



## Addendum No. 1

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November 6, 2023

Valley Central CSD – Art & Woodshop Alterations

CSArch Project No. 187-2103

SED Control No. 44-13-01-06-0-015-031

This Addendum No. 1 forms part of the Contract Documents and modifies the original bidding documents dated October 31, 2023.

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### REVISIONS TO THE PROJECT MANUAL

1. Section 011000 – Prime Summary of Work; **ADD** Section 011000 – Prime Summary of Work.
2. Project Milestone Schedule; **ADD** Project Milestone Schedule.

END OF ADDENDUM NO. 1

## **SECTION 011000 – PRIMES SUMMARY OF WORK**

### **PART 1 - GENERAL**

#### **1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including the General and Supplemental Conditions and Division 1 Specification Section, apply to this Section.

#### **1.2 SUMMARY**

- A. Section includes:
  - 1. Project information.
  - 2. Work covered by Contract Documents.
  - 3. Construction schedule.
  - 4. Requirements and assignments for each Contract.
  - 5. Owner-furnished products.
  - 6. Access to GC.
  - 7. Coordination with occupants.
  - 8. Work restrictions.
- B. Section includes a summary of contract, including responsibilities for coordination and temporary facilities and controls.
- C. Contractor is responsible for reviewing all Drawings and Specifications for every contract to gain a complete understanding and knowledge of the entire Project, to determine how the work of each contract is to interface with every other contract.

### **DEFINITIONS**

- A. Project Identification: Project consists of all labor, materials, equipment, appliances, services, and incidentals necessary for layout, installing, and performing Additions and Alterations at the Valley Central School District as shown on the Contract Drawings and described in the Specifications.
- B. Work starts on or before summer 2024.
- C. The work will be constructed by one prime contract. One set of contract documents is issued covering multiple trades work that will be covered under this one contract. Prime Contract will be responsible to perform the work of the Mechanical, Electrical and Plumbing and is defined as:
  - 1. CONTRACT 1 GC – GENERAL CONSTRUCTION WORK (Prime Contractor)
  - 2. Construction Scope and contract.
  - 3. A 5-day work week is required on this project with hours from 7am-3:30pm. Nights and weekends will be mandated if contractor(s) are behind schedule and need the additional time to bring the project back on schedule and or directed by the Construction Manager.

D. Architect Identification: The Contract Documents were prepared for the Project by CS-ARCH Architecture

E. Construction Manager: The Palombo Group has been engaged as Construction Manager for this Project to serve as an advisor to Owner and to aid in administering the Contract for Construction between Owner and Contractor, according to a separate contract between Owner and Construction Manager.

E. Building Code in Effect for Project: 2020 or newer NYS Building Code and Local Fire Marshal requirements.

F. Comply with the following: New York State building Code and the building standards of the New York State Education Department.

### 1.3 THE CONTRACT

A. The Project will be constructed under a single prime contract arrangement with the Owner awarding and holding the Contract. The contractor shall furnish all labor, material, tools, equipment, supervision, layout, delivery, trucking, shop drawings, submittals, MEP subcontractors, etc. necessary to complete the work described in the Divisions of Work of their respective divisions (Including where coordination between (prime and subcontractor occurs) Contractors and based upon a complete set of Contract Documents.

B. The Prime Contractor has been given the opportunity prior to bidding to inspect the entire Project for references to their Contract work and agrees to accept as it exists on the date of the bid opening.

1. It is the Owner's intention to continue to occupy the existing buildings for normal School operations during the Construction process. The Contractors all agree to:
2. Cooperate with the Owner's personnel in maintaining and facilitating access to the school buildings and its facilities by the school staff, Students, Owner's agents, service consultants and the public, throughout the construction process.
3. Keep driveways and entrances serving the occupied School buildings clear and available to the Owner, the Owner's employees, the public, and to emergency vehicles always. Do not obstruct access to, or use these areas for parking, staging of equipment or materials. All access through these existing areas must be coordinated in advance and in accordance with the Owner's usage and occupancy schedule.
4. Schedule construction operations to minimize any conflicts or interruptions to the daily school functions. Coordinate any necessary interruptions with the designated project representative.
5. All existing Owner-occupied areas of buildings (not turned over to the Project Contractors) need to always remain operational. The contractors are responsible for maintaining all systems, such as but not limited to: fire alarm, clocks, electric, public address system, gas service, heat, security, data, etc.
6. Each Contractor shall provide a list of employees, which MUST be cleared by district through the raptor system and updated accordingly prior to any access to the properties.
7. Each contractor will provide sign in sheets of their respective manpower to the CM Daily.

