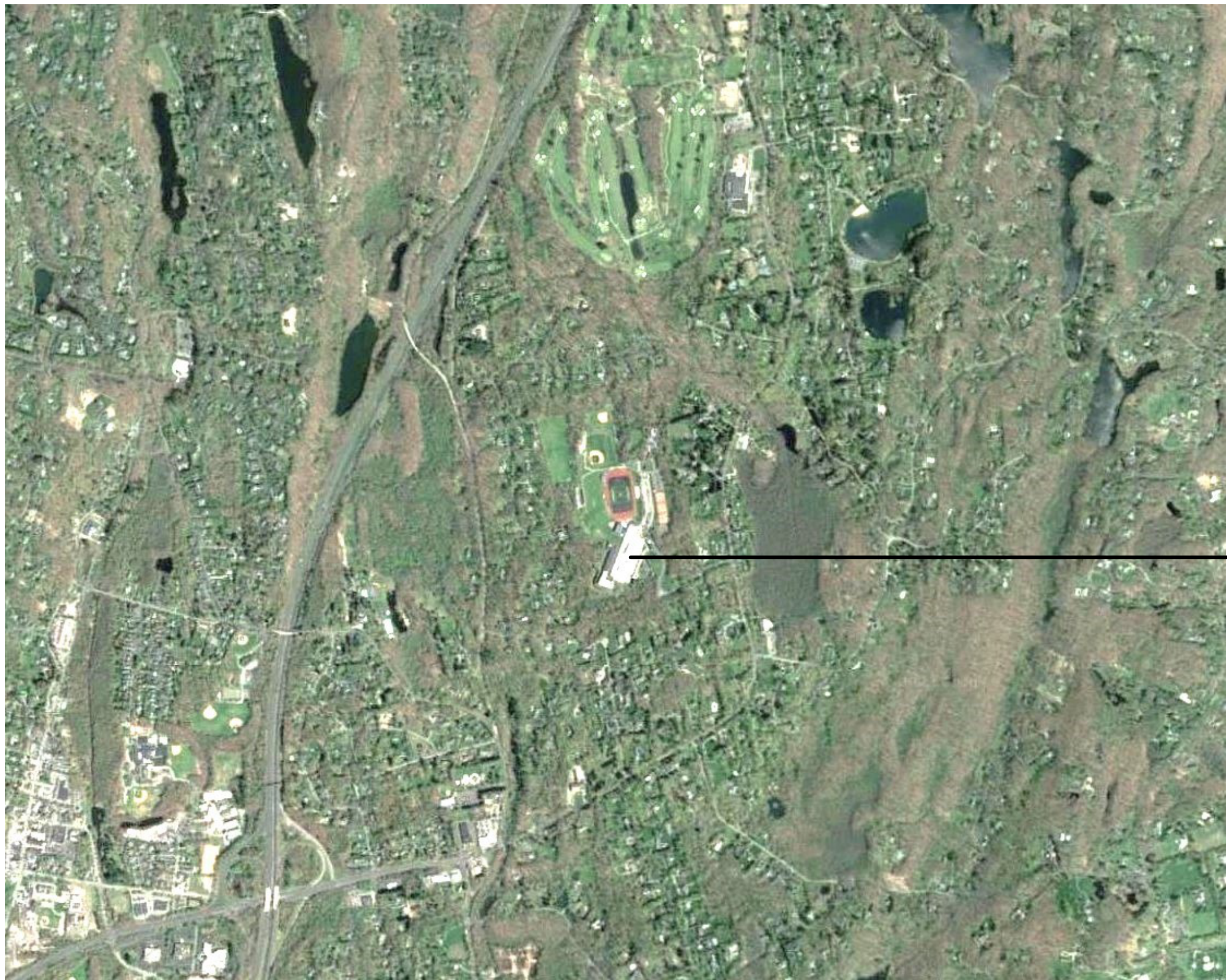


# BYRAM HILLS HIGH SCHOOL LEARNING COMMONS RENOVATION

## BYRAM HILLS CENTRAL SCHOOL DISTRICT

SED# 66-12-01-06-0-007-017



BYRAM HILLS  
HIGH SCHOOL

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SED 66-12-01-06-0-007-017**

SHEET #	SHEET DESCRIPTION
GENERAL	
G-000	COVER SHEET
G-021	BUILDING CODE ANALYSIS
G-031	GENERAL NOTES / ABBREVIATIONS / LEGENDS AND SYMBOLS
G-041	EXTERIOR WALL ASSEMBLIES & INTERIOR WALL TYPES
G-051	ACCESSIBILITY COMPLIANCE DIAGRAMS AND STANDARD MOUNTING HEIGHTS
G-101	OVERALL LIFE SAFETY PLANS
G-102	LEARNING COMMONS LIFE SAFETY PLAN
LOGISTICS PLAN	
PH-001	SITE LOGISTICS PLAN
PH-002	INTERIOR LOGISTICS PLAN
ENVIRONMENTAL	
H-001	ASBESTOS ABATEMET GENERAL NOTES
H-002	FIRST FLOOR DEMO REFLECTED CEILING PLAN
STRUCTURAL	
S-001	STRUCTURAL NOTES
S-101	STRUCTURAL FRAMING PLAN
S-301	SECTIONS
S-501	STRUCTURAL DETAILS
S-502	STRUCTURAL DETAILS
ARCHITECTURAL DEMOLITION	
AD-011	SITE DEMOLITION PLANS
AD-101	FIRST FLOOR DEMOLITION PLANS
AD-111	REFLECTED CEILING DEMOLITION PLANS
AD-201	EXTERIOR ELEVATION DEMOLITIONS
ARCHITECTURAL EXISTING	
AE-101	FIRST FLOOR EXISTING PLANS
AE-111	EXISTING REFLECTED CEILING PLAN
ARCHITECTURAL	
A-011	ARCHITECTURAL SITE PLAN & DETAILS
A-101	FIRST FLOOR PLAN
A-111	FIRST FLOOR REFLECTED CEILING PLAN
A-121	ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-301	BUILDING SECTIONS
A-311	WALL SECTIONS
A-531	PLAN AND SECTION DETAILS - 1
A-541	CEILING DETAILS
A-601	DOOR SCHEDULE, ELEVATIONS & DETAILS
A-621	INTERIOR WINDOW SCHEDULES & ELEVATION
A-622	INTERIOR WINDOW ELEVATIONS
A-623	INTERIOR WINDOW DETAILS
A-631	EXTERIOR WINDOWS SCHEDULE & ELEVATION
A-632	EXTERIOR WINDOWS SECTION DETAILS

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SHEET #	SHEET DESCRIPTION
A-801	
A-801	INTERIOR FINISH AND FURNITURE SCHEDULES
A-811	FIRST FLOOR INTERIOR FINISH PLANS
A-821	FIRST FLOOR FURNITURE PLANS
A-822	ENLARGED INTERIOR PLANS
A-823	ENLARGED INTERIOR PLANS
A-824	ENLARGED INTERIOR PLANS
A-831	ENLARGED INTERIOR ELEVATIONS
A-832	ENLARGED INTERIOR ELEVATIONS
A-833	ENLARGED INTERIOR ELEVATIONS
A-841	CASEWORK DETAILS - TRANSACTION COUNTER
A-842	CASEWORK DETAILS - BOOKSHELVES
A-843	MILLWORK DETAILS - FEATURE WALL
A-844	MILLWORK DETAILS - ENTRY BENCH
A-845	MILLWORK DETAILS - STEPPED SEATING
A-851	SIGNAGE SCHEDULE & DETAILS
REFERENCE	
R-100	RENDERINGS
MECHANICAL DEMOLITION	
MD-101	MECHANICAL FIRST FLOOR DUCTWORK DEMO PLAN
MECHANICAL	
M-001	MECHANICAL SYMBOLS, ABBREVIATIONS & NOTES
M-101	MECHANICAL FIRST FLOOR DUCTWORK PLAN
M-102	MECHANICAL ROOF DUCTWORK PLAN
M-701	MECHANICAL DETAILS
M-702	MECHANICAL DETAILS
M-801	MECHANICAL SCHEDULES
ELECTRICAL DEMILITION	
ED-101	ELECTRICAL FIRST FLOOR POWER DEMO PLAN
ED-201	ELECTRICAL DEMO RCP
ELECTRICAL	
E-001	ELECTRICAL SYMBOLS, ABBREVIATIONS & NOTES
E-101	ELECTRICAL FIRST FLOOR POWER PLAN
E-102	ELECTRICAL ROOF POWER PLAN
E-103	ELECTRICAL WIRING TO SWITCHBOARD
E-201	ELECTRICAL FIRST FLOOR LIGHTING PLAN
E-701	ELECTRICAL DETAILS
E-702	ELECTRICAL DETAILS
E-801	ELECTRICAL SCHEDULES
E-802	ELECTRICAL SCHEDULES
PLUMBING DEMOLITION	
PD-101	PLUMBING FIRST FLOOR SANITARY DEMO PLAN
PLUMBING	
P-001	PLUMBING SYMBOLS, ABBREVIATIONS & NOTES
P-101	PLUMBING FIRST FLOOR SANITARY PLAN
P-701	PLUMBING DETAILS

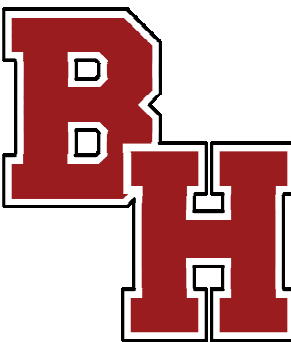
DESIGN CONFORMS TO APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, NEW YORK STATE ENERGY CONSERVATION AND CONSTRUCTION CODE AND THE NEW YORK STATE EDUCATION DEPARTMENT BUILDING STANDARDS.

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BID SET  
JUNE 25, 2024



BYRAM HILLS HIGH SCHOOL  
LEARNING COMMONS RENOVATION  
12 Tripp Ln,  
Armonk, NY 10504











# WALL TYPE NOTES

- 1 ALL WALLS ARE TYPE A3.0 UNLESS NOTED OTHERWISE.
- 2 USE TYPE "X" GYP. BOARD THROUGH OUT UNLESS NOTED OTHERWISE.
- 3 IN ALL PARTITIONS DO NOT PLACE ELECTRICAL BOXES OR SIMILAR DEVICES BACK TO BACK OR SIDE TO SIDE IN MANNER TO DIMINISH ACOUSTIC RATING. CAULK PER MANUFACTURE'S RECOMMENDATION TO ALL BOXES.
- 4 REFER TO LIFE SAFETY PLAN SHEETS G-100'S, FOR FIRE RATED WALL LOCATIONS.
- 5 PROVIDE SOUND BATT INSULATION IN ALL UNIT DEMISING WALLS, UNIT CORRIDOR WALLS, BATHROOM WALLS, ELEVATOR WALLS.
- 6 AT PENETRATIONS IN RATED WALLS EXCEEDING 96 SQ. INCHES, LINE THE PENETRATION WITH THE SAME LAYERS OF GYP. BD. AS THE WALL. ONE LAYER FIRE RATED GYPSUM BOARD FOR 1 HR. WALLS AND TWO LAYERS FOR 2 HR. WALLS
- 7 PROVIDE TILE BACKER BOARD BEHIND ALL CERAMIC TILE.
- 8 AT WALLS WITH TILE, REPLACE 5/8" TYPE 'X' GYP. BD. WITH 5/8" CEMENT BOARD AND WATERPROOF MEMBRANE BEHIND ALL TILE AND 5/8" MR GYP. BD. ABOVE TILE WHERE THE TILE STOPS AT 5'-0" AFF. SEE INTERIOR ELEVATIONS.
- 9 ALL TOP TRACKS ON NON LOAD BEARING WALLS TO BE SLIP TRACKS.
- 10 PROVIDE 1 1/2" SPRAY APPLIED INSULATION ONLY WHERE WOOD STUD WALL MEETS THE ROOF.

## PARTITION TYPE LEGEND

WALL TYPE	RATING
A = ACOUSTICAL WALL	0 = 30 MINUTE RATING
C = CHASE WALL	1 = 1 HOUR RATING
F = FURRING WALL	2 = 2 HOUR RATING
M = MASONRY WALL	
P = PARTIAL HEIGHT WALL	
S = SHAFT WALL	
T = SHEAR WALL	

**STUD SIZE**

X = NO FRAMING MEMBER

0 = 7/8"

1 = 1 5/8"

2 = 2 1/2"

3 = 3 5/8"

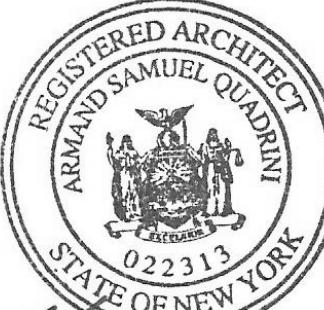
4 = 4"


6 = 6"

8 = 8"

**WALL TAG KEY**

The diagram shows a vertical wall section with a horizontal stud passing through it. The wall is labeled 'WALL TYPE' and 'RATING'. The stud is labeled 'STUD SIZE' and 'A3.0'.


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**KEY PLAN**



The key plan shows a map of the region around the main site. The main site is located in the central part of the map, near the coast. A circular inset in the top left corner shows a compass rose with North indicated by an arrow pointing towards the top right.

[illegible]

<b>ISSUED:</b>	BID SET
<b>DATE:</b>	JUNE 25, 2024
<b>SCALE:</b>	As indicated
<b>SHEET NAME:</b>	EXTERIOR WALL ASSEMBLIES & INTERIOR WALL TYPES
<b>SHEET NUMBER:</b>	

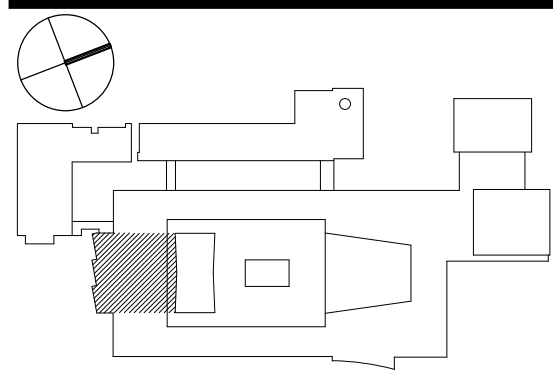
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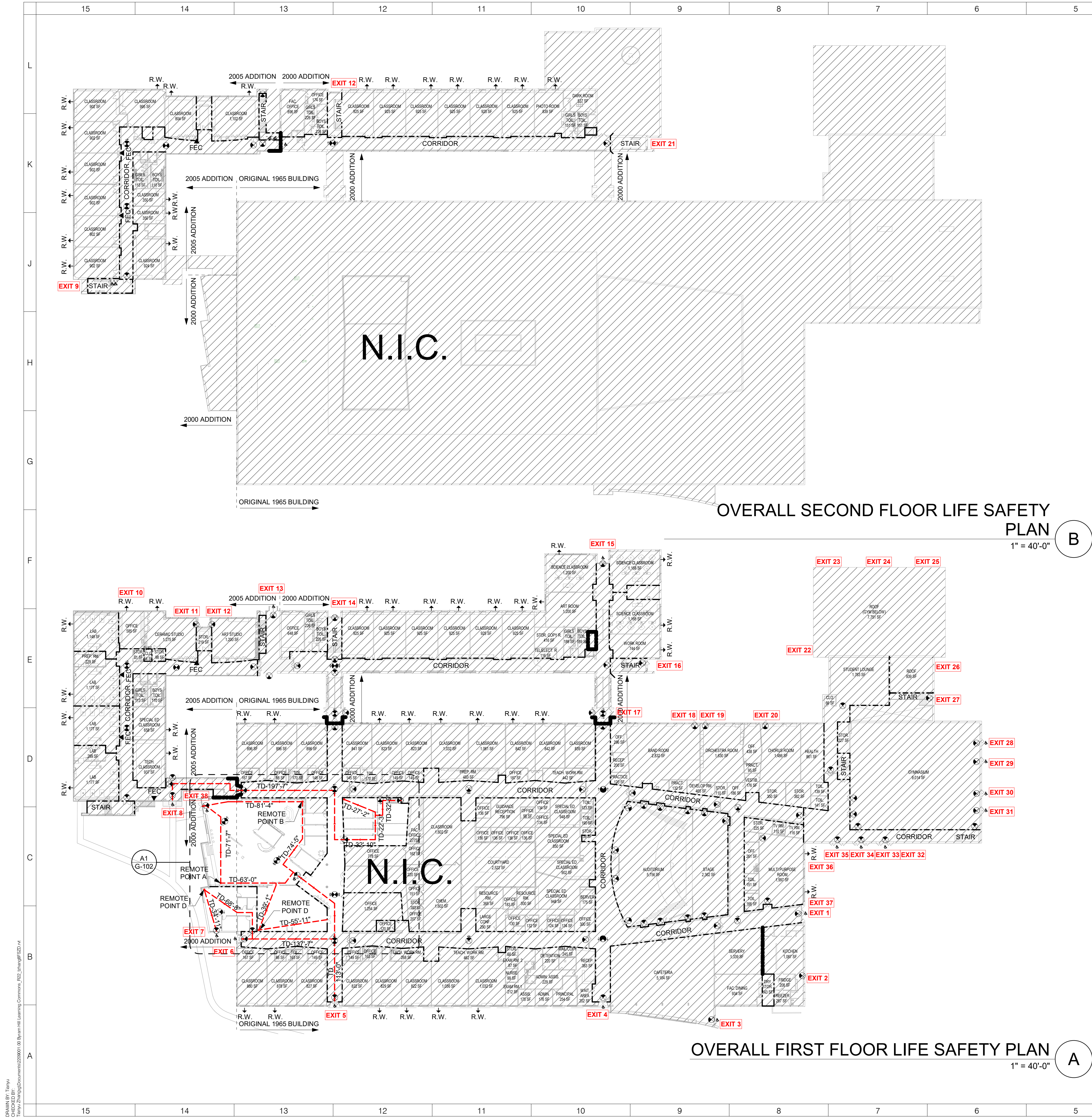
DRAWN BY: Tianyu  
CHECKED BY:  
Tianyu Zhang and Dong

## KEY PLAN

[illegible]

<b>ISSUED:</b>	BID SET
<b>DATE:</b>	JUNE 25, 2024
<b>SCALE:</b>	1/2" = 1'-0"
<b>SHEET NAME:</b>	ACCESSIBILITY COMPLIANCE DIAGRAMS AND STANDARD MOUNTING HEIGHTS

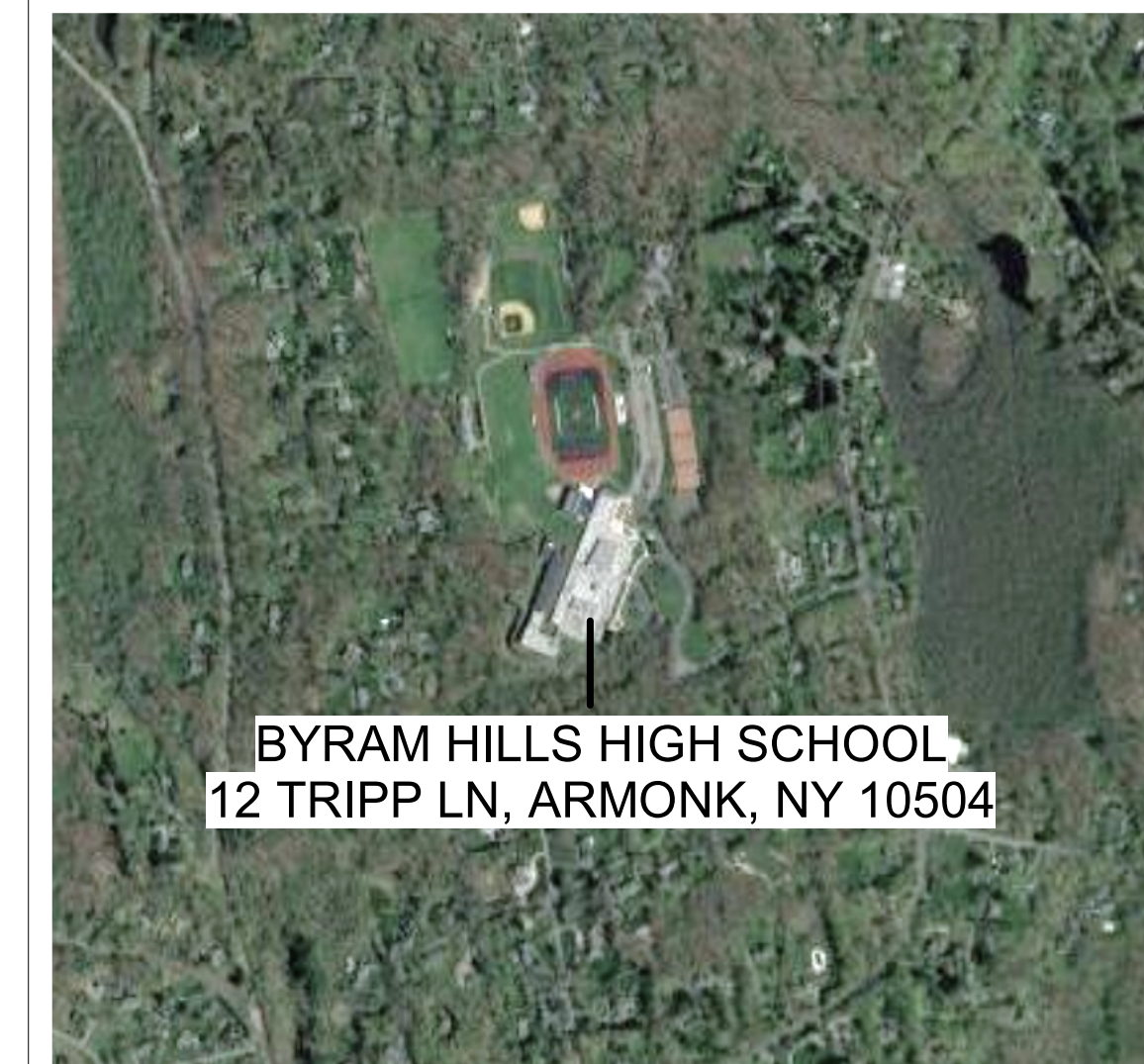




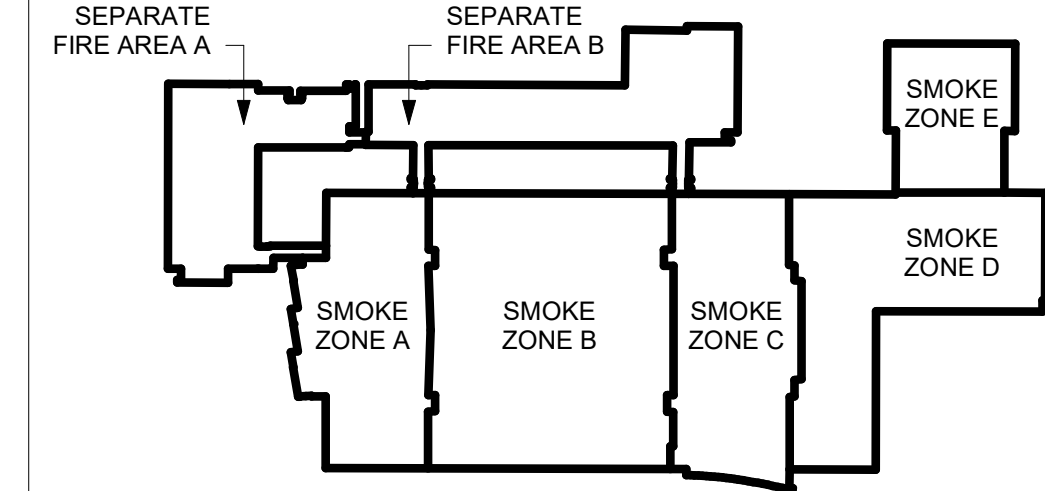
## LEGEND

- NOT IN SCOPE
- 1 HR RATED WALL
- FIRE WALL
- TRAVEL PATH
- TRAVEL DISTANCE
- TD-XX'-X"
- OCCUPANTS USING EXIT
- CLEAR WIDTH
- EGRESS WIDTH PER OCCUPANT
- CALCULATED EXIT CAPACITY
- RESUE WINDOW
- FIRE EXTINGUISHER CABINET
- EXIT SIGN
- ADA FIRE RESCUE AREA

## AERIAL SITE VIEW



## FIRE AND SMOKE AREA



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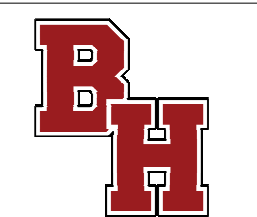
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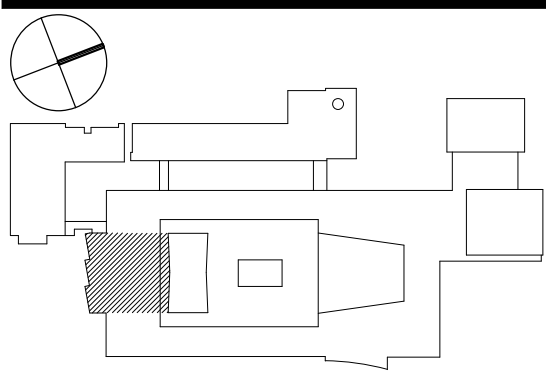
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**LEARNING COMMONS RENOVATION**  
SED# 66-12-01-06-0-007-017

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## KEY PLAN



## REVISIONS

No.	Description	Date
1	SED ADDENDUM 1	06/14/24

**ISSUED:** BID SET

**DATE:** JUNE 25, 2024

**SCALE:** As indicated

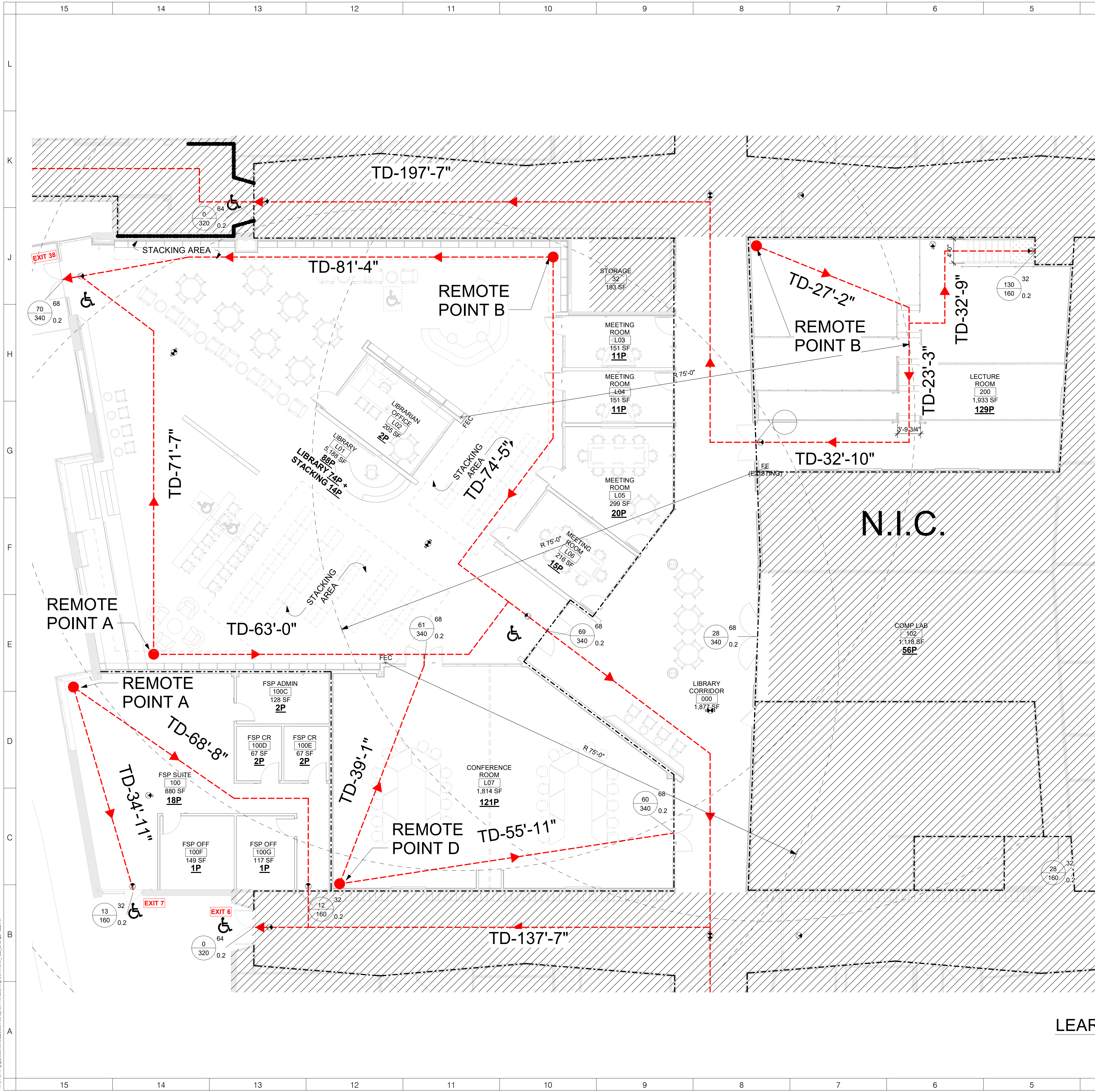
**SHEET NAME:**  
OVERALL LIFE SAFETY PLANS

**SHEET NUMBER:**

**G-101**



DRAWN BY: Tanya  
Tanya.Zhang@ksqdesign.com  
6/24/2024 3:44:29 PM



## LEARNING COMMONS LIFE SAFETY PLAN

1/8" = 1'-0"

A1

### LEGEND

- NOT IN SCOPE
- 1 HR RATED WALL
- FIRE WALL
- TRAVEL PATH
- TRAVEL DISTANCE
- TD-XX'-X"
- OCCUPANTS USING EXIT
- CLEAR WIDTH
- EGRESS WIDTH PER OCCUPANT
- CALCULATED EXIT CAPACITY
- W
- Y
- Z
- R.W.
- FEC
- EXIT SIGN
- ADA FIRE RESCUE AREA

### OCCUPANCY SCHEDULE

RM#	RM NAME	AREA	OCCUPANCY TYPE	SF/PERSON	OCCUPANCY
100	FSP SUITE	880 SF	VOCATIONAL CLASSROOM	50 NET	18
100C	FSP ADMIN	128 SF	BUSINESS	150 GROSS	1
100D	FSP CR	67 SF	VOCATIONAL CLASSROOM	50 NET	2
100E	FSP CR	67 SF	VOCATIONAL CLASSROOM	50 NET	2
100F	FSP OFF	149 SF	BUSINESS	150 GROSS	1
100G	FSP OFF	117 SF	BUSINESS	150 GROSS	1
102	COMP LAB	1,118 SF	VOCATIONAL CLASSROOM	50 NET	23
200	LECTURE ROOM	1,933 SF	ASSEMBLY	15 NET	129
L01	LIBRARY	5,188 SF	ASSEMBLY	50 NET READING 100 GROSS STACKING	88
L02	LIBRARIAN OFFICE	205 SF	BUSINESS	150 GROSS	2
L03	MEETING ROOM	151 SF	ASSEMBLY - UNCONCENTRATED	15 NET	11
L04	MEETING ROOM	151 SF	ASSEMBLY - UNCONCENTRATED	15 NET	11
L05	MEETING ROOM	299 SF	ASSEMBLY - UNCONCENTRATED	15 NET	20
L06	MEETING ROOM	216 SF	ASSEMBLY - UNCONCENTRATED	15 NET	15
L07	CONFERENCE ROOM	1,814 SF	ASSEMBLY - UNCONCENTRATED	15 NET	121
TOTAL OCCUPANCY					445

### OCCUPANCY CLASSIFICATION

AREA	COMMENTS
13,772 SF	GROUP E

BUILDING CONSTRUCTION TYPE : IIA  
NON-SPRINKLER

NOTE: INDICATED AREA OF RENOVATION OCCUPANCY  
WILL NOT INCREASE FROM CURRENT OCCUPANCY LOAD.

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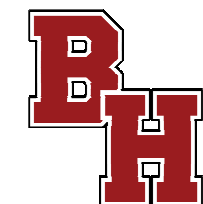
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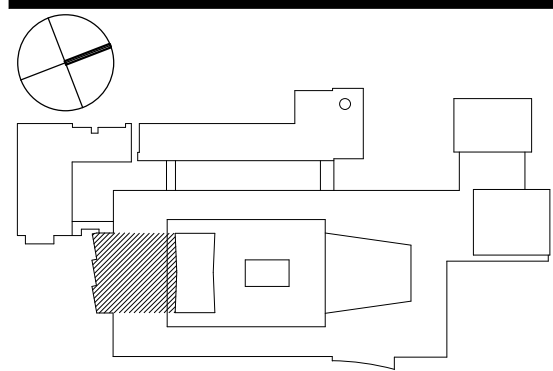
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**LEARNING COMMONS**  
**RENOVATION**  
SED# 66-12-01-06-0-007-017

12 Tripp Ln,  
Armonk, NY 10504

#### KEY PLAN



#### REVISIONS

No.	Description	Date

**ISSUED:** BID SET

**DATE:** JUNE 25, 2024

**SCALE:** As indicated

**SHEET NAME:**  
**LEARNING COMMONS**  
**LIFE SAFETY PLAN**

**SHEET NUMBER:**

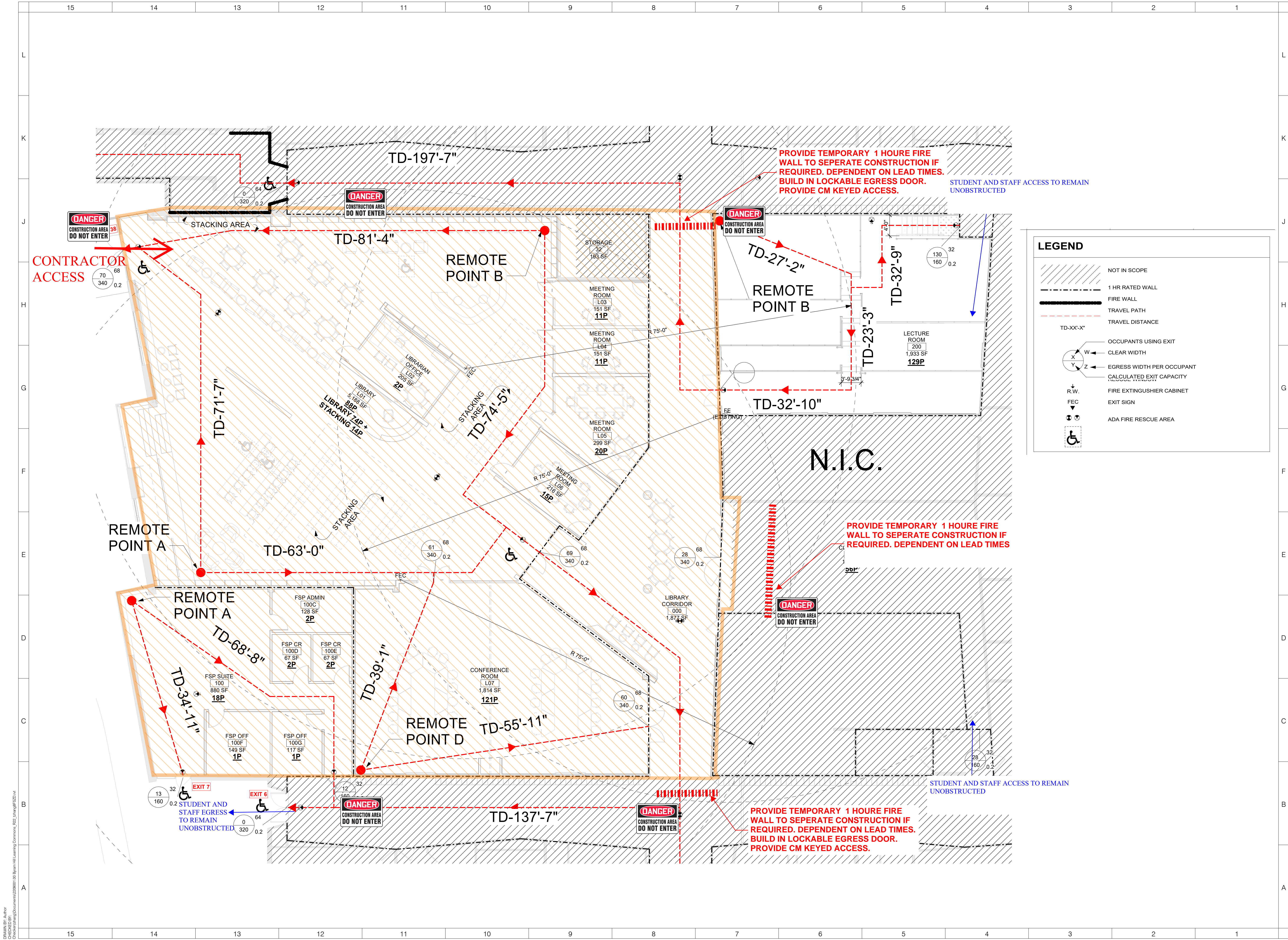
**G-102**

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**KEY PLAN**

**REVISIONS**  

No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** As indicated  
**SHEET NAME:** INTERIOR LOGISTICS PLAN  
**SHEET NUMBER:** PH-002

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DRAWN BY: Author  
CHECKED BY: KSQ  
11/9/2023 10:29:39 AM

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# ASBESTOS ABATEMENT GENERAL NOTES

## GENERAL NOTES:

1. ALL ASBESTOS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAW, GUIDELINES, REGULATIONS, ORDERS AND DIRECTIVES, INCLUDING WITHOUT LIMITATIONS, THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA), AND U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH), AND NEW YORK STATE DEPARTMENT OF LABOR (NYSDEL).
2. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, SERVICES, ETC., NECESSARY TO PERFORM THE WORK REQUIRED FOR ASBESTOS ABATEMENT IN ACCORDANCE WITH CONTRACT DOCUMENTS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
3. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A WRITTEN STANDARD PROCEDURE FOR ABATEMENT WORK TO ENSURE MAXIMUM PROTECTION AND SAFEGUARD FROM ASBESTOS EXPOSURE OF THE WORKERS, VISITORS, EMPLOYEES, GENERAL PUBLIC, AND THE ENVIRONMENT.
4. CONTRACTOR SHALL PROVIDE SIGNS, LABELS, WARNINGS, AND POST INSTRUCTIONS THAT ARE NECESSARY TO PROTECT, INFORM AND WARN PEOPLE OF THE HAZARD FROM ASBESTOS EXPOSURE. POST IN A PROMINENT AND CONVENIENT PLACE FOR THE WORKERS A COPY OF THE LATEST APPLICABLE REGULATIONS FROM OSHA, EPA, NIOSH AND NYSDEL.
5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATION.
6. THE CONTRACTOR SHALL RELOCATE ALL FURNITURE, LOCKERS, DESKS AND OTHER MISC. ITEMS IN AND OUT OF THE WORK AREAS TO ACCOMMODATE ASBESTOS ACTIVITIES, IF THE SCHOOL DOES NOT PROVIDE.
7. THE CONTRACTOR SHALL PROVIDE ALL ELECTRICAL, WATER, AND WASTE CONNECTIONS, TIE-INS, EXTENSIONS, CONSTRUCTION MATERIALS, SUPPLIES, ETC. AS REQUIRED TO FACILITATE ASBESTOS REMOVAL, IF THE SCHOOL DOES NOT PROVIDE.
8. CONTRACTOR SHALL PROVIDE TEMPORARY ELECTRIC AND LIGHT THROUGHOUT THE WORK AREA(S) AS REQUIRED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND CODES.
9. CONTRACTOR SHALL PROPERLY PROTECT ALL CONTROLS, TUBING, ELECTRICAL PANELS, EQUIPMENT, ETC. WITHIN THE WORK AREA.
10. THE CONTRACTOR SHALL BE REQUIRED TO ISSUE NON-WHITE WORK COVERALLS FOR ALL ABATEMENT WORKERS.
11. CONTRACTOR SHALL EXERCISE EXTREME CARE AND CAUTION DURING ANY AND ALL DEMOLITION AND ABATEMENT OPERATIONS. CONTRACTOR SHALL CONDUCT REMOVAL OF ALL MATERIALS FROM THE SITE WITH MINIMUM DISTURBANCE; PROVIDE PROPER PROTECTION AND REGULAR MAINTENANCE OF ALL BUILDING PREMISES DIRECTLY OR INDIRECTLY ASSOCIATED WITH ABATEMENT OPERATIONS.
12. THE CONTRACTOR SHALL USE A WATER SPRAYER TO WET ASBESTOS CONTAINING MATERIALS INSIDE THE WORK AREA.
13. CONTRACTOR SHALL CONSTRUCT A PERSONAL/WASTE DECONTAMINATION ENCLOSURE SYSTEM (P./W.D.E.S.) AS INDICATED. IT SHALL BE OF SUFFICIENT SIZE TO ACCOMMODATE STORAGE OF MATERIALS, EQUIPMENT, ETC.

14. IF WATER IS NOT AVAILABLE, THE CONTRACTOR SHALL PROVIDE A 55 GALLON WATER TANK FOR THE DECONTAMINATION UNIT.

15. THE CONTRACTOR SHALL UTILIZE GFCI PANEL CONNECTIONS AT THE SOURCE OUTLET WHEN ACCESSING TEMPORARY POWER.

16. THE CONTRACTOR SHALL VERIFY THE LOCATION OF THE TEMPORARY WATER AND POWER SOURCES PRIOR TO ABATEMENT ACTIVITIES.

17. DEBRIS RESULTING FROM ANY DEMOLITION AND/OR ASBESTOS ABATEMENT ACTIVITIES SHALL BE DISPOSED OF AS ASBESTOS CONTAMINATED WASTE.

18. NO WASTE SHALL BE STORED ON SITE OR INSIDE THE DECONTAMINATION UNIT BETWEEN SHIFTS. WASTE SHALL BE DOUBLE BAGGED BEFORE PROCEEDING TO THE CONTAINER AND/OR DECON. BAGS WILL BE MOVED FROM WORK AREAS TO THE WASTE DECON AND SUBSEQUENTLY TO THE CONTAINER IN COVERED CARTS. BAGS WILL BE CARRIED BY HAND ONLY WHEN NECESSARY. ALL WASTE SHALL BE CONTAINERIZED AT THE END OF EACH WORK SHIFT BEFORE RELINQUISHING TO WASTE HAULER.

19. CONTRACTOR IS RESPONSIBLE TO COORDINATE AND CONFIRM THE EXACT SCOPE OF WORK, AND QUANTITY FOR EACH PHASE OF ABATEMENT WITH THE GENERAL CONTRACTOR AND OTHER TRADES.

20. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, TOOLS, TRANSPORTATION AND ANY OTHER EQUIPMENT REQUIRED AND/OR NECESSARY TO COMPLETE ALL WORK DESCRIBED IN THE CONTRACT DOCUMENTS.

DRAWING	DRAWING NAME
H-001.00	ASBESTOS ABATEMENT - GENERAL NOTES
H-002.00	ASBESTOS ABATEMENT - FIRST FLOOR PLAN

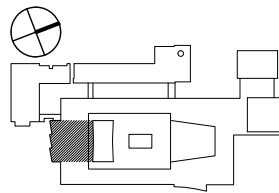


Exp. 12/2024

DESIGNER: ROBERT S. MASONE, P.E. LIC. # 084951



KEY PLAN



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### REVISIONS:

NUMBER	DESCRIPTION	DATE
1		
2		
3		
4		

**BRYAM HILLS HIGH SCHOOL LEARNING  
COMMONS RENOVATION**  
12 TRIPP LANE,  
ARMONK, NY 10504

### DRAWING TITLE:

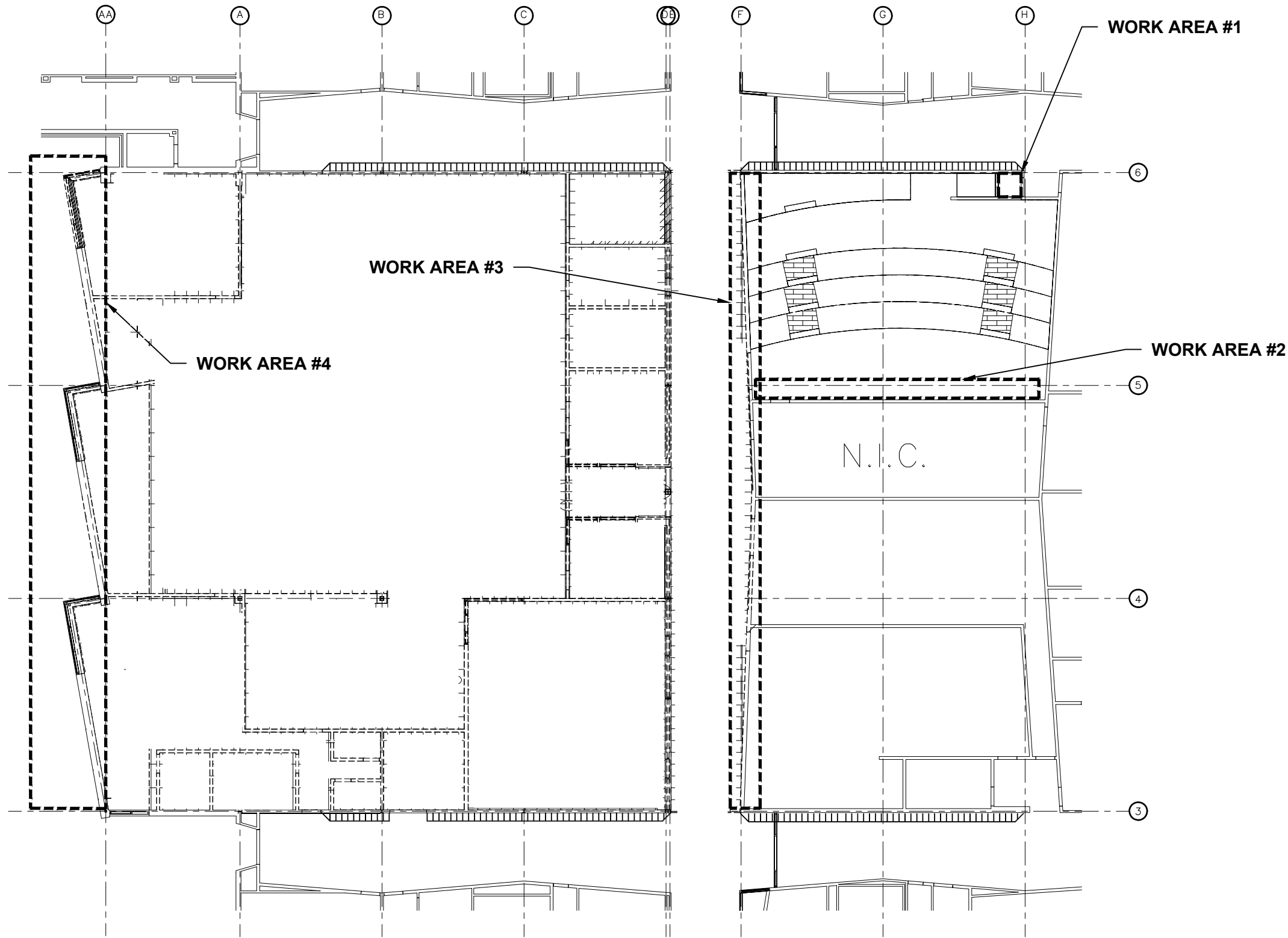
**ASBESTOS ABATEMENT  
GENERAL NOTES**

DRAWN BY:	RESTREPO, J.	SCALE:	NOT TO SCALE
PROJ. DESIGNER:	R. MASONE	DATE:	10/27/2023
CHECKED BY:	C. NAPOLITANO	DRAWING NUMBER:	

**H-001.00**

DRAWING NUMBER:  
2 of 2





WORK AREA	LOCATION	ASBESTOS-CONTAINING MATERIAL	APPROXIMATE QUANTITY	REMOVAL PROCEDURES
1	Lecture Hall	9"x9" Floor Tile & Mastic	+/- 15 square feet (or as per the final scope of work)	NYSDOL 12 NYCRR Part 56-11.7 Non-Friable and/or Mastic Removal
2	Lecture Hall	Beam and Door Caulking	+/- 100 linear feet (or as per the final scope of work)	NYSDOL 12 NYCRR Part 56-7.11 (1)(i) NEGATIVE PRESSURE TENT
3	Hallway outside Lecture Hall and Tech Labs	Faux Wood Wall Panel Glue	+/- 110 linear feet (or as per the final scope of work)	NYSDOL 12 NYCRR Part 56-11.6 Exterior Project Removal of Non-Friable ACM Roofing, Siding, Caulking, Glazing, Transite and other NOB ACM's
4	Exterior of Library South Façade	Waterproofing Behind Masonry Brick	+/- 600 square feet (or as per the final scope of work)	

LEGEND



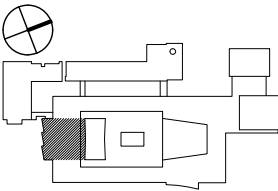
WORK AREA BOUNDARY



Exp. 12/2024

DESIGNER: ROBERT S. MASONE, P.E. LIC. # 084951

KEY PLAN



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NUMBER	DESCRIPTION	DATE
1		
2		
3		
4		

BRYAM HILLS HIGH SCHOOL LEARNING  
COMMONS RENOVATION  
12 TRIPP LANE,  
ARMONK, NY 10504

DRAWING TITLE:

FIRST FLOOR DEMO REFLECTED  
CEILING PLAN

DRAWN BY:	RESTREPO, J.	SCALE:	NOT TO SCALE
PROJ. DESIGNER:	R. MASONE	DATE:	10/27/2023
CHECKED BY:	C. NAPOLITANO	DRAWING NUMBER:	

H-002.00

DRAWING NUMBER:  
2 of 2



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DESIGN DATA:

STRUCTURAL DESIGN HAS BEEN PERFORMED IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:  
A) 2020 NEW YORK STATE BUILDING CODE.  
B) ACI 318-14, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE  
C) AISC, MANUAL OF STEEL CONSTRUCTION, ALLOWABLE STRESS DESIGN, 14TH ED.

1. DEAD LOADS  
SELF WEIGHT +  
ROOF: 10 PSF  
CEILING: 10 PSF  
FLOOR: 15 PSF

2. LIVE LOADS  
FLOOR - 100 PSF

3. WIND LOADS  
BASIC WIND SPEED: 115 MPH (3-second gust)  
RISK CATEGORY: III  
EXPOSURE CATEGORY: B

4. SNOW LOADS  
GROUND SNOW LOAD: 30 PSF  
DESIGN FLAT ROOF SNOW LOAD: 30 PSF

5. SEISMIC  
RISK CATEGORY: III  
SITE CLASS: D  
Sds: 0.295g  
Sd1: 0.096g  
SEISMIC DESIGN CATEGORY: B

GENERAL INFORMATION:

(UNLESS OTHERWISE NOTED OR SHOWN ON PLAN, THE FOLLOWING SHALL APPLY)

"LOADS" INDICATED ON THIS DRAWING ARE THOSE FOR THE DESIGN OF THE BUILDING SUPERSTRUCTURE

1. ALL DETAILS MARKED "TYPICAL" IN THE SET OF STRUCTURAL DRAWINGS SHALL BE APPLIED THROUGHOUT THE PROJECT AS REQUIRED TO SATISFY THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL COORDINATE REQUIREMENTS FOR QUANTITY AND LOCATION WHERE THE "TYPICAL" DETAILS APPLY.

2. FAILURE ON THE PART OF THE CONTRACTOR TO REVIEW THE DRAWINGS OF OTHER DISCIPLINES (i.e. ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ETC.) TOGETHER WITH THE FULL EXTENT OF THE PROJECT SPECIFICATIONS DOES NOT RELIEVE THEM OF THE RESPONSIBILITY TO FURNISH AND INSTALL ITEMS THAT ARE PART OF THEIR WORK AS INDICATED BY THE DRAWINGS AND SPECIFICATIONS OF OTHER TRADES. ALL STRUCTURAL TRADE CONTRACTORS AND SUB-CONTRACTORS ARE PROHIBITED FROM EXCLUDING STRUCTURAL WORK FROM THEIR CONTRACT NOT SHOWN IN THE STRUCTURAL DRAWINGS.

3. ALL CONTRACTORS AND SUBCONTRACTORS WORKING ON THIS PROJECT TO HAVE A MINIMUM OF 5 YEARS VERIFIABLE EXPERIENCE IN THEIR RESPECTIVE FIELDS.

4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING AND PRE-FABRICATED ITEMS, INCLUDED BY NOT LIMITED TO; TRUSSES, SIPS, PLANK AND STEEL.

5. DRAWINGS MAY NOT BE SCALED. USE NOTES AND DIMENSIONS SPECIFIED ON DRAWINGS AND CONFIRM THESE DIMENSIONS WITHIN FIELD MEASUREMENTS DURING CONSTRUCTION.

6. DISCREPANCIES, OMISSIONS OR UNFORESEEN PROBLEMS DISCOVERED AT SITE SHALL BE REPORTED TO THE ENGINEER FOR IMMEDIATE CONSULTATION AND AMENDMENT.

7. TEMPORARY SHORING AND SHORING OF EXCAVATION IS BY OTHERS. THESE DRAWINGS SHOW FINAL CONDITIONS ONLY.

STRUCTURAL STEEL GENERAL NOTES

(UNLESS OTHERWISE NOTED OR SHOWN ON PLAN, THE FOLLOWING SHALL APPLY)

1. STRUCTURAL STEEL SHALL CONFORM TO THE A.I.S.C. STEEL CONSTRUCTION MANUAL 14TH EDITION.

2. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS.

MEMBER	A.S.T.M.	MIN. STRENGTH
ROLLED SHAPES	A992	50 KSI
BASE PLATES	A572	42 KSI
PLATES,CHANNELS, & ANGLES	A36	36 KSI
CONNECTION BOLTS	A325	92 KSI
ANCHOR BOLTS	F1554	---
THREADED BOLTS	A36	36 KSI
NON-SHRINK GROUT	C1107	8,000 PSI

3. WELDING SHALL BE IN ACCORDANCE WITH A.W.S. D1.1 USING E70XX ELECTRODES. UNLESS OTHERWISE NOTED, PROVIDE CONTINUOUS MINIMUM SIZED FILLET WELDS PER A.I.S.C. REQUIREMENTS. FILLER MATERIAL SHALL HAVE A MINIMUM YIELD STRENGTH OF 58 K.S.I.

4. MOMENT CONNECTIONS DENOTED THUS (►) ON PLAN. SEE TYPICAL DETAILS.

5. HOLES IN STEEL BEAMS SHALL BE DRILLED OR PUNCHED. ALL SLOTTED HOLES SHALL BE PROVIDED WITH SMOOTH EDGES. BURNING OF HOLES AND TORCH CUTTING AT THE SITE IS NOT PERMITTED.

6. THE STRUCTURAL STEEL ERECTOR SHALL PROVIDE TEMPORARY GUYING AND BRACING AS REQUIRED. COLUMNS, ANCHOR BOLTS, BASE PLATES, ETC. HAVE BEEN DESIGNED FOR THE FINAL COMPLETE CONDITION, AND HAVE NOT BEEN INVESTIGATED FOR POTENTIAL LOADINGS ENCOUNTERED DURING STEEL ERECTION AND CONSTRUCTION. ANY INVESTIGATION OF THE COLUMNS, ANCHOR BOLTS, FRAMING, ETC. FOR ADEQUACY DURING THE STEEL ERECTION AND CONSTRUCTION PROCESS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

STEEL DECKS - GENERAL

1. ALL STEEL DECK SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AS WELL AS THE STEEL DECK INSTITUTE (SDI) REQUIREMENTS AND SPECIFICATIONS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, MANUFACTURE, TRANSPORTATION, STORAGE, AND INSTALLATION. STEEL FLOOR DECK SHALL BE AS MANUFACTURED BY VULCRAFT (BASIS OF DESIGN), NEW MILLENNIUM BUILDING SYSTEMS, CANAM, OR AN APPROVED EQUAL.

2. ALL STEEL DECK AND DECK ACCESSORIES SHALL CONFORM TO ASTM A653 STRUCTURAL QUALITY, WITH A MINIMUM YIELD STRENGTH OF 33 KSI.

3. ALL STEEL TO BE USED FOR DECKING SHALL BE GALVANIZED ACCORDING TO ASTM A924, WITH A MINIMUM COATING CLASS OF G60. SEE DRAWINGS FOR ADDITIONAL GALVANIZING REQUIREMENTS AT EXPOSED LOCATIONS.

4. DECK SHEETS SHALL BE PLACED IN ACCORDANCE WITH REVIEWED ERECTION LAYOUT DRAWINGS (INCLUDING FASTENING SCHEDULE) SUPPLIED BY THE DECK MANUFACTURER, AND IN CONFORMANCE WITH THE MANUFACTURER'S STANDARDS.

5. ALL STEEL DECK SHALL BE INSTALLED IN THE TRIPLE-SPAN CONDITION, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.

6. UNLESS NOTED OTHERWISE ON DRAWINGS, PROVIDE 1/4" THICK (BOTTOM) AND 20 GA. (TOP) GALVANIZED STEEL PLATES AT ALL LOCATIONS WHERE DECK CHANGES SLOPE (RIDGES, VALLEYS, HIPS, ETC.) AND WHERE DECK CHANGES SPAN DIRECTION FOR CONTINUOUS EVEN SURFACE.

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CLAPPER

REGISTERED PROFESSIONAL ENGINEER

LICENSE EXPIRATION DATE - 02/28/2026

D

BYHAM HILLS HIGH SCHOOL

GLOBAL LEARNING COMMONS

SED# 66-12-01-06-0-007-017

C

12 Tripp Ln,  
Armonk, NY 10504

B

KEY PLAN

A

REVISIONS

No.	Description	Date

ISSUED: BID SET

DATE: JUNE 25, 2024

SCALE:

SHEET NAME: STRUCTURAL NOTES

SHEET NUMBER: S-001

4/26/2024 11:14:44 AM

PROJECT NUMBER: 23268

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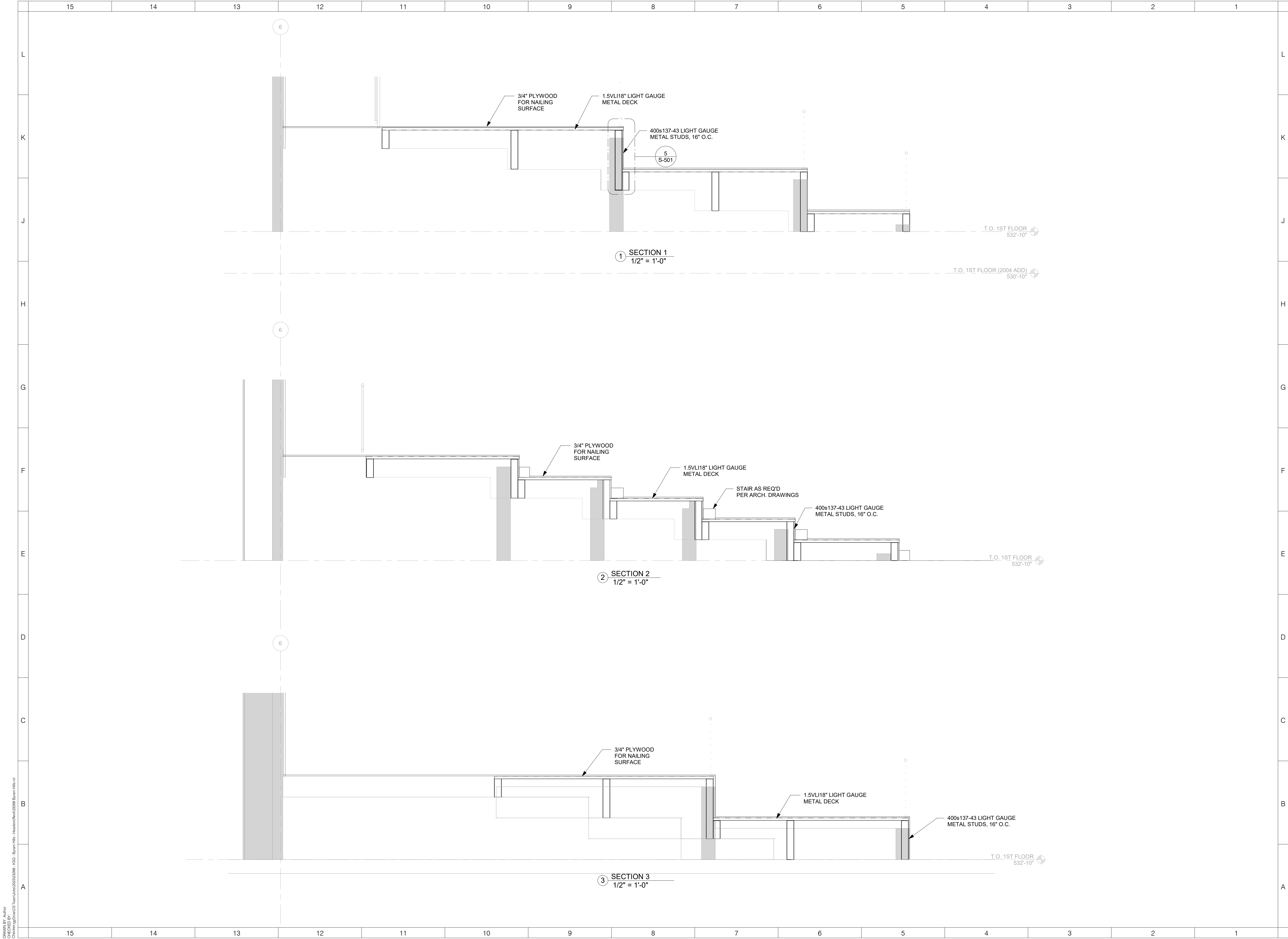


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S-101

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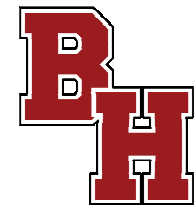
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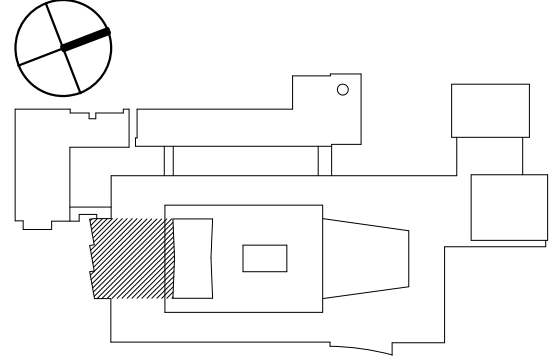
LICENSE EXPIRATION DATE - 02/28/2026



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KEY PLAN

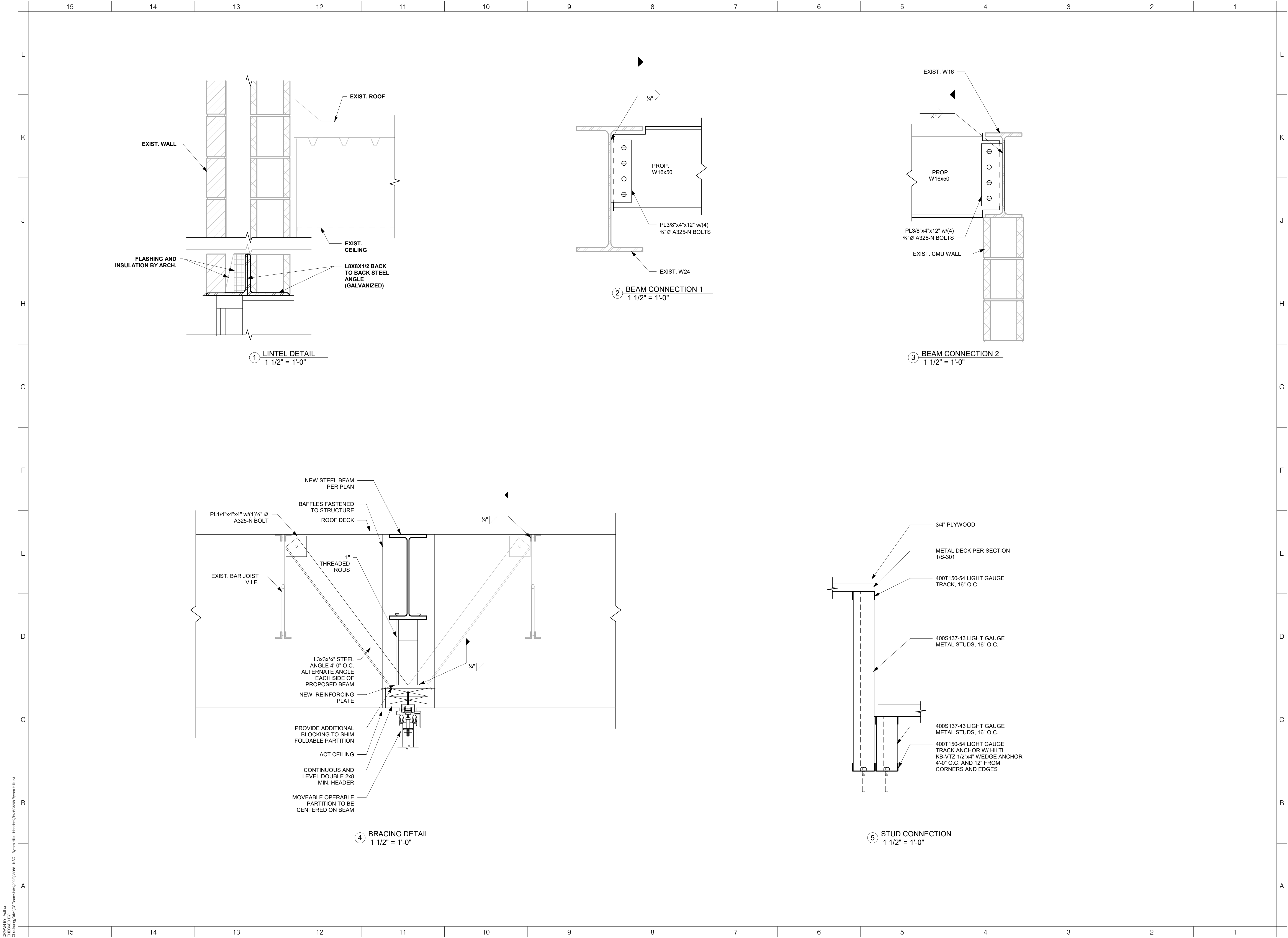


REVISIONS		
No.	Description	Date

ISSUED: BID SET  
DATE: JUNE 25, 2024  
SCALE: 1/2" = 1'-0"  
SHEET NAME: SECTIONS

SHEET NUMBER:  
S-301





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CHECKED BY: CHIEF ENGINEER  
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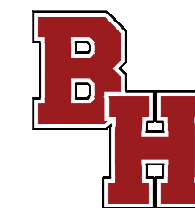
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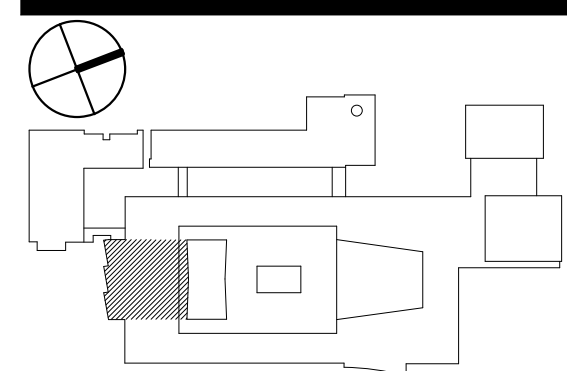
LICENSE EXPIRATION DATE - 02/28/2026



**BYRAM HILLS HIGH SCHOOL**  
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SED# 66-12-01-06-0-007-017

12 Tripp Ln,  
Armonk, NY 10504

KEY PLAN



REVISIONS		
No.	Description	Date

**ISSUED:** BID SET

**DATE:** JUNE 25, 2024

**SCALE:** 1 1/2" = 1'-0"

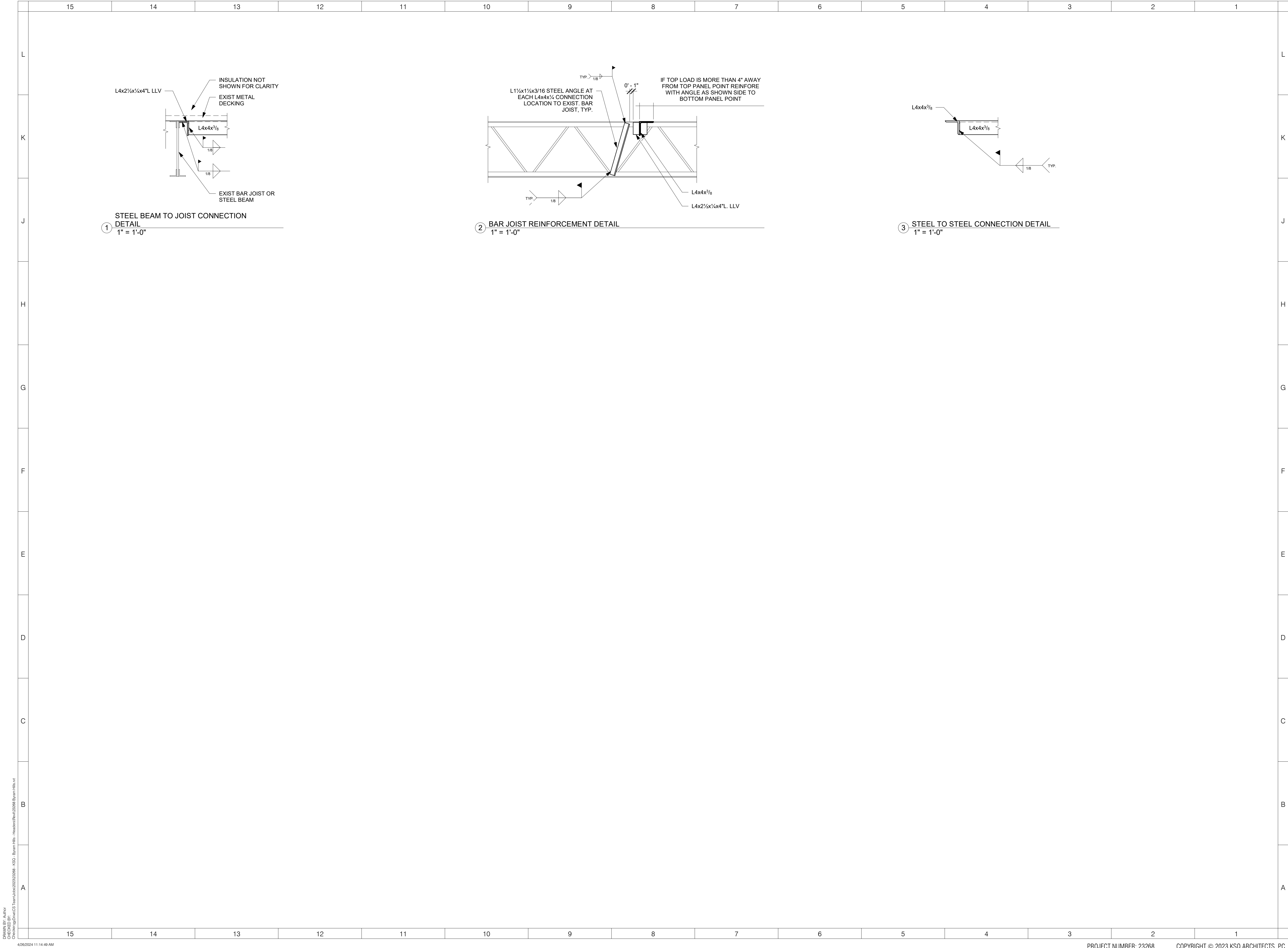
**SHEET NAME:**  
**STRUCTURAL DETAILS**

**SHEET NUMBER:**

**S-501**

BIDDING/REVIEW ISSUE





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Checked By: Chief  
4/26/2024 11:14:49 AM

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LICENSE EXPIRATION DATE - 02/28/2026

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Armonk, NY 10504

KEY PLAN

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No.	Description	Date

ISSUED: BID SET

DATE: JUNE 25, 2024

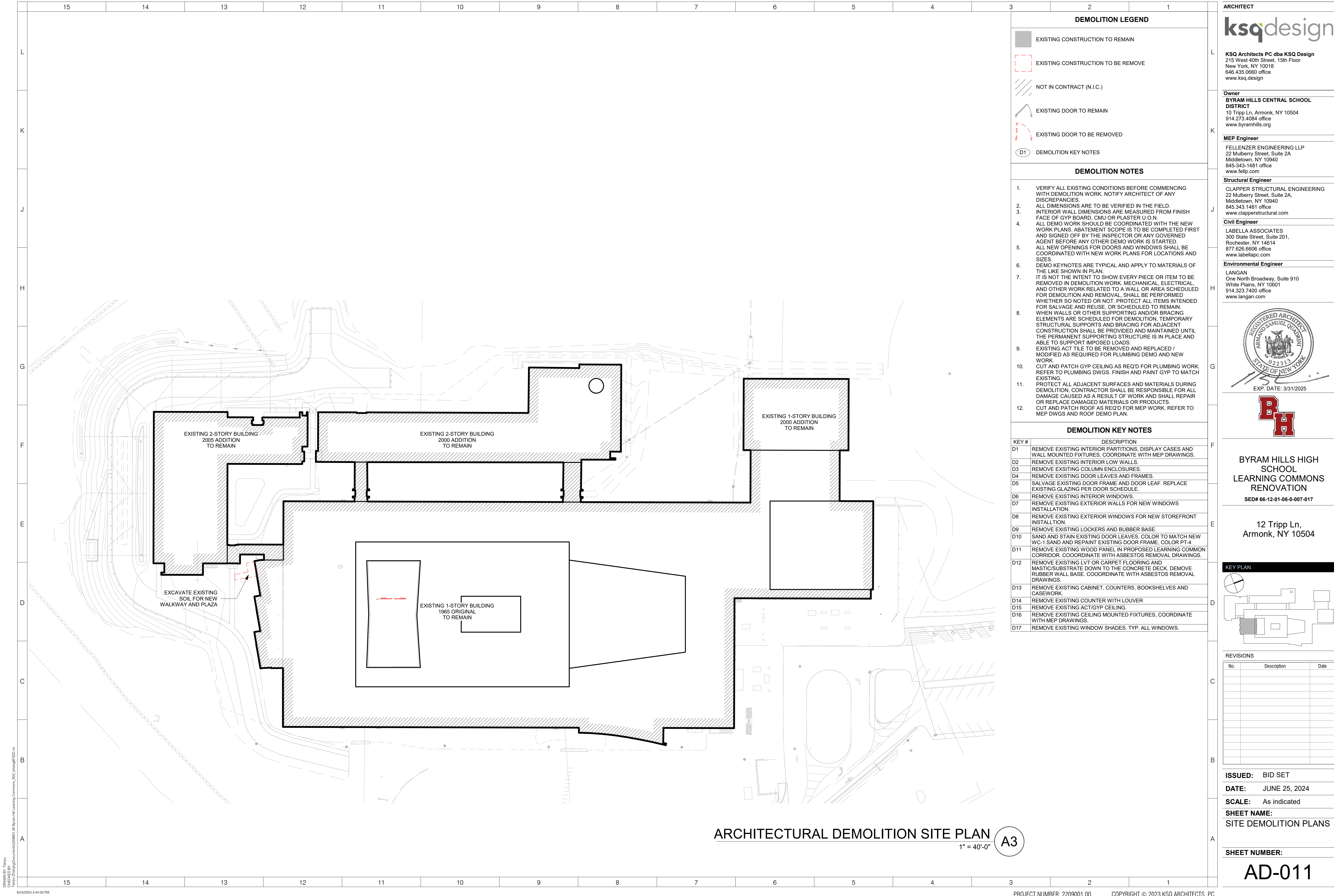
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SHEET NAME: STRUCTURAL DETAILS

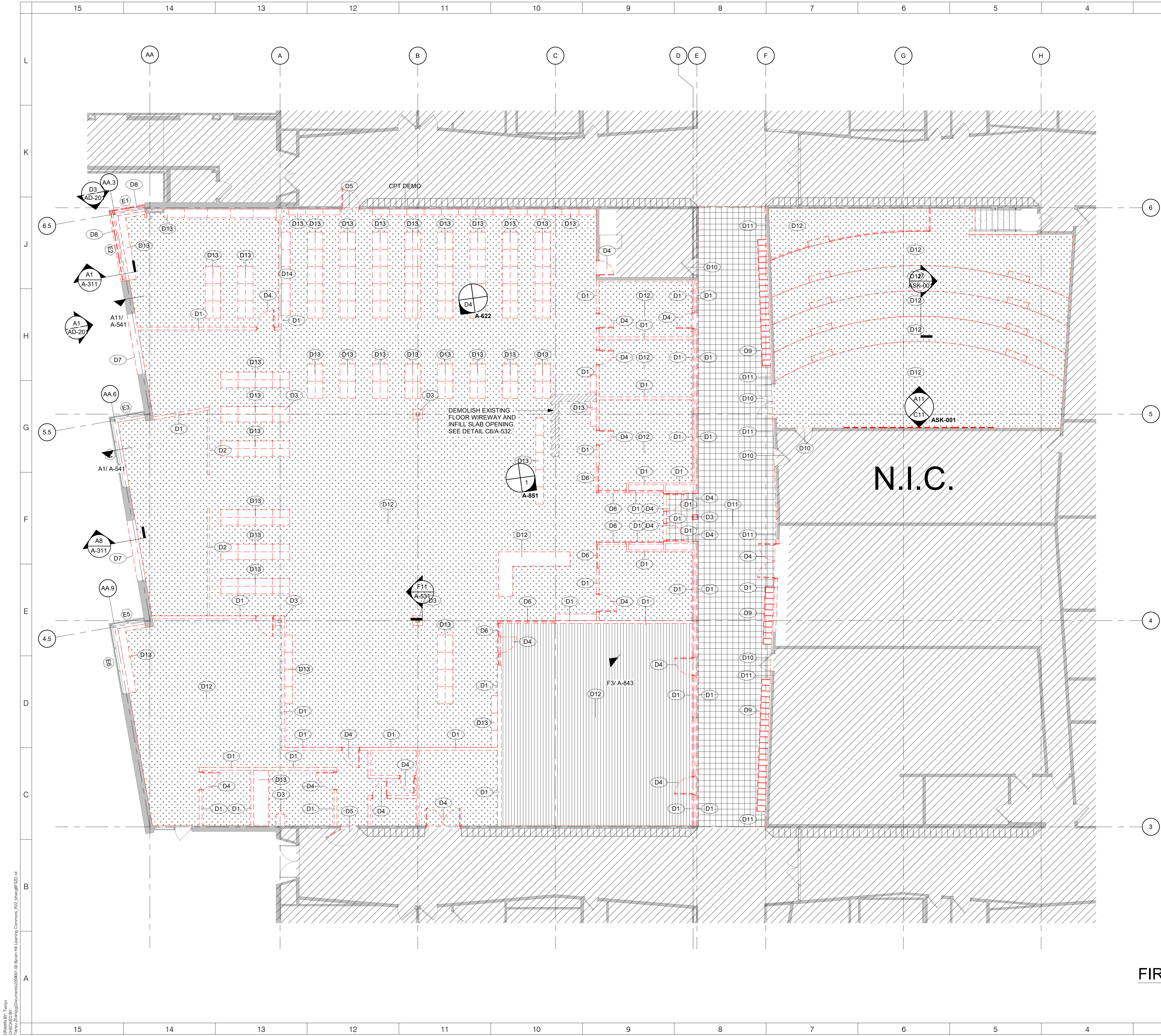
SHEET NUMBER: S-502

BIDDING/REVIEW ISSUE









EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVE

NOT IN CONTRACT (N.I.C.)

EXISTING DOOR TO REMAIN

EXISTING DOOR TO BE REMOVED

DEMOLITION KEY NOTES

DEMOLITION NOTES

1. VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WITH DEMOLITION WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

2. ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD.

3. INTERIOR WALL DIMENSIONS ARE MEASURED FROM FINISH FACE OF GYP BOARD, CMU OR PLASTER U.O.N.

4. ALL DEMO WORK SHOULD BE COORDINATED WITH THE NEW WORK PLANS. ABATEMENT SCOPE IS TO BE COMPLETED FIRST AND SIGNED OFF BY THE INSPECTOR OR ANY GOVERNED AGENT BEFORE ANY OTHER DEMO WORK IS STARTED.

5. ALL NEW OPENINGS FOR DOORS AND WINDOWS SHALL BE COORDINATED WITH NEW WORK PLANS FOR LOCATIONS AND SIZES.

6. DEMO KEYNOTES ARE TYPICAL AND APPLY TO MATERIALS OF THE LIKE SHOWN IN PLAN.

7. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL, AND OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE, OR SCHEDULED TO REMAIN.

8. WHEN WALLS OR OTHER SUPPORTING AND/OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT SUPPORTING STRUCTURE IS IN PLACE AND ABLE TO SUPPORT IMPOSED LOADS.

9. EXISTING ACT TILE TO BE REMOVED AND REPLACED / MODIFIED AS REQUIRED FOR PLUMBING DEMO AND NEW WORK.

10. CUT AND PATCH GYP CEILING AS REQ'D FOR PLUMBING WORK. REFER TO PLUMBING DWGS. FINISH AND PAINT GYP TO MATCH EXISTING.

11. PROTECT ALL ADJACENT SURFACES AND MATERIALS DURING DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE CAUSED AS A RESULT OF WORK AND SHALL REPAIR OR REPLACE DAMAGED MATERIALS OR PRODUCTS.

12. CUT AND PATCH ROOF AS REQ'D FOR MEP WORK. REFER TO MEP DWGS AND ROOF DEMO PLAN.

DEMOLITION KEY NOTES

KEY #	DESCRIPTION
D1	REMOVE EXISTING INTERIOR PARTITIONS, DISPLAY CASES AND WALL MOUNTED FIXTURES, COORDINATE WITH MEP DRAWINGS.
D2	REMOVE EXISTING INTERIOR LOW WALLS.
D3	REMOVE EXISTING COLUMN ENCLOSURES.
D4	REMOVE EXISTING DOOR LEAVES AND FRAMES.
D5	SALVAGE EXISTING DOOR FRAME AND DOOR LEAF. REPLACE EXISTING GLAZING PER DOOR SCHEDULE.
D6	REMOVE EXISTING INTERIOR WINDOWS.
D7	REMOVE EXISTING EXTERIOR WALLS FOR NEW WINDOWS INSTALLATION.
D8	REMOVE EXISTING EXTERIOR WINDOWS FOR NEW STOREFRONT INSTALLTION.
D9	REMOVE EXISTING LOCKERS AND BUBBER BASE.
D10	SAND AND STAIN EXISTING DOOR LEAVES, COLOR TO MATCH NEW WC-1.SAND AND REPAINT EXISTING DOOR FRAME, COLOR PT-4
D11	REMOVE EXISTING WOOD PANEL IN PROPOSED LEARNING COMMON CORRIDOR. COORDINATE WITH ASBESTOS REMOVAL DRAWINGS.
D12	REMOVE EXISTING LVT OR CARPET FLOORING AND MASTIC/SUBSTRATE DOWN TO THE CONCRETE DECK. DEMOVE RUBBER WALL BASE. COORDINATE WITH ASBESTOS REMOVAL DRAWINGS.
D13	REMOVE EXISTING CABINET, COUNTERS, BOOKSHELVES AND CASEWORK.
D14	REMOVE EXISTING COUNTER WITH LOUVER
D15	REMOVE EXISTING ACT/GYP CEILING.
D16	REMOVE EXISTING CEILING MOUNTED FIXTURES, COORDINATE WITH MEP DRAWINGS.
D17	REMOVE EXISTING WINDOW SHADES. TYP. ALL WINDOWS.

