



MEDIUM RENOVATION MEADOW HILL

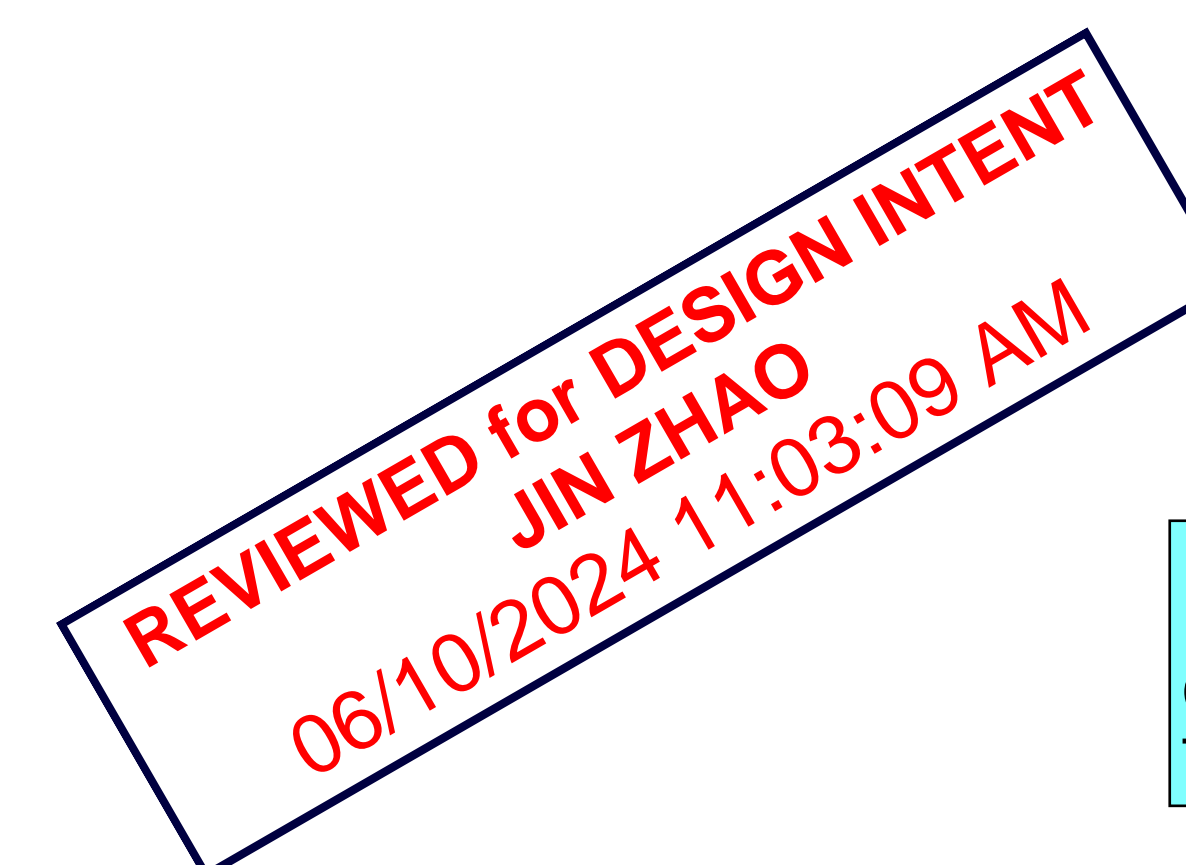
GENSLER PROJECT NUMBER: 059.8400.015

BAC SERIAL NUM./ MANH. ID: NY6-225

90% DESIGN DEVELOPMENT SET

05.28.2024

1414 NY-300
Newburgh, NY 12550



PLEASE PICK UP
MY LAST
COMMENTS ON
THE DD_60

Gensler

101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Patrice Cinkewicz
Tel 704.338.0248



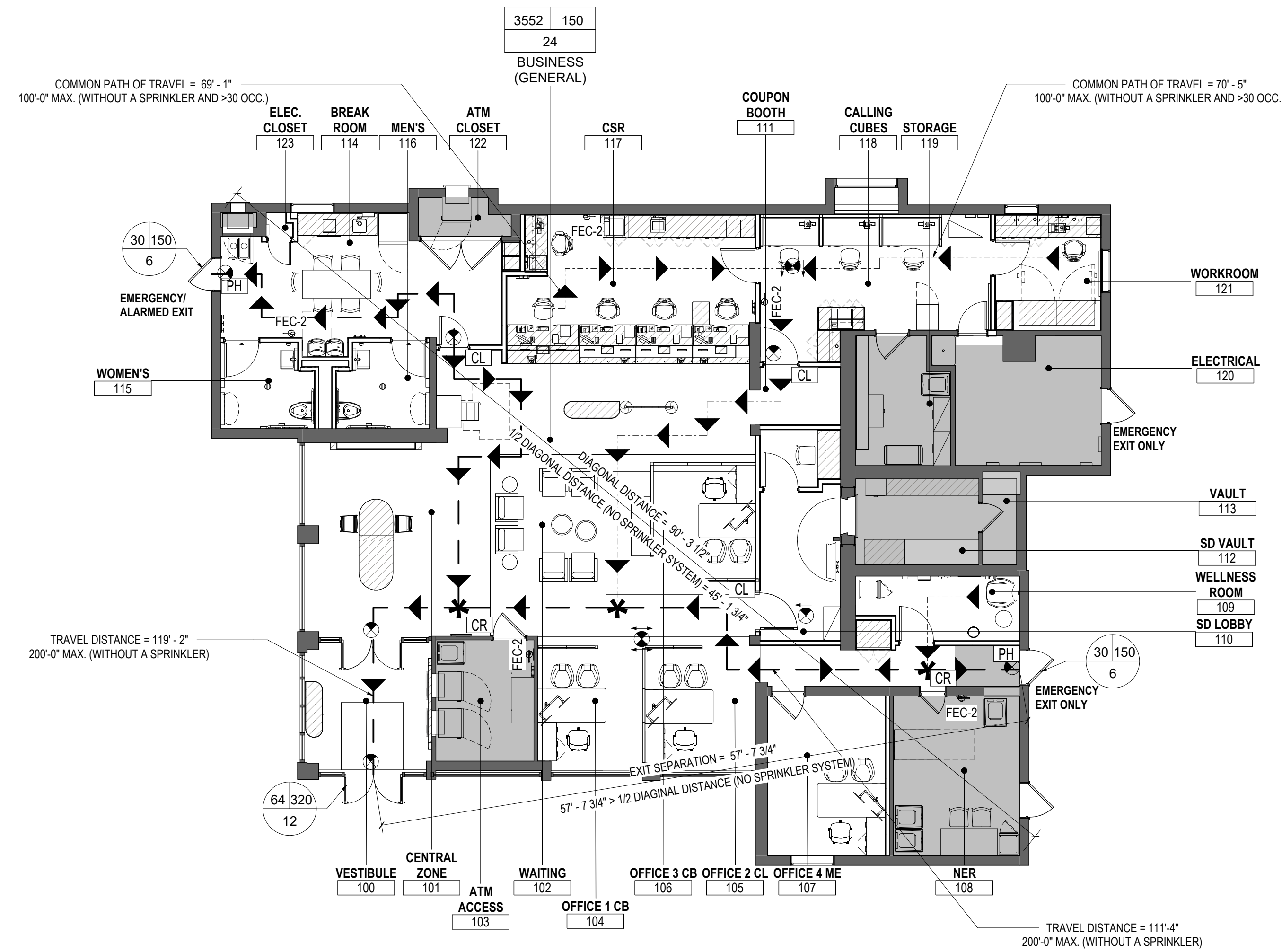
French and Parrello Associates
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Contact: Amin Gomaa
Amin.Gomaa@FPAengineers.com

Tel Phone Number

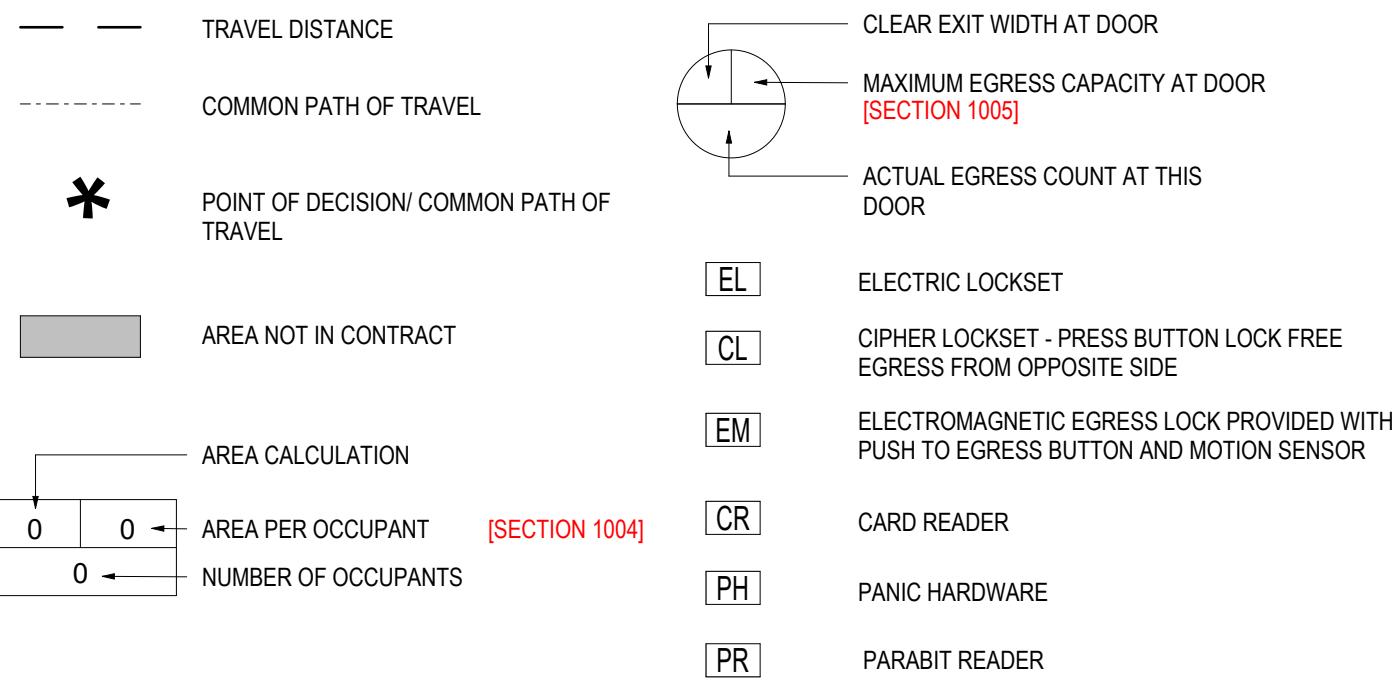
CBRE

CBRE Third Party Project Management
Contact: John Olsson
John.Olsson@cbre.com

Tel 646.920.1697



LIFE SAFETY LEGEND



B OCCUPANCY EXIT TRAVEL LIMITATIONS:

MAXIMUM TRAVEL DISTANCE:
200 FT. WITHOUT A SPRINKLER SYSTEM

2020 NYS FIRE CODE, TABLE 1017.2

MAXIMUM COMMON PATH OF TRAVEL:
100 FT. WITHOUT A SPRINKLER SYSTEM (OCC. < 30)

2020 NYS FIRE CODE, TABLE 1006.2.1

CODE AND LIFE SAFETY DATA

PROJECT INFORMATION				
Project Name : MEADOW HILL				
Project Address: 1414 NY-300 Newburgh, NY 12550				
Proposed Use/ Occupancy : BUSINESS (B) - NO CHANGE				
Owner/ Authorized Agent: JOHN OLSSON Email: John.Olsson@cbre.com Phone: 646.920.1697				
Property Owned by: <input type="checkbox"/> City/County <input type="checkbox"/> Private <input type="checkbox"/> State <input type="checkbox"/> County <input type="checkbox"/> State				
Code Enforcement Jurisdiction: <input checked="" type="checkbox"/> City NEWBURGH <input type="checkbox"/> County <input type="checkbox"/> State				

PROJECT SUMMARY	
Building Description:	EXISTING ONE STORY BRANCH BANK
Scope of Work Details:	ALTERATION TO EXISTING SPACE, MODIFICATION IN CSR REGION, OFFICES, BREAKROOM, WELLNESS ROOM, CALLING CUBES, RESTROOMS, NEW WORK ROOM, FURNITURE, FINISHES AND EQUIPMENT.

DESIGN PROFESSIONAL INFORMATION				
LEAD DESIGN PROFESSIONAL:				
DESIGNER	FIRM	NAME	LICENSE #	PHONE # E-MAIL
Architectural:	GENSLER	-	-	-
Civil:	-	-	-	-
Electrical:	-	-	-	-
Fire Alarm:	-	-	-	-
Plumbing:	-	-	-	-
Mechanical:	-	-	-	-
Sprinkler-Standpipe:	-	-	-	-
Structural:	-	-	-	-

APPLICABLE CODES	
BUILDING CODE:	2020 NYS BUILDING CODE, 2020 NYS EXISTING BUILDINGS CODE
PLUMBING CODE:	2020 NYS PLUMBING CODE
ELECTRICAL CODE:	2017 NYS ELECTRIC CODE
ENERGY CODE:	2020 NYS ENERGY CODE
MECHANICAL CODE:	2020 NYS MECHANICAL CODE
FUEL AND GAS CODE:	2020 NYS FUEL GAS CODE
ACCESSIBILITY STANDARD:	2020 NYS ACCESSIBILITY CODE
OTHER CODE:	2020 NYS FIRE CODE

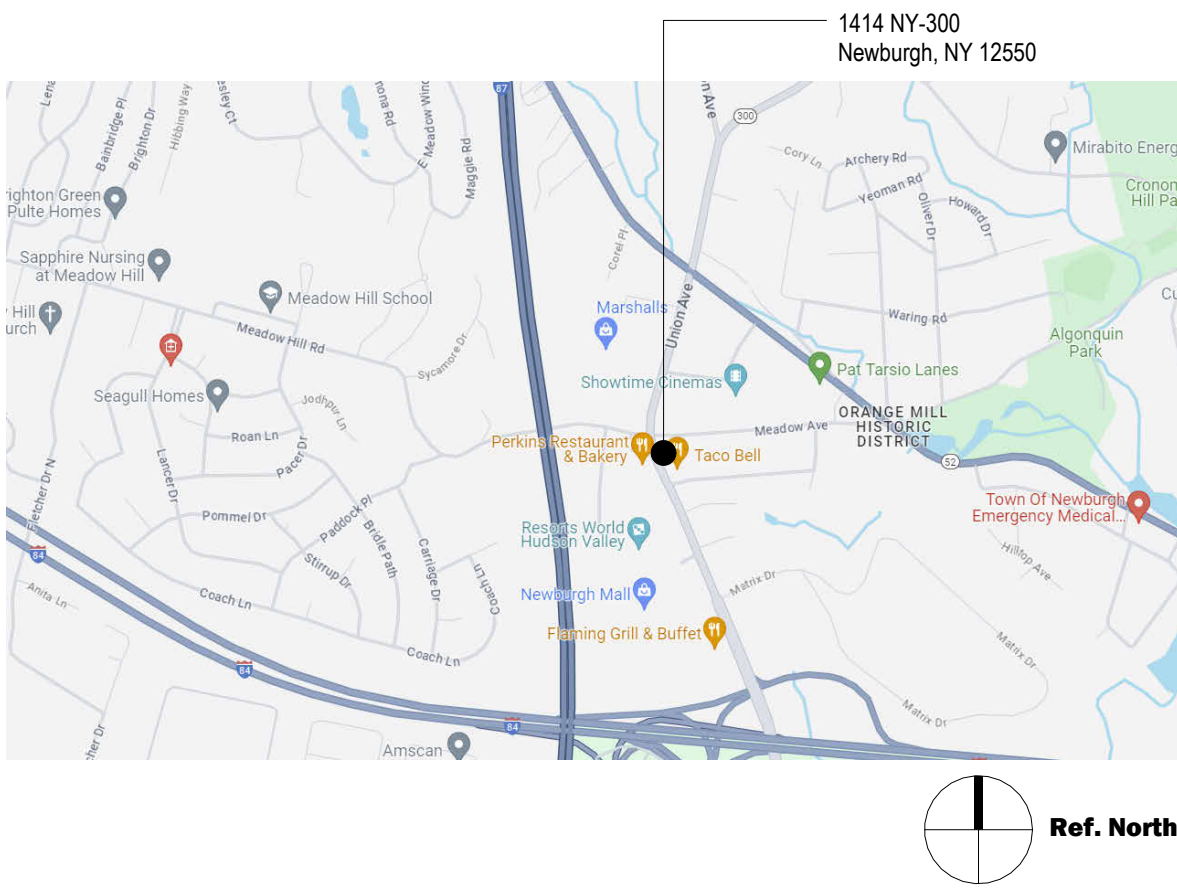
BASIC BUILDING DATA	
Construction Type:	<input type="checkbox"/> IA <input type="checkbox"/> IIA <input type="checkbox"/> IIIA <input type="checkbox"/> IV <input type="checkbox"/> VA
(Table 601)	<input type="checkbox"/> I-B <input type="checkbox"/> II-B <input type="checkbox"/> III-B <input type="checkbox"/> V-B
Sprinklers (Chapter 9):	<input checked="" type="checkbox"/> No <input type="checkbox"/> Partial <input type="checkbox"/> Yes <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D
Standpipes (Section 905):	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
Building Height : (Stories)	1 Occupancy : BUSINESS (B)
Accessory Occupancies :	-
Gross Building Area:	-
FLOOR	EXISTING (SF) ALT.RE (SF) INTERIOR UPFIT (SQ FT)
LEVEL 01	3552 1581

EXIT REQUIREMENTS					
NUMBER AND ARRANGEMENT OF EXITS (2020 NYS FIRE CODE)					
FLOOR, ROOM, OR SPACE DESIGNATION	MINIMUM NUMBER OF EXITS		TRAVEL DISTANCE		ARRANGEMENT MEANS OF EGRESS (SECTION 1015)
	REQUIRED (SEC. 1015)	SHOWN PLANS	ALLOWABLE (ZONE TRAVEL DISTANCE SHOWN ON PLANS) (SEC. 1015 AND SEC. 1016)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS
LEVEL 01	2	4	200'-0" MAX	119'-2"	45'-2" 57'-8"

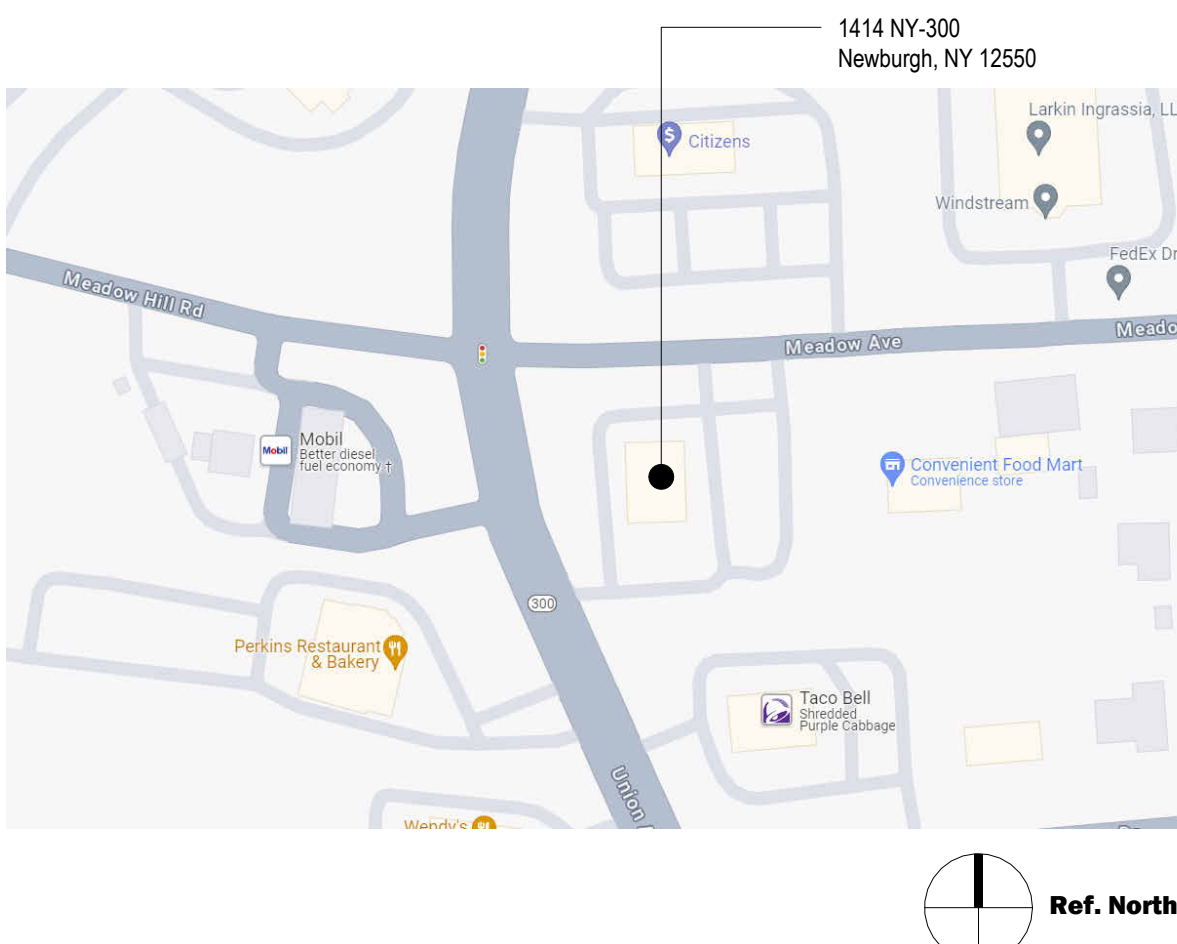
OCCUPANT LOAD AND EXIT WIDTH (2020 NYS FIRE CODE)									
USE GROUP OR SPACE DESCRIPTION	AREA (Sq. Ft.)		CALCULATED OCCUPANT LOAD (sq. ft.)	EGRESS WIDTH PER OCCUPANT (sq. ft.)		Exit Width (in)		ACTUAL WIDTH SHOWN ON PLANS	
	AREA (Sq. Ft.)	AREA OCCUPANT		STAIR	LEVEL	STAIR	LEVEL	STAIR	LEVEL
LEVEL 01	3552	150-B	24	0.3'	0.2'	7.2'	4.8'	N/A	94"

PLUMBING FIXTURE CALCULATIONS FOR OCCUPANT LOAD OF 24 OCC. (2020 NYS PLUMBING CODE - TABLE 405.1)									
LEVEL	WATERCLOSETS		LAVATORIES		DRINKING FOUNTAINS				
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED			
LEVEL 01	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE			
	1	1	1	1	1	1	1	1	2

VICINITY MAP



LOCATION MAP



ABBREVIATIONS

A	ACCESSORY	MLWK	MORTGAGE LOANS OFFICER
ACCUS	ACCUSET	MILLWK	MILLWORK
ACT	ACQUISITION	MOIST	MOISTURE
AFF	ABOVE FINISHED FLOOR	MOT	MOTOR(IZED)
AL	ALUMINUM	MTD	MOUNTED
ALT	ALTERNATE	N	NO
ANNUNCI	ANNUNCIATOR	NER	NETWORK EQUIPMENT ROOM
AND	AND	NIC	NOT IN CONTRACT
ANNC	ANNUNCIATOR	NO	NUMBER
APPL	APPLIANCE	NTS	NOT TO SCALE
ATA	ATM WITH TELLER ASSIST	O	OPPOSITE
AUTO	AUTOMATIC	OH	OPPOSITE HAND
AVG	AVERAGE	OPNG	OPENING(S)
B	BOARD	OPP	OPPOSITE
BLDG	BUILDING	OPR	OPERABLE
BLOCK	BLOCKING	ORNA	ORNAMENTAL
BOLD	BOLLARD	OS	OCCUPANCY SENSOR
BOLDM	BROAD ROOM	OVFL	OVERFLOW
BU	BUILT UP	OVHD	OVERHEAD
C	CABINET	P	PLASTIC LAMINATE
CAB	CABINET (TYPICAL)	PB	PARTICLE BOARD
CER	CERAMIC	PEDTR	PEDESTRIAN
CEILING	CEILING	PLAS	PLASTER
CMU	CONCRETE MASONRY UNIT	PLSTC	PLASTIC
COATG	COATING	PLYWD	PLYWOOD
COE	CENTERS OF EXCELLENCE	PNL	PANEL
COILG	COILING	POLYST	POLYSTYRENE
CONC	CONCRETE	PORT	PORTABLE
CONSTR	CONSTRUCTION	PREFAB	PREFABRICATED
CONT	CONTINUOUS(ATION)	PREFIN	PREFINISHED
CONTR	CONTRACT(OR)	PROTECN	PROTECTION
COV	COVER	PTN	PARTITION
CPT	CARPET	Q	QUICK
CPU	CENTRAL PROCESSING UNIT	QST	QUICK SWIPE TERMINAL
CSR	CUSTOMER SERVICE REPRESENTATIVE	R	READER
D	DOUBLE	RDR	READER
DBL	DOUBLE	RECES	RECESSED
DEPT	DEPARTMENT	RECPT	RECEPTACLE
DES	DESIGNED	REF	REFERENCE
DET	DETAIL	REFL	REFLECTED
DF	DRINKING FOUNTAIN	REFR	REFRIGERATOR
DIA	DIAMETER	REQD	REQUIRED
DIF	DIFFUSER	RESIS	RESIST(ANT)(IVE)
DIM	DIMENSION	RFS	ROOFING
DISP	DISPENSER	RM	ROOM
DIV	DIVISION	RO	ROUGH OPENING
DN	DOWN	RVS	REMOTE VIDEO SPECIALIST
DR	DOOR	S	SQUARE FEET
DISCON	DISCONNECT	SBB	SMALL BUSINESS BANKING
DTLS	DETAILS	SCR	SCRIBE
DWR	DRAWER	SD	SAFE DEPOSIT
E	ELASTOMERIC	SEUR	SECURITY
ELAST	ELASTOMERIC	SF	SQUARE FEET
ELEC	ELECTRICAL	SGL	SINGLE
EMBED	EMBEDDED(ING)	SHORG	SHORING
ENGR	ENGINEER(ED)	SIM	SIMILAR
ENGLD	ENLARGED	SR SRM	SENIOR SMALL BUSINESS RELATIONSHIP MANAGER
ENTR	ENTRANCE	SST	STAINLESS STEEL
EQ	EQUAL	STD	STANDARD
EQUIP	EQUIPMENT	STL	STEEL
EX	EXISTING	STRFR	STOREFRONT
EXP JT	EXPANSION JOINT	STRUCT	STRUCTURAL
EXPS	EXPOSED	SURF	SURFACE
EXT	EXTERIOR	SUSP	SUSPENDED
F	FABRICATION	SYS	SYSTEM(S)
FAB	FINISH	T	TONGUE AND GROOVE
FOCM	FINANCIAL CENTER OPERATIONS MANAGER	T&G	TONGUE AND GROOVE
FD	FLOOR DRAIN	TCO	TELLER CASH DISPENSER
FE	FIRE EXTINGUISHER	TG	TEMPERED GLASS
FEC	FIRE EXTINGUISHER AND CABINET	THK	THICK
FHC	FIRE HOSE CABINET	TLT	TOILET
FIN	FINISH	TOS	TELLER OPERATION SPECIALIST
FLDG	FOLDING	TRAF	TRAFFIC
FLR	FLOORING	TRANS	TRANSPARENT
FLC	FIREPLACE	TRTD	TREATED
FR	FIRE RATING(ED)	TYP	TYPICAL
FRMG	FRAMING	U	UNIVERSAL CALLING CUBE
FSA	FINANCIAL SOLUTIONS ADVISOR	UCC	UNIVERSAL CALLING CUBE
FURN	FURNITURE	UCR	UNIVERSAL CONFERENCE ROOM (PRIVATE OFFICE)
FWC	FABRIC WALL COVERING	UNDRLAY	UNDERLAYMENT
FXD	FIXED	UNO	UNLESS NOTED OTHERWISE
FXTR	FIXTURE	UTIL	UTILITY
G	GAUGE	V	VEHICLE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	VEH	VEHICLE
GFRC	GLASS FIBER REINFORCED CONCRETE	VERT	VERTICAL
GFRG	GLASS FIBER REINFORCED GYPSUM	VIF	VERIFY IN FIELD
GFRP	GLASS FIBER REINFORCED PLASTER	W	WITH
GL	GLASS	WO	WITHOUT
GR	GRADE(ING)	WC	WATER CLOSET
GYP	GYPSUM	WD	WOOD
H	HEAD	WDW	WINDOW
HD	HARDWOOD	WT	WEIGHT
HOWE	HOLLOW METAL	WTRPRF	WATERPROOFING
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING		
I	INTERIOR FIT OUT		
INFILTR	INFILTRATION		
INFO	INFORMATION		
INSTRUM	INSTRUMENT(ATION)		
INSUL	INSULATION		
INT	INTERIOR		
INTLK	INTERLOCK(ING)		
J	JANITOR		
JAN	JANITOR		
K	KITCHEN		
KIT	KITCHEN		
L	LAVATORY		
LB	LOUVER		
LAV	LAVATORY		
LT	LIGHT		
LVLG	LEVELING		
M	MATCH EXISTING		
M.E.	MECHANICAL		
MAX	MAXIMUM		
MECH	MECHANICAL		
MEMB	MEMBRANE		
MET	METAL		
MEZZ	MEZZANINE		
MFD	MANUFACTURED		
MFP	MULTI-FUNCTION PRINTER		
MFR	MANUFACTURER		
MN	MINIMUM		
MISC	MISCELLANEOUS		

ARCHITECTURAL

SHEET NUMBER	SHEET NAME	REVISIONS		
		LATEST	DATE	DESCRIPTION
A00.00	DRAWING INDEX, LIFE SAFETY AND PROJECT INFORMATION	-	05.28.2024	90% DESIGN DEVELOPMENT
A00.10	GENERAL NOTES AND TYPICAL MOUNTING HEIGHTS	-	05.28.2024	90% DESIGN DEVELOPMENT
A00.11	ACCESSIBILITY INFORMATION	-	05.28.2024	90% DESIGN DEVELOPMENT
A00.30	EQUIPMENT, FINISH, MILLWORK AND WALL PARTITION SCHEDULES	-	05.28.2024	90% DESIGN DEVELOPMENT
A00.40	DOOR TYPES, DOOR SCHEDULE AND HARDWARE	-	05.28.2024	90% DESIGN DEVELOPMENT
A01.01	EXISTING & DEMOLITION FLOOR PLAN	-	05.28.2024	90% DESIGN DEVELOPMENT
A01.02	DEMOLITION REFLECTED CEILING PLAN	-	05.28.2024	90% DESIGN DEVELOPMENT
A02.01	CONSTRUCTION PLAN	-	05.28.2024	90% DESIGN DEVELOPMENT
A03.01	POWER AND COMMUNICATION PLAN	-	05.28.2024	90% DESIGN DEVELOPMENT
A04.01	REFLECTED CEILING PLAN	-	05.28.2024	90% DESIGN DEVELOPMENT
A05.01	FURNITURE PLAN	-	05.28.2024	90% DESIGN DEVELOPMENT
A07.01	FLOOR FINISH PLAN	-	05.28.2024	90% DESIGN DEVELOPMENT
A08.01	INTERIOR ELEVATIONS	-	05.28.2024	90% DESIGN DEVELOPMENT
A08.02	INTERIOR ELEVATIONS	-	05.28.2024	90% DESIGN DEVELOPMENT
A08.03	INTERIOR ELEVATIONS	-	05.28.2024	90% DESIGN DEVELOPMENT
A08.04	INTERIOR ELEVATIONS	-	05.28.2024	90% DESIGN DEVELOPMENT
A11.00	ENLARGED PLANS AND INTERIOR ELEVATIONS	-	05.28.2024	90% DESIGN DEVELOPMENT
A12.00	MILLWORK - MW01	-	05.28.2024	90% DESIGN DEVELOPMENT
A12.10	CSR LINE AND DETAILS	-	05.28.2024	90% DESIGN DEVELOPMENT
A12.20	MILLWORK DETAILS	-	05.28.2024	90% DESIGN DEVELOPMENT
A12.30	CEILING DETAILS	-	05.28.2024	90% DESIGN DEVELOPMENT
A12.40	MEDIA & FINISH DETAILS	-	05.28.2024	90% DESIGN DEVELOPMENT
SK-01	OVERLAY PLAN 1 - FURNITURE PLAN OVER FLOOR FINISH PLAN	-	05.28.2024	90% DESIGN DEVELOPMENT
SK-02	OVERLAY PLAN 2 - RCP OVER FURNITURE PLAN	-	05.28.2024	90% DESIGN DEVELOPMENT

MEDIUM RENOVATION

1414 NY-300

Newburgh, NY 12550

SERIAL NUM./MANH. ID: NY6-225

NRSP VERSION: 4.0

BULLETIN: 01-2023

DOB NUMBER: XXX-XXX

Gensler

101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States

CBRE

CBRE Third Party Project Management
John Olsson
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FPA
FRENCH & PARRELLO
ASSOCIATES

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Contact: Amin H. Goema, PE
Amin.Goema@FPAengineers.com
Tel: 732-312-5873

Date	Description
04.01.2024	ISSUE FOR SCHEMATIC DESIGN
04.01.2024	60% DESIGN DEVELOPMENT
05.28.2024	90% DESIGN DEVELOPMENT

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name

MEADOW HILL

Project Number

059.8400.015

Description

DRAWING INDEX, LIFE SAFETY AND
PROJECT INFORMATION

Scale

As indicated

A00.00

EQUIPMENT SCHEDULE - FOR REFERENCE ONLY

NUMBER	DESCRIPTION	MANUF/MODEL NO.	DIMENSIONS	NOTES	ORDERED BY	INSTALLED BY
1. EQUIPMENT BY BANK SECURITY VENDOR: HAMILTON, DIEBOLD, & NCR						
39	ADA SIT DOWN PEDESTAL	DIEBOLD 19-086720-00A	18.85"W X 20"D X 28.58"H	SD-3-LL (LEFT) OR SD-3-RL (RIGHT)	PJM	BANK VENDOR
41B	CSR SAFE	HAMILTON 14-146	40"W X 26"D X 72"H	COLOR: CHARCOAL GRAY	PJM	BANK VENDOR
41C	BULK SAFE	HAMILTON 14-147	40"W X 26"D X 72"H	COLOR: CHARCOAL GRAY	PJM	BANK VENDOR
43	STAND UP PEDESTAL	HAMILTON H402	18"W X 19"D X 38"H	COLOR: CHARCOAL GRAY	PJM	BANK VENDOR
2. EQUIPMENT BY SECURITY VENDOR						
58	SECURITY MONITOR	WELDEX: LCD MONITOR	15", 17", 19" SCREEN	15" AT CALLING CUBES; 17/19" AT WORK ROOM	PJM	SECURITAS
59	SECURITY CAMERA (INTERIOR DOME)	HANWHA WILSENET X: XND-6080RV	6.3"W X 4.6"H		PJM	SECURITAS
61	HOLD UP BUTTON	DMP 1142-B	1.6"W X 3.3"L X 1.2"H	WIRELESS 2 BUTTON TRANSMITTER. COLOR: BLACK	PJM	SECURITAS
62	ROBBERY LIGHT	DMP 572	2.75"W X 4.5"H	POLYCARBONATE INDICATOR LED WITH STAINLESS STEEL MOUNTING PLATE	PJM	SECURITAS
82	POINT OF CONNECTION	-	-	-	PJM	SECURITAS
99	MOTION DETECTOR	DMP 1127W-W	2.7"W X 1.7"D X 4.33H	COLOR: WHITE	PJM	SECURITAS
101	CARD READER	DMP HID MP-5365 OR LT-5395	-	-	PJM	SECURITAS
3. EQUIPMENT BY TECHNOLOGY VENDOR/BANK						
07	COMBO BOARD	STAPLES #518866 W/ QUARTET ACCESSORIES	48"W X 36"H	COLOR: CORK/WHITE, NATURAL FINISH. CONTRACTOR TO INSTALL, ONLY	PJM	GC/PJM
09	WALL CLOCK	STAPLES #32436	10" DIA	BLACK BEZEL AND WHITE FACE. REQUIRES AA BATTERY.	PJM	GC/PJM
10	CPU, KEYBOARD, MOUSE	HP PRO DESK 600 SFF	-	-	TECHNOLOGY	HP/TPM
11	MONITOR	-	-	ENERGY STAR GOLD	TECHNOLOGY	HP/TPM
12	PRINTER	HP LJ E50145	-	-	TECHNOLOGY	HP/TPM
20	VALIDATION PRINTER	EPSON TM-U675 MULTIFUNCTION TELLER PRINTER	6.46"W X 9.46"D X 5.36"H	-	TECHNOLOGY	HP/TPM
21	MICR READER	MAGTEK 22523009-MINI MICR	4"W X 6"D X 3.5"H	-	TECHNOLOGY	HP/TPM
22	PRINTER	MSDTN	-	-	TECHNOLOGY	HP/TPM
23	CORDLESS PHONE	CISCO CP-7920	2.1"W X 1"D X 5"H	BACK TELLER LINE	TECHNOLOGY	BLACKBOX
24	PHONE	CISCO 8862 - WALL MOUNTED	10.5"W X 6.0"D X 8.2"H	COLOR: BLACK	TECHNOLOGY	BLACKBOX
25	QUICK SERVICE TERMINAL	VERIFONE MX 925	8.6"W X 2.2"D X 9.1"H	-	TECHNOLOGY	BLACKBOX
26	CURRENCY COUNTER	PRO NOTE 1.5 (G&D)	335 X 280 X 270 MM	STANDARD FOR NEW FC IS 1 POCKET	TECHNOLOGY	HP/TPM
26A	CURRENCY COUNTER	BPS C2-2 (G&D)	510 X 330 X 390 MM	-	TECHNOLOGY	HP/TPM
29	CART	STAPLES #810832	40.125"W X 20"D X 37.75"H	COLOR: GRAY	-	-
30	COUNTER CHECK SEPARATOR	MMF 26606604	16.25"W X 8"D X 4"H	COLOR: BLACK	-	-
32	SIX POCKET FORM HOLDER	MMF 267460604	8"W X 3.56"D X 6"H	COLOR: SMOKE	-	-
51	DOUBLE TRASH AND RECYCLING CONTAINER	RECYCLE AWAY - SIMPLE SORT DOUBLE RECYCLING STATION	22"L X 20"W X 30"H	RECYCLABLES: BLUE; WASTE: BLACK	PJM	GC/PJM
55	ROLLING RECYCLE BINS	SHRED IT	24"W X 30"D X 42"H	COLOR: GRAY	PJM	GC/PJM
64	PURELL HAND SANITIZER	GOJO PURELL FMX-12 DISPENSER	6.125" X 5.125"D X 10.625"H	COLOR: WHITE	PJM	GC/PJM
66	DESK SIDE RECYCLING CONTAINER	RUBBERMAID 2955-73	8.25"W X 11.38"L X 12.13"H	-	PJM	GC/PJM
71	CREDIT CARD TERMINAL	FIRST DATA FD50TI	3.7"W X 7.8"D X 3.5"H	-	-	-
95	REMOTE CAPTURE SCANNER	CANON IMAGEFORMULA CR-190I CHECK TRANSPORT	10.7"W X 18.7"D X 8.4"H	-	-	-
117	CHECK SCANNER	PANINI EVERNEXT SCANNER	-	-	TECHNOLOGY	HP/TPM
118	PROOF WORK TRAY	BANK STANDARD	-	-	BOFA	BOFA
119	BLANK DEPOSIT SLIP TRAY	BANK STANDARD	-	-	BOFA	BOFA
4. EQUIPMENT BY CONTRACTOR						
03	COAT HOOKS	REFER TO SPECIFICATIONS SECTION 12 90 00	-	COAT RACK WITH 3 HOOKS ON BAR, 2 BARS AND 6 HOOKS IN TOTAL	GC	GC
15	MICROWAVE	GE, #JES2051SNSS	19.25"D X 24.125"W X 13.625"H	COLOR: STAINLESS STEEL	GC	GC
16	REFRIGERATOR (FULL SIZE)	GE, #GIE18G5NRRSS	28"W X 32.875"D X 67.375"H	COLOR: STAINLESS STEEL	GC	GC
17	REFRIGERATOR (UNDERCOUNTER)	GE, #GMEAGLKL8	19.75"W X 21.25"D X 33.875"H	COLOR: CLEAN STEEL	GC	GC
65	FILTERED WATER DISPENSER	ION, #T5402	16.2"W X 13.6"D X 20.6"H	COLOR: TITANIUM WITH CHARCOAL TRIM	GC	GC
92	CHIME, BUZZER, TRANSFORMER, ETC.	REFER TO SPECIFICATIONS SECTION 26 27 26	-	ALL DOOR CHIMES TO BE SET AT TWO TONES, U N O.	GC	GC
108	SOUND MACHINE	PESLEEP-W/853975905477	-	-	GC	GC