C. Prime Contractor shall:

1. Provide field-engineering services, in addition to those provided by the General Work Prime Contract, to install utilities included in the applicable Prime Contract.
2. Coordinate to create a construction schedule information to formulate one master schedule for the entire Project by the GC.
3. Provide reflective vests and PPE to always be worn by all on-site personnel. Parties that do not abide by this requirement will be escorted off the premises.
4. Provide erosion and Sediment Control and dewatering as it relates to any excavation associated with the GC Prime Contract.
5. Provide potable drinking water for its own employees.
6. Provide access to all concealed systems as required for system maintenance and repair for items installed in their Prime Contract. This specifically talks to access panels needed for future maintenance by the district.
7. Provide and maintain material lifting equipment required for the completion of their Contract requirements, and complying with NYS Labor Laws, OSHA Regulations, and other Federal, State, and local laws.
8. Provide and maintain additional temporary stairs, ladders, ramps, scaffolding, and platforms required specifically for completion of work of their own Contract, and as further detailed in this section. All work needs to comply with the NYS Labor Laws, OSHA regulation, and other Federal, State, and local laws.
9. Provide Fire Prevention materials and equipment for fire protection related to the work of their own Prime Contract. Provide fire extinguishers, fire blankets, and fire watch during all cutting and welding operations. Protect all existing components like smoke detectors.
10. Provide any supplemental lighting required to install the work of its own Contract, beyond the minimum OSHA levels provided under the Electrical Work Prime Contract.
11. Provide any supplemental heat required to install the work of its own Contract when temp heat is needed outside the timeline of interior finishing work.
12. Provide traffic control for deliveries, and equipment needed to perform the work of their own Prime Contract. Access must be coordinated with district building operation schedule.
13. Provide protection of its own finished Work, after installation, until accepted by the Owner.
14. Provide fire caulking for any penetration related to the work for its Prime Contract.
15. Provide any office and storage trailers required to complete the work of their own Prime Contract. Storage containers must be within the staging area and approved by the district.
16. provide for a thorough final cleaning of all work areas by a professional cleaning company pre accepted by the district, building (existing and new), and equipment provided under their other Contract immediately before the final inspection. Cleaning must be accepted by the district and done to their

standards. The Prime Contractor is responsible for cleaning and dust and debris generated from the work of their own Contract. Maintain areas in a cleaned condition until the Owner occupies the space. All new floors get two coats of wax by prime contractor prior to turn over if applicable.

#### 1.4 SUMMARY OF WORK

- A. The work will be constructed under one prime contract. One set of contract documents is issued covering multiple trades including but not limited to:
  - 1. GC - GENERAL CONSTRUCTION WORK
- B. The Art and Woodshop Project- The work consists of but not limited to the following:
  - 1. GENERAL CONTRACTOR - renovations to existing Building and abatement. Includes all MEP trades under this contract
  - 2. Mechanical components by Prime contractor
  - 3. Electrical components by Prime contractor
  - 4. Plumbing components by Prime contractor