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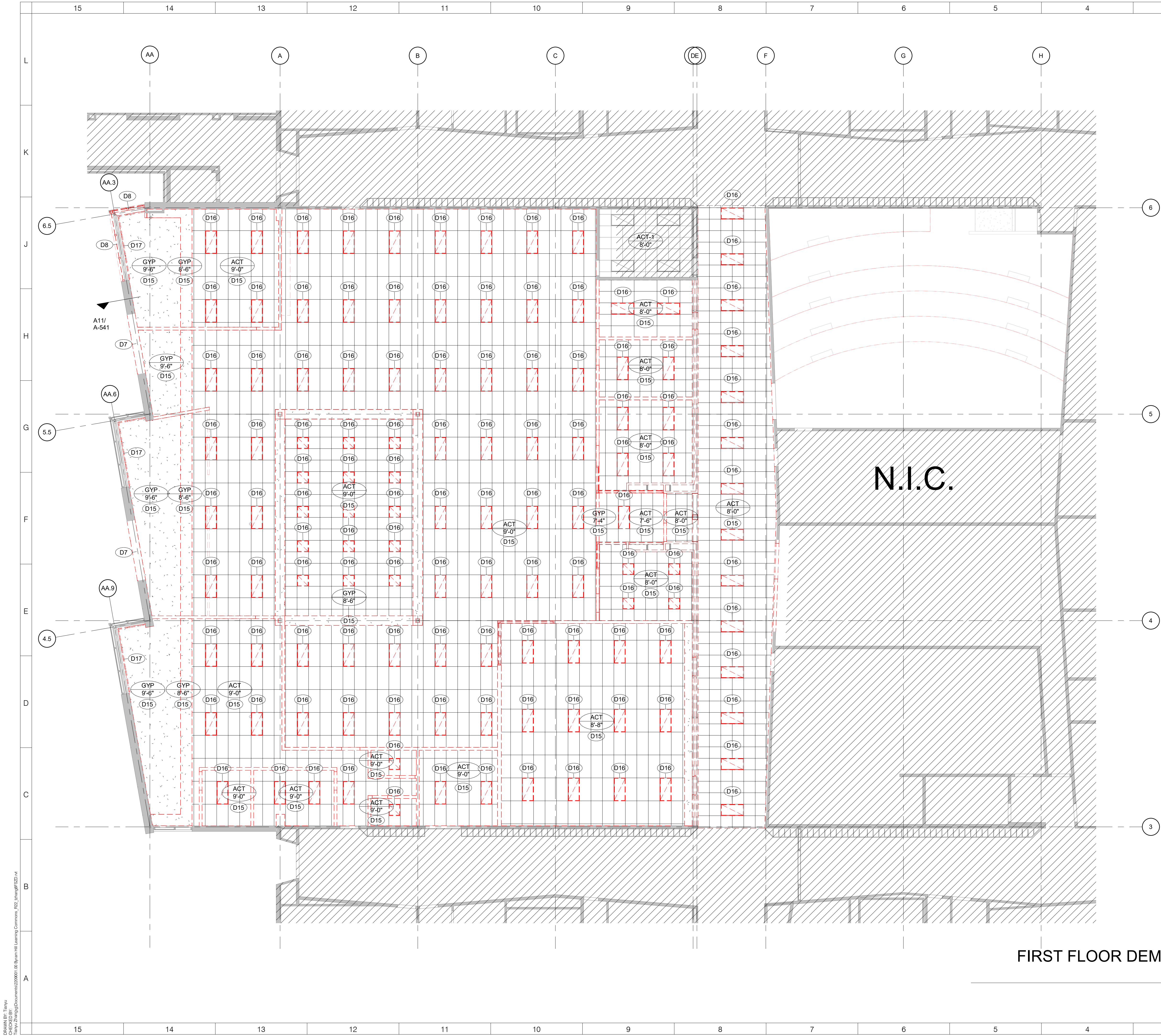
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EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVE

NOT IN CONTRACT (N.I.C.)

EXISTING DOOR TO REMAIN

EXISTING DOOR TO BE REMOVED

D1

DEMOLITION KEY NOTES

DEMOLITION NOTES

1. VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WITH DEMOLITION WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

2. ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD. INTERIOR WALL DIMENSIONS ARE MEASURED FROM FINISH FACE OF GYP BOARD, CMU OR PLASTER U.O.N.

3. ALL DEMO WORK SHOULD BE COORDINATED WITH THE NEW WORK PLANS. ABATEMENT SCOPE IS TO BE COMPLETED FIRST AND SIGNED OFF BY THE INSPECTOR OR ANY GOVERNED AGENT BEFORE ANY OTHER DEMO WORK IS STARTED.

4. ALL NEW OPENINGS FOR DOORS AND WINDOWS SHALL BE COORDINATED WITH NEW WORK PLANS FOR LOCATIONS AND SIZES.

5. DEMO KEYNOTES ARE TYPICAL AND APPLY TO MATERIALS OF THE LIKE SHOWN IN PLAN.

6. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL, AND OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE, OR SCHEDULED TO REMAIN.

7. WHEN WALLS OR OTHER SUPPORTING AND/OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT SUPPORTING STRUCTURE IS IN PLACE AND ABLE TO SUPPORT IMPOSED LOADS.

8. EXISTING ACT TILE TO BE REMOVED AND REPLACED / MODIFIED AS REQUIRED FOR PLUMBING DEMO AND NEW WORK.

9. CUT AND PATCH GYP CEILING AS REQ'D FOR PLUMBING WORK. REFER TO PLUMBING DWGS. FINISH AND PAINT GYP TO MATCH EXISTING.

10. PROTECT ALL ADJACENT SURFACES AND MATERIALS DURING DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE CAUSED AS A RESULT OF WORK AND SHALL REPAIR OR REPLACE DAMAGED MATERIALS OR PRODUCTS.

11. CUT AND PATCH ROOF AS REQ'D FOR MEP WORK. REFER TO MEP DWGS AND ROOF DEMO PLAN.

DEMOLITION KEY NOTES

KEY #	DESCRIPTION
D1	REMOVE EXISTING INTERIOR PARTITIONS, DISPLAY CASES AND WALL MOUNTED FIXTURES, COORDINATE WITH MEP DRAWINGS.
D2	REMOVE EXISTING INTERIOR LOW WALLS.
D3	REMOVE EXISTING COLUMN ENCLOSURES.
D4	REMOVE EXISTING DOOR LEAVES AND FRAMES.
D5	SALVAGE EXISTING DOOR FRAME AND DOOR LEAF. REPLACE EXISTING GLAZING PER DOOR SCHEDULE.
D6	REMOVE EXISTING INTERIOR WINDOWS.
D7	REMOVE EXISTING EXTERIOR WALLS FOR NEW WINDOWS INSTALLATION.
D8	REMOVE EXISTING EXTERIOR WINDOWS FOR NEW STOREFRONT INSTALLTION.
D9	REMOVE EXISTING LOCKERS AND BUBBER BASE.
D10	SAND AND STAIN EXISTING DOOR LEAVES, COLOR TO MATCH NEW WC-1.SAND AND REPAINT EXISTING DOOR FRAME, COLOR PT-4
D11	REMOVE EXISTING WOOD PANEL IN PROPOSED LEARNING COMMON CORRIDOR. COORDINATE WITH ASBESTOS REMOVAL DRAWINGS.
D12	REMOVE EXISTING LVT OR CARPET FLOORING AND MASTIC/SUBSTRATE DOWN TO THE CONCRETE DECK. DEMOVE RUBBER WALL BASE. COORDINATE WITH ASBESTOS REMOVAL DRAWINGS.
D13	REMOVE EXISTING CABINET, COUNTERS, BOOKSHELVES AND CASEWORK.
D14	REMOVE EXISTING COUNTER WITH LOUVER
D15	REMOVE EXISTING ACT/GYP CEILING.
D16	REMOVE EXISTING CEILING MOUNTED FIXTURES, COORDINATE WITH MEP DRAWINGS.
D17	REMOVE EXISTING WINDOW SHADES. TYP. ALL WINDOWS.

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REGISTERED ARCHITECT

ARMAND SAMUEL QUARANTA

022313

STATE OF NEW YORK

EXP. DATE: 3/31/2025

BYRAM HILLS HIGH SCHOOL

LEARNING COMMONS

RENOVATION

SED# 66-12-01-06-0-007-017

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KEY PLAN

REVISIONS

No.	Description	Date

ISSUED: BID SET

DATE: JUNE 25, 2024

SCALE: As indicated

SHEET NAME: REFLECTED CEILING DEMOLITION PLANS

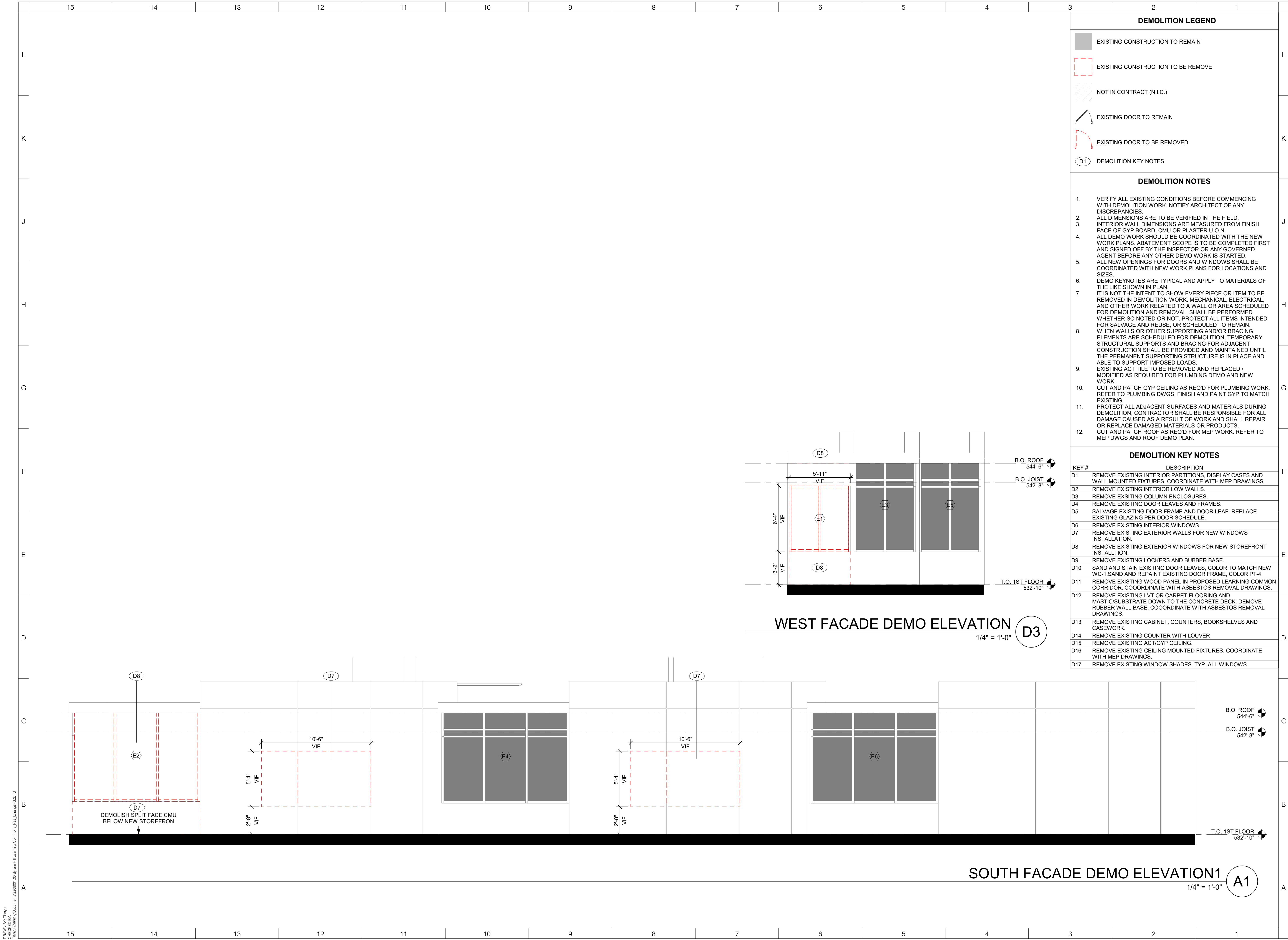
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**DATE:** JUNE 25, 2024

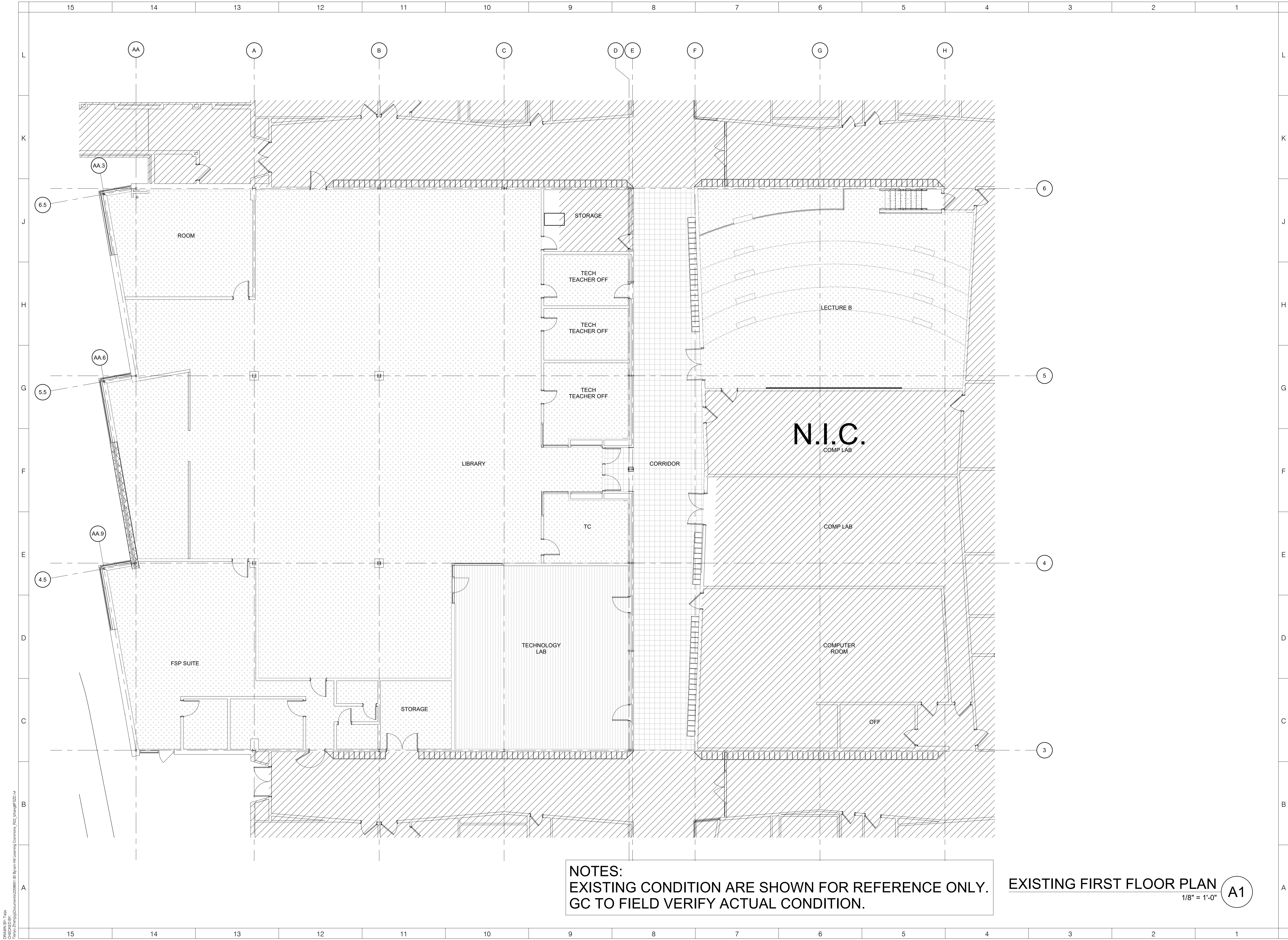
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**SHEET NAME:** EXTERIOR ELEVATION DEMOLITIONS

**SHEET NUMBER:**

**AD-201**





NOTES:  
EXISTING CONDITION ARE SHOWN FOR REFERENCE ONLY.  
GC TO FIELD VERIFY ACTUAL CONDITION.

EXISTING FIRST FLOOR PLAN  
1/8" = 1'-0" A1

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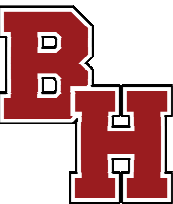
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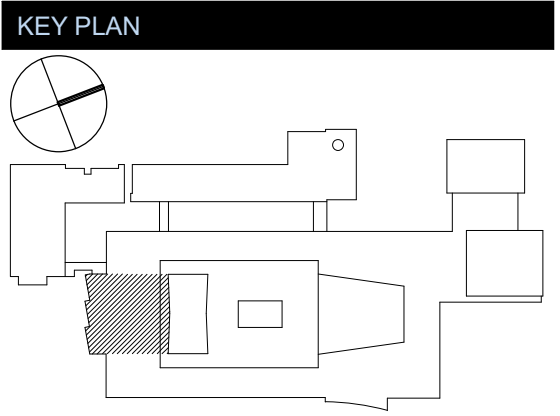
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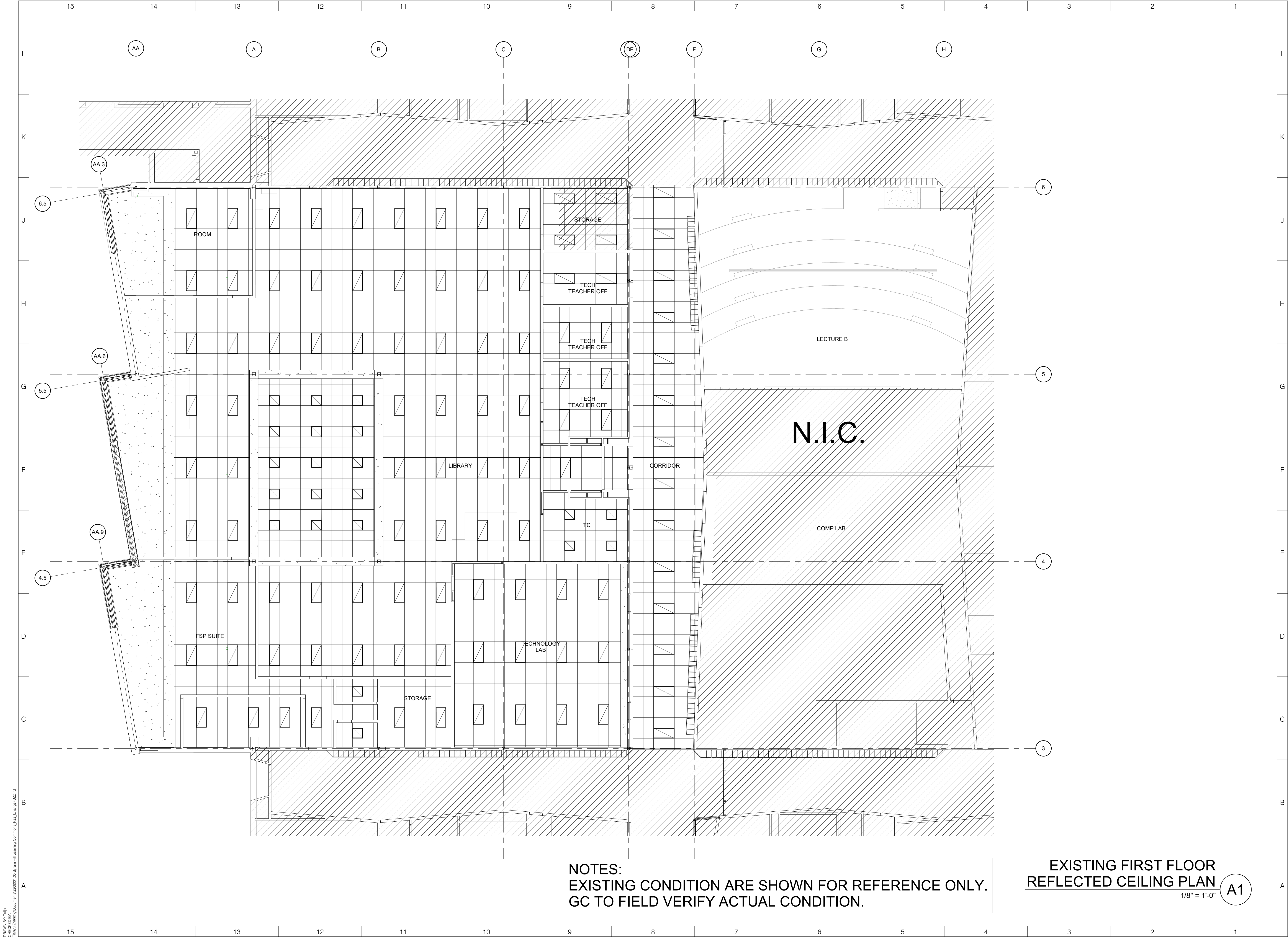
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**SHEET NUMBER:** AE-101





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EXISTING FIRST FLOOR  
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1/8" = 1'-0"

A1

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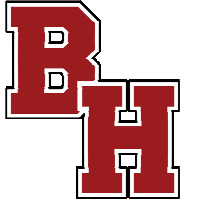
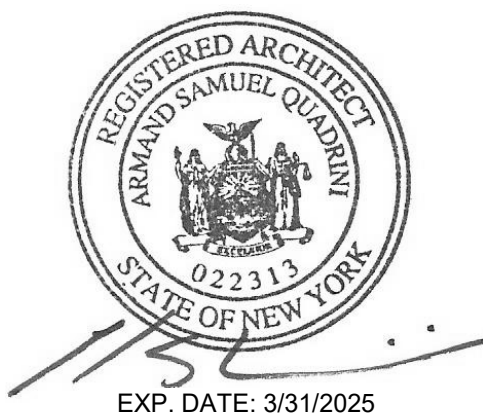
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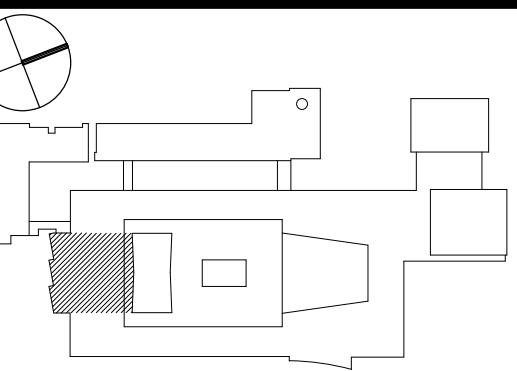
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KEY PLAN



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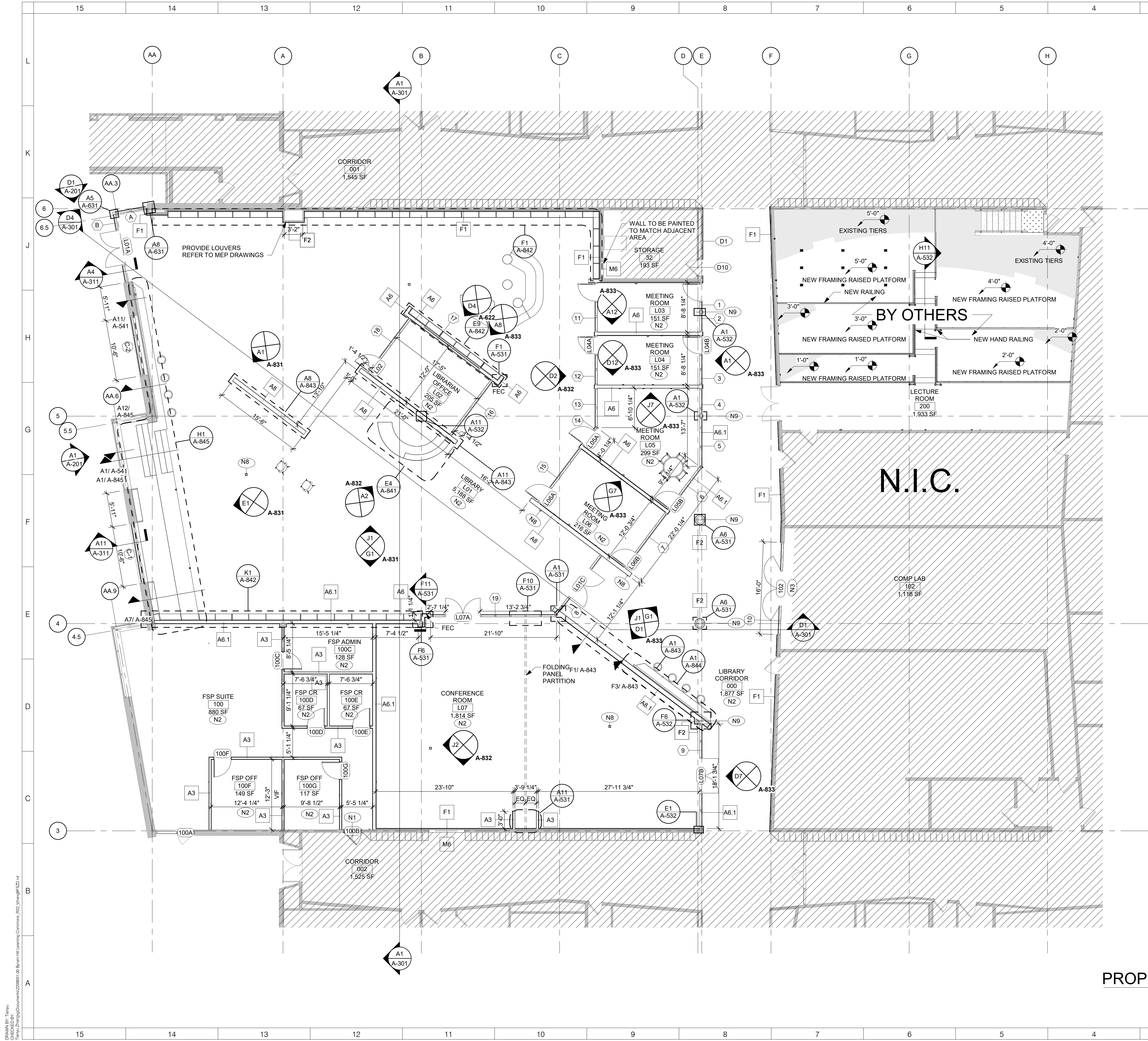
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**DATE:** JUNE 25, 2024  
**SCALE:** 1/8" = 1'-0"  
**SHEET NAME:**  
EXISTING REFLECTED  
CEILING PLAN

**SHEET NUMBER:**  
**AE-111**









### NEW WORK PLAN NOTES

- FLASH PATCH CONCRETE FLOOR AND PROVIDE SELF LEVELING PRIOR TO INSTALLATION OF NEW FLOORING. DO NOT USE FEATHER FINISH. REFER TO A-801 FINISH SCHEDULE. PATCH ALL CMU WALLS SMOOTH AND PAINT PER FINISH SCHEDULE ON A-801.
- SCRAPE AND REPAINT ALL DOOR FRAMES, REFER TO FINISH SCHEDULE ON A-801.
- SEE SHEET G-041 FOR WALL TYPES.
- SEE SHEET A-601 FOR DOOR SCHEDULE.
- SEE SHEET A-801 FOR FURNITURE SCHEDULE.
- ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD.
- INTERIOR WALL DIMENSIONS ARE MEASURED FROM FACE OF STUD TO FACE OF STUD, BOARD, CMU OR PLASTER U.O.N.
- ALL EXISTING WALLS WHERE EXISTING DUCTWORK/PIPING HAS BEEN REMOVED, SHALL BE PATCHED WITH SAME SIZE BLOCK IN COURSE READY FOR FINISH AS SCHEDULED. SEE MEP DEMO PLAN FOR EXTENT OF REMOVAL.
- IN AREAS WHERE EXISTING CMU WALLS WERE REMOVED AND WERE PERPENDICULAR TO CMU WALLS REMAINING, THE REMAINING WALL SHALL BE PATCHED AS REQUIRED WITH MORTAR AND JOINT LINE SHALL BE STRIKED, INFILL BLOCK AS REQUIRED FOR STRUCTURAL INTEGRITY OF CMU TO REMAIN. PAINT WALL FOR FINISH PER SCHEDULE.
- PATCH AND FINISH WALL AND FLOOR AT MECHANICAL UNIT WORK AREAS. PROVIDE NEW FLOORING TO MATCH ADJACENT FLOORING WHERE REQUIRED.
- REUSE OF SALVAGED MATERIALS, NOT SPECIFICALLY SCHEDULED, WILL BE AT THE SOLE DISCRETION OF THE OWNER. IN NO CASE SHALL SALVAGED MATERIALS BE INCORPORATED IN THE WORK THAT DO NOT MEET MINIMUM REQUIREMENTS OF STATE AND LOCAL CODES AND REGULATIONS.
- PATCH/REPAIR/REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK AND MATCH/ALIGN WITH EXISTING ADJACENT SURFACES SCHEDULED TO REMAIN. PREP SURFACES TO RECEIVE ALL LABOR AND MATERIALS REQUIRED TO RENDER SUBSTRATES ACCEPTABLE TO RECEIVE NEW FINISHES SPECIFIED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN RECOMMENDATIONS.
- ALL PENETRATIONS OF EXISTING FLOORS AND FIRE RATED WALL OR SMOKE PARTITIONS SHALL BE PATCHED AND REPAIRED AS REQUIRED TO MAINTAIN THE EXISTING FIRE RATINGS OR SMOKE INFILTRATION INTEGRITY OF THE WALL. ALL SLEEVES, WIREWAYS, CABLE TRAYS, PIPES, DUCTWORK ETC. SHALL BE FIRE SEALED TIGHT TO THE WALL OR FLOOR PENETRATIONS TO MAINTAIN THE REQUIRED CODE COMPLIANT FIRE RATING.
- ALL ARCHITECTURAL, MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT SHOULD NOT BE ATTACHED TO OR HUNG FROM EXISTING I BEAMS. MOUNT TO EXISTING CONCRETE DECK OR EXISTING BAR JOISTS. REFER TO ABATEMENT DWGS.
- TOP OF EXISTING WALLS TO BE SMOKE STOPPED, AS REQUIRED.

### NEW WORK PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NOT IN CONTRACT (N.I.C.)
- EXISTING DOOR TO REMAIN
- NEW DOOR TO BE PROVIDED
- NEW WORK KEY NOTES

### NEW WORK KEY NOTES

KEY #	DESCRIPTION
N1	SALVAGE EXISTING DOOR FRAME AND DOOR LEAF. REPLACE EXISTING GLAZING PER DOOR SCHEDULE. SCRAPE AND PAINT DOOR FRAME. REFER TO FINISH SCHEDULE ON A-801
N2	PROVIDE NEW FLOORING AND BASE. REF: TO FINISH SCHEDULE ON A-801
N3	PATCH AND REPAIR EXISTING FLOORING. FINISH TO MATCH ADJACENT FLOORING.
N4	PROVIDE NEW CEILING AND LIGHTING FIXTURES.
N5	PROVIDE NEW CEILING ACCESS PANEL. REFER TO MEP DWG FOR SIZE REQUIREMENTS.
N6	PROVIDE NEW ROLLER SHADES AND BLACKOUT AT ALL EXTERIOR WINDOWS BY OTHERS. REFER TO WINDOWS DETAILS.
N7	PROVIDE NEW ROLLER SHADES AT INTERIOR AT ALL INTERIOR WINDOWS BY OTHERS. REFER TO WINDOWS DETAILS.
N8	REFER TO MEP DRAWINGS FOR MEP ITEMS.
N9	APPLY INTUMESCENT PAINT ON COLUMNS ALONG CORRIDOR.

## PROPOSED FIRST FLOOR PLAN

1/8" = 1'-0" A1

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**BYRAM HILLS HIGH SCHOOL LEARNING COMMONS RENOVATION**  
SED# 66-12-01-06-0-007-017

**12 Tripp Ln,  
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**KEY PLAN**

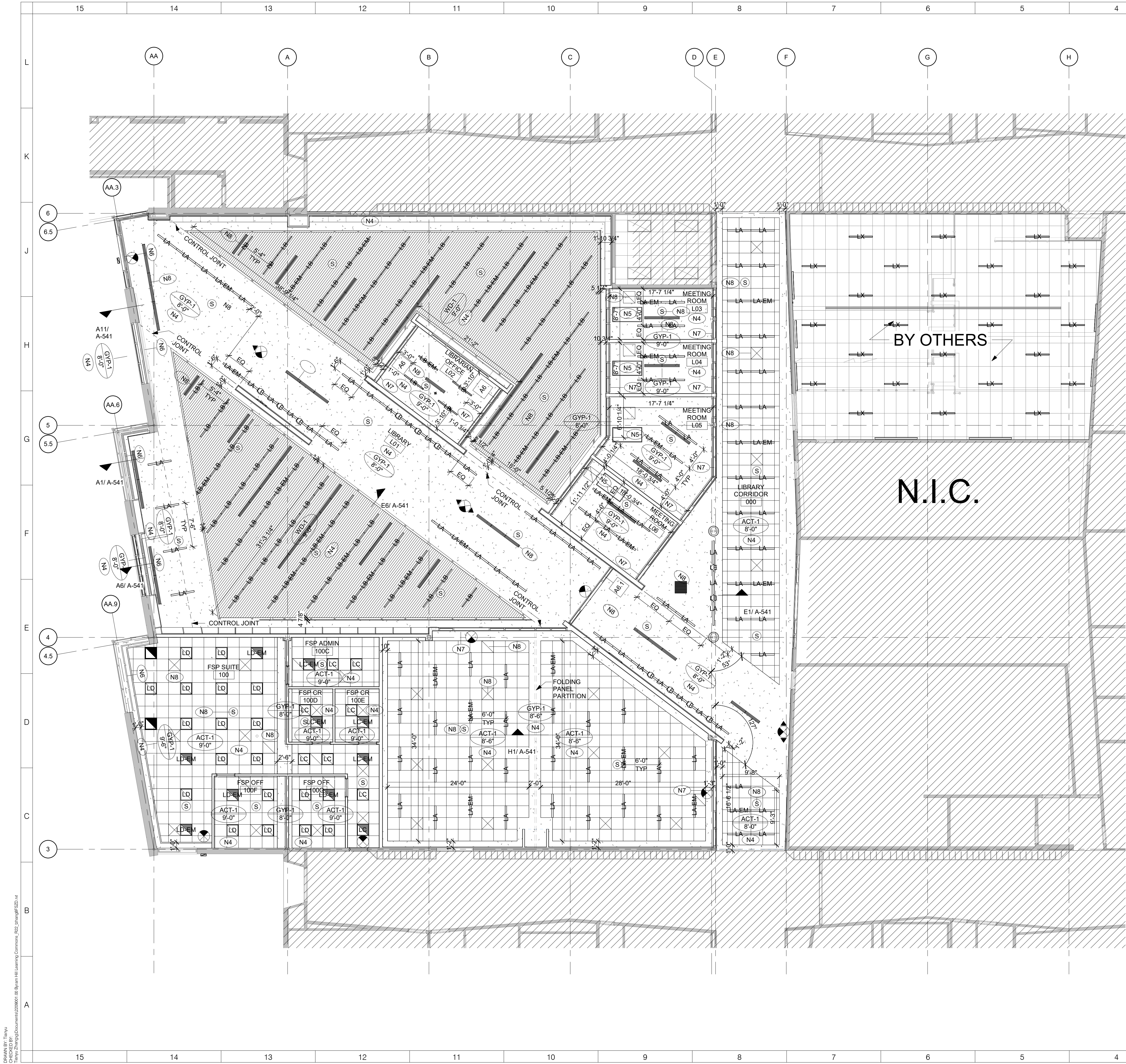
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No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** As indicated  
**SHEET NAME:** FIRST FLOOR PLAN  
**SHEET NUMBER:**  
**A-101**

**BIDDING/REVIEW ISSUE**





- NEW WORK RCP NOTES**
1. V.I.F ALL CEILING HEIGHTS PRIOR TO REMOVALS.
  2. THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS AND MECHANICAL PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
  3. ALL LIGHT FIXTURE DIMENSIONS ARE MEASURED FROM CENTERLINE OF FIXTURE TO FACE OF WALL/SOFFIT U.O.N REFER TO ELECTRICAL PLANS FOR LOCATION AND QUANTITY OF SMOKE DETECTORS, EXIT SIGNS, SPEAKERS AND FIRE ALARM DEVICES. ALL SMOKE DETECTORS TO BE CENTERED ON ACT TILE WHERE PRESENT.
  4. PROVIDE ACCESS DOORS FOR MECHANICAL EQUIPMENT, COORDINATE WITH MECH PLANS, TYP.
  5. ALL AREAS WITHOUT A HATCH PATTERN ARE EXISTING TO REMAIN. SEE FINISH SCHEDULE FOR PAINT COLOR.
  6. CENTER ALL CEILING TILE GRIDS BOTH DIRECTIONS IN ALL ROOMS/SPACES/CORRIDORS, NO PERIMETER GRID SPACING / ACOUSTICAL TILE CUT LESS THAN 6".
  7. ALL LIGHT FIXTURES AND DIFFUSERS SHALL BE CENTERED ON THE TILE U.O.N.
  8. SHADOW MOLDING TO BE USED AROUND THE PERIMETER OF ACOUSTIC CEILING TILE WHEN EDGE IS LESS THAN 5".
  9. CONTRACTOR TO COORDINATE RCP'S WINDOW SHADE INSTALLATION. REF TO DETAIL ON A-541
  10. NO CUSTOMIZED FACTORY CUTS FOR WD-1 CEILING. FIELD CUT IF NEEDED

- NEW WORK RCP LEGEND**
- EXISTING CONSTRUCTION TO REMAIN
  - NOT IN CONTRACT (N.I.C.)
  - NEW WORK KEY NOTES
  - WD-1: USG BARZ (1" x 4" H x LENGTHS VARY)
  - GYP: GYPSUM CEILING
  - ACT-1: ARMSTRONG ULTIMA ACOUSTIC CEILING TILE (24"x24")

**LIGHTING FIXTURE SCHEDULE**

ITEM #	FIXTURE	MANUFACTURER	INSTALLATION	SIZE
LA	LSR6	CORONET	RECESSED	48"
LB	CIRRUS SUSPENSION DOWNLIGHT	PURE EDGE LIGHTING	SUSPENDED	48"
LC/LD	CPX	LITHONIA LIGHTING	PANEL	24"x24"
LE	GLOBE	MANNING LIGHTING	PENDANT	12"

- NEW WORK KEY NOTES**
- | KEY # | DESCRIPTION   |
|-------|---|
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| N2    | PROVIDE NEW FLOORING AND BASE. REFER TO FINISH SCHEDULE ON A-801  |
| N3    | PATCH AND REPAIR EXISTING FLOORING. FINISH TO MATCH ADJACENT FLOORING.  |
| N4    | PROVIDE NEW CEILING AND LIGHTING FIXTURES.  |
| N5    | PROVIDE NEW CEILING ACCESS PANEL. REFER TO MEP DWG FOR SIZE REQUIREMENTS.   |
| N6    | PROVIDE NEW ROLLER SHADES AND BLACKOUT AT ALL EXTERIOR WINDOWS BY OTHERS. REFER TO WINDOWS DETAILS.   |
| N7    | PROVIDE NEW ROLLER SHADES AT INTERIOR AT ALL INTERIOR WINDOWS BY OTHERS. REFER TO WINDOWS DETAILS.  |
| N8    | REFER TO MEP DRAWINGS FOR MEP ITEMS.  |
| N9    | APPLY INTUMESCENTAL PAINT ON COLUMNS ALONG CORRIDOR.  |



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No.	Description	Date
1	SED ADDENDUM 1	06/14/24

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
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**SHEET NAME:** FIRST FLOOR REFLECTED CEILING PLAN  
**SHEET NUMBER:**

**A-111**

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**KEY PLAN**

**REVISIONS**

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1	SED ADDENDUM 1	06/14/24

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**BIDDING/REVIEW ISSUE**



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A-121

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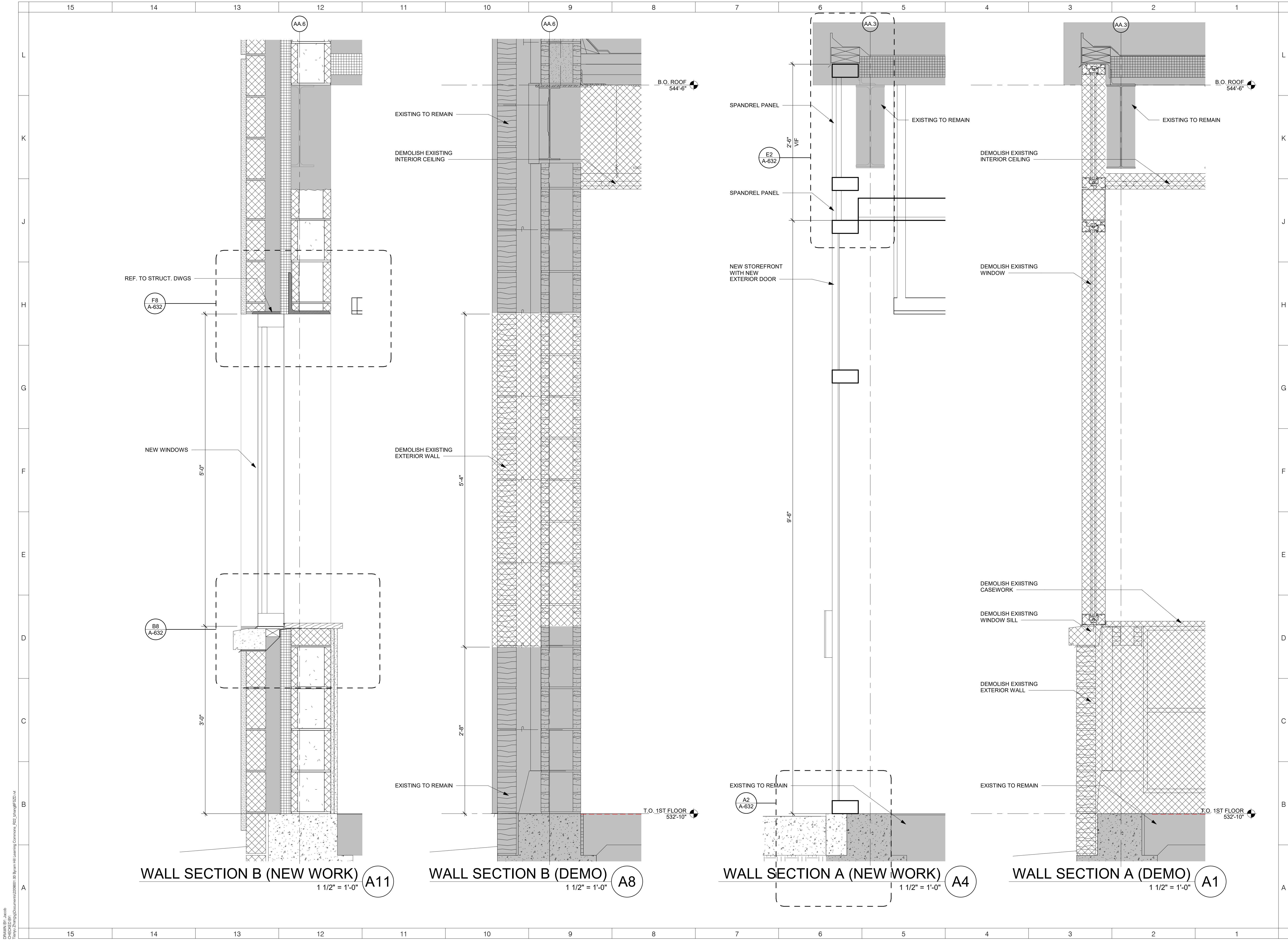












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No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** 1 1/2" = 1'-0"  
**SHEET NAME:** WALL SECTIONS  
**SHEET NUMBER:**  
**A-311**