FINISH SCHEDULE

FINISH CODE	DESCRIPTION	VENDOR CONTACT	ORDERED BY	INSTALLED BY
CARPET (BAC PROPRIETARY)				
CPT-5	POWER2CARPET POWERBOND CUSHION RS - BY TARKETT/ TANDUS (6'-0" ROLLED) CATALOG NUMBER - 1022930-008	PJM TO REACH OUT TO CENTRAL EMAIL: BOACONTRACT@TARKETT.COM	PJM	TARKETT
CERAMIC TILE (BAC PROPRIETARY)				
CT-12	WALL TILE: 6" X 3" DALTILE: COLOR WHEEL COLLECTION - CLASSIC. 5/16" THICK TILE, MATTE DESERT GRAY (X714) / GROUT (G-9) 1/8" THICKNESS. MAPEI COLOR PEWTER #2	PJM TO REACH OUT TO CENTRAL EMAIL: BOACONTRACT@TARKETT.COM	PJM	TARKETT
CT-12B	BULLNOSE: 6" X 3" DALTILE: COLOR WHEEL COLLECTION - CLASSIC. 5/16" THICK WALL BULLNOSE, MATTE DESERT GRAY (X714) / GROUT (G-9) 1/8" THICKNESS. MAPEI COLOR PEWTER #2	*	PJM	TARKETT
CT-12C	COVE BASE: 6" X 3" DALTILE: COLOR WHEEL COLLECTION - CLASSIC. 5/16" THICK COVE BASE, MATTE DESERT GRAY (X714) / GROUT (G-9) 1/8" THICKNESS. MAPEI COLOR PEWTER #2	*	PJM	TARKETT
CT-15	DALTILE DIGNITARY: 12" X 24"; CATALOGUE NO. DR08RCT1224MT; COLOR NAME: SUPERIOR TAUPE; COLOR NUMBER: DR08 STERLING SILVER 78	*	PJM	TARKETT
CT-16	FIELD TILE: 12"x12", DALTILE: VOLUME 1.0. 5/16" THICK TILE, MATTE STEREO GRAY VL73 GROUT (G-9) 1/2" THICKNESS. COLOR: PEWTER	*	PJM	TARKETT
LINOLEUM TILE (BAC PROPRIETARY)				
LIN-01	TARKETT LINOLEUM, LINOXF2; VENETTO; 2.5 MM THICK; 6'-6" WIDE ROLL. COLOR 674 SLATE	*		TARKETT
WALL BASE				
B-11	TARKETT/ JOHNSONITE MANDALAY SERIES MW-XX-H WALL BASE, RUBBER, 4 1/2" X 3/8", #82 BLACK PEARL	PJM TO REACH OUT TO CENTRAL EMAIL: BOACONTRACT@TARKETT.COM	PJM	TARKETT
B-13	TARKETT/ JOHNSONITE BASEWORKS THERMOSET RUBBER WALL BASE, RUBBER, 4" x 1/8", #40 BLACK	*	PJM	TARKETT
PAINT				
P-15	BENJAMIN MOORE ULTRA SPEC 500; EGGSHELL FINISH FOR WALLS, SEMI-GLOSS FINISH FOR DOORS/FRAMES, FLAT FINISH FOR CEILINGS. COLOR: SUPER WHITE (OC-152)	REFER TO LOCAL REP. WWW.BENJAMINMOORE.COM/EN-US	GC	GC
P-17	BENJAMIN MOORE ULTRA SPEC 500; EGGSHELL FINISH FOR WALLS. COLOR: CHARCOAL SLATE (HC-178)	*	GC	GC
P-18	BENJAMIN MOORE ULTRA SPEC 500; EGGSHELL FINISH FOR WALLS. COLOR: BLACK HORIZON (2132-30).	*	GC	GC
P-19	BENJAMIN MOORE ULTRA SPEC 500; EGGSHELL FINISH FOR WALLS. COLOR: MYSTERIOUS (AF-565).	*	GC	GC
P-20	BENJAMIN MOORE ULTRA SPEC 500; EGGSHELL FINISH FOR WALLS. COLOR: HALE NAVY (HC-154).	*	GC	GC
WALLCOVERING				
WC-22	HALE NAVY - SATIN. DIMENSIONAL EFFECT WITH SPOT GLOSS PATTERN. PREP WALL WITH BM FRESH START HIGH HIDING ALL PURPOSE PRIMER TINTED WITH P-20 PAINT INTERIOR/EXTERIOR PRIMER DEEP BASE (046 04)	*	PJM	GPI
LAMINATES				
CL-1	WILSONART CABINET LINER, WHITE, #60 MATTE STANDARD (#1570-60)	*	GC	GC
PL-7	WILSONART LAMINATE, DESIGNER WHITE, MATTE (#0354-00)	RICHELLE SIGAFOOS, 215.219.1133, SIGAFOR@WILSONART.COM	GC	GC
PL-18 HW	WILSONART HIGH PRESSURE LAMINATE, PRESSED LINEN (#4991-60 TYPE 350HW) MATTE; HIGH WEAR LAMINATE - TO BE USED AT COUPON BOOTH	*	GC	GC
PL-20	FENIX NTM LAMINATE, COLOR: NERO INGO #0720 (#J0720JMFN408301) NOTE TO GC/ PJM - ENTER BANK OF AMERICA ORDER/ WHITE ORDERING LAMINATE	*	GC	GC
PL-22	FORMICA LAMINATE, FORMICA INFINT LAMINATES, COLOR: WALNUT REFINED WOOD 9283 CATALOG #. 092837AN408200 - NOTE AS BANK OF AMERICA ORDER WHEN ORDERING	*	GC	GC
PL-24	FENIX NTM LAMINATE, COLOR: NERO INGO #0720 (#J0720JMFN408301) NOTE TO GC/ PJM - ENTER BANK OF AMERICA ORDER/ WHITE ORDERING LAMINATE	*	GC	GC
SS-7	WILSONART SOLID SURFACE, PEACE GRAY	*	GC	GC
ACOUSTICAL CEILING TILE				
ACT-4	ARMSTRONG CALLA, #2824, 24" X 24" X 1", WHITE; SQUARE TEGULAR 9/16"; CEILING GRID, SUPRAFINE ML 9/16" EXPOSED TEE	-	GC	GC
ACT-5	ARMSTRONG ULTIMA, 24" X 24" X 3/4", WHITE, MODEL, 1914. LOCATION: BOH	-	GC	GC
GLAZING FILM & SIGNAGE				
FLM-2	3M INSTALLED BY GPI, SCOTCHCAL DUSTED CRYSTAL, #7725SE - COORDINATE WITH SIGNAGE VENDOR	*	PJM	GPI
FLM-4	3M INSTALLED BY GPI, BLACKOUT FILM, MODEL # 3635-22B, COLOR: FACE SIDE - BLACK, ADHESIVE SIDE - WHITE; FINISH: MATTE; INSTALLATION: APPLICATION ON EXTERIOR SIDE OF EXTERIOR GLAZING UNLESS OTHERWISE INDICATED; APPLICATION METHOD -- DRY; INSTALLED BY GC.	*	GC	GC
FLM-9	LLUMAR SAFETY / SECURITY SERIES #SL SR P58	*	GC	GC
FLM-28	OFFICE FLECK FILM 5' HIGH	DARYL SLADEK, 615.726.3288, DARYL.GPI@GPI20.COM. TO BE PROVIDED AND INSTALLED BY GPI ONLY.	PJM	GPI
OFF-FADE-WHITE	OBSCURING PRIVACY FILM - FADE	*	PJM	GPI
SS-G	SPECIALIST OFFICE REMOVABLE SIGNAGE - COORDINATE WITH SIGNAGE VENDOR	*	PJM	GPI
SS-M-G	SPECIALIST OFFICE REMOVABLE SIGNAGE	*	PJM	GPI
WINDOW TREATMENT				
SH-1	MECHOSHADE SYSTEMS, SOLAR SHADECLOTH COLLECTION - 1550 SERIES, ECOVEIL SCREENS, SILVER BIRCH #1569; 3% OPEN	-	GC	GC

WALL BASE SHOULD NOT CONTINUE BEHIND AND OVER FIXED BUILT-IN MILLWORK EQUIPMENT.

WALL COVERING BASE PAINT SPECIFICATIONS

STEPS FOR APPLICATION

- WC-22**
HALE NAVY STREAMLINE WALLCOVERING
BENJAMIN MOORE FRESH START HIGH HIDING ALL PURPOSE PRIMER - TINTED WITH P-20 PAINT
BENJAMIN MOORE "HALE NAVY"
- AT LEAST 6 INCHES OF WALL REQUIRED FOR WRAPPING CORNERS AND RETURNS
 - WALL TO BE PREPARED WITH A LEVEL 5 FINISH
 - CORRECT BENJAMIN MOORE PRIMER PRODUCT TO BE APPLIED PER SPECIFICATIONS LISTED AT LEFT
 - * SPOT GLOSS FLECK (WC-24) TO BE PRIMED AND PAINTED
 - PAINT TO BE CURED FOR 10 DAYS PRIOR TO WALL COVERING APPLICATION.
 - * ATM SURROUND ONLY IS PREFERRED TO BE INSTALLED BEFORE WALLCOVERING
 - GPI TO INSTALL ALL WALL COVERINGS
 - ATM EQUIPMENT, BRAND SIGNAGE AND DIGITAL TO BE INSTALLED AFTER WALL COVERING IS INSTALLED

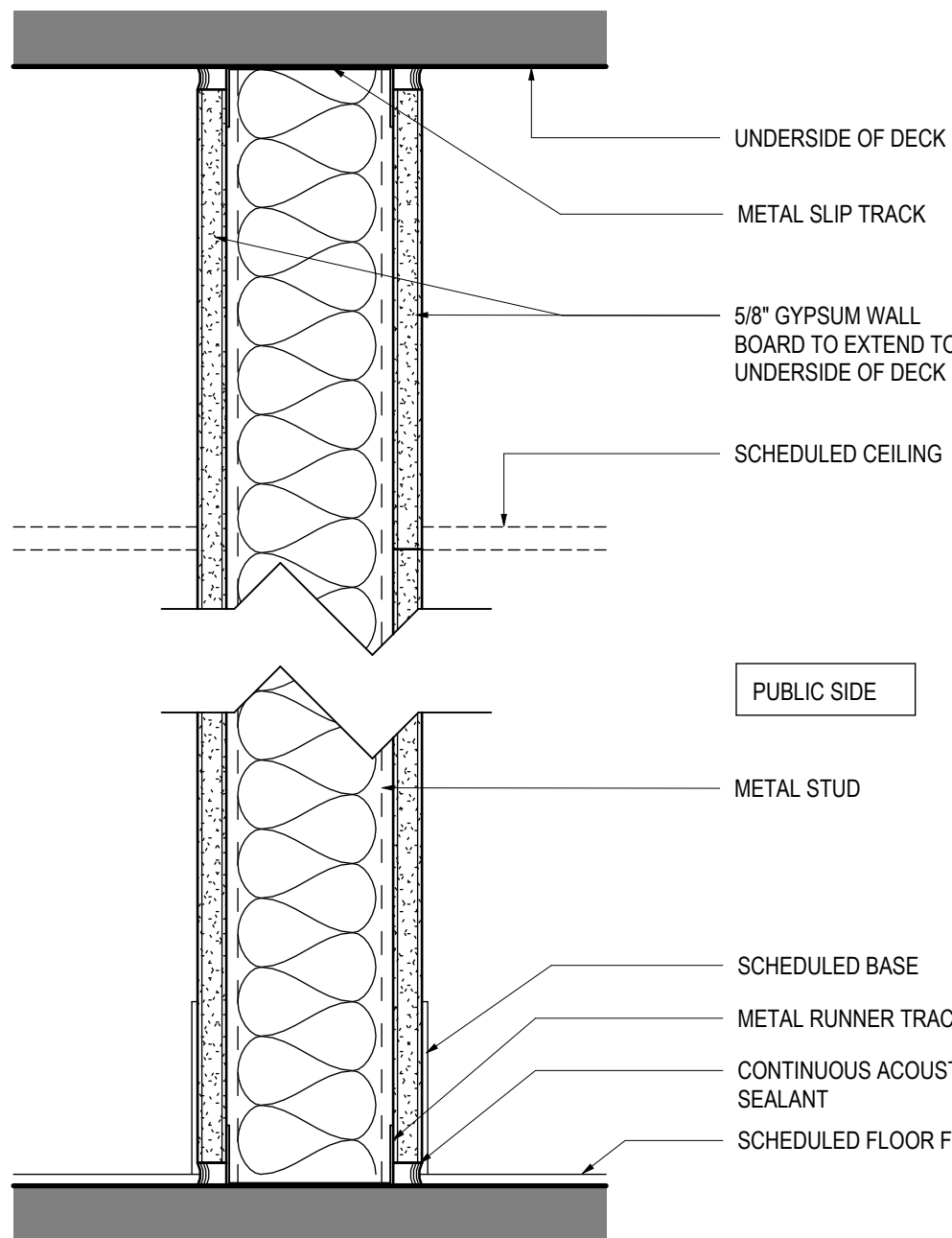
REFER TO BANK STANDARDS AND SPECIFICATIONS PRIOR TO APPLICATION

ARCHITECTURAL MILLWORK SCHEDULE

MILLWORK NUMBER	NAME	DESCRIPTION	DEPTH	PLAN, ELEVATION AND DETAIL LOCATION	REMARKS
MW-01	PRINTER CABINET	CABINET WITH SHELVES ON GUIDES (PL-7)	2'- 7 1/2"	A02.01, A08.03, A12.01	
MW-04	COUPON BOOTH	COUNTER OPEN BELOW WITH 2" (PL-18HW) (PROVIDE BACKSPLASH AND SIDESPLASH)	2'- 0"	A02.01, A08.01, A12.20	
MW-07	UNIVERSAL CALLING CUBES	BASE CABINET, 1'-3" DEEP UPPER CABINET (PROVIDE BACKSPLASH AND SIDESPLASH)	2'- 0"	A02.01, A08.02, A12.20	
MW-08	BREAKROOM	BASE CABINET WITH SINK	2'- 0"	A02.01, A08.03, A12.20	
MW-09	TELLER OPERATION SPECIALIST	COUNTER OPEN BELOW AND 1'-3" DEEP UPPER CABINET (PROVIDE BACKSPLASH AND SIDESPLASH)	2'- 0"	A02.01, A08.03, A12.20	
MW-11	TELLER WORK COUNTER	BASE CABINET (PROVIDE BACKSPLASH AND SIDESPLASH)	2'- 0"	A02.01, A08.03, A12.20	
MW-12A	TELLER WORKROOM	BASE CABINET AND 1'-3" DEEP OPEN UPPER CABINET (PROVIDE BACKSPLASH AND SIDESPLASH)	2'- 0"	A02.01, A08.02, A12.20	
MW-12B	TELLER WORKROOM	COUNTER OPEN BELOW AND 1'-3" DEEP OPEN UPPER CABINET (PROVIDE BACKSPLASH AND SIDESPLASH)	2'- 0"	A02.01, A08.02, A12.20	
MW-13	WORK ROOM	WORK ROOM CASH VAULT	2'- 7"	A02.01, A08.02, A12.20	
MW-CUSTOM	CENTRAL ZONE CURB	MILLWORK CURB WITH VENTS FOR AIR DIFFUSER AT FLOOR.	0'- 7"	A02.01, A08.03, A12.20	

ATM EQUIPMENT & HOUSING TABLE

ATM MODEL	SLEEVE	CASSETTE CONFIGURTION (NCR MODELS ONLY)	SURROUND	SURROUND FILLERS	TOPPER	LOCATION	HOUSING
DIEBOLD DN 200 MICRO ATM	N/A	N/A	NONE	N/A	NONE	CENTRAL ZONE	FRAME-R-KIOSK-HG_3.0-DN200

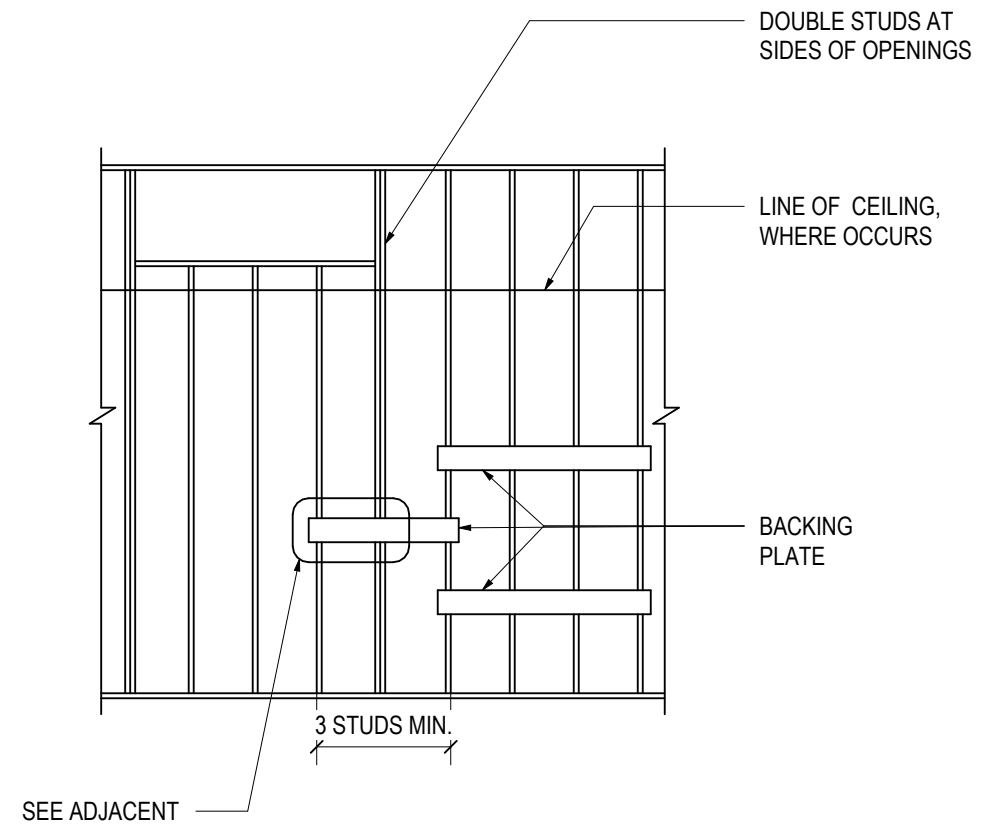


PARTITION TYPE MARK	FRAMING		DETAILS		ATTN	FIRE RTG	TESTED ASSEMBLY	STC RTG
	THK (GA)	DEPTH	SPACING	TOP BOT				
B	16	3 5/8"	16" O.C.	B	B	3 1/2"	N/A	N/A
B*	16	3 5/8"	16" O.C.	B	B	3 1/2"	N/A	N/A

*(1) LAYER OF GYPSUM BOARD AT EXPOSED SIDE

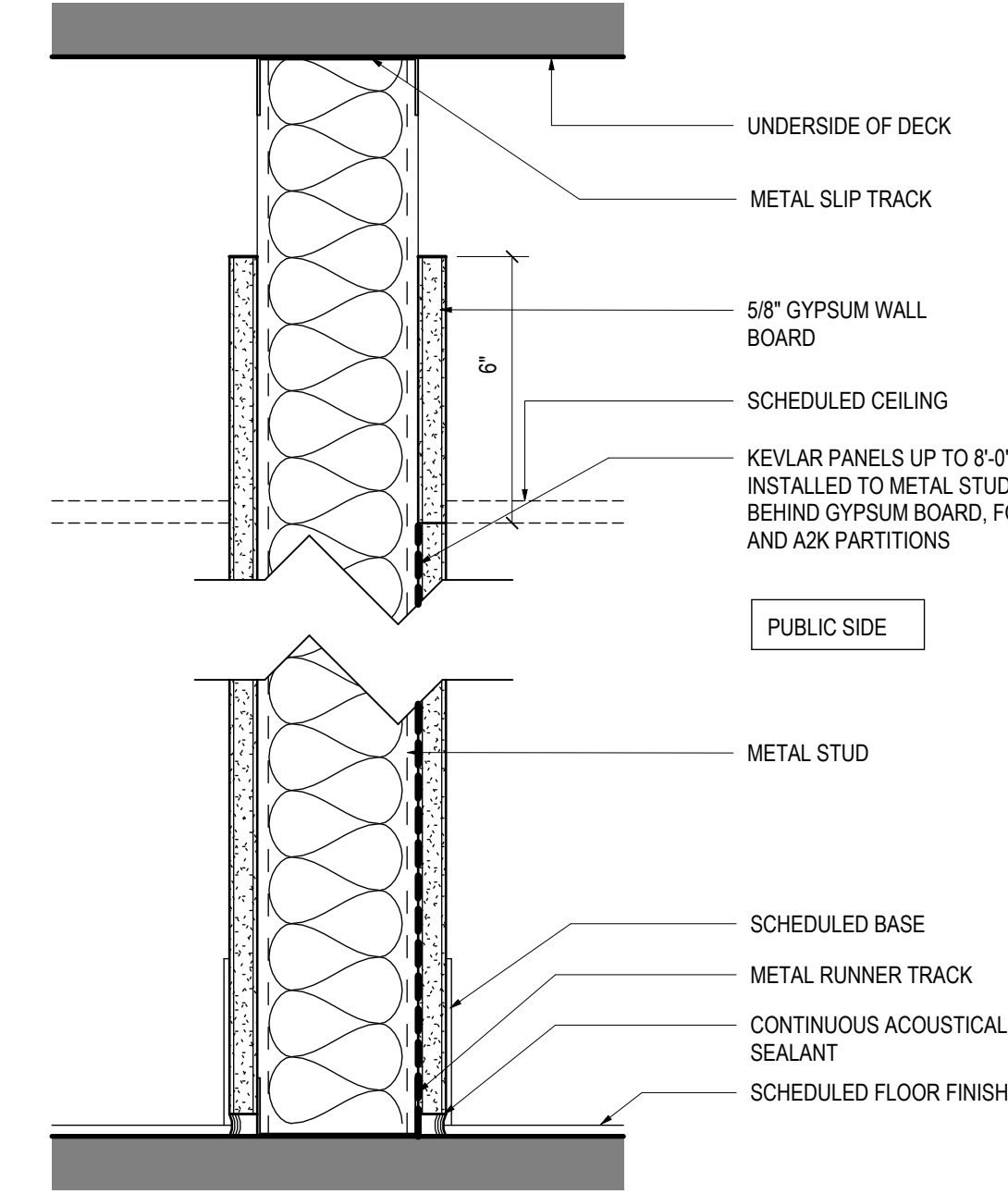
PARTITION TYPE 'B'

SCALE: 3" = 1'-0"



TYP. NON-BEARING WALL TOP CONNECTION

SCALE: 12" = 1'-0"

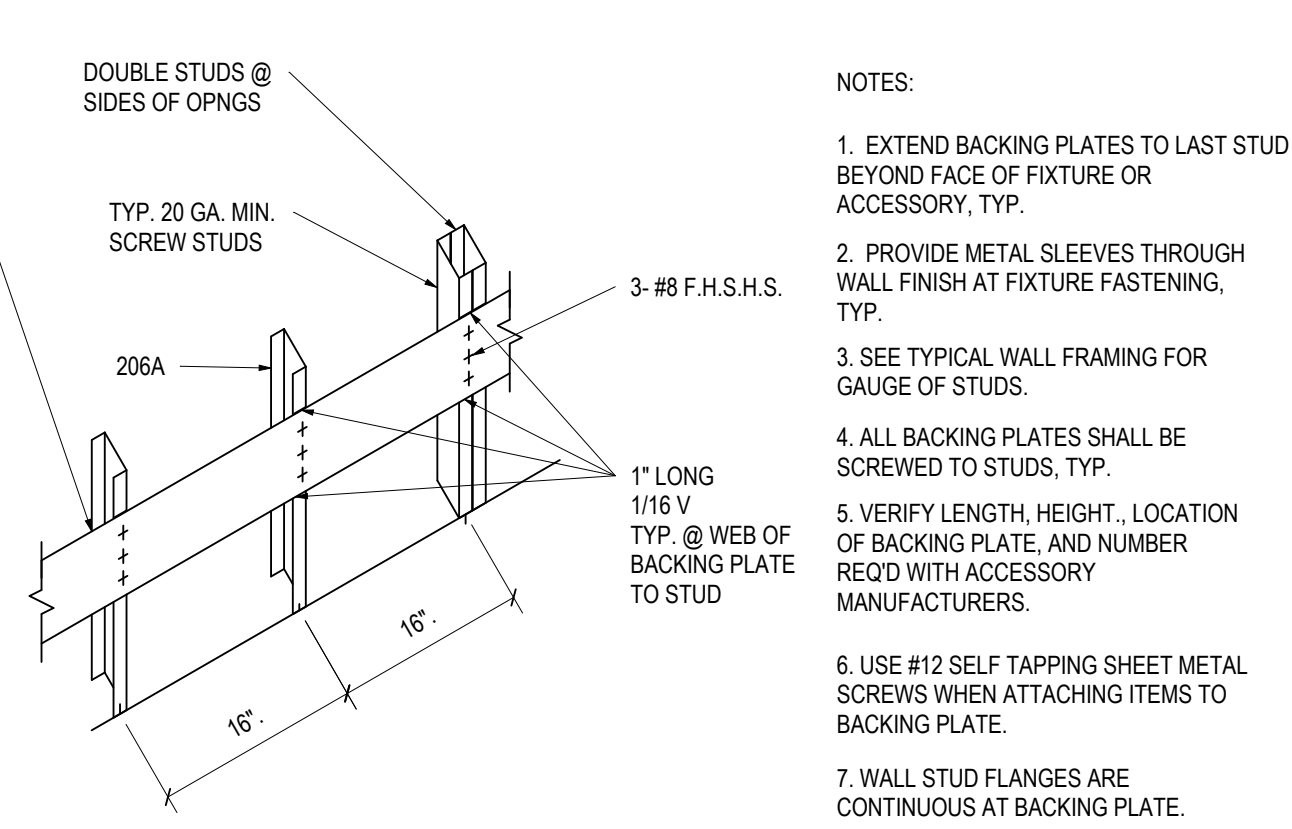


PARTITION TYPE MARK	FRAMING		DETAILS		ATTN	FIRE RTG	TESTED ASSEMBLY	STC RTG
	THK (GA)	DEPTH	SPACING	TOP BOT				
A1	16	3 5/8"	16" O.C.	A	A	3 1/2"	N/A	N/A
A1K	16	3 5/8"	16" O.C.	A	A	3 1/2"	N/A	N/A
A2*	16	3 5/8"	16" O.C.	A	A	3 1/2"	N/A	N/A
A2K*	16	3 5/8"	16" O.C.	A	A	3 1/2"	N/A	N/A

*(1) LAYER OF GYPSUM BOARD AT EXPOSED SIDE

PARTITION TYPE 'A'

SCALE: 3" = 1'-0"



SHEET NOTES

- A. FOR STORES UNDERGOING INTERIOR RENOVATIONS, ALL FLOORING TO BE FURNISHED AND INSTALLED BY TARKETT. FOR GROUND UP STORES, ALL FLOORING TO BE FURNISHED AND INSTALLED BY BANK OF AMERICA VENDOR - TARKETT US.
- B. FOR GROUND UP STORES, CONTRACTOR SHALL BE RESPONSIBLE FOR INCLUDING TARKETT WORK IN THE PROJECT SCHEDULE AND COORDINATING THEIR WORK ON SITE.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CLEAN, BROOM SWEEP, FLOOR-COVERING READY SUBSTRATES.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR MAJOR FLOORING PREPARATION AND/OR LEVELING. TARKETT WILL BE RESPONSIBLE FOR MINOR FLOOR PREPARATION, DEFINED AS EITHER:
1) FILLING OF CRACKS AND VOIDS LESS THAN 1/8" X 1/8"
2) ONE HOUR PER 1000 SF, INCLUDING FINAL SWEEPING. TANDUS WILL INSPECT PROJECTS PRIOR TO SCHEDULED INSTALLATIONS SO THAT FLOOR PREPARATION ISSUES, IF ANY, CAN BE PROPERLY ADDRESSED.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR POST FLOORING INSTALLATION, PAINT TOUCH UP AND NORMAL POST CONSTRUCTION CLEAN UP AND JANITORIAL SERVICES INCLUDING VACUUMING OF CARPET AND CLEANING OF RESILIENT FLOORING.
- F. SEE GENERAL NOTES ON POWER AND COMMUNICATIONS PLAN FOR COVER PLATE COLORS.

MEDIUM RENOVATION

1414 NY-300

Newburgh, NY 12550

SERIAL NUM./MANH. ID: NY6-225

NRSP VERSION: 4.0

BULLETIN: 01-2023

DOB NUMBER: XXX-XXX

Gensler

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FRENCH & PARRELLO
A S O C I A T E S

French & Parrello Associates
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Wall Township, NJ 07719
Contact: Amin H. Gooma, PE
Amin.Gooma@fpaengineers.com
Tel: 732-312-9873

Date Description

- 04.01.2024 ISSUE FOR SCHEMATIC DESIGN
04.01.2024 60% DESIGN DEVELOPMENT
05.28.2024 90% DESIGN DEVELOPMENT

PARTITION NOTES

GN-01. PARTITION TYPES ARE NOT SEQUENTIAL.

GN-02. ALL PARTITION SHEATHING TO BE 5/8" GYPSUM BOARD UNLESS OTHERWISE NOTED.

GN-03. REFER TO A00.20 SERIES FOR TOP AND BOTTOM OF PARTITION CONDITIONS LISTED IN PARTITION SCHEDULE.

GN-04. ALL PARTITIONS SHALL BE COORDINATED WITH SCHEDULED FINISHES FOR PARTITION LAYOUT AND REQUIRED CLEARANCES.

GN-05. PROVIDE BLOCKING IN PARTITIONS FOR AIRWORK HANGING AS INDICATED. SEE CONSTRUCTION PLAN(S) AND/OR INTERIOR ELEVATIONS FOR LOCATIONS.

GN-06. FOR INTERIOR FRAMING LIMITING HEIGHTS REFER TO SSMA TABLES FOR INTERIOR NON-STRUCTURAL NON-COMPOSITE PARTITIONS

GN-07. CONTRACTOR TO RE-CONFIRM STUD SIZE AND SUBMIT SELECTION CRITERIA FOR REVIEW INCLUDING DELINEATION OF SLAB TO UNDERSIDE OF SLAB INFORMATION.

GN-08. GWB SEAMS SHOULD BE STAGGERED BETWEEN DOUBLE LAYERS OF DRYWALL.

GN-09. INSTALL JUNCTION BOXES THAT SERVE OPPOSITE SIDES OF A WALL IN SEPARATE STUD CAVITIES.

GN-10. INSTALL INSULATION PAD BEHIND JUNCTION BOXES FOR STC-50 - INSULATION IS TO BE CONTINUOUS AND MIGHT BE COMPRESSED.

GN-11. PROVIDE TYPE 'X' GYPSUM BOARD AND FIRE RATED SEALANT AT ALL FIRE RATED PARTITIONS. SEE SHEET A02.01 FOR LOCATION OF RATED FIRE PARTITIONS.

GN-12. PROVIDE WATER RESISTANT GYPSUM BOARD AT WET AREA.

STEEL SHEET THICKNESS FOR STUDS AND RUNNERS			
GAGE*	MIN. STEEL BASE METAL THICKNESS (UNCOATED)		
	INCH	MILS	MM
12	0.1017	97	X
14	0.0713	68	X
16	0.0566	54	1.34
18	0.0451	43	1.09
20	0.0312	30	0.84
22	0.0270	27	0.68
25	0.0179	18	0.45

DOOR SCHEDULE - SEE SPECIFICATIONS MANUAL FOR HARDWARE SETS LISTED BELOW

ASSEMBLY		DIMENSION			DOOR		FRAME		HARDWARE SET (SEE SPECIFICATIONS MANUAL)		NOTES	ORDERED BY	INSTALLED BY
NO.	LOCATION	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH				
107	OFFICE 4 ME	A2	EXISTING	EXISTING	EXISTING	EXISTING	P-22	EXISTING	P-22	EXISTING	MODIFY EXISTING DOOR TO RECEIVE GLASSLITE. REUSE EXISTING HARDWARE.	EXISTING	EXISTING
109	WELLNESS ROOM	A	3'-0"	8'-0"	1 3/4"	WOOD	PAINT TO MATCH ADJACENT PARTITION	HOLLOW METAL	PAINT TO MATCH ADJACENT PARTITION	16	PROVIDE PRIVACY TYPE LOCK. PROVIDE 3/4" UNDERCUT AT DOOR LEAF. REFER TO MECHANICAL DRAWINGS	GC	GC
110	SD LOBBY	DFC-3B	3'-0"	8'-0"	2"	ALUMINUM/GLASS	DESIGNER WHITE	ALUMINUM	DESIGNER WHITE		STOREFRONT SYSTEM BY ALLSTEEL. GC TO PROCURE FROM ALLSTEEL VENDOR. CONTACT: BANKOFAMERICASUPPORT@HNI.GLOBAL	GC	HNI SUB
111	COUNPON BOOTH	A	3'-0"	8'-0"	1 3/4"	WOOD	PAINT TO MATCH ADJACENT PARTITION	HOLLOW METAL	PAINT TO MATCH ADJACENT PARTITION	08		GC	GC
114	BREAK ROOM	A	3'-0"	7'-0"	1 3/4"	WOOD	PAINT TO MATCH ADJACENT PARTITION	HOLLOW METAL	PAINT TO MATCH ADJACENT PARTITION	11B		GC	GC
114A	ELEC. CLOSET	A	2'-0"	7'-0"	1 3/4"	WOOD	PAINT TO MATCH ADJACENT PARTITION	HOLLOW METAL	PAINT TO MATCH ADJACENT PARTITION	10		GC	GC
115	WOMENS	A	3'-0"	7'-0"	1 3/4"	WOOD	PAINT TO MATCH ADJACENT PARTITION	HOLLOW METAL	PAINT TO MATCH ADJACENT PARTITION	08	PROVIDE PRIVACY TYPE LOCK. PROVIDE 3/4" UNDERCUT AT DOOR LEAF. REFER TO MECHANICAL DRAWINGS	GC	GC
116	MENS	A	3'-0"	7'-0"	1 3/4"	WOOD	PAINT TO MATCH ADJACENT PARTITION	HOLLOW METAL	PAINT TO MATCH ADJACENT PARTITION	08	PROVIDE PRIVACY TYPE LOCK. PROVIDE 3/4" UNDERCUT AT DOOR LEAF. REFER TO MECHANICAL DRAWINGS	GC	GC
117A	CSR	A	3'-0"	7'-0"	1 3/4"	WOOD	PAINT TO MATCH ADJACENT PARTITION	HOLLOW METAL	PAINT TO MATCH ADJACENT PARTITION	11	PROVIDE DOOR PEEP SCOPE TO BE VIEWED FROM CSR.	GC	GC
118	CALLING CUBES	A3	3'-0"	8'-0"		WOOD	PAINT TO MATCH ADJACENT PARTITION	HOLLOW METAL	PAINT TO MATCH ADJACENT PARTITION	11B			
120A	ELECTRICAL	A	3'-0"	7'-0"	1 3/4"	WOOD	PAINT TO MATCH ADJACENT PARTITION	HOLLOW METAL	PAINT TO MATCH ADJACENT PARTITION	10		GC	GC
121	WORKROOM	A	3'-0"	7'-0"	1 3/4"	WOOD	PAINT TO MATCH ADJACENT PARTITION	HOLLOW METAL	PAINT TO MATCH ADJACENT PARTITION	12	PROVIDE DOOR PEEP SCOPE TO BE VIEWED FROM CALLING CUBES.	GC	GC
EX-100A	VESTIBULE	EX	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING TO REMAIN	EXISTING	EXISTING TO REMAIN	AL-2C	MODIFY EXISTING DOOR/HARDWARE TO RECEIVE AUTO DOOR OPERATORS.	EXISTING	EXISTING
EX-100B	VESTIBULE	EX	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING TO REMAIN	EXISTING	EXISTING TO REMAIN	AL-2C	MODIFY EXISTING DOOR/HARDWARE TO RECEIVE AUTO DOOR OPERATORS.	EXISTING	EXISTING
EX-108	NER	EX	EXISTING	EXISTING	EXISTING	EXISTING	P-22	EXISTING	P-22	11C	MODIFY DOOR AS REQUIRED TO PROVIDE CARD READER. COORD. WITH BANK VENDOR.	EXISTING	EXISTING
EX-108A	NER	EX	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING TO REMAIN	EXISTING	EXISTING TO REMAIN	EXISTING		EXISTING	EXISTING
EX-114B	ATM CLOSET	EX	EXISTING	EXISTING	EXISTING	EXISTING	PAINT TO MATCH ADJACENT PARTITION	EXISTING	PAINT TO MATCH ADJACENT PARTITION	EXISTING		EXISTING	EXISTING
EX-114C	BREAK ROOM	EX	EXISTING	EXISTING	EXISTING	EXISTING	PAINT TO MATCH ADJACENT PARTITION	EXISTING	PAINT TO MATCH ADJACENT PARTITION	EXISTING	REPAINT TO MATCH ADJACENT PARTITION AT INTERIOR SIDE ONLY - EXTERIOR TO MATCH EXISTING	EXISTING	EXISTING
EX-115	VAULT	EX	EXISTING	EXISTING	EXISTING	EXISTING	PAINT TO MATCH ADJACENT PARTITION	EXISTING	PAINT TO MATCH ADJACENT PARTITION	EXISTING		EXISTING	EXISTING
EX-119	STORAGE	EX	EXISTING	EXISTING	EXISTING	EXISTING	PAINT TO MATCH ADJACENT PARTITION	EXISTING	PAINT TO MATCH ADJACENT PARTITION	EXISTING		EXISTING	EXISTING
EX-120B	ELECTRICAL	EX	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING TO REMAIN	EXISTING	EXISTING TO REMAIN	EXISTING		EXISTING	EXISTING
EX-123	ATM ACCESS	EX	EXISTING	EXISTING	EXISTING	EXISTING	PAINT TO MATCH ADJACENT PARTITION	EXISTING	PAINT TO MATCH ADJACENT PARTITION	11C	MODIFY DOOR AS REQUIRED TO PROVIDE CARD READER. COORD. WITH BANK VENDOR.	EXISTING	EXISTING
EX-126	CORRIDOR	EX	EXISTING	EXISTING	EXISTING	EXISTING	PAINT TO MATCH ADJACENT PARTITION	EXISTING	PAINT TO MATCH ADJACENT PARTITION	13	REPAINT TO MATCH ADJACENT PARTITION AT INTERIOR SIDE ONLY - EXTERIOR TO MATCH EXISTING	EXISTING	EXISTING

HARDWARE SCHEDULE

HARDWARE GROUP NO.6:
PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QUANTITY	DESCRIPTION	MODEL NUMBER	FINISH	MFR
3	EA HINGE	BB1279 4.5 x 4.5	26D	HAG
1	EA PRIVACY SET	ND40S SPA	626	SCH
1	EA WALL STOP	WS407CCV	630	IVE
3	EA SILENCER	SR84	GRY	IVE

HARDWARE GROUP NO.8:
PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QUANTITY	DESCRIPTION	MODEL NUMBER	FINISH	MFR
3	EA HINGE	BB1279 4.5 x 4.5	26D	HAG
1	EA PRIVACY SET	ND40S SPA	626	SCH
1	EA SURFACE CLOSER	4011	689	LCN
1	EA KICK PLATE	8400 10" x 2" LDW	630	IVE
1	EA WALL STOP	WS407CCV	630	IVE
1	SET SEALS	188S	CL	ZER

HARDWARE GROUP NO.10:
PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QUANTITY	DESCRIPTION	MODEL NUMBER	FINISH	MFR
3	EA HINGE	BB1279 4.5 x 4.5 NRP	26D	HAG
1	EA STOREROOM LOCK	NB80HD SPA	626	SCH
1	EA SPIC EV B CORE ONLY	80-037	626	SCH
1	EA SURFACE CLOSER	4111 EDA	689	LCN
1	EA WALL STOP	WS407CCV	630	IVE
3	EA SILENCER	SR85	GRY	IVE

