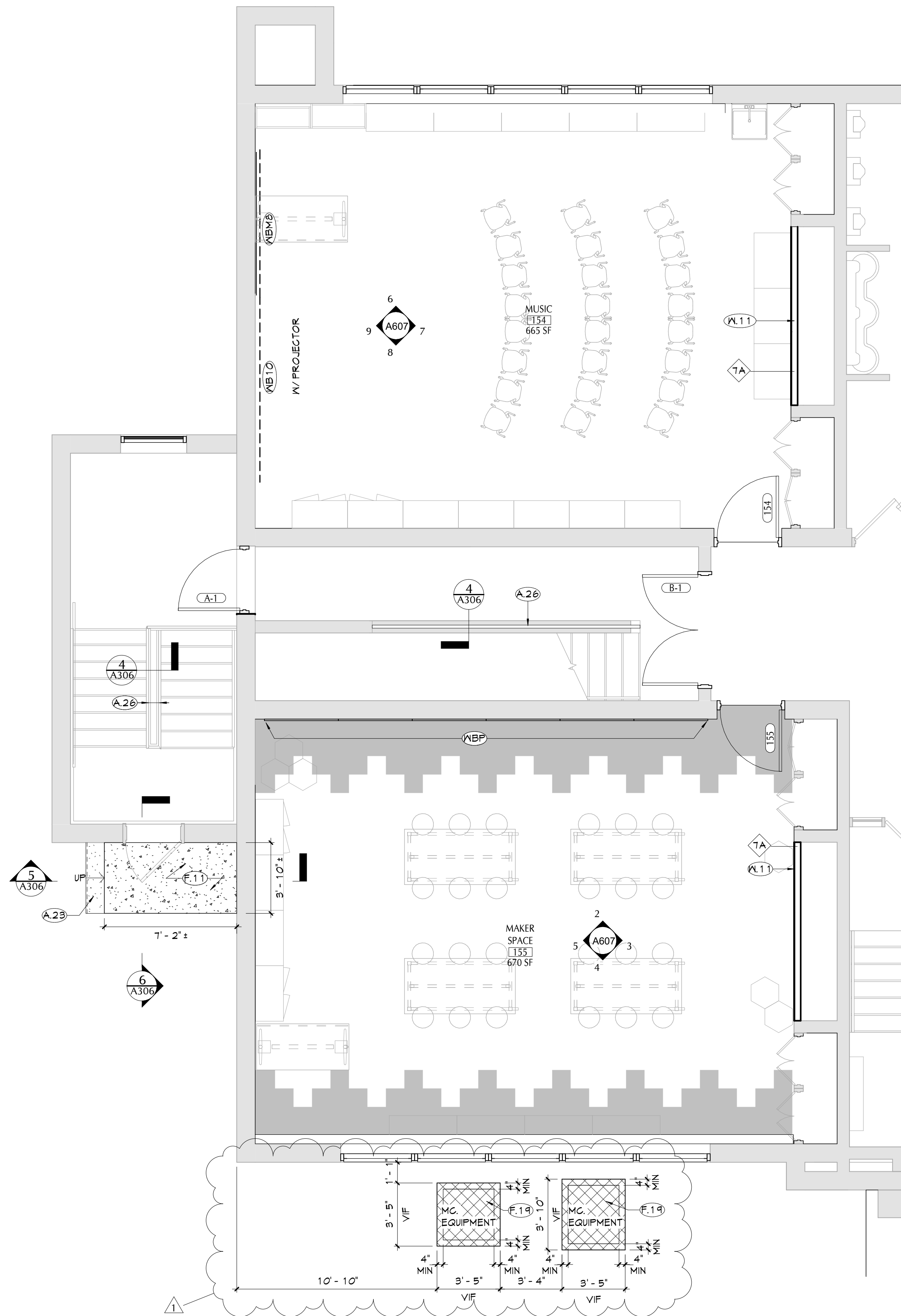
**6** MUSIC 154 - WEST  
A607 1/4" = 1'-0"



**4** MAKER SPACE 155 - EAST  
A607 1/4" = 1'-0"



**2** MAKER SPACE 155 - WEST  
A607 1/4" = 1'-0"



**1** ENLARGED PLAN - MUSIC / MAKER SPACE  
A607 1/4" = 1'-0"

GENERAL NOTES	
1.	ALL CASEWORK SHALL HAVE PLASTIC LAMINATE (PLAM) COUNTERTOPS AND 4" BACK SPLASHES, UNO
2.	INSTALL MATCHING FILLER PANELS AS REQUIRED SHOWN. ADD MATCHING FILLER PANELS AS REQUIRED FOR FINAL FIT/FINISH.
3.	PROVIDE BLOCKS IN ALL ADJACENT WALLS AS REQUIRED TO INSTALL ALL CASEWORK.
4.	PROVIDE FINISHED END PANEL AT ALL EXPOSED FACES OF CASEWORK.
5.	PROVIDE WALL BASE AS SCHEDULED ON ALL EXPOSED TOE KICK SPACES AND EXPOSED END PANELS.

CASEWORK NOTES	
—	WIDTH OF CASEWORK
—	DEPTH OF CASEWORK
—	HEIGHT OF CASEWORK
—	— ANI DESIGN NUMBER (INDICATES ELEVATION LAYOUT ONLY; REFER TO DETAILS AND SPECIFICATIONS FOR CASEWORK CONSTRUCTION REQUIREMENTS)
—	CASEWORK MATERIAL FINISH

KEY NOTES	
#	DESCRIPTION
A.23	PROVIDE NEW CONCRETE STAIR.
A.26	PROVIDE GUARDRAIL EXTENSION TOP OF RAIL TO BE 42" PER CODE
F.1.1	PROVIDE NEW 5" THICK CONCRETE SLAB ON CLEAN BACKFILL, COMPACTED TO 95% STANDARD PROCTOR.
F.1.4	PROVIDE NEW 5" THICK CONCRETE SLAB ON CLEAN BACKFILL, COMPACTED TO 95% STANDARD PROCTOR. LOCATE BEHIND EXISTING VEGETATION, PROTECT SHRUBS.
LX	12" H X 48" W LEGO WALL
P.J.	PROJECTOR
S/NB	SCHEDULED WALL BASE
N.1.1	PROVIDE NEW METAL STUD WALL CONSTRUCTION UPON COMPLETION OF MECHANICAL EQUIPMENT INSTALL. PROVIDE PLASTER FINISH TO MATCH EXISTING ADJACENT.
NB.1.0	WHITEBOARD, 48" X 10' L
NBMB	WHITEBOARD WITH MUSIC LINES, 48" X 8' L
NBP	WHITEBOARD WALL PANEL

KEY PLAN	
AREA '4'	AREA '2'
AREA '3'	AREA '1'

ENLARGED PLANS - MUSIC / MAKER SPACE	
Sheet No.	PES A607

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PAWLING CENTRAL SCHOOL DISTRICT  
PAWLING ELEMENTARY SCHOOL  
2020 CAPITAL PROJECT - PHASE 3

Project Title

REGISTERED ARCHITECT  
STATE OF NEW YORK  
JAMES J. ESSELY, III  
No. 0088881

1 11/17/2023 BID Addendum 1

DATE DESCRIPTION

Drawn By: MK/ML

Checked By: PN

Proj. #: 13-12-01-84-0-001-024

CSArch Proj. #: 208-2101-03

Issued for Bid: 11/17/2023

Sheet Title

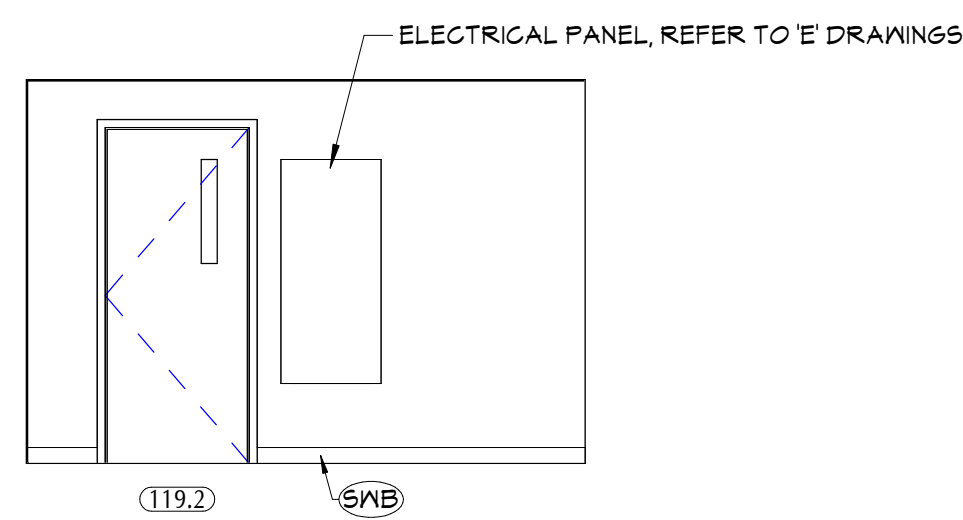
ENLARGED PLANS - MUSIC / MAKER SPACE

Sheet No.

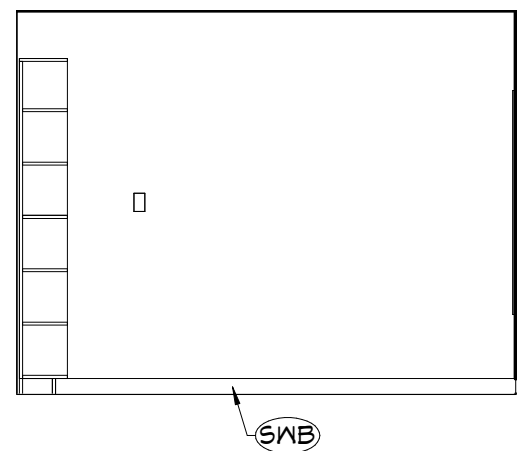
PES A607

CONSTRUCTION DOCUMENTS

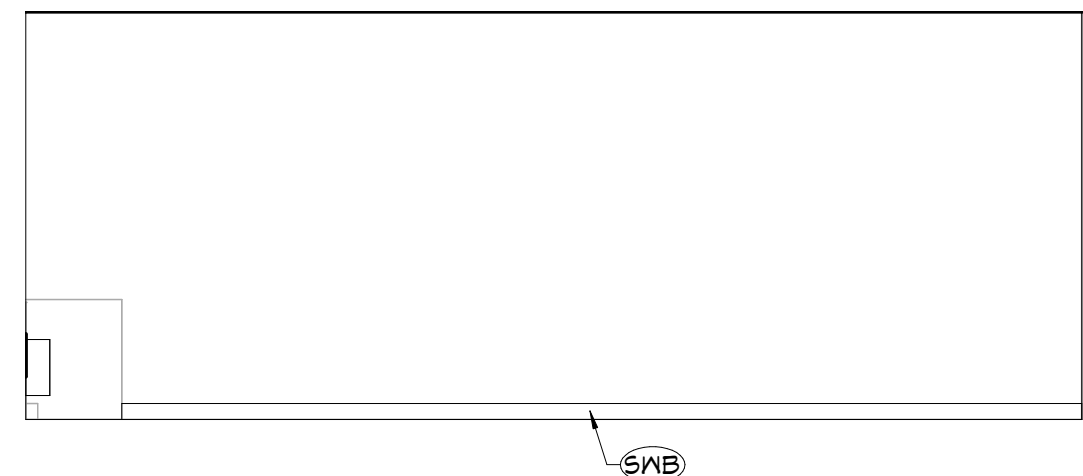




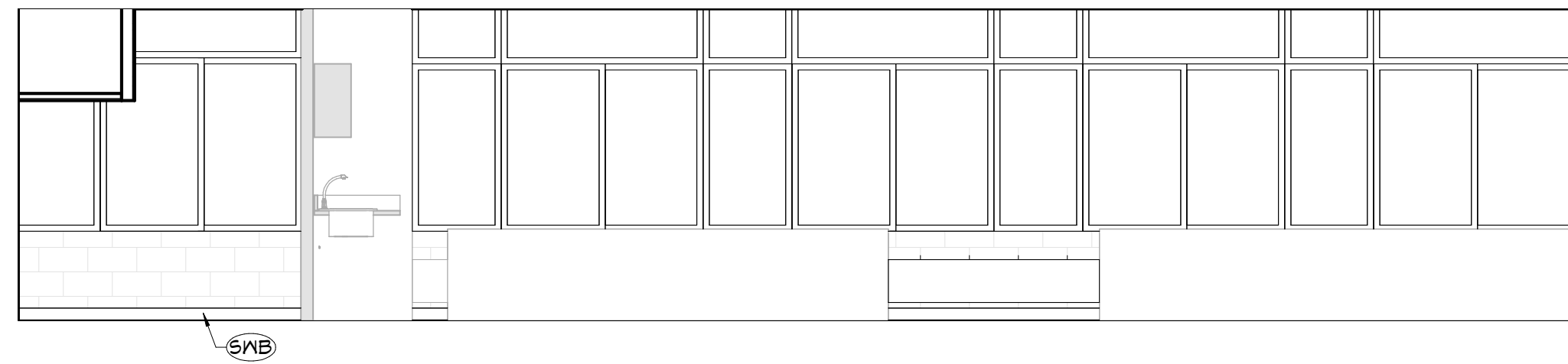
17 PDL 121 - SOUTH  
A608 1/4" = 1'-0"