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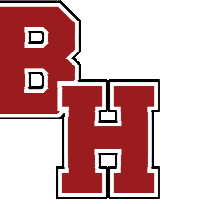
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Armonk, NY 10504

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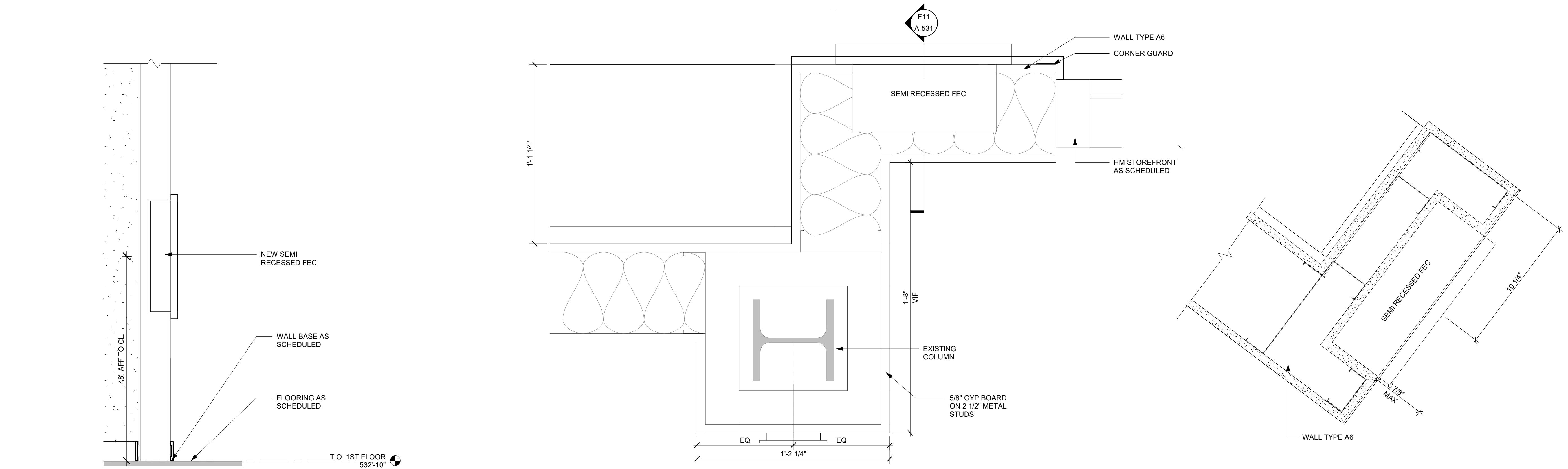
**DATE:** JUNE 25, 2024

SHEET NAME:

SHEET NUMBER:

A-531

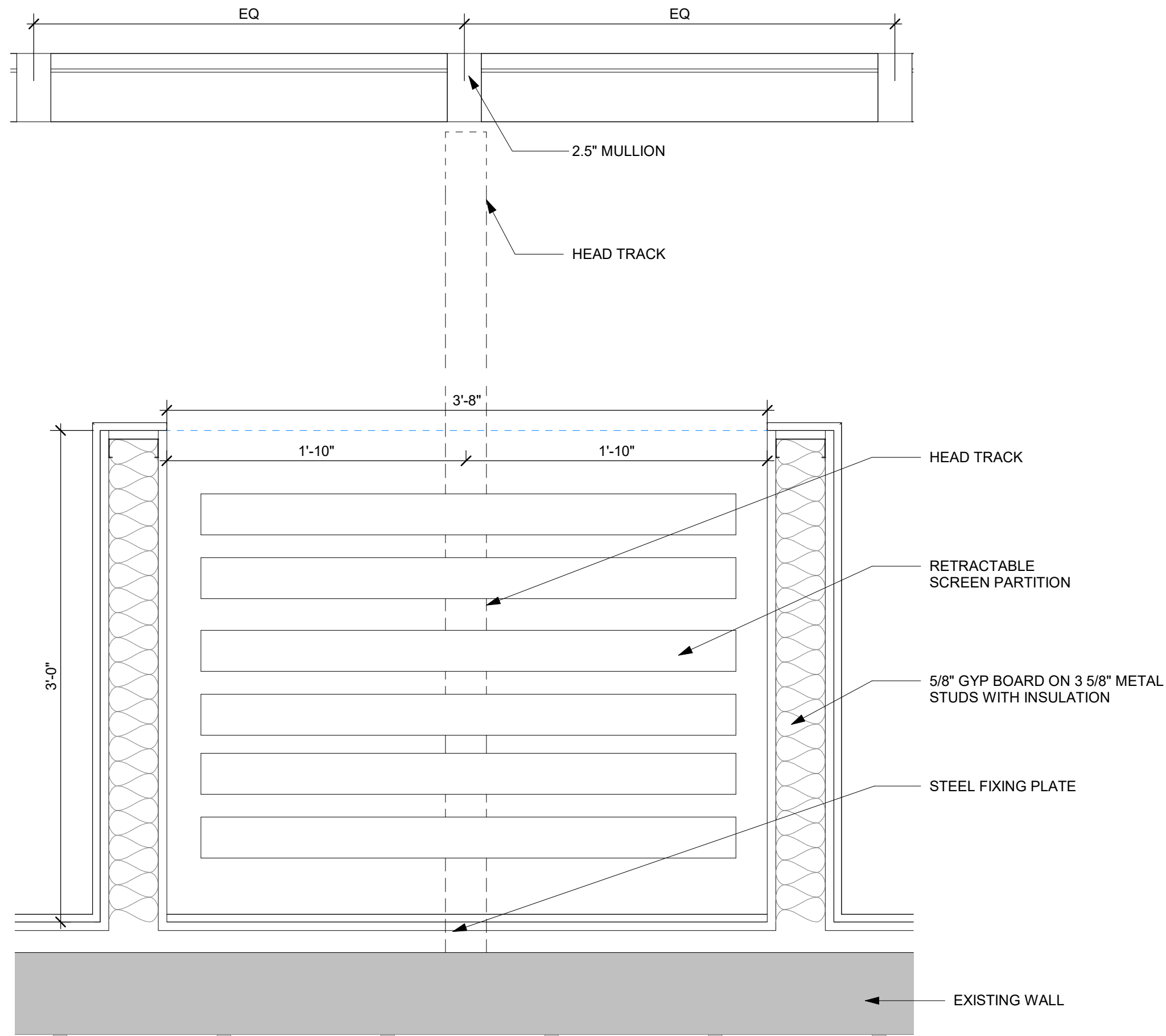
BIDDING/REVIEW ISSUE



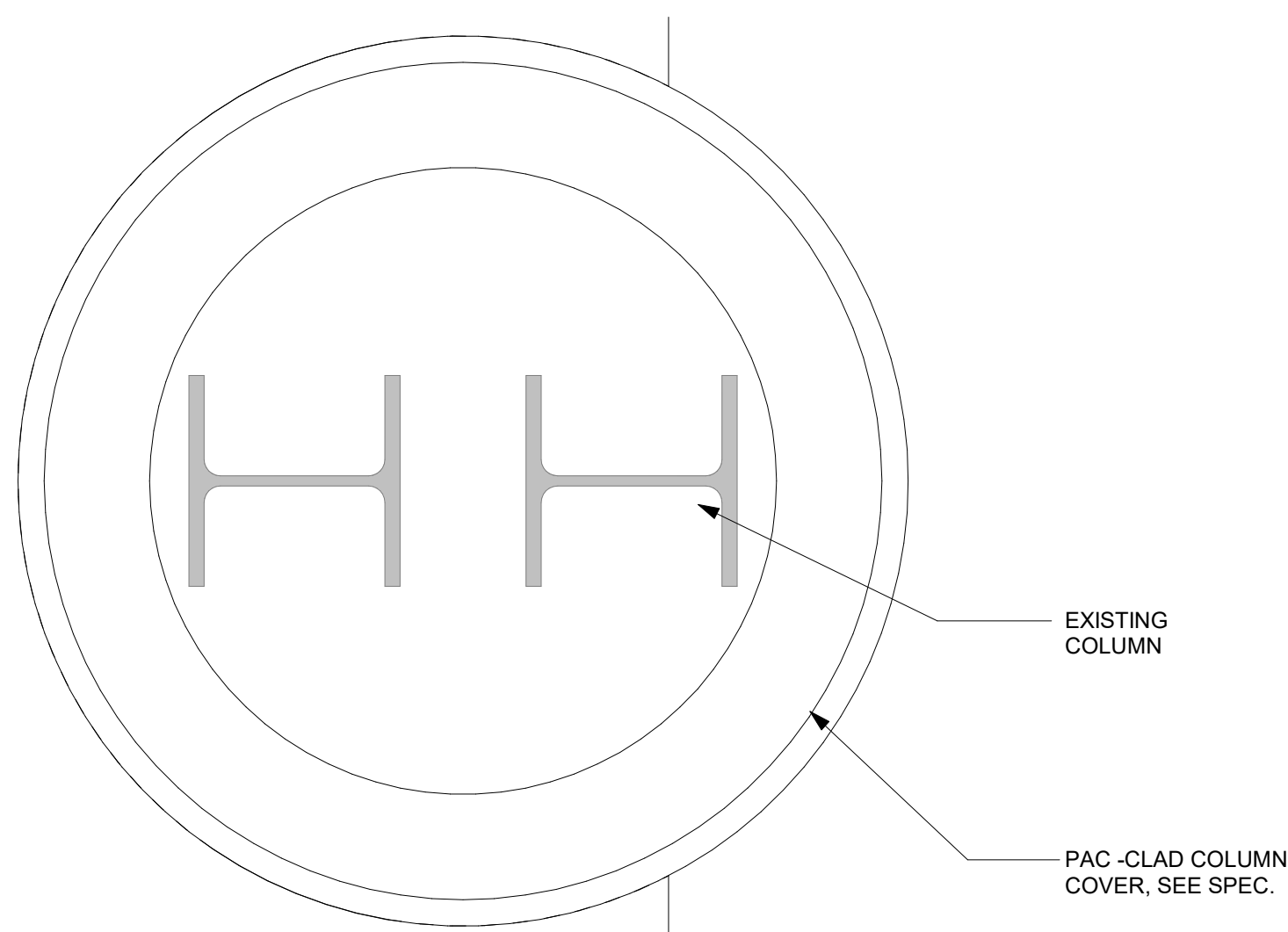
FEC SECTION F11  
1" = 1'-0"

PLAN DETAIL @ COLUMN 2 F6  
3" = 1'-0"

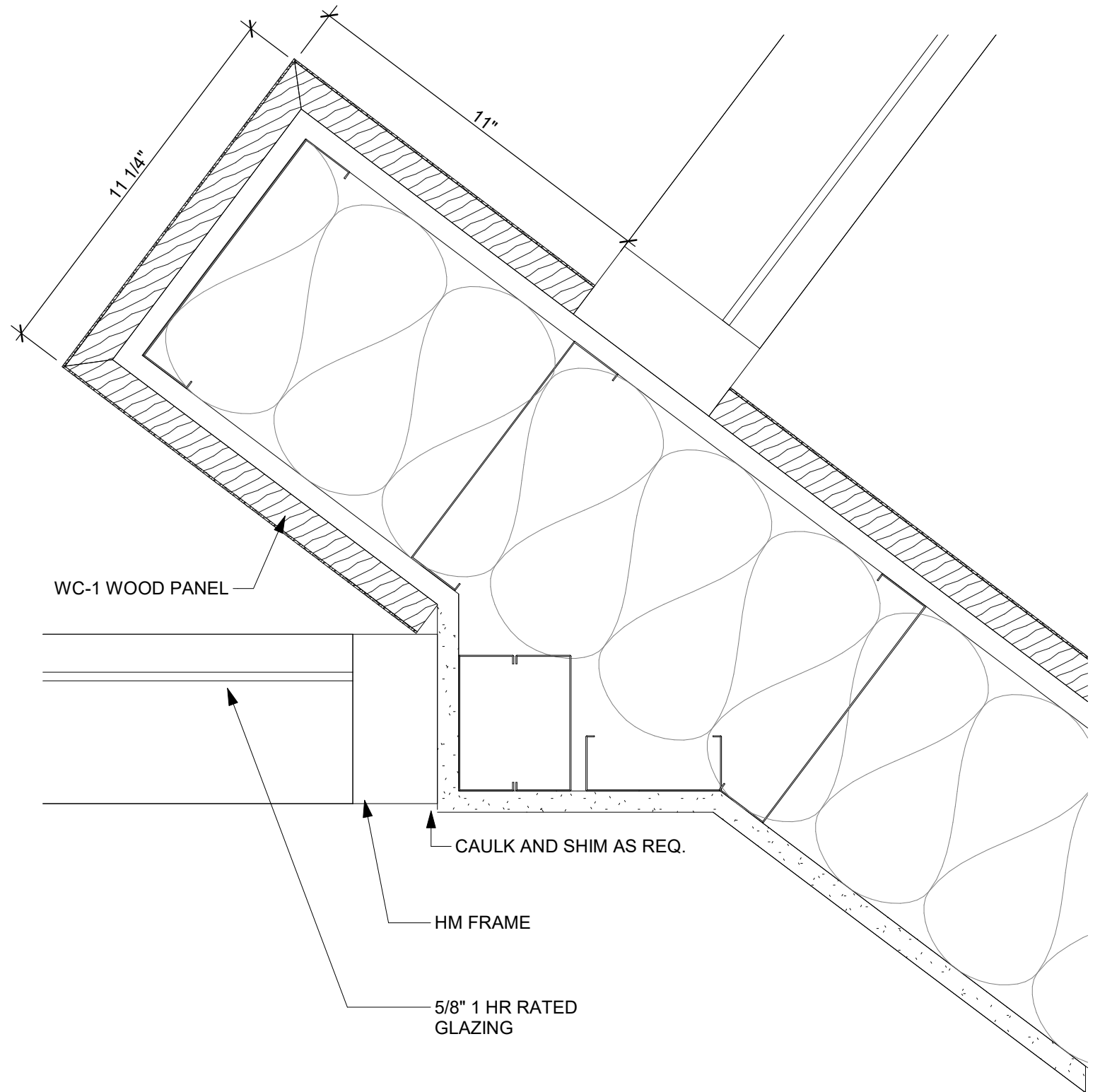
FEC PLAN DETAIL F1  
3" = 1'-0"



PLAN DETAIL @ FOLDABLE PARTITION A11  
1 1/2" = 1'-0"



PLAN DETAIL @ COLUMN 1 A6  
3" = 1'-0"



PLAN DETAIL @ WALL INTERSECTION A1  
3" = 1'-0"



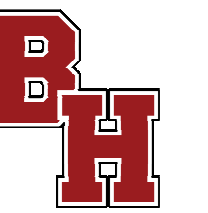
**Owner**  
**BYRAM HILLS CENTRAL SCHOOL**  
**DISTRICT**  
10 Tripp Ln, Armonk, NY 10504  
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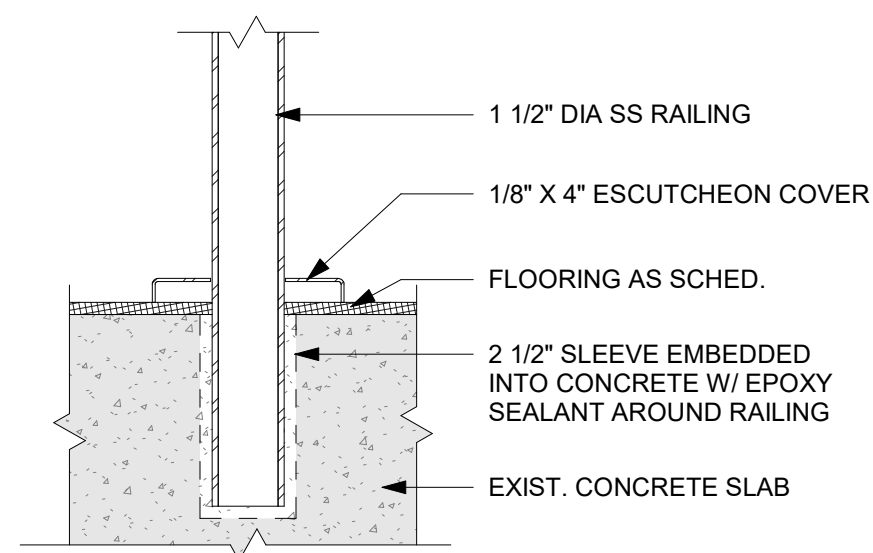
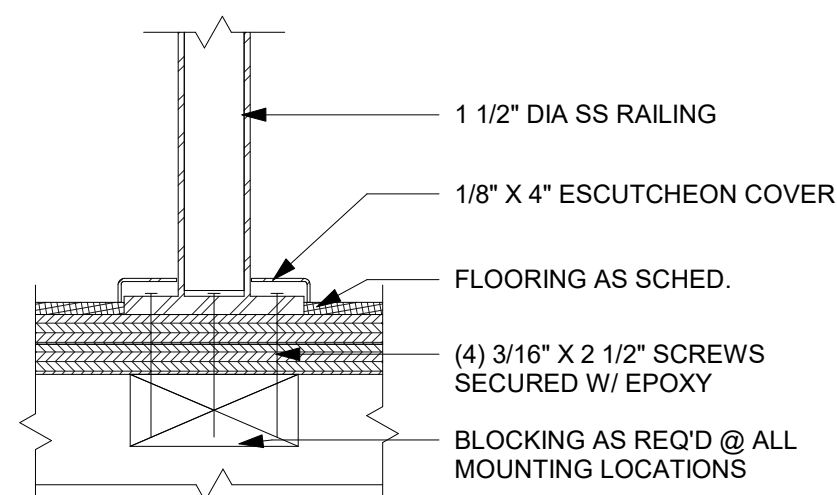
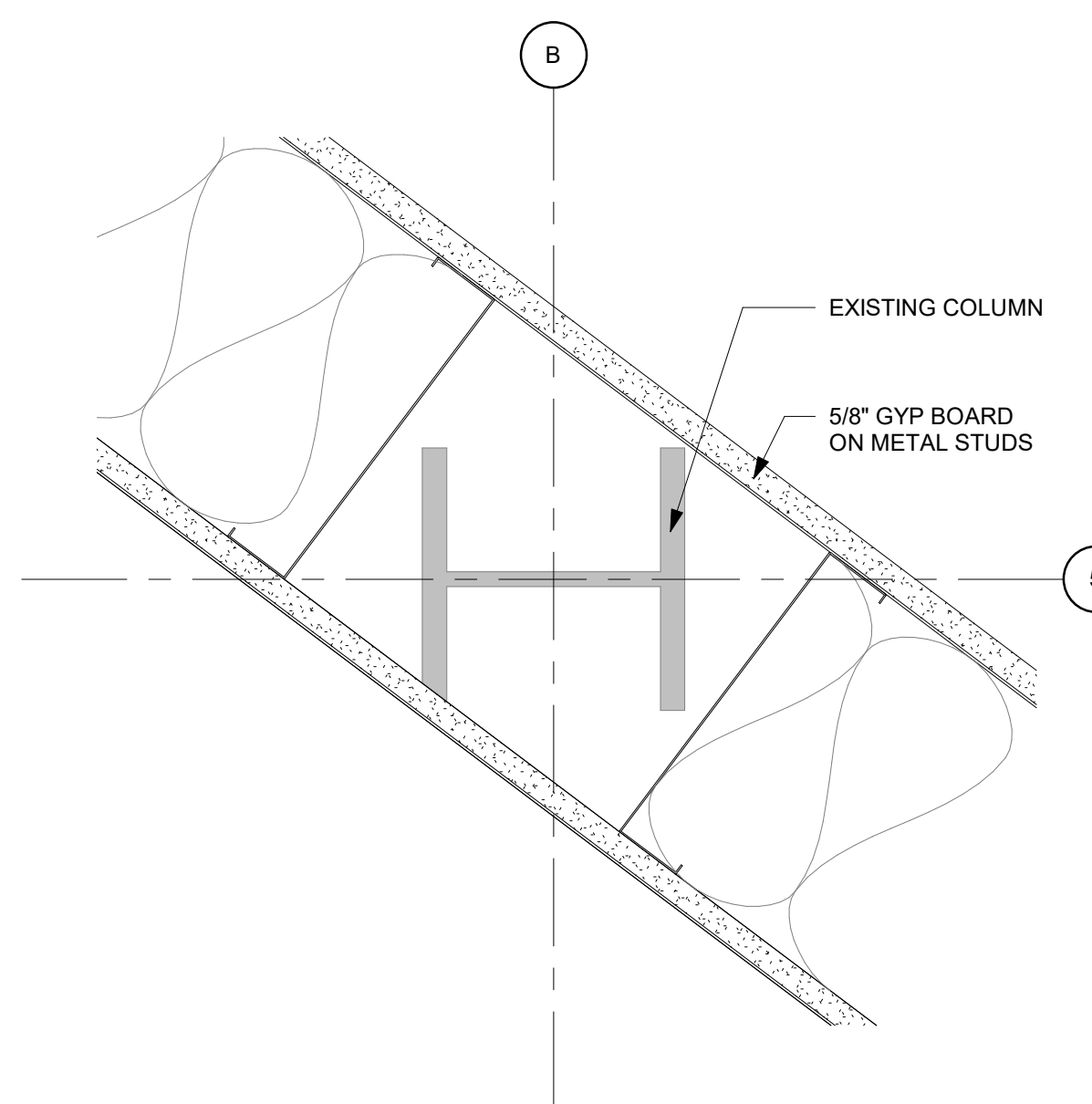
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**SHEET NAME:**  
**PLAN AND SECTION**  
**DETAILS - 2**

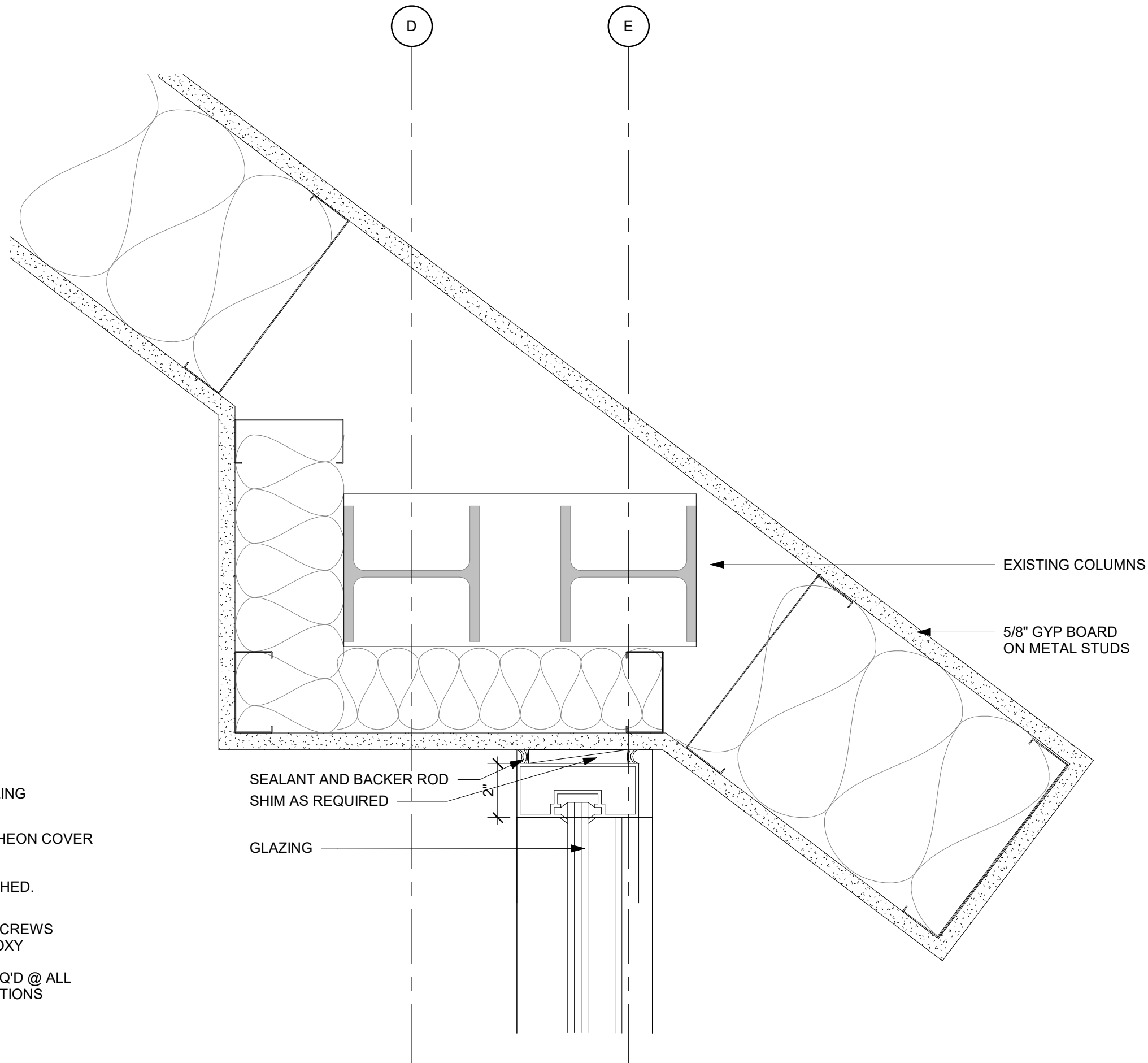
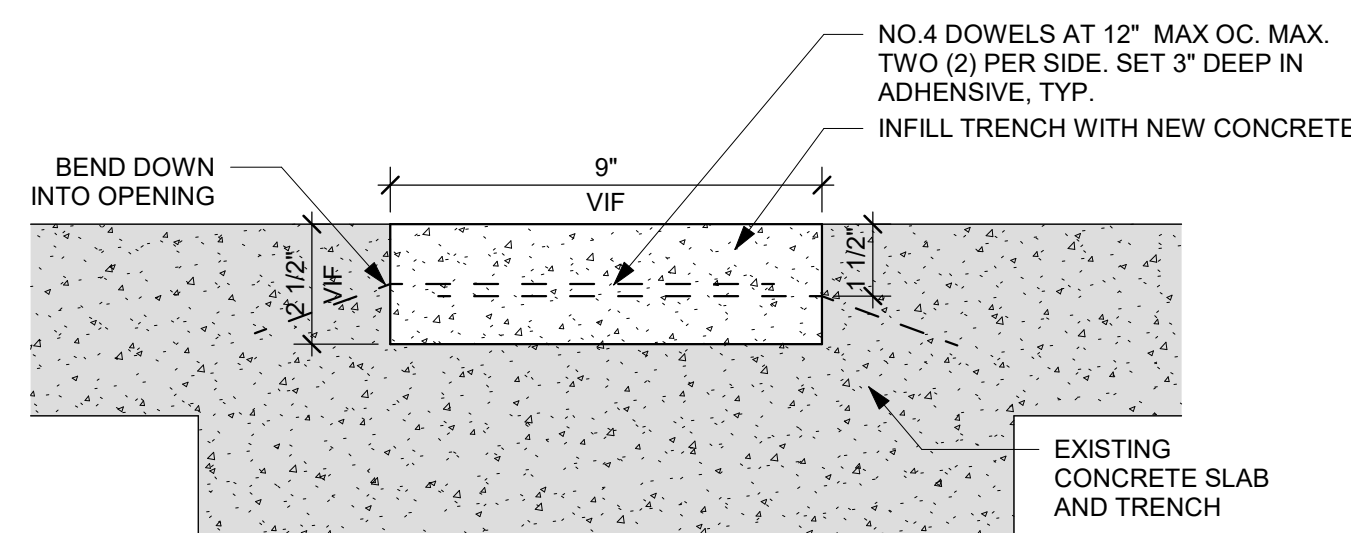
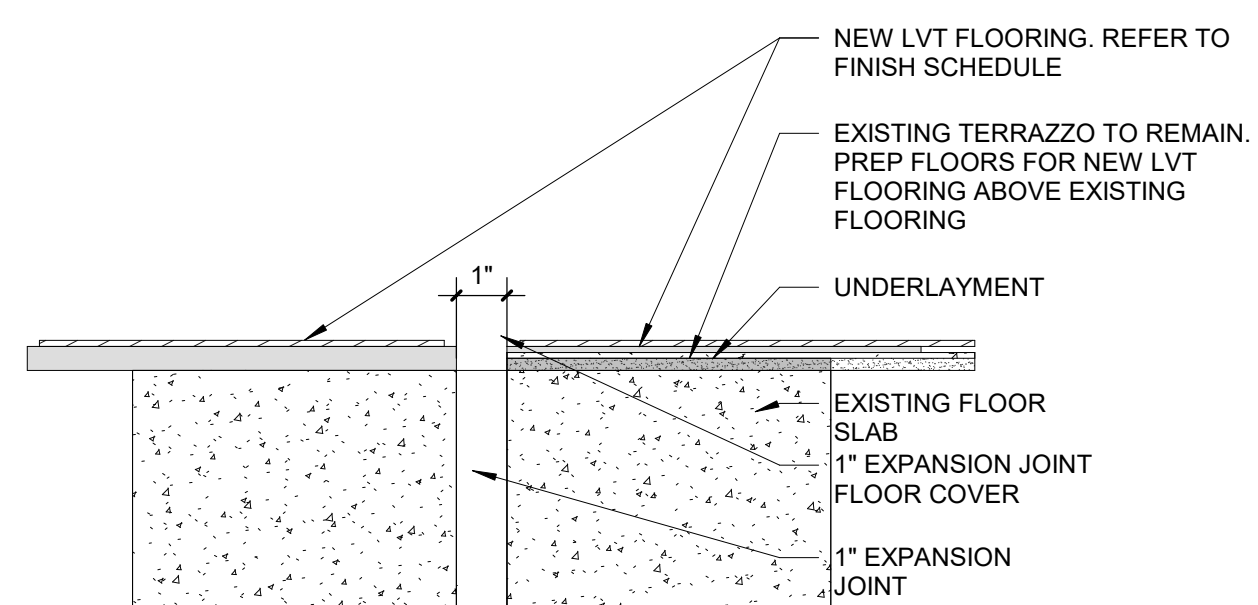
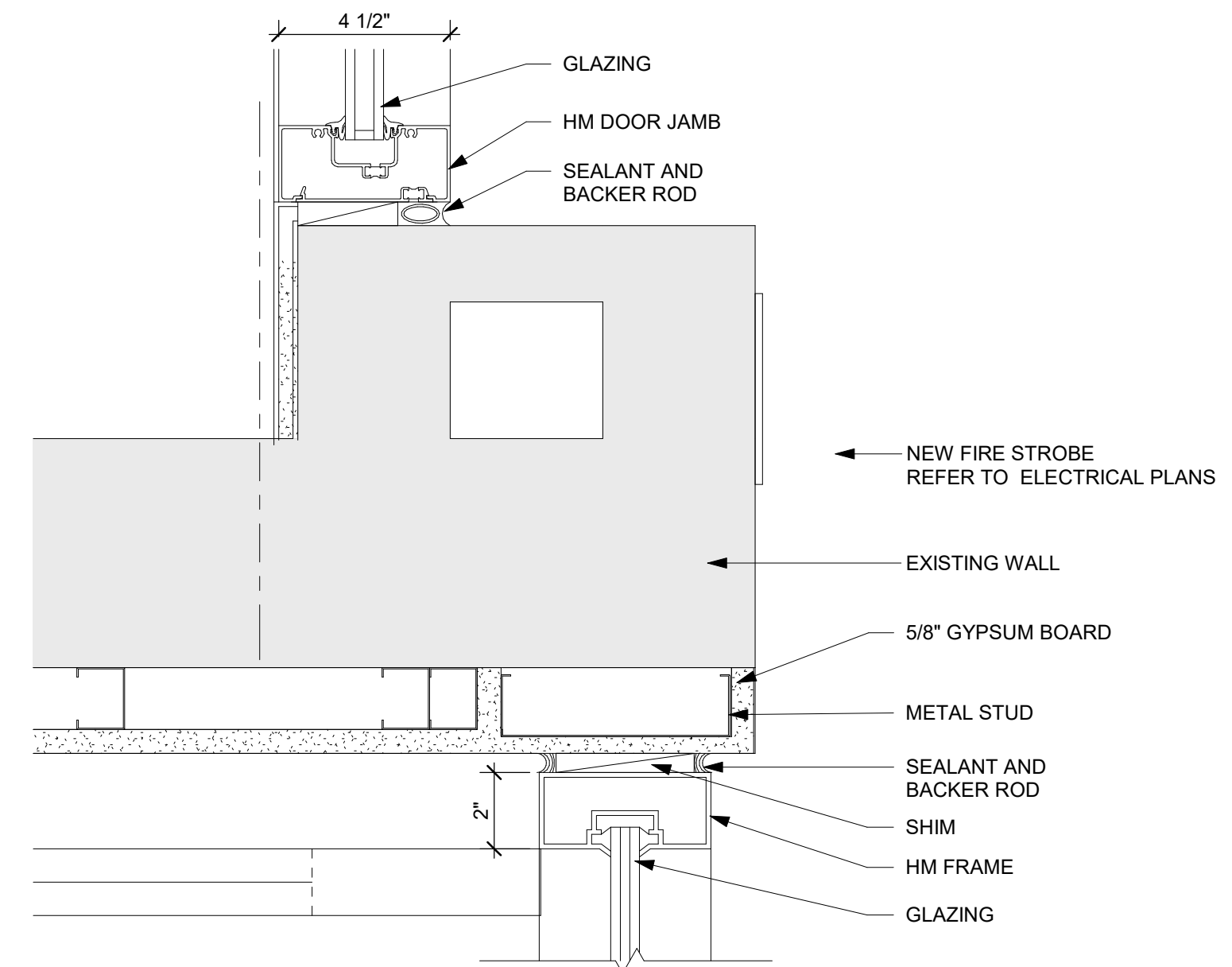
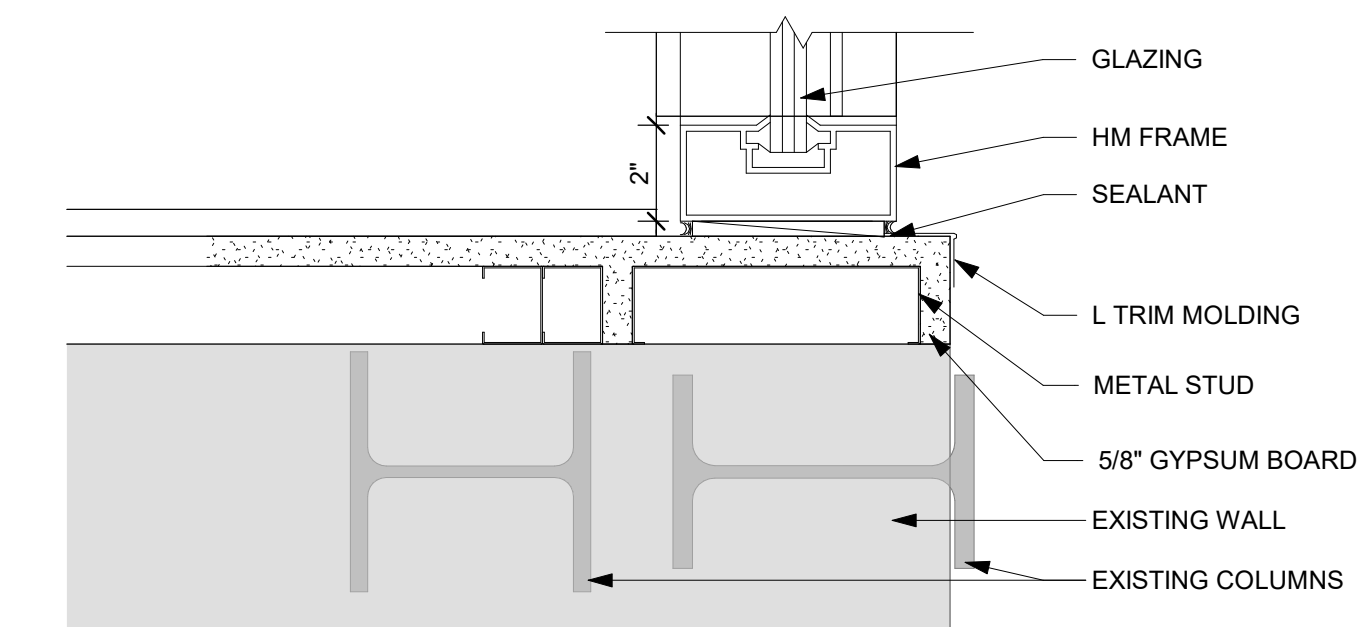
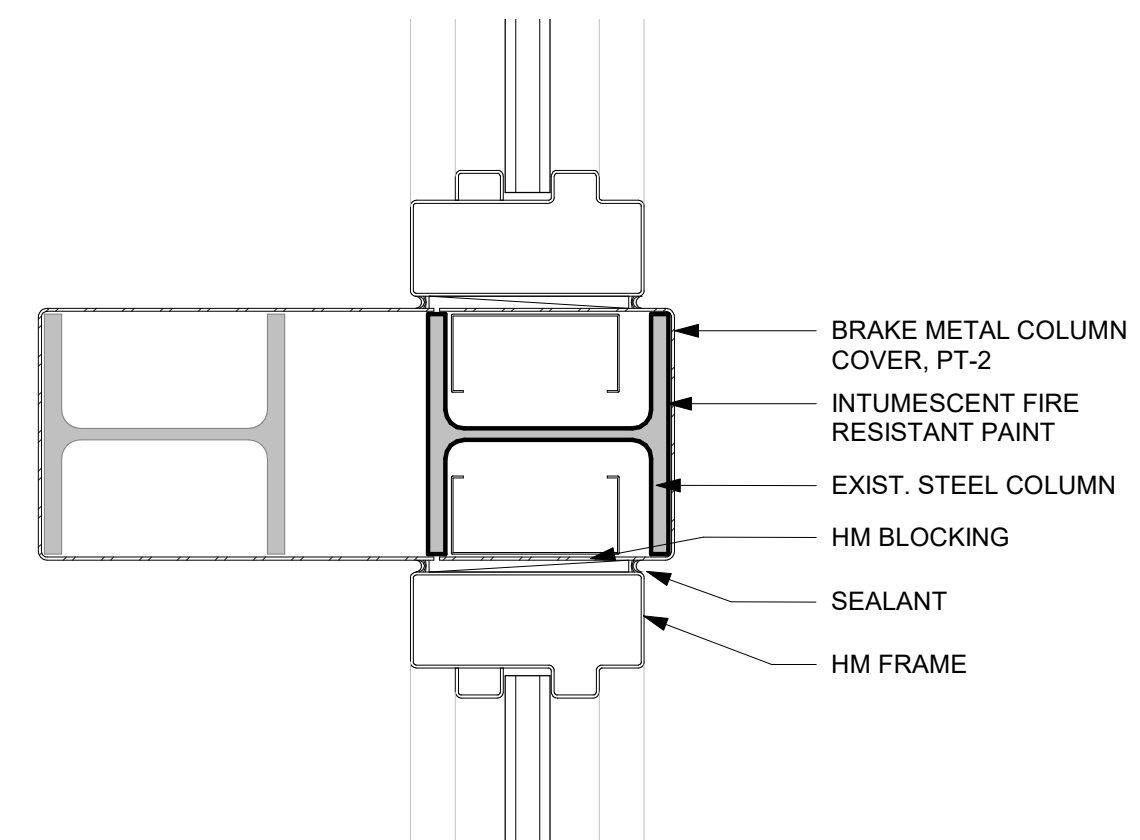
A-532

BIDDING/REVIEW ISSUE


$$\frac{3}{4}'' = 1'-0''$$

$$3'' = 1'-0''$$

$$3'' = 1'-0''$$


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3" = 1'-0"


$$3'' = 1'-0''$$

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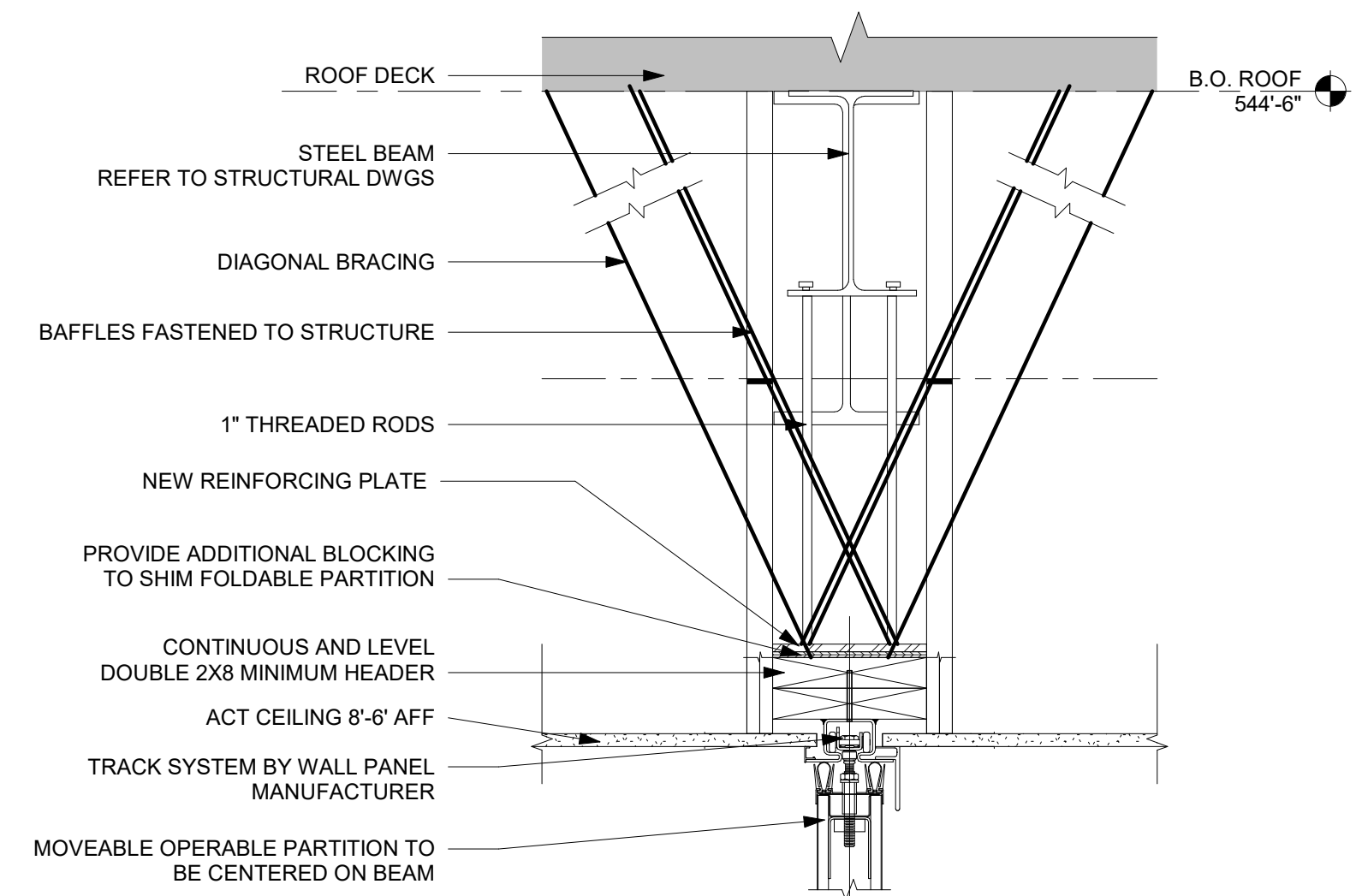
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**DATE:** JUNE 25, 2024