HARDWARE GROUP NO.11:
PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

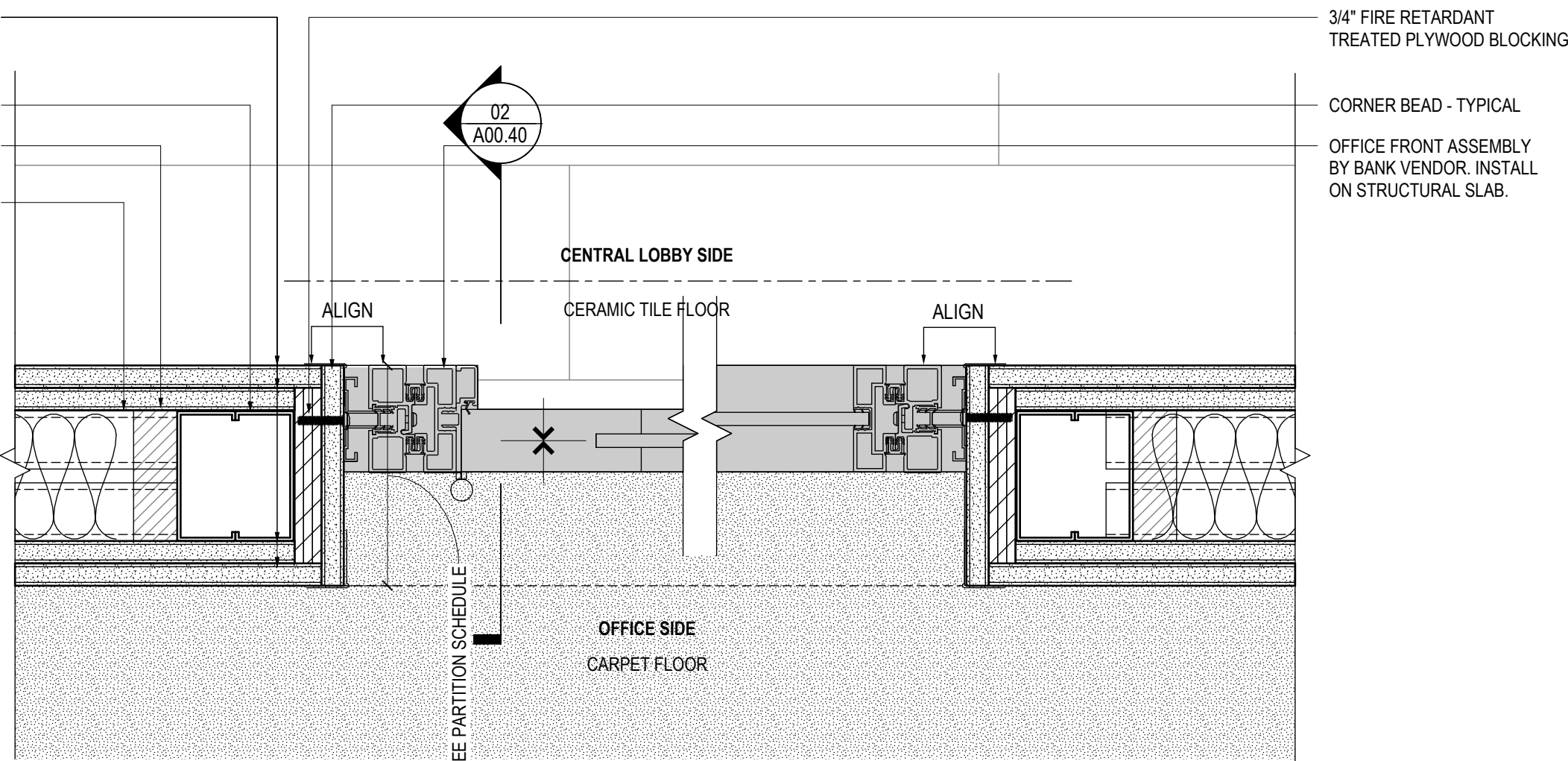
QUANTITY	DESCRIPTION	MODEL NUMBER	FINISH	MFR
3	EA HINGE	BB1279 4.5 x 4.5 NRP	26D	HAG
1	EA PUSH BUTTON LOCK	5031B WL	626	SIM
1	EA SPIC EV B CORE ONLY	80-037	626	SCH
1	EA SURFACE CLOSER	4111 EDA	689	LCN
1	EA WALL STOP	WS407CCV	630	IVE
1	EA DOOR SCOPE	DS2000-ALS	AL	MIS
3	EA SILENCER	SR84	GRY	IVE

HARDWARE GROUP NO.11B:
HARDWARE BASED ON 9 FEET HIGH DOOR FROM CENTRAL LOBBY.
PROVIDE EACH SGL DOOR(S) WITH WITH THE FOLLOWING:

QUANTITY	DESCRIPTION	MODEL NUMBER	FINISH	MFR
4	EA HINGE	BB1279 4.5 x 4.5 NRP	26D	HAG
1	EA PUSH BUTTON LOCK	5031B WL	626	SIM
1	EA SPIC EV B CORE ONLY	80-037	626	SCH
1	EA SURFACE CLOSER	4011 EDA	689	LCN
1	EA KICK PLATE	8400 10" x 2" LDW	630	IVE
1	EA WALL STOP	WS407CCV	630	IVE
1	EA DOOR SCOPE	DS2000-ALS	AL	MIS
3	EA SILENCER	SR84	GRY	IVE

HARDWARE GROUP NO.11C/ATM ROOM
PROVIDE EACH SGL DOOR(S) WITH WITH THE FOLLOWING:

QUANTITY	DESCRIPTION	MODEL NUMBER	FINISH	MFR
4	EA HINGE	BB1168 5 x 4.5	26D	HAG
1	EA STOREROOM LOCK	NB80HD SPA	626	SCH
1	EA SPIC EV B CORE ONLY	80-037	626	SCH
1	EA SURFACE CLOSER	4111 EDA	689	LCN
1	EA WALL STOP	WS407CCV	630	IVE
1	EA DOOR SCOPE	DS2000-ALS	AL	MIS
4	EA SILENCER	SR84	GRY	IVE
1	EA ELECTRIC STRIKE	1500C		
1	EA CARD READER	By Security Vendor		
1	EA DOOR POSITION SWITCH	By Security Vendor		
1	EA WIRING DIAGRAM	By Security Vendor		



DFC-3B JAMB DETAIL

SCALE: 3" = 1'-0"

HARDWARE GROUP NO.12:
PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QUANTITY	DESCRIPTION	MODEL NUMBER	FINISH	MFR
3	EA HINGE	BB1279 4.5 x 4.5	26D	HAG
1	EA PUSH BUTTON LOCK	5031B WL	626	SIM
1	EA SPIC EV B CORE ONLY	80-037	626	SCH
1	EA SURFACE CLOSER	4011	689	LCN
1	EA OVERHEAD STOP	100S	630	GLY
1	EA DOOR SCOPE	DS2000-ALS	AL	MIS
3	EA SILENCER	SR84	GRY	IVE

HARDWARE GROUP NO.13, SINGLE DOOR FOR C-USED AS MEANS OF EGRESS FROM BACK CORRIDOR TO THE EXTERIOR.
PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QUANTITY	DESCRIPTION	MODEL NUMBER	FINISH	MFR
3	EA HINGE	BB1191 4.5 x 5 NRP	32D	HAG
1	EA PANIC HARDWARE	98EO X ALK-SS	626	VON (install included detail)
1	EA MORTISE CYLINDER	80-132	626	SCH
1	EA SURFACE CLOSER	4011 SCUSH	689	LCN
1	SET SEALS	316AS	AL	PEM
1	EA RAIN DRIP	346C	AL	PEM
1	EA DOOR SWEEP	318SAV	AL	PEM
1	EA THRESHOLD	325	AL	NSP

SPECIFIED PANIC HARDWARE (VON DURPIN 98EO X ALK-SS) KIT, INCLUDES A DECAL FOR THE CRASH BAR/ PADDOLE DOOR RELEASE "EMERGENCY EXIT ONLY. ALARM WILL SOUND"

HARDWARE GROUP NO.18, WELLNESS ROOM
PROVIDE EACH SGL DOOR WITH WITH THE FOLLOWING:

QUANTITY	DESCRIPTION	MODEL NUMBER	FINISH	MFR
4	EA HINGE	BB1279 4.5 x 4.5	26D	HAG
1	EA PRIVACY SET	LW46HD 17A	626	SCH
1	EA WALL STOP	LS83-363 L283-722	630	IVE
3	EA SILENCER	WS407CCV	630	IVE

HARDWARE GROUP NO.AL-2C:
PROVIDE EACH PR DOOR(S) WITH WITH THE FOLLOWING:

QUANTITY	DESCRIPTION	MODEL NUMBER	FINISH	MFR
2	EA POWER TRANSFER	EPT-2	689	VON ES-105 DORMA
1	EA POWER OPERATOR	ED900-CMP-J8	689	DORMA
2	EA PUSH PLATES	10PBJM 110BOXJAMB SET		By Security Vendor
2	EA AUTOMATIC CAUTION DOORSIGN	-		By Security Vendor

(The sign shall be a min of 6" in diameter with black lettering on a yellow background. Additionally, when a knowing act switch is used to initiate the operation of the door operator, the doors shall be provided with signs on each side of the door where the switch is located, with the message "ACTIVATE SWITCH TO OPERATE". The lettering shall be white and the background shall be blue.)

1	EA KEYSWITCH	653-14 NS-12	630	SCE 632f SDC
1	EA POWER SUPPLY	PS914-2RS	GRY	VON
1	CUSTOM	WIRING DIAGRAM BY HARDWARE SUPPLIER		By Security Vendor

PUSH PLATE - 10PBJM 110BOXJAMB SET

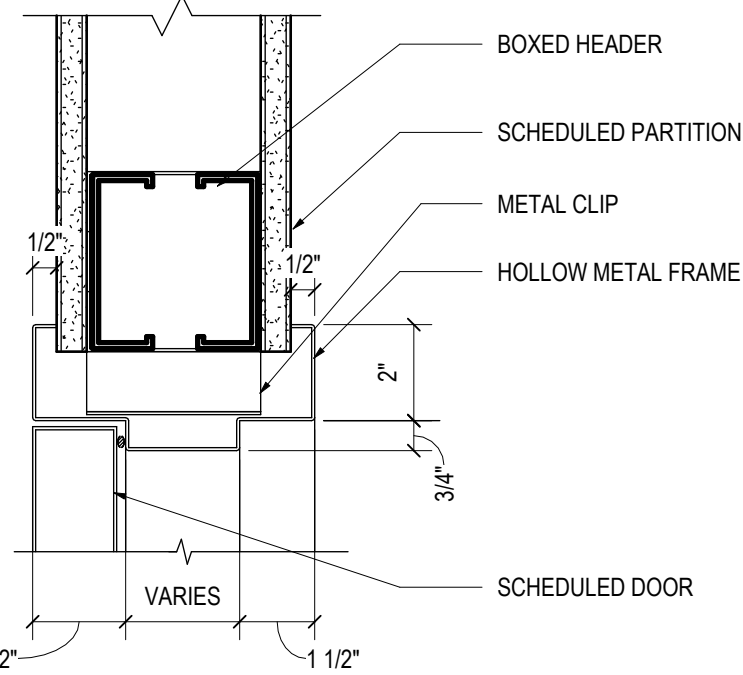


GLAZING SCHEDULE

GLAZING (BAC PERFORMANCE)

GL-2	1" CLEAR TEMPERED INSULATED GLAZING AS SPECIFIED
GL-5	3/8" TEMPERED GLASS BY VENDOR (USED FOR DFC-1B, DFC-2B AND DFC-3B)

DOOR DETAILS

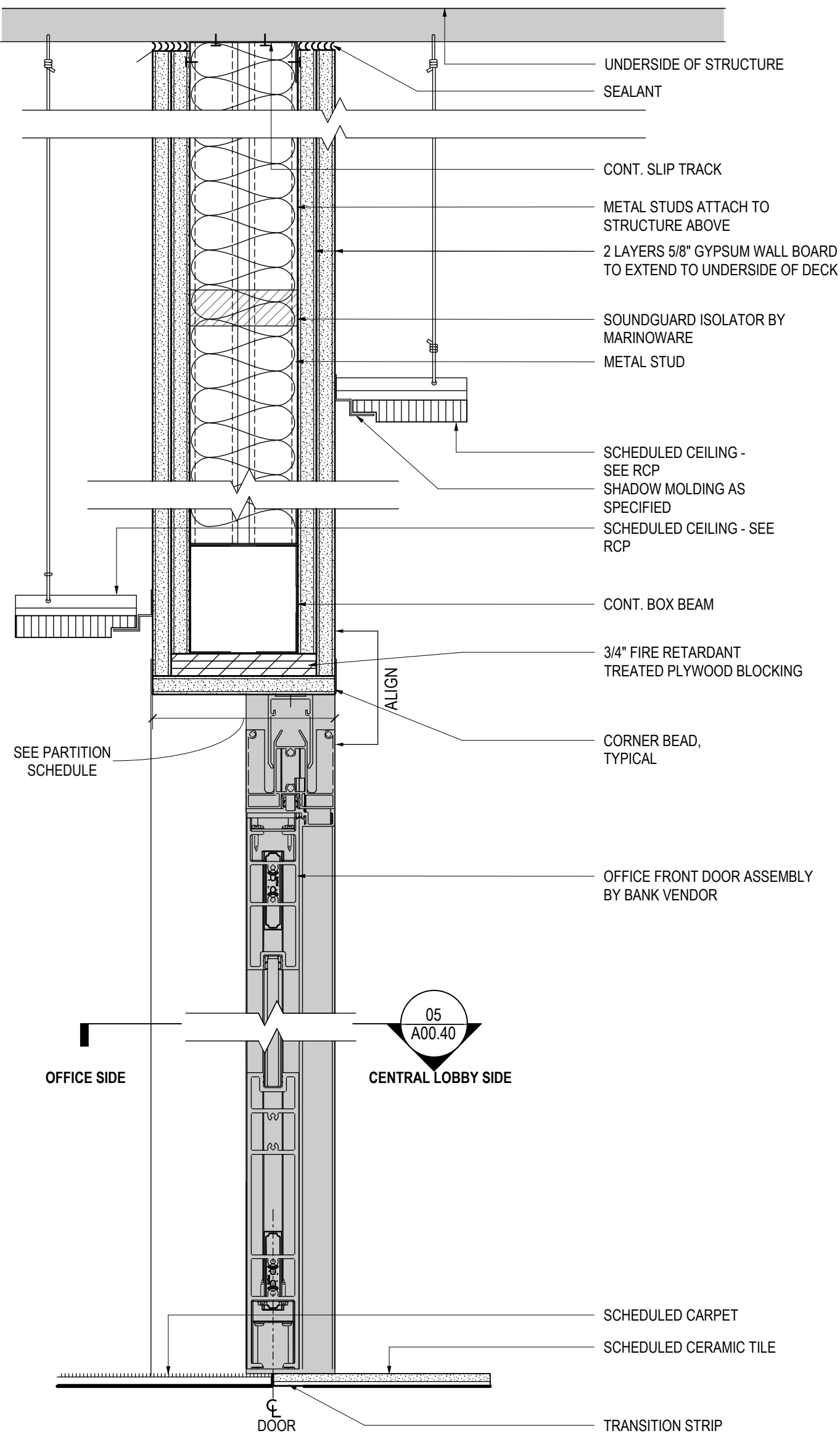


HOLLOW METAL FRAME HEAD DETAIL

SCALE: 3" = 1'-0"

HOLLOW METAL FRAME JAMB DETAIL

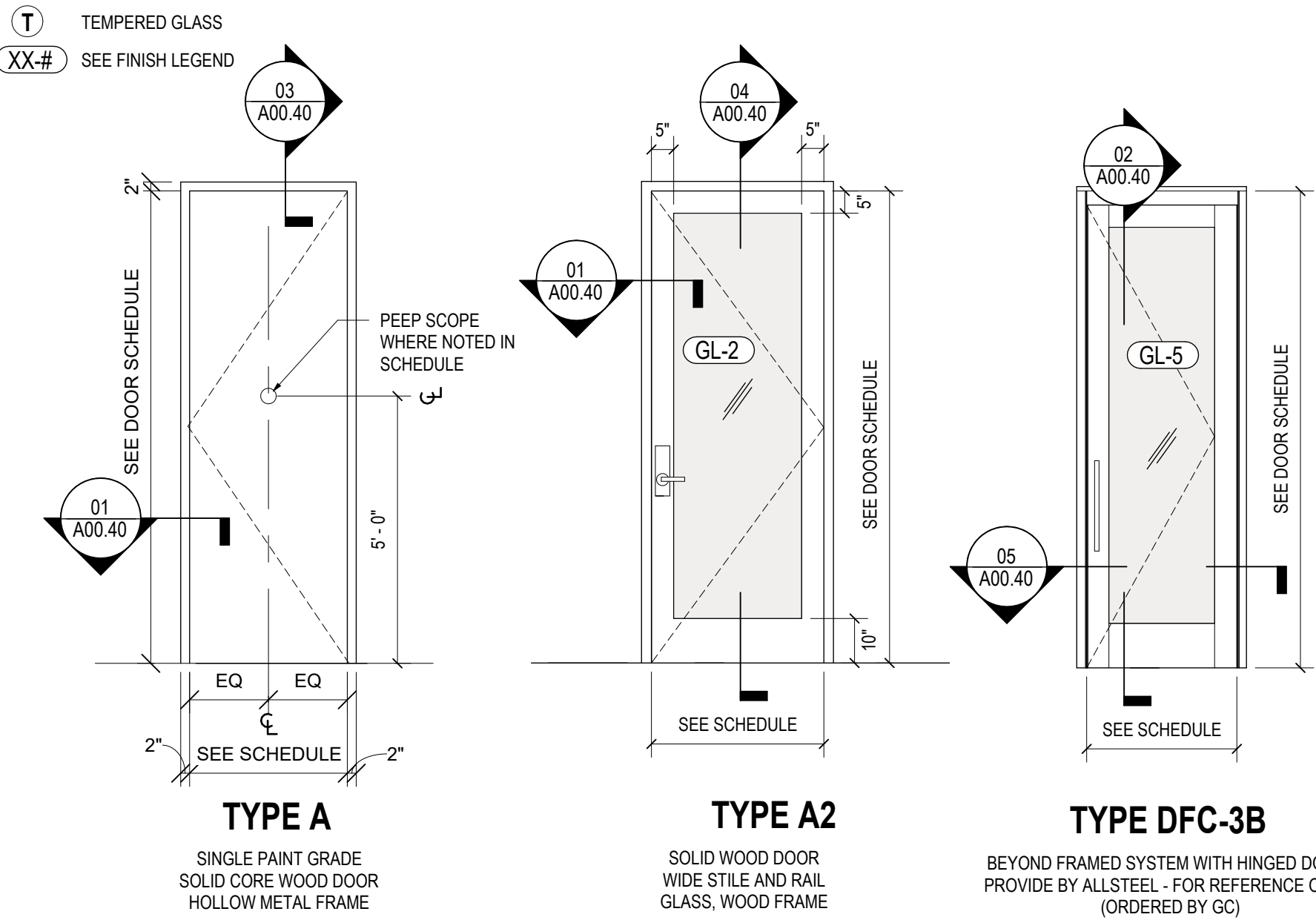
SCALE: 3" = 1'-0"



DF3-3B DETAIL @ DOOR

SCALE: 3" = 1'-0"

DOOR TYPES



SHEET NOTES

1. PAINT DOORS AND DOOR FRAMES TO MATCH ADJACENT PARTITION UNLESS NOTED OTHERWISE.
2. ALL DOOR HARDWARE SHALL BE LEVER TYPE MEETING ACCESSIBILITY DESIGN REQUIREMENTS
3. COORDINATE ALL HARDWARE KEYING WITH THE OWNER AND OBTAIN OWNERS APPROVAL PRIOR TO PLACING HARDWARE ORDER.

MEDIUM RENOVATION

1414 NY-300
Newburgh, NY 12550

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GENERAL NOTES

- A. REFER TO SPECIFICATIONS FOR DOOR HARDWARE SETS.
- B. EXTERIOR CURTAIN WALL, STOREFRONT, DOORS AND FRAMES TO HAVE CLEAR ANODIZED FINISH.
- C. PAINT DOORS AND DOOR FRAMES TO MATCH ADJACENT PARTITION UNLESS NOTED OTHERWISE.
- D. DOOR RAILS/FRAME TO BE CLEAR ANODIZED FINISH.
- E. ALL DOOR HARDWARE SHALL BE LEVER TYPE MEETING ACCESSIBILITY DESIGN REQUIREMENTS.
- F. ALL DOOR HARDWARE SHALL BE SATIN CHROME FINISH (USBR), UNLESS OTHERWISE INDICATED.
- G. COORDINATE ALL HARDWARE KEYING WITH THE OWNER AND OBTAIN OWNER'S APPROVAL PRIOR TO PLACING HARDWARE ORDER.
- H. REFER TO FINISH SCHEDULE FOR WOOD DOOR FINISHES.
- I. FOR EXTERIOR HOLLOW METAL DOORS, PAINT FRAME AND DOOR ON INTERIOR SIDE TO MATCH ADJACENT PARTITION COLOR. PAINT FRAME AND DOOR ON EXTERIOR SIDE EXPT-2.
- J. FINAL CORES FOR ALL DOOR HARDWARE LOCKSETS TO BE PROVIDED AND INSTALLED BY GC, INCLUDING HARDWARE INSTALLED BY BANK VENDORS. COORDINATE WITH PROJECT MANAGER AND BANK FOR ADDITIONAL INFORMATION.
- K. G.C TO PROVIDE DOOR PREPARATION FOR ALL HARDWARE, INCLUDING ANY VENDOR PROVIDED (SECURITAS, ETC.), PRIOR TO INSTALLATION IN FIELD.

Date	Description
04.01.2024	ISSUE FOR SCHEMATIC DESIGN
04.01.2024	60% DESIGN DEVELOPMENT
05.28.2024	90% DESIGN DEVELOPMENT

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

MEADOW HILL

Project Number

059.8400.015

Description

DOOR TYPES, DOOR SCHEDULE AND HARDWARE

Scale

As indicated

A00.40

5/28/2024 5:55:30 PM Autodesk Docs:059.8400.015 - Bank RFP - NYC-225 Meadow Hill\NY6-225 Meadow Hill_059.8400.015.rvt



DEMOLITION PLAN

SCALE: 3/8" = 1'-0"

01

SHEET NOTES

- 01 PREPARE DOOR TO RECEIVE NEW AUTOMATIC DOOR OPERATOR - COORD. WITH BANK VENDOR.
- 02 DEMO EXISTING CSR LINE AND ALL ASSOCIATED EQUIPMENT IN ITS ENTIRETY TO ALLOW FOR NEW WORK. COORD. ANY SALVAGE/REUSE OF EQUIPMENT WITH BANK VENDOR.
- 03 REMOVE EXISTING FLOOR FINISHES AND ADHESIVES DOWN TO STRUCTURAL SUBSTRATE. PATCH AND PREPARE SURFACES TO RECEIVE NEW FLOOR FINISH. PROVIDE ADD ALTERNATE TO RELEVEL AS REQUIRED - COORD. WITH BANK VENDOR.
- 04 EXISTING FLOOR FINISH TO REMAIN - CLEAN THOROUGHLY TO "LIKE NEW" CONDITION.
- 05 SELECTIVE DEMOLITION OF CONCRETE WALL AS REQUIRED TO ALLOW FOR NEW WORK - COORD. WITH STRUCTURAL DWGS.
- 06 REMOVE SHELVING TO ALLOW FOR NEW WORK. PATCH AND REPAIR AS REQUIRED.
- 07 RELOCATE EXISTING SECURITY PANEL - REFER TO A03.01 FOR NEW LOCATION.
- 08 RELOCATE EXISTING MIRROR - REFER TO A06.01 FOR NEW LOCATION.
- 09 SELECTIVE DEMOLITION OF EXISTING PARTITION - COORDINATE WITH NEW WORK.
- 10 RELOCATE EXISTING HAND SANITIZER - REFER TO A06.01 FOR NEW LOCATION.
- 11 RELOCATE EXISTING CHAIR - REFER TO A06.01 FOR NEW LOCATION.
- 12 REMOVE EXISTING UNUSED FLOOR BOX AND COMPONENTS IN ITS ENTIRETY BACK TO SOURCE AND PATCH FLOOR TO RECEIVE NEW FLOOR FINISH. TYP. COORD. ANY REUSED LOCATIONS WITH NEW WORK.
- 13 RELOCATE EXISTING IPAD CABINET - REFER TO A03.01 FOR NEW LOCATION.
- 14 RELOCATE EXISTING MFP - REFER TO A03.01 FOR NEW LOCATION.
- 15 RELOCATE EXISTING ROLLING BIN - REFER TO A06.01 FOR NEW LOCATION.
- 16 MODIFY EXISTING DOOR TO RECEIVE GLASSLITE.
- 17 RELOCATE EXISTING PRINTER - REFER TO A03.01 FOR NEW LOCATION.
- 18 RELOCATED EXISTING TRASH CAN - REFER TO A06.01 FOR NEW LOCATION.
- 19 RELOCATE EXISTING TABLE - REFER TO A06.01 FOR NEW LOCATION.
- 20 RELOCATE EXISTING FE - REFER TO A02.01 FOR NEW LOCATION.
- 21 REMOVE EXISTING DEAL DRAWER AND SIDE CABINETS FROM INTERIOR. KEEP EXTERIOR "POP-OUT".
- 22 REMOVE EXISTING WALL MOUNTED LIGHTING FIXTURE - PATCH WALL AS REQUIRED TO RECEIVE NEW FINISH.
- 23 DEMO EXISTING MILLWORK AND ALL ASSOCIATED CONNECTIONS IN THEIR ENTIRETY - PATCH AND REPAIR WALL IF APPLICABLE TO RECEIVE NEW FINISH. COORD. WITH MECHANICAL DWGS FOR DIFFUSER LOCATED BENEATH.
- 24 DEMO EXISTING DOOR AND FRAME AND INFILL WITH INFILL WALL TO MATCH EXISTING ADJACENT.
- 25 RELOCATE EXISTING QUEUE STANCHIONS - REFER TO A06.01 FOR NEW LOCATION.
- 26 REMOVE EXISTING QUEUE STANCHIONS - COORD. WITH BANK VENDOR.
- 27 REMOVE EXISTING RESTROOM FIXTURE AND ALL ASSOCIATED CONNECTIONS IN ITS ENTIRETY. ALL CONNECTIONS TO BE DISCONNECTED AND TIED BACK TO SOURCE. REFER TO PUMBING DWGS - COORD. WITH NEW WORK.
- 28 EXISTING STONE WALL TO REMAIN.
- 29 RELOCATE EXISTING REMOTE CAPTURE - REFER TO A03.01 FOR NEW LOCATION.
- 30 RELOCATE EXISTING SECURITY MONITOR - REFER TO A03.01 FOR NEW LOCATION.
- 31 REMOVE EXISTING UC STEEL - COORD. WITH BANK VENDOR.
- 32 REMOVE EXISTING FRIDGE FROM SITE - COORD. WITH FCM.
- 33 RELOCATE WELLNESS ROOM SIGNAGE - REFER TO A02.01 FOR NEW LOCATION.
- 34 RELOCATE EXISTING LIGHT SWITCH AS REQUIRED.
- 35 EXISTING NER RACK TO REMAIN - PROTECT DURING CONSTRUCTION INCLUDING ADJACENT PARTITION WITH EQUIPMENT MOUNTED TO FACE.
- 36 REMOVE EXISTING RAILING - PATCH AND REPAIR WALL/FLOOR AS REQUIRED.
- 37 REMOVE SCRIBBLE FILM FROM EXISTING DRIVE-UP WINDOW. PREPARE TO RECEIVE NEW FINISH - REFER TO A05.01 FOR NEW FINISH.
- 38 EXISTING ELECTRIC PANEL TO REMAIN - PROTECT DURING CONSTRUCTION.
- 39 MODIFY EXISTING DOOR AS REQUIRED TO PROVIDE NEW CARD READER.
- 40 DEMO EXISTING DOOR/DOOR FRAME IN ITS ENTIRETY TO ALLOW FOR NEW WORK.
- 41 RELOCATE EXISTING ROLLING BIN - REFER TO A03.01 FOR NEW LOCATION.

GENERAL NOTES

- A. REFER TO SERIES A01 FOR GRAPHIC SYMBOLS, ABBREVIATIONS AND GENERAL NOTES.
- B. COORDINATE EXTENT OF DEMOLITION WITH NEW CONSTRUCTION.
- C. DEMOLISH ALL PARTITIONS AND ASSOCIATED FIXTURES SHOWN DASHED, UNLESS NOTED OTHERWISE.
- D. REMOVE ALL EXISTING WALL FINISHES AND WALL BASE AT COLUMNS AND PERIMETER WALLS WHERE NEW FINISHES ARE NOTED. PATCH AND PREPARE PARTITIONS AS REQUIRED TO ACCEPT NEW FINISHES.
- E. GC TO COORDINATE WITH BANK FLOORING VENDOR REMOVAL OF ALL EXISTING FLOOR FINISHES AND SUBSTRATE WHERE NEW FINISHES ARE NOTED. SCRAPE FLOOR AND PREPARE TO ACCEPT NEW FINISH PER MANUFACTURER'S INSTALL INSTRUCTIONS AND WARRANTY INFORMATION.
- F. COORDINATE REMOVAL OF EXISTING CEILING SYSTEMS, LIGHT FIXTURES AND DEVICES WITH NEW WORK. MECHANICAL EQUIPMENT MAY BE RELOCATED IF NEW CEILING HEIGHTS VARY FROM EXISTING CONDITIONS.
- G. REMOVE ALL MINI-BLINDS DURING DEMOLITION, UNLESS NOTED OTHERWISE.
- H. REMOVE REGULATORY SIGNAGE AND PLACE AGAINST WALL BELOW. DO NOT REINSTALL OR REMOVE FROM CUSTOMER FACING AREA.
- I. REMOVE ALL WALL MERCHANDISING AND LOCATED IN A SECURE BOX LOCATION FOR BANK VENDOR TO REINSTALL.
- J. G.C. TO CONDUCT A MEETING (PRIOR TO STARTING DEMOLITION) WITH OWNER AND ARCHITECT TO DETERMINE STOCK PILE AND STORAGE OF ANY AND ALL MATERIALS/EQUIPMENT TO BE SALVAGED OR STORED OFF-SITE.

LEGEND

- NOT IN CONTRACT REGION
- EXISTING PARTITION TO REMAIN
- SCOPE TO BE DEMOLISHED

MEDIUM RENOVATION

1414 NY-300
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Seal / Signature

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Project Name

MEADOW HILL

Project Number

059.8400.015

Description

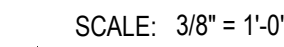
EXISTING & DEMOLITION FLOOR PLAN

Scale

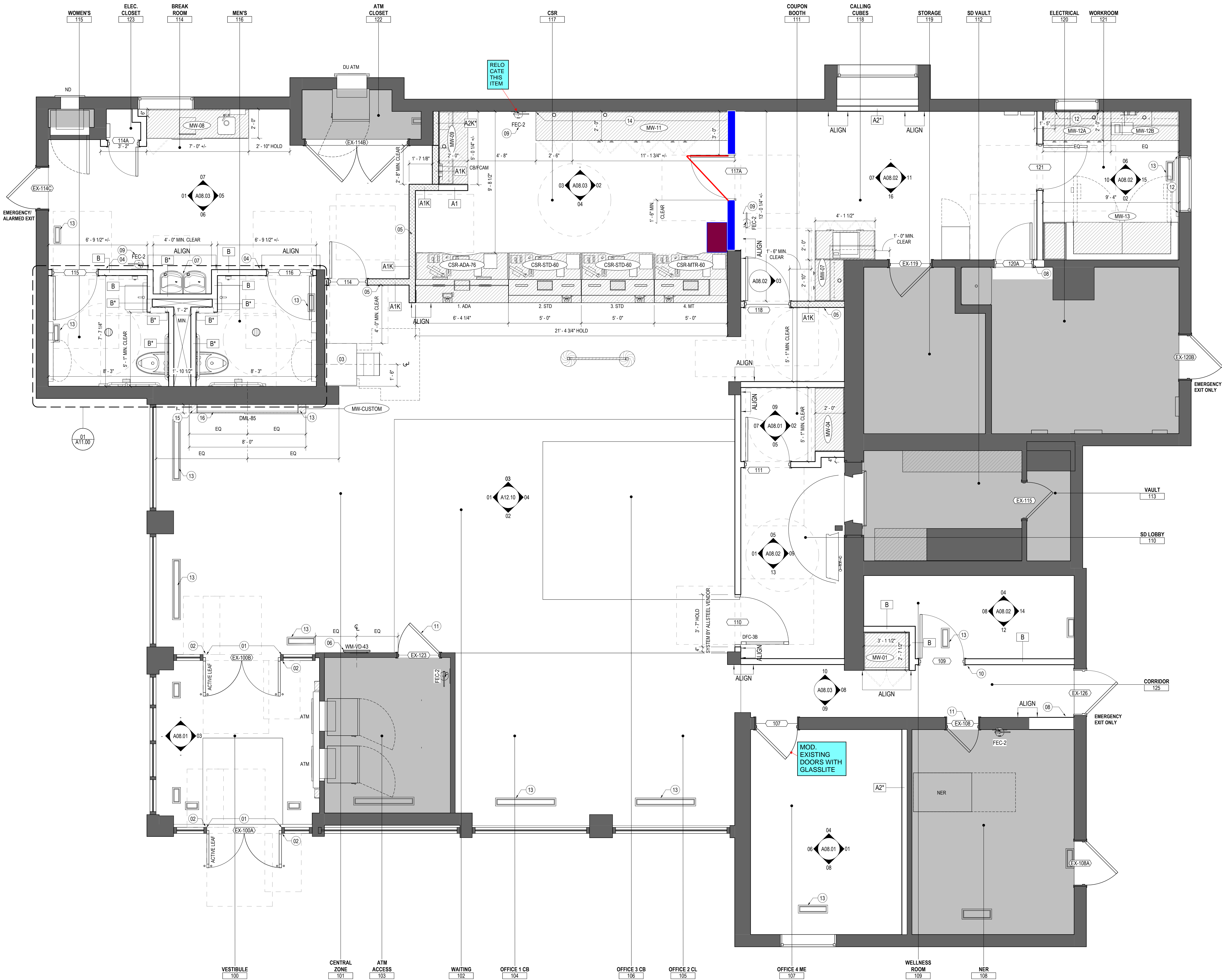
As indicated

0 1 2 4 8

A01.01



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CONSTRUCTION PLAN

SCALE: 3/8" = 1'-0"

01

SHEET NOTES

- MODIFY EXISTING DOOR TO RECEIVE NEW AUTOMATIC DOOR OPERATOR. COORDINATE WITH BANK VENDORS.
- LOCATION OF AUTOMATIC DOOR ASSIST MOUNTED ON EXISTING WALL WITH 10PJM 110BOXJAMSET. PROVIDED AND INSTALLED BY BANK VENDOR. ADJUST TIME DELAY AS REQUIRED PER DISTANCE.
- PROVIDE NEW DN 200 MICRO ATM AND FRAME-R-KIOSK-HG_3.0-DN200 - COORD. WITH BANK VENDOR. BOLT DOWN TO FLOOR THROUGH BOLT HOLES. COORD. WITH STRUC. DWGS.
- PROVIDE BANK STANDARD RESTROOM SIGNAGE.
- HATCHED WALL INDICATES EXTENT OF KEVLAR INSTALLATION.
- PROVIDE FIRE RESISTANT BLOCKING IN WALL AS REQUIRED FOR WALL MEDIA. COORDINATE WITH BANK VENDOR.
- PROVIDE NEW BANK STANDARD DRINKING FOUNTAIN.
- INFILL WALL TO MATCH EXISTING ADJACENT WALL.
- RELOCATED EXISTING FE.
- PROVIDE BANK STANDARD WELLNESS ROOM SIGNAGE. REFER TO A00.11
- PROVIDE NEW HARDWARE TO EXISTING DOOR. SEE HARDWARE SCHEDULE ON A00.40 FOR DETAILS.
- INFILL EXISTING WINDOW WITH PLYWOOD OR STUDS WITH GYPSUM BOARD. APPLY DARK FILM.
- EXISTING FLOOR VENT TO REMAIN - COORD. WITH MEP DWGS.
- COORD. WITH MECHANICAL DWGS. TO ACCOMMODATE EXISTING BASE DIFFUSERS. MILLWORK MAY REQUIRED VENT AT BASE.
- PROVIDE CUSTOM 4" HIGH MILLWORK CURB WITH VENTS AT FRONT FACE TO ALLOW FOR SIR DIFFUSER AT FLOOR TO REMAIN.
- ATTACHED DML-85 TO STONE FACE AS REQUIRED.

GENERAL NOTES

- ALL PARTITIONS TO BE TYPE "A1" UNLESS NOTED OTHERWISE. REFER TO WALL PARTITION TYPES.
- FOR ADDITIONAL GENERAL NOTES, LEGENDS AND SCHEDULES, REFER TO SHEETS A00.00 AND A00.10.
- UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 4" FROM ADJACENT PERPENDICULAR PARTITION.
- VERIFY ALL EQUIPMENT WITH VENDOR.
- CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES.
- RE-LAMP EXISTING LIGHT FIXTURE AS REQUIRED TO ACHIEVE CONSISTENT COLOR TEMPERATURE THROUGHOUT CUSTOMER FACING AREAS.
- PROVIDE BLOCKING FOR ALL WALL-MOUNTED EQUIPMENT AND ACCESSORIES.
- PROVIDE EMBLEM SIGN IF REQUIRED.

LEGEND

- NOT IN CONTRACT REGION
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- REFERENCE TO PARTITION TYPE
- FIRE RATED PARTITION
- DOOR
- COLUMN GRID
- OFFICE
- ROOM NUMBER
- DOOR NUMBER
- DOOR NUMBER HARDWARE
- DOOR TYPE
- SHEET NOTES
- REVISION REFERENCE
- DIRECTION OF ELEVATION
- ELEVATION NUMBER ON SHEET
- SHEET WHERE SHOWN
- DETAIL NUMBER
- SHEET WHERE SHOWN
- DESCRIPTION OF SIMILAR OR OPPOSITE
- AREA TO BE DETAILED
- MILLWORK
- MILLWORK SCHEDULE TAG
- ALIGN
- FIRE EXTINGUISHER CABINET (F.E.C.)
- BLOCKING REQUIRED FOR MILLWORK

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05.28.2024	90% DESIGN DEVELOPMENT

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name

MEADOW HILL

Project Number

059.8400.015

Description

CONSTRUCTION PLAN

Scale

As indicated

0 1 2 4 8
A02.01

POWER AND COMMUNICATION PLAN

SCALE: 3/8" = 1'-0"



SHEET NOTES

- 01 POWER/DATA DEVICES ON DARK ACCENT WALLS TO BE BLACK FINISH, TYPICAL. REFER TO A05.01
- 02 REUSE EQUIPMENT AS POSSIBLE.
- 03 RELOCATED EXISTING MFP.
- 04 REUSE POWER/DATA AS POSSIBLE. RELOCATE AS REQUIRED.
- 05 RELOCATED EXISTING SWITCHES. COORD. WITH ELEC. DWGS.
- 06 RELOCATED TRASH CAN.
- 07 RELOCATED THERMOSTAT. COORD. WITH MECH. DWGS.
- 08 PROVIDE 120V, 20A DEDICATED DUPLEX CONNECTED TO TWO CIRCUIT FOR ATM AND ANOTHER FOR KIOSK. REFER TO ELECTRICAL DRAWINGS.
- 09 PROVIDE LEGRAND RECESSED WALL BOX HEFSB4 WITH DECORATIVE COVER. WHITE FINISH, PAINTED TO MATCH WALL. REFER TO ELECTRICAL DRAWINGS.
- 10 RELOCATED SECURITY MONITOR AND PROVIDE J-BOX. COORD. WITH BANK VENDOR.
- 11 RELOCATED ROLLING RECYCLE BIN
- 12 RELOCATED IPAD CABINET - PROVIDE POWER.
- 13 RELOCATED REMOTE CAPTURE.
- 14 PRINTER CABINET LIGHT FIXTURE TO ACTIVATE UPON DOOR OPENING. SEE SHEET A12.00
- 15 RELOCATED SECURITY PANEL - COORD. WITH BANK VENDOR.
- 16 PROVIDE RECESSED ARLINGTON TUBES WALL BOX WITH DUPLEX NEMA 5-20P POWER RECEPTACLE AND (1) SHIELDED CAT 6 CABLE WITH RJ45 RECEPTACLE INSTALLED EQUIPMENT BOX. GC TO VERIFY COMPONENT CAN BE RECESSED. NOTIFY ARCHITECT OF ANY DISCREPANCIES. REFER TO ELECTRICAL DRAWINGS.
- 17 PROVIDE AUTOMATIC DOOR OPERATOR PUSH BUTTON ASSIST MOUNTED ON EXISTING WALL WITH 10PBJM1 1800XJAMB SET. PROVIDED AND INSTALLED BY BANK VENDOR. ADJUST TIME DELAY AS REQUIRED PER DISTANCE. COORDINATE WITH SECURITY VENDOR.
- 18 PROVIDE JUNCTION BOX FOR AUTO DOOR OPERATOR ABOVE CEILING. COORDINATE WITH BANK SECURITY VENDOR.
- 19 RELOCATED FIRE EXTINGUISHER CABINET.
- 20 GC TO COORDINATE POWER/DATA TO BE RUN THROUGH FURNITURE PANEL SYSTEM RACEWAY WITH ELECTRICAL, TECHNOLOGY AND FURNITURE VENDOR.
- 21 PROVIDE NEW MEDIA RACK FOR DML-85. COORDINATE WITH DMG.
- 22 EXISTING ELECTRICAL PANEL TO REMAIN.
- 24 CHECK PRE-INSTALL ALL CHECKLIST FOR THE RACK SIZE AND CLEARANCE REQUIREMENT.
- 25 PROVIDE SURFACE MOUNTED JUNCTION BOX AND RACEWAY FOR CARD READER - COORDINATE WITH BANK SECURITY VENDOR.
- 26 PROVIDE CEILING MOUNTED JUNCTION BOX AND RACEWAY FOR CARD READER - COORDINATE WITH BANK SECURITY VENDOR.