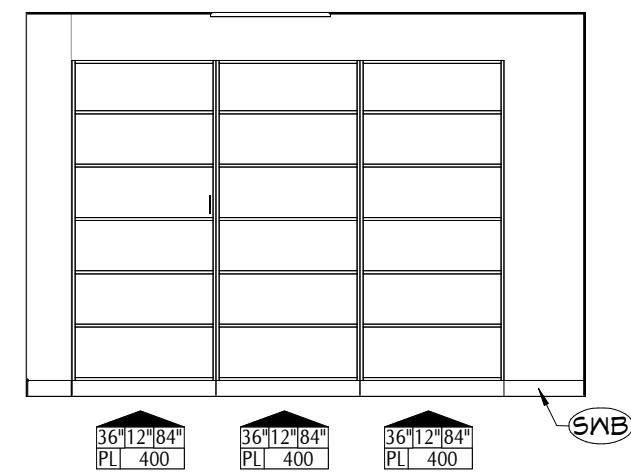
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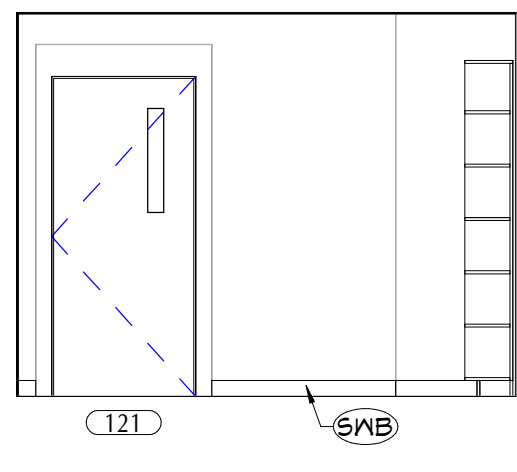
9 ENL CLASSROOM 117 - SOUTH  
A608 1/4" = 1'-0"



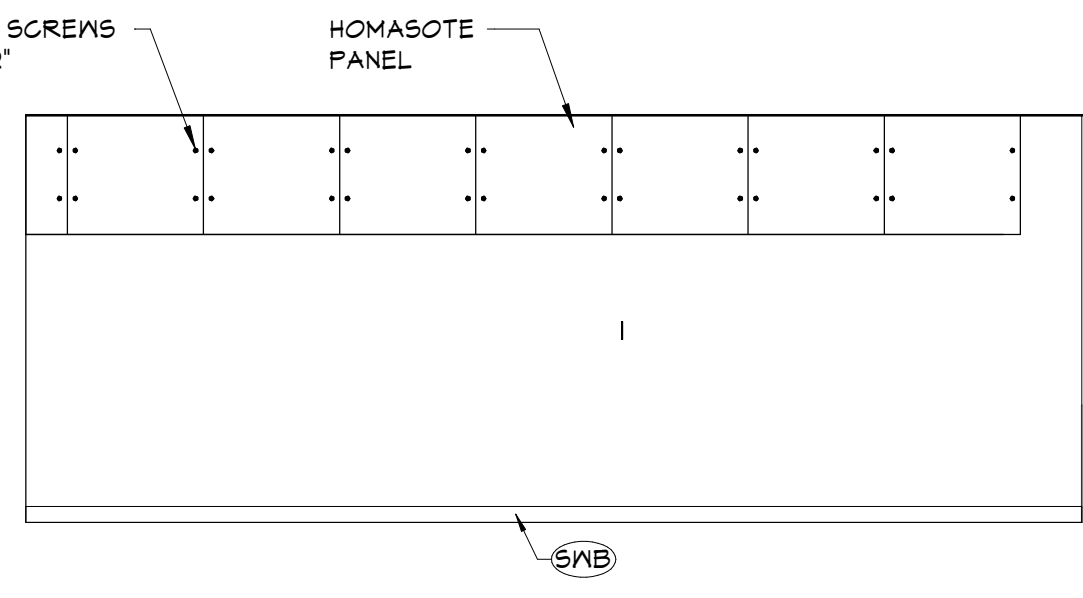
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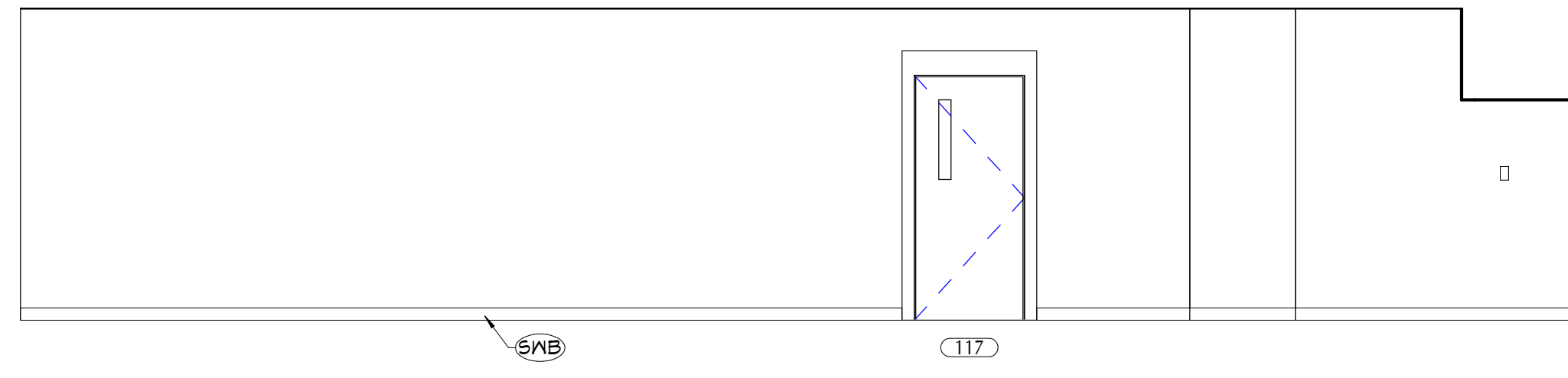
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A608 1/4" = 1'-0"



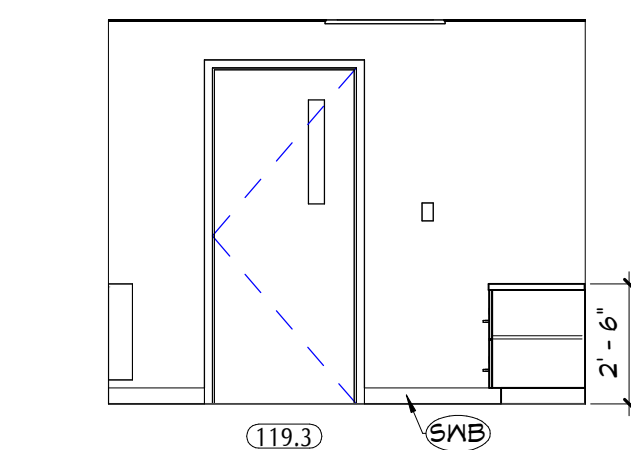
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A608 1/4" = 1'-0"



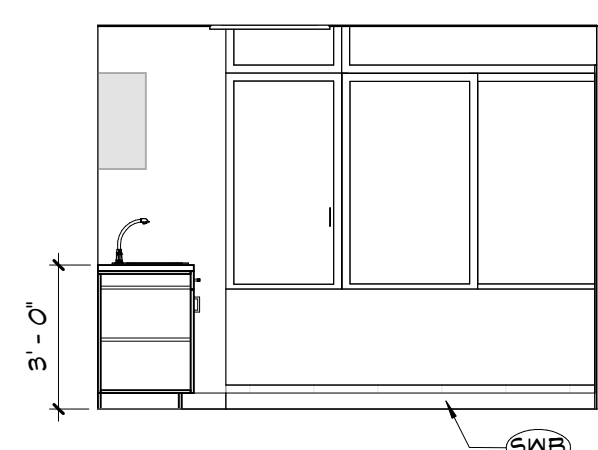
7 ENL CLASSROOM 117 - NORTH  
A608 1/4" = 1'-0"



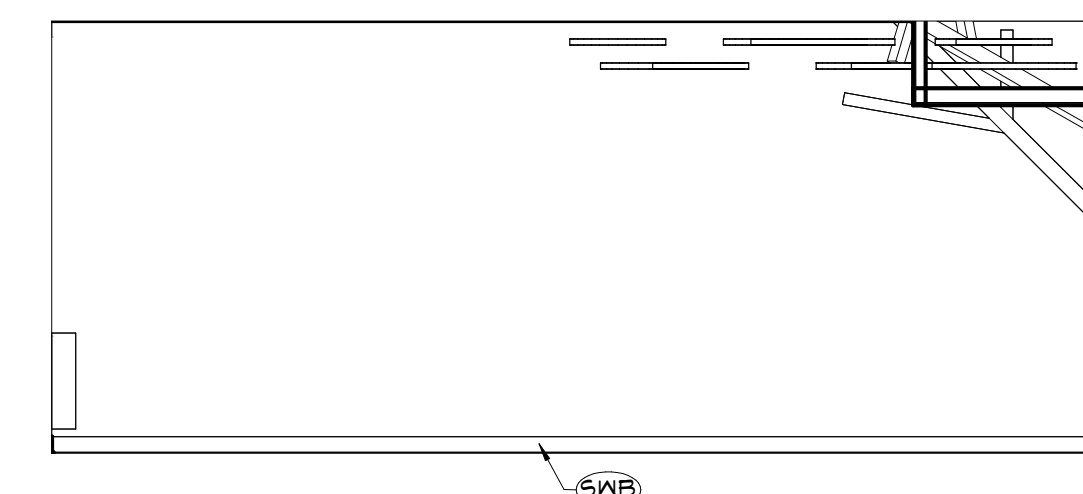
6 ENL CLASSROOM 117 - WEST  
A608 1/4" = 1'-0"



13 OFFICE 119A SOUTH  
A608 1/4" = 1'-0"



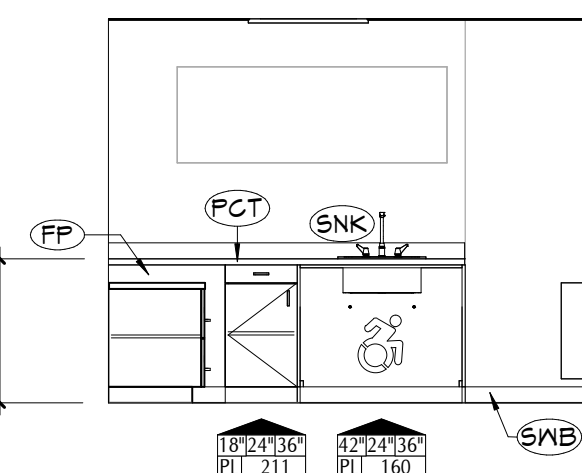
12 OFFICE 119A EAST  
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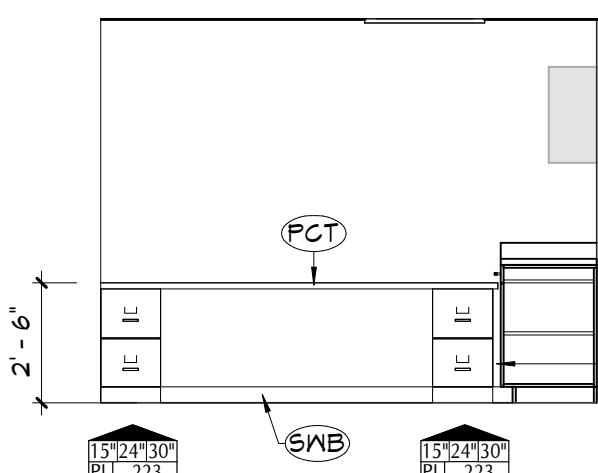
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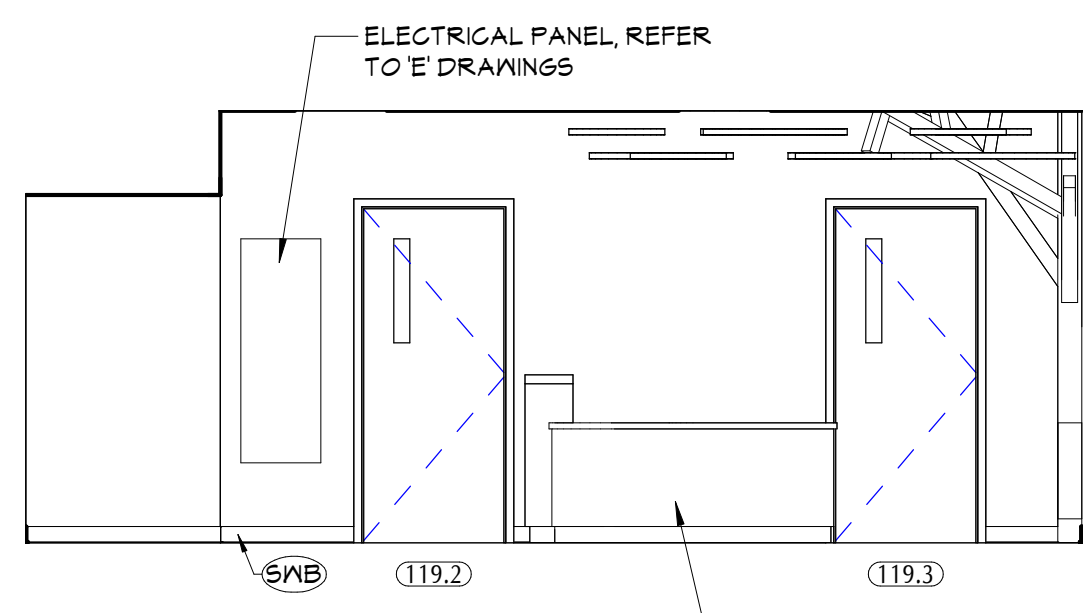
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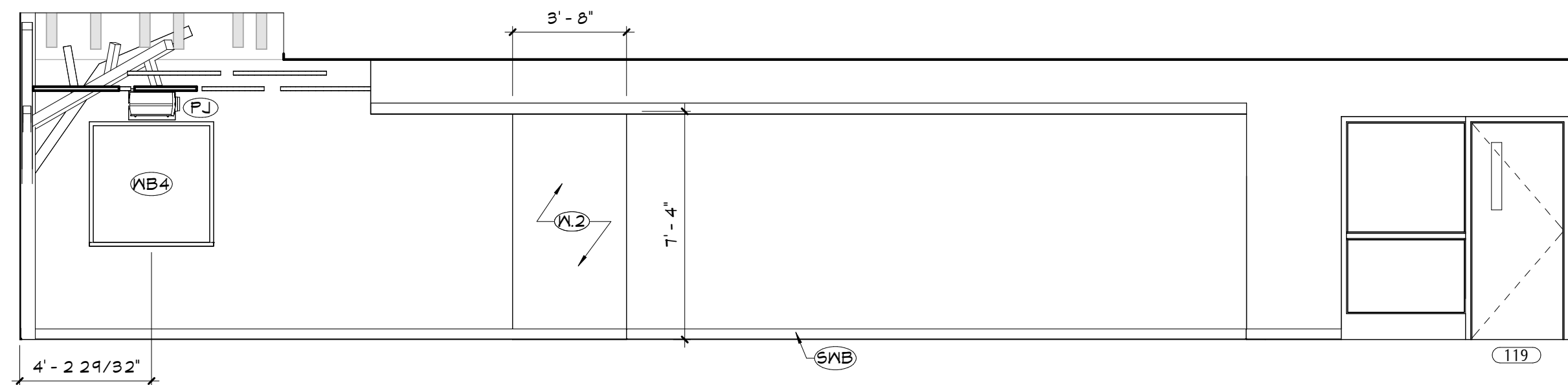
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A608 1/4" = 1'-0"