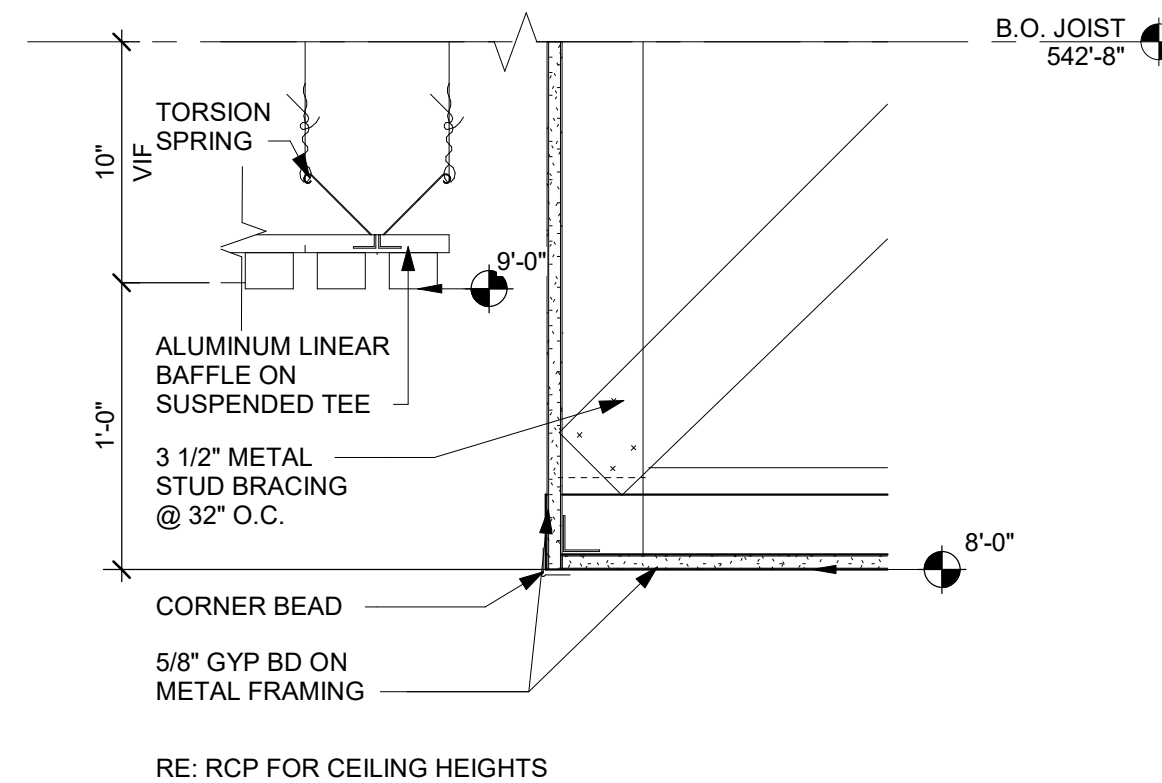
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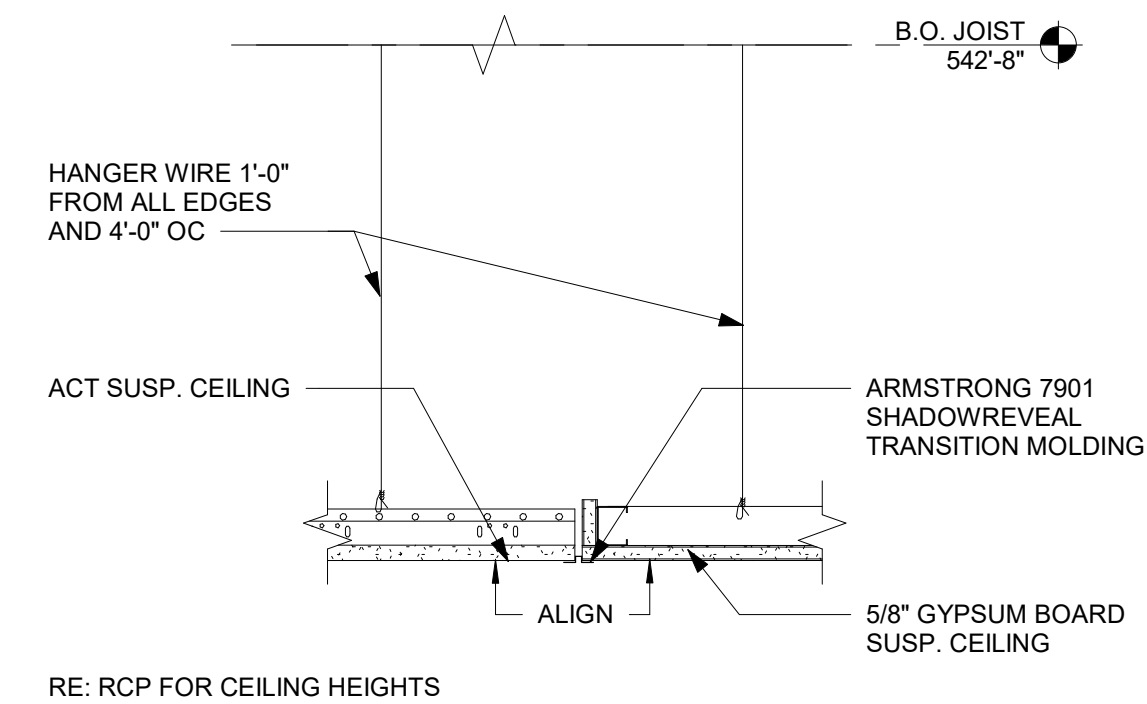
A-541



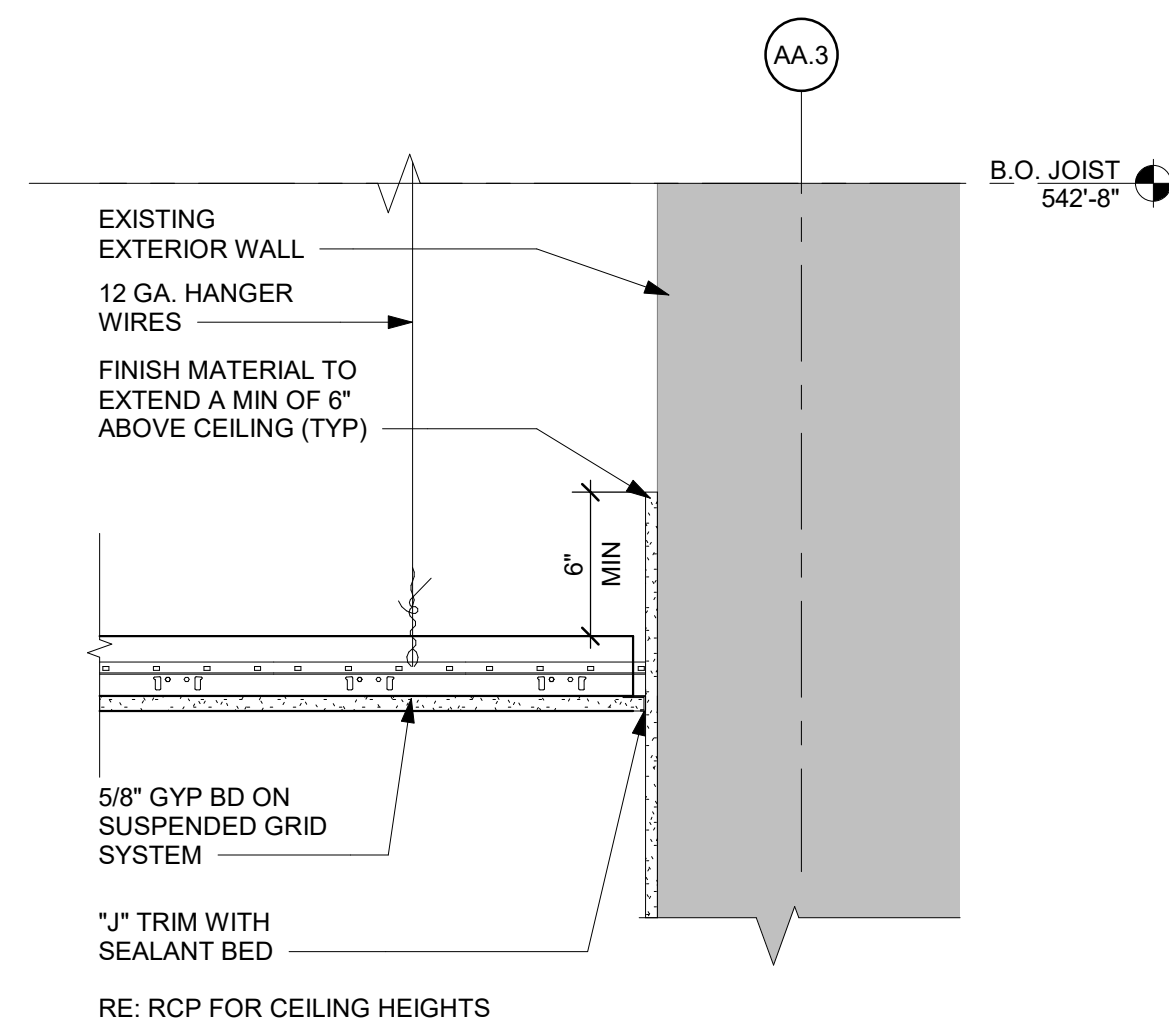
GYP & ACT @ MOVEABLE PARTITION H1  
1 1/2" = 1'-0"



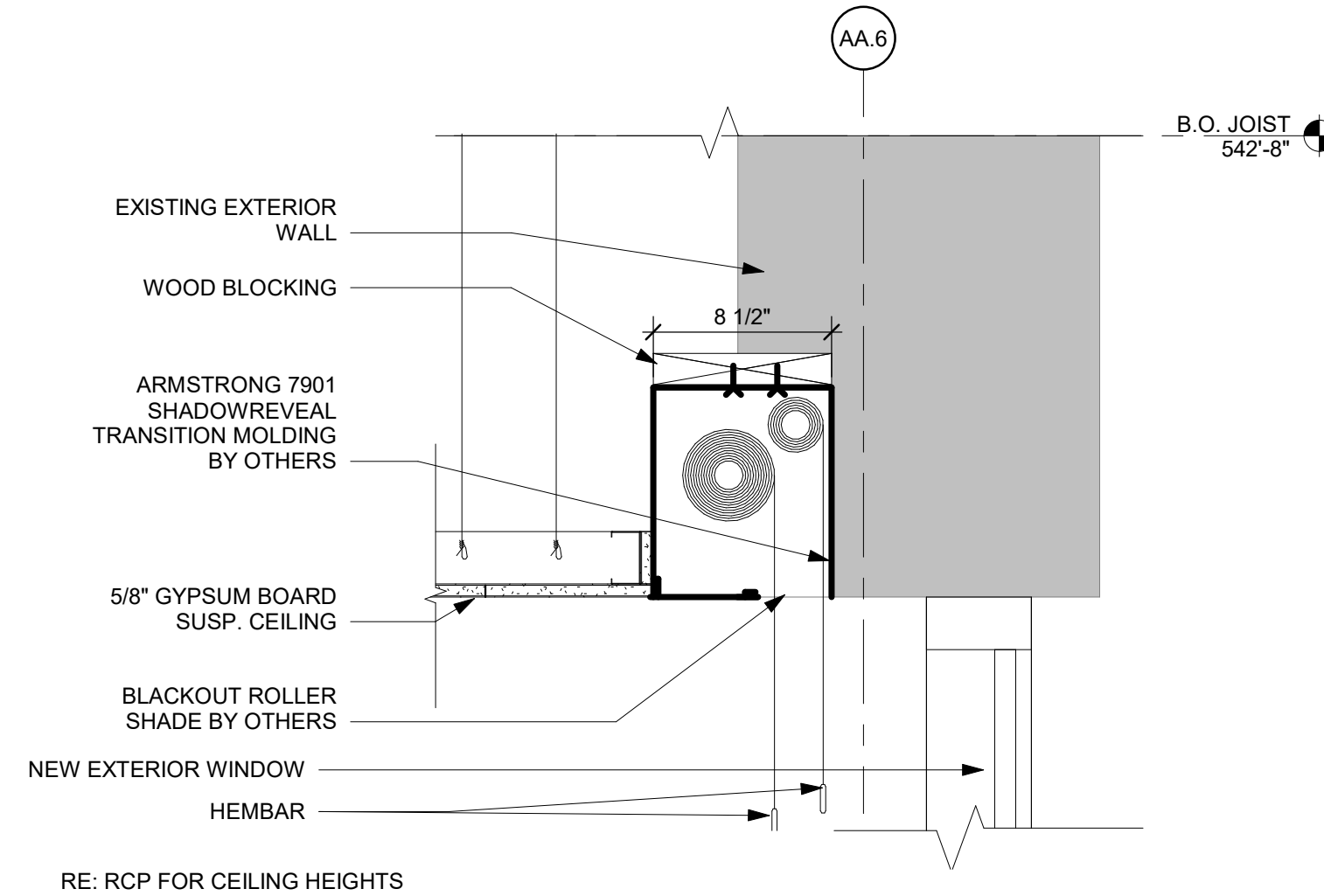
GYP TO ALUMINUM BAFFLE  $1\frac{1}{2}" = 1'-0"$  E6



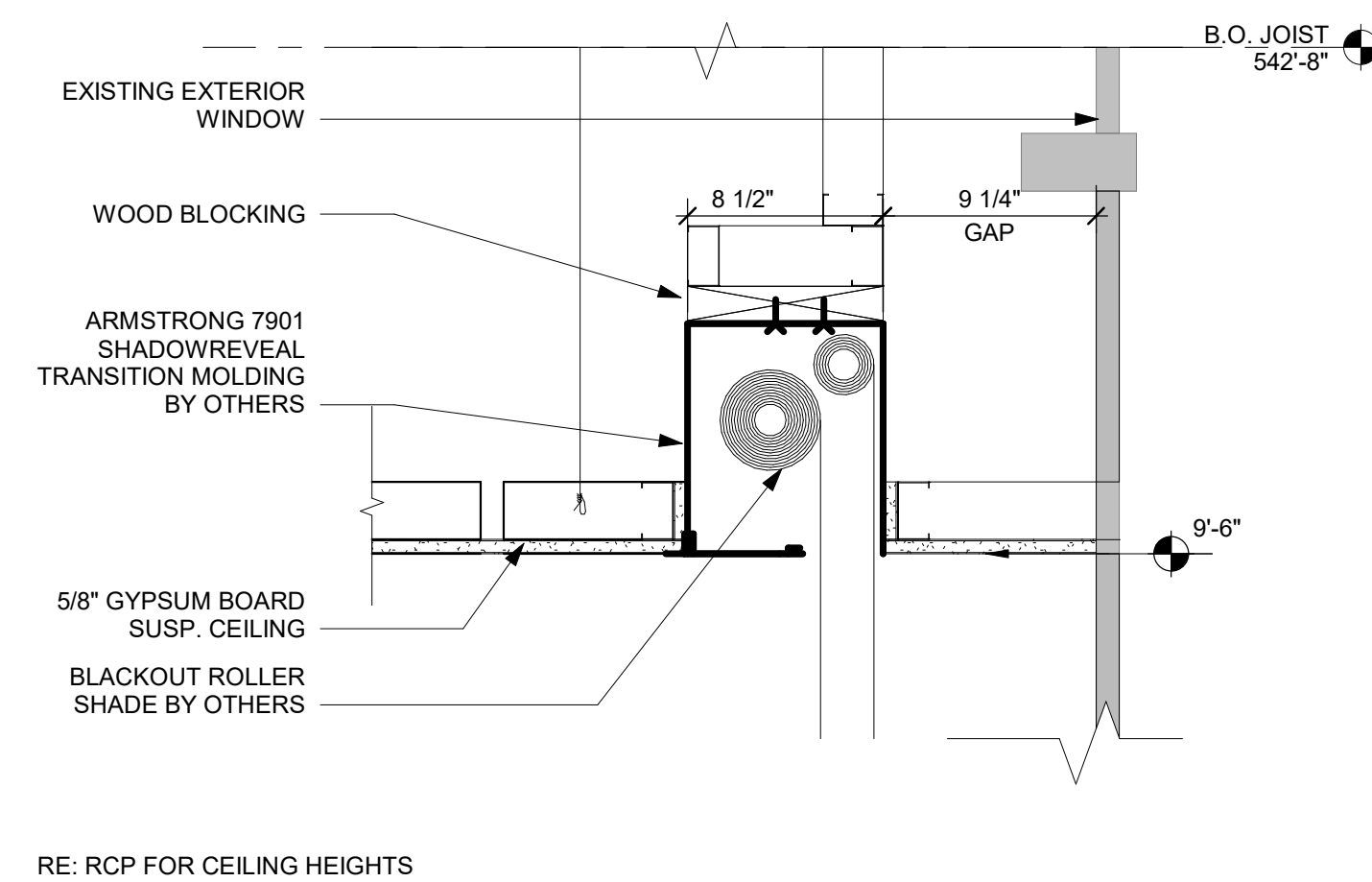
GYP TO ACT DETAIL E1  
1 1/2" = 1'-0"



GY @ EXTERIOR WALL DETAIL A11  
1 1/2" = 1'-0"



GYP @ WINDOW SHADE POCKET DETAIL A6  
1 1/2" = 1'-0"



GYP @ EXISTING WINDOW A1  
1 1/2" = 1'-0"



Architectural drawings showing door and window details, including cross-sections and elevations, for various materials and wall types. The drawings are organized into sections labeled H1 through H4, J1 through J4, S1 through S4, and S2.

**Section H (Head Details):**

- H1: HM HEAD @ RATED WALL** (3" = 1'-0")
- H2: HM HEAD @ STUD WALL** (3" = 1'-0")
- H3: HM HEAD @ CMU** (3" = 1'-0")
- H4: AL HEAD @ AL FRAME** (3" = 1'-0")

**Section J (Jamb Details):**

- J1: HM JAMB @ RATED WALL** (3" = 1'-0")
- J2: HM JAMB @ STUD WALL** (3" = 1'-0")
- J3: HM JAMB @ CMU** (3" = 1'-0")
- J4: HM JAMB @ HM WN** (3" = 1'-0")

**Section S (Sill Details):**

- S1: HM SILL LVT-CPT** (3" = 1'-0")
- S2: HM SILL CPT-CPT** (3" = 1'-0")
- S3: HM SILL @ CMU** (3" = 1'-0")
- S4: AL SILL** (3" = 1'-0")

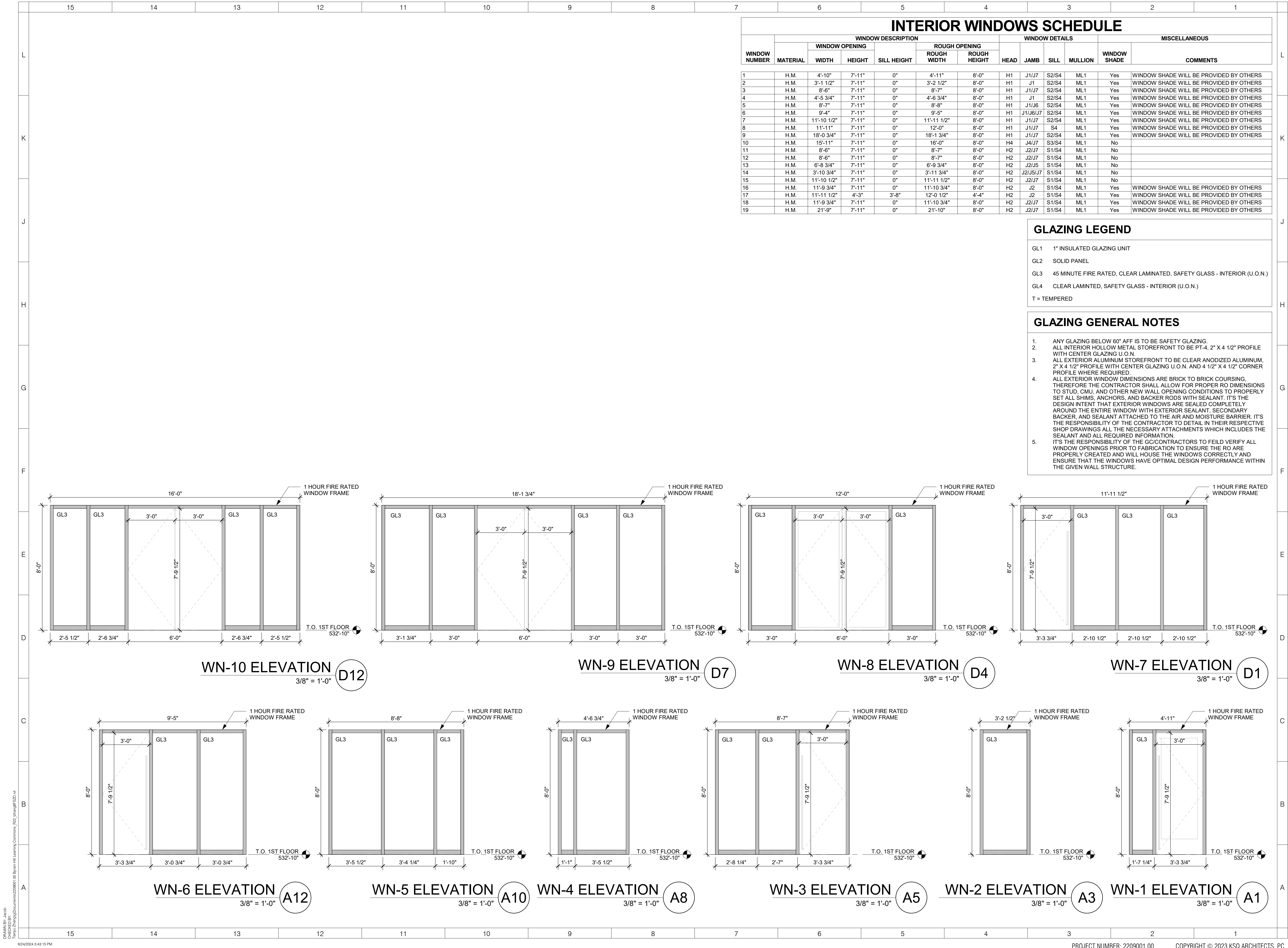
**Section D (Door Types):**

- D1: DOOR TYPES** (N.T.S.)
- D2: FRAME TYPES** (N.T.S.)

**Section E (Door Schedule):**

MARK	ROOM NAME	HARDWARE	TYPE	DOOR			GLASS TYPE	FINISH	FRAME			FIRE RATING	COMMENTS			
				WIDTH	HEIGHT	THICKNESS			MATERIAL	FINISH	HEAD			JAMB	SILL	
100B	CORRIDOR	N/A	3	3'-0"	7'-0"	1 3/4"	N/A	3/4 HR.	N/A	N/A	PT-6	N/A	N/A	N/A	1	EXISTING DOOR LEAF TO REMAIN, PAINT DOOR FRAME, REPLACE GLAZING ON DOOR
100C	FSP ADMIN	4	1	3'-0"	7'-0"	1 1/2"	WD	N/A	WD-4	C	H.M.	PT-5	H2	J2	S2	0
100D	FSP CR	4	1	3'-0"	7'-0"	1 1/2"	WD	N/A	WD-4	C	H.M.	PT-5	H2	J2	S2	0
100E	FSP CR	4	1	3'-0"	7'-0"	1 1/2"	WD	N/A	WD-4	C	H.M.	PT-5	H2	J2	S2	0
100F	FSP OFF	4	1	3'-0"	7'-0"	1 1/2"	WD	N/A	WD-4	C	H.M.	PT-5	H2	J2	S2	0
100G	FSP OFF	4	1	3'-0"	7'-0"	1 1/2"	WD	N/A	WD-4	C	H.M.	PT-5	H2	J2	S2	0
100H	MEETING ROOM	2	1	3'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	A	H.M.	PT-4	H2	J2/J4	S2	0
100I	LIBRARY CORRIDOR	2	1	3'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	A	H.M.	PT-4	H1	J1	S2	1
102	COMP LAB	3A	2	6'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-5	B	H.M.	PT-6	H3	J4	S3	0
L01A	LIBRARY	1	4	6'-0"	7'-9 1/2"	1 1/2"	ALUM	N/A	ANODIZED ALUM.	B	ALUM	ANODIZED ALUM.	H4	J5	S4	1
L01C	LIBRARY CORRIDOR	3	2	6'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	B	H.M.	PT-4	H1	J1	S1	1
L02	LIBRARIAN OFFICE	2	1	3'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	A	H.M.	PT-4	H2	J2/J4	S2	0
L04A	MEETING ROOM	2	1	3'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	A	H.M.	PT-4	H2	J2/J4	S2	0
L04B	LIBRARY CORRIDOR	2	1	3'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	A	H.M.	PT-4	H1	J1	S2	1
L05A	MEETING ROOM	2	1	3'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	A	H.M.	PT-4	H2	J2/J4	S2	0
L05B	LIBRARY CORRIDOR	2	1	3'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	A	H.M.	PT-4	H1	J1	S2	1
L06A	MEETING ROOM	2	1	3'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	A	H.M.	PT-4	H2	J2/J4	S2	0
L06B	LIBRARY CORRIDOR	2	1	3'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	A	H.M.	PT-4	H1	J1	S2	1
L07A	LIBRARY	3	2	6'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	B	H.M.	PT-4	H2	J2/J4	S2	0
L07B	LIBRARY CORRIDOR	3A	2	6'-0"	7'-9 1/2"	1 1/2"	WD	N/A	WD-4	B	H.M.	PT-4	H1	J1	S2	1







# GLAZING GENERAL NOTES

1. ANY GLAZING BELOW 60" AFF IS TO BE SAFETY GLAZING.
2. ALL INTERIOR HOLLOW METAL STOREFRONT TO BE PT-1, 2" X 4 1/2" PROFILE WITH CENTER GLAZING U.O.N.
3. ALL EXTERIOR ALUMINUM STOREFRONT TO BE CLEAR ANODIZED ALUMINUM, 2" X 4 1/2" PROFILE WITH CENTER GLAZING U.O.N. AND 4 1/2" X 4 1/2" CORNER PROFILE WHERE REQUIRED.
4. ALL EXTERIOR WINDOW DIMENSIONS ARE BRICK TO BRICK COURSING, THEREFORE THE CONTRACTOR SHALL ALLOW FOR PROPER ROD DIMENSIONS TO STUD, CMU, AND OTHER NEW WALL OPENING CONDITIONS TO PROPERLY SET ALL SHIMS, ANCHORS, AND BACKER RODS WITH SEALANT. IT'S THE DESIGN INTENT THAT EXTERIOR WINDOWS ARE SEALED COMPLETELY AROUND THE ENTIRE WINDOW WITH EXTERIOR SEALANT. SECONDARY GASKET AND SEALANT IS APPLIED TO THE AIR AND MOISTURE BARRIER. IT'S THE RESPONSIBILITY OF THE CONTRACTOR TO DETAIL IN THEIR RESPECTIVE SHOP DRAWINGS ALL THE NECESSARY ATTACHMENTS WHICH INCLUDES THE SEALANT AND ALL REQUIRED INFORMATION.

IT'S THE RESPONSIBILITY OF THE GC/CONTRACTORS TO FIELD VERIFY ALL WINDOW OPENINGS PRIOR TO ORDERING MATERIAL TO ENSURE THE ROLES ARE PROPERLY CREATED AND WILL HOUSE THE WINDOWS CORRECTLY AND ENSURE THAT THE WINDOWS HAVE OPTIMAL DESIGN PERFORMANCE WITHIN THE GIVEN WALL STRUCTURE.

A-622

BIDDING/REVIEW ISSUE







Architectural drawings for a building facade, including elevations, window schedules, and details.

**Elevations:**

- SF-A ELEVATION (G11):** Storefront elevation showing dimensions (5'-10 1/2" wide, 12'-0" high) and window types (GL2, GL1, GL1-T).
- SF-B ELEVATION (G8):** Storefront elevation showing dimensions (12'-5 1/4" wide, 12'-0" high) and window types (GL2, GL1, GL1-T).
- WN-C ELEVATION (G4):** Window elevation showing dimensions (10'-6" wide, 5'-0" high) and window types (GL1).

**Window Schedule:**

WINDOW NUMBER	MATERIAL	WINDOW DESCRIPTION				WINDOW DETAILS				ENERGY CODE COMPLIANCE			MISCELLANEOUS		
		WINDOW OPENING		SILL HEIGHT	ROUGH OPENING		HEAD	JAMB	SILL	MULLION	ASSEMBLY U FACTOR	SHGC	AIR LEAKAGE RATE	WINDOW SHADE	COMMENTS
		WIDTH	HEIGHT		ROUGH WIDTH	ROUGH HEIGHT									
A	ALUM	5'-7"	11'-11"	0"	5'-8"	12'-0"	A-632/E2	A-631/A8	A-632/A2	ML1/ML2	0.38	0.36	0.06	Yes	
B	ALUM	12'-1 3/4"	11'-11"	0"	12'-2 3/4"	12'-0"	A-632/E2	A-631/A8	A-632/A2	ML1/LM2	0.77	0.36	1	Yes	
C-1	ALUM	10'-5"	4'-11"	3'-0"	10'-6"	5'-0"	A-632/F7	A-631/A1	A-632/A7	ML1/ML2	0.38	0.36	0.2	Yes	
C-2	ALUM	10'-5"	4'-11"	3'-0"	10'-6"	5'-0"	A-632/F7	A-631/A1	A-632/A7	ML1/ML2	0.38	0.36	0.2	Yes	

**Glazing Legend:**

- GL1: 1" INSULATED GLAZING UNIT
- GL2: SOLID PANEL
- GL3: 45 MINUTE FIRE RATED, CLEAR LAMINATED, SAFETY GLASS - INTERIOR (U.O.N.)
- GL4: CLEAR LAMINATED, SAFETY GLASS - INTERIOR (U.O.N.)
- T = TEMPERED

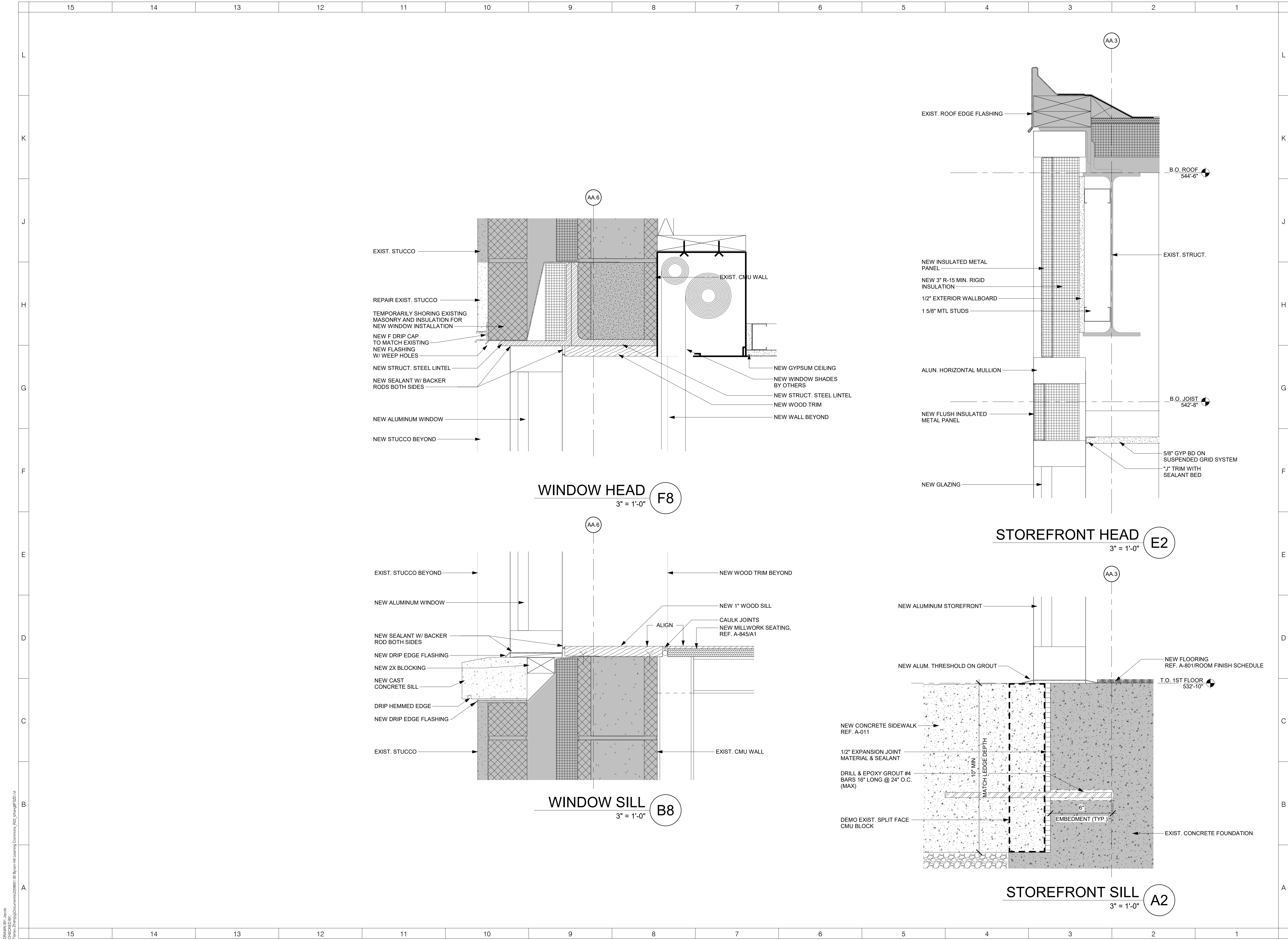
**Glazing General Notes:**

- ANY GLAZING BELOW 60" AFF IS TO BE SAFETY GLAZING.
- ALL INTERIOR HOLLOW METAL STOREFRONT TO BE PT-4, 2" X 4 1/2" PROFILE WITH CENTER GLAZING U.O.N.
- ALL EXTERIOR ALUMINUM STOREFRONT TO BE CLEAR ANODIZED ALUMINUM, 2" X 4 1/2" PROFILE WITH CENTER GLAZING U.O.N. AND 4 1/2" X 4 1/2" CORNER PROFILE WHERE REQUIRED.
- ALL EXTERIOR WINDOW DIMENSIONS ARE BRICK TO BRICK COURSING. THEREFORE THE CONTRACTOR SHALL ALLOW FOR PROPER RO DIMENSIONS TO STUD, CMU, AND OTHER NEW WALL OPENING CONDITIONS TO PROPERLY SET ALL SHIMS, ANCHORS, AND BACKER RODS WITH SEALANT. IT'S THE DESIGN INTENT THAT EXTERIOR WINDOWS ARE SEALED COMPLETELY AROUND THE ENTIRE WINDOW WITH EXTERIOR SEALANT, SECONDARY BACKER, AND SEALANT ATTACHED TO THE AIR AND MOISTURE BARRIER. IT'S THE RESPONSIBILITY OF THE CONTRACTOR TO DETAIL IN THEIR RESPECTIVE SHOP DRAWINGS ALL THE NECESSARY ATTACHMENTS WHICH INCLUDES THE SEALANT AND ALL REQUIRED INFORMATION.
- IT'S THE RESPONSIBILITY OF THE GC/CONTRACTORS TO FIELD VERIFY ALL WINDOW OPENINGS PRIOR TO FABRICATION TO ENSURE THE RO ARE PROPERLY CREATED AND WILL HOUSE THE WINDOWS CORRECTLY AND ENSURE THAT THE WINDOWS HAVE OPTIMAL DESIGN PERFORMANCE WITHIN THE GIVEN WALL STRUCTURE.