#### 1.5 WORK UNDER ONE CONTRACTS

- A. One set of documents is issued covering all scope of work. The prime contractor is to review ALL drawings and specifications for complete understanding and knowledge of the work to be performed by all trades. Any questions of responsibility should be discovered Pre award. After award, the CM has the right to dictate responsibility.
- B. The following Contract Documents are specifically included and defined as integral to each The Prime Contract.
  - 1. Bidding Requirements
  - 2. Performance and Payment Bonds
  - 3. Conditions of the Contract, including
    - a. General Conditions & Supplementary Conditions
    - b. Insurance Requirements
    - c. NYS Prevailing Wage Rates
- C. Extent of Contract: Unless the Contract Documents contain a more specific description of the work, names, and terminology on Drawings and in Specification Sections determine the specific elements of Project.
  - 1. Unless otherwise indicated, the Work described in this Section for the contract shall be complete systems and assemblies, including products, components, accessories, and installation required by the Contract Documents.
  - 2. All Concrete Work inside/outside the building footprint shall be provided by the GC,
  - 3. Provide all cutting, core drilling & patching associated with the Work of its own Prime Contract. All patching is to be performed by mechanics qualified

and experienced with the materials and finishes being patched and hired by the responsible Prime Contractor. New openings requiring structural reinforcing including lintels for all trades will be the responsibility of the General construction contract. Coordinate with Drawings and lintel schedule for opening size requirements.

4. Lead Based Paint precautions for the Work of each contract shall be provided by each contract for its own Work. Each Prime Contractor shall provide procedures for OSHA Lead precautions.
5. The Prime Contractor shall designate a full-time superintendent to supervise the work of the Prime Contractor, who shall always be present on the job site when work is being performed; this person shall be familiar with Project and authorized to conclude matters relating to progress. This person shall also represent their company at weekly contractor meetings.
6. Termination and removal of its temporary facilities shall be provided by each contract for its own Work.
7. The Prime Contractor shall provide temporary power and lighting at the New Addition area of work for all trades.
8. The Prime Contractor will provide a generator for the building for the time that service is down in the building. Include fuel and operator to ensure uninterrupted power.
9. Temp Heat if required, will be provided by the Prime Contractor when finishes are being applied or as directed by the construction manager. Include fuel and operator to ensure uninterrupted power.

D. **Temporary Facilities and Controls:** In addition to specific responsibilities for temporary facilities and controls indicated in this Section and in Division 1 Section 01 5000 "Temporary Facilities and Controls," each Contract is responsible for the following:

1. Installation, operation, maintenance, and removal of each temporary facility usually considered as its own normal construction activity, and costs and use charges associated with each facility.
2. Generators, plug-in electric power cords and extension cords, supplementary plug-in task lighting, and special lighting necessary exclusively for its own activities.
3. The Prime Contractor is to stockpile his debris on a daily basis and place it in the dumpster. Dumpsters will be provided by the General Construction contract for use by the Prime contractors, recycling of materials will be instituted daily. Waste disposal facilities, including collection and legal disposal of its own hazardous, dangerous, unsanitary, or other harmful waste materials will be by the Hazardous Material Abatement sub-Contractor under the GC contract.
4. Secure lockup of its own tools, materials, and equipment.
5. Safety procedures as dictated by the district, OSHA, and the NYS Department of Labor.
6. Labor for daily clean-up.
7. General Contractor to include Temp site fence around areas of work at the site as directed by the CM and shown on the logistics plan. Fence will be removed when work is complete and signed off by the architect. Fence will be pole driven, not panelized, or at the direction of the Construction Manager. All gates to have auto openers/closers secured by code to open.
8. Provide generators for temp power to be used by all trades until other service from the utility provider or existing building can be established.

Include power to the building to keep FA and internet functions powered at all times during a shut down. Include fuel and operator to ensure no interruption to required power.

9. Provide temp water as required. Including temp hose bibs. Include heat tracing if exposed to the elements. EC to connect if required.