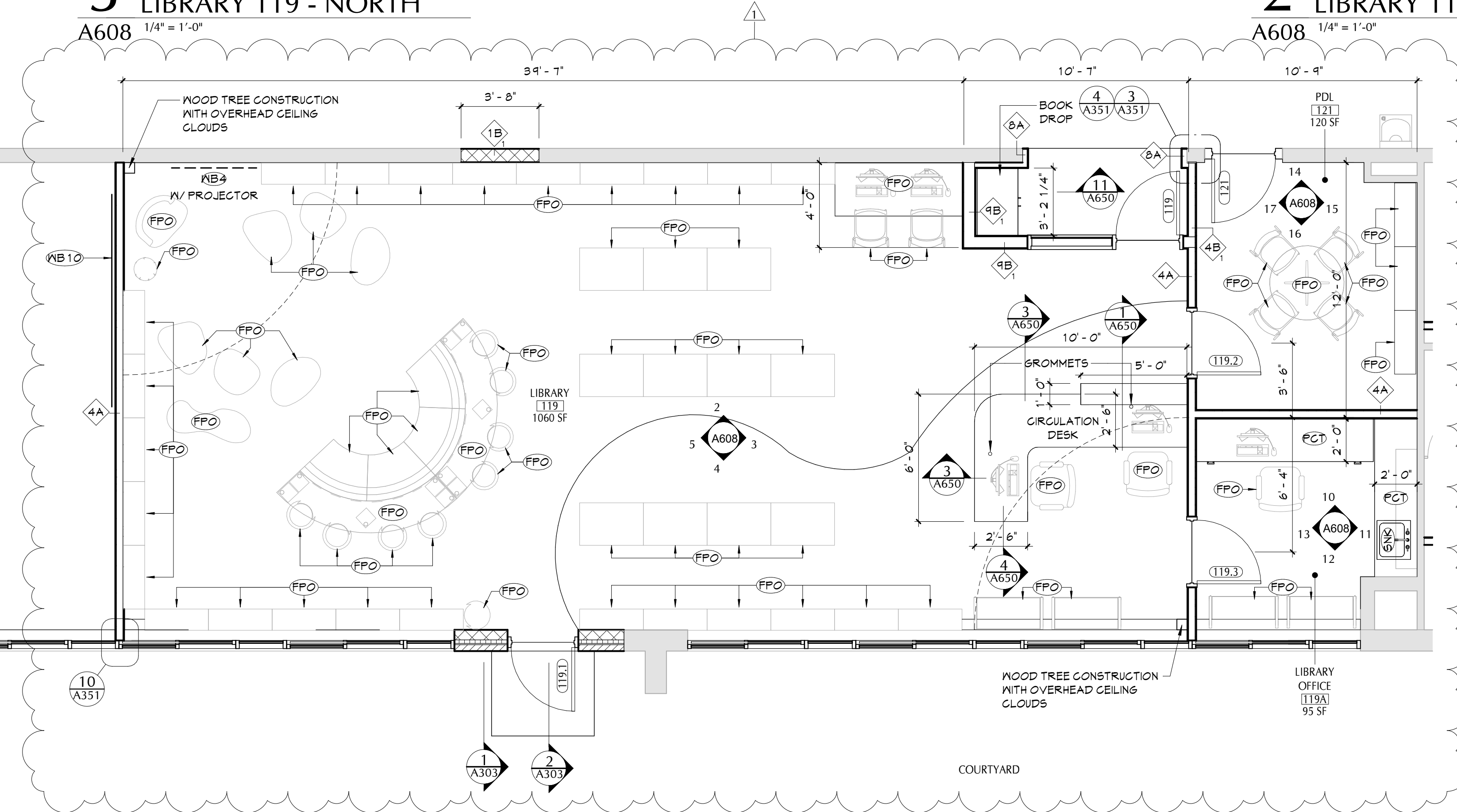
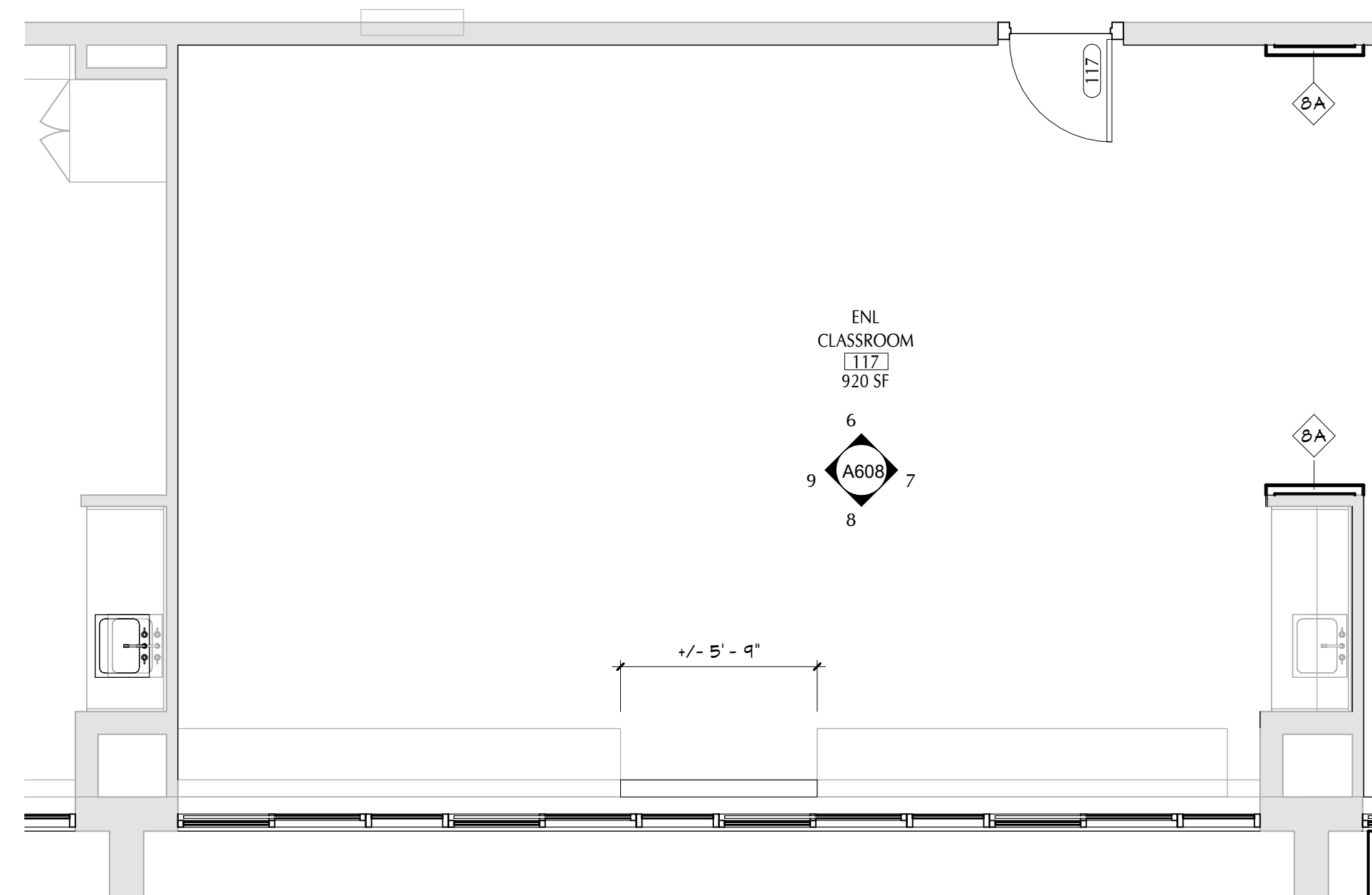
10 OFFICE 119A WEST  
A608 1/4" = 1'-0"



3 LIBRARY 119 - NORTH  
A608 1/4" = 1'-0"



2 LIBRARY 119 - WEST  
A608 1/4" = 1'-0"



1 ENLARGED PLAN - LIBRARY / ENL  
A608 1/4" = 1'-0"

## GENERAL NOTES

1. ALL CASEWORK SHALL HAVE PLASTIC LAMINATE (PLAM) COUNTERTOPS AND 4" BACK SPLASHES, UNO.
2. INSTALL MATCHING FILLER PANELS IN LOCATIONS SHOWN. ADD MATCHING FILLER PANELS AS REQUIRED FOR FINAL FIT/FINISH.
3. PROVIDE BLOCKING IN ALL ADJACENT WALLS AS REQUIRED TO INSTALL ALL CASEWORK.
4. PROVIDE FINISHED END PANEL AT ALL EXPOSED FACES OF CASEWORK.
5. PROVIDE WALL BASE AS SCHEDULED ON ALL EXPOSED TOE KICK SPACES AND EXPOSED END PANELS.