GENERAL NOTES

- A. REFER TO INTERIOR ELEVATIONS FOR ORIENTATION OF MOUNTED OUTLETS. OTHERWISE, OUTLETS SHOULD BE MOUNTED VERTICALLY. OUTLETS SHOWN WITH ONLY A "V" SIGN SHALL BE LOCATED 1" CLEAR ABOVE THE SCHEDULED MILLWORK COUNTER. OUTLETS TO BE COORDINATED WITH COUNTER HEIGHT.
- B. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- C. FURNITURE SHOWN FOR REFERENCE ONLY.
- D. REFER TO SERIES A00 FOR GRAPHIC SYMBOLS, ABBREVIATIONS AND GENERAL NOTES.
- E. LOCATE CORES AS SHOWN ON POWER AND COMMUNICATIONS PLAN. MARK IN FIELD FOR ARCHITECT TO REVIEW.
- F. ALL WALL MOUNTED DEVICES SHALL BE WHITE FINISH U.N.O. DATA COVERPLATES TO BE WHITE. U.N.O. APPROVED MANUFACTURERS INCLUDE LUTRON AND LEGRAND.
- G. WIRELESS HOLD UP DOUBLE BUTTON WILL BE INSTALLED AT TELLER POSITIONS, PLATFORM DESKS, FOR PERSONNEL ENTRY AND EXIT. AND ANYWHERE A HOLD UP IS CONSIDERED NECESSARY IN A BANKING CENTER. THE NEW WIRELESS INTERFACE MODULE WILL BE LOCATED BY THE ALARM PANEL.
- H. WALL-MOUNTED OUTLETS AND J-BOXES TO BE AT 15" A.F.F. TO BOTTOM OF OUTLET BOX. U.N.O.
- I. UNLESS NOTED OTHERWISE, PROVIDE JUNCTION BOXES FOR ALL WALL MOUNTED FIRE PROTECTION EQUIPMENT SUCH AS FIRE STROBES, FIRE PULL AND ALL SECURITY EQUIPMENT.
- J. CEILING-MOUNTED FIRE DEVICE COVERS SHALL BE WHITE AND WALL-MOUNTED FIRE DEVICE COVERS SHALL BE WHITE UNLESS AUTHORITY HAVING JURISDICTION MANDATES COLOR OF DEVICE.
- K. COORDINATE INSTALLATION OF TELECOMMUNICATIONS, DATA AND SECURITY SYSTEMS.
- L. VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.
- M. VERIFY MOUNTING REQUIREMENTS OF ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT.
- N. GANG ADJACENT LIGHT SWITCHES AND COVER WITH A SINGLE PLATE.
- O. INDICATED DIMENSIONS ARE TO THE CENTERLINE OF OUTLET, SWITCH OR CLUSTER OF OUTLETS OR SWITCHES. UNLESS NOTED OTHERWISE.
- P. INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES. DO NOT INSTALL BACK TO BACK.
- Q. PROVIDE ONE-PIECE TYPE GANG COVER PLATES, UNLESS NOTED OTHERWISE.
- R. IDENTIFY DEDICATED OR ISOLATED GROUND ELECTRICAL OUTLETS WITH A RED DOT.
- S. ALL DOOR CHIMES TO BE SET AT TWO TONES UNLESS NOTED OTHERWISE AND MOUNTED 6" ABOVE CEILING IN PARTITION AS NOTED IN POWER AND COMMUNICATION PLAN. PROVIDE ONE CHIME ABOVE CEILING AT TELLER LINE AND ANOTHER ABOVE CEILING IN FRONT OF UCRS. PUSH BUTTON WITH COVER PLATE TO BE LOCATED IN PARTITION INSIDE AND OUTSIDE OF VAULT LOBBY DOOR AS TAGGED IN POWER AND COMMUNICATION PLAN.
- T. GC TO VERIFY EXISTING POWER AND DATA. RELOCATE OR PROVIDE NEW AS NEEDED.
- U. AT ACCENT WALLS PROVIDE BLACK COVERS FOR ALL POWER/DATA SWITCHES. U.N.O. REFER TO A5.01 FOR LOCATIONS.
- V. RECESSED FLOOR OUTLET BOX, BRUSHED ALUMINUM AT CT-5 AND BLACK AT CPT-5.

LEGEND

- NOT IN CONTRACT REGION
- WALL MOUNTED DUPLEX
 - WALL MOUNTED FOURPLEX
 - FLUSH FLOOR MOUNTED DUPLEX
 - FLUSH FLOOR MOUNTED TELE DATA DUAL DROP
 - WALL MOUNTED TELE DATA - DUAL DROP
 - WALL MOUNTED TELE/DATA - SINGLE DROP
 - FLUSH WALL MOUNTED POWER JUNCTION BOX WITH HARDWARE CONNECTION
 - EQUIPMENT WITHOUT POWER SUPPLY
 - EQUIPMENT WITH POWER SUPPLY
 - FIRE ALARM PULL BOX
 - FIRE ALARM HORN/STROBE
 - WALL MOUNTED RECEPTACLE FOR TV, CAMERA OR MONITOR; 3" SQUARE
 - DIGITAL TEMPERATURE SENSOR
 - FLUSH FLOOR MOUNTED TELE/DATA, SINGLE DROP
 - POKE-THRU, POWER THROUGH WHIP OFF FLOOR. DO NOT INSTALL FLOOR BOXES.
 - POKE-THRU, TELE/DATA THROUGH WHIP OFF FLOOR. DO NOT INSTALL FLOOR BOXES.

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CONSTRUCTION

Project Name

MEADOW HILL

Project Number

059.8400.015

Description

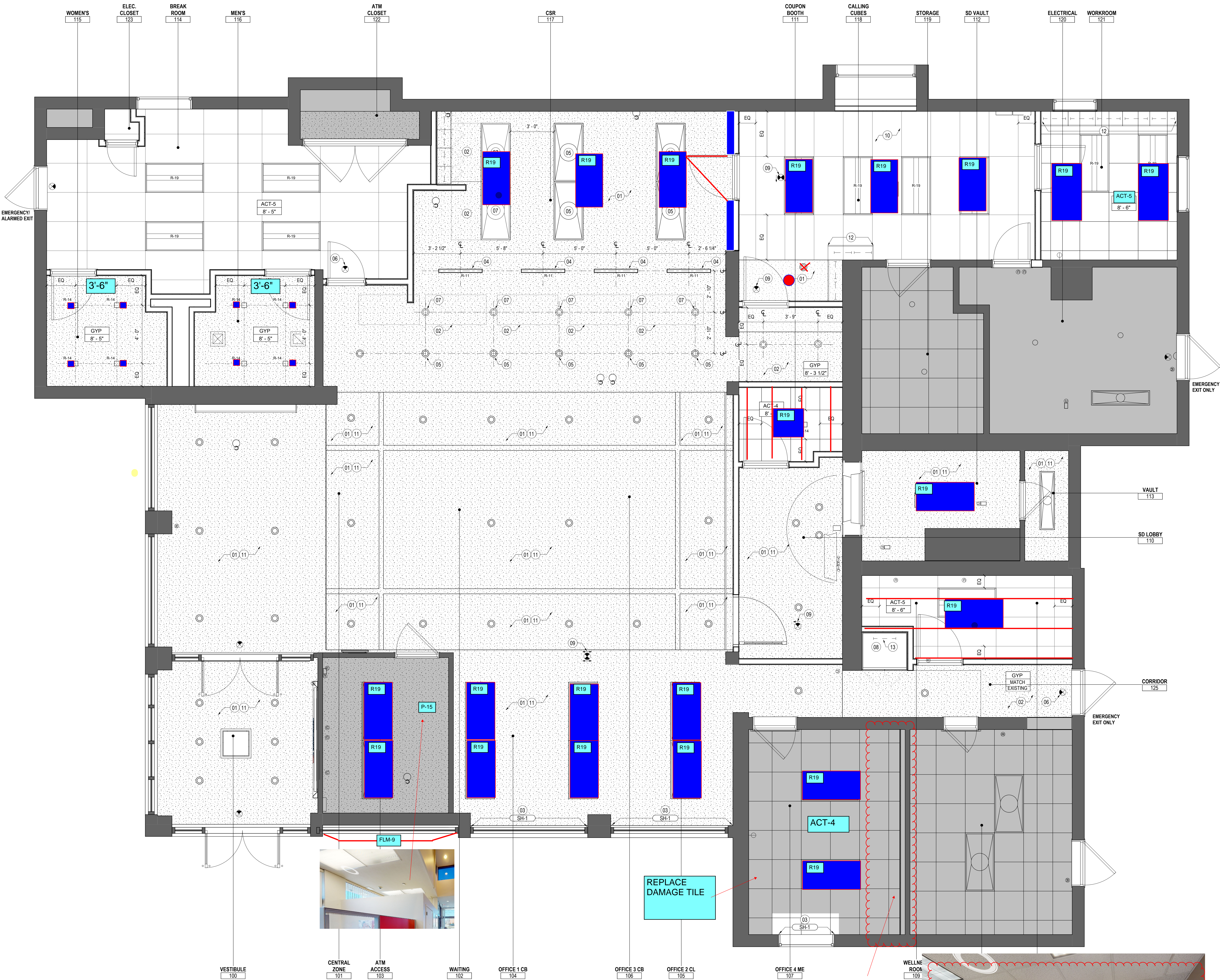
POWER AND COMMUNICATION PLAN

Scale

As indicated

0 1 2 4 8
A03.01

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REFLECTED CEILING PLAN
SCALE: 3/8" = 1'-0"

01

SHEET NOTES

- EXISTING CEILING TO REMAIN. PAINT P-15.
- INFILL WITH NEW GYPSUM CEILING WHERE WALL WAS REMOVED. PROVIDE SEAMLESS TRANSITION. MATCH EXISTING TEXTURE.
- PROVIDE BANK STANDARD MECHOSHADOWS SH-1. WINDOW TREATMENTS WITH CENTRAL ZONE SHALL NOT EXTEND BELOW 60" AFF FOR SECURITY REASONS.
- PROVIDE R-11 CENTERED OVER TELLER STATION.
- EXISTING LIGHT FIXTURE TO REMAIN.
- RELOCATED EXIT SIGN.
- RELOCATED LIGHTING FIXTURE.
- OPEN TO STRUCTURE ABOVE. PROVIDE FIRE BLOCKING/DRAFT STOPPING AS REQUIRED.
- PROVIDE NEW EXIT SIGNAGE.
- PROVIDE NEW ACT CEILING GRID AND TILES.
- EXISTING LIGHTING FIXTURES TO REMAIN U.N.O. WITH ELEC. DWGS.
- UNDER CABINET LIGHT FIXTURE - COORD. WITH ELEC. DWGS.
- PROVIDE UNDER CABINET LIGHT FIXTURE - COORD. WITH ELEC. DWGS. REFER TO PRINTER CABINET DRAWINGS FOR LOCATION OF OCCUPANCY SENSOR.

GENERAL NOTES

- CEILING SHALL BE 8'-6" A.F.F., UNLESS NOTED OTHERWISE.
- CEILING GRID AND CEILING TILES SHALL BE ACT-4, UNLESS NOTED OTHERWISE.
- COORDINATE LENGTHS OF UNDER CABINET FIXTURES WITH SCHEDULED MILLWORK CABINETS.
- REFER TO A04.30 FOR FINISH SCHEDULE.
- GYPSUM BOARD CEILING PAINTED P-15, UNLESS NOTED OTHERWISE.
- REFER TO CEILING DETAILS FOR WIRELESS APPLICATION PROTOCOL MOUNTING DETAIL.
- RELAMP EXISTING LIGHT FIXTURES AS REQUIRED TO MATCH COLOR TEMPERATURE.

LEGEND

- NOT IN CONTRACT REGION
- EXISTING PARTITION TO REMAIN
- ACOUSTICAL CEILING GRID
- GYPSUM BOARD SOFFIT/CEILING
- DIMENSION OF CEILING ABOVE FLOOR FINISH
- CEILING DIMENSION ABOVE FLOOR FINISH
- SUPPLY AIR
- RETURN AIR
- EXHAUST
- 2'x4' LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- RECESSED DOWNLIGHT
- ADJUSTABLE DOWNLIGHT
- ACCESS PANEL
- DOOR CONTACT
- EXIT SIGN
- PASSIVE INFRARED WALL SWITCH OCCUPANCY SENSOR
- PASSIVE INFRARED OCCUPANCY SENSOR
- OCCUPANCY SENSOR - 360 DEGREE, TWO-SIDED
- UNDERCABINET LIGHTING
- LIGHT SWITCH
- DIMMER SWITCH
- THERMOSTAT
- DIMMING SENSOR
- SPEAKER
- MOTION DETECTOR
- VAULT SECURITY MICROPHONE
- SOUND DETECTOR
- SECURITY CAMERA
- DOME CAMERA
- WIRELESS APPLICATION PROTOCOL

MEDIUM RENOVATION

1414 NY-300
Newburgh, NY 12550
SERIAL NUM./MANH. ID: NY6-225
NRSP VERSION: 4.0
BULLETIN: 01-2023
DOB NUMBER: XXX-XXX

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Date	Description
04.01.2024	ISSUE FOR SCHEMATIC DESIGN
04.01.2024	60% DESIGN DEVELOPMENT
05.28.2024	90% DESIGN DEVELOPMENT

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name

MEADOW HILL

Project Number

059.8400.015

Description

REFLECTED CEILING PLAN

Scale

As indicated

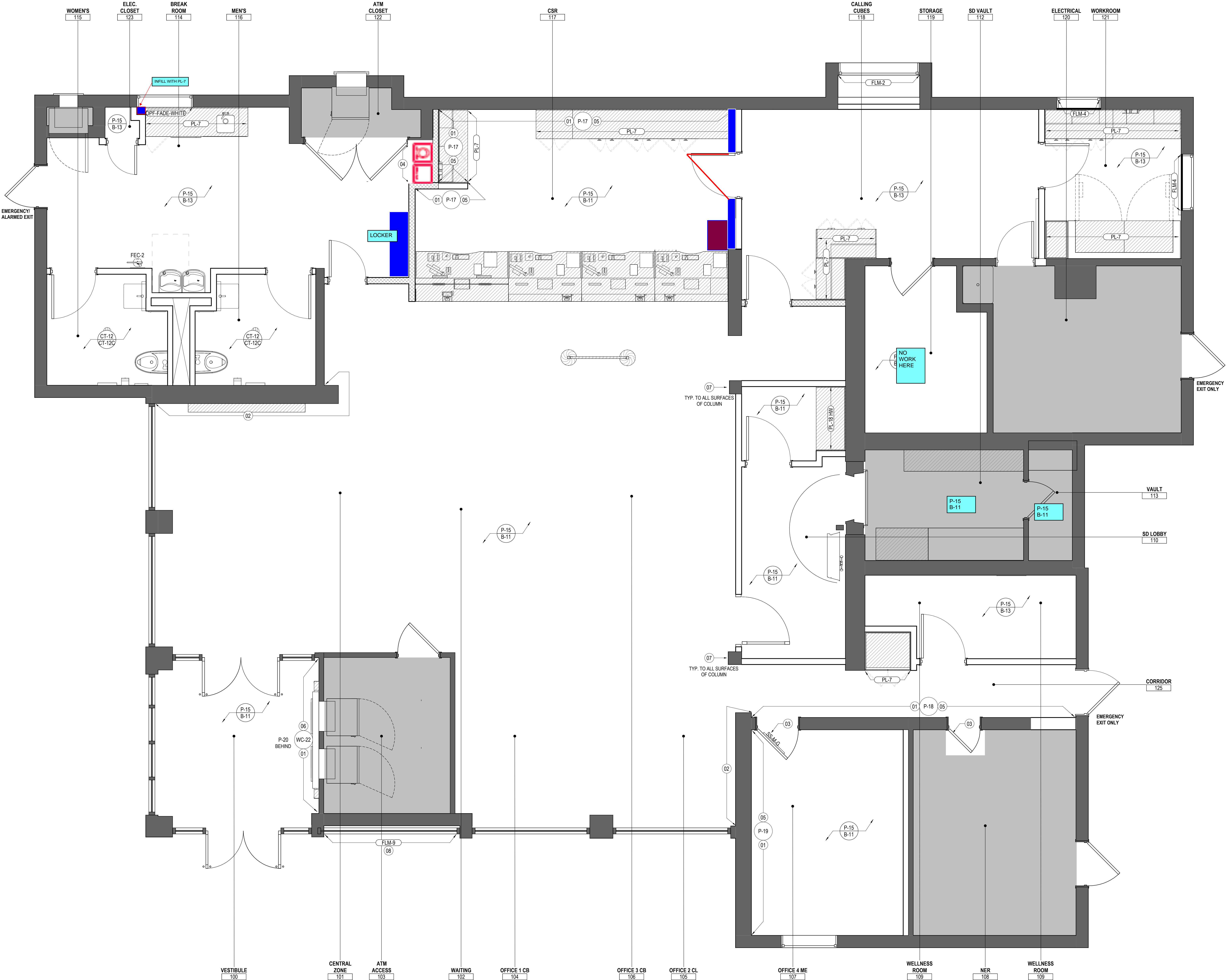
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A04.01

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PARTITION FINISH PLAN

SCALE: 3/8" = 1'-0"



SHEET NOTES

- 01 PREPARE WALL TO LEVEL 5 FINISH.
- 02 EXISTING STONE WALL TO REMAIN THROUGHOUT - DO NOT PAINT.
- 03 PAINT DOORS AND FRAMES IN P-22 ON HALLWAY SIDE ONLY.
- 04 BASE TO BE INSTALLED AROUND LOCKERS
- 05 POWERDATA DEVICES ON DARK ACCENT WALLS TO BE BLACK FINISH, TYPICAL. REFER TO A05.01
- 06 PROVIDE PRIMER TINTED WITH P-20 (BENJAMIN MOORE PAINT ONLY) LEVEL 5 FINISH. WALL TO BE CURED FOR 10 DAYS MINIMUM AT A TEMPERATURE OVER 60 DEGREES F. REFER TO WALL COVERING GUIDELINES FOR ADDITIONAL INFORMATION.
- 07 PROVIDE NEW ST9842 SCRUBTOUGH FINISH TO MATCH P-15.
- 08 PROVIDE FILM AT BOTH HIGH AND LOW WINDOW IN ATM ACCESS ROOM.

GENERAL NOTES

- REFER TO FINISH SCHEDULE ON A00.40
- REFER TO A00.00 AND A00.40 FOR EXTENT OF FINISHES AND FOR ADDITIONAL NOTES.
- ALL PARTITIONS SHALL BE PAINTED P-15 AND TO RECEIVE B-13 AT NON-CUSTOMER FACING AREAS. U.N.O.
- ALL EXPOSED SURFACES OF SOFFIT OVER OFFICES (UCRS) TO BE PAINTED P-15, U.N.O.
- SEE GENERAL NOTES ON SHEET A00.40 FOR DOOR FINISHES.
- ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL SATISFACTORY CONDITIONS HAVE BEEN CONFIRMED.
- SEE GENERAL NOTES ON SHEET A03.01 POWER AND COMMUNICATION PLAN FOR COVER PLATE COLORS.
- USE WHITE DEVICES IN ALL WALLS WITH LIGHT COLOR AND BLACK DEVICES IN ALL WALLS WITH DARK COLOR.
- PROVIDE 1 PRIMER COAT AND 2 FINISH COATS MINIMUM.
- PAINT ALL ROOMS EXCEPT 103, 108, 112, 113, 120, 122, AND 123.
- ALL EXISTING WOOD DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL IN SEMI-GLOSS FINISH TYP. THROUGHOUT. U.N.O.
- COORDINATE DISTRACTION BAND FF-2 TO ALIGN WITH SPECIALIST BRANDING. COORDINATE WITH BANK VENDOR. TYPICAL FOR INTERIOR STOREFRONT SYSTEM.
- PROVIDE LEVEL 5 FINISH WHERE FILM OR WALL COVERINGS ARE APPLIED TO WALL. ALLOW TO CURE FOR 10 DAYS PRIOR TO APPLICATION OF FILM OR WALL COVERING PER INSTALLER'S RECOMMENDATION.

LEGEND

- NOT IN CONTRACT REGION
- MILLWORK
- CHANGE IN FLOOR FINISH
- WALL FINISH
- BASE FINISH
- EXTENT OF WALL FINISH
- FLOOR FINISH
- ALIGN
- FLOOR TILE START POINT

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Description
PARTITION FINISH PLAN

Scale

As indicated

0 1 2 4 8
A05.01

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FLOOR FINISH PLAN

SCALE: 3/8" = 1'-0"

01



SHEET NOTES

- 01 TELLER MILLWORK AND UNDERCOUNTER STEEL TO BE INSTALLED DIRECTLY ON TOP OF CONCRETE FLOOR SLAB.
- 02 TILE TO EXTEND TO BASE OF TELLER LINE.
- 03 EXISTING WALK OFF MAT TO REMAIN - CLEAN THOROUGHLY TO "LIKE NEW" CONDITION.
- 04 PROVIDE A SEAMLESS TRANSITION BETWEEN EXISTING AND NEW CARPET.
- 05 EXISTING CARPET TO REMAIN - CLEAN THOROUGHLY TO "LIKE NEW" CONDITION.

GENERAL NOTES

- REFER TO FINISH SCHEDULE ON A00.30.
- REFER TO A00.00 AND A00.30 FOR EXTENT OF FINISHES AND FOR ADDITIONAL NOTES.
- ALL FLOORS SHALL HAVE CARPET CPT-5, U.N.O.
- FOR B-13, PROVIDE STRAIGHT, FLUSH BASE AT CARPETED AREAS AND COVERED BASE AT HARD FLOORING SURFACES, U.N.O.
- SEE GENERAL NOTES ON SHEET A00.40 FOR DOOR FINISHES.
- ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL SATISFACTORY CONDITIONS HAVE BEEN CONFIRMED.
- SEE GENERAL NOTES ON POWER AND COMMUNICATIONS PLAN FOR COVER PLATE COLORS.
- GO TO COORDINATE WITH P/M FOR FLOORING SCOPE - THIRNETT IS THE RECOMMENDED SUPPLIER AND INSTALLER FOR ALL FLOORING PRODUCT AND INSTALL OF FLOORING, WALL BASE AND WALL TILES.
- IN DOORWAY, TILE AND CARPET WILL MEET BENEATH THE DOOR AND BE JOINED IN ACCORDANCE WITH FLOORING MANUFACTURERS RECOMMENDATION.
- ALL STEEL INSTALLATION TEAM TO INSTALL DEMOUNTABLE WALL DIRECTLY ON CONCRETE. WALL TO BE INSTALLED TOWARDS LOBBY EDGE OF DRYWALL.
- FLOORING INSTALLER INSTALLS TILE TO OUTSIDE BASE OF WALL. CARPET IN OFFICE IS INSTALLED TO INNER BASE OF WALL.

LEGEND

- NOT IN CONTRACT REGION
- MILLWORK
- CHANGE IN FLOOR FINISH
- WALL FINISH
- BASE FINISH
- EXTENT OF WALL FINISH
- FLOOR FINISH
- ALIGN
- FLOOR TILE START POINT

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Project Number

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FLOOR FINISH PLAN

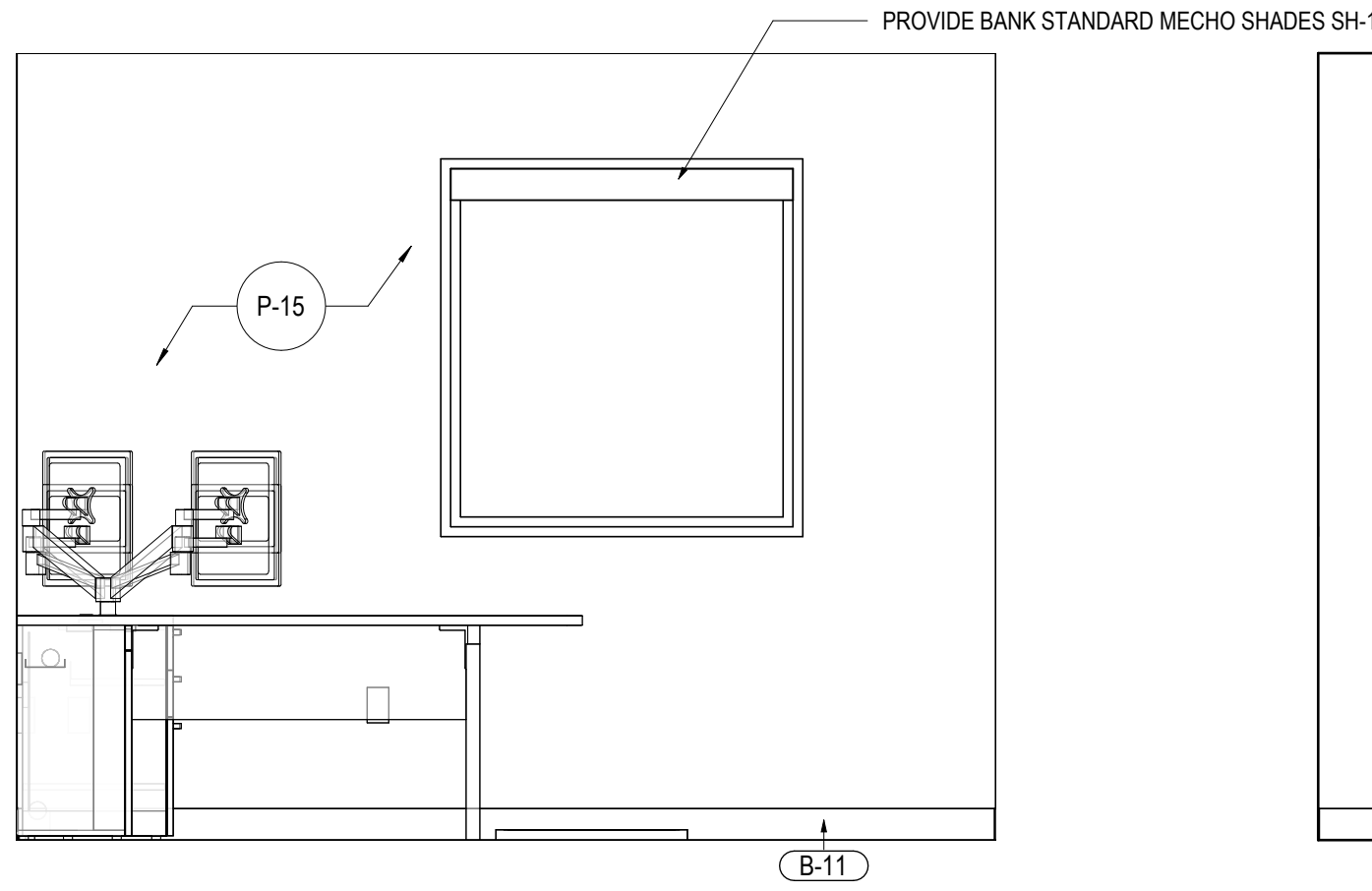
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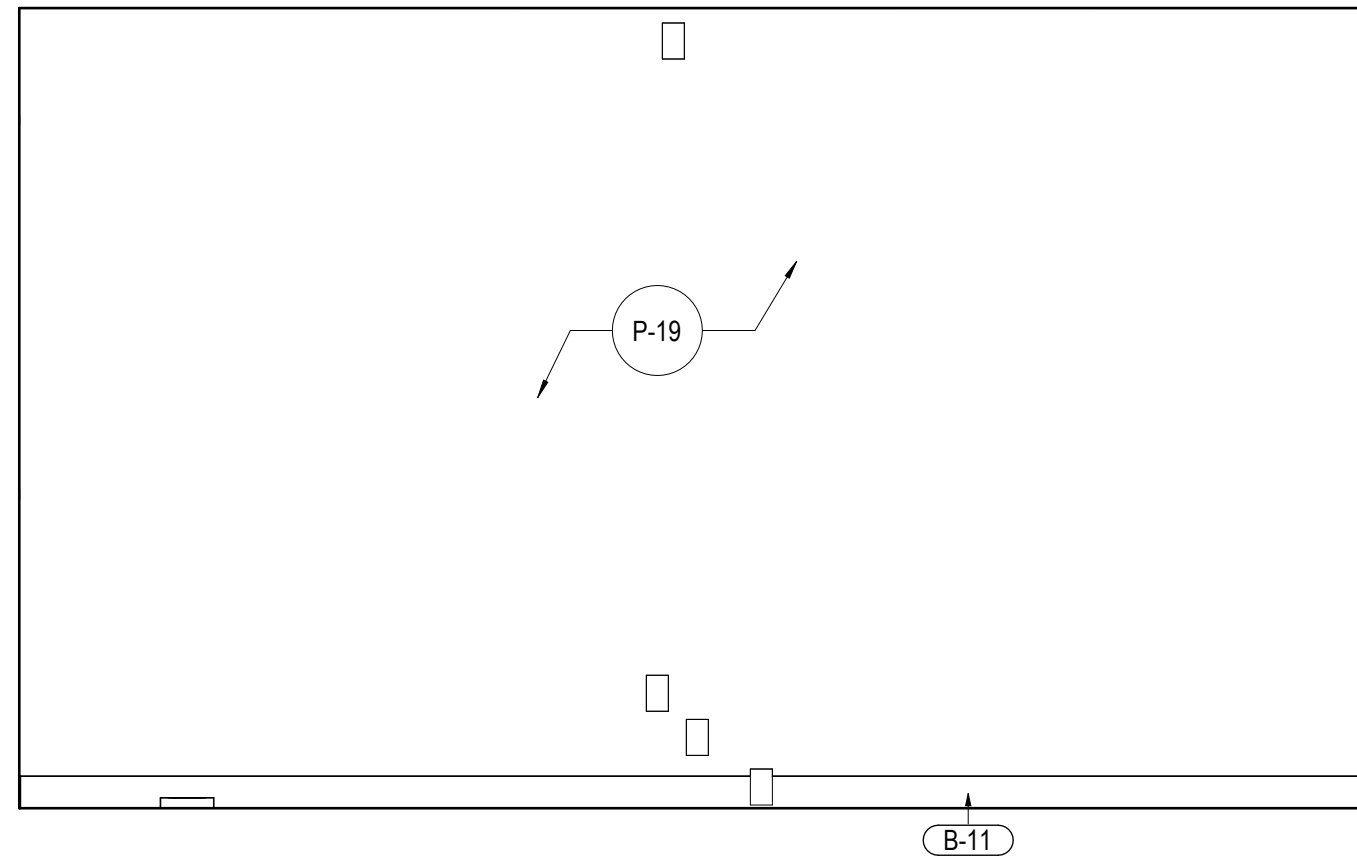
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OFFICE 4 ME SOUTH ELEVATION

SCALE: 1/2" = 1'-0"

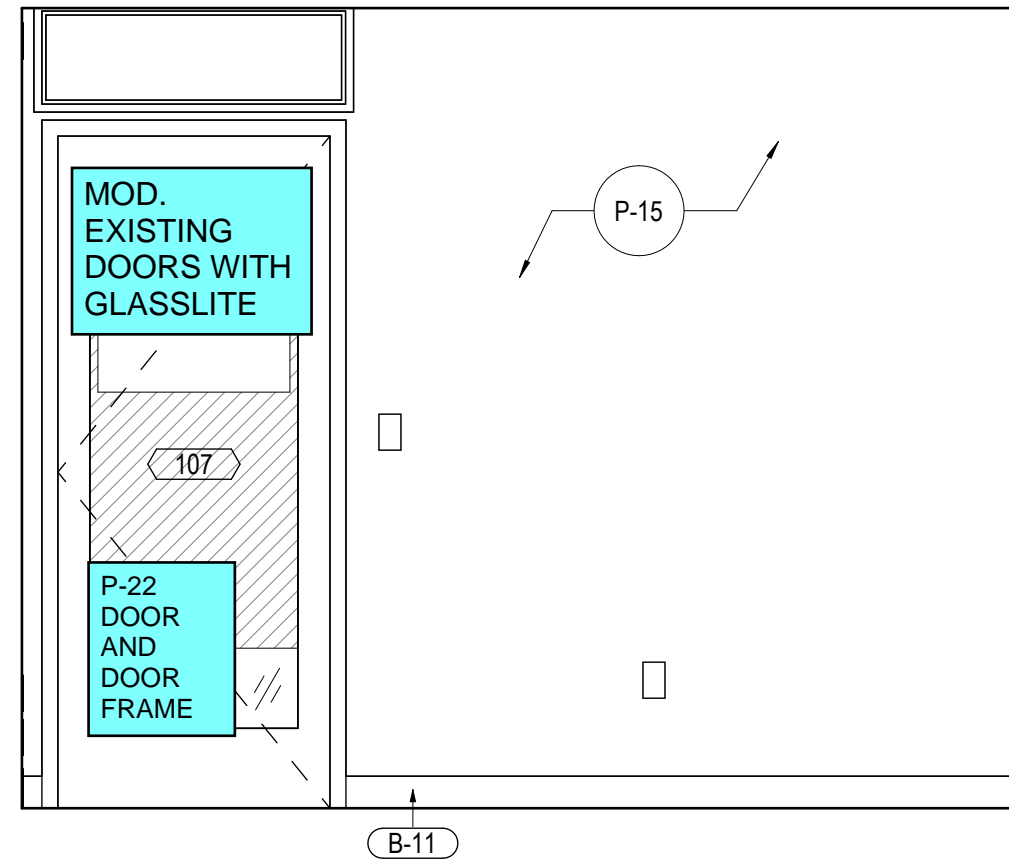
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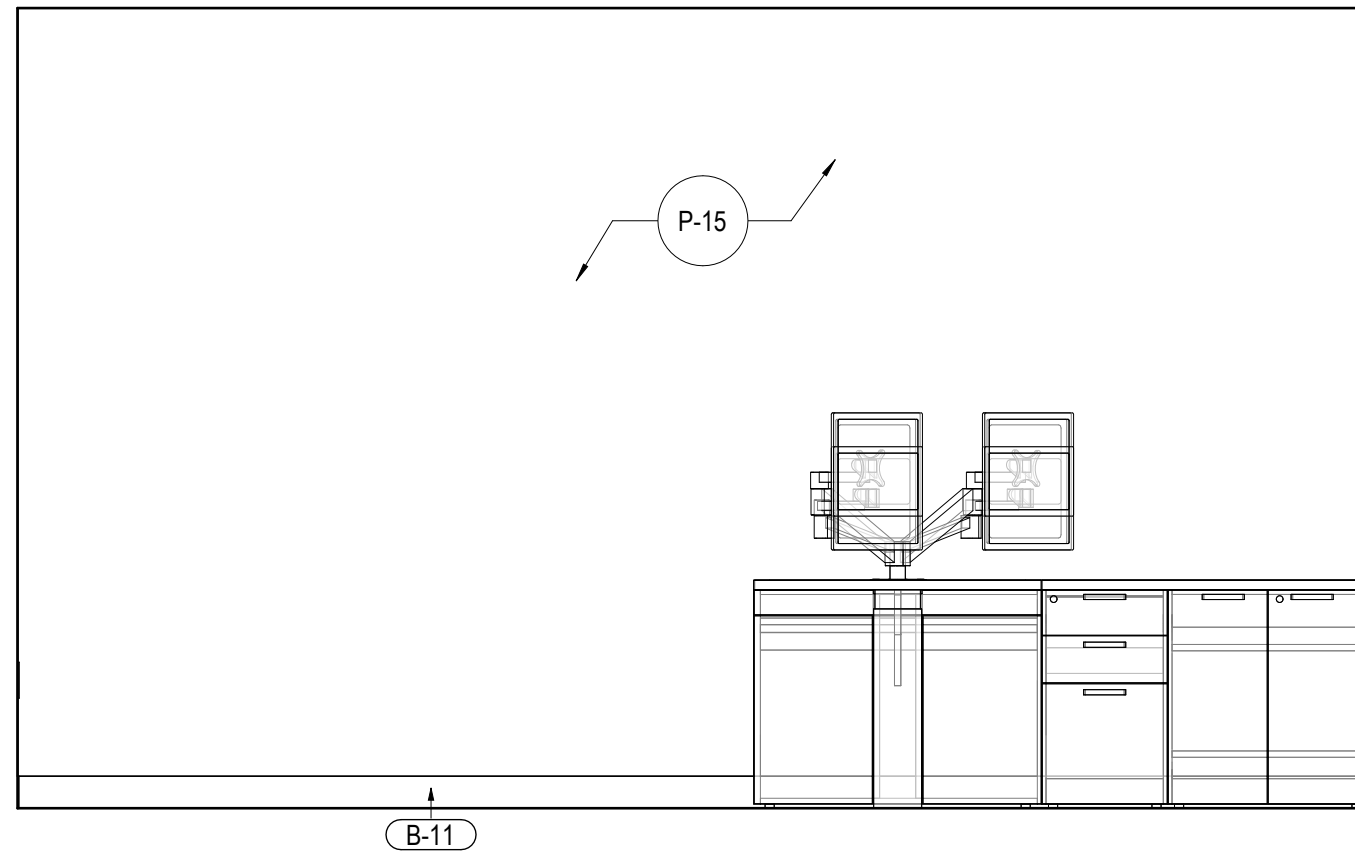
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OFFICE 4 ME NORTH ELEVATION

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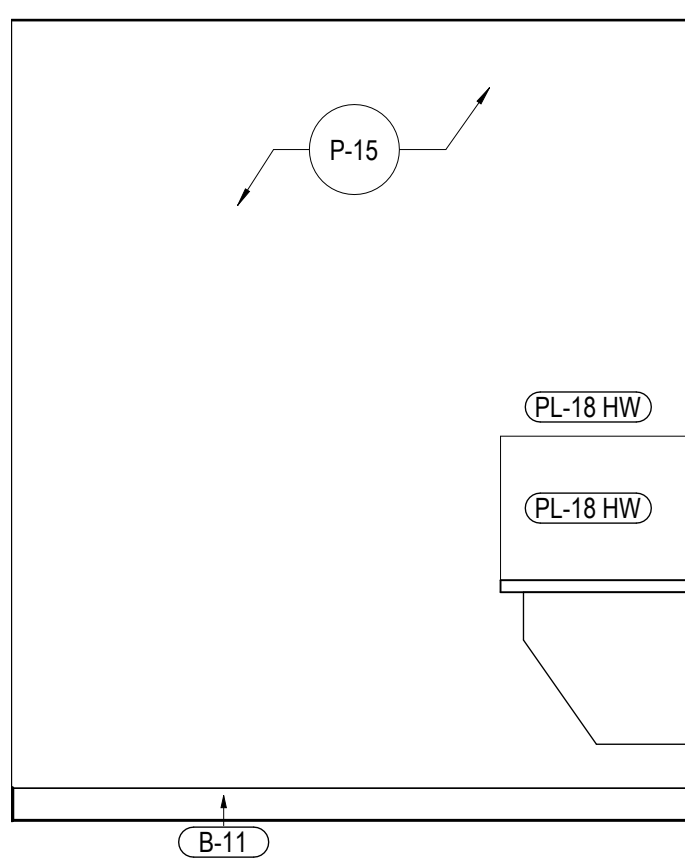
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OFFICE 4 ME EAST ELEVATION

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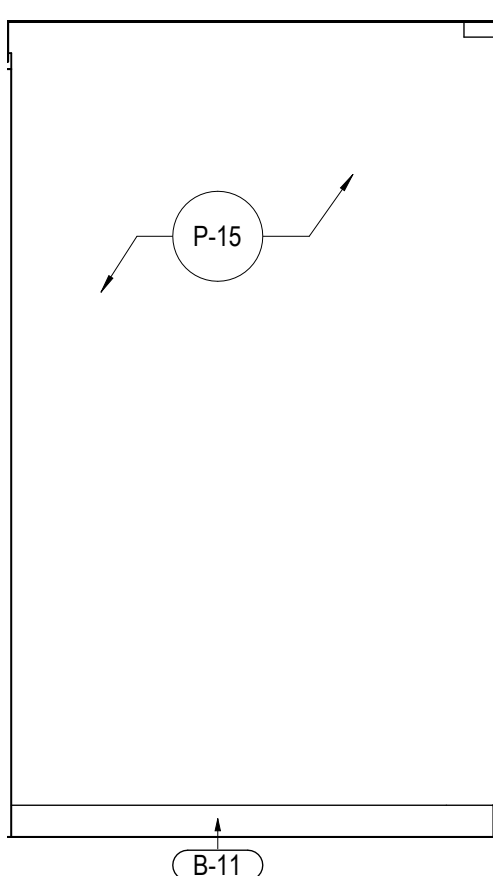
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COUPON BOOTH NORTH ELEVATION

SCALE: 1/2" = 1'-0"