## 1.6 CONTRACT 1 - GENERAL CONSTRUCTION

- A. The Work of the General Construction Work Contract includes but is not limited to, the following descriptions:

1. Includes new building construction, renovations, and alterations. This includes, but is not limited to, *work shown* on the following:

2. **Drawings:**

- 1) All "T" Title sheets, general notes, code compliance and Phasing Drawings" (General)
- 2) All "A" Drawings (Architectural)
- 3) All "HZ" Drawings (Hazardous Materials Abatement)
- 4) All "I" Drawings (Interiors)
- 5) All "S" Drawings (Structural)
- 6) All "C" Drawings (Civil)
- 7) All "U" Drawings (General)

3. **Coordination:**

- 1) Coordinate with the work of all the other contractors/sub contractors since all trades are included in this contract
- 2) Each trade will participate in producing coordination drawings. Overlap the new work and coordinate locations, heights, routes, Etc. to eliminate hits and or obstructions from existing or new work. Each trade will meet once a week to coordinate their drawings. Ductwork and mechanical piping first, plumbing second and electrical third. **A full set of coordination drawings must be completed within Five weeks after award of contract.**
- 3) Prime Contractor to provide a complete coordinated schedule including all trades durations for the span of the project, including weekly updates if necessary.

4. **Demolition:**

- 1) Provide protection for all materials and objects to remain intact.
- 2) Removal of masonry walls, doors, and interior partitions as required for new work. Prime Contractor is responsible for shoring, demolition and protection of areas associated with new work.
- 3) Removal of finishes noted on plans including but not limited to flooring, ceilings, and misc. items attached to existing walls to be removed. Review patch to match conditions. Patch openings from removed unit ventilators, window A/C and plumbing pipes.
- 4) Removal and disposal of miscellaneous equipment including all existing wall mounted specialty items and/or equipment not

shown if impacting work to be demolished. Coordinate shutdown (of utilities) with TPG and trades associated with the area of demolition. See demolition plans for additional notes.

- 5) All cutting and patching necessary for work of this contract, including layout, sleeves, coring, debris removal, saw cuts of existing slabs, providing lintels, drywall work, plaster work, grouting, painting, ceiling removal and replacement, etc, this trade contractor will be responsible for other trades wall openings (cutting and infill) if structural support is required.
- 6) Provide temporary access and continuous exits in and out of all construction areas.
- 7) Provide dust protection. Including but not limited to adjacent louvers and air intakes within forty feet of the exterior work area. Include protection of fire alarm head, smoke detectors, duct detectors, etc.
- 8) Provide Temporary storage for salvaged materials as indicated on the drawings until reinstallation of such materials.
- 9) Removal of any existing curbing, stairs, bituminous paving, and walks as shown or described on the contract drawings.
- 10) General Contractor to infill louvers as noted on the contract drawings from the inside at the UVs after demolition. See details on contract drawings.
- 11) Prime Contractor to create larger opening at new mechanical Unit's installation including a new lintel for support where/if applicable. See drawings for details.
- 12) Prime contractor to remove window A/C units as shown and described in the contract drawings. Cover openings after removal. A/C units to be salvaged and turned over to the district.
- 13) Include new sidewalks, equipment pads and walkways
- 14) Include Abatement as part of this contract-See drawings for scope.
- 15) Include all work within the limits of new addition as shown on the contract drawings, include silt fence and all SWPPP work associated with the work of the GC.
- 16) Any demolition associated with the abatement is to be repaired, replaced and or put back to its original state prior to demo by this contractor.

5. **Temporary Facilities: In Addition to**

- 1) Provide dust protection as directed by the CM and temporary site/security fencing with mesh for the period of the contract..
- 2) Provide wash out area for construction vehicles designated by the CM.
- 3) Provide Portable toilets for all trades. One toilet per five men. Provide one additional ADA toilet for the Construction managers use, include Biweekly service.
- 4) Provide snow removal for contractor staging and work areas.
- 5) Provide and install Project information signs at the Site as directed by the CM. Signs provided and installed by GC and designed by Architect. See specifications for size and materials. See logistics plan for additional signage.