## CASEWORK NOTES

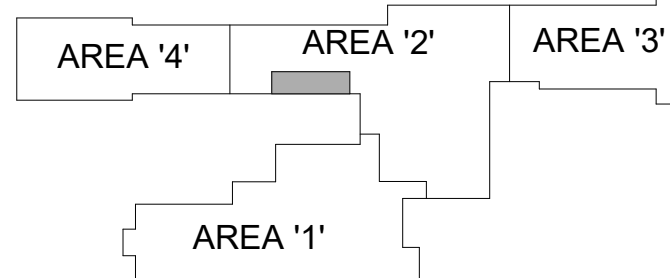
- WIDTH OF CASEWORK  
— DEPTH OF CASEWORK  
— HEIGHT OF CASEWORK  
— ANI DESIGN NUMBER (INDICATES ELEVATION LAYOUT ONLY; REFER TO DETAILS AND SPECIFICATIONS FOR CASEWORK CONSTRUCTION REQUIREMENTS)  
— CASEWORK MATERIAL FINISH

FINISH  
FL PLASTIC LAMINATE

## KEY NOTES

#	DESCRIPTION
FP	FILLER PANEL, MATERIAL TO MATCH CASEWORK BODY
FPO	FURNITURE PROVIDED BY OWNER
FCT	FLAM COUNTERTOP AND 4" BACKSPLASH, CONTINUOUS
PJ	PROJECTOR
SNK	SINK, REFER TO PLUMBING DRAWINGS
SNB	SCHEDULED WALL BASE
M2	INFILL WALL WITH CMU TO MATCH ADJACENT WALL THICKNESS AND FINISH. PROVIDE WALL RATINGS AS NECESSARY TO COMPLY WITH LOCAL OR STATE CODE JURISDICTIONS. REFER TO LIFE SAFETY PLANS FOR MORE INFORMATION ON RATED WALLS.
NB4	WHITEBOARD, 4H X 4L
NB10	WHITEBOARD, 4H X 10L

## KEY PLAN

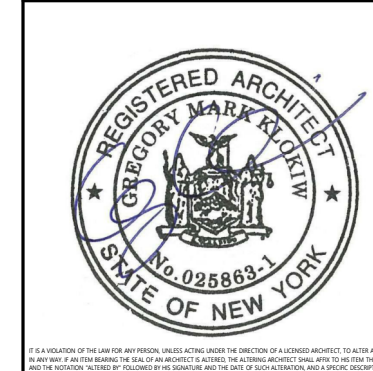


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2020 CAPITAL PROJECT - PHASE 3

Project Title



#	DATE	DESCRIPTION
1	11/17/2023	REVISED

Drawn By:	MC/M
Checked By:	PN
Proj. #:	13-12-01-84-0-001-024
CSArch Proj. #:	208-2101.03
Issued for Bid:	11/17/2023

Sheet Title

ENLARGED  
PLANS -  
LIBRARY

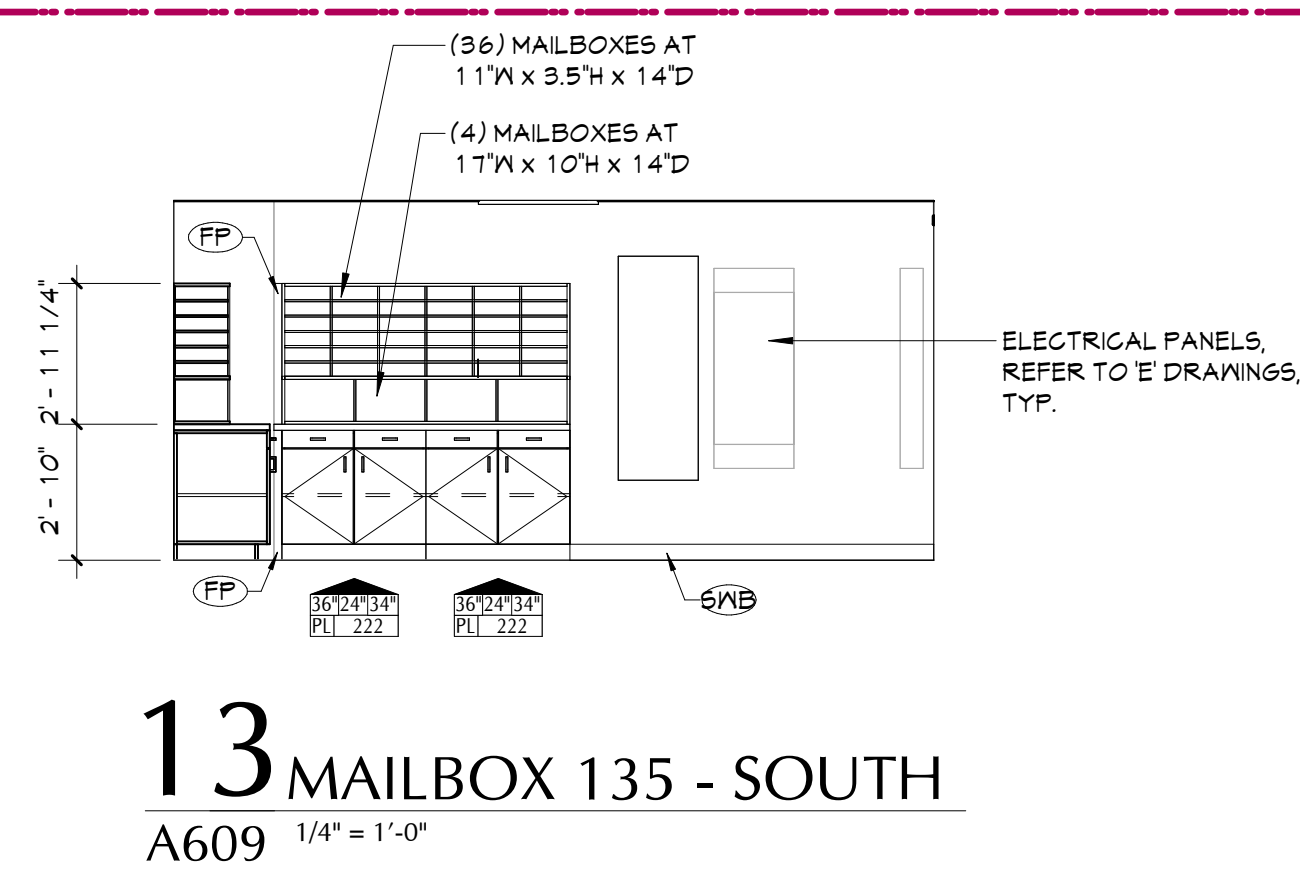
Sheet No.

PES  
A608

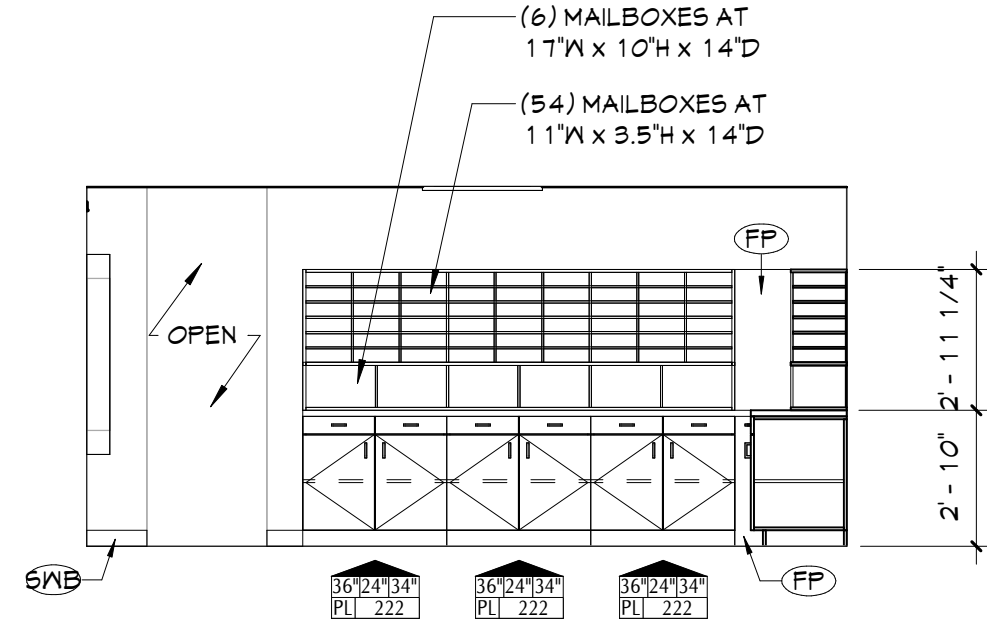
CONSTRUCTION DOCUMENTS



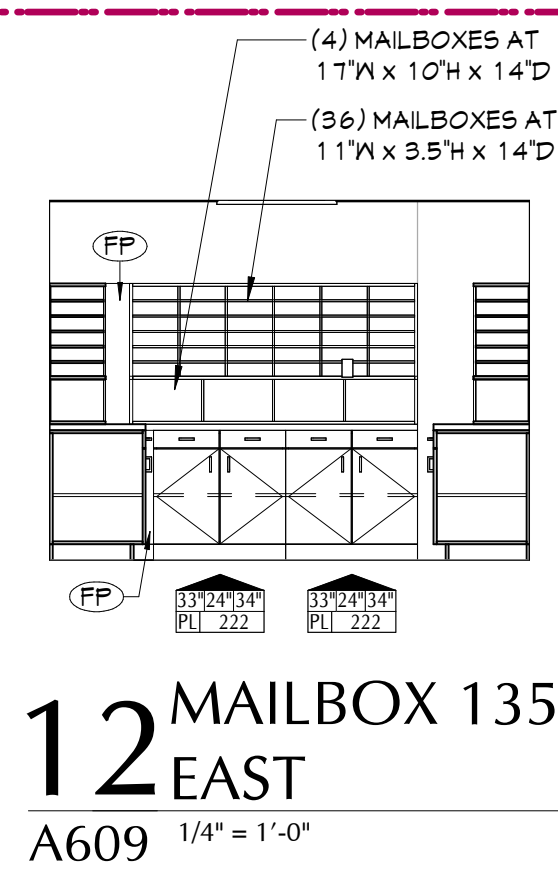
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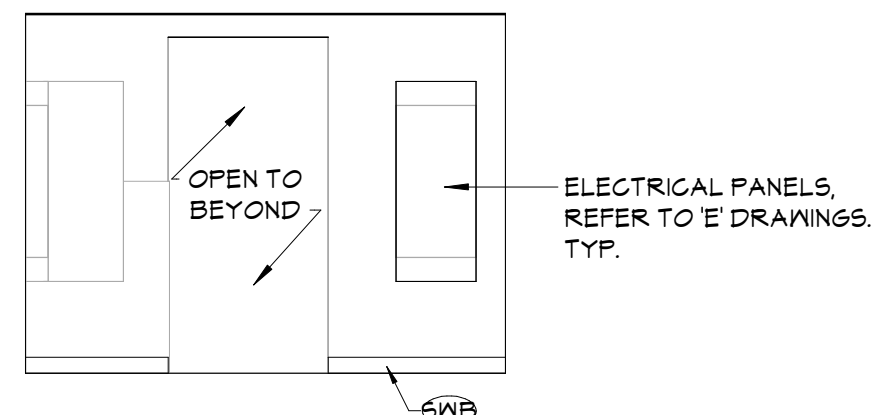
**13** MAILBOX 135 - SOUTH  
A609 1/4" = 1'-0"



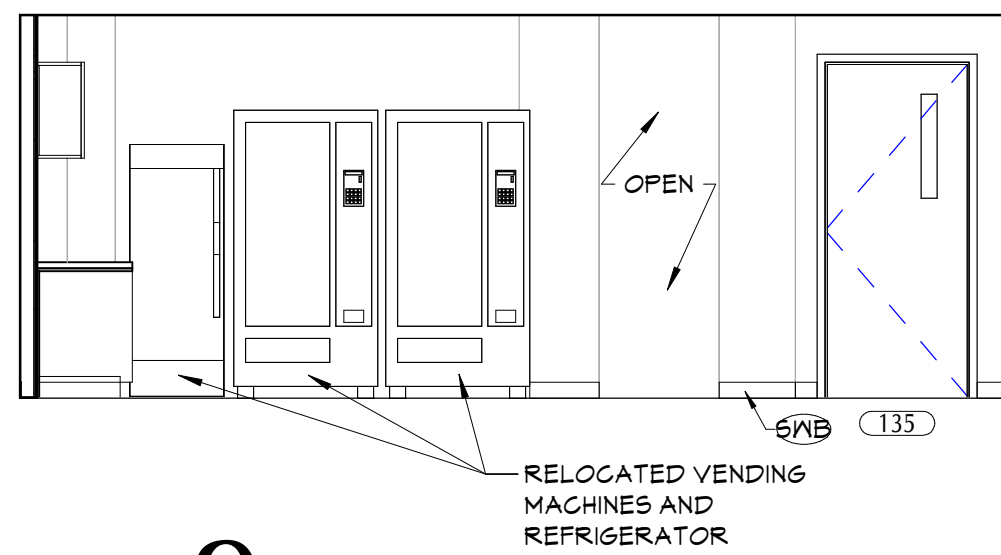
**11** MAILBOX 135 - NORTH  
A609 1/4" = 1'-0"



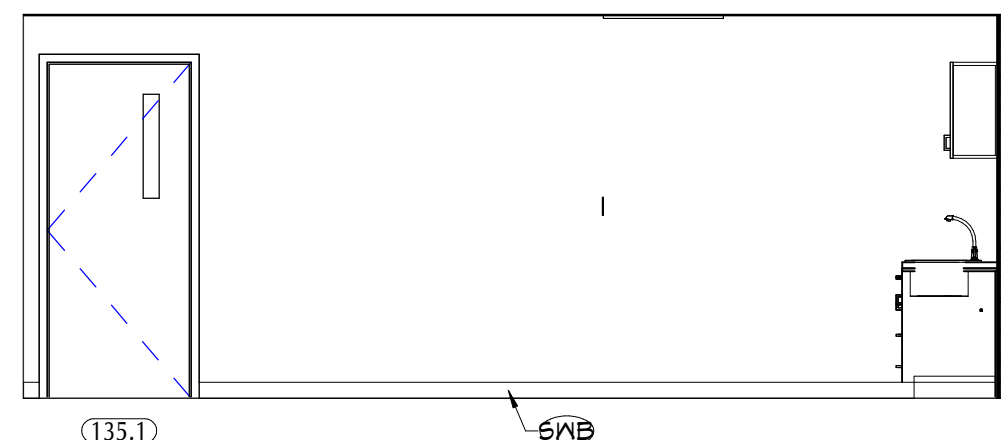
**12** MAILBOX 135 EAST  
A609 1/4" = 1'-0"