**Details:**

- WN VERTICAL MULLION (ML2):** 3" = 1'-0"
- WN HORIZONTAL MULLION (ML1):** 3" = 1'-0"
- STOREFRONT JAMB @ ANGLED CORNER (A8):** 3" = 1'-0"
- STOREFRONT JAMB @ CORNER (A5):** 3" = 1'-0"
- WINDOW JAMB @ NEW OPENING (A1):** 3" = 1'-0"





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EXP. DATE: 3/31/2025

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RENOVATION**  
SED# 66-12-01-06-0-007-017

12 Tripp Ln,  
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**KEY PLAN**

**REVISIONS**  

No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** 3" = 1'-0"  
**SHEET NAME:** EXTERIOR WINDOWS SECTION DETAILS  
**SHEET NUMBER:** A-632



15

14

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1

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CHADLER

STATE OF NEW YORK

EXP. DATE: 3/31/2025

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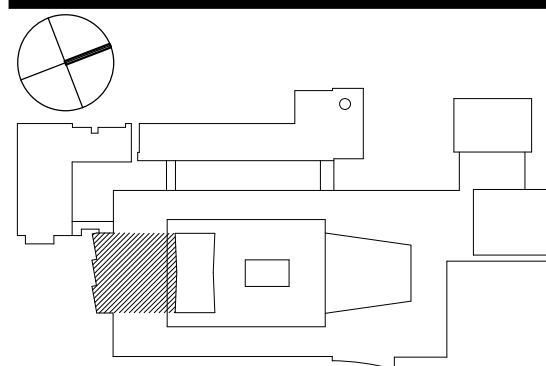
LEARNING COMMONS RENOVATION

SED# 66-12-01-06-0-007-017

12 Tripp Ln,

Armonk, NY 10504

KEY PLAN



REVISIONS

No.	Description	Date

ISSUED: BID SET

DATE: JUNE 25, 2024

SCALE: 1/4" = 1'-0"

SHEET NAME: INTERIOR FINISH AND FURNITURE SCHEDULES

SHEET NUMBER:

A-801

15

14

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1

FINISH LEGEND

SYMBOL	MATERIAL TYPE	MANUFACTURER	PATTERN	NOTES
ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	ULTIMA REGULAR 24"X24" R062 PERFORATION	COMMONS, MPR
CPT-1	CARPET TILE	INTERFACE	NET EFFECT - 103967 SAND 10"X39"	COMMONS
CPT-2	CARPET TILE	INTERFACE	AGLOW - 107250 IRON AZURE 10"X39"	MEETING ROOMS
CPT-3	CARPET TILE	INTERFACE	INTERFACE - PRIMARY STICH HEMI/ACCENT 10"X39"	LECTURE ROOM
CPT-4	CARPET TILE	INTERFACE	DIDDLY DOT - 108107 LAPIS 10"X39"	FSP SUITE
CT-1	SOLID SURFACE COUNTERTOP	CORIAN	LAGUNA	TRANSACTION COUNTER
LVT-1	VINYL TILE	MANNINGTON	GROOVE - WINTER FLEECE	CORRIDORS
LVT-2	VINYL TILE	MANNINGTON	GROOVE - FLANNEL	KIOSK
PT-1	PAINT	SHERWIN WILLIAMS	WESTHIGHLAND WHITE SW7566 - EGGSHELL FINISH	FIELD PAINT - CEILINGS/WALLS
PT-2	PAINT	SHERWIN WILLIAMS	UPWARD 6239 - EGGSHELL FINISH	FIELD PAINT - MEETING ROOM WALLS
PT-3	PAINT	SHERWIN WILLIAMS	POSITIVE RED SW6871 - EGGSHELL FINISH	FIELD PAINT - FEATURE WALL
PT-4	PAINT	SHERWIN WILLIAMS	COLONY BUFF SW7723 - SEMIGLOSS FINISH	FIELD PAINT - DOOR FRAME
PT-5	PAINT	SHERWIN WILLIAMS	NETWORK GRAY SW7073 - SEMIGLOSS FINISH	FIELD PAINT - DOOR FRAME FSP SUITE
UF-1	VINYL UPHOLSTERY	ULTRAFABRICS	BRISA - RISING TIDE	CUSTOM SEAT WALL - UPHOLSTERED BACK REST
WB-1	WOOD WALL BASE	-	FLAT BASE 4" X 1 1/4"	STAIN TO MATCH WC-1
WB-2	VINYL WALL BASE	TARKETT	38 PEWTER CG - FLAT BASE 4" X 1 1/4"	FSB SUITE
WC-1	LAMINATE	FORMICA	HIGH PRESSURE LAMINATE - BIRCH	FEATURE WALL, CUSTOM MILLWORK
WC-2	CORK SHEET	BEST-RITE MANUFACTURING	COLORLED CORK SHEET - POTATO SKIN	COMMONS
WD-1	ALUMINUM	USG	B201503 BARZ - SARANTE, RED BIRCH	ALUMINUM WOOD SLAT CEILING
WD-2	WOOD DOOR FINISH	VT INDUSTRIES	CL18, WHITE BIRCH	ARCHITECTURAL WOOD DOORS
WG-1	WALL GRAPHIC	SIGNS INK	KSQ CUSTOM WALL GRAPHIC	CUSTOM

ROOM FINISH SCHEDULE

NUMBER	NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS
000	LIBRARY CORRIDOR	LVT-1	WB-1	WC-1 & PT-1	PT-1	4" WOOD BASE
32	STORAGE	-	-	PT-1	-	PAINT AT DOOR INFILL AREA ON STORAGE ROOM SIDE
100	FSP SUITE	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
100C	FSP ADMIN	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
100D	FSP CR	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
100E	FSP CR	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
100F	FSP OFF	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
100G	FSP OFF	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
102	COMP LAB	MATCH EXISTING	-	-	-	REPLACE DOOR AREA FLOORING ONLY
200	LECTURE ROOM	CPT-3 & CPT-4	-	-	-	-
L01	LIBRARY	CPT-1	WB-1	PT-1	WD-1	4" WOOD BASE, LVT-1 NOTED IN LIBRARY ENTRY
L02	LIBRARIAN OFFICE	CPT-1	WB-1	PT-2	PT-1	4" WOOD BASE
L03	MEETING ROOM	CPT-2	WB-1	PT-2	PT-1	4" WOOD BASE
L04	MEETING ROOM	CPT-2	WB-1	PT-2	PT-1	4" WOOD BASE
L05	MEETING ROOM	CPT-2	WB-1	PT-2	PT-1	4" WOOD BASE
L06	MEETING ROOM	CPT-2	WB-1	PT-2	PT-1	4" WOOD BASE
L07	CONFERENCE ROOM	CPT-2	WB-1	PT-1	ACT-1 & PT-1	4" WOOD BASE

FURNITURE SCHEDULE

ITEM NO	QTY	TYPE	FURNITURE	FINISHES	MANUFACTURER
CH01	12	LOUNGE CHAIR	VICINITY LOUNGE CHAIR	SEAT: ALL TERRAIN MESA / BASE: TITANIUM	ALLSTEEL
CH02	12	BAR HEIGHT STOOL	VICINITY STOOL	SEAT: REGATTA / BASE: TITANIUM	ALLSTEEL
CH03	22	TASK CHAIR	RETREAT LOW-BACK CONFERENCE CHAIR	SEAT: OXFORD / BASE: BLACK	ALLSTEEL
CH04	42	CAFE CHAIR	VICINITY CHAIR	SEAT: REGATTA / BASE: TITANIUM	ALLSTEEL
CH05	4	LOUNGE CHAIR	JETTY MOD	SEAT: OXFORD / BASE: TITANIUM	ALLSTEEL
CH06	28	SIDE CHAIR	SEEK CHAIR - NESTING	SEAT: REGATTA (NAVY FABRIC) / BASE: TITANIUM	ALLSTEEL
CH07	16	CAFE CHAIR	HERIT SIDE CHAIR	SEAT: SAND / BASE: OAK	ALLSTEEL
CH08	2	TASK CHAIR	RETREAT HIGH-BACK CONFERENCE CHAIR	SEAT: OXFORD / BASE: BLACK	ALLSTEEL
TA01	8	BAR TABLE	HARVEST TABLE 18"W X 60"L	TOP: FAWN CYPRESS / BASE: SILVER	ALLSTEEL
TA02	4	CONFERENCE TABLE	STRUCTURE TABLE 48"W X 120"L	TOP: DESIGNER WHITE / BASE: DESIGNER WHITE	ALLSTEEL
TA03	7	MEDIA TABLE	STRUCTURE MEDIA TABLE 36"W X 52"L	TOP: DESIGNER WHITE / BASE: TITANIUM	ALLSTEEL
TA04	6	CAFE TABLE	STRUCTURE CAFE TABLE 24"DIA X 18"H	TOP: DESIGNER WHITE / BASE: TITANIUM	ALLSTEEL
TA05	8	CAFE TABLE	STRUCTURE CAFE TABLE 24"DIA X 29"H	TOP: DESIGNER WHITE / BASE: TITANIUM	ALLSTEEL
TA06	12	CAFE TABLE	STRUCTURE CAFE TABLE 42"DIA X 29"H	TOP: DESIGNER WHITE / BASE: TITANIUM	ALLSTEEL
TA07	15	TRAINING TABLE	AWARE FOLDABLE TABLES	TOP: DESIGNER WHITE / BASE: TITANIUM	ALLSTEEL
S01A	2	SECTIONAL SOFA	MODULAR SOFA	SEAT: RED VINYL / BASE: BLACK	ALLSTEEL
SH01	39	BOOKSHELF	42"H THREE SHELF - DOUBLE SIDED - MAPLE (ENDS) - METAL SHELVES	ENDS: COTTONWOOD / SHELVES: TITANIUM	ALLSTEEL

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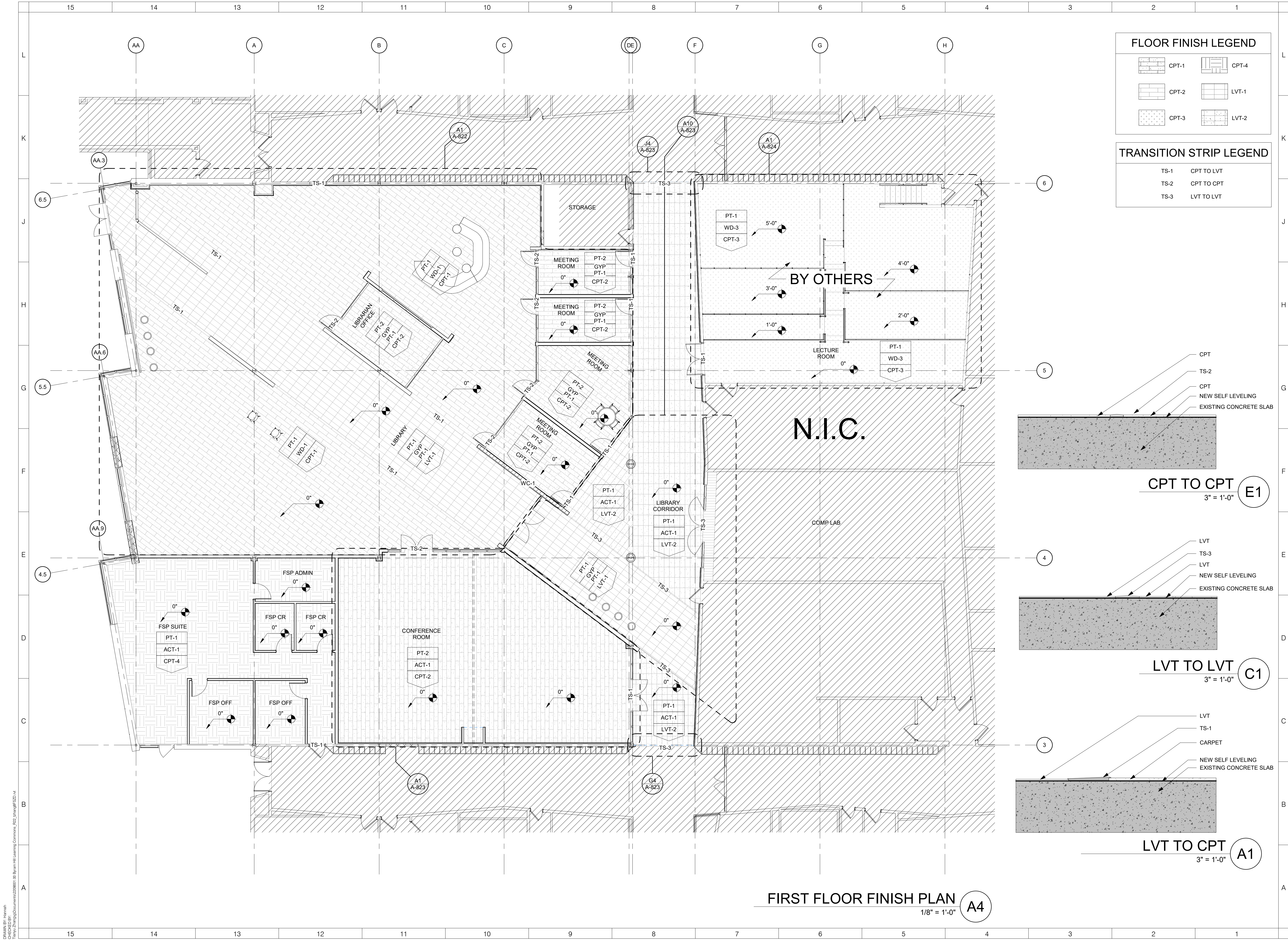
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FINISH LEGEND				
SYMBOL	MATERIAL TYPE	MANUFACTURER	PATTERN	NOTES
ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	ULTIMA TEGULAR 24"x24" R062 PERFORATION	COMMONS, MPR
CPT-1	CARPET TILE	INTERFACE	NET EFFECT - 103967 SAND 10"x39"	COMMONS
CPT-2	CARPET TILE	INTERFACE	AGLOW - 107250 IRON AZURE 10"x39"	MEETING ROOMS
CPT-3	CARPET TILE	INTERFACE	INTERFACE - PRIMARY STICH HEMI/ACCENT 10"x39"	LECTURE ROOM
CPT-4	CARPET TILE	INTERFACE	DIDDLY DOT - 108107 LAPIS 10"x39"	FSP SUITE
CT-1	SOLID SURFACE COUNTERTOP	CORIAN	LAGUNA	TRANSACTION COUNTER
LVT-1	VINYL TILE	MANNINGTON	GROOVE - WINTER FLEECE	CORRIDORS
LVT-2	VINYL TILE	MANNINGTON	GROOVE - FLANNEL	KIOSK
PT-1	PAINT	SHERWIN WILLIAMS	WESTHIGHLAND WHITE SW7566 - EGGSHELL FINISH	FIELD PAINT - CEILINGS/WALLS
PT-2	PAINT	SHERWIN WILLIAMS	UPWARD 6239 - EGSHELL FINISH	FIELD PAINT - MEETING ROOM WALLS
PT-3	PAINT	SHERWIN WILLIAMS	POSITIVE RED SW6871 - EGSHELL FINISH	FIELD PAINT - FEATURE WALL
PT-4	PAINT	SHERWIN WILLIAMS	COLONY BUFF SW7723 - SEMIGLOSS FINISH	FIELD PAINT - DOOR FRAME
PT-5	PAINT	SHERWIN WILLIAMS	NETWORK GRAY SW7073 - SEMIGLOSS FINISH	FIELD PAINT - DOOR FRAME FSP SUITE
UF-1	VINYL UPHOLSTERY	ULTRAFABRICS	BRISA - RISING TIDE	CUSTOM SEAT WALL - UPHOLSTERED BACK REST
WB-1	WOOD WALL BASE	-	FLAT BASE 4" X 1/4"	STAIN TO MATCH WC-1
WB-2	VINYL WALL BASE	TARKETT	38 PEWTER CG - FLAT BASE 4" X 1/4"	FSB SUITE
WC-1	LAMINATE	FORMICA	HIGH PRESSURE LAMINATE - BIRCH	FEATURE WALL, CUSTOM MILLWORK
WC-2	CORK SHEET	BEST-RITE MANUFACTURING	COLORLED CORK SHEET - POTATO SKIN	COMMONS
WD-1	ALUMINUM	USG	B201503 BARZ - SARANTE, RED BIRCH	ALUMINUM WOOD SLAT CEILING
WD-2	WOOD DOOR FINISH	VT INDUSTRIES	CL18, WHITE BIRCH	ARCHITECTURAL WOOD DOORS
WG-1	WALL GRAPHIC	SIGNS INK	KSQ CUSTOM WALL GRAPHIC	CUSTOM

ROOM FINISH SCHEDULE						
NUMBER	NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS
000	LIBRARY CORRIDOR	LVT-1	WB-1	WC-1 & PT-1	PT-1	4" WOOD BASE
32	STORAGE	-	-	PT-1	-	PAINT AT DOOR INFILL AREA ON STORAGE ROOM SIDE
100	FSP SUITE	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
100C	FSP ADMIN	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
100D	FSP CR	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
100E	FSP CR	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
100F	FSP OFF	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
100G	FSP OFF	CPT-5	WB-2	PT-1	ACT-1	4" VINYL BASE
102	COMP LAB	MATCH EXISTING	-	-	-	REPLACE DOOR AREA FLOORING ONLY
200	LECTURE ROOM	CPT-3 & CPT-4	-	-	-	-
L01	LIBRARY	CPT-1	WB-1	PT-1	WD-1	4" WOOD BASE, LVT-1 NOTED IN LIBRARY ENTRY
L02	LIBRARIAN OFFICE	CPT-1	WB-1	PT-2	PT-1	4" WOOD BASE
L03	MEETING ROOM	CPT-2	WB-1	PT-2	PT-1	4" WOOD BASE
L04	MEETING ROOM	CPT-2	WB-1	PT-2	PT-1	4" WOOD BASE
L05	MEETING ROOM	CPT-2	WB-1	PT-2	PT-1	4" WOOD BASE
L06	MEETING ROOM	CPT-2	WB-1	PT-2	PT-1	4" WOOD BASE
L07	CONFERENCE ROOM	CPT-2	WB-1	PT-1	ACT-1 & PT-1	4" WOOD BASE

FURNITURE SCHEDULE				
ITEM NO	QTY	TYPE	FURNITURE	FINISHES
CH01	12	LOUNGE CHAIR	VICINITY LOUNGE CHAIR	SEAT: ALL TERRAIN MESA / BASE: TITANIUM
CH02	12	BAR HEIGHT STOOL	VICINITY STOOL	SEAT: REGATTA / BASE: TITANIUM
CH03	22	TASK CHAIR	RETREAT LOW-BACK CONFERENCE CHAIR	SEAT: OXFORD / BASE: BLACK
CH04	42	CAFE CHAIR	VICINITY CHAIR	SEAT: REGATTA / BASE: TITANIUM
CH05	4	LOUNGE CHAIR	JETTY MOD	SEAT: OXFORD / BASE: TITANIUM
CH06	28	SIDE CHAIR	SEEK CHAIR - NESTING	SEAT: REGATTA (NAVY FABRIC) / BASE: TITANIUM
CH07	16	CAFE CHAIR	HERIT SIDE CHAIR	SEAT: SAND / BASE: OAK
CH08	2	TASK CHAIR	RETREAT HIGH-BACK CONFERENCE CHAIR	SEAT: OXFORD / BASE: BLACK
TA01	8	BAR TABLE	HARVEST TABLE 18"W X 60"L	TOP: FAWN CYPRESS / BASE: SILVER
TA02	4	CONFERENCE TABLE	STRUCTURE TABLE 48"W X 120"L	TOP: DESIGNER WHITE / BASE: DESIGNER WHITE
TA03	7	MEDIA TABLE	STRUCTURE MEDIA TABLE 36"W X 52"L	TOP: DESIGNER WHITE / BASE: TITANIUM
TA04	6	CAFE TABLE	STRUCTURE CAFE TABLE 24"DIA X 18"H	TOP: DESIGNER WHITE / BASE: TITANIUM
TA05	8	CAFE TABLE	STRUCTURE CAFE TABLE 24"DIA X 29"H	TOP: DESIGNER WHITE / BASE: TITANIUM
TA06	12	CAFE TABLE	STRUCTURE CAFE TABLE 42"DIA X 29"H	TOP: DESIGNER WHITE / BASE: TITANIUM
TA07	15	TRAINING TABLE	AWARE FOLDABLE TABLES	TOP: DESIGNER WHITE / BASE: TITANIUM
S01A	2	SECTIONAL SOFA	MODULAR SOFA	SEAT: RED VINYL / BASE: BLACK
SH01	39	BOOKSHELF	42"H THREE SHELF - DOUBLE SIDED - MAPLE (ENDS) - METAL SHELVES	ENDS: COTTONWOOD / SHELVES: TITANIUM

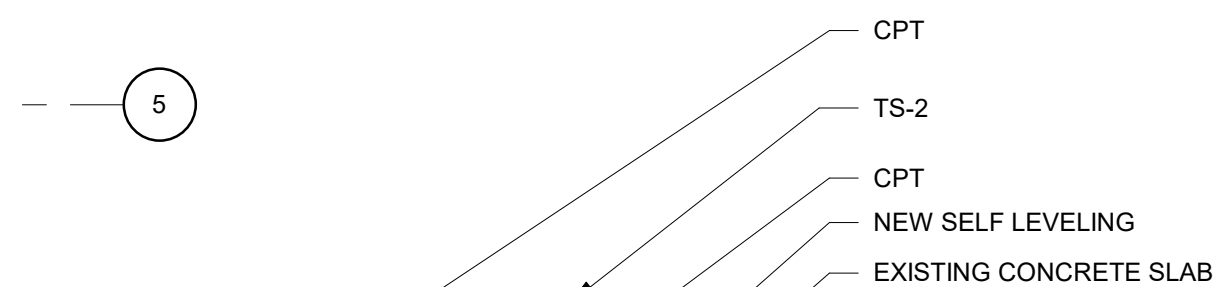




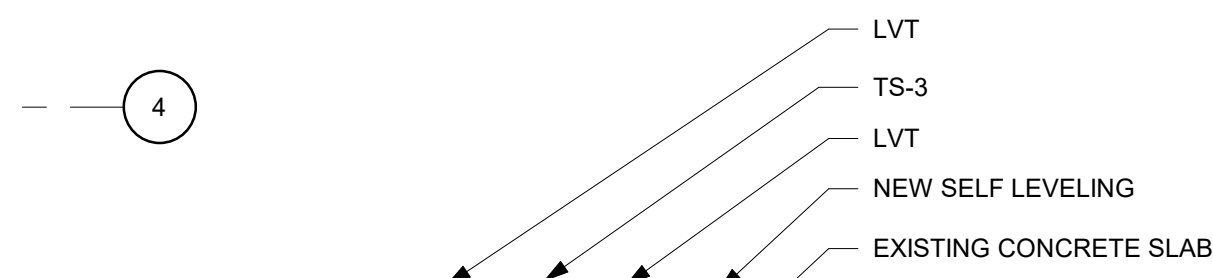
FIRST FLOOR FINISH PLAN  
1/8" = 1'-0" A4

FLOOR FINISH LEGEND			
	CPT-1		CPT-4
	CPT-2		LVT-1
	CPT-3		LVT-2

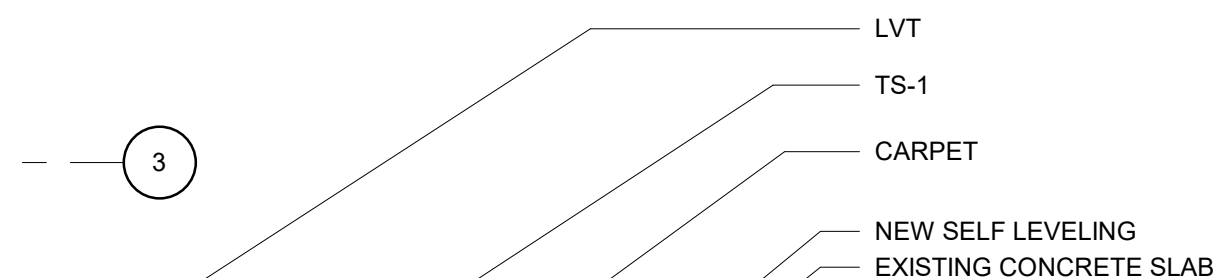
TRANSITION STRIP LEGEND			
TS-1	CPT TO LVT		
TS-2	CPT TO CPT		
TS-3	LVT TO LVT		



CPT TO CPT  
3" = 1'-0" E1



LVT TO LVT  
3" = 1'-0" C1



LVT TO CPT  
3" = 1'-0" A1

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**BYRAM HILLS HIGH SCHOOL LEARNING COMMONS RENOVATION**

SED# 66-12-01-06-0-007-017

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**KEY PLAN**

REVISIONS		
No.	Description	Date

**ISSUED:** BID SET

**DATE:** JUNE 25, 2024

**SCALE:** As indicated

**SHEET NAME:** FIRST FLOOR INTERIOR FINISH PLANS

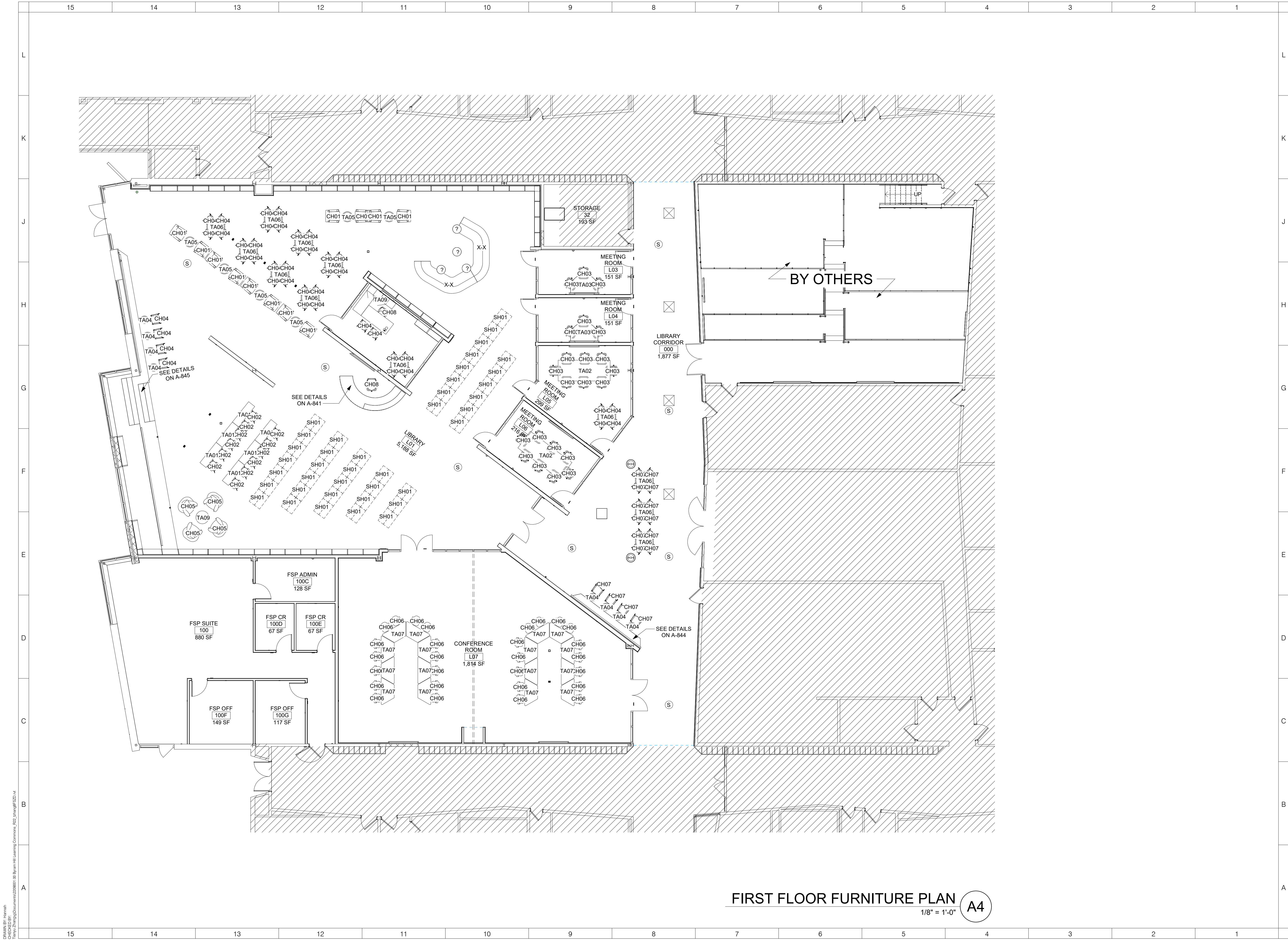
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**A-811**

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KEY PLAN

REVISIONS

No.	Description	Date

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DATE: JUNE 25, 2024

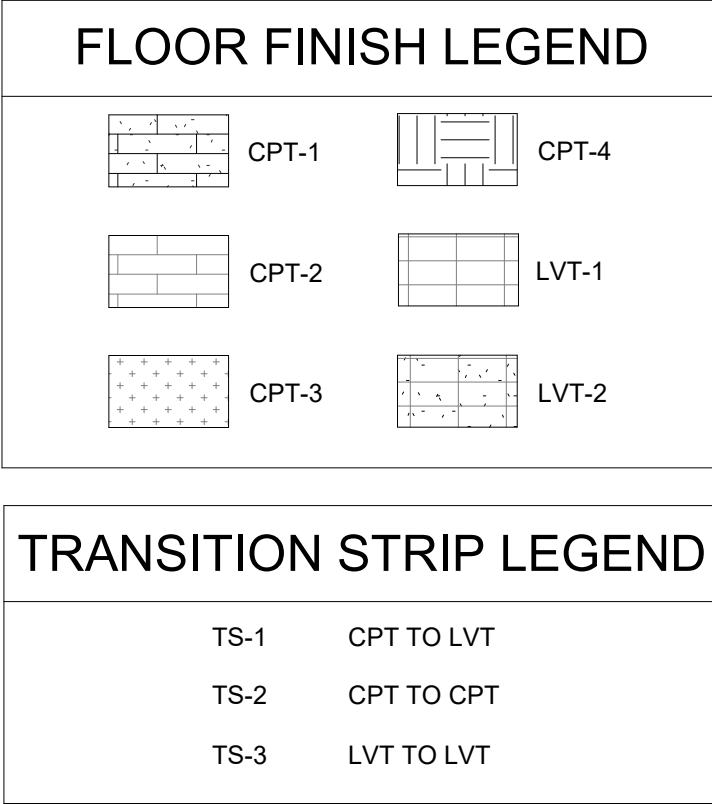
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FIRST FLOOR  
FURNITURE PLANS

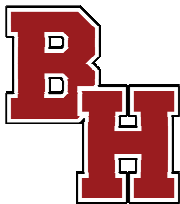
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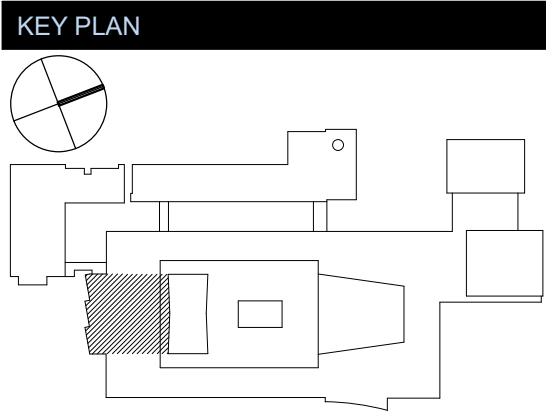




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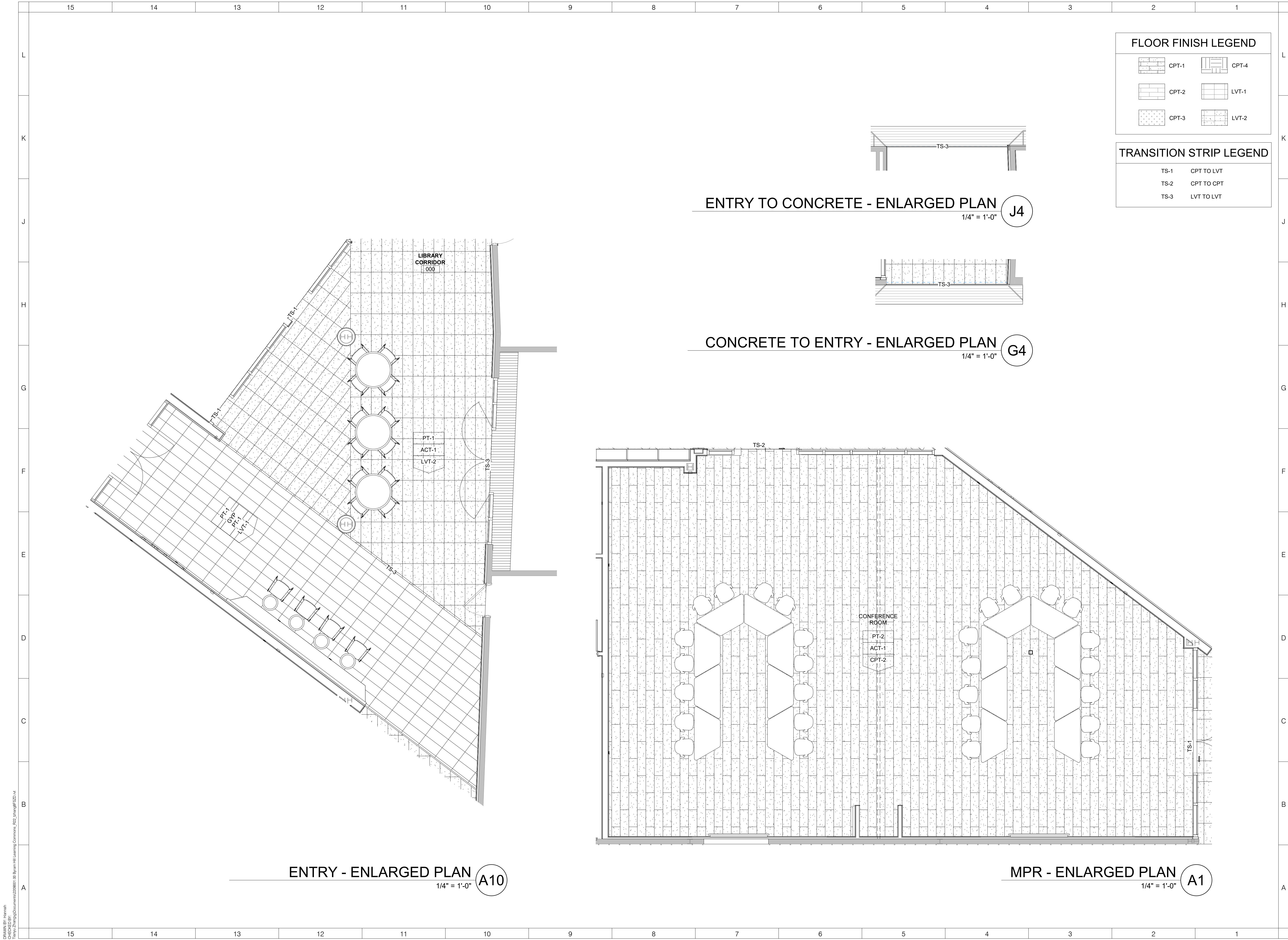
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STATE OF NEW YORK  
EXP. DATE: 3/31/2025

**BYRAM HILLS HIGH SCHOOL LEARNING COMMONS RENOVATION**  
SED# 66-12-01-06-0-007-017

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Armonk, NY 10504

**KEY PLAN**

**REVISIONS**

No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** As indicated  
**SHEET NAME:** ENLARGED INTERIOR PLANS  
**SHEET NUMBER:** A-823

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ARMAUD SAMUEL QUADRINI  
022313  
STATE OF NEW YORK

EXP. DATE: 3/31/2025




BYRAM HILLS HIGH  
SCHOOL  
LEARNING COMMONS  
RENOVATION

SED#66-12-01-06-0-007-017

12 Tripp Ln,  
Armonk, NY 10504

**KEY PLAN**

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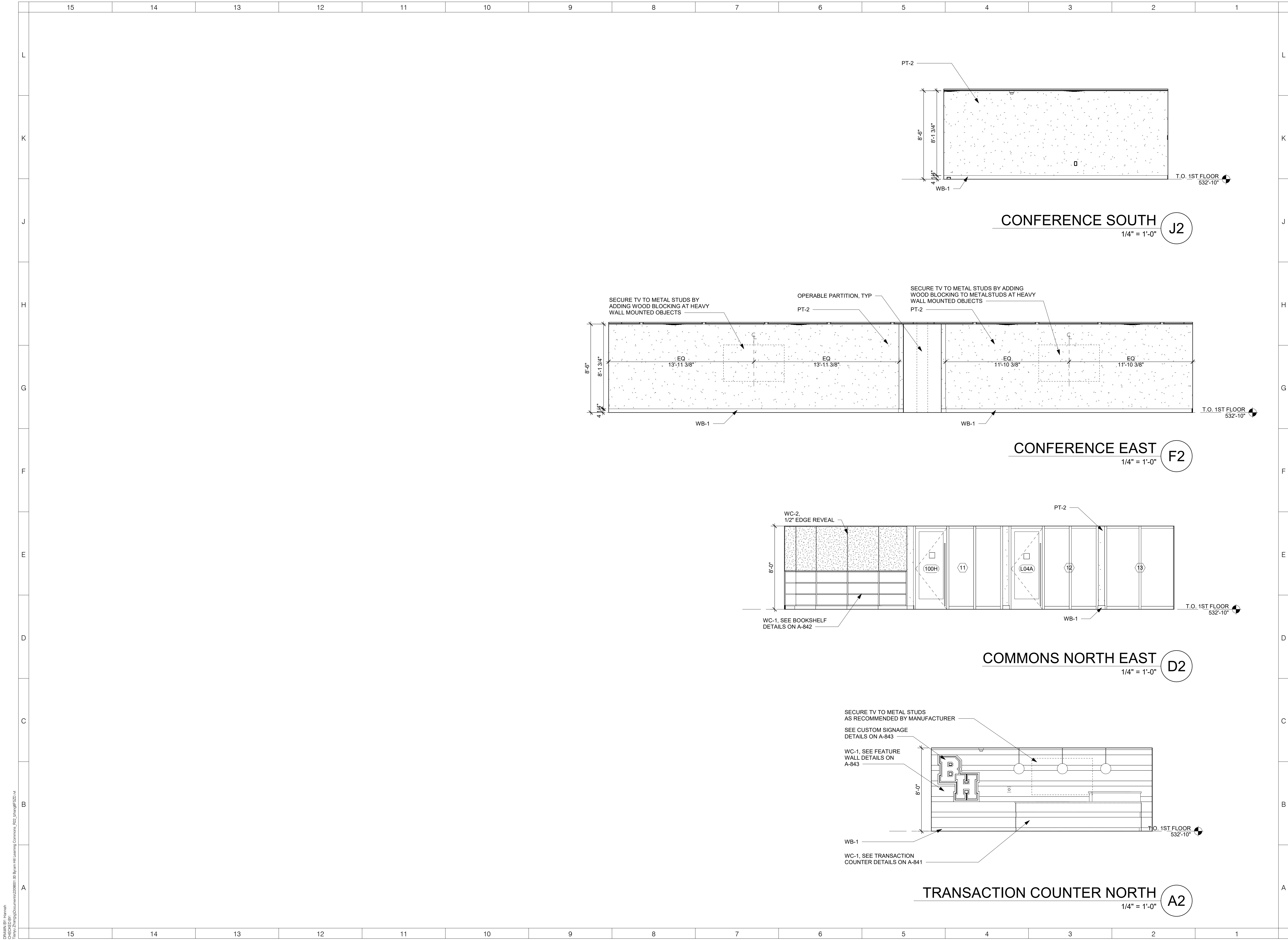
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<b>DATE:</b>	JUNE 25, 2024
<b>SCALE:</b>	As indicated
<b>SHEET NAME:</b>	ENLARGED INTERIOR PLANS
<b>SHEET NUMBER:</b>	A-824

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SED# 66-12-01-06-0-007-017

12 Tripp Ln,  
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**KEY PLAN**

**REVISIONS**

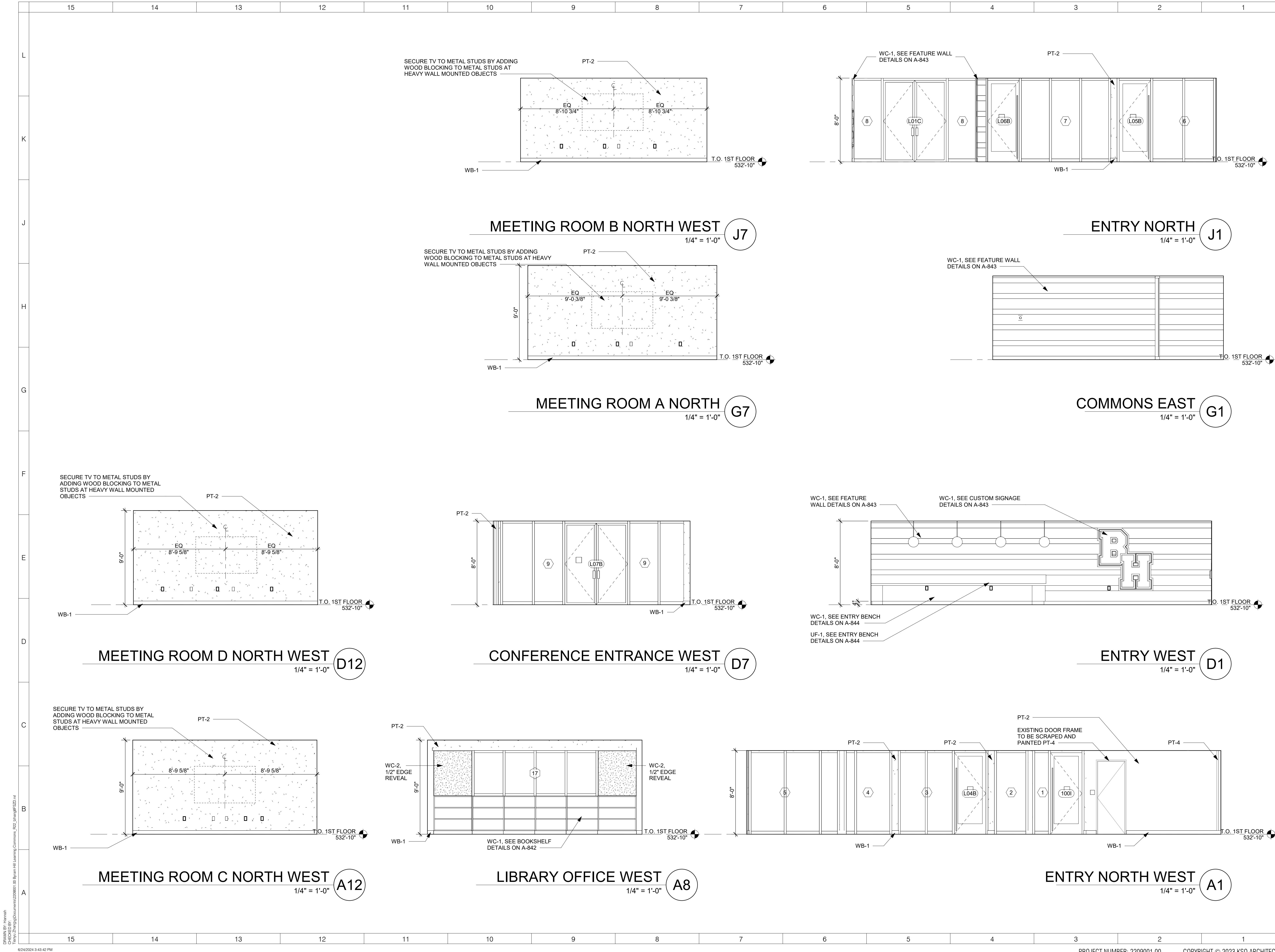
No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** 1/4" = 1'-0"  
**SHEET NAME:** ENLARGED INTERIOR ELEVATIONS  
**SHEET NUMBER:**

A-832

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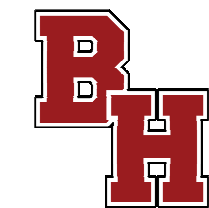
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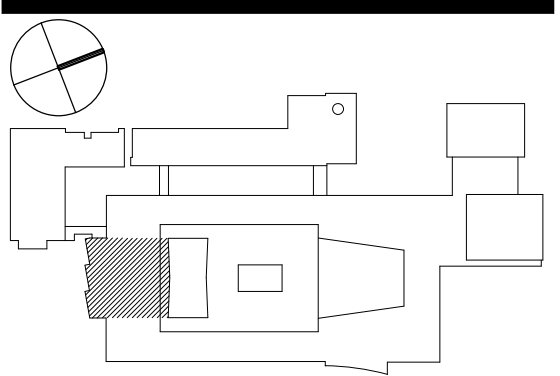
EXP. DATE: 3/31/2025



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RENOVATION**  
SED# 66-12-01-06-0-007-017

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KEY PLAN

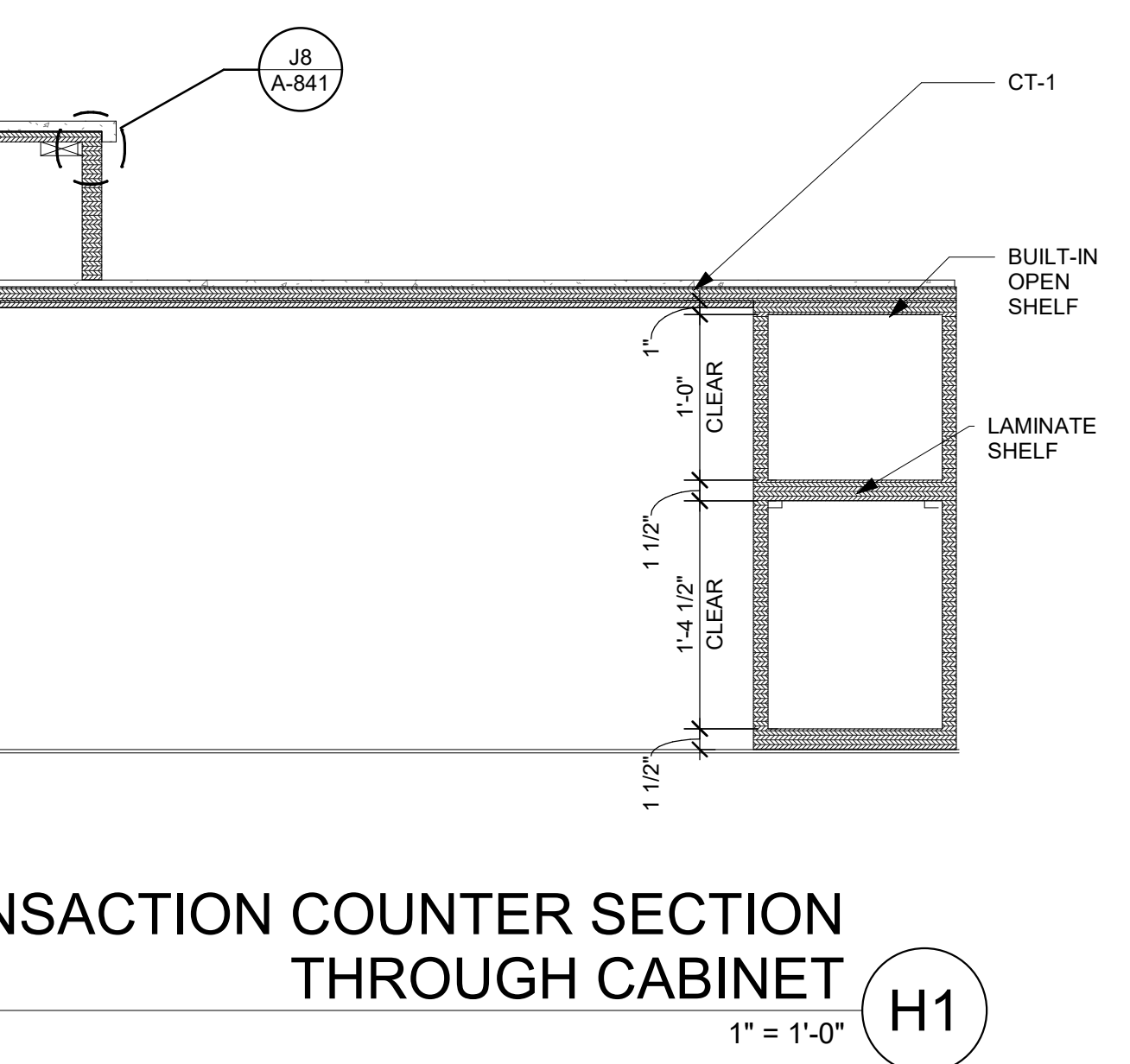
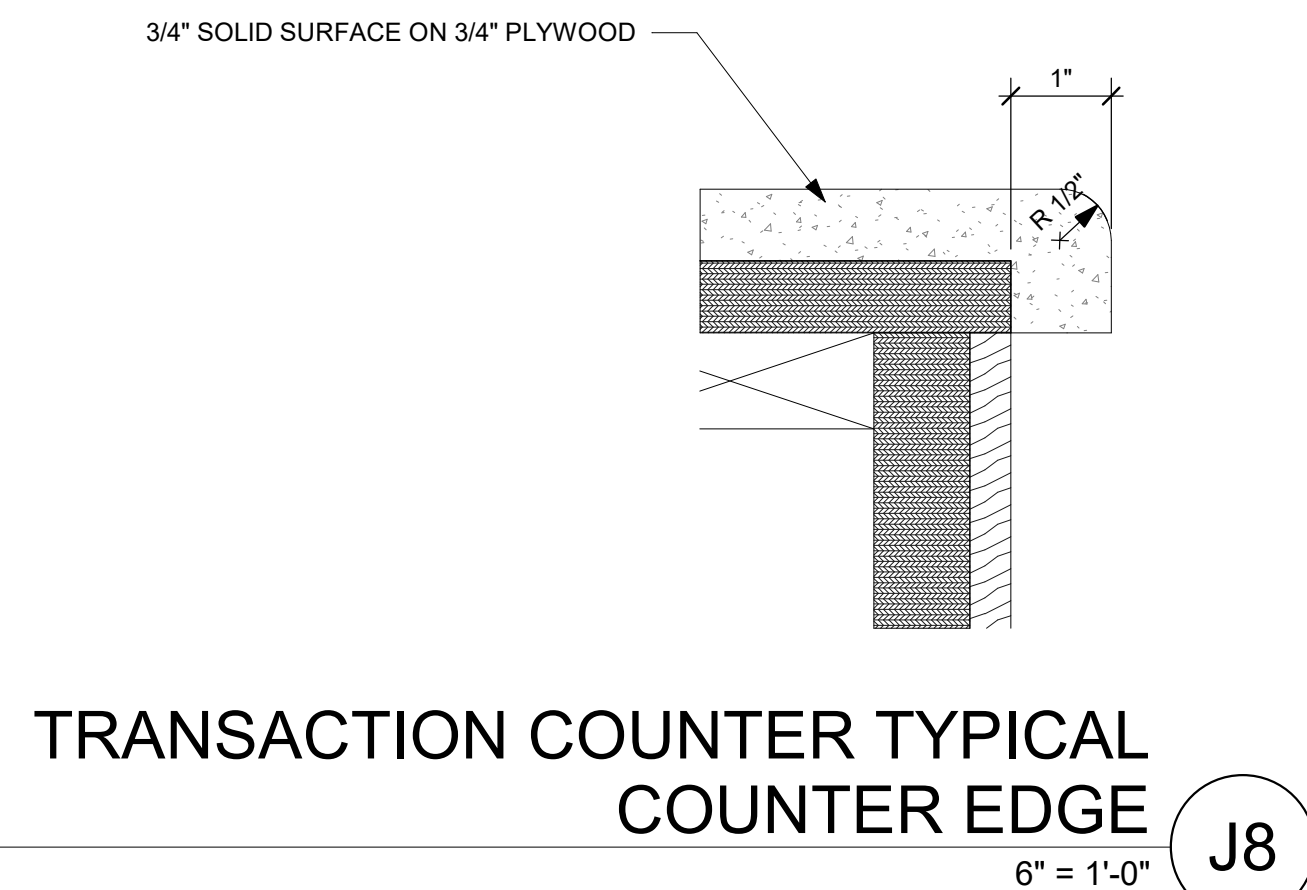