- 6) Provide Temporary Facilities indicated as Work of this Contract in Division 1 Section 01 5000, "Temporary Facilities and Controls"

6. **New Construction:**

- 1) The General Construction Work Contract (Prime) shall perform all necessary cutting, trenching, excavation, backfilling, compaction, and new concrete infills inside the existing building and field required poured in place concrete for all other trades. Coordinate A drawings with M, E and P drawings for existing slab openings for other trades and performed under this contract.
- 2) Provide multiple shifts work as needed to complete work as shown on milestone schedule. Multiple shifts during the week and single shift on Saturdays will be required to make up days on the schedule, unless contractor requests the additional time for other reasons that are acceptable by the district.
- 3) General Requirements, including but not limited to, additional items specifically indicated as the Work of this Contract.
- 4) Provide surveyor to layout new addition, submit to architect for approval.
- 5) Prime contractor to include all roofing scope in this contract including associated accessories like down spouts, crickets, and MEP openings, setting and roofing in MEP curbs.
- 6) (Prime) General contractor to supply and install all casework as shown on the contract drawings. Field measuring and shop drawings for architect approval will be the responsibility of this trade. This includes owner supplied casework.

- B. The Work of the General Construction Contract (Prime) includes but is not limited to, the following descriptions.

- a) This trade is responsible for always maintaining a secure Site, including but not limited to locking all gates at the end of each day.
- b) Provide all temporary fall protection, guardrails, handrails, temporary stairs and ramps as required. Include maintaining these items throughout the project as well as removal when no longer needed.
- c) Provide and maintain all site signage as requested by the CM. Example; Gate A-B, Hard hat area, No Smoking, Construction personnel only, Exit signs, Project information sign, Etc...
- d) General Construction Contractor shall obtain and pay for any permits, inspections, or certifications from governing authorities having jurisdiction over the work to be performed, or over the finished product to be installed by this Contractor. Project Building Permit is by others. Include in this contract hydrant use permits.

- e) Provide all roofing work for existing and new addition. Roof blocking and plywood, including:
  - 1) Provide roof penetrations and blocking for mechanical equipment curbs furnished by HVAC contractor.
  - 2) Temporary and final roofing, weather-tight protection for roof shall be by the General Construction Contractor.
  - 3) Patching at all removed existing walls. Including paint and finishes
  - 4) Patching at all removed existing millwork and casework items.
  - 5) Patching at all removed existing console unit ventilators. Misc. insulation and brick infill at voids by General Contractor. Patch to match the brick at the exterior walls and the block at interior walls and where louver openings needed to be modified, or A/c units removed all by the General Work Contractor. Also patch to match existing floor at areas where old UVs are removed.
  - 6) Patching at all new door openings cut through existing walls.
  - 7) Patching at all new walls in existing construction where existing walls have been removed.
- f) **Provide (unless noted otherwise):**
  - 1) Provide interior/exterior equipment and housekeeping pads for all Contractors, coordinate as necessary for size and locations.
  - 2) Include in base bid to furnish and install the following access doors beyond those already shown on drawings:
    - 3) Four 18" x 18" fire-rated access doors for gypsum wallboard construction.
    - 4) Four 18" x 18" fire-rated access doors for masonry construction.
    - 5) Four 12" x 12" Fire Rated access doors for masonry construction.
    - 6) Four 8" x 8" non-rated, primed steel, trim less, access doors for gypsum wallboard construction.
- g) Provide and install window shades if required per contract drawings.
- h) Replace all damaged ceiling tile.
- i) Provide all new ceiling tile replacement in renovated areas
- j) Provide engineered shoring plan at any major wall openings for Architect review and or as called out on the drawings.
- k) All ceiling access doors installed by the Prime Contractor.
- l) All concrete, rebar and forms provided and installed by the Prime contractor within the scope of the new addition, including adjacent sidewalks and interior renovations.  
General contractor to modify ceilings in classrooms as shown and described per note C notes on "A" drawings.
- m) Provide and install all Structural steel as per the "S" drawings and or for MEP trades where structural support for their openings are required.
- n) All interior trench infill requiring concrete will be by this contractor. Coordinate with H,P and E drawings for locations.

C. The Work of the (Prime) General Construction Contract includes but is not limited to the Work that is specified in the Project Manual(s) and as shown on the drawings that form the contract plans. The Contractor is directed to examine all drawings since certain details and/or notes may appear anywhere therein that apply to his/her particular work.