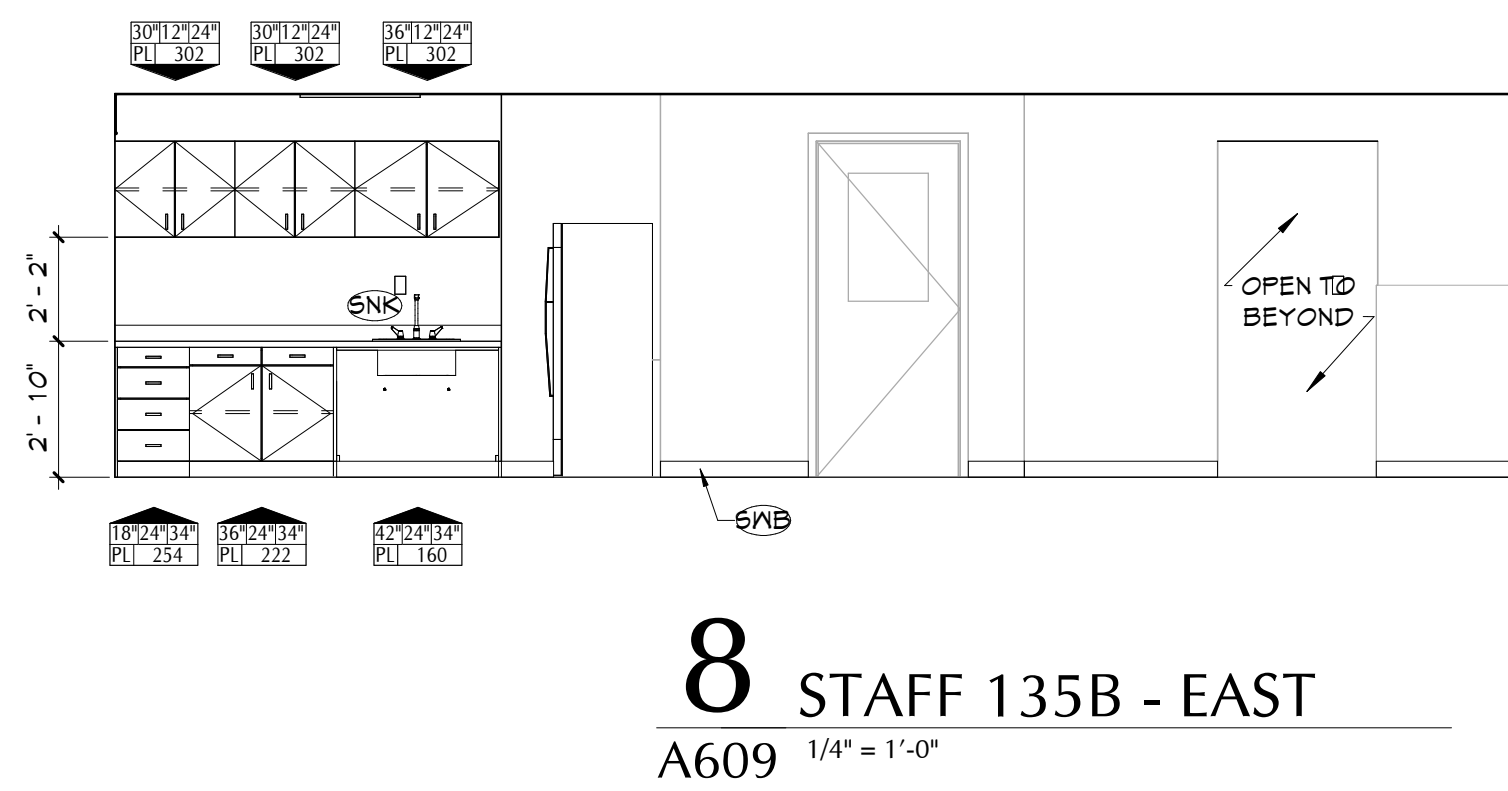
**10** MAILBOX 135 WEST  
A609 1/4" = 1'-0"



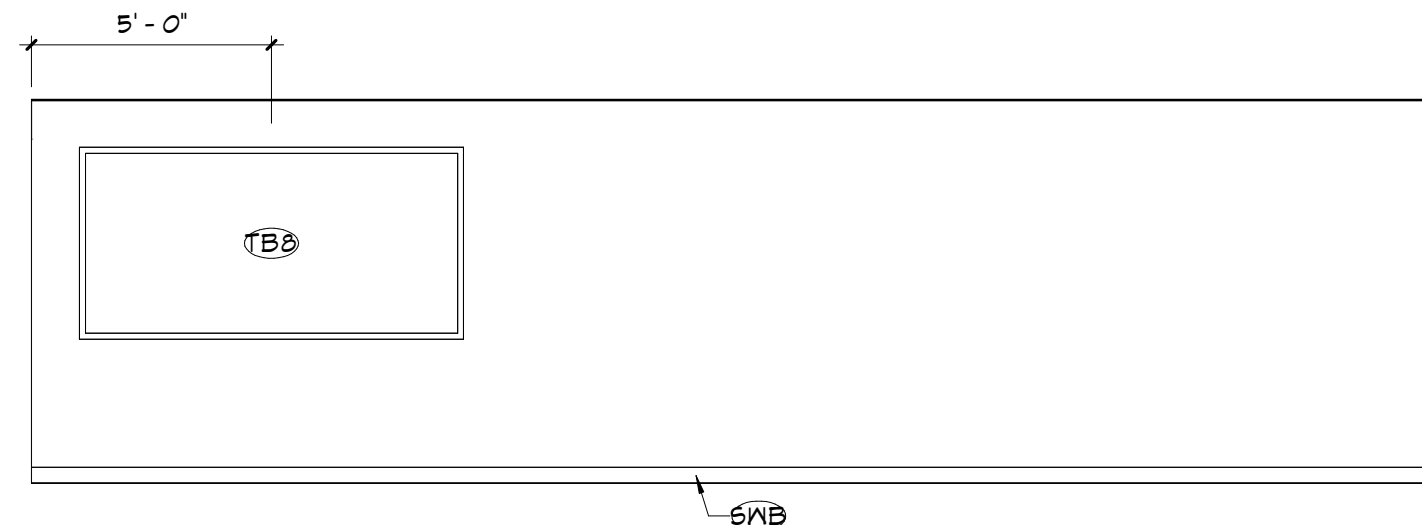
**9** STAFF 135B - SOUTH  
A609 1/4" = 1'-0"



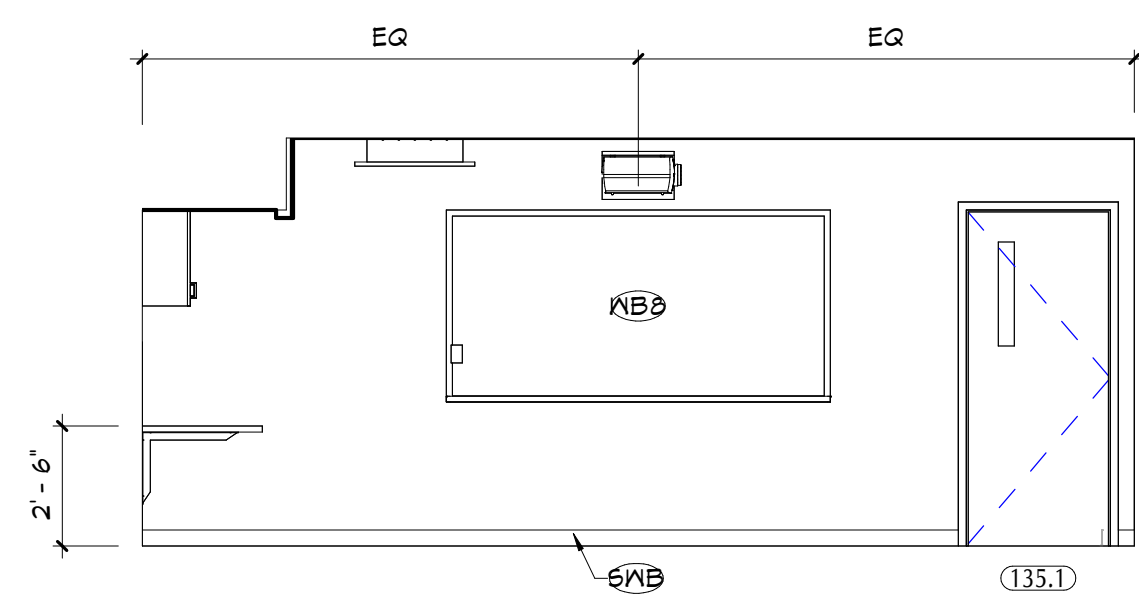
**7** STAFF 135B - NORTH  
A609 1/4" = 1'-0"



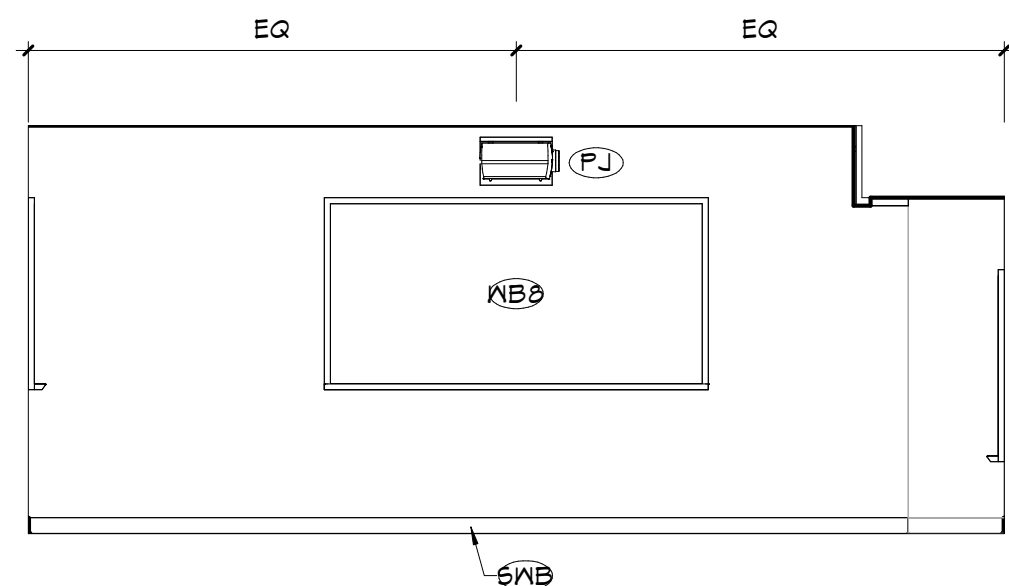
**8** STAFF 135B - EAST  
A609 1/4" = 1'-0"



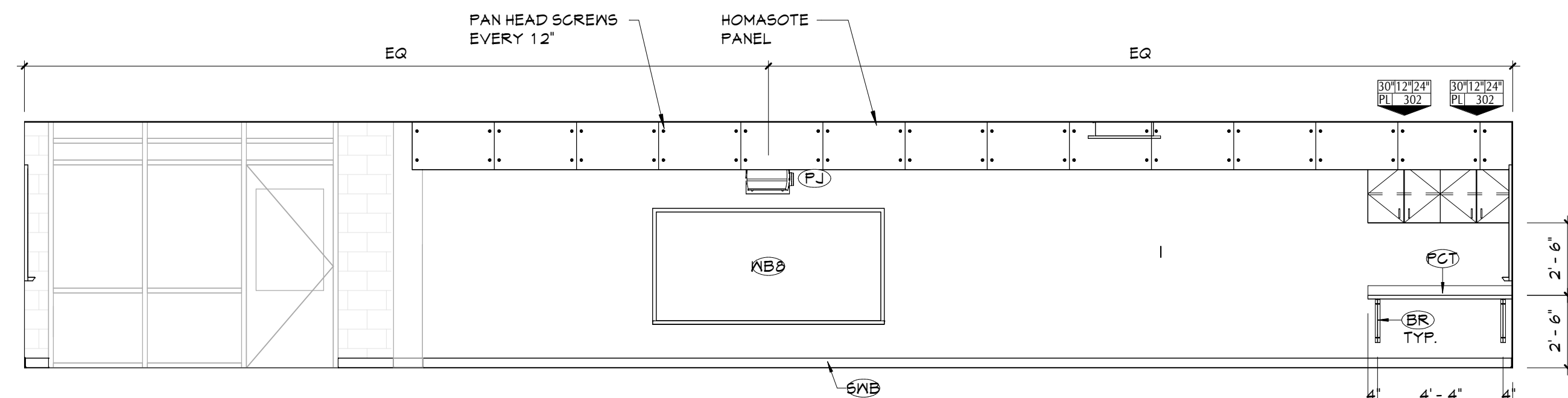
**6** STAFF 135B - WEST  
A609 1/4" = 1'-0"