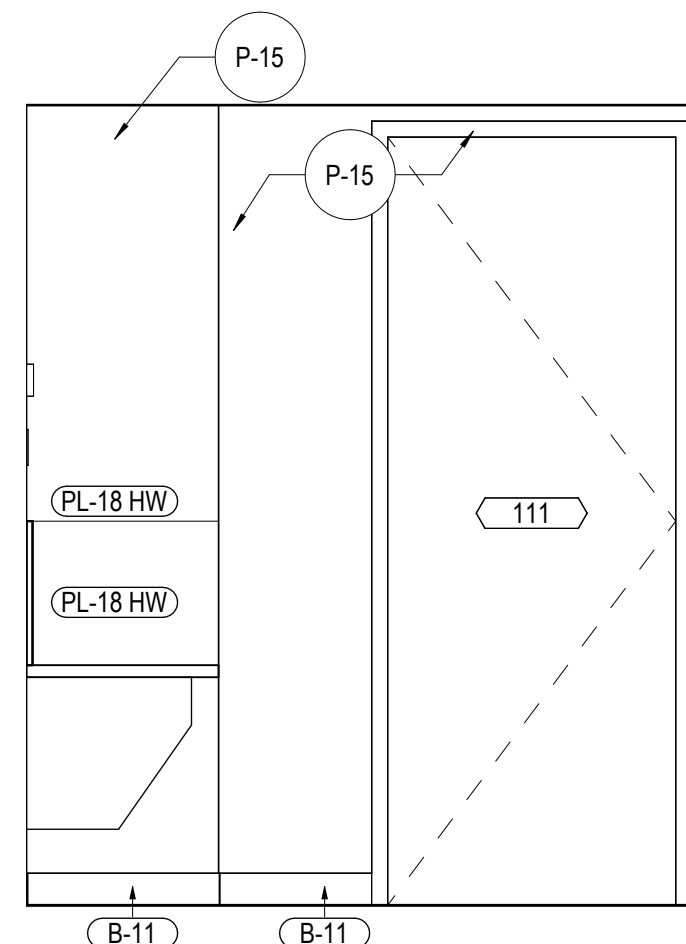
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COUPON BOOTH WEST ELEVATION

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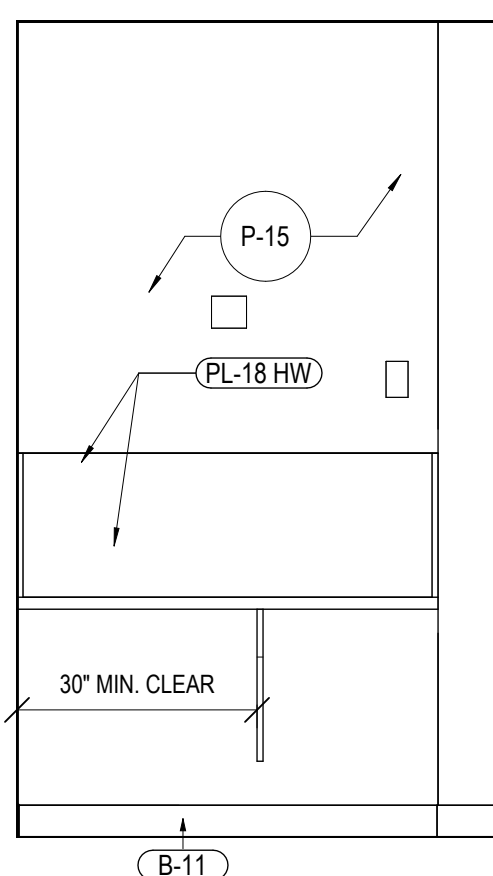
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COUPON BOOTH SOUTH ELEVATION

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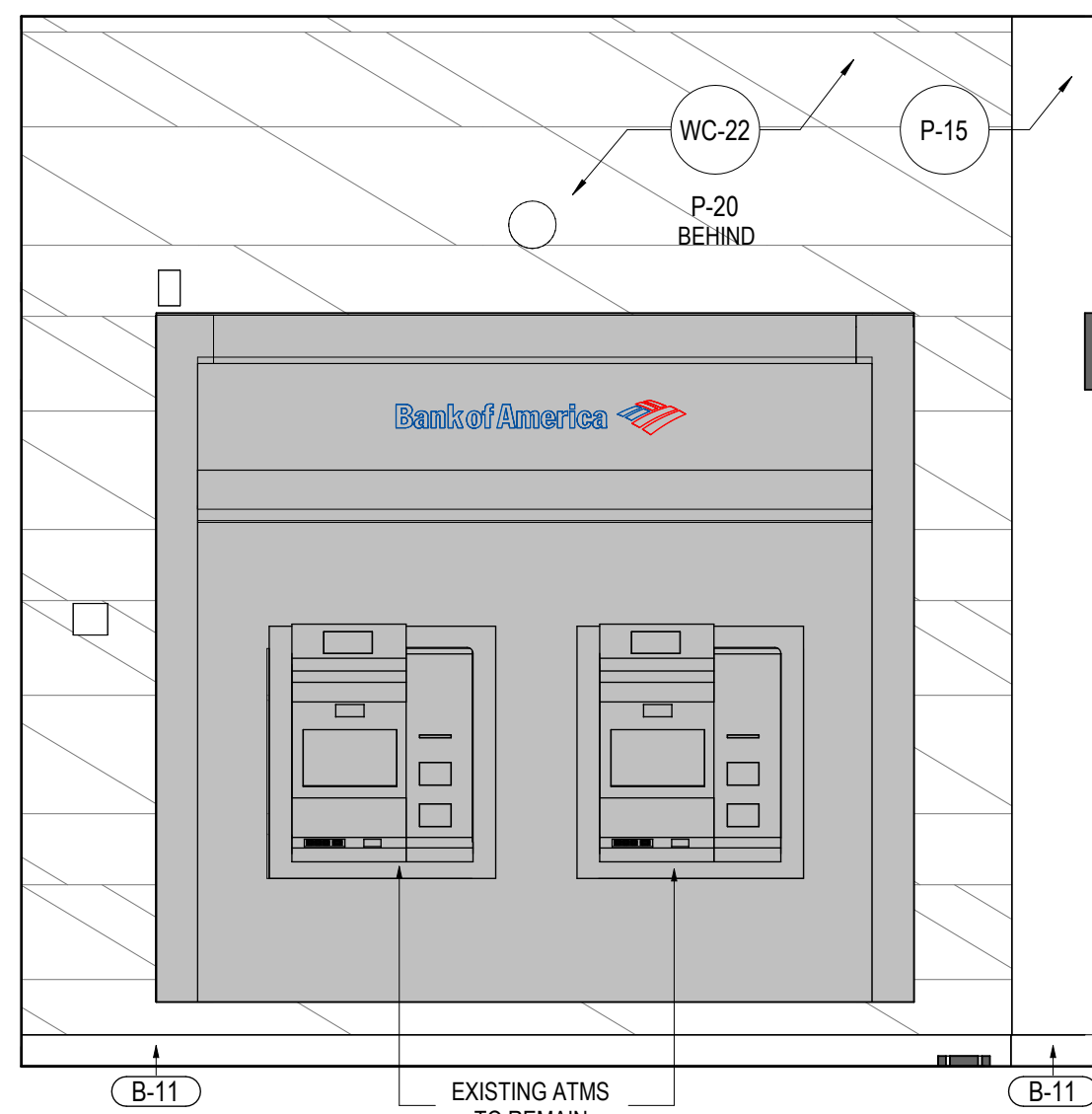
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COUPON BOOTH EAST ELEVATION

SCALE: 1/2" = 1'-0"

02



ENTRY VESTIBULE EAST ELEVATION

SCALE: 1/2" = 1'-0"

03

MEDIUM RENOVATION

1414 NY-300
Newburgh, NY 12550

SERIAL NUM./MANH. ID: NY6-225
NRSP VERSION: 4.0
BULLETIN: 01-2023
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04.01.2024	60% DESIGN DEVELOPMENT
05.28.2024	90% DESIGN DEVELOPMENT

Seal / Signature

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MEADOW HILL

Project Number

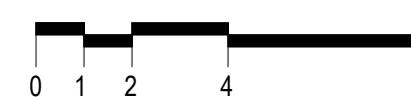
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Description

INTERIOR ELEVATIONS

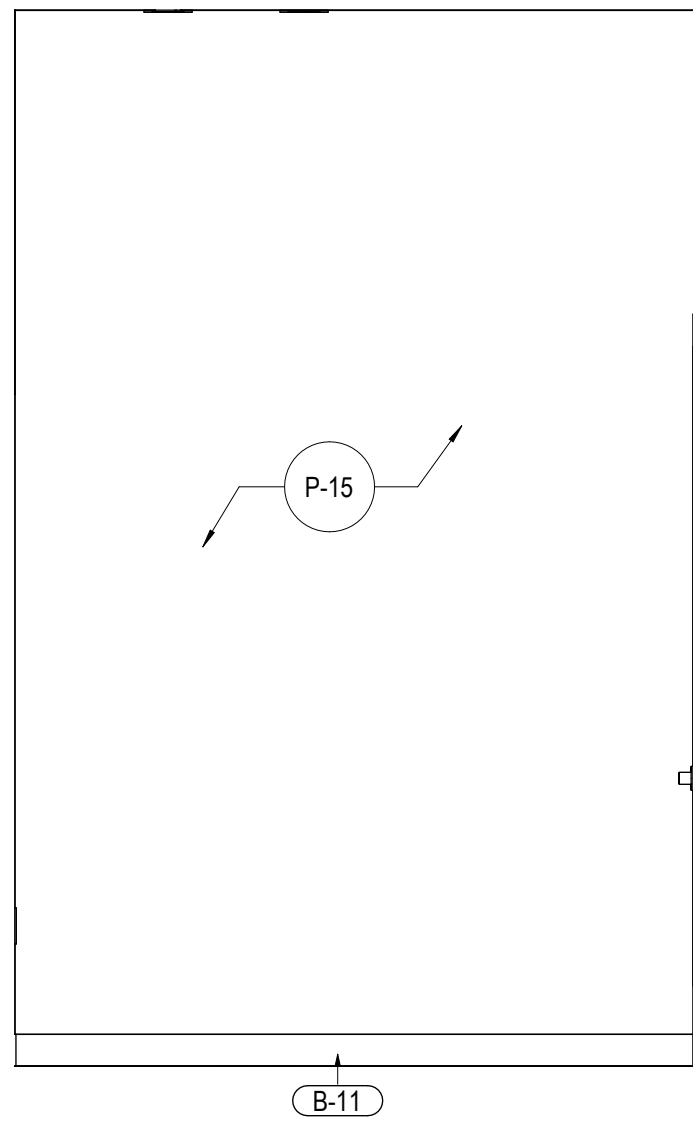
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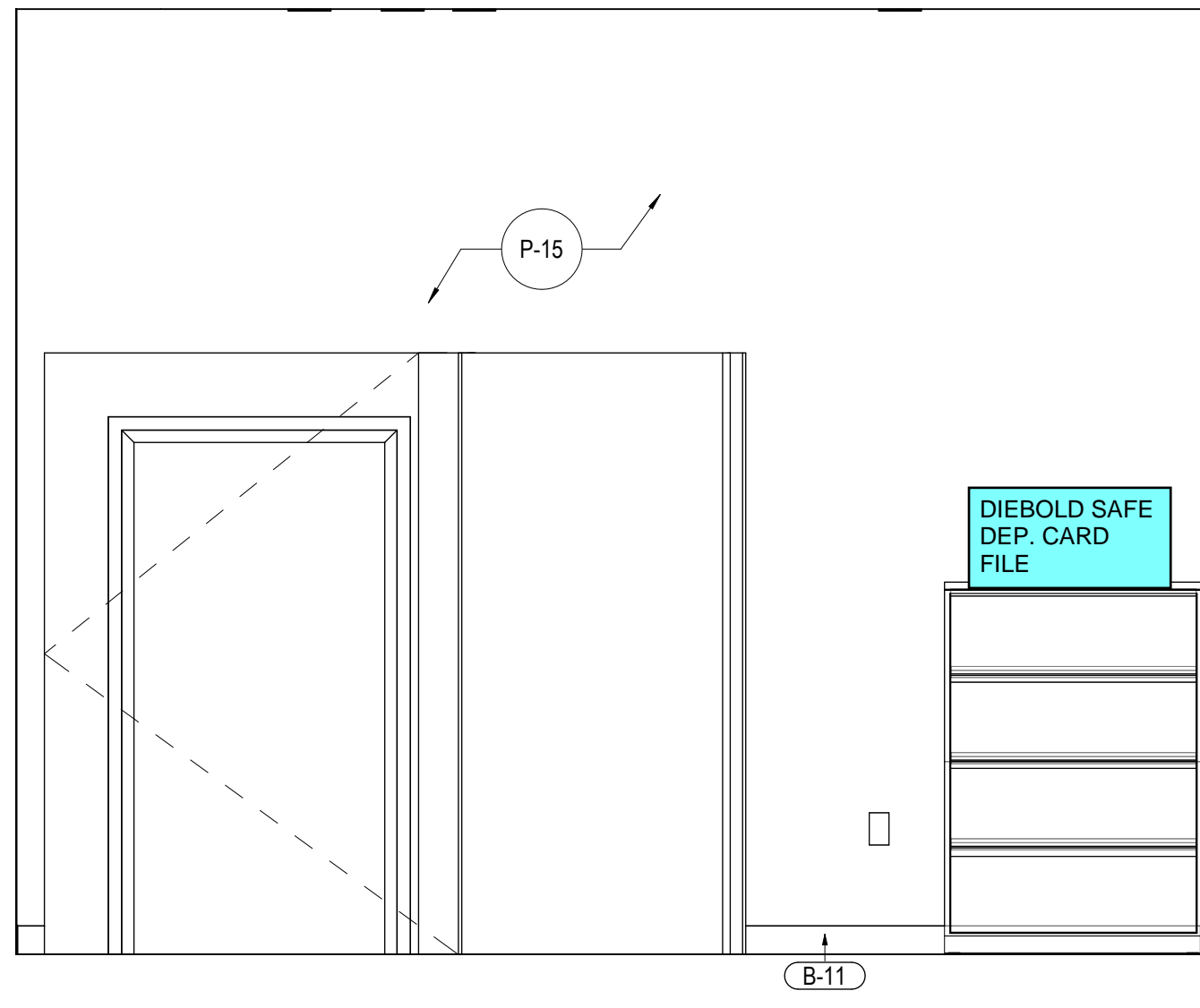
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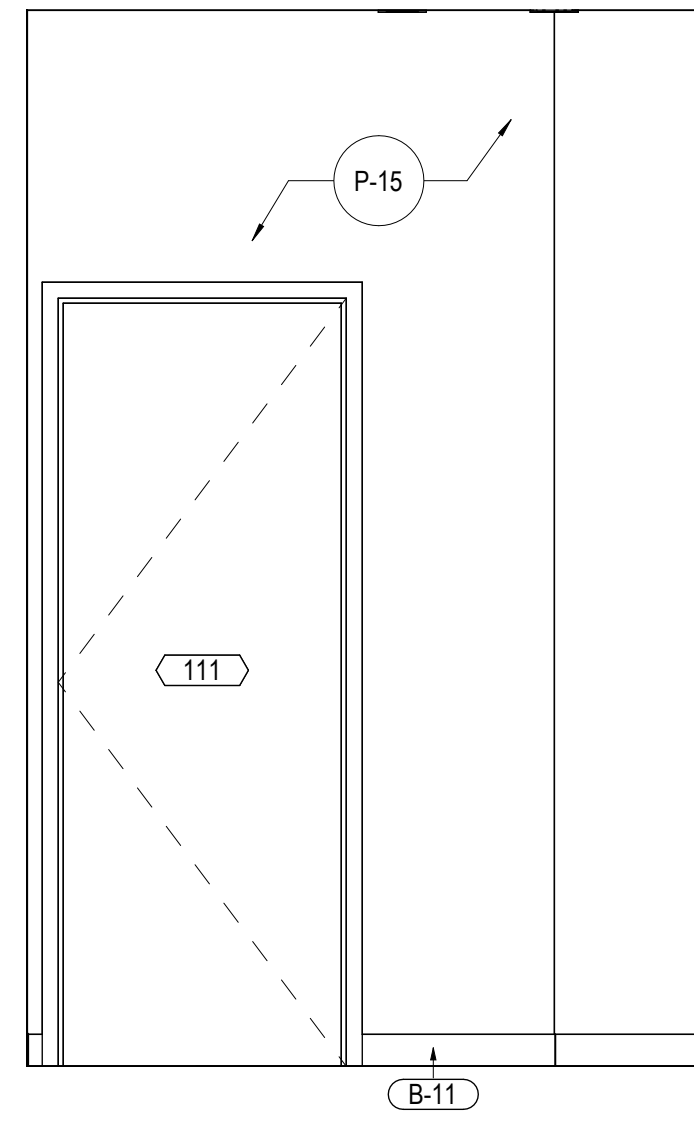
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13



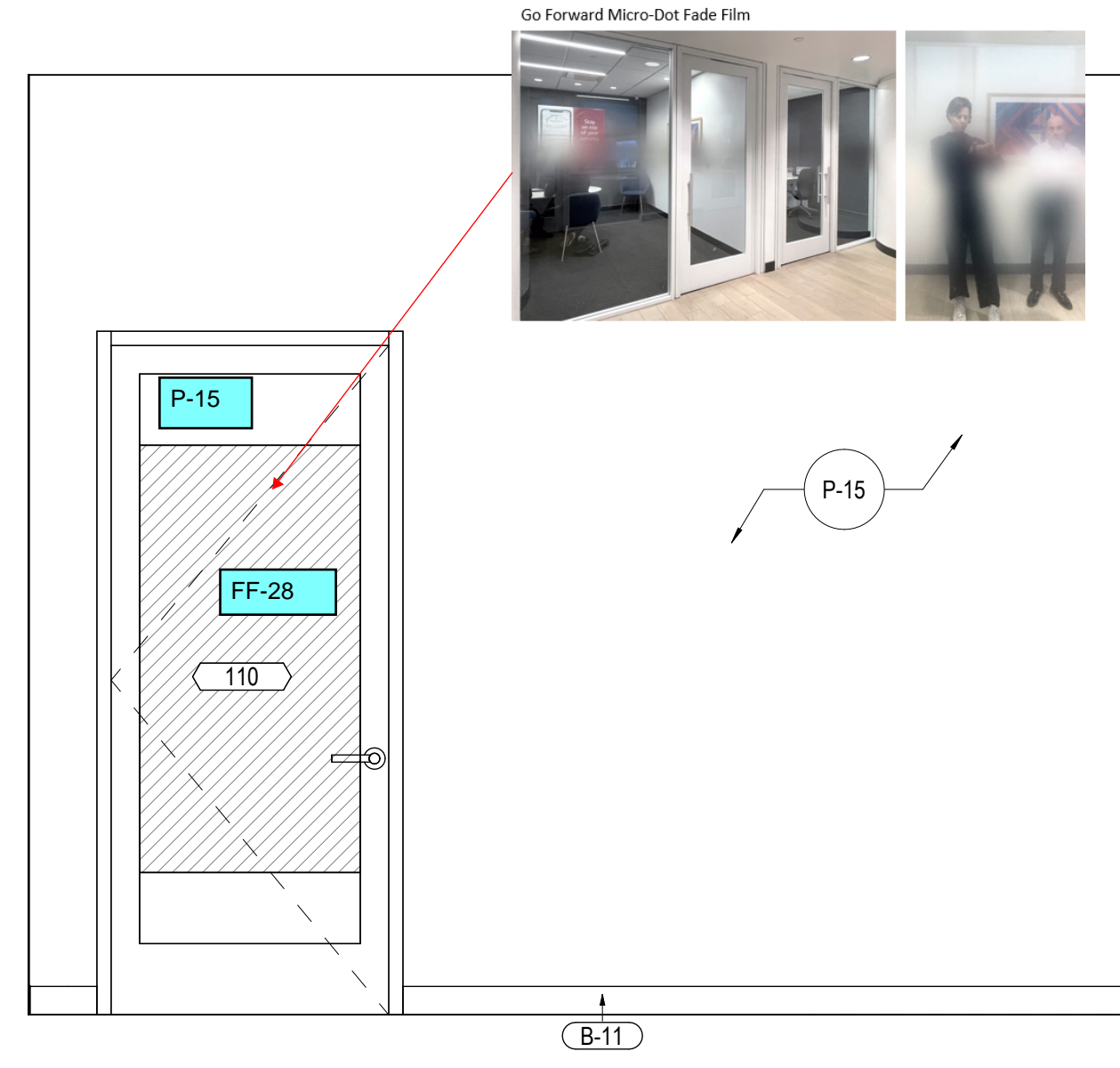
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09



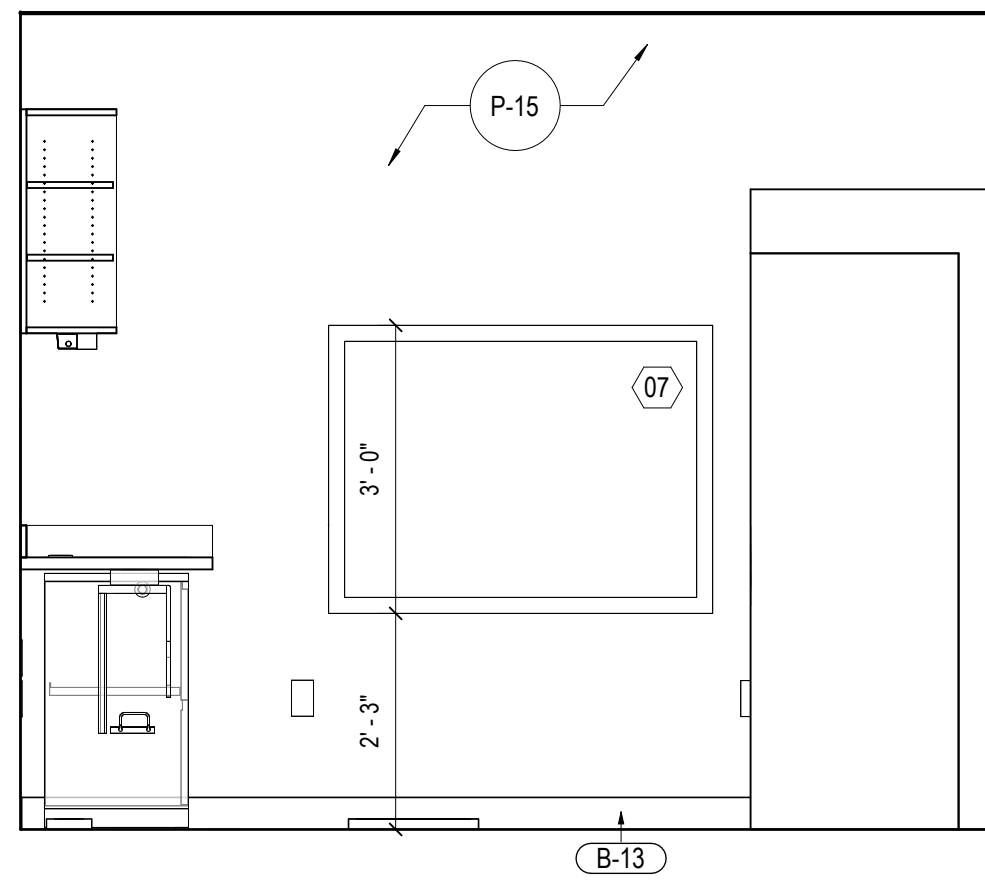
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05



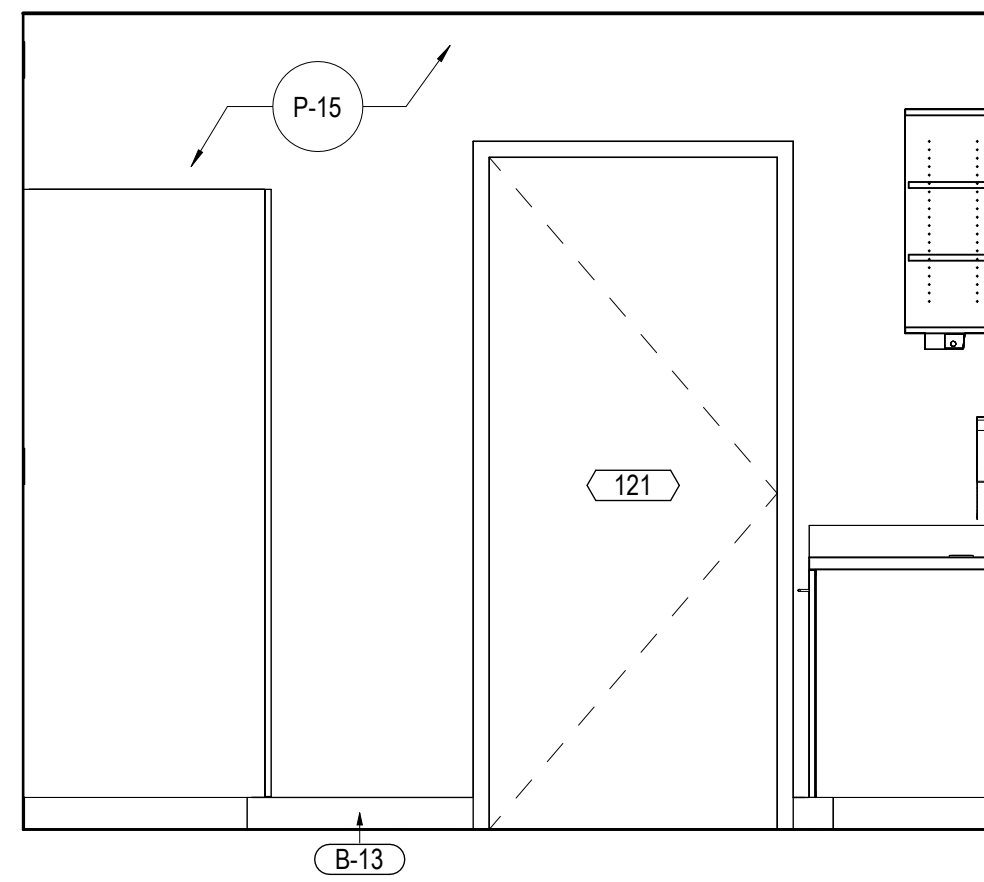
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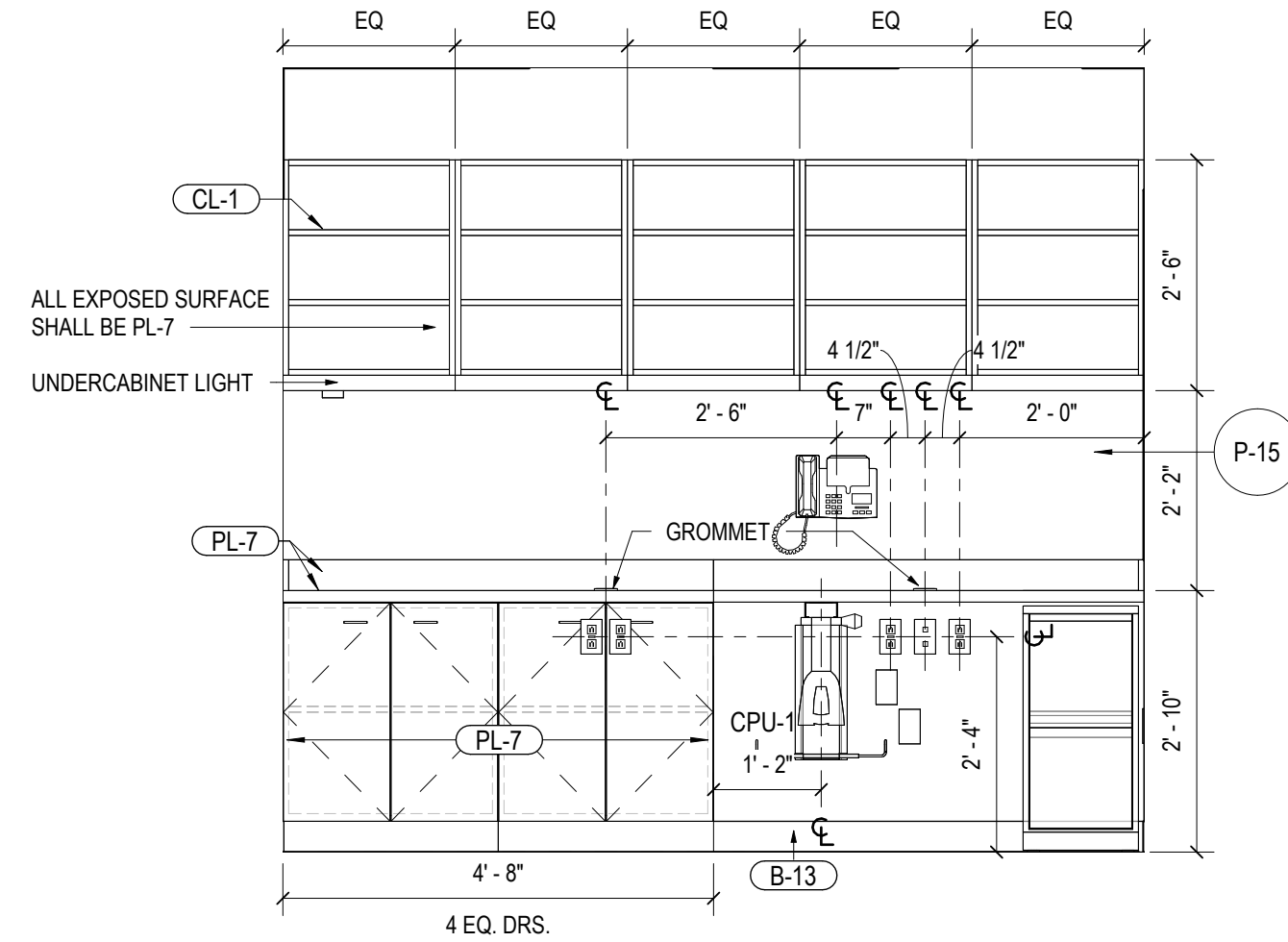
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15



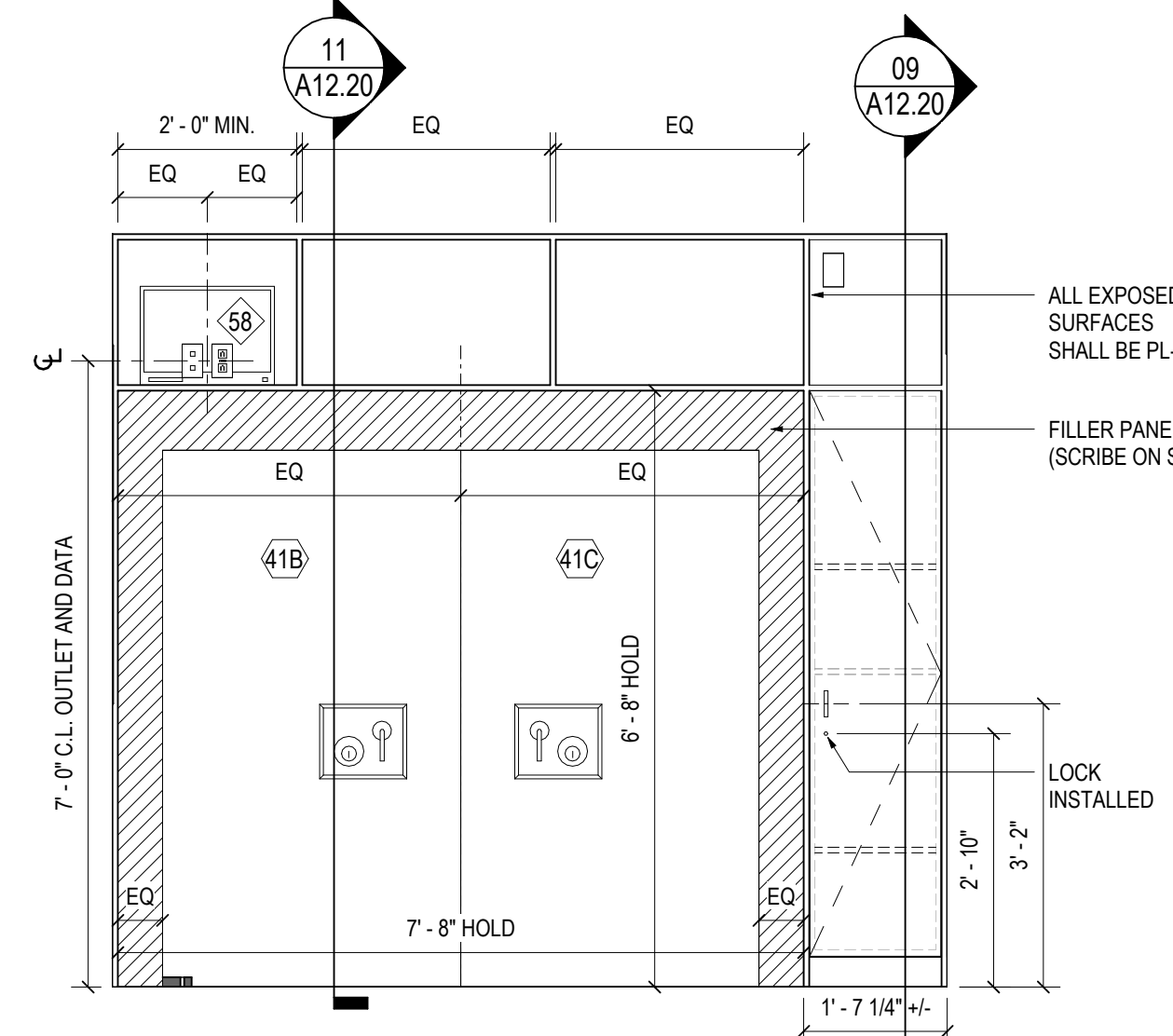
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10



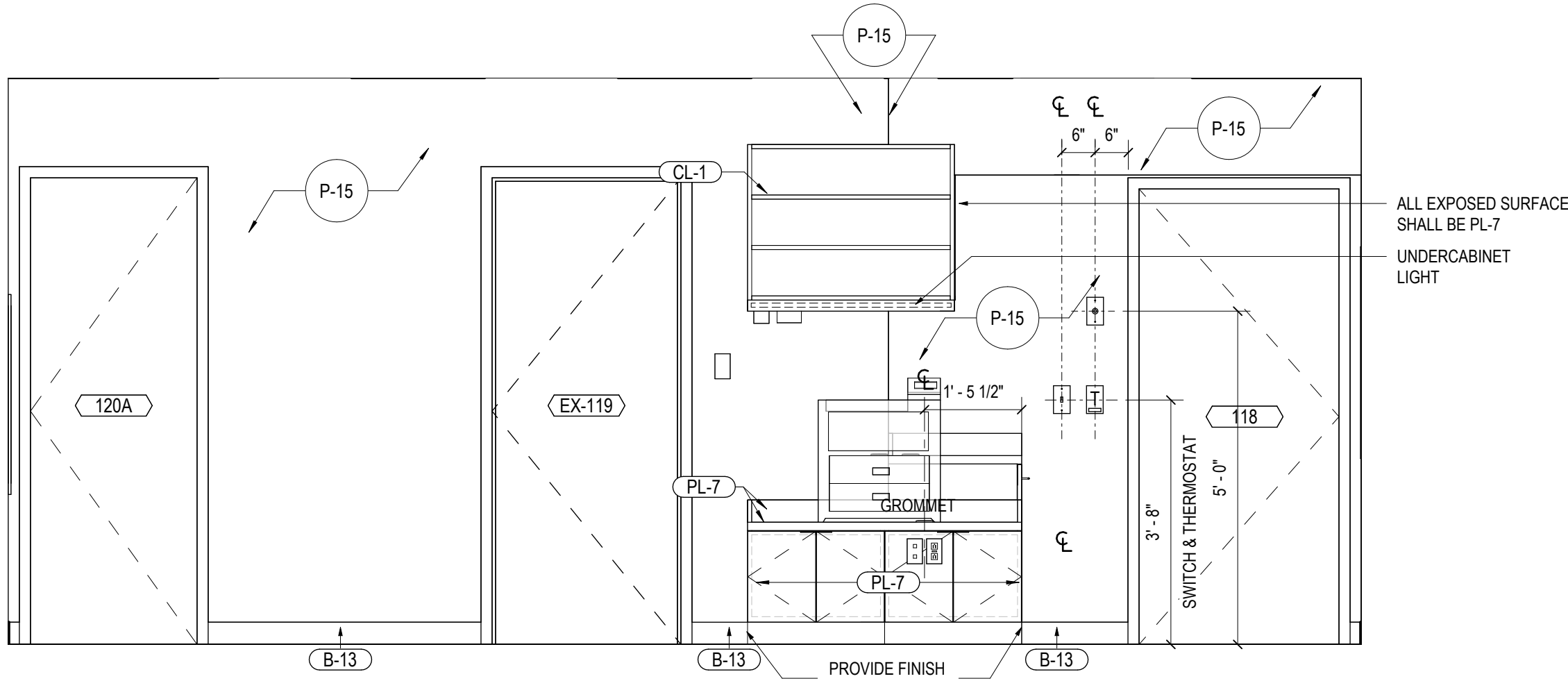
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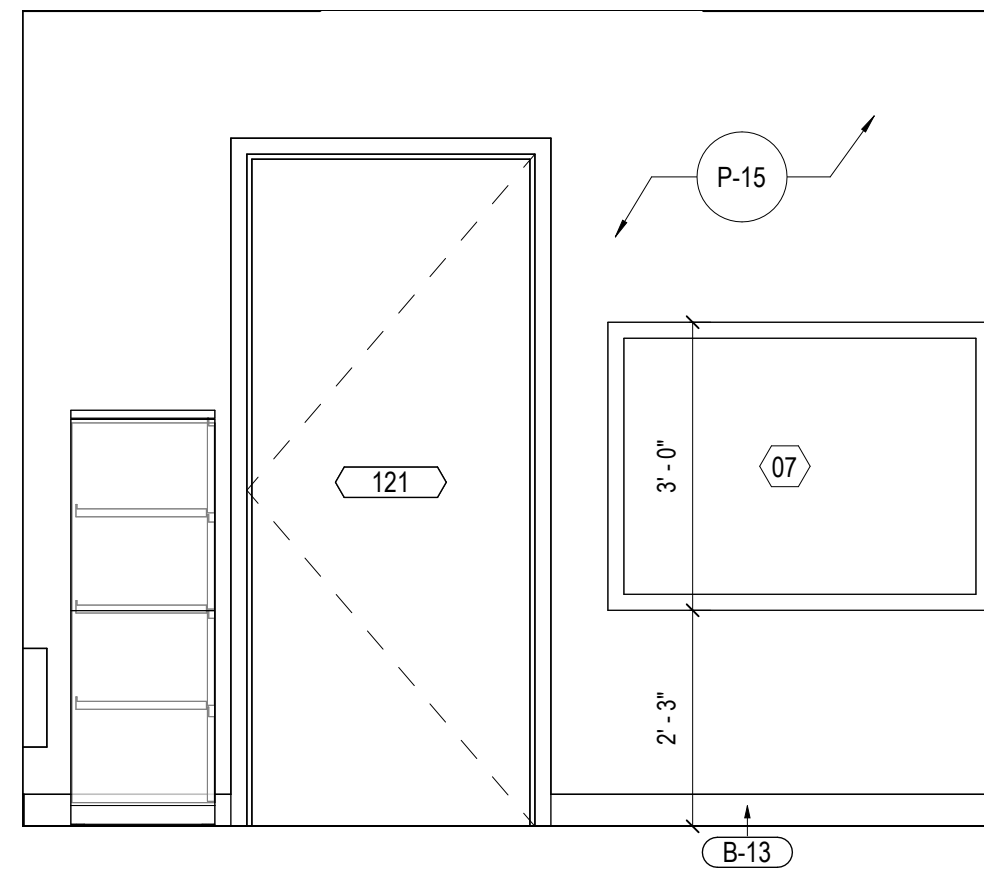
WORK ROOM SOUTH ELEVATION
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02



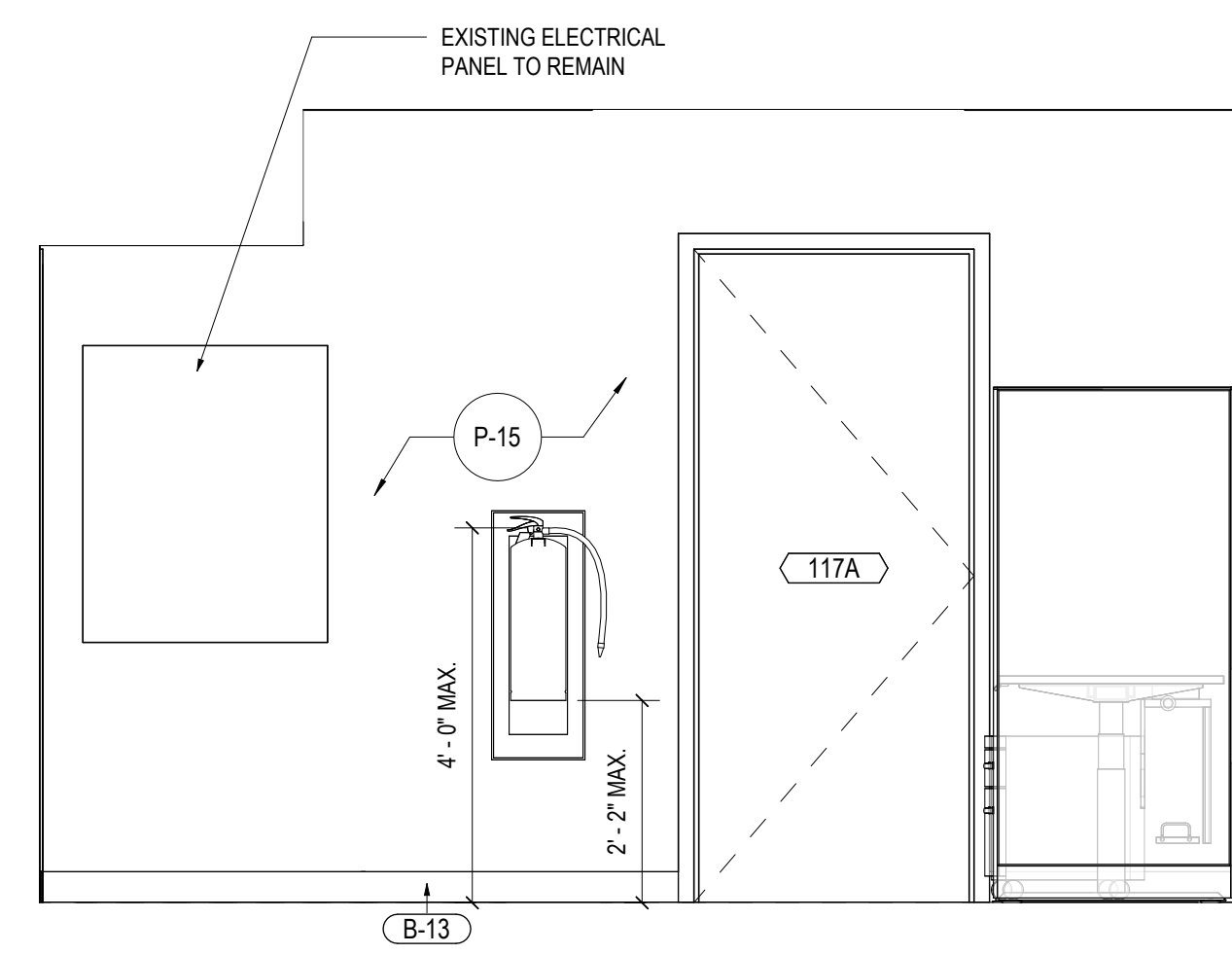
CALLING CUBES SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