REVISIONS		
No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** 1/4" = 1'-0"  
**SHEET NAME:**  
ENLARGED INTERIOR  
ELEVATIONS

**SHEET NUMBER:**  
**A-833**





A-841

6/24/2024 3:43:43 PM

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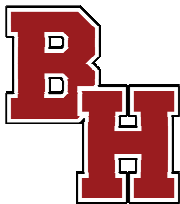
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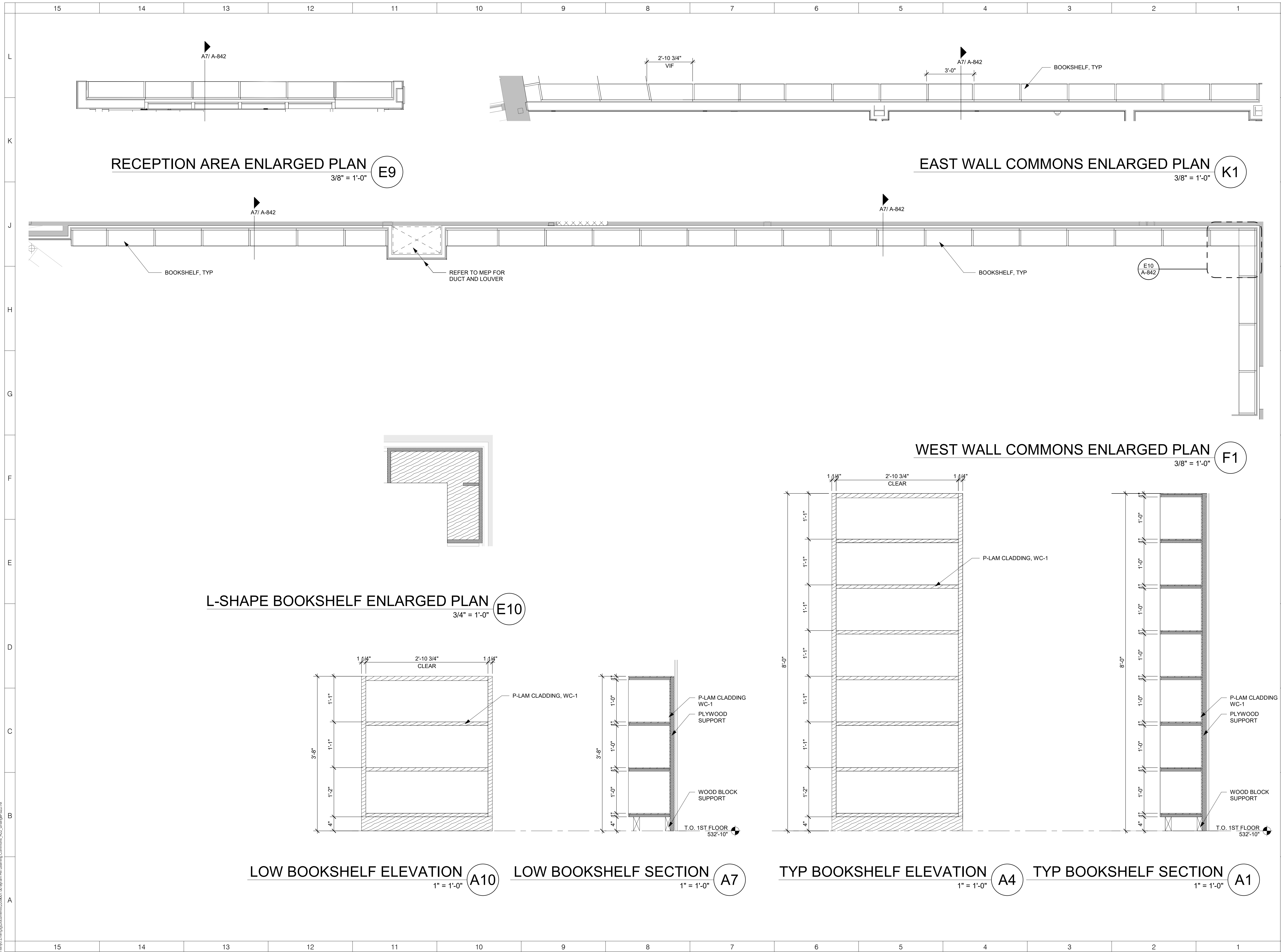
12 Tripp Ln,  
Armonk, NY 10504

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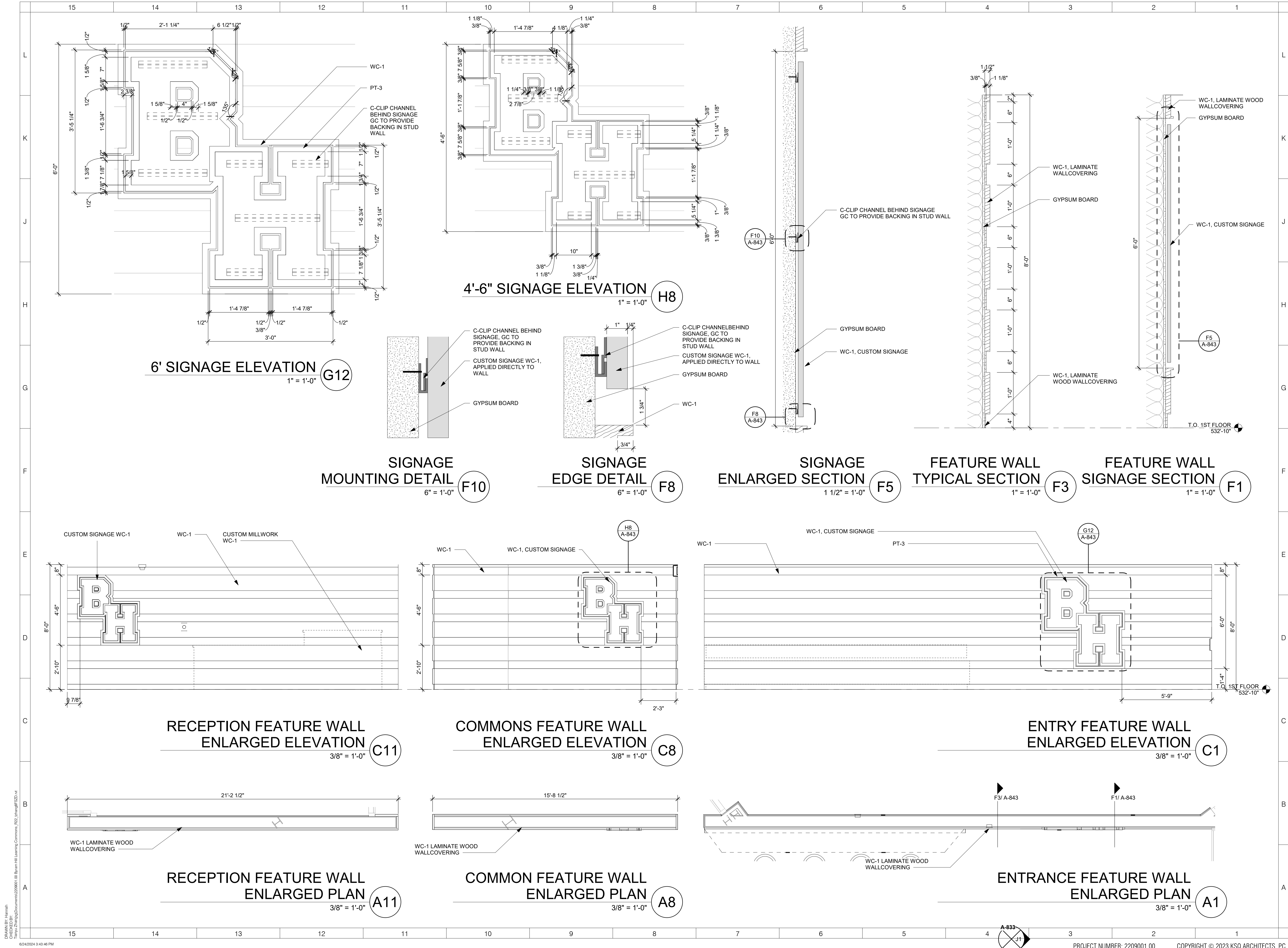
SHEET NUMBER:

A-842

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LEARNING COMMONS RENOVATION  
SED# 66-12-01-06-0-007-017

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**KEY PLAN**

**REVISIONS**

No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** As indicated  
**SHEET NAME:** MILLWORK DETAILS - FEATURE WALL  
**SHEET NUMBER:**  
**A-843**

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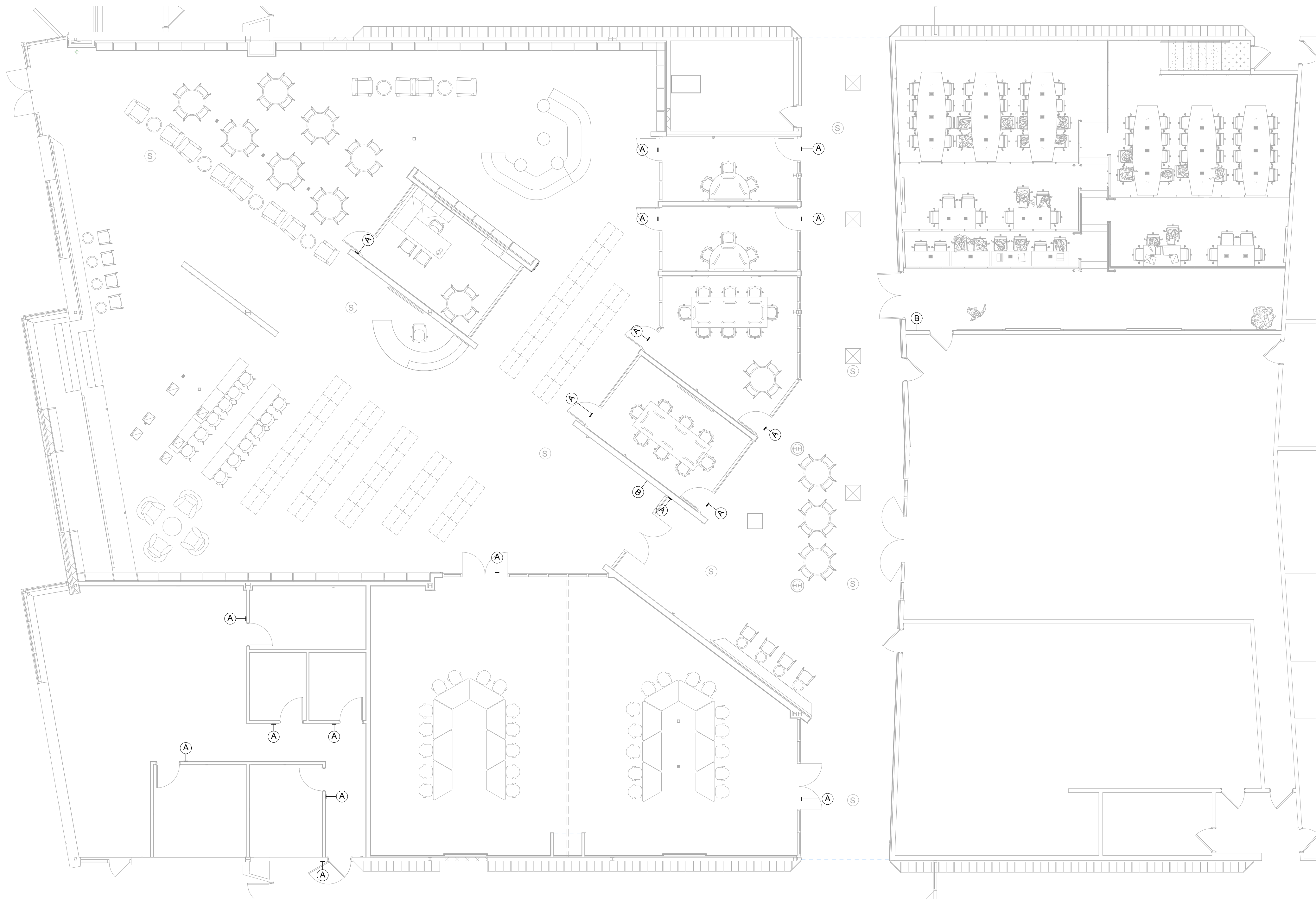
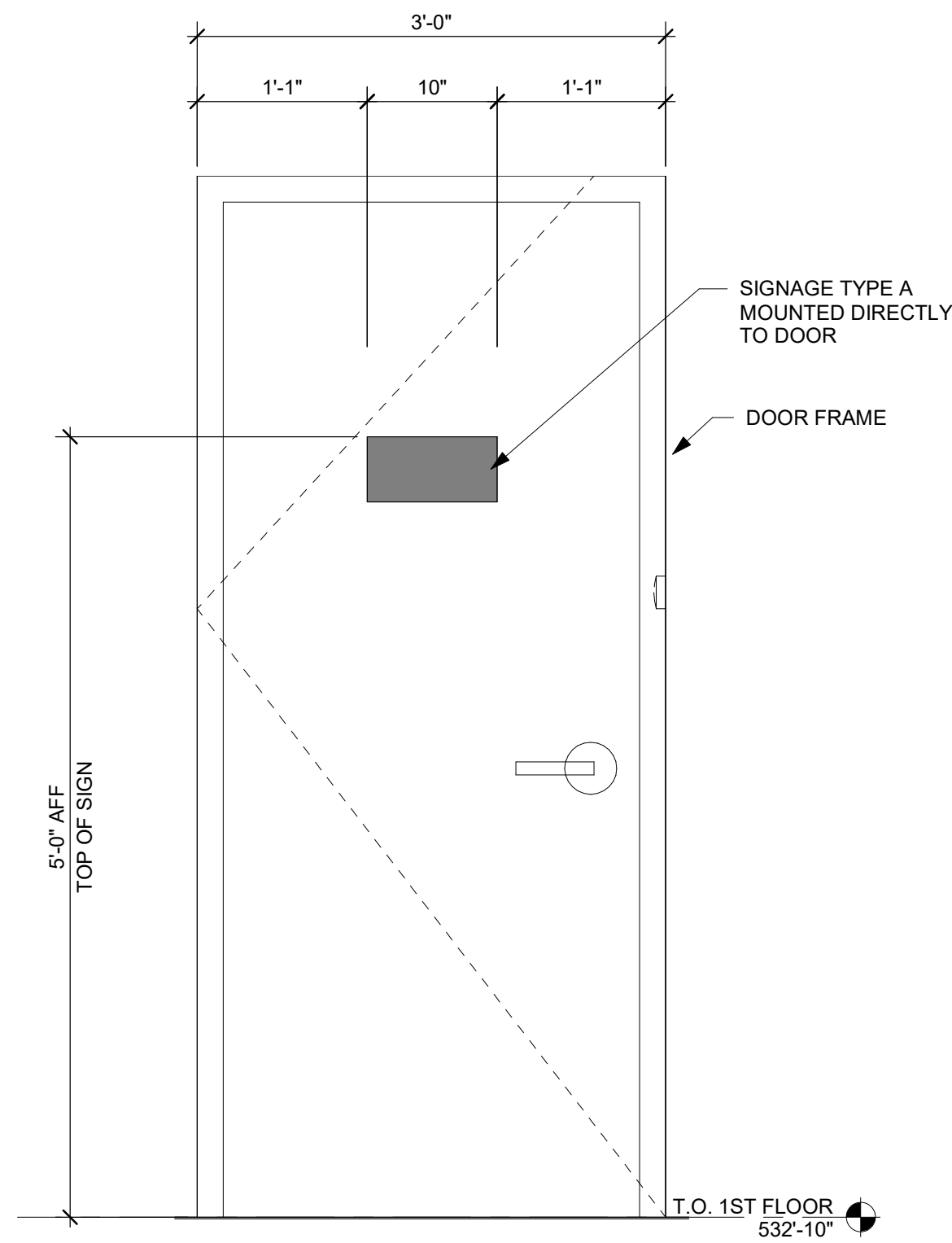
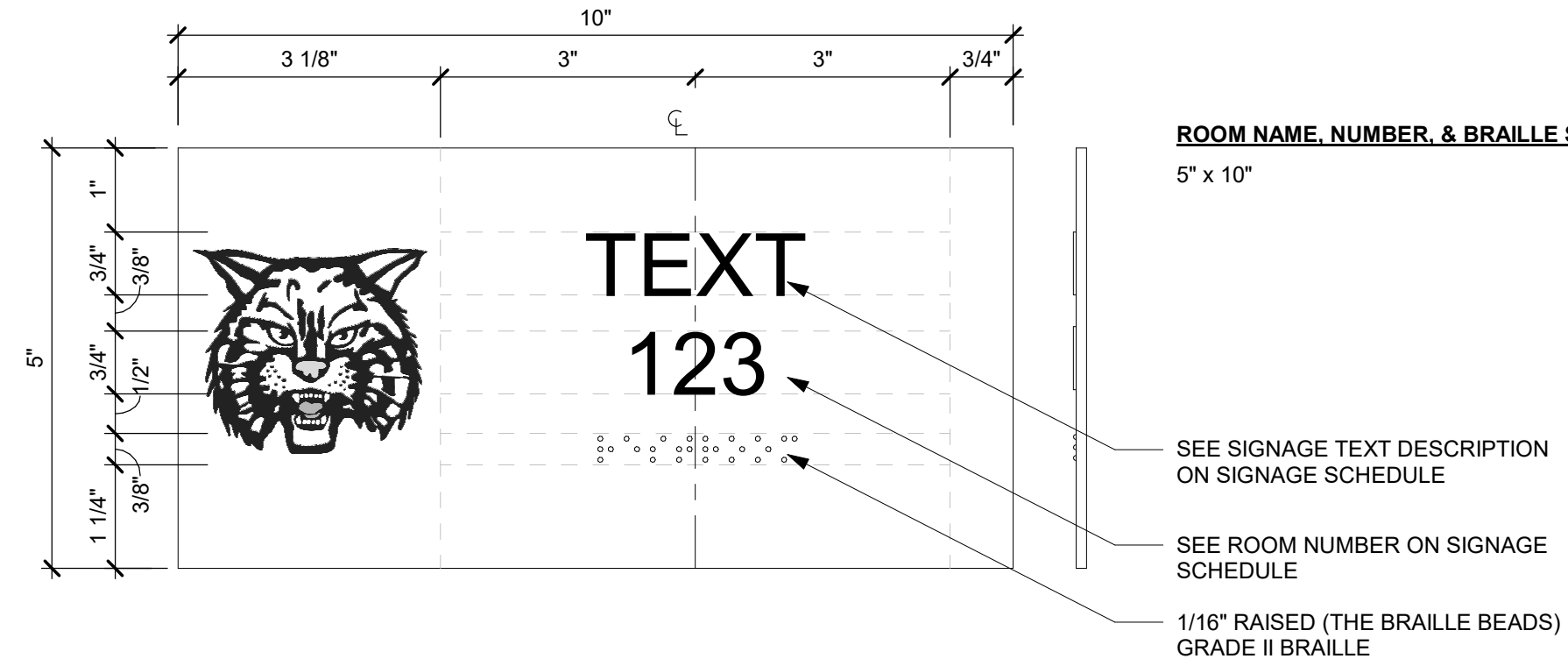
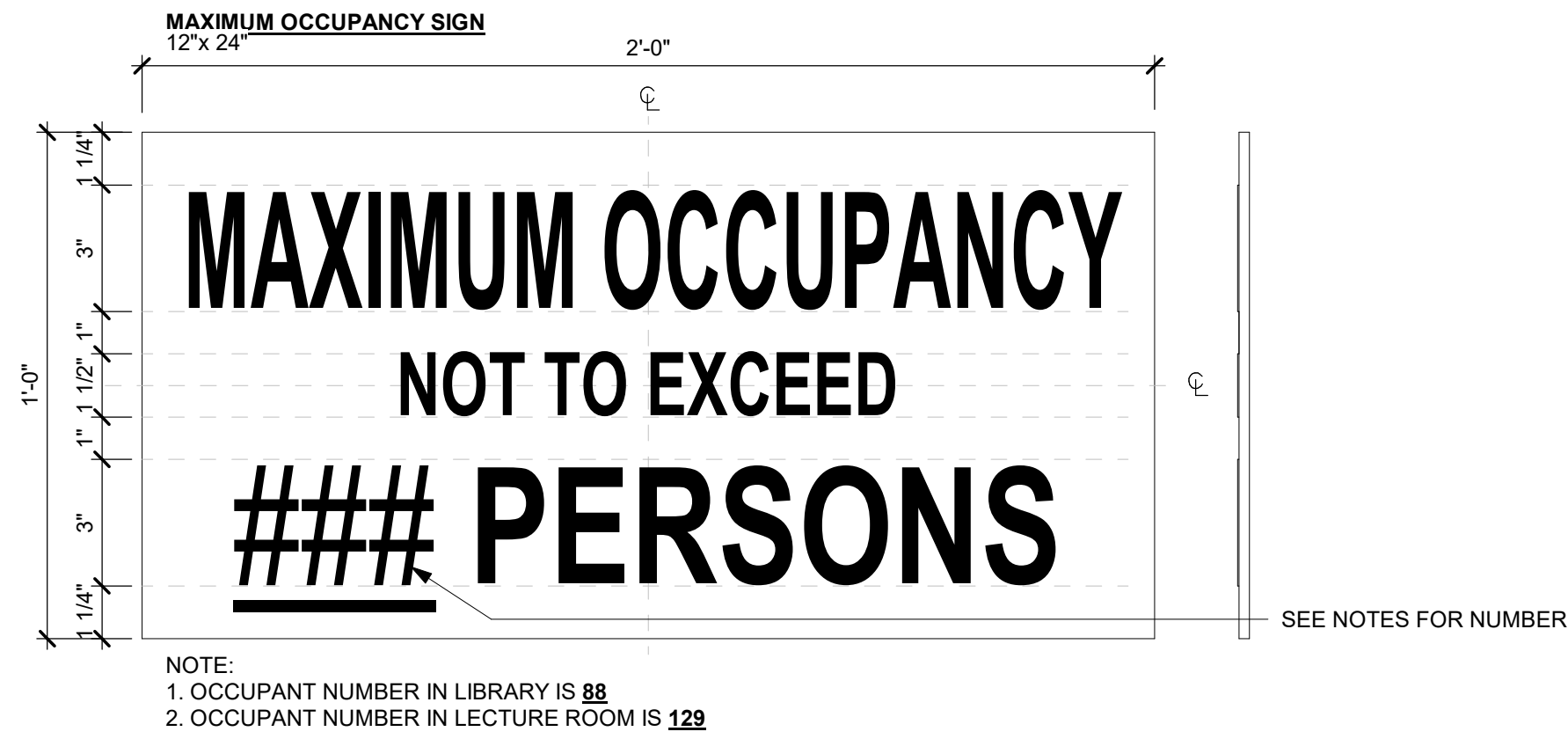








SIGNAGE SCHEDULE				
ROOM#	SIGNAGE LOCATION	TEXT DESCRIPTION	TYPE	QUANTITY
100	FSP SUITE	FLEXIBLE SUPPORT PROGRAM	A	1
100C	FSP ADMIN	ADMIN	A	1
100D	FSP CR	CLASSROOM	A	1
100E	FSP CR	CLASSROOM	A	1
100F	FSP OFF	OFFICE	A	1
100G	FSP OFF	OFFICE	A	1
200	LECTURE ROOM	N/A	B	1
L01	LIBRARY	LIBRARY	A & B	1
L02	LIBRARIAN OFFICE	OFFICE	A	1
L03	MEETING ROOM	MEETING ROOM	A	2
L04	MEETING ROOM	MEETING ROOM	A	2
L05	MEETING ROOM	MEETING ROOM	A	2
L06	MEETING ROOM	MEETING ROOM	A	2
L07	CONFERENCE ROOM	CONFERENCE ROOM	A	2



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## Structural Engineer

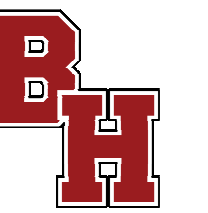
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## Environmental Engineer

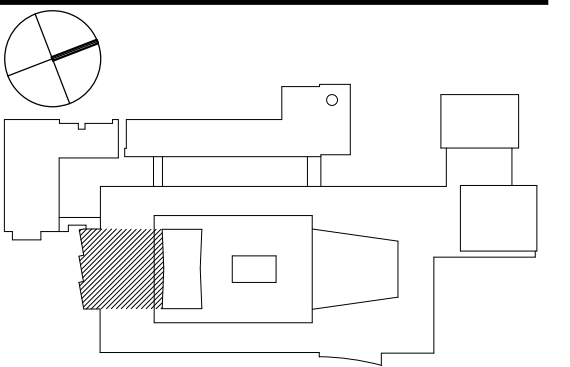
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## KEY PLAN



## REVISIONS

[illegible]

**ISSUED:** BID SET

**DATE:** JUNE 25, 2024

**SCALE:** As indicated

**SHEET NAME:**  
**SIGNAGE SCHEDULE &  
DETAILS**

SHEET NUMBER:

A-851

DRAWN BY: Hannah  
CHECKED BY:  
Tianyu Zhang(gj\Documents\2209001.00 Byam Hill Learning Commons\_R22\_tzhang\FSD.M

6/24/2024 3:44:02 PM

PROJECT NUMBER: 2209001.00

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TAMARA ZHANG  
6/24/2024 3:44:31 PM



LEARNING COMMON ENTRANCE AREA



LEARNING COMMON READING AREA



LEARNING COMMON CORRIDOR



LEARNING COMMON RECEPTION AREA



LEARNING COMMON READING AREA



LEARNING COMMON CPMference Room

NOTE: SHOWN RENDERINGS ARE FOR REFERENCE ONLY.SEE DRAWINGS FOR ACTUAL DESIGN AND FINISHES.

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**KEY PLAN**

**REVISIONS**

No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:**  
**SHEET NAME:** RENDERINGS  
**SHEET NUMBER:** **R-100**

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1 REMOVE EXISTING DUCT MOUNTED HEATING COIL.

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# MD-101

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DRAWN BY: Author  
CHECKED BY:  
Checked at N Desai's Revit Local Files 22-188 BYRAM HILLS (LOCAL) ahp2NF5.m





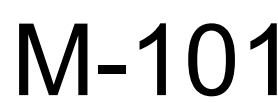
1. REFERENCE "AIR OUTLET SCHEDULE" ON M-801 FOR ALL DIFFUSER & GRILLE SELECTIONS.
2. REBALANCE ALL RTU'S TO AIRFLOW SHOWN ON 1/M-801.
3. BALANCE DIFFUSERS TO CFM'S SHOWN ON DETAIL 1/M-101 OR PROPORTIONAL TO THE MAXIMUM CFM AVAILABLE FROM THE EXISTING AIR HANDLERS IF LESS THAN SPECIFIED.
4. COORDINATE DUCT ROUTING WITH OPEN WE JOIST LOCATION FINAL DIFFUSER DUCT CONNECTION MAY NEED TO BE ROUTED THROUGH OPEN WE JOIST.
5. CONTRACTOR SHALL PROVIDE VOLUME DAMPERS TO ALL DIFFUSERS TO ALL DIFFUSERS. REFERENCE DETAIL 8/M-701 & 1/M-702.

- 1 PROVIDE NEW DUCT MOUNTED HOT WATER COIL. REFERENCE "HOT WATER COIL SCHEDULE" ON M-801 FOR COIL SELECTION.
- 2 PROVIDE NEW FAN COIL UNITS. REFERENCE SPLIT SYSTEM SCHEDULE ON M-801.

①

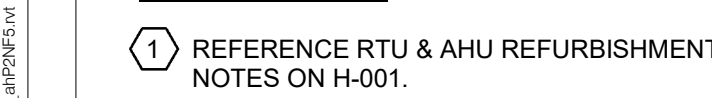
$$1/8" = 1'-0"$$

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$$1/8" = 1'-0"$$

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# M-102

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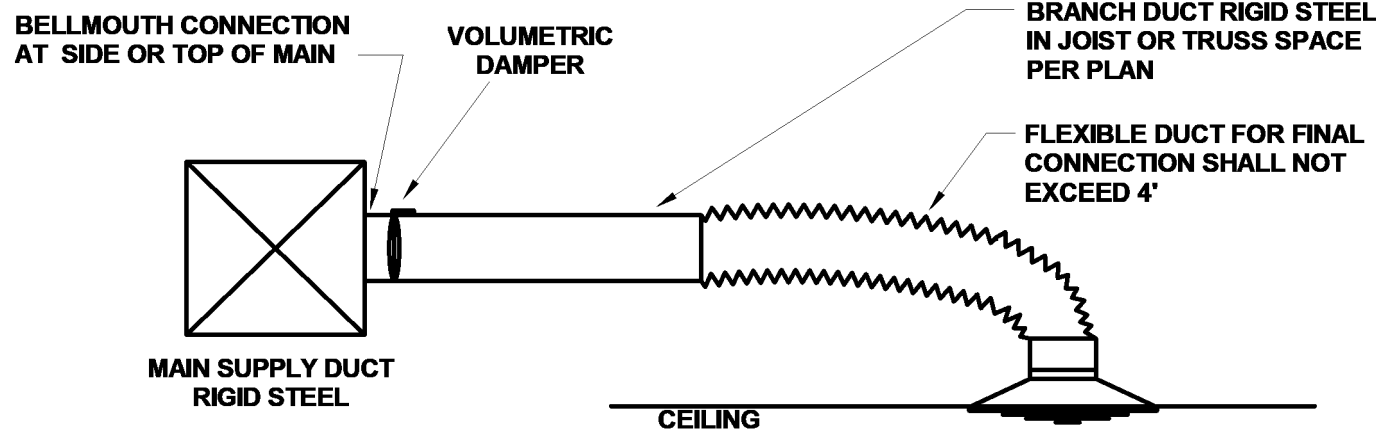
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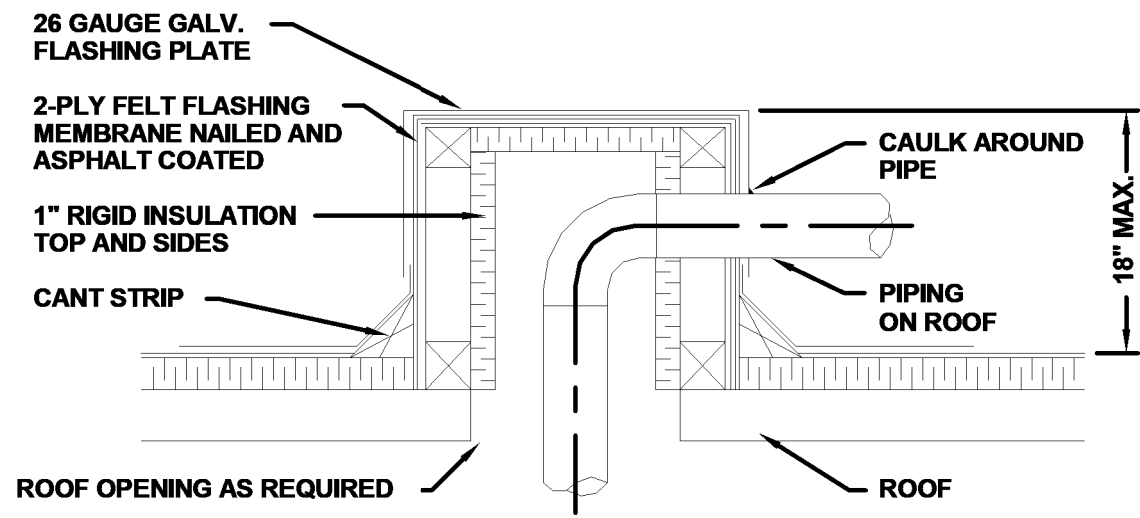
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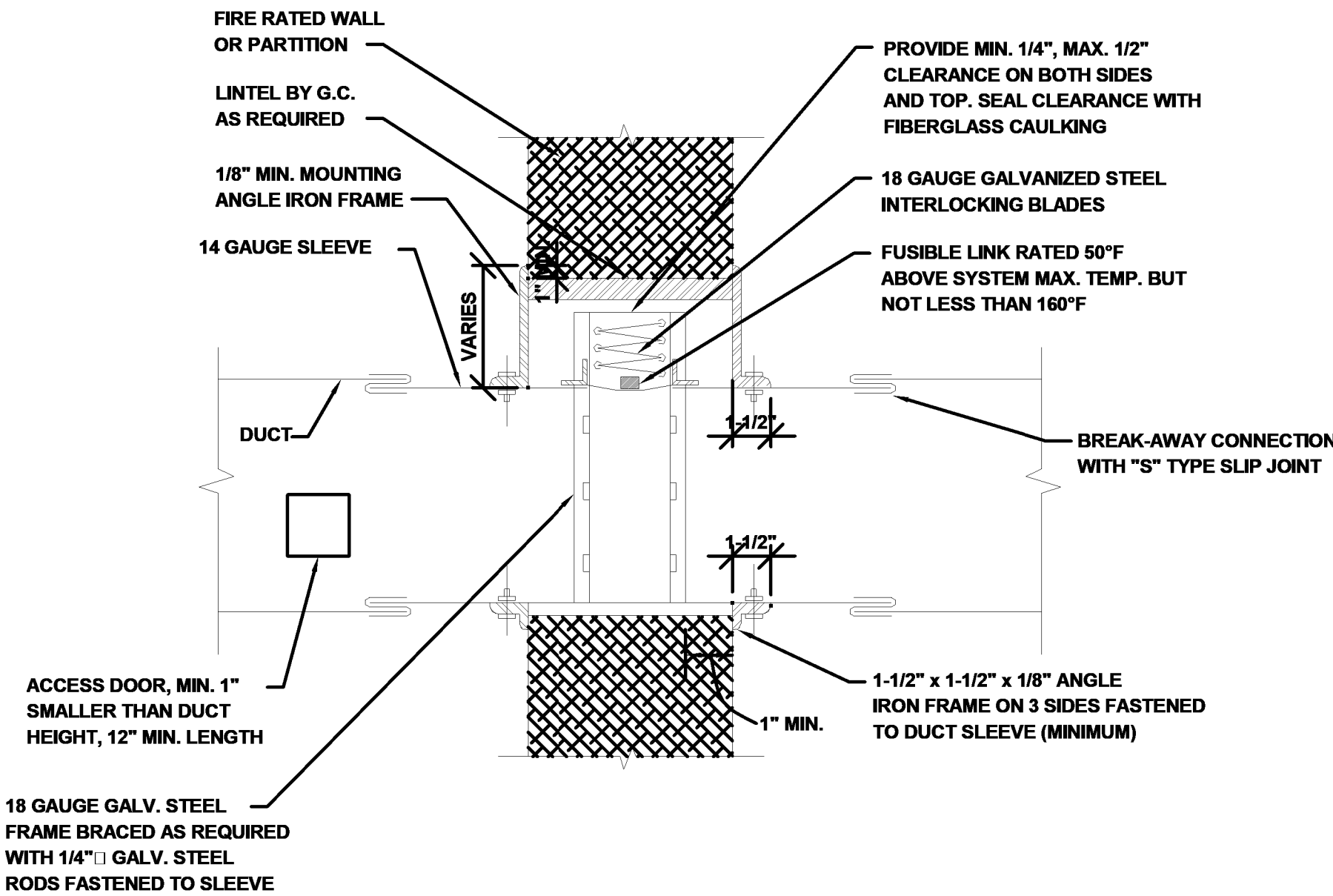
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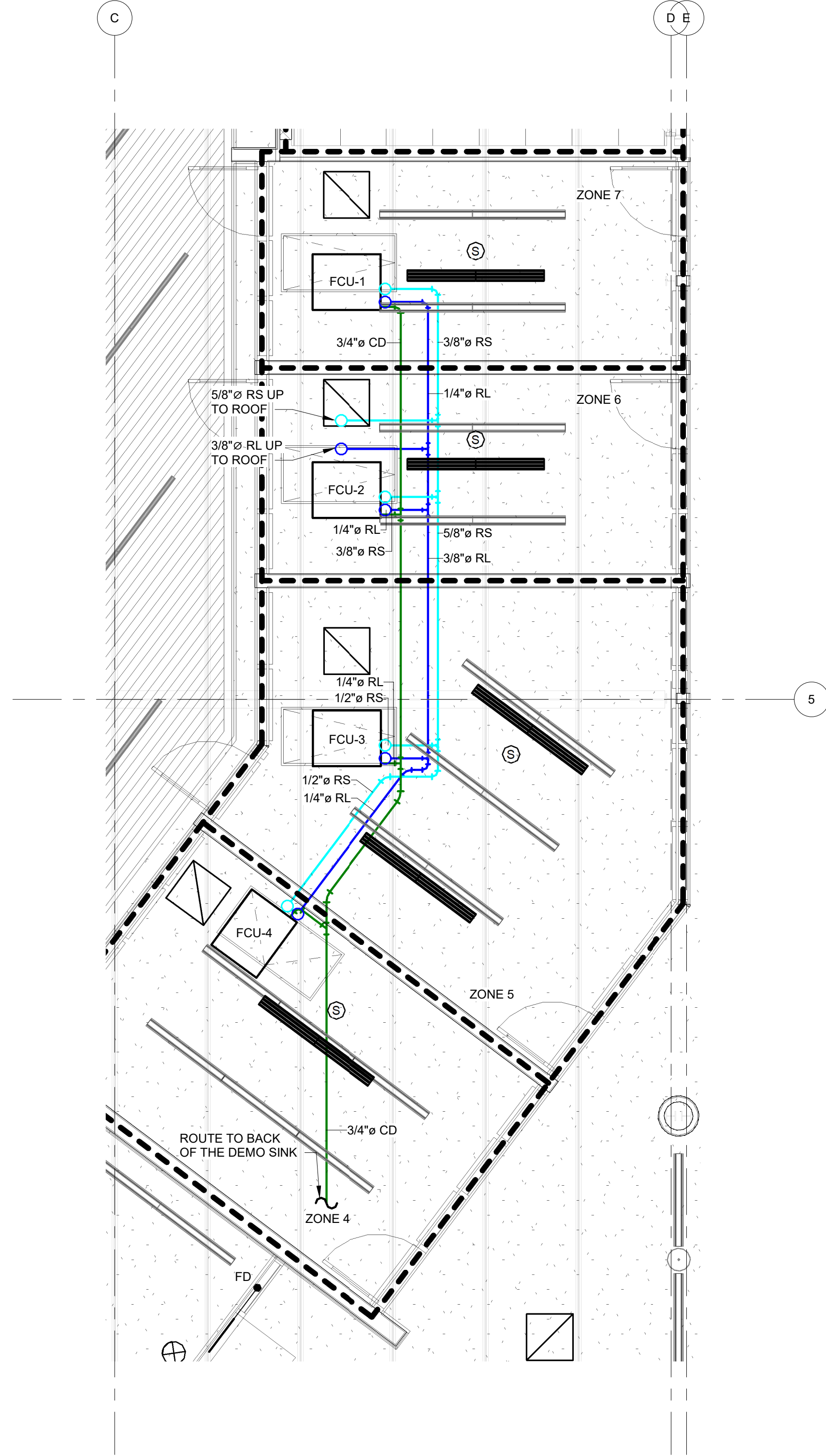
1 DUCT DIFFUSER DETAIL  
N.T.S.