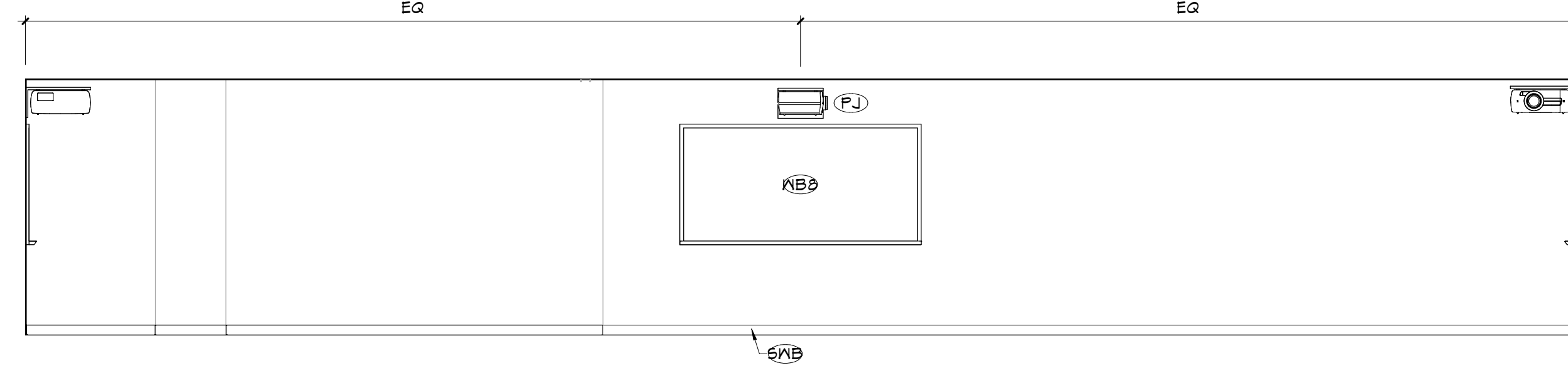
**5** CONFERENCE ROOM 135 - SOUTH  
A609 1/4" = 1'-0"



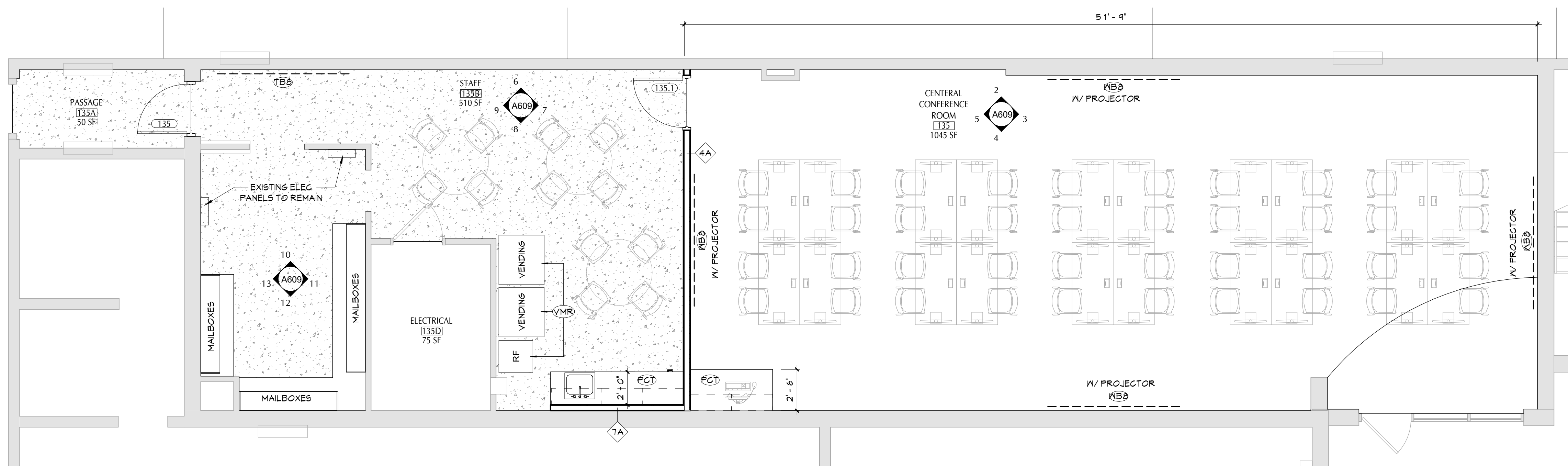
**3** CONFERENCE ROOM 135 - NORTH  
A609 1/4" = 1'-0"



**4** CONFERENCE ROOM 135 - EAST  
A609 1/4" = 1'-0"



**2** CONFERENCE ROOM 135 - WEST  
A609 1/4" = 1'-0"



**1** ENLARGED PLAN - CENTRAL CONFERENCE  
A609 1/4" = 1'-0"

ALTERNATE #4 - CENTRAL CONFERENCE

## GENERAL NOTES

1. ALL CASEWORK SHALL HAVE PLASTIC LAMINATE (PLAM) COUNTERTOPS AND 4" BACK SPLASHES, UNO.
2. INSTALL MATCHING FILLER PANELS IN LOCATIONS SHOWN. ADD MATCHING FILLER PANELS AS REQUIRED FOR FINAL FIT/FINISH.
3. PROVIDE BLOCKING IN ALL ADJACENT WALLS AS REQUIRED TO INSTALL ALL CASEWORK.
4. PROVIDE FINISHED END PANEL AT ALL EXPOSED FACES OF CASEWORK.
5. PROVIDE WALL BASE AS SCHEDULED ON ALL EXPOSED TOE KICK SPACES AND EXPOSED END PANELS.

## CASEWORK NOTES

- NIDTH OF CASEWORK
- DEPTH OF CASEWORK
- HEIGHT OF CASEWORK
- ANU DESIGN NUMBER (INDICATES ELEVATION LAYOUT ONLY; REFER TO DETAILS AND SPECIFICATIONS FOR CASEWORK CONSTRUCTION REQUIREMENTS)
- CASEWORK MATERIAL FINISH

FINISH  
FL PLASTIC LAMINATE

## KEY NOTES

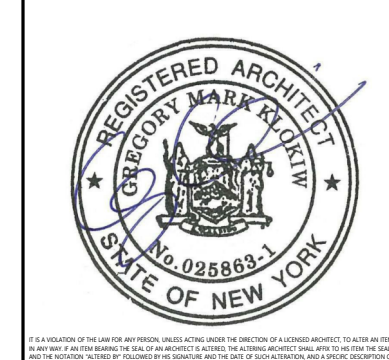
#	DESCRIPTION
BR	STEEL SUPPORT BRACKET
FP	FILLER PANEL, MATERIAL TO MATCH CASEWORK BODY
FCT	FLAM COUNTERTOP AND 4" BACKSPLASH, CONTINUOUS
PJ	PROJECTOR
SNK	SINK, REFER TO PLUMBING DRAWINGS
SNB	SCHEDULED WALL BASE
TBD	TACKBOARD, 4H X 8L
VMR	RELOCATE AND REINSTALL OWNER'S VENDING MACHINES & REFRIGERATOR EQUIPMENT FROM STAFF 135B
NBD	WHITEBOARD, 4H X 8L

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2020 CAPITAL PROJECT - PHASE 3

Project Title

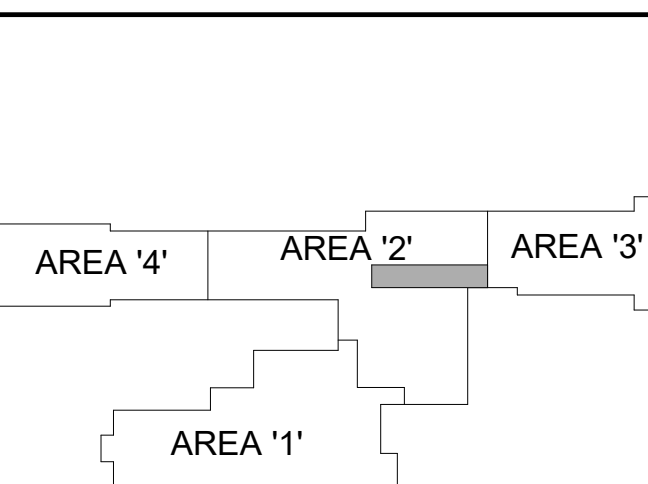


DATE	DESCRIPTION
11/11/2023	REV Addition 1

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Checked By:	PN
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CSArch Proj. #:	208-2101.03
Issued for Bid:	11/1/2023

## ALTERNATE #4 - CENTRAL OFFICE

### KEY PLAN



Sheet Title

ENLARGED  
PLANS -  
CONFERENCE  
ROOM

Sheet No.

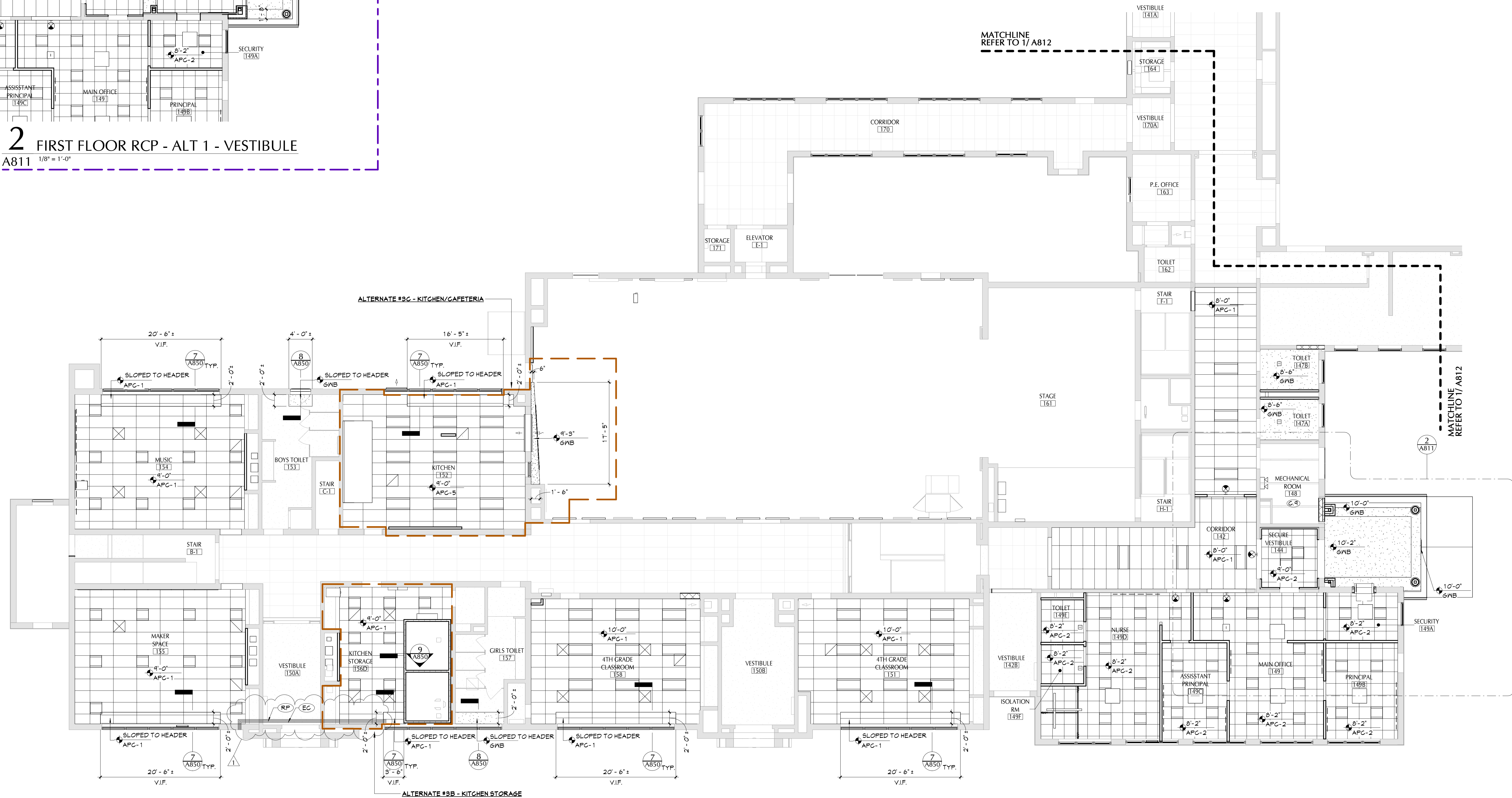
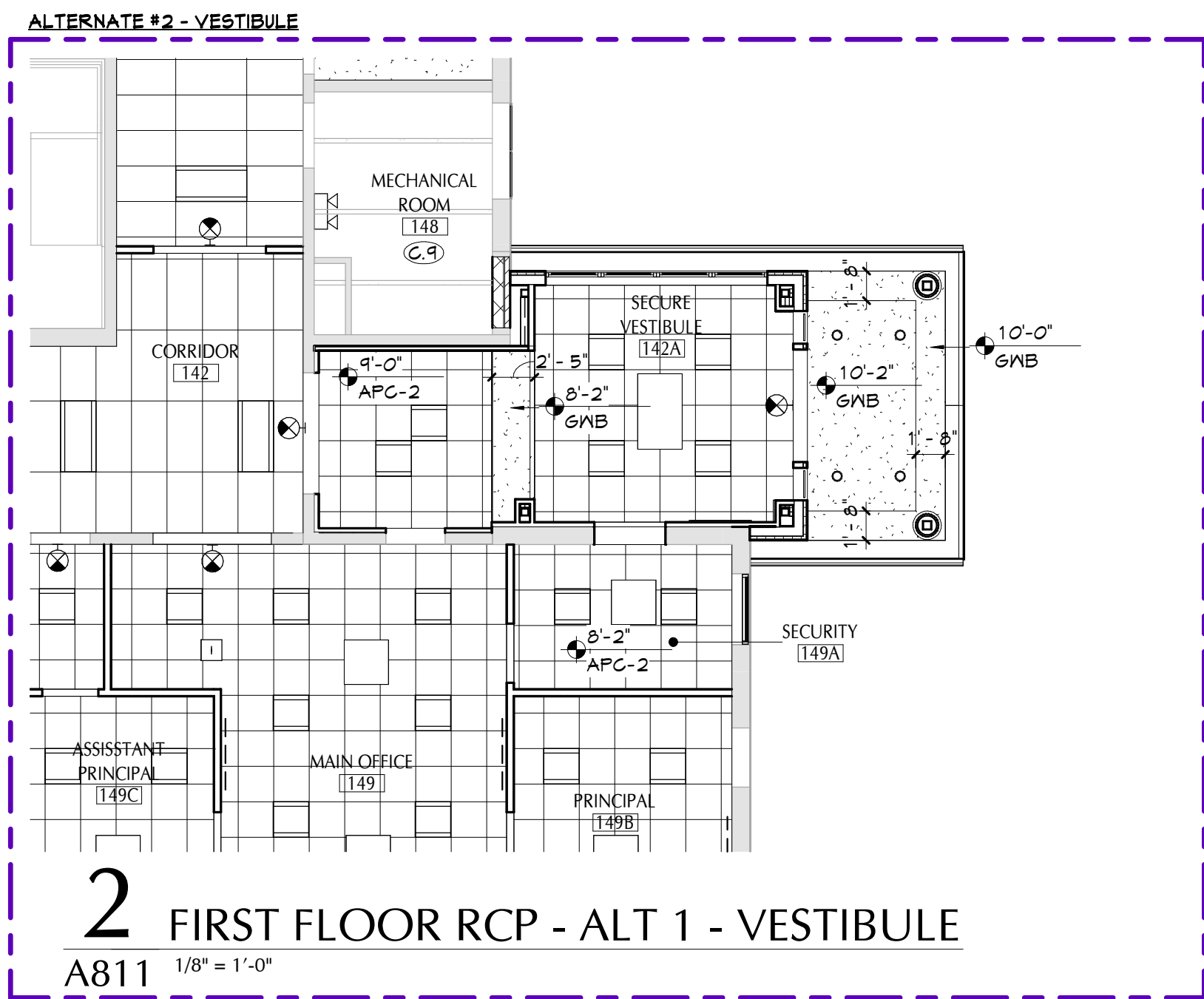
PES  
A609