16



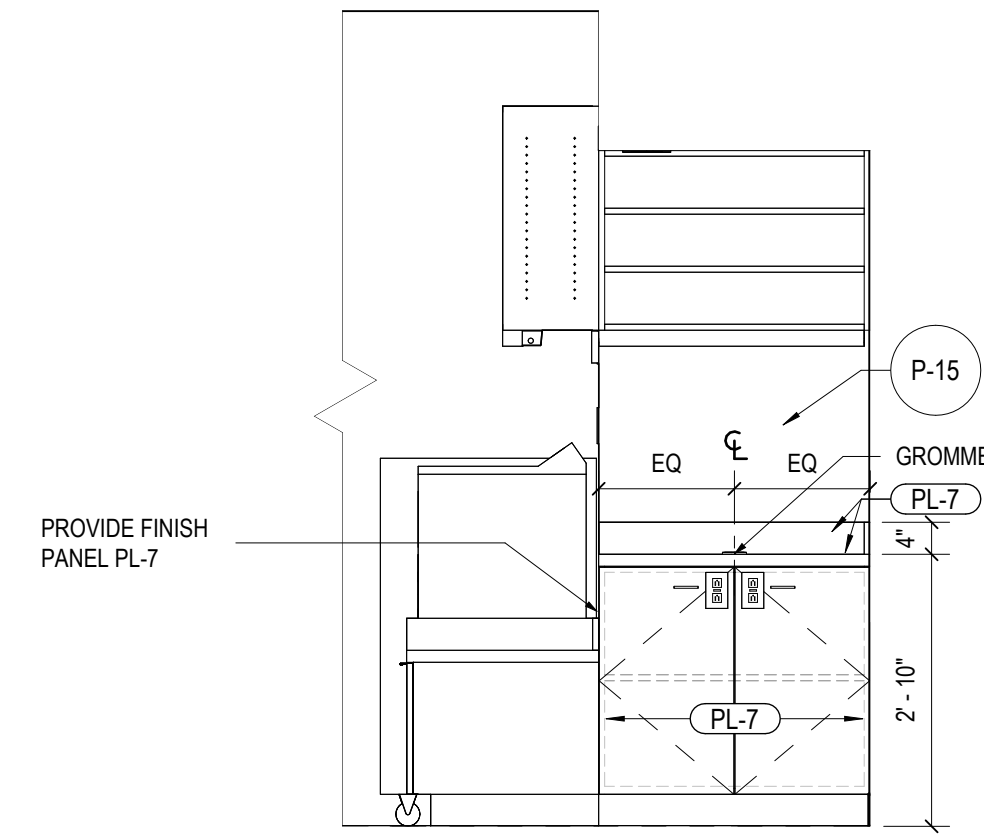
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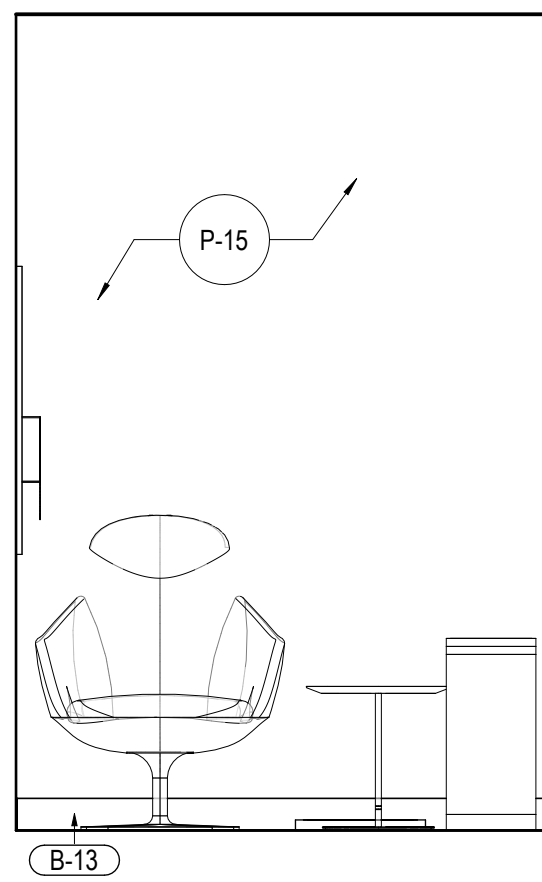
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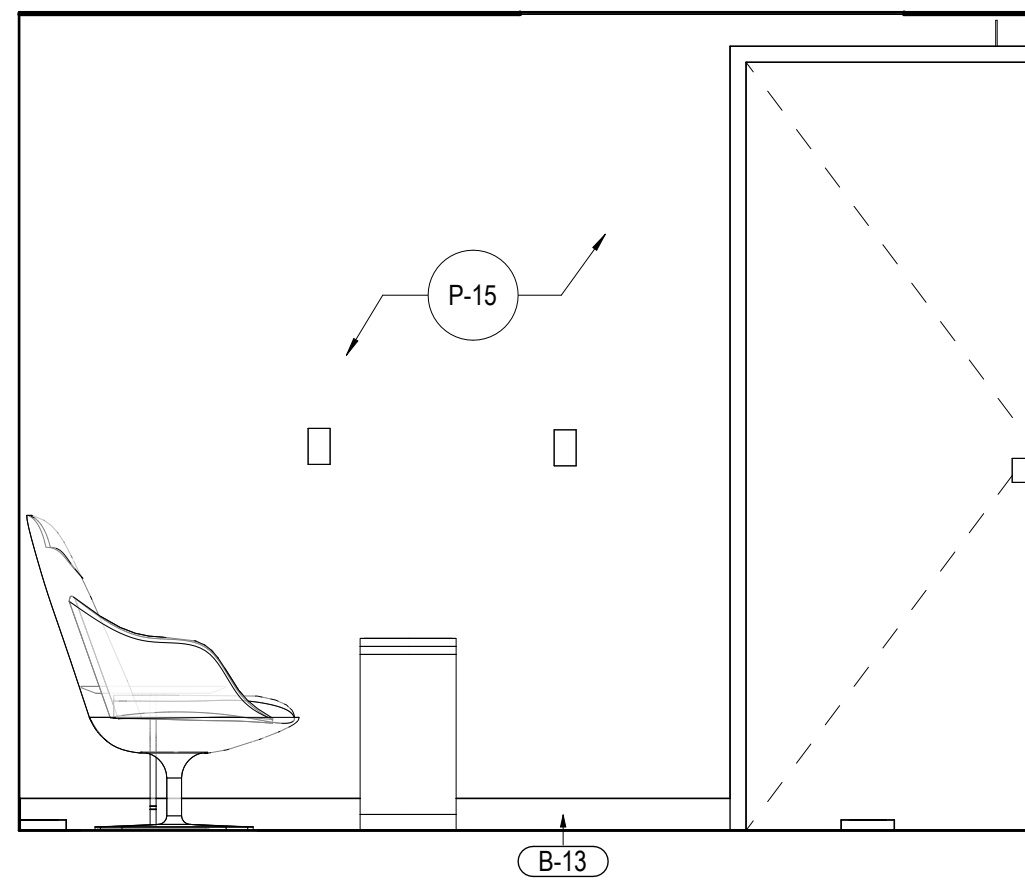
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03



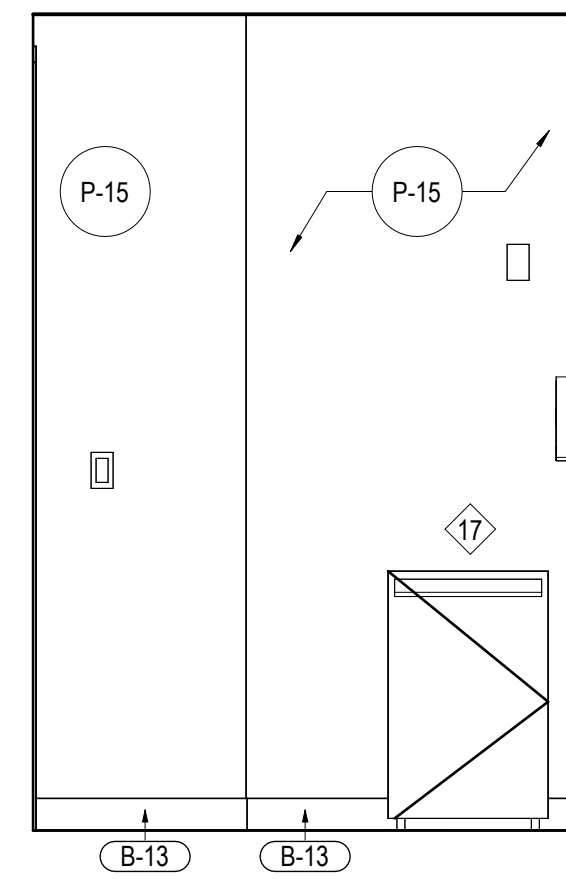
WELLNESS EAST ELEVATION
SCALE: 1/2" = 1'-0"

14



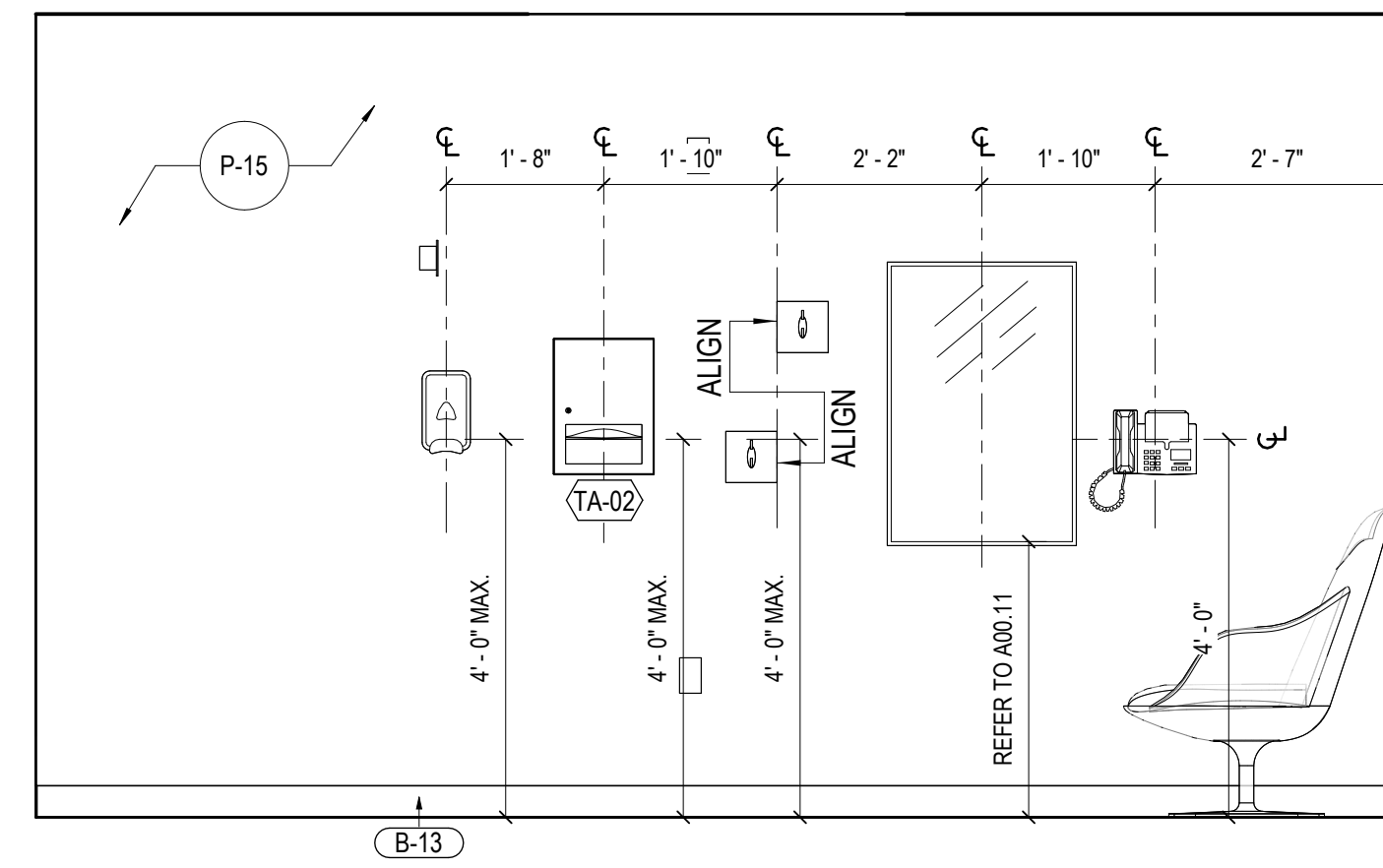
WELLNESS SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

12



WELLNESS WEST ELEVATION
SCALE: 1/2" = 1'-0"

08



WELLNESS NORTH ELEVATION
SCALE: 1/2" = 1'-0"

04

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Description

INTERIOR ELEVATIONS

Scale

1/2" = 1'-0"

A08.02

MEDIUM RENOVATION

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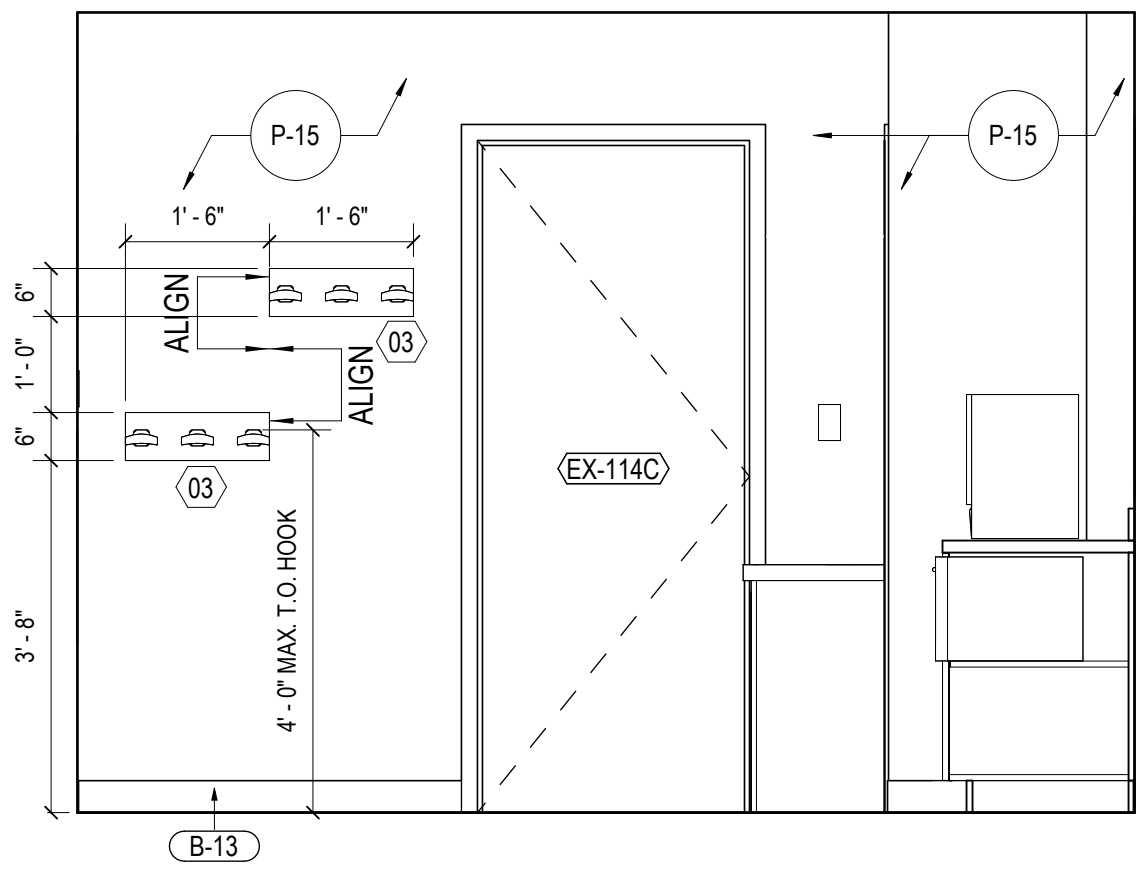
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Project Number
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Description
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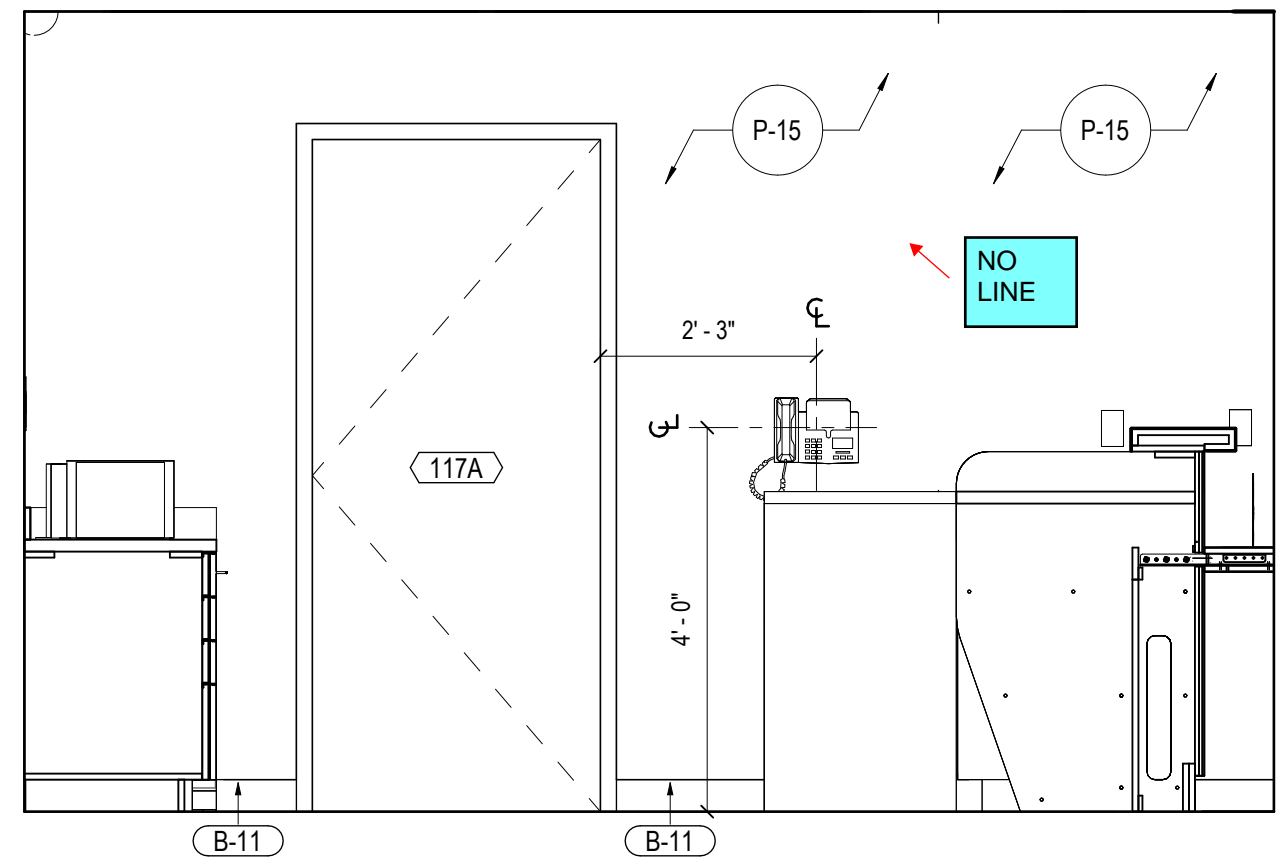
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BREAKROOM WEST ELEVATION

SCALE: 1/2" = 1'-0"

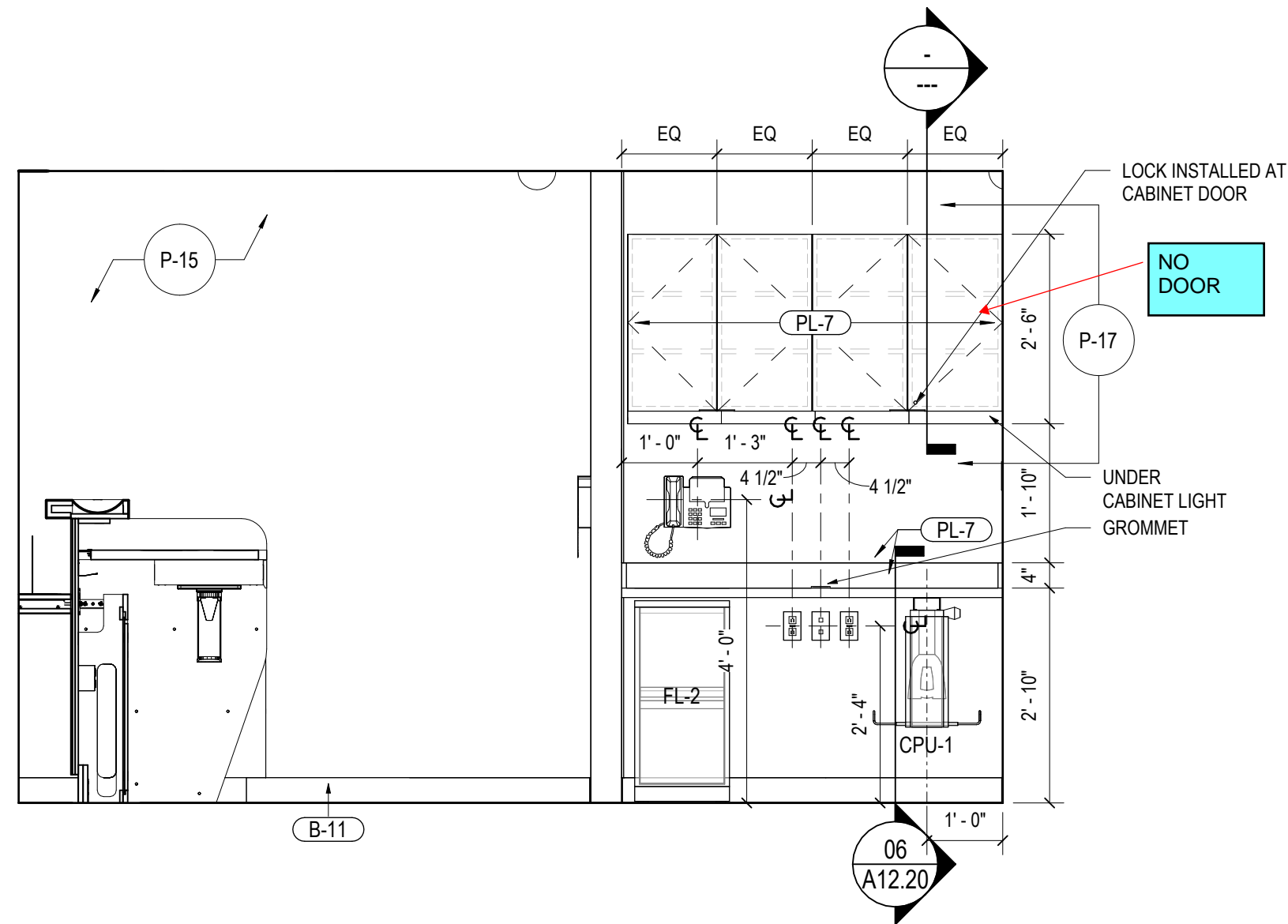
01



CSR EAST ELEVATION

SCALE: 1/2" = 1'-0"

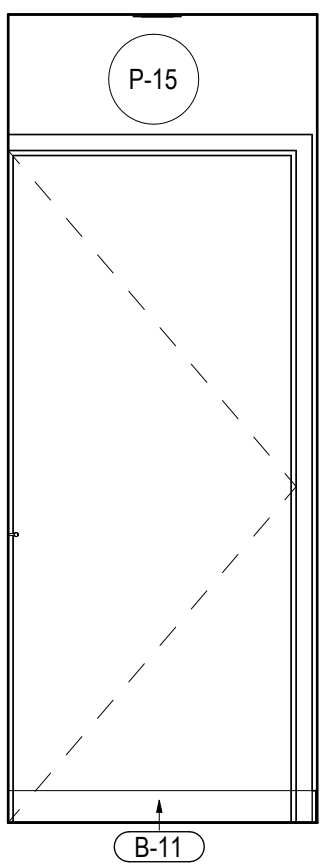
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CSR WEST ELEVATION

SCALE: 1/2" = 1'-0"

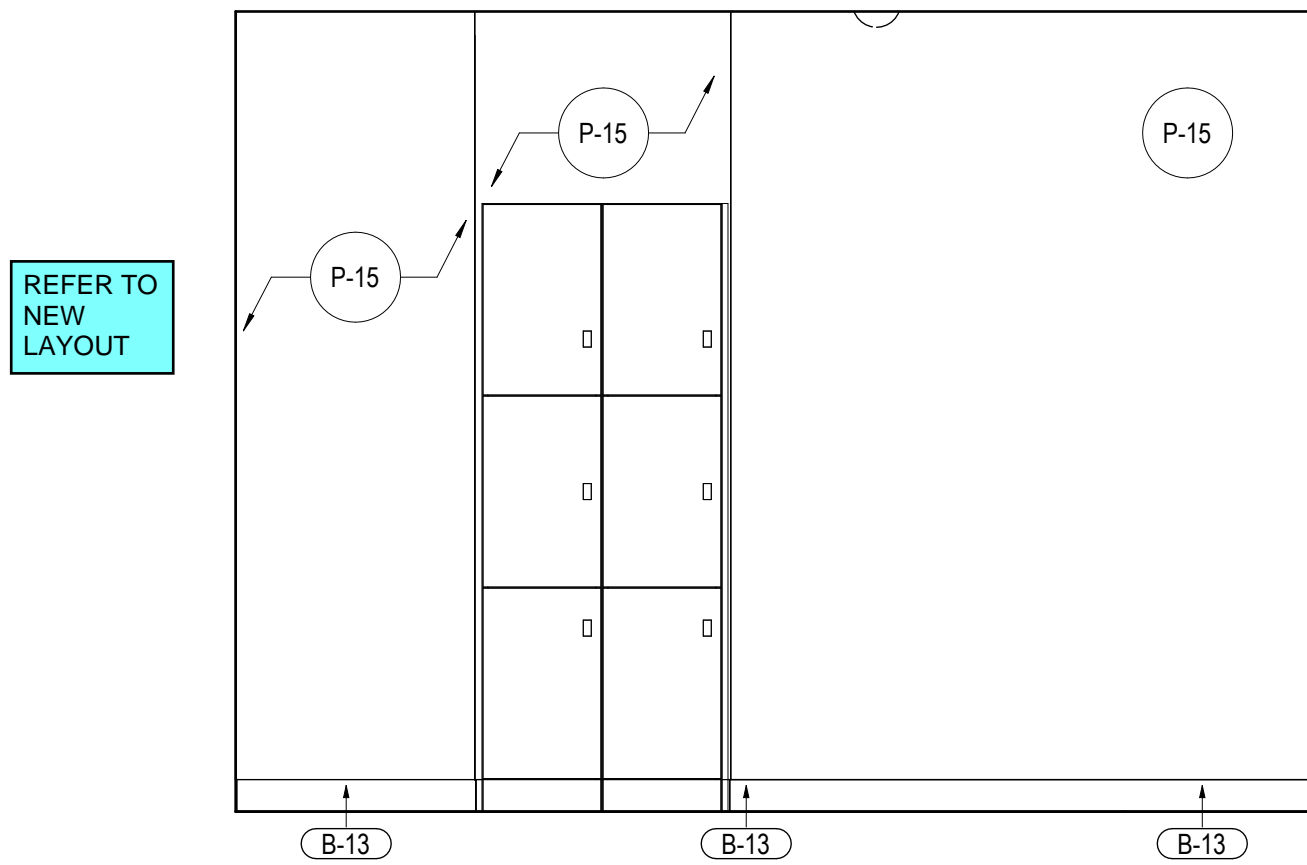
03



CORRIDOR EAST ELEVATION

SCALE: 1/2" = 1'-0"

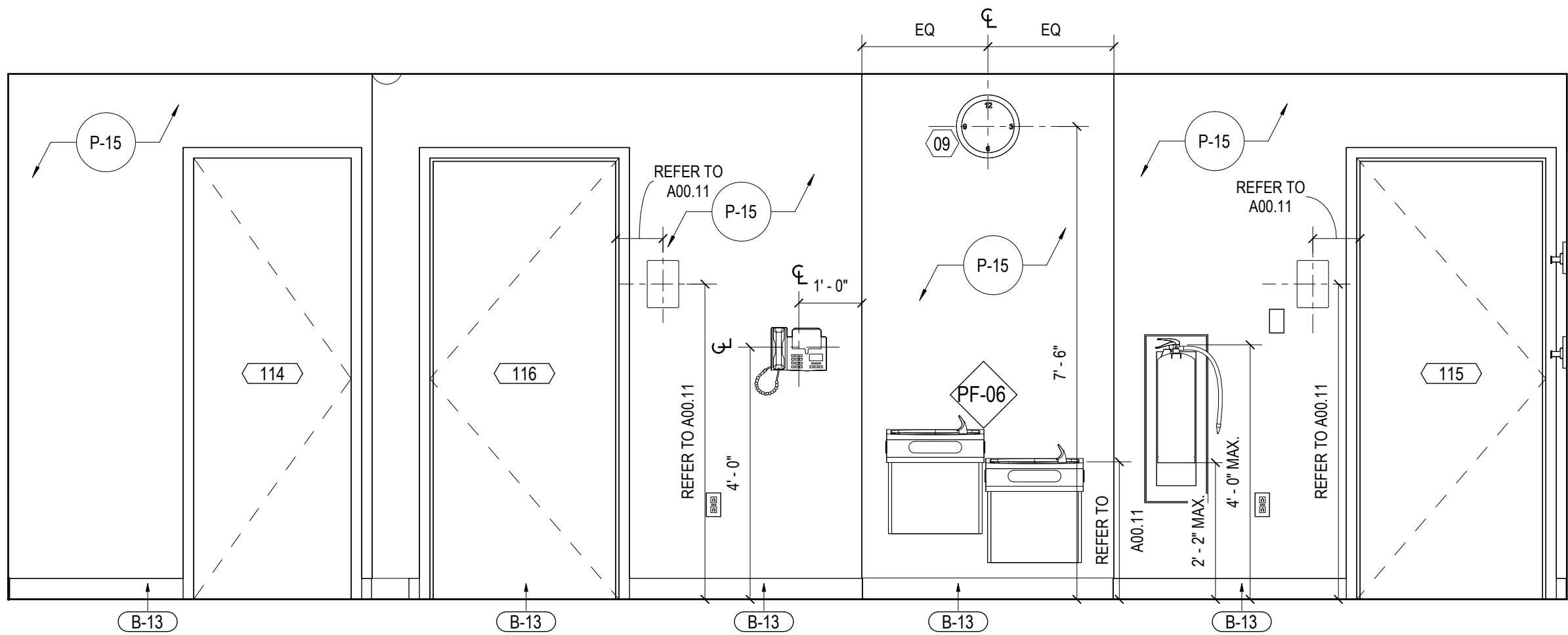
08



BREAKROOM EAST ELEVATION

SCALE: 1/2" = 1'-0"

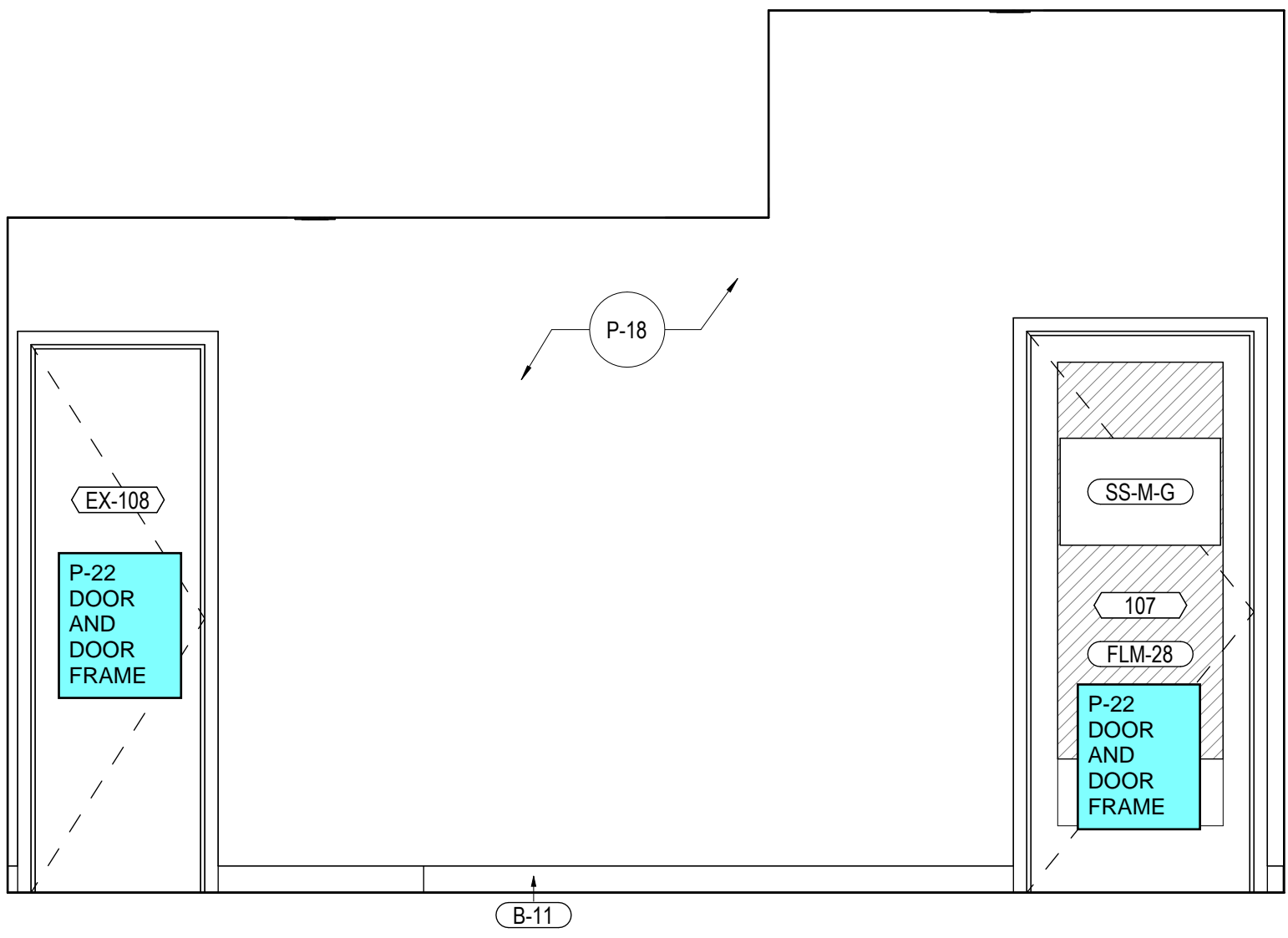
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BREAKROOM SOUTH ELEVATION

SCALE: 1/2" = 1'-0"

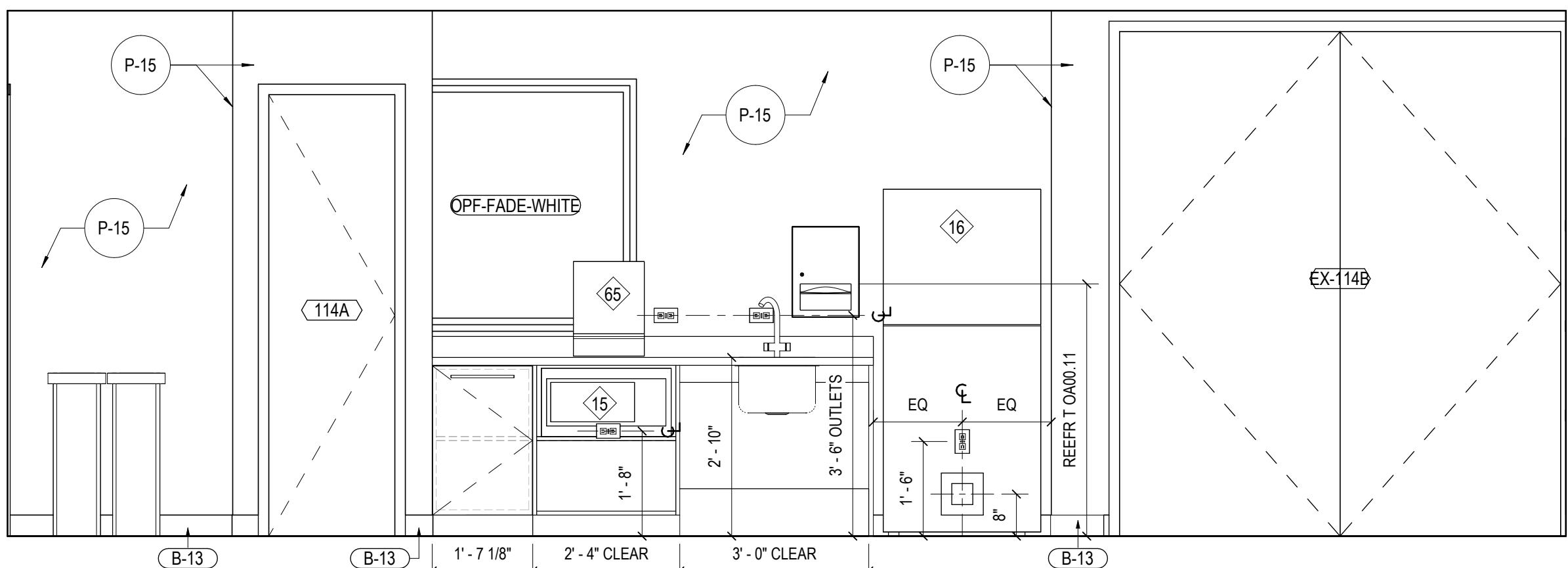
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CORRIDOR SOUTH ELEVATION

SCALE: 1/2" = 1'-0"

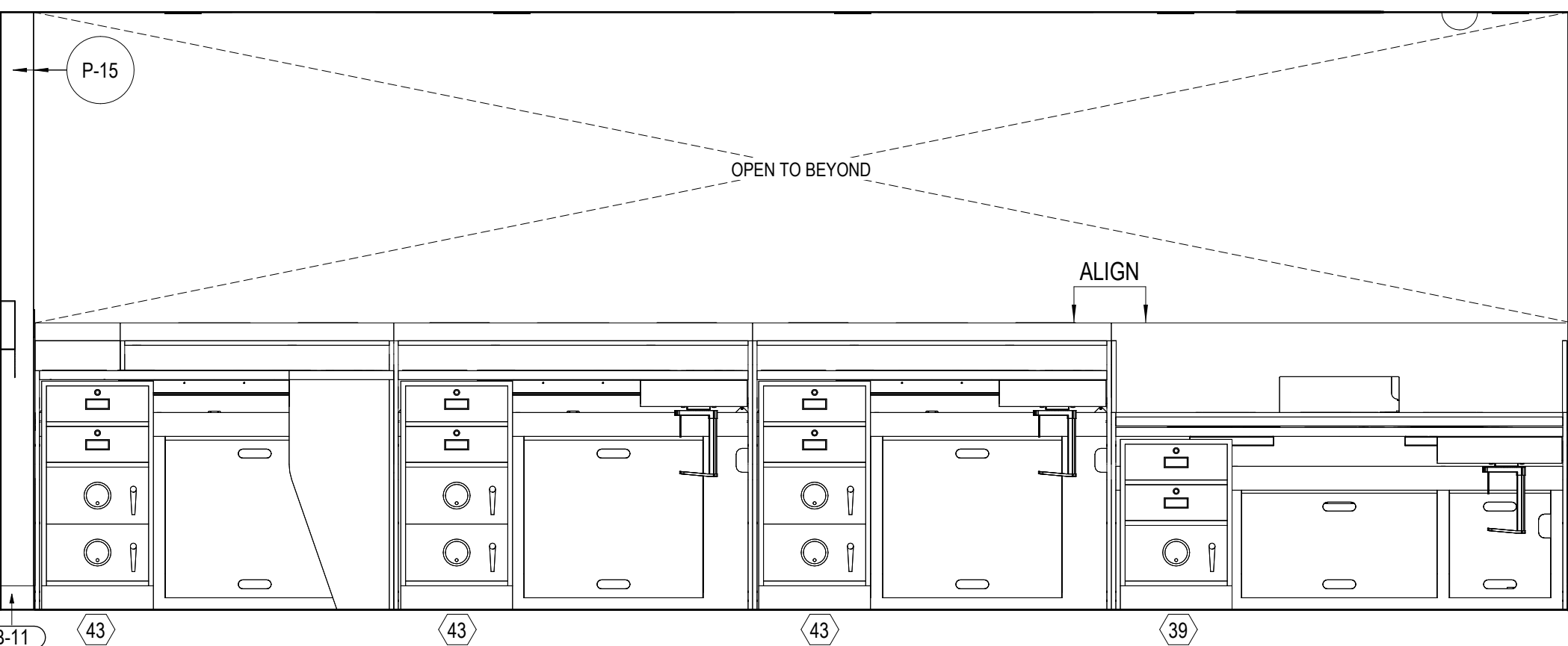
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BREAKROOM NORTH ELEVATION