2 PIPING THROUGH ROOF  
N.T.S.



3 SHUTTER TYPE FIRE DAMPER FOR  
FOR LOW PRESSURE SYSTEMS DETAIL  
N.T.S.



4 MECHANICAL REFRIGERENT PIPING BLOWUP VIEW  
1/4" = 1'-0"

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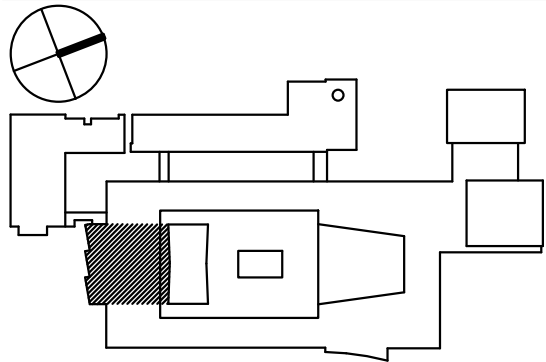
LICENSE EXPIRATION DATE - 9/25



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RENOVATION**  
SED# 66-12-01-06-0-007-01X

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KEY PLAN



REVISIONS

No.	Description	Date

**ISSUED:** BID SET

**DATE:** JUNE 25, 2024

**SCALE:** As indicated

**SHEET NAME:**  
MECHANICAL DETAILS

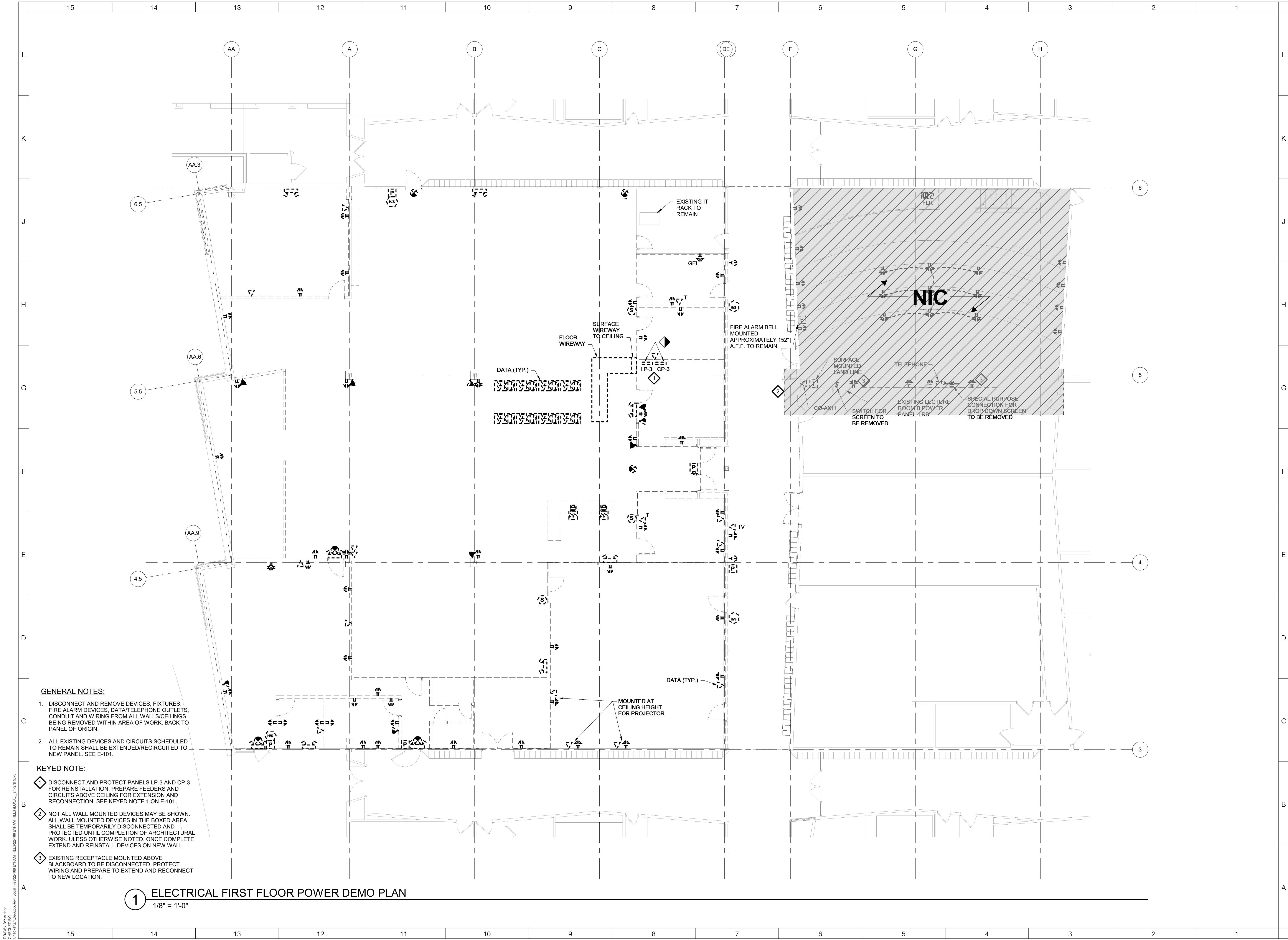
**SHEET NUMBER:**

**M-702**









**GENERAL NOTES:**

1. DISCONNECT AND REMOVE DEVICES, FIXTURES, FIRE ALARM DEVICES, DATA/TELEPHONE OUTLETS, CONDUIT AND WIRING FROM ALL WALLS/CEILINGS BEING REMOVED WITHIN AREA OF WORK. BACK TO PANEL OF ORIGIN.
2. ALL EXISTING DEVICES AND CIRCUITS SCHEDULED TO REMAIN SHALL BE EXTENDED/RE-CIRCUITED TO NEW PANEL. SEE E-101.

**KEYED NOTE:**

- 1. DISCONNECT AND PROTECT PANELS LP-3 AND CP-3 FOR REINSTALLATION. PREPARE FEEDERS AND CIRCUITS ABOVE CEILING FOR EXTENSION AND RECONNECTION. SEE KEYED NOTE 1 ON E-101.
- 2. NOT ALL WALL MOUNTED DEVICES MAY BE SHOWN. ALL WALL MOUNTED DEVICES IN THE BOXED AREA SHALL BE TEMPORARILY DISCONNECTED AND PROTECTED UNTIL COMPLETION OF ARCHITECTURAL WORK. UNLESS OTHERWISE NOTED, ONCE COMPLETE EXTEND AND REINSTALL DEVICES ON NEW WALL.
- 3. EXISTING RECEPTACLE MOUNTED ABOVE BLACKBOARD TO BE DISCONNECTED. PROTECT WIRING AND PREPARE TO EXTEND AND RECONNECT TO NEW LOCATION.

**1 ELECTRICAL FIRST FLOOR POWER DEMO PLAN**  
1/8" = 1'-0"

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**LICENSE EXPIRATION DATE - 9/25**

**BYRAM HILLS HIGH SCHOOL LEARNING COMMONS RENOVATION**  
SED# 66-12-01-06-0-007-01X

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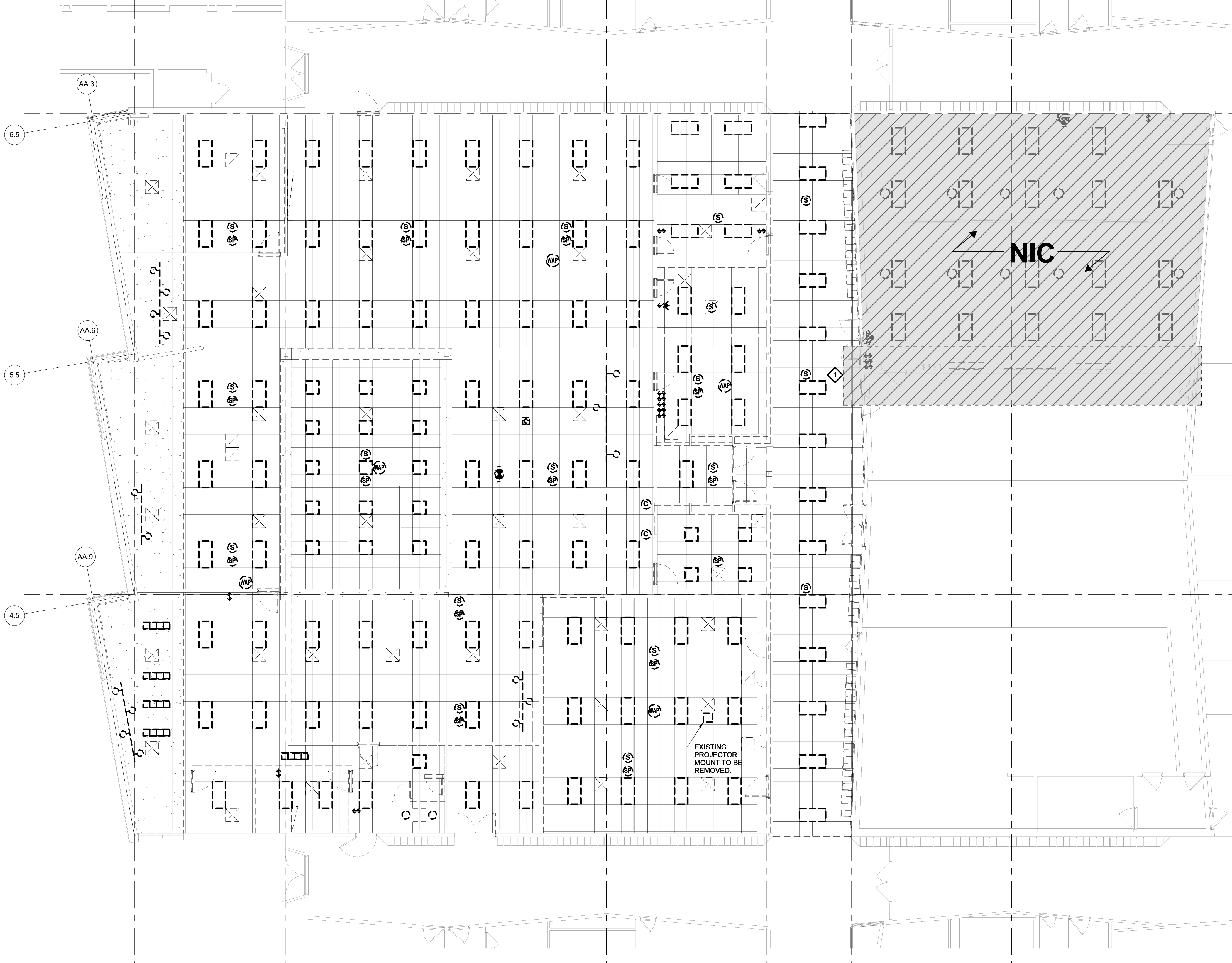
**KEY PLAN**

**REVISIONS**

No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** As indicated  
**SHEET NAME:** ELECTRICAL FIRST FLOOR POWER DEMO PLAN  
**SHEET NUMBER:** ED-101





1 ELECT  
1/8" = 1'-0"

1. DISCONNECT AND REMOVE DEVICES, FIXTURES, FIRE ALARM DEVICES, DATA/TELEPHONE OUTLETS, CONDUIT AND WIRING FROM ALL WALLS/CEILING/BEING REMOVED WITHIN AREA OF WORK. BACK TO PANEL OF ORIGIN.
2. ALL EXISTING DEVICES AND CIRCUITS SCHEDULED TO REMAIN SHALL BE EXTENDED/RE-CIRCUITED TO NEW PANEL. SEE E-101.
3. DISCONNECT AND PROTECT, SPEAKERS, WAP, AND CAMERAS AND ASSOCIATED WIRING. PREPARE WIRING FOR EXTENSIONS TO NEW LOCATIONS AS NECESSARY.

1 NOT ALL WALL MOUNTED DEVICES MAY BE SHOWN. ALL WALL MOUNTED DEVICES IN THE BOXED AREA SHALL BE TEMPORARILY DISCONNECTED AND PROTECTED UNTIL COMPLETION OF ARCHITECTURAL WORK. ONCE COMPLETE EXTEND AND REINSTALL DEVICES ON NEW WALL.

ED-201

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DANIEL FELLEUS  
LICENSED PROFESSIONAL ENGINEER  
0688373  
9/2025

BYRAM HILLS HIGH  
SCHOOL  
LEARNING COMMONS  
RENOVATION  
SED# 66-12-01-06-0-007-01X

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**KEY PLAN**

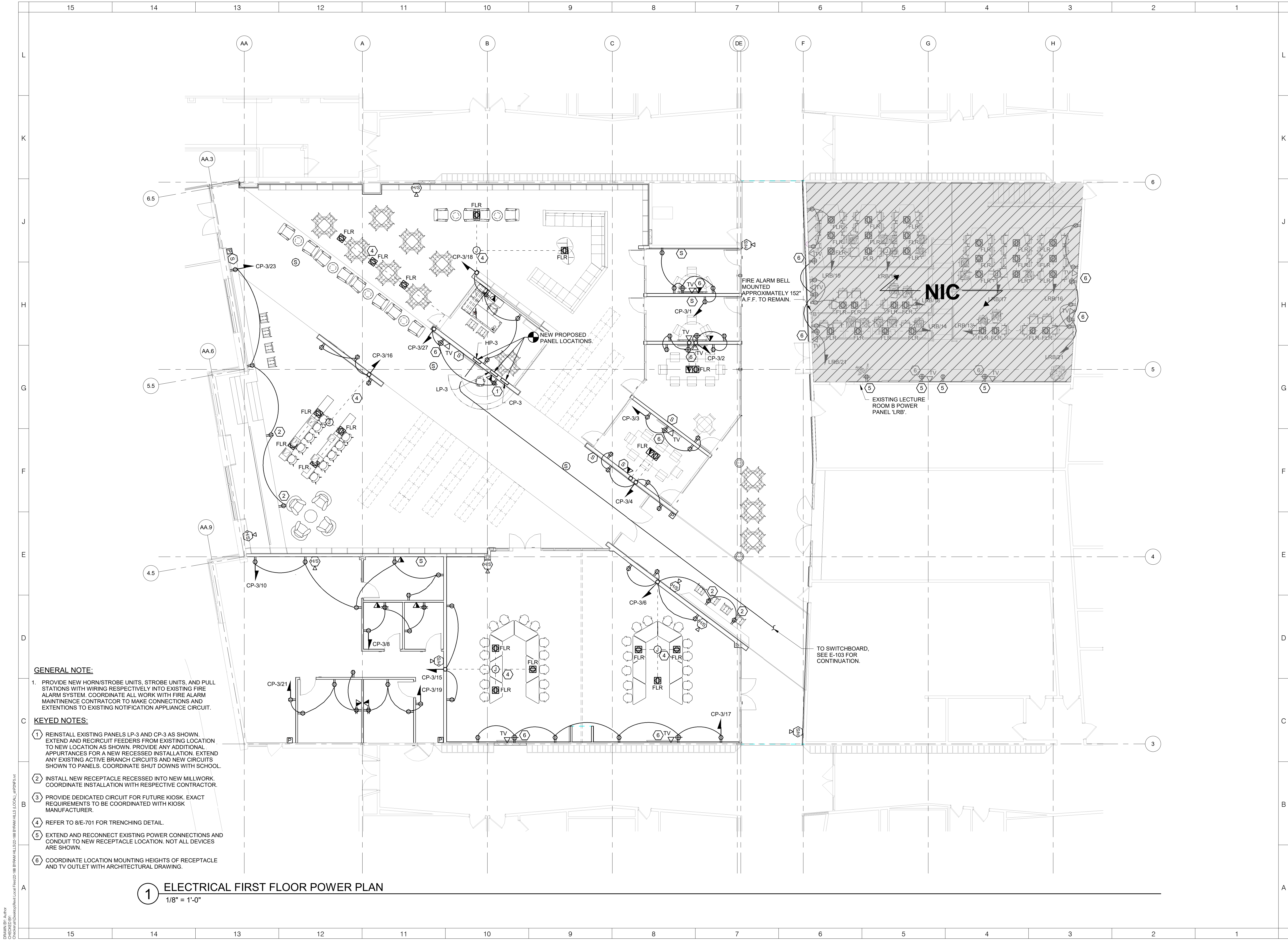


The key plan is a simplified schematic of the entire site. It shows the main building complex, the parking lot, and the surrounding streets. A rectangular area on the left side of the main building complex is shaded with diagonal lines, indicating the location of the detailed plan shown on the next page. A north arrow is located in the top left corner of the key plan.

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<b>ISSUED:</b>	BID SET
<b>DATE:</b>	JUNE 25, 2024
<b>SCALE:</b>	As indicated
<b>SHEET NAME:</b>	ELECTRICAL SYMBOLS, ABBREVIATIONS & NOTES
<b>SHEET NUMBER:</b>	





**GENERAL NOTE:**

1. PROVIDE NEW HORN/STROBE UNITS, STROBE UNITS, AND PULL STATIONS WITH WIRING RESPECTIVELY INTO EXISTING FIRE ALARM SYSTEM. COORDINATE ALL WORK WITH FIRE ALARM MAINTENANCE CONTRACTOR TO MAKE CONNECTIONS AND EXTENSIONS TO EXISTING NOTIFICATION APPLIANCE CIRCUIT.

**KEYED NOTES:**

- 1 REINSTALL EXISTING PANELS LP-3 AND CP-3 AS SHOWN. EXTEND AND RECIRCUIT FEEDERS FROM EXISTING LOCATION TO NEW LOCATION AS SHOWN. PROVIDE ANY ADDITIONAL APPURTANCES FOR A NEW RECESSED INSTALLATION. EXTEND ANY EXISTING ACTIVE BRANCH CIRCUITS AND NEW CIRCUITS SHOWN TO PANELS. COORDINATE SHUT DOWNS WITH SCHOOL.
- 2 INSTALL NEW RECEPTACLE RECESSED INTO NEW MILLWORK. COORDINATE INSTALLATION WITH RESPECTIVE CONTRACTOR.
- 3 PROVIDE DEDICATED CIRCUIT FOR FUTURE KIOSK. EXACT REQUIREMENTS TO BE COORDINATED WITH KIOSK MANUFACTURER.
- 4 REFER TO 8/E-701 FOR TRENCHING DETAIL.
- 5 EXTEND AND RECONNECT EXISTING POWER CONNECTIONS AND CONDUIT TO NEW RECEPTACLE LOCATION. NOT ALL DEVICES ARE SHOWN.
- 6 COORDINATE LOCATION MOUNTING HEIGHTS OF RECEPTACLE AND TV OUTLET WITH ARCHITECTURAL DRAWING.

**1 ELECTRICAL FIRST FLOOR POWER PLAN**  
1/8" = 1'-0"

**ARCHITECT**  
  
KSQ Architects PC dba KSQ Design  
215 West 40th Street, 15th Floor  
New York, NY 10018  
646.435.0660 office  
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www.byramhills.org

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**Abatement Engineer**  
LANGAN  
One North Broadway, Suite 910  
White Plains, NY 10601  
914.323.7400 office  
www.langan.com

**LICENSE EXPIRATION DATE - 9/25**  
  
**BYRAM HILLS HIGH SCHOOL  
LEARNING COMMONS  
RENOVATION**  
SED# 66-12-01-06-0-007-01X  
  
12 Tripp Ln,  
Armonk, NY 10504

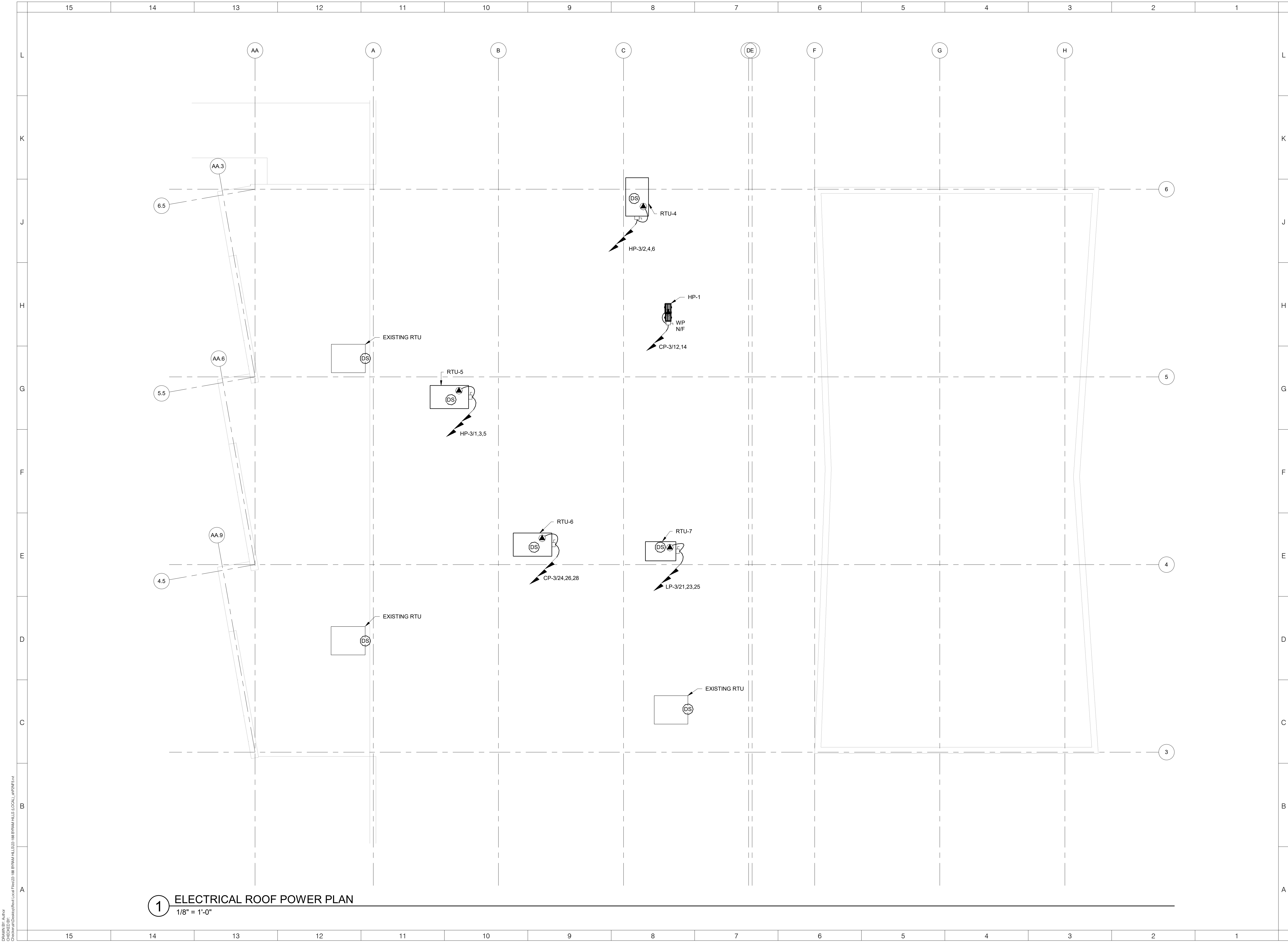
**KEY PLAN**

**REVISIONS**

No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** As indicated  
**SHEET NAME:** ELECTRICAL FIRST FLOOR POWER PLAN  
**SHEET NUMBER:**  
**E-101**





**1 ELECTRICAL ROOF POWER PLAN**  
1/8" = 1'-0"

DESIGN BY: Author  
Checked by: Daniel Felleger  
6/25/2024 8:29:41 AM

**ARCHITECT**  
  
L  
K  
J  
H  
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F  
E  
D  
C  
B  
A

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LICENSE EXPIRATION DATE - 9/25

**BYRAM HILLS HIGH SCHOOL**  
**LEARNING COMMONS RENOVATION**  
SED# 66-12-01-06-0-007-01X

12 Tripp Ln,  
Armonk, NY 10504

**KEY PLAN**

**REVISIONS**

No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** As indicated  
**SHEET NAME:** ELECTRICAL ROOF POWER PLAN  
**SHEET NUMBER:** **E-102**

**BIDDING/REVIEW ISSUE**









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JOB NAME: Byram Hills High School

RATING: 208/120V, 4W, 3PH, 225A

JOB NO.: 22

LOCATION: LIBRARY

Panel CP-3

(MODIFIED)

NO.	DESCRIPTION	POLE	LOAD KVA	BKR	BRANCH CIRCUIT			BRANCH CIRCUIT	BKR	LOAD KVA	POLE
					A	B	C				
1	Meeting RM Recp. #1	1	1.5	20	2#12 & 1#12EG IN 3/4"	3.3	2.4	2#12 & 1#12EG IN 3/4"	20	1.8	1
3	Meeting RM Recp. #3	1	1.5	20	2#12 & 1#12EG IN 3/4"			2#12 & 1#12EG IN 3/4"	20	1.8	1
5	Comp Lab Floor Recpt.	1	1.2	20	EXISTING CONDUCTORS		3.3	2#12 & 1#12EG IN 3/4"	20	2.1	1
7	KIDSG	1	1.8	20	2#12 & 1#12EG IN 3/4"	3.6	3.0	2#12 & 1#12EG IN 3/4"	20	1.8	1
9	Main Desk Recpt.	1	1.2	20	EXISTING CONDUCTORS			2#12 & 1#12EG IN 3/4"	20	1.8	1
11	Main Desk Recpt.	1	1.2	20	EXISTING CONDUCTORS		5.5	2#8 & 1#10EG IN 3/4"	50	4.3	1
13	Office Heat Rec.	1	1.2	20	EXISTING CONDUCTORS						
15	Conference RM FLR Recp.	1	1.5	20	2#12 & 1#12EG IN 3/4"	3.0		2#12 & 1#12EG IN 3/4"	20	2.1	1
17	Conference RM Recp.	1	1.8	20	2#12 & 1#12EG IN 3/4"	3.6	3.6	2#12 & 1#12EG IN 3/4"	20	1.8	1
19	FSP Office 100F Recp. + Suite	1	1.5	20	2#12 & 1#12EG IN 3/4"	1.5	1.5	---	20	0.0	1
21	FSP Office 100F Recp. + Suite	1	1.5	20	2#12 & 1#12EG IN 3/4"			---	20	0.0	1
23	Milkroom Recpt.	1	1.2	20	2#12 & 1#12EG IN 3/4"	12.3	10.7	4#4 & 1#8EG IN 1-1/4"	80	9.5	3
25	FLR Rec + Reception Recpt.	1	1.8	20	2#12 & 1#12EG IN 3/4"	11.3	0.0				
27	SPARE	1	0.0	20	---	---	---	---		0.0	1
29	SPARE	1	0.0	20	---	---	---	---		0.0	1
31		1	0.0	20	---	---	---	---		0.0	1
33		1	0.0	20	---	---	---	---		0.0	1
35		1	0.0	20	---	---	---	---		0.0	1
37	SPACE	1	0.0	20	---	---	---	---		0.0	1
39		1	0.0	20	---	---	---	---		0.0	1
41		1	0.0	20	---	---	---	---		0.0	1
43		1	0.0	20	---	---	---	---		0.0	1
45		1	0.0	20	---	---	---	---		0.0	1
47		1	0.0	20	---	---	---	---		0.0	1
49		1	0.0	20	---	---	---	---		0.0	1
51		1	0.0	20	---	---	---	---		0.0	1
53		1	0.0	20	---	---	---	---		0.0	1
55		1	0.0	20	---	---	---	---		0.0	1
57		1	0.0	20	---	---	---	---		0.0	1
59		1	0.0	20	---	---	---	---		0.0	1
61		1	0.0	20	---	---	---	---		0.0	1
63		1	0.0	20	---	---	---	---		0.0	1
65		1	0.0	20	---	---	---	---		0.0	1
67		1	0.0	20	---	---	---	---		0.0	1
69		1	0.0	20	---	---	---	---		0.0	1
71		1	0.0	20	---	---	---	---		0.0	1
73		1	0.0	20	---	---	---	---		0.0	1
75		1	0.0	20	---	---	---	---		0.0	1
					TOTAL (PHASE)			26.2	21.8	23.1	

TOTAL CONN.: 71.1 KVA

TOT. CONN. + SPARE: 71.1 KVA

DEMAND: 71.1 KVA

DEMAND: 107.6 AMPS

SPARE CAPACITY

DEMAND FACTOR

0 %

100 %

POINTING: NEMA 1

MOUNTING: FLUSH

MAIN CIRCUIT BREAKER: 225A

INTERRUPTING RATING: 35KA SYM.

1. ALL BUSING TO BE COPPER

2. BOLT ON BREAKERS ONLY

3. CONTRACTOR IS RESPONSIBLE TO COORDINATE THE SHORT CIRCUIT RATING AT THE UTILITY TRANSFORMER AND NOTIFY THE ENGINEER PRIOR TO PURCHASING ANY EQUIPMENT.

4. ALL WIRE SIZES ARE BASED ON 75 DEGREE C

5. EXTENDING AND REDUCING EXISTING CIRCUITS TO REMAIN FROM DEMO LOCATION TO NEW LOCATION.



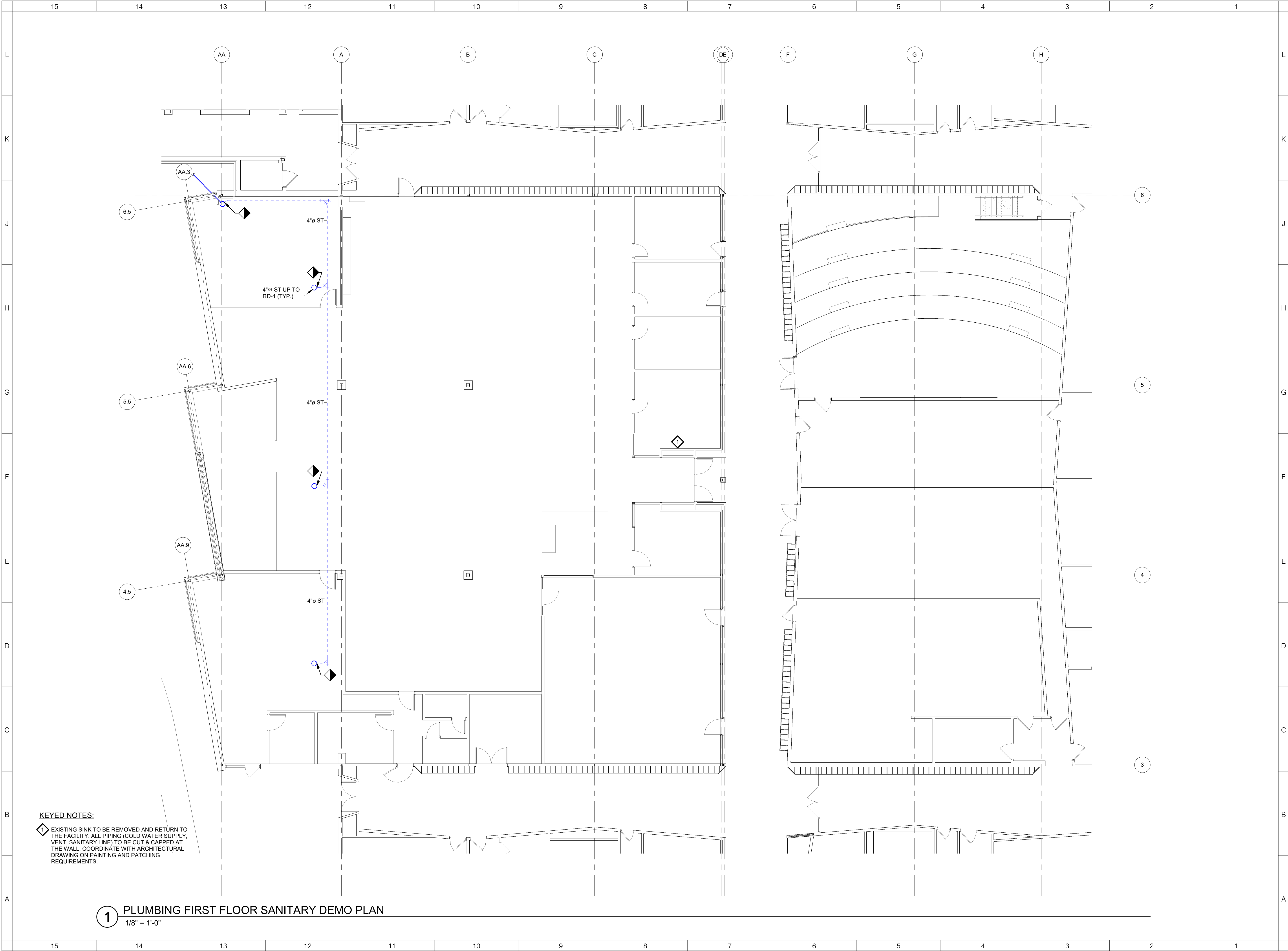
	15	14	13	12	11	10	9	8	7	6	5	4	3	2	1	
L																
K																
J																
H																
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F																
E																
D																
C																
B																
A																

JOB NAME: Byram Hills High School													JOB NO. 22	
RATING: 240/120V 3W 1PH 225A													LOCATION: TECH OFFICE	
Panel LRB (EXISTING)														
NO	DESCRIPTION	POLE	LOAD KVA	BKR.	BRANCH CIRCUIT	CIRCUIT			BRANCH CIRCUIT	BKR.	LOAD KVA	POLE	DESCRIPTION	CKT NO
						A	B	C						
1	CEILING LIGHTS	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	LECTURE REC	2
3	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD (OFF)	4
5	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	6
7	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD (OFF)	8
9	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	10
11	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	12
13		1	0.0	20	---	0.0	0.0	0.0	---	20	0.0	1		14
15		1	0.0	20	---				---	20	0.0	1		16
17		1	0.0	20	---			0.0	---	20	0.0	1		18
19	SPACE	1	0.0	20	---	0.0	0.0	0.0	---	20	0.0	1	SPACE	20
21		1	0.0	20	---			0.0	---	20	0.0	1		22
23		1	0.0	20	---				---	20	0.0	1		24
25	EXISTING LOAD	1	0.0	30	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	26
27	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	28
29	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	30
31	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	32
33	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	34
35	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	36
37	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD (OFF)	38
39	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	---	20	0.0	1		40
41	EXISTING LOAD (OFF)	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	---	20	0.0	1	SPACE	42
PANEL TYPE: NEMA 1						TOTAL (PHASE):			SPARE CAPACITY			0 %		
MOUNTING: FLUSH						TOTAL CONN.: 0.0 KVA			DEMAND FACTOR			100 %		
MAIN LUGS ONLY						TOT. CONN. + SPARE: 0.0 KVA								
						DEMAND: 0.0 KVA								
						DEMAND: 0.0 AMPS								
NOTES														
1. ALL BUSING TO BE COPPER														
2. BOLT ON BREAKERS ONLY														
3. CONTRACTOR IS RESPONSIBLE TO COORDINATE THE SHORT CIRCUIT RATING AT THE UTILITY TRANSFORMER AND NOTIFY THE ENGINEER PRIOR TO PURCHASING ANY EQUIPMENT.														
4. ALL WIRE SIZES ARE BASED ON 75 DEGREE WIRE														
5. EXTEND AND RECONNECT EXISTING CIRCUITS TO REMAIN FROM DEMO LOCATION TO NEW LOCATION.														

JOB NAME: BYRAN HILLS HIGH SCHOOL												JOB NO.: 22			
RATING: 240/120V, 3W, 1PH, 225A												LOCATION: TECH OFFICE			
Panel LRB (MODIFIED)															
NO.	DESCRIPTION	POLE	LOAD KVA	BKR.	BRANCH CIRCUIT	C			BRANCH CIRCUIT	BKR.	LOAD KVA	POLE	DESCRIPTION	CKT NO.	
						A	B	C							
1	CEILING LIGHTS	1	0.0	20	EXISTING CONDUCTORS	0.0	0.0	0.0	EXISTING CONDUCTORS	20	0.0	1	LECTURE REC	2	
3	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS				EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD (OFF)	4	
5	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS			0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	6	
7	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0			EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD (OFF)	8	
9	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS		0.0		EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	10	
11	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS			0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	12	
13	LECTURE HALL FLR RECPT 1	1	2.2	20	2#12 & 1#12EG IN 3/4"	4.0			2#12 & 1#12EG IN 3/4"	20	1.8	1	LECTURE HALL FLR RECPT 2	14	
15	LECTURE HALL FLR RECPT 3	1	2.2	20	2#12 & 1#12EG IN 3/4"		4.0		2#12 & 1#12EG IN 3/4"	20	1.8	1	LECTURE HALL FLR RECPT 4	16	
17	LECTURE HALL FLR RECPT 5	1	2.2	20	2#12 & 1#12EG IN 3/4"			4.4	2#12 & 1#12EG IN 3/4"	20	2.2	1	LECTURE HALL FLR RECPT 6	18	
19	LECTURE HALL FLR RECPT 7	1	1.8	20	2#12 & 1#12EG IN 3/4"	3.1			2#12 & 1#12EG IN 3/4"	20	1.3	1	LECTURE HALL LIGS	20	
21	LECTURE HALL TV RECPT	1	0.9	20	2#12 & 1#12EG IN 3/4"		0.9		---		20	0.0	1	SPARE	22
23	SPARE	1	0.0	20							20	0.0	1	SPARE	24
25	EXISTING LOAD	1	0.0	30	EXISTING CONDUCTORS	0.0			EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	26	
27	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS		0.0		EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	28	
29	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS			0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	30	
31	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0			EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	32	
33	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS		0.0		EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	34	
35	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS			0.0	EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD	36	
37	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS	0.0			EXISTING CONDUCTORS	20	0.0	1	EXISTING LOAD (OFF)	38	
39	EXISTING LOAD	1	0.0	20	EXISTING CONDUCTORS		0.0		---		20	0.0	1	SPACE	40
41	EXISTING LOAD (OFF)	1	0.0	20	EXISTING CONDUCTORS				---		20	0.0	1	SPACE	42
TOTAL (PHASE):						7.1	4.9	4.4							
PANEL TYPE: NEMA 1						TOTAL CONN.: 16.3 KVA			SPARE CAPACITY			0 %			
MOUNTING: FLUSH						TOT. CONN. + SPARE: 16.3 KVA			DEMAND FACTOR			100 %			
MAIN LUGS ONLY						DEMAND: 16.3 KVA									
						DEMAND: 39.3 AMPS									
NOTES															
1. ALL BUSING TO BE COPPER															
2. BOLT ON BREAKERS ONLY															
3. CONTRACTOR IS RESPONSIBLE TO COORDINATE THE SHORT CIRCUIT RATING AT THE UTILITY TRANSFORMER AND NOTIFY THE ENGINEER PRIOR TO PURCHASING ANY EQUIPMENT.															
4. ALL WIRE SIZES ARE BASED ON 75 DEGREE WIRE.															
5. EXTEND AND RECONNECT EXISTING CIRCUITS TO REMAIN FROM DEMO LOCATION TO NEW LOCATION.															

JOB NAME: Byram Hills High School												JOB NO.: 22				
RATING: 208/120V, 4W, 3PH, 225A												LOCATION: LIBRARY				
Panel HP-3																
(NEW)																
POLE	LOAD KVA	BKR.	BRANCH CIRCUIT			A			BRANCH CIRCUIT			BKR.	LOAD KVA	POLE	CIRCUIT DESCRIPTION	CKT. NO.
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17
1	RTU-5	3	9.5	80	4#4 & 1#8EG IN 1-1/4"C	19.0	19.0			4#4 & 1#8EG IN 1-1/4"C	80	9.5	3	RTU-4		2
5			9.5				19.0					9.5				6
7	SPARE	1	20	---	---	0.0			---	20	1			SPARE		8
9	SPARE	1	20	---	---		0.0		---			20	1	SPARE		10
11	SPARE	1	20	---	---			0.0	---			20	1	SPARE		12
13	SPARE	1	20	---	---	0.0			---			20	1	SPARE		14
15	SPARE	1	20	---	---		0.0		---			20	1	SPARE		16
17	SPARE	1	20	---	---			0.0	---			20	1	SPARE		18
19		1	-	---	---	0.0			---			-	1			20
21		1	-	---	---		0.0		---			-	1			22
23		1	-	---	---			0.0	---			-	1			24
25		1	-	---	---	0.0			---			-	1			26
27		1	-	---	---		0.0		---			-	1			28
29		1	-	---	---			0.0	---			-	1			30
31	SPACE	1	-	---	---	0.0			---			-	1	SPACE		32
33		1	-	---	---		0.0		---			-	1			34
35		1	-	---	---			0.0	---			-	1			36
37		1	-	---	---	0.0			---			-	1			38
39		1	-	---	---		0.0		---			-	1			40
41		1	-	---	---			0.0	---			-	1			42
TOTAL (PHASE): 19.0 19.0 19.0																
PANEL TYPE: NEMA 1																
MOUNTING: FLUSH																
MAIN CIRCUIT BREAKER: 225A																
INTERRUPTING RATING: 35KA SYM.																
TOTAL CONN.: 57.0 KVA																
TOT. CONN. + SPARE: 57.0 KVA																
DEMAND: 57.0 KVA																
DEMAND: 158.4 AMPS																
SPARE CAPACITY 0 %																
DEMAND FACTOR 100 %																
NOTES																
1. ALL BUSING TO BE COPPER																
2. BOLT ON BREAKERS ONLY																
3. CONTRACTOR IS RESPONSIBLE TO COORDINATE THE SHORT CIRCUIT RATING AT THE UTILITY TRANSFORMER AND NOTIFY THE ENGINEER PRIOR TO PURCHASING ANY EQUIPMENT.																
4. ALL WIRE SIZES ARE BASED ON 75 DEGREE WIRE.																





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LICENSE EXPIRATION DATE - 9/25

BYRAM HILLS HIGH SCHOOL  
LEARNING COMMONS RENOVATION  
SED# 66-12-01-06-0-007-01X

12 Tripp Ln,  
Armonk, NY 10504

**KEY PLAN**

**REVISIONS**

No.	Description	Date

**ISSUED:** BID SET  
**DATE:** JUNE 25, 2024  
**SCALE:** As indicated  
**SHEET NAME:** PLUMBING FIRST FLOOR SANITARY DEMO PLAN  
**SHEET NUMBER:** PD-101

BIDDING/REVIEW ISSUE



DRAWN BY: Author  
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C:\Users\author\OneDrive\Documents\Revit Local Files\22-188 BYRAM HILLS (LOCAL)\_shp2\F5.M





**1 PLUMBING FIRST FLOOR SANITARY PLAN**  
1/8" = 1'-0"

DESIGN BY: Author  
CHECKED BY: Daniel Fellezer  
PROJECT: 66-12-01-06-0-007-01X  
6/25/2024 8:32:51 AM

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**LICENSE EXPIRATION DATE - 9/25**

**BYRAM HILLS HIGH SCHOOL  
LEARNING COMMONS  
RENOVATION**  
SED# 66-12-01-06-0-007-01X  
  
12 Tripp Ln,  
Armonk, NY 10504

**KEY PLAN**

**REVISIONS**

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