CONSTRUCTION DOCUMENTS

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CEILING NOTES

1. INSTALL CEILING GRIDS CENTERED IN THE ROOM. UNLESS OTHERWISE NOTED, GRIDS CENTERED ON WALLS OR OTHER BUILT FEATURES AS INDICATED.
2. INSTALLATION HEIGHTS OF THE CEILING SHALL VARY SLIGHTLY FROM PLANS IN ROOMS WITH EXTERIOR WINDOWS. ACTUAL CEILING HEIGHT TO BE VERIFIED IN THE FIELD.
3. FINAL INSTALLED CEILING SHALL HAVE HEIGHTS COORDINATED WITH OTHER CONTRACTORS WITH ABOVE CEILING WORK AND VERIFIED WITH FIELD CONDITIONS. ALL CHANGES IN CONFIGURATION OR HEIGHTS ARE TO BE APPROVED BY THE ARCHITECT.

CEILING LEGEND

6MB OR PLASTER CEILING, REFER TO DETAILS AND ROOM FINISH SCHEDULE

SUSPENDED ACOUSTICAL PANEL CEILING SYSTEM

CEILING HEIGHT ABOVE FINISHED FLOOR

ETR EXISTING TO REMAIN

ELECTRICAL EQUIPMENT, REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

2'x4' LIGHT FIXTURE

2'x2' LIGHT FIXTURE

1'x1' LIGHT FIXTURE

RECESSED DOWN LIGHT

CEILING MOUNTED EXIT SIGN

MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

HVAC SUPPLY GRILLE

HVAC RETURN GRILLE

CEILING TYPES

APC-1 2'x4' ACOUSTIC PANEL CEILING, FINE FIGURE

APC-2 2'x2' ACOUSTIC PANEL CEILING, FINE FIGURE

APC-3 3'-0" DIAMETER ACOUSTIC CEILING CLOUD, ROUND TEGUM

APC-4 2'-0" DIAMETER ACOUSTIC CEILING CLOUD, ROUND TEGUM

APC-5 2'x4' ACOUSTIC PANEL CEILING, MASHABLE

GMB GYPSUM WALL BOARD

KEY NOTES

#	DESCRIPTION
0-1	ALL EXPOSED STRUCTURE TO BE PAINTED.
EC	ELECTRICAL CONDUIT, REFER TO ELECTRICAL DRAWINGS
RP	REFRIGERANT PIPING, REFER TO FOOD SERVICE DRAWINGS

KEY PLAN

AREA '1' AREA '2' AREA '3'

AREA '1'

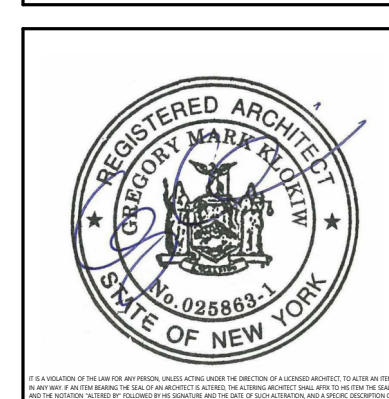
CONSTRUCTION DOCUMENTS

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2020 CAPITAL PROJECT - PHASE 3

Project Title

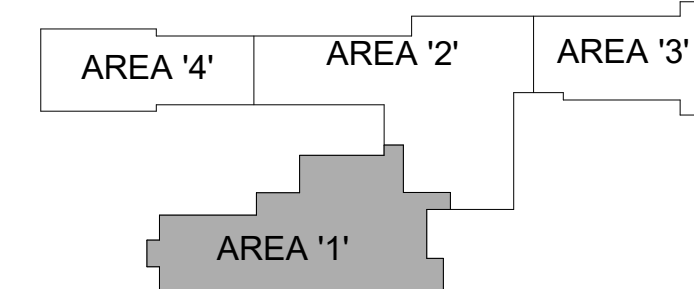


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Checked By: PN  
Proj. #: 13-12-01-84-001-024  
CSArch Proj. #: 208-2101-03  
Issued for Bid: 11/1/2023

Sheet Title  
PARTIAL FIRST FLOOR RCP - AREA '1'  
Sheet No.  
PES  
A811  
CONSTRUCTION DOCUMENTS



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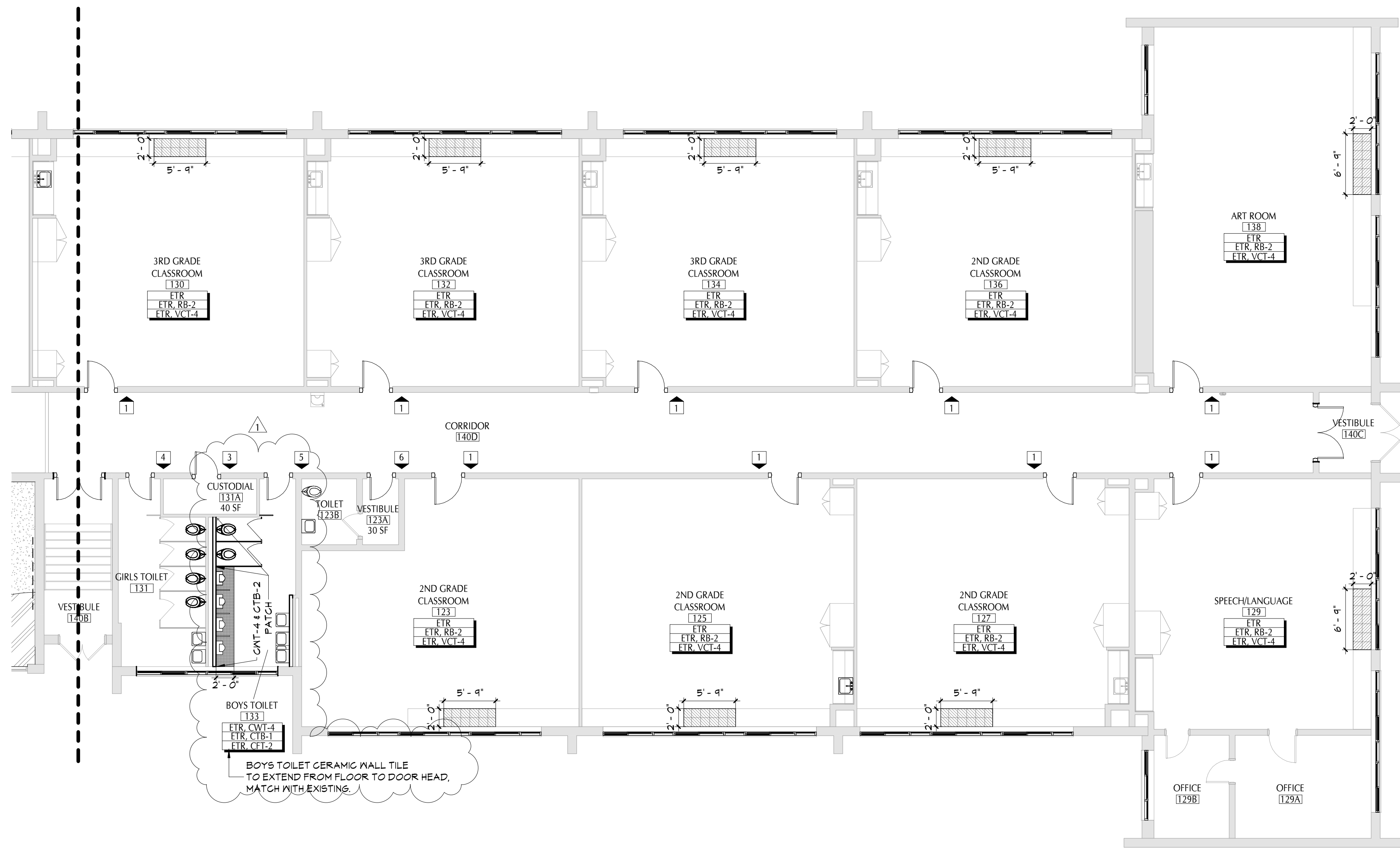








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1 FIRST FLOOR FINISH PLAN - AREA 3  
AF113 1/8" = 1'-0"

#### DISCLAIMER NOTE

MANUFACTURER'S NAMES AND FINISH INFORMATION ARE INDICATED AS REFERENCED TO THE ARCHITECT'S BASIS OF DESIGN SELECTIONS AND HAVE BEEN DETERMINED PRIOR TO BID. THE CONTRACTOR AND OWNER ARE HEREBY NOTIFIED THAT FINISHES INSTALLED IN THE WORK ARE SUBJECT TO CHANGE IN RESPONSE TO SUBMITTALS, CONFIRMED SELECTIONS, PRODUCT AVAILABILITY AND THE SUBSEQUENT COORDINATION OF FINISHES BY ARCHITECT AND MAY DIFFER FROM PRODUCTS LISTED HEREIN.

#### ABBREVIATIONS

ACMU	ARCHITECTURAL CONCRETE MASONRY UNIT
ACT	ACOUSTICAL CEILING TILE
AFP	ATHLETIC FLOOR PATTERN
APG	ACOUSTICAL PANEL CEILING
ANP	ACOUSTIC WALL PANEL
BBT	BIO-BASED TILE
BRK	BRICK
CFT	CERAMIC FLOOR TILE
CMU	CONCRETE MASONRY UNIT
CONG	CONCRETE
CPT	CARPET
CTB	CERAMIC TILE BASE
CMT	CERAMIC WALL TILE
EPB	EPOXY BASE
EPF	EPOXY FLOOR
ETR	EXISTING TO REMAIN
EXP	EXPOSED
EXST	EXISTING
FAC/FF	FACTORY FINISH
GWB	GYPSON WALL BOARD
LMC	LINEAR METAL CEILING
MSB	MUSIC STORAGE SYSTEM
MMB	METAL WALL BASE
MMP	METAL WALL PANEL
PC	PRIVACY CURTAIN
PCON	POLISHED CONCRETE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PNT	PAINT
RAF	RESILIENT ATHLETIC FLOORING
RB	RUBBER BASE
RES	ENGINEERED POLYESTER RESIN
RF	RESINOUS FLOORING
RST	RUBBER STAIR TREAD / LANDING
RSF	RUBBER SPORTS FLOOR
RT	RUBBER TILE FLOORING
SCONG	SEALED CONCRETE
SS	SOLID SURFACE
STF	SYNTHETIC TURF FLOORING
STL	STEEL
TB	TERRAZZO BASE
TERR	TERRAZZO
TP	TOILET PARTITIONS
TYP	TYPICAL
VCT	VINYL COMPOSITION TILE
VCTAS	VINYL COMPOSITION TILE ANTI-STATIC
VNC	VINYL WALLCOVERING
WAF	WOOD ATHLETIC FLOORING
WD	WOOD
WOM	WALK-OFF MAT
X	EXISTING