SCALE: 1/2" = 1'-0"

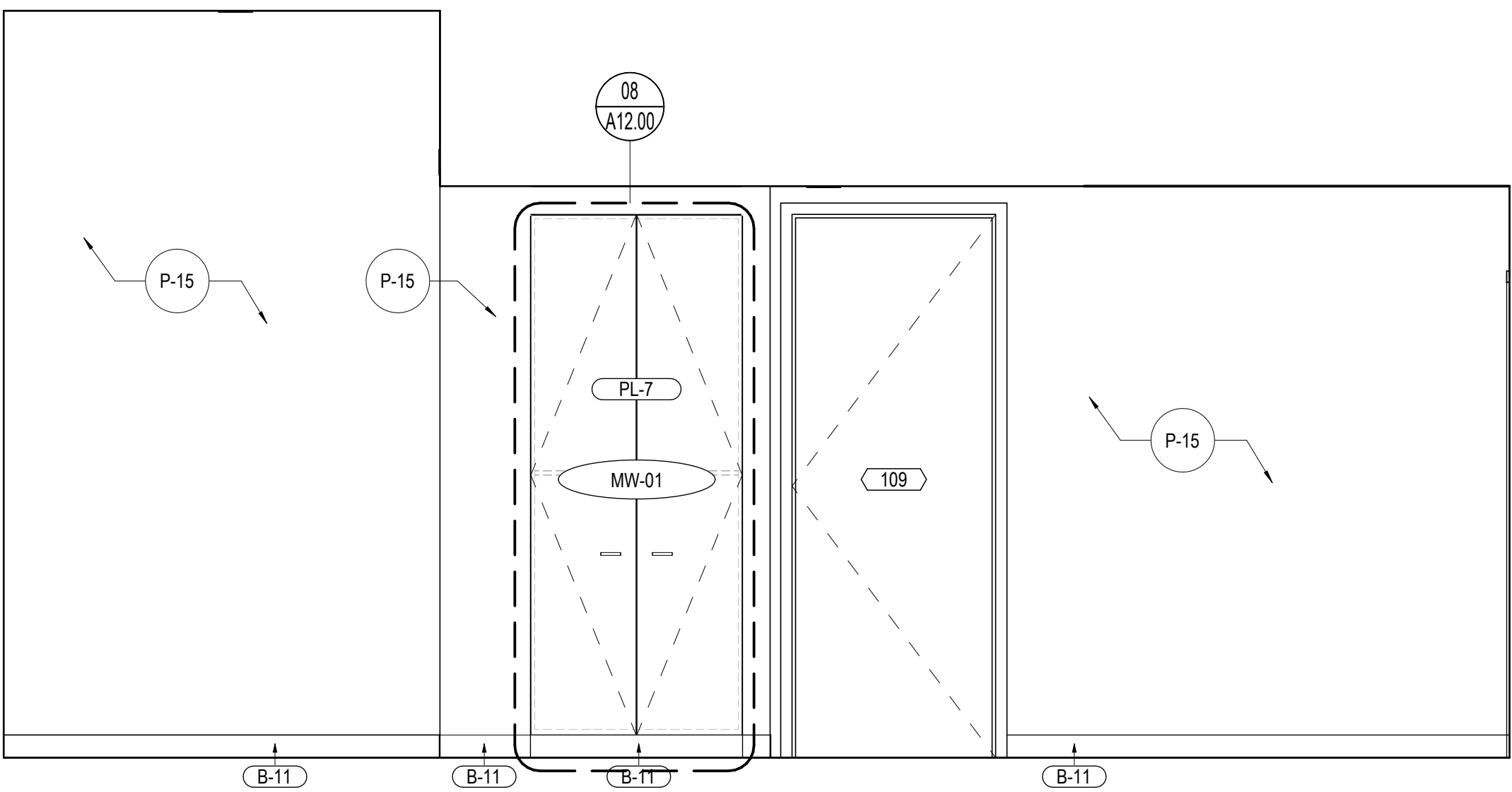
07



CSR SOUTH ELEVATION

SCALE: 1/2" = 1'-0"

04

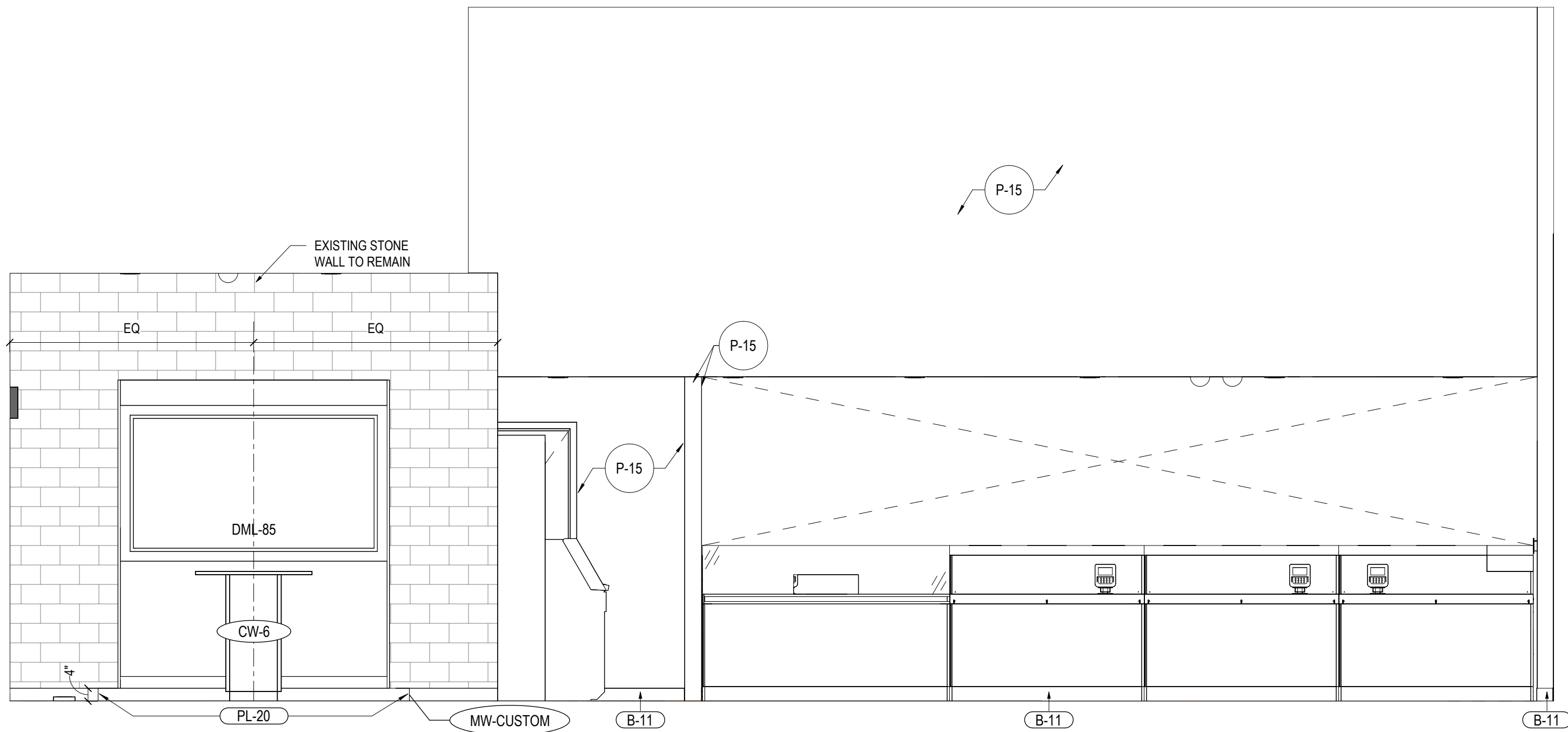


HALLWAY NORTH ELEVATION

SCALE: 1/2" = 1'-0"

10

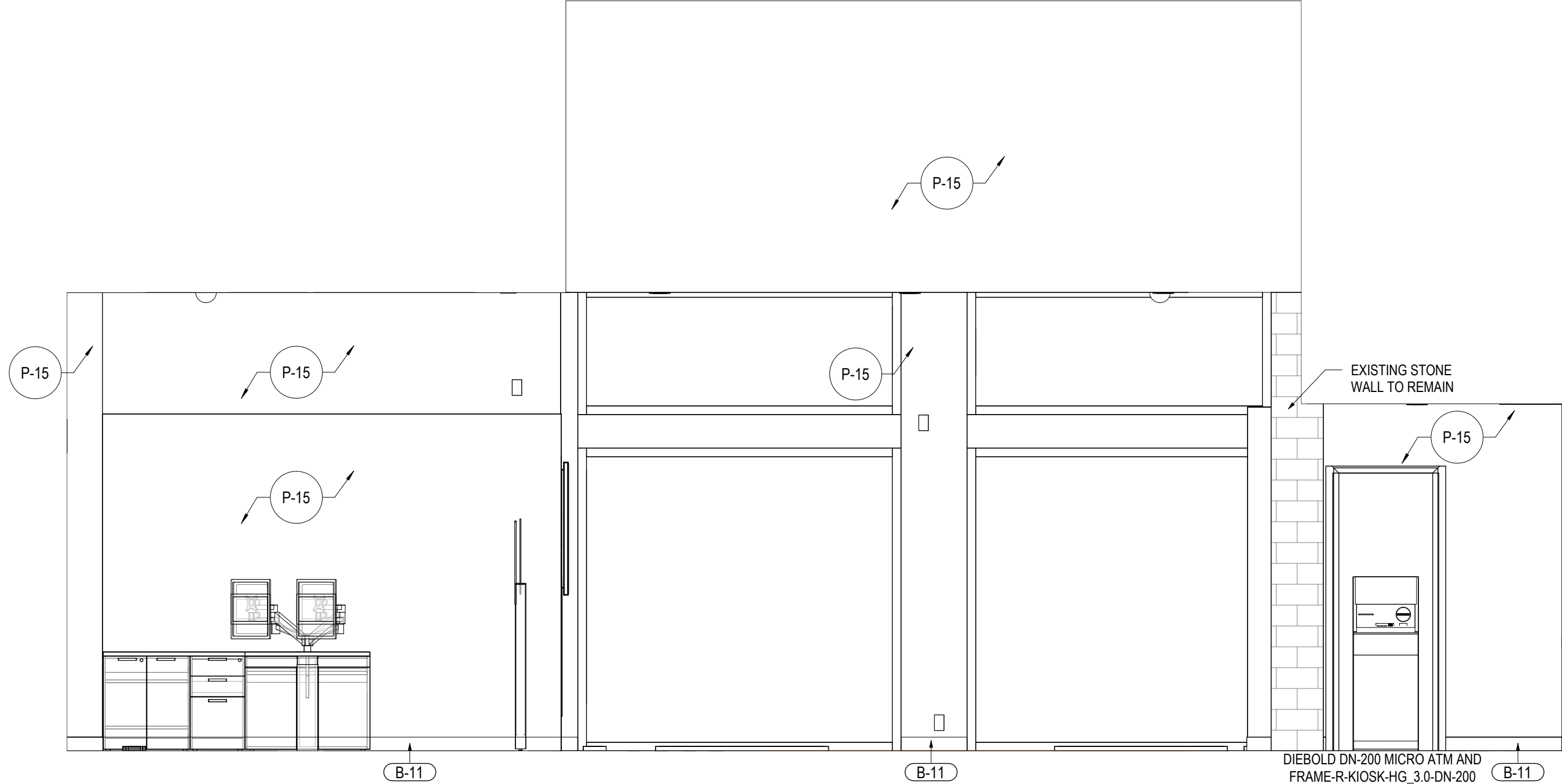
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CENTRAL ZONE NORTH ELEVATION

SCALE: 3/8" = 1'-0"

03



CENTRAL ZONE WEST ELEVATION

SCALE: 3/8" = 1'-0"

01



CENTRAL ZONE EAST ELEVATION

SCALE: 3/8" = 1'-0"

04



CENTRAL ZONE SOUTH ELEVATION

SCALE: 3/8" = 1'-0"

02

MEDIUM RENOVATION

1414 NY-300
Newburgh, NY 12550

SERIAL NUM./MANH. ID: NY6-225
NRSP VERSION: 4.0
BULLETIN: 01-2023
DOB NUMBER: XXX-XXX

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Contact: Amin H. Goema, PE
Amin.Goema@FPAengineers.com
Tel 732-312-9873

Date	Description
04.01.2024	ISSUE FOR SCHEMATIC DESIGN
04.01.2024	60% DESIGN DEVELOPMENT
05.28.2024	90% DESIGN DEVELOPMENT

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name

MEADOW HILL

Project Number

059.8400.015

Description

INTERIOR ELEVATIONS

Scale

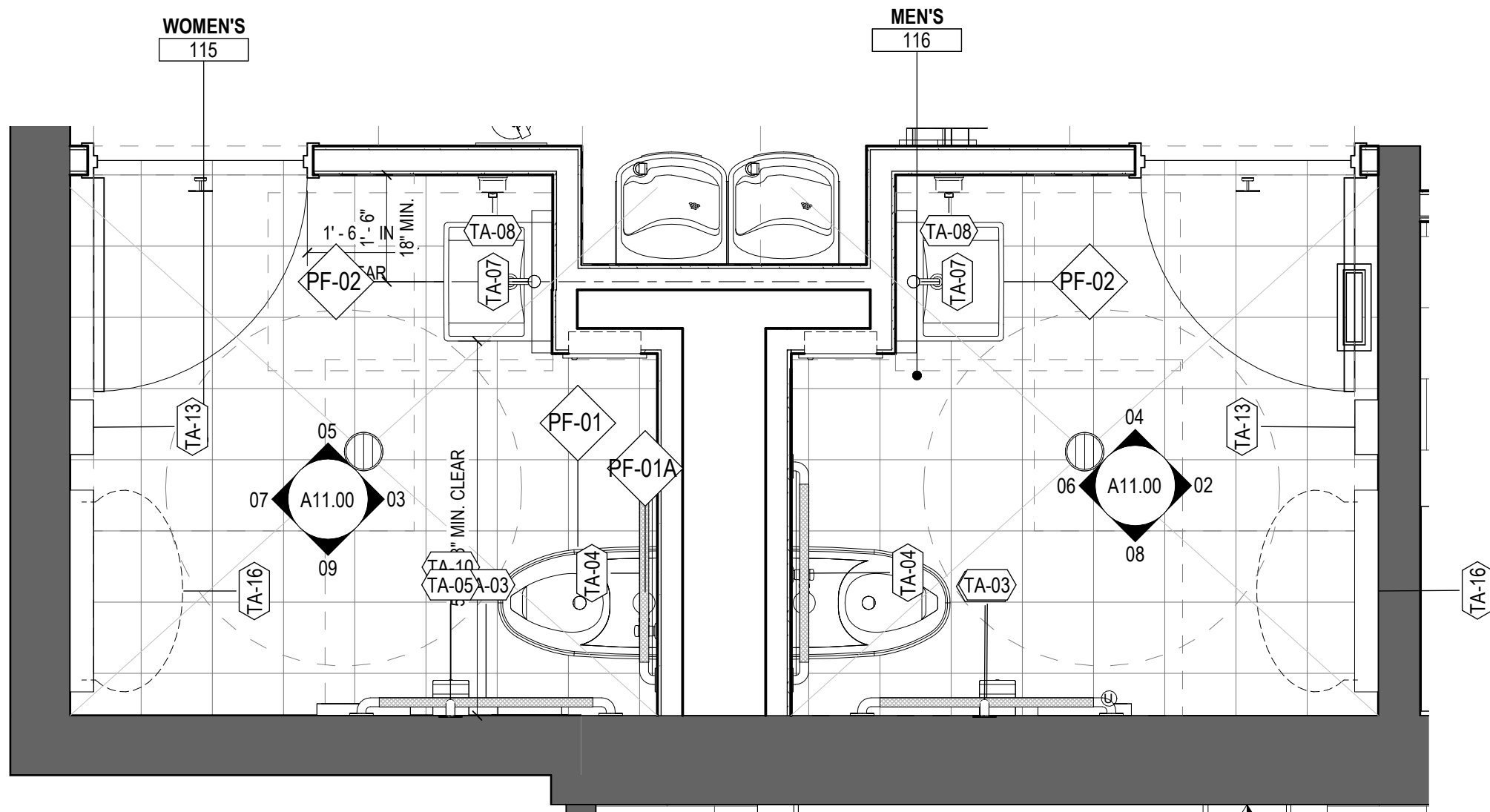
3/8" = 1'-0"

0 1 2 4 8

A08.04

MARK	ACCESSORY NAME	MANUFACTURER	DESCRIPTION	MOUNTING HT.
TA-02		Bobrick Washroom Equipment, Inc.	B-359039	
TA-03	HORIZONTAL GRAB BAR	BOBRICK WASHROOM EQUIPMENT, AMERICAN SPECIALTIES INC., BRADLEY	1.5" DIAMETER, STAINLESS STEEL - SATIN FINISH WITH SLIP RESISTANT TEXTURE IN GRIP AREA	REFER TO ELEVATION
TA-04	HORIZONTAL GRAB BAR	BOBRICK WASHROOM EQUIPMENT, AMERICAN SPECIALTIES INC., BRADLEY	1.5" DIAMETER, STAINLESS STEEL - SATIN FINISH WITH SLIP RESISTANT TEXTURE IN GRIP AREA	REFER TO ELEVATION
TA-05	VERTICAL GRAB BAR	BOBRICK WASHROOM EQUIPMENT, AMERICAN SPECIALTIES INC., BRADLEY	1.5" DIAMETER, STAINLESS STEEL - SATIN FINISH WITH SLIP RESISTANT TEXTURE IN GRIP AREA	REFER TO ELEVATION
TA-06	UTILITY HOOK	BOBRICK WASHROOM EQUIPMENT, AMERICAN SPECIALTIES INC., BRADLEY	2" X 2" X 2", STAINLESS STEEL, SATIN FINISH	<varies>
TA-07	BACKLIT MIRROR	AAMSCO	MLWC4024; MIRROR-LUX LED WHEELCHAIR MIRROR, SIZE: 40" H X 24" W	REFER TO ELEVATION
TA-08	SOAP DISPENSER OPT#1	GEORGIA PACIFIC	ENMOTION GEN2; AUTOMATED TOUCHLESS SOAP DISPENSER	REFER TO ELEVATION
TA-09	SANITARY NAPKIN DISPOSAL - OPT#1	BOBRICK WASHROOM EQUIPMENT, AMERICAN SPECIALTIES INC., BRADLEY	HEAVY GAUGE STAINLESS STEEL, SATIN FINISH	REFER TO ELEVATION
TA-10	TOILET PAPER	BOBRICK	B-2888, STAINLESS STEEL	<varies>
TA-12	UNDERLAVATORY GUARDS		WHITE, SOFT, RESILIENT MOLDED VINYL	<varies>
TA-13	HAND DRYER - OPT#2	Dyson	AIRBLADE V SERIES - HU02	
TA-14	TRASH RECEPTACLE	BOBRICK WASHROOM EQUIPMENT	B-35633, RECESSED WASTE RECEPTACLE WITH DISPOSAL DOOR	
TA-16	BABY CHANGING STATION	KOALA KARE	KB208, GREY	REFER TO ELEVATION
TA-17	TOILET SEAT COVER DISPENSER - OPT #1	BOBRICK	CONTURA SERIES; B-4221	REFER TO ELEVATION

MARK	FIXTURE NAME	MANUFACTURER	DESCRIPTION	MOUNTING HEIGHT
PF-01	WATER CLOSET - WALL HUNG - OPT#1	KOHLER	KINGSTON ULTRA; TOP SPUD FLUSHOMETER BOWL	REFER TO A00.11
PF-01A	AUTOMATIC FLUSHOMETER	KOHLER	ECOS EXPOSED SENSOR WATER CLOSET FLUSHOMETER; ECOS- 811	REFER TO A00.11
PF-02	RESTROOM SINK - WALL MOUNTED - OPT#1	AMERICAN STANDARD	WALL-HUNG LAVATORY WITH EVERCLEAN; 9024.000EC CHO	REFER TO A00.11
PF-05		SLOAN	EAF-250	
PF-06	HI-LO DRINKING FOUNTAIN - OPT#1	ELKAY	EZSTL8WSLK; EZH20 BOTTLE FILLING STATION & VERSATILE BI-LEVEL ADA COOLER	



ENLARGED RESTROOM PLAN
SCALE: 1/2" = 1'-0"

01

GENERAL NOTES

- A. FOR FINISH SCHEDULE REFER TO A00.30.
B. REFER TO SPECIFICATIONS MANUAL FOR TOILET ACCESSORY PRODUCT INFORMATION.
C. CONTRACTOR TO PROVIDE BLOCKING IN WALLS FOR ALL TOILET ROOM ACCESSORIES, AS REQUIRED.
D. CONTRACTOR TO PROVIDE IN-WALL BLOCKING FOR SINK, TOILET, AND URINAL, AS REQUIRED.
E. USE MOISTURE AND MOLD-RESISTANT GYPSUM BOARD BEHIND TOILET AND LAVATORY.
F. REFER TO ACCESSIBILITY PAGE FOR ACCESSORY MOUNTING HEIGHTS

LEGEND

- EQUIPMENT WITHOUT POWER SUPPLY
◇ EQUIPMENT WITH POWER SUPPLY

MEDIUM RENOVATION

1414 NY-300

Newburgh, NY 12550

SERIAL NUM./MANH. ID: NY6-225

NRSP VERSION: 4.0

BULLETIN: 01-2023

DOB NUMBER: XXX-XXX

Gensler

101 South Tryon Street
Suite 2100
Charlotte, NC 28280
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Tel 704.377.2725
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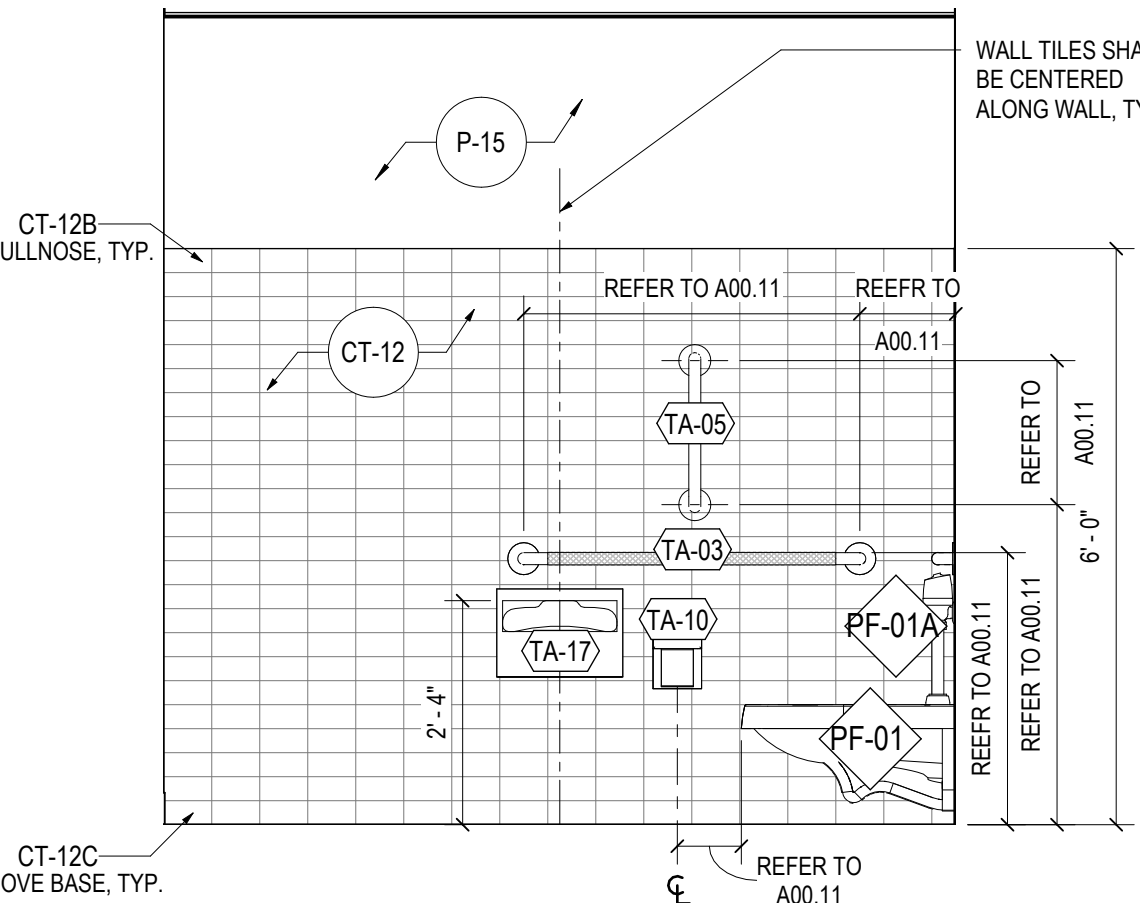
CBRE

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John.Olsson@cbre.com

FPA
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ASSOCIATES

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Amin.Gooma@FPAengineers.com
Tel 732-312-9873

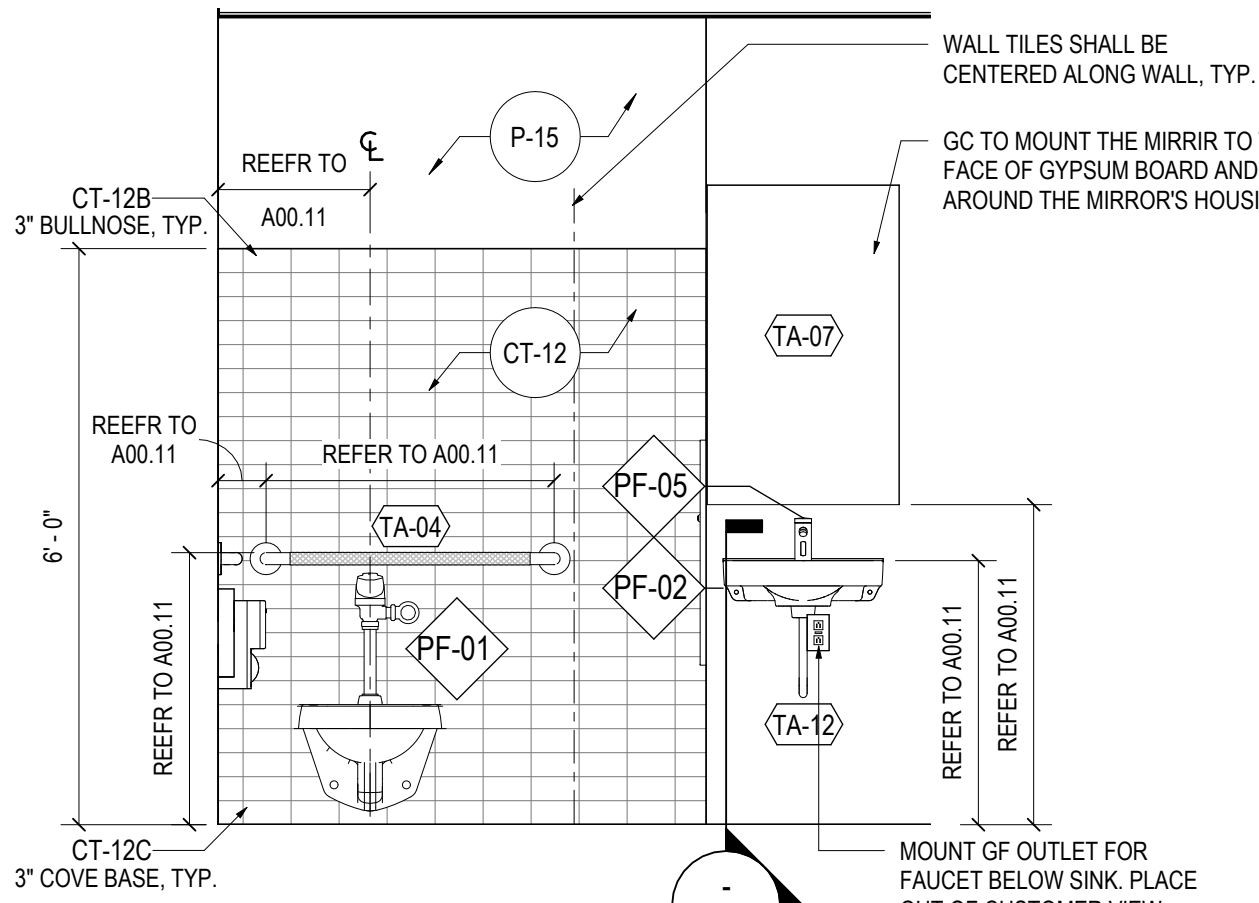
Date	Description
04.01.2024	ISSUE FOR SCHEMATIC DESIGN
04.01.2024	60% DESIGN DEVELOPMENT
05.28.2024	90% DESIGN DEVELOPMENT



ELEVATION - MEN'S SOUTH

SCALE: 1/2" = 1'-0"

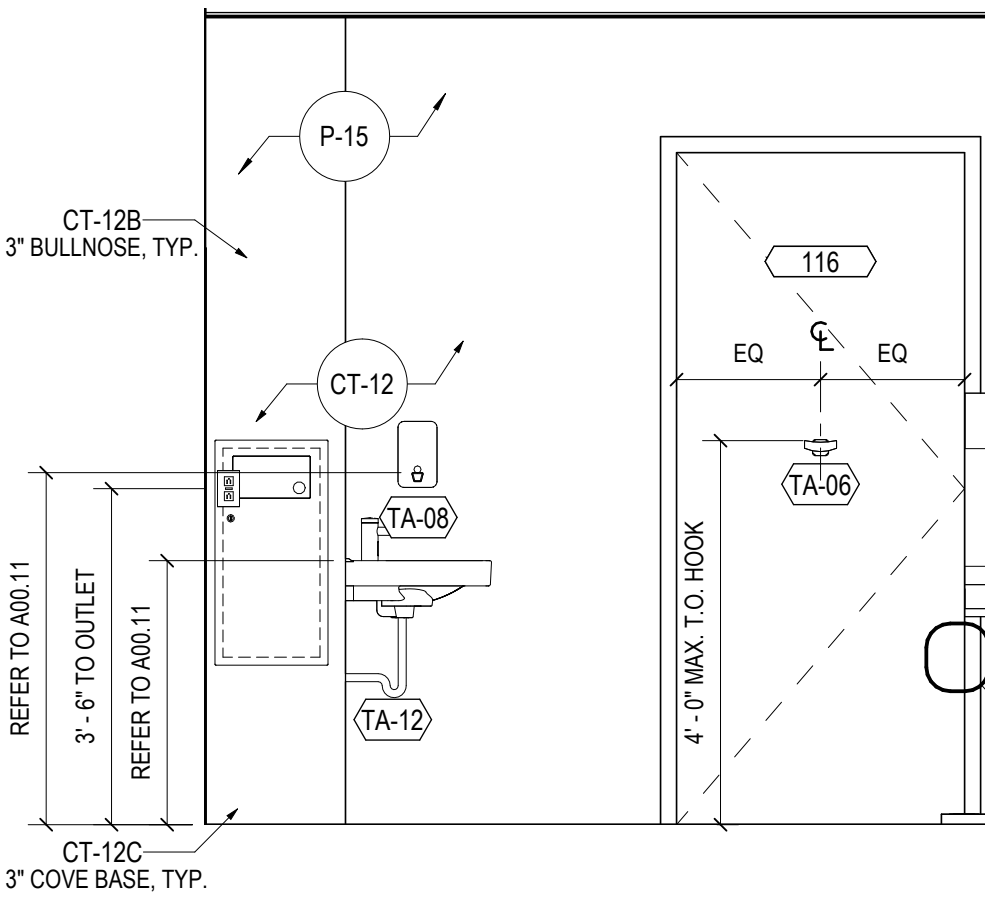
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ELEVATION - MEN'S WEST

SCALE: 1/2" = 1'-0"

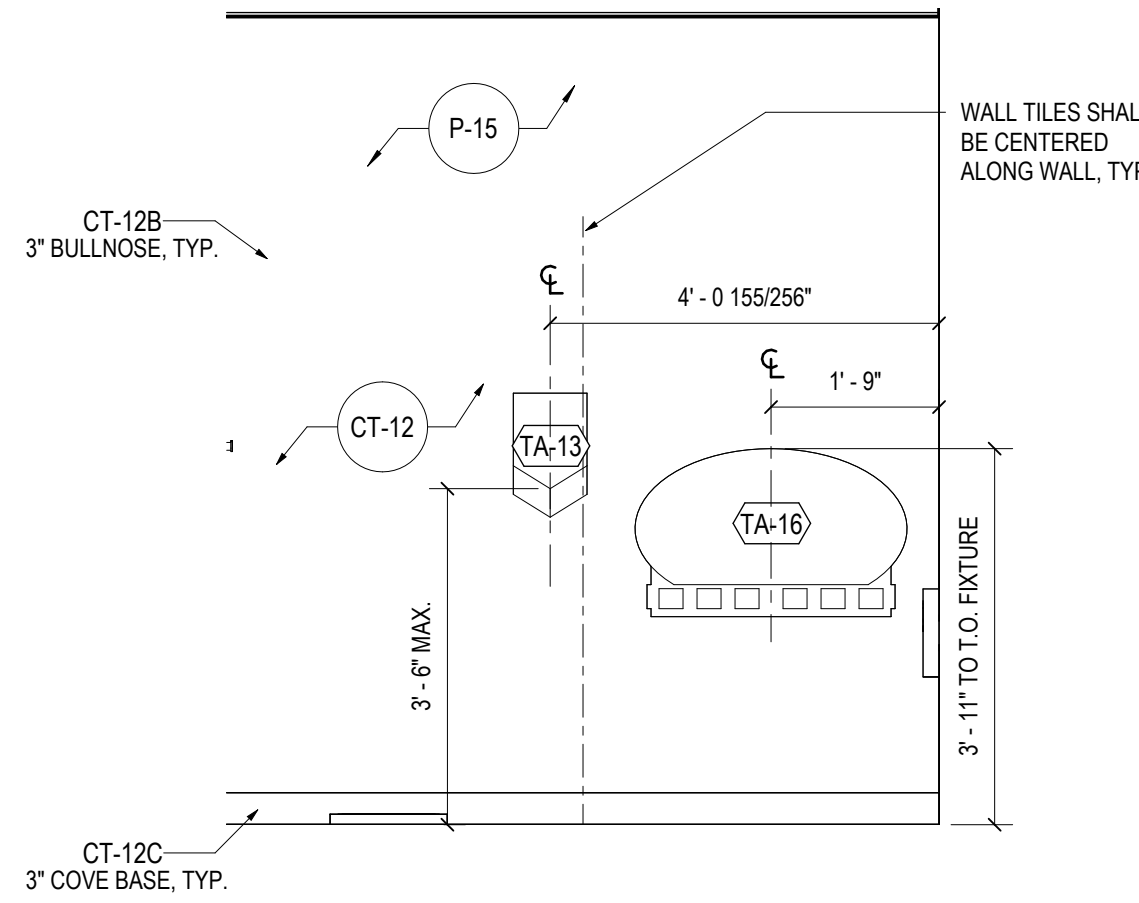
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ELEVATION - MEN'S NORTH

SCALE: 1/2" = 1'-0"

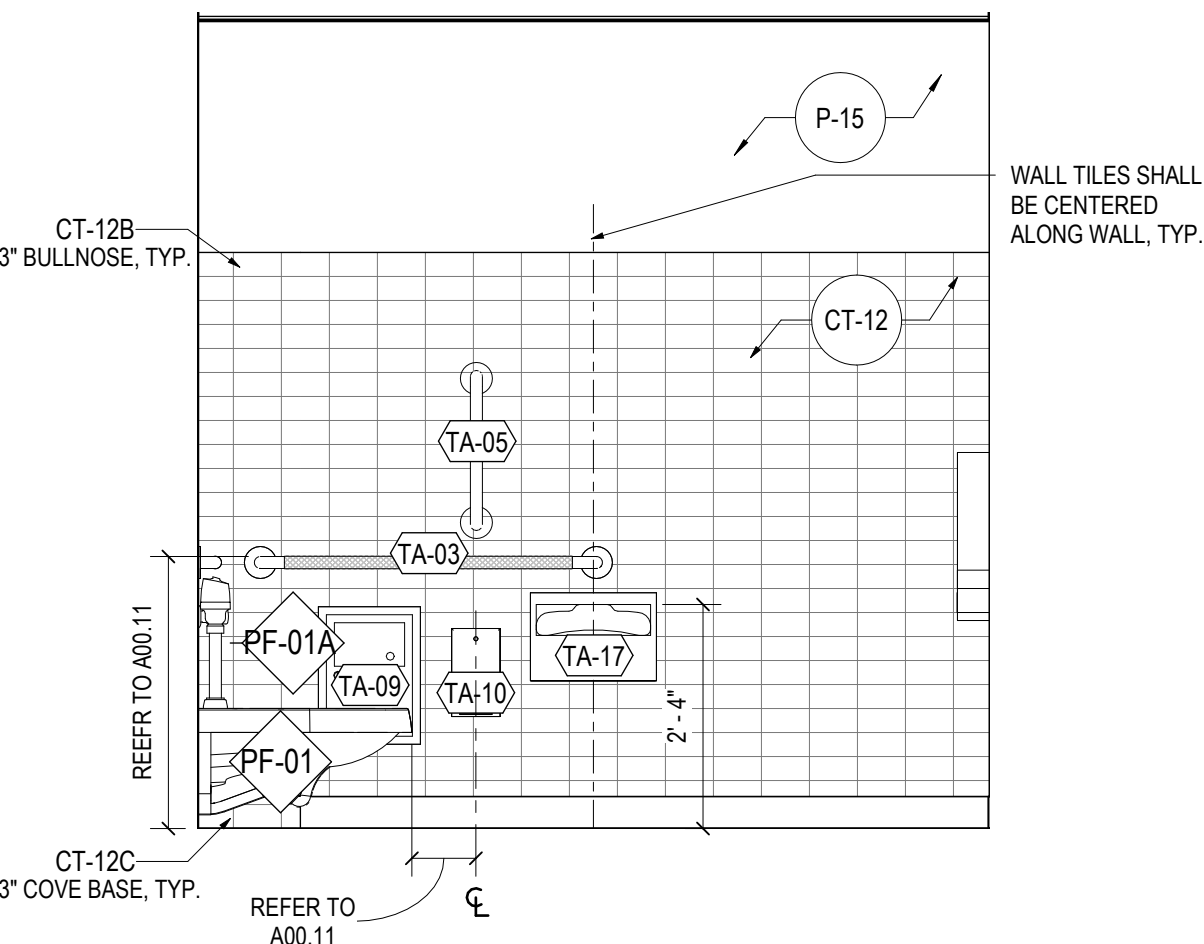
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ELEVATION - MEN'S EAST

SCALE: 1/2" = 1'-0"