This prime contract is defined as, and includes, all Sections in the Divisions indicated by reference, and specific Sections noted:

1. Division 00 – Procurement and Contracting Requirement, all Sections.
2. Division 1 – General Requirements, all Sections, including Temporary Facilities indicated.
3. Division 2 – Selective Structure Demolition
4. Division 3 – Concrete, all Sections.
5. Division 4 – Masonry, all Sections.
6. Division 5 – Metals, all Sections.
7. Division 6 – Woods, Plastics and CompoGCs, all Sections.
8. Division 7 – Thermal and Moisture Protection, all Sections
9. Division 8 – Openings, all Sections
10. Division 9 – Finishes, all Sections.
11. Division 10 – Specialties, all Sections
12. Division 11 – Equipment, all Sections, all Sections
13. Division 12 – Furnishings, all Sections
14. Division 14 – Conveying equipment
15. Division 19 – Section 193000—Theatrical Stage Rigging and curtains
16. Division 31 – Earthwork all sections
17. Division 32 – Exterior Improvements all sections

## 1.7 WORK SEQUENCE

- A. The Work will be conducted to provide the least possible interference to the activities of the Owner's personnel.
- B. Work cannot be performed in occupied areas. Work shall be scheduled off-hours, vacations, and weekends for occupied areas if applicable. A Construction Manager Superintendent must be always on site when work is being performed. If a contractor fails to maintain the progress as indicated by the milestone schedule by no other fault but its own and requires overtime to complete the work; the contractor shall make arrangements with the Construction Manager 48 hours in advance and pay for a Construction Manager's superintendent at \$150.00 per hour. In the event that the cause for delay is multi-contract, then the costs shall be distributed evenly among contracts. Advise the Construction Manager 48 hours prior to commencing work inside the building. Regardless of schedule and delay, if a contractor wants to work overtime and weekends, the contractor shall make arrangements with the Construction Manager 48 hours in advance and pay for a Construction Manager's superintendent at \$150.00 per hour.
- C. Coordination of any utility and/or power interruption must be done with the Construction Manager. Shutdowns must occur during off-hours and on days when the building is not occupied by the owner.
- D. Construction access to the site shall be limited to those designated for contractor's personnel, equipment and deliveries by the Owner. Contractors' staging, parking and storage shall be coordinated by the Construction Manager.
- E. Each Contractor shall inspect the site and review the AHERA report on file for the presence of asbestos. Unless otherwise noted, there will be asbestos containing

material in place that will require work to take place in the vicinity of, around and/or next to. Each contractor that will be working above ceilings, demolishing, in crawl spaces, boiler rooms and all other areas that may contain asbestos per the AHERA report, shall employ "Allied Trades: certified/licensed tradesman as part of the on site workforce".

## **1.8 OCCUPANCY REQUIREMENTS**

- A. The GC Work Contractor shall provide Outdoor air quality management as specified by the Department of Labor and OSHA during construction
  - 1. Provide an exhaust air system for the project indoor areas that could produce fumes, VOC's off-gasses, gasses, dusts, mists, or other emissions.
  - 2. Exhaust air system for the project areas that could produce emissions listed in Paragraph 1 shall be utilized.
  - 3. Provide Water for dust control.
- B. Quality assurance:
  - 1. Before start of work, submit a design for the exhaust air system. Do not begin work until approval of the Owner is obtained.
  - 2. The number of machines required.
  - 3. Location of the machines in the workspace.

## **1.9 End Of Contractor Scopes**

## **1.10 PROJECT MILESTONE SCHEDULE**

- A. See the milestone schedule to be provided by Addenda.
- B. Prime Contractor is required to submit a schedule based on the milestone dates to the Construction Manager for review and comment no later than 10 days after a Notice to Proceed for the work is issued.
- C. If required, Night shift work at the interior of existing building will take place during the weeknights.

## **1.11 ALLOWANCES**

- A. See Specification Section 01 2100.

## **1.12 ALTERNATES**

- A. The Contractor shall state where requested on the Bid Form the amount to be added to or deducted from the base bid for the alternates described in Section 012300 - Alternates.

END OF SECTION 01 1000

Project Lead: TPG

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