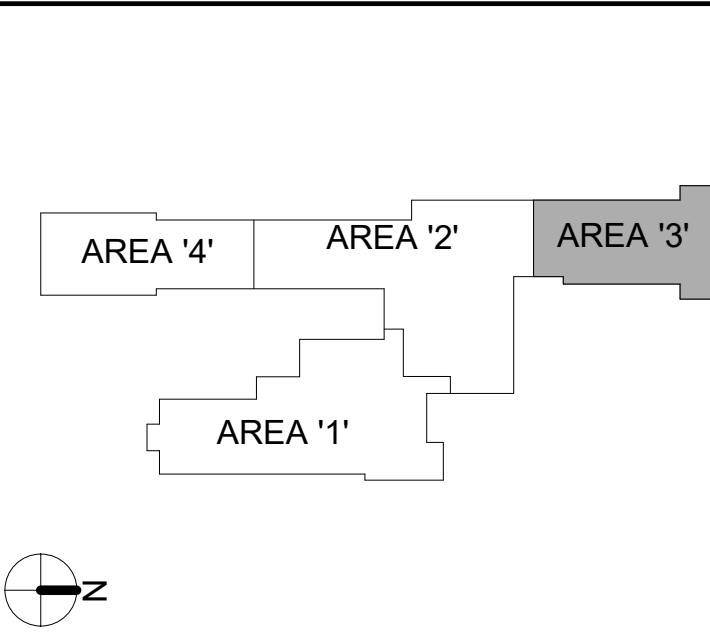
#### GENERAL FINISH NOTES

- ALL EXPOSED SURFACES OF NEW PARTITIONS ARE TO BE PAINTED.
- WHEN ANY WORK IS PERFORMED ON ANY EXISTING WALL, THE ENTIRE WALL SURFACE IS TO BE PAINTED CORNER TO CORNER, UNLESS NOTED OTHERWISE.
- ALL ELECTRIC, MECHANICAL COMPONENTS AND TELEPHONE PANELS EXPOSED IN A ROOM TO MATCH WALL COLOR.
- ALL NEW GWB CEILINGS, FASCIAS, AND SOFFITS TO BE PAINTED PNT-2, UNO.
- ALL EXPOSED CEILING STRUCTURE, DECK, DUCTWORK, CONDUIT AND PIPING TO BE PAINTED, UNO.
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- NEW HW DOORS, DOOR FRAMES AND WINDOW FRAMES AND ETR CORRIDOR DOOR & WINDOW FRAMES AS SCHEDULED ON A600 SERIES DRAWINGS, PNT-3, UNO.
- IN AREAS OF URINAL REPLACEMENT, MATCH NEW FINISHES TO EXISTING ADJACENT, ARCHITECT TO APPROVE.

#### FINISH KEYS

Room Name	Finish	Finish Tag
101	Wall Finish	
	Base Finish	
	Floor Finish	
PNT-#	ACCENT PAINT LOCATION	
VCT-1		
VCT-2		
VCT-3		
VCT-4		
VCT-5		
VCT-6		
CPT-1		
CPT-2		
CPT-3		
LVT-1		
LVT-2		
WALK-OFF MAT		
RSF-1		
CFT-1		
CFT-2		
TERR-1		
EPF-1		
SIGN TYPE		

#### KEY PLAN



40 Beaver St., Albany, New York 12207-1511  
518-463-8866 www.csarch.com

Consultant

PAWLING CENTRAL SCHOOL DISTRICT  
PAWLING ELEMENTARY SCHOOL  
2020 CAPITAL PROJECT - PHASE 3

Project Title



DATE	DESCRIPTION
11/17/2023	Bid Addendum 1

Drawn By:	AS
Checked By:	PN
Proj. #:	13-12-01-84-0-001-024
CSArch Proj. #:	208-2101.03
Issued for Bid:	11/17/2023

Sheet Title

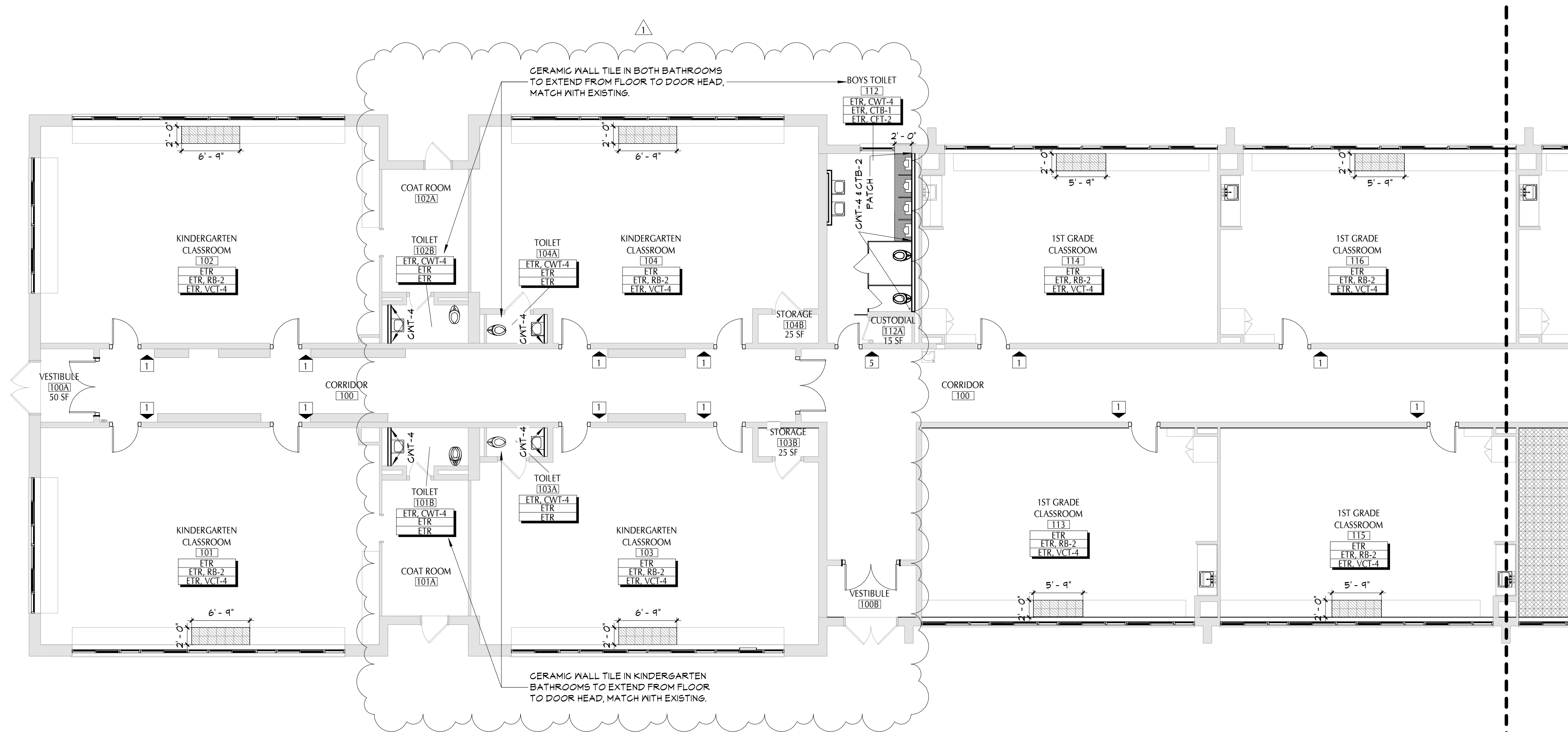
PARTIAL FIRST  
FLOOR FINISH  
PLAN - AREA  
'3'

Sheet No.

PES  
AF113  
CONSTRUCTION DOCUMENTS

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1 FIRST FLOOR FINISH PLAN - AREA 4  
AF114 1/8" = 1'-0"

#### DISCLAIMER NOTE

MANUFACTURER'S NAMES AND FINISH INFORMATION ARE INDICATED AS REFERENCED TO THE ARCHITECT'S BASIS OF DESIGN SELECTIONS AND HAVE BEEN DETERMINED PRIOR TO BID. THE CONTRACTOR AND OWNER ARE HEREBY NOTIFIED THAT FINISHES INSTALLED IN THE WORK ARE SUBJECT TO CHANGE IN RESPONSE TO SUBMITTALS, CONFIRMED SELECTIONS, PRODUCT AVAILABILITY AND THE SUBSEQUENT COORDINATION OF FINISHES BY ARCHITECT AND MAY DIFFER FROM PRODUCTS LISTED HEREIN.

#### ABBREVIATIONS

ACMU	ARCHITECTURAL CONCRETE MASONRY UNIT
ACT	ACoustical CEILING TILE
AFP	ATHLETIC FLOOR PATTERN
APG	ACoustical PANEL CEILING
ANP	ACoustical WALL PANEL
BBT	BIO-BASED TILE
BRK	BRICK
CFT	CERAMIC FLOOR TILE
CMU	CONCRETE MASONRY UNIT
CONG	CONCRETE
CPT	CARPET
CTB	CERAMIC TILE BASE
CMT	CERAMIC WALL TILE
EPB	EPOXY BASE
EPF	EPOXY FLOOR
ETR	EXISTING TO REMAIN
EXP	EXPOSED
EXST	EXISTING
FAC/FF	FACTORY FINISH
GWB	GYPsum WALL BOARD
LMC	LINEAR METAL CEILING
MSB	MUSIC STORAGE SYSTEM
MMB	METAL WALL BASE
MXP	METAL WALL PANEL
PC	PRIVACY CURTAIN
PCON	POLISHED CONCRETE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PNT	PAINT
RAF	RESILIENT ATHLETIC FLOORING
RB	RUBBER BASE
RES	ENGINEERED POLYESTER RESIN
RF	RESINOUS FLOORING
RST	RUBBER STAIR TREAD / LANDING
RSF	RUBBER SPORTS FLOOR
RT	RUBBER TILE FLOORING
SCONG	SEALED CONCRETE
SS	SOLID SURFACE
STF	SYNTHETIC TURF FLOORING
STL	STEEL
TB	TERRAZZO BASE
TERR	TERRAZZO
TP	TOILET PARTITIONS
TYP	TYPICAL
VCT	VINYL COMPOSITION TILE
VCTAS	VINYL COMPOSITION TILE ANTI-STATIC
VWC	VINYL WALLCOVERING
WAF	WOOD ATHLETIC FLOORING
WD	WOOD
WOM	WALK-OFF MAT
X	EXISTING

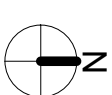
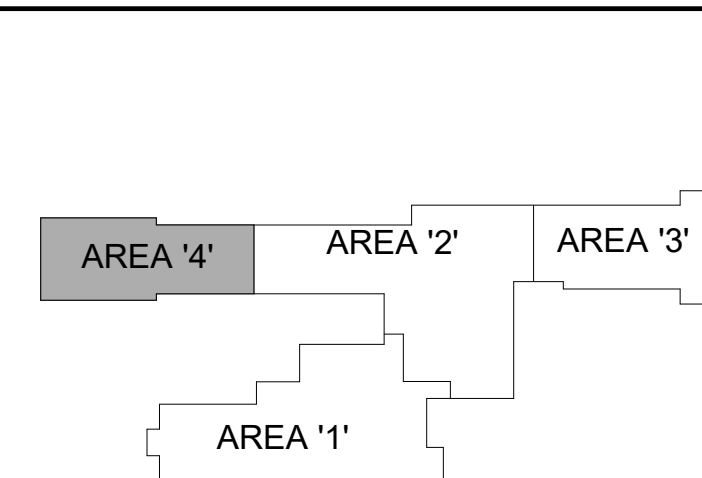
#### GENERAL FINISH NOTES

1. ALL EXPOSED SURFACES OF NEW PARTITIONS ARE TO BE PAINTED.
2. WHEN ANY WORK IS PERFORMED ON ANY EXISTING WALL, THE ENTIRE WALL SURFACE IS TO BE PAINTED CORNER TO CORNER, UNLESS NOTED OTHERWISE.
3. ALL ELECTRIC, MECHANICAL COMPONENTS AND TELEPHONE PANELS EXPOSED IN A ROOM TO MATCH WALL COLOR.
4. ALL NEW GWB CEILINGS, FASCIAS, AND SOFFITS TO BE PAINTED PNT-2, UNO.
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LVT-2	
WALK-OFF MAT	
RSF-1	
CFT-1	
CFT-2	
TERR-1	
EPF-1	
SIGN TYPE	

#### KEY PLAN

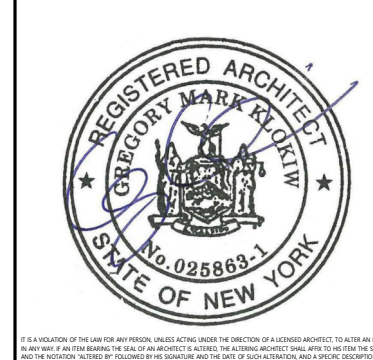


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## PAWLING CENTRAL SCHOOL DISTRICT PAWLING ELEMENTARY SCHOOL 2020 CAPITAL PROJECT - PHASE 3

Project Title



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Sheet Title

PARTIAL FIRST  
FLOOR FINISH  
PLAN - AREA  
'4'

Sheet No.

PES  
AF114

CONSTRUCTION DOCUMENTS

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