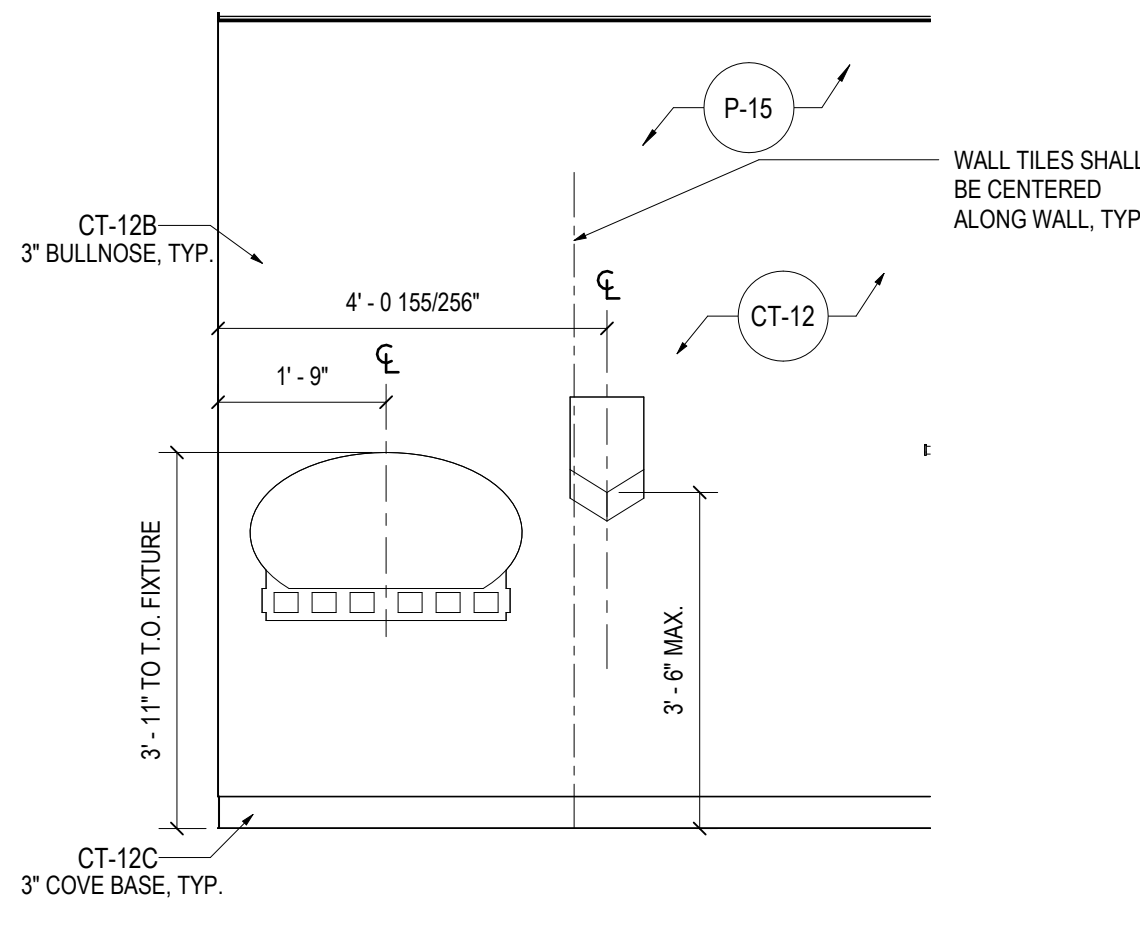
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ELEVATION - WOMEN'S SOUTH

SCALE: 1/2" = 1'-0"

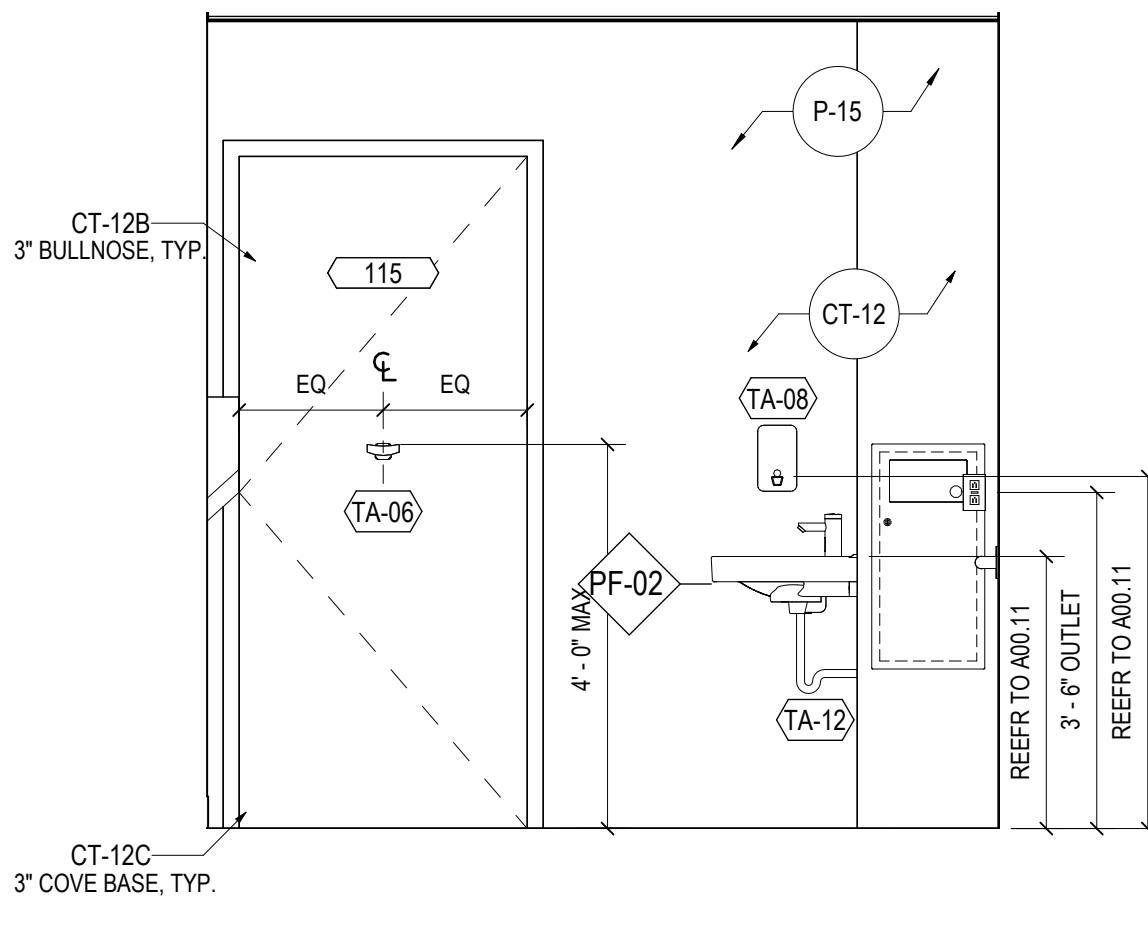
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ELEVATION - WOMEN'S WEST

SCALE: 1/2" = 1'-0"

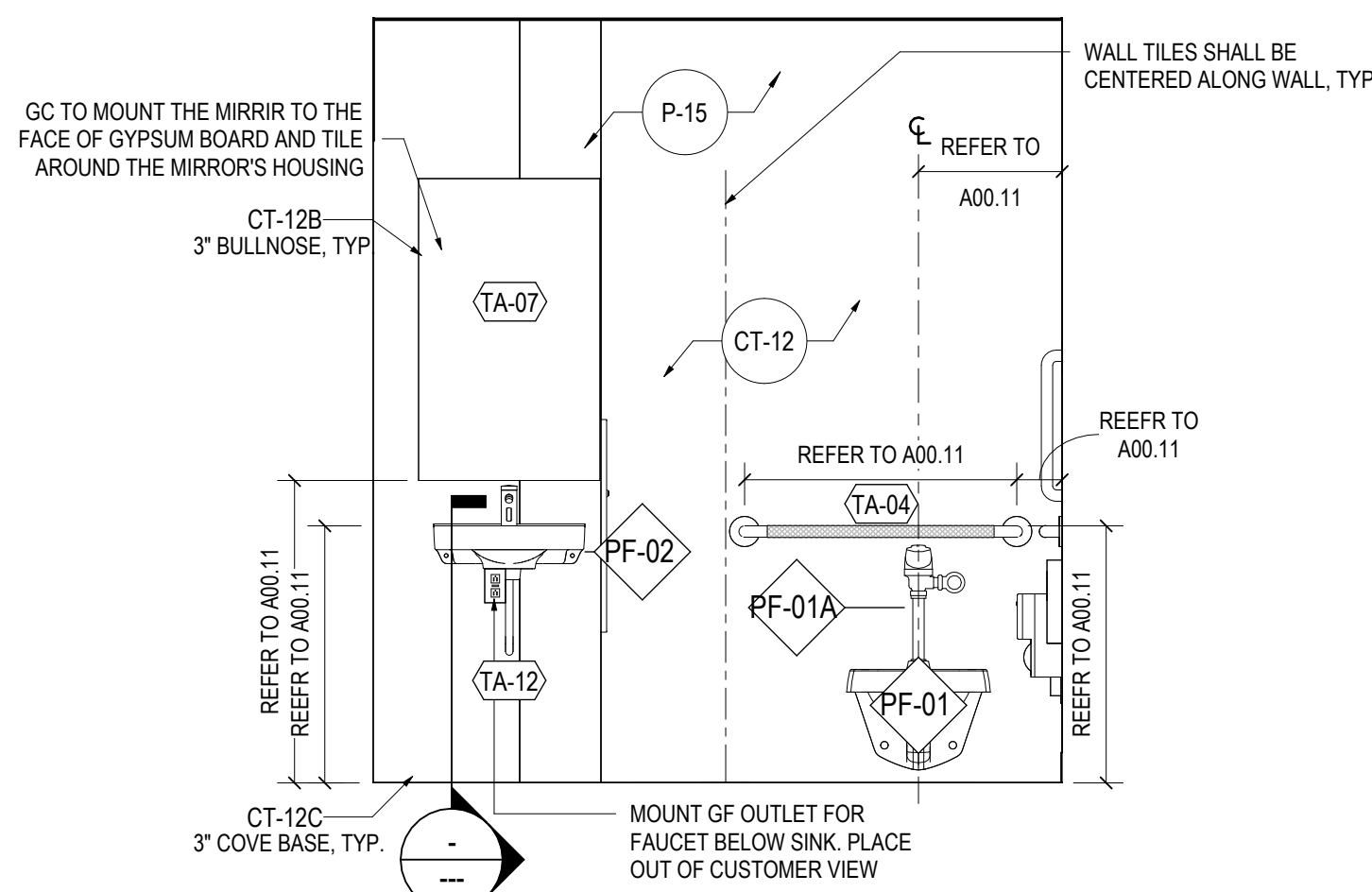
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ELEVATION - WOMEN'S NORTH

SCALE: 1/2" = 1'-0"

05



ELEVATION - WOMEN'S EAST

SCALE: 1/2" = 1'-0"

03

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name

MEADOW HILL

Project Number

059.8400.015

Description

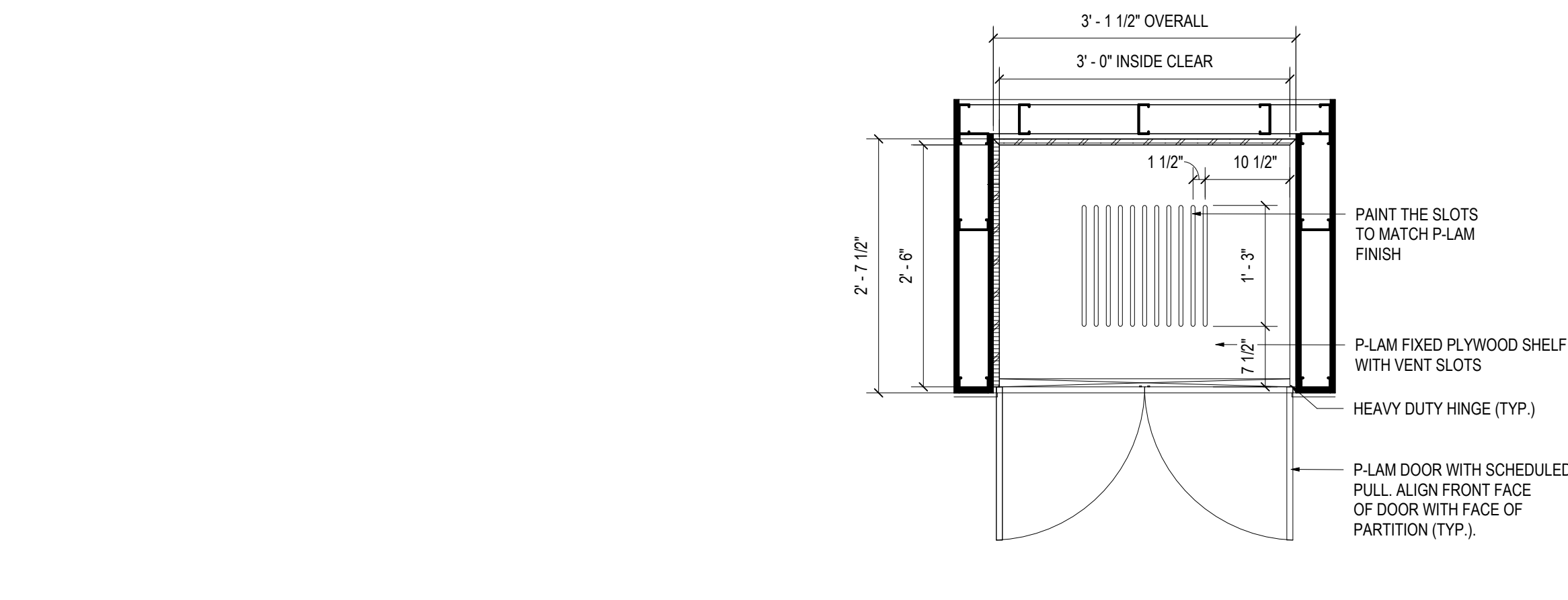
ENLARGED PLANS AND INTERIOR
ELEVATIONS

Scale

As indicated

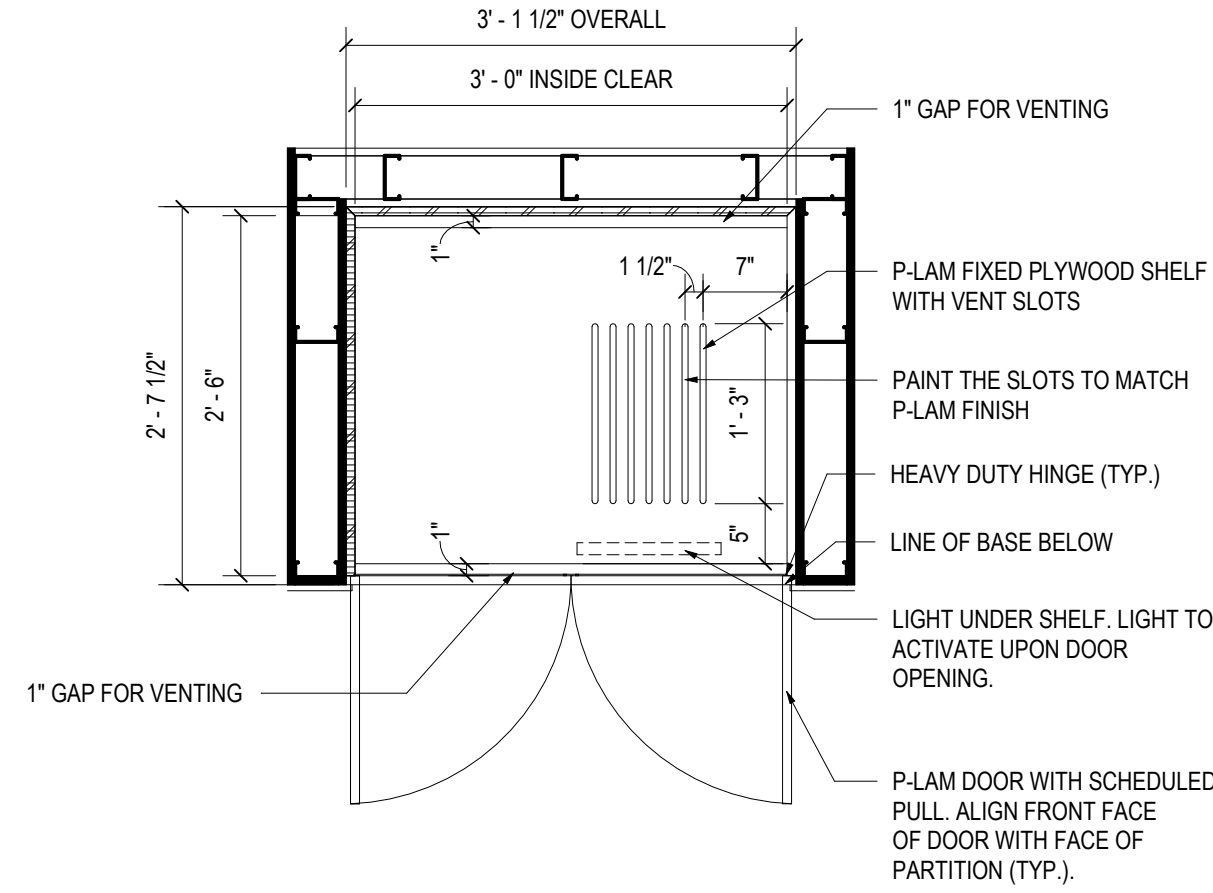
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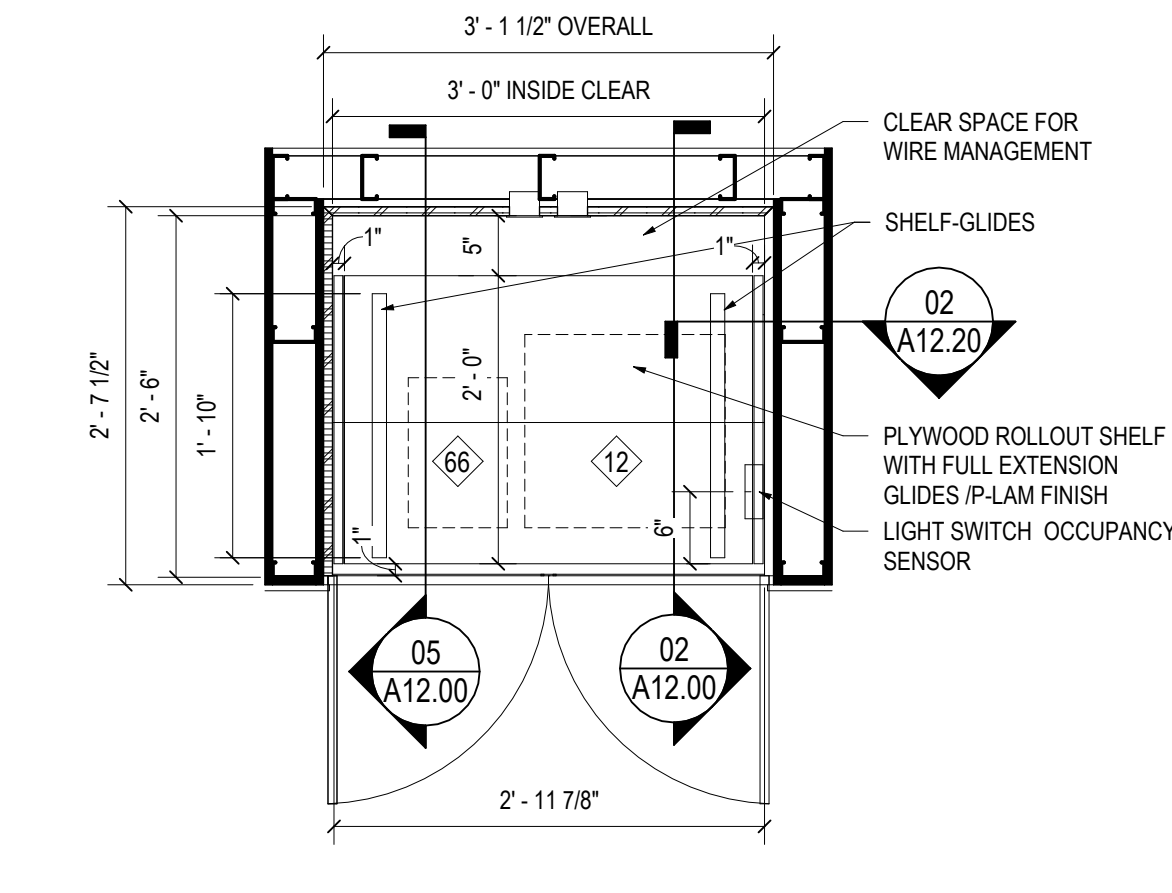
MW01 - PRINTER CAB. TOP
SCALE: 3/4" = 1'-0"

06



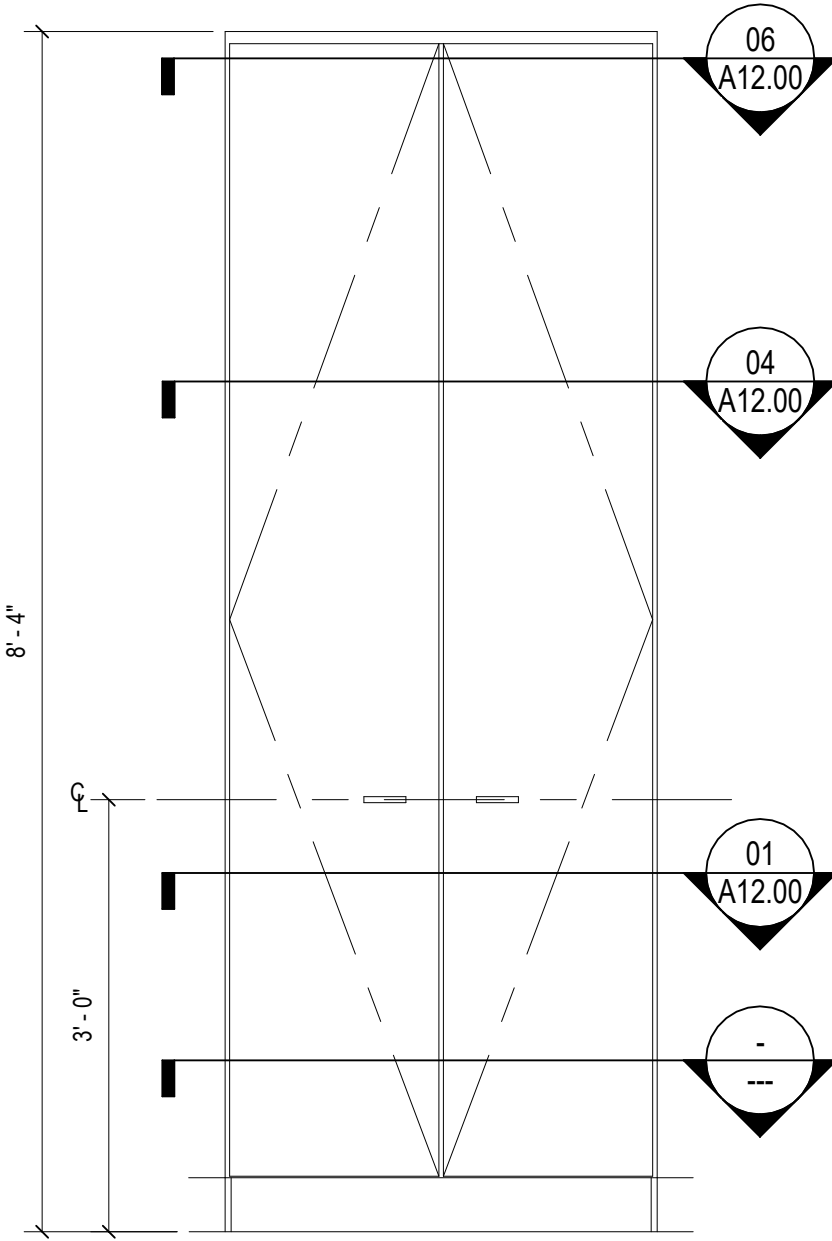
MW01 - PRINTER CAB. TOP SHELF
SCALE: 3/4" = 1'-0"

04



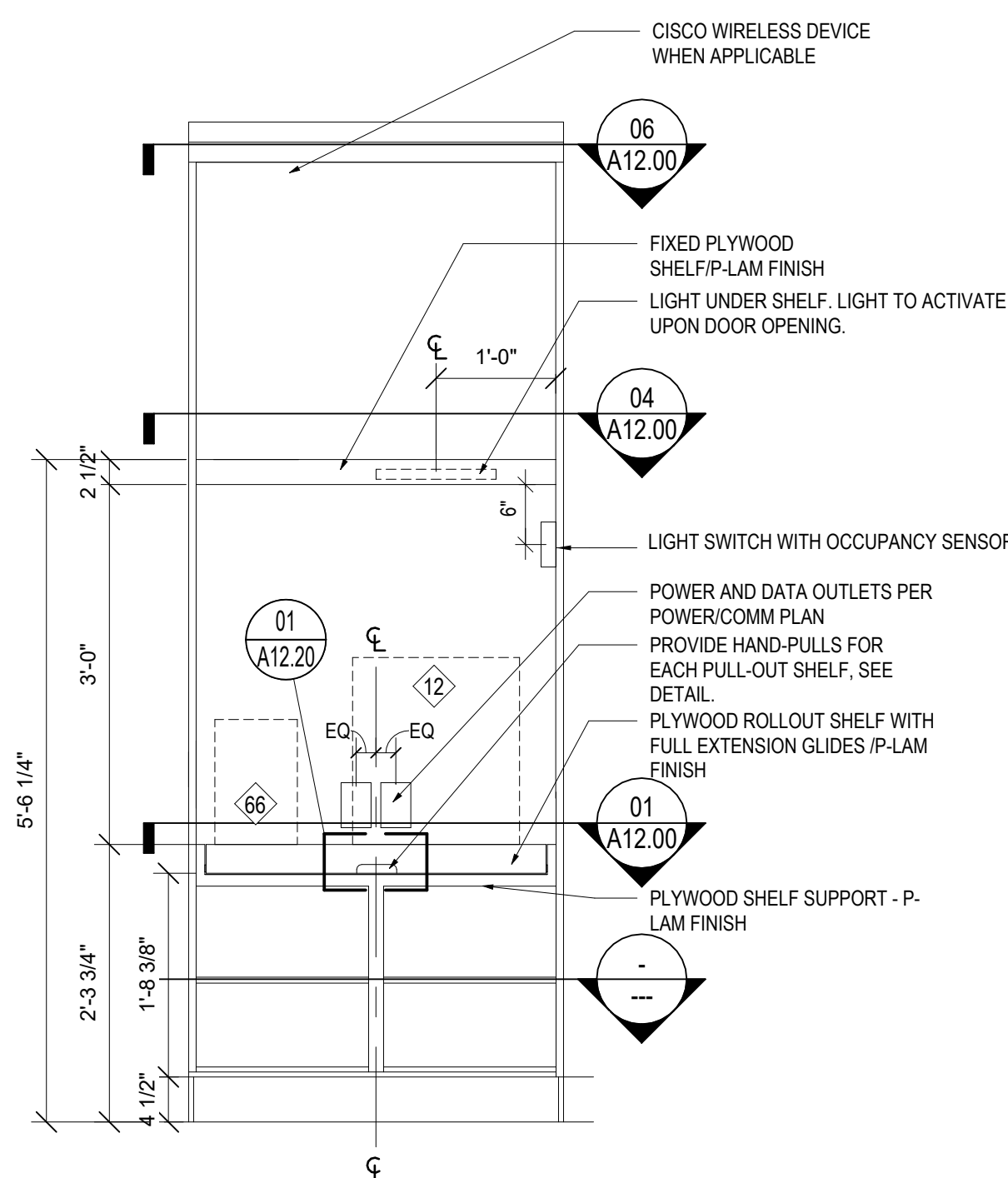
MW01 - PRINTER CAB. BOTTOM SHELF
SCALE: 3/4" = 1'-0"

01



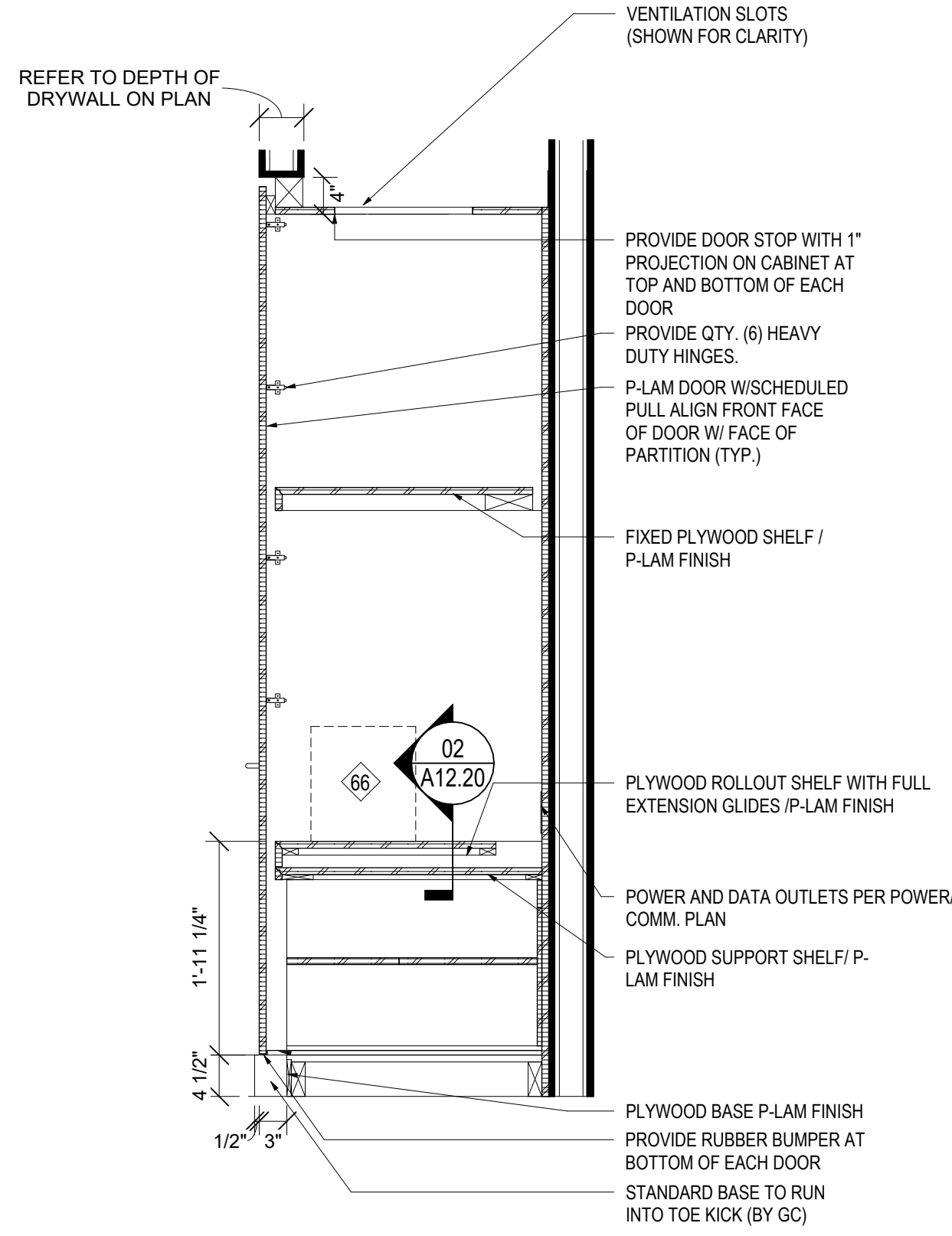
MW01 - PRINTER CAB. ELEVATION EXTERIOR
SCALE: 3/4" = 1'-0"

08



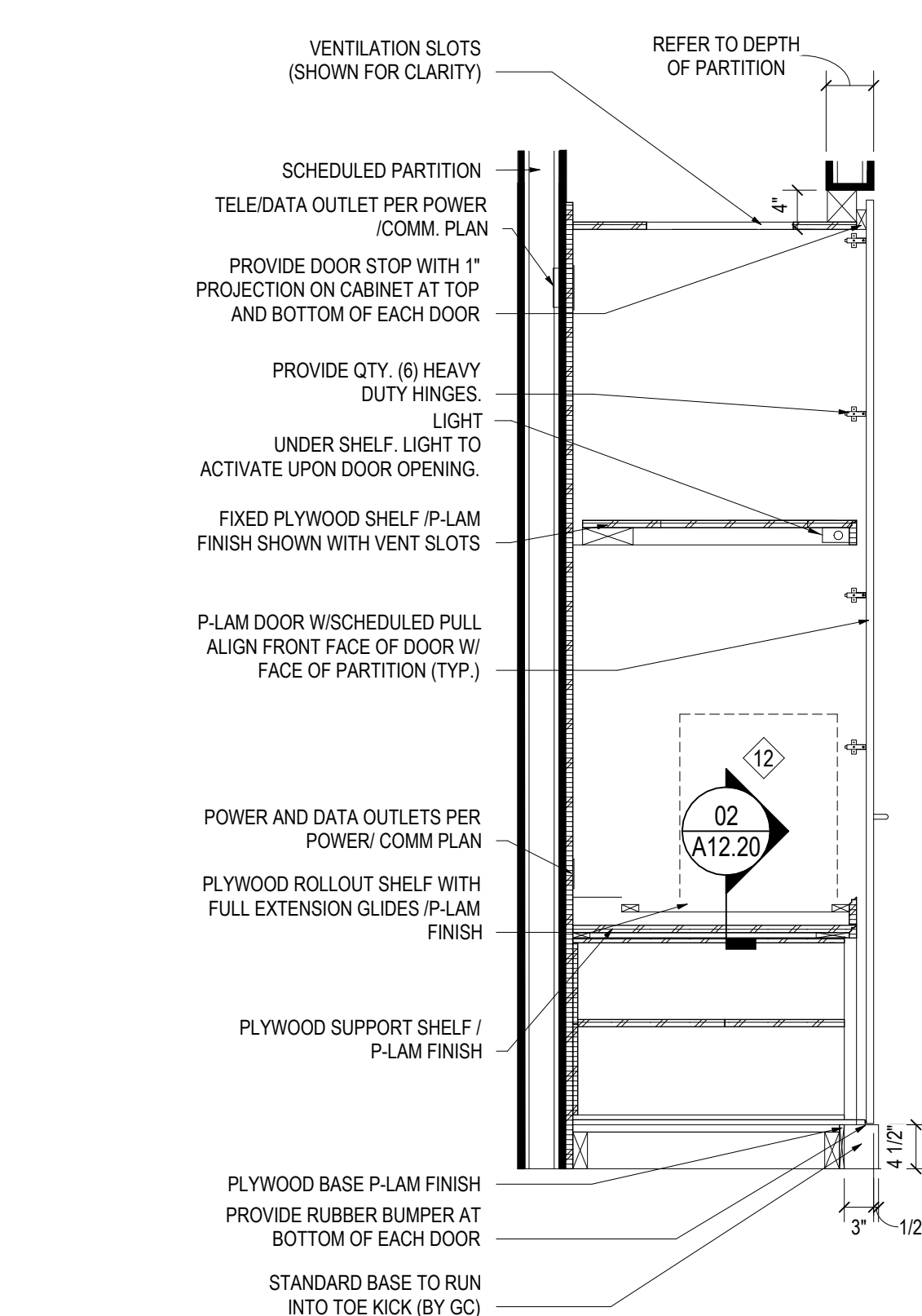
MW01 - PRINTER CAB. ELEVATION INTERIOR
SCALE: 3/4" = 1'-0"

07



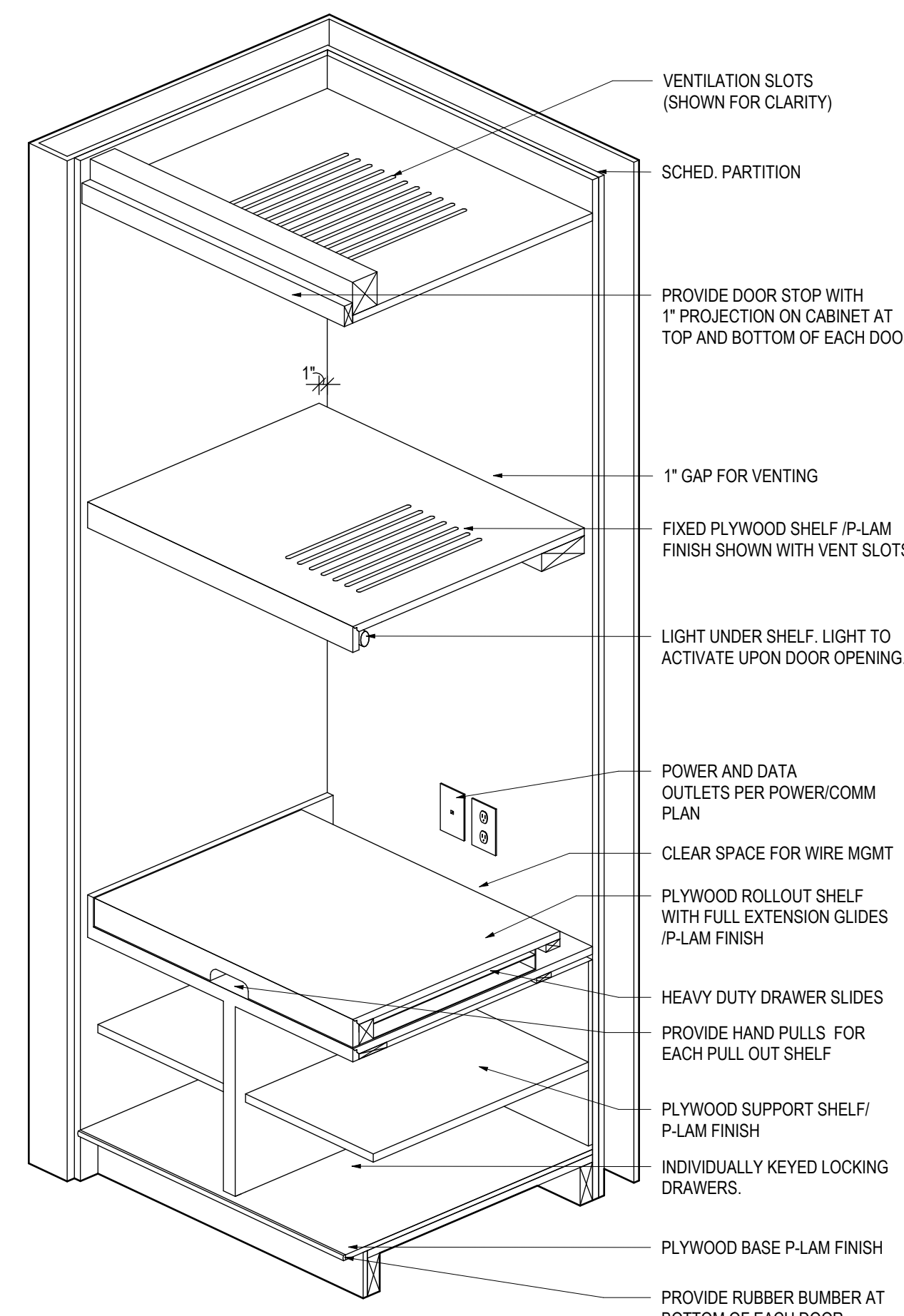
MW01 - PRINTER CAB. SECTION LEFT SIDE
SCALE: 3/4" = 1'-0"

05



MW01 - PRINTER CAB. SECTION RIGHT SIDE
SCALE: 3/4" = 1'-0"

02



MW01 - ISONOMETRIC DETAIL
SCALE: 1" = 1'-0"

03

SHEET NOTES

GENERAL NOTES

- A. FINISH THE INTERIOR OF ENCLOSED MILLWORK CABINETS WITH WHITE PLYWOOD, UNLESS NOTED OTHERWISE. CABINETS WITH OPEN SHELVING TO BE COLORED LAMINATE, UNLESS NOTED OTHERWISE.
- B. ALL EXPOSED SURFACES OF MILLWORK TO BE PLASTIC LAMINATE, UNLESS NOTED OTHERWISE.
- C. PROVIDE A SIDE SPLASH FOR ALL MILLWORK COUNTERS THAT BUT UP TO A WALL.

LEGEND

MEDIUM RENOVATION

1414 NY-300
Newburgh, NY 12550
SERIAL NUM./MANH. ID: NY6-225
NRSP VERSION: 4.0
BULLETIN: 01-2023
DOB NUMBER: XXX-XXX

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amin.gooma@fpaengineers.com
Tel: 724.212.5873

Date	Description
05.28.2024	90% DESIGN DEVELOPMENT

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name

MEADOW HILL

Project Number

059.8400.015

Description

MILLWORK - MW01

Scale

As indicated

A12.00

1414 NY-300
Newburgh, NY 12550

SERIAL NUM./MANH. ID:	NY6-225
NRSP VERSION:	4.0
BULLETIN:	01-2023
DOB NUMBER:	XXX-XXX

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1800 Route 34, Suite 101
Wall Township, NJ 07719
Contact: Amin H. Gooma, PE
Amin.Gooma@FPAengineers.com
Tel 732-312-9873

- A. CONTRACTOR TO PROVIDE FILLER PANELS AS NECESSARY TO SCRIBE TO WALLS AT EITHER END OF TELLER LINE. V.I.F. FILLER PANELS SHALL BE EQUALLY SIZED AT EACH END.
- B. TELLER LINE MODULES AND UNDER COUNTER STEEL ARE TO BE INSTALLED DIRECTLY ON TOP OF CONCRETE SLAB.
- C. TELLER MODULES PROVIDED BY OWNER'S VENDOR.
- D. REFERENCE PLANS FOR PROJECT SPECIFIC TELLER COUNT.

△ Date	Description
- 05.28.2024	90% DESIGN DEVELOPMENT

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name

MEADOW HILL

Project Number
059.8400.015

Description

CSR LINE AND DETAILS

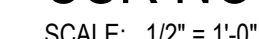
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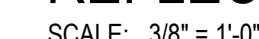
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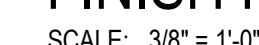
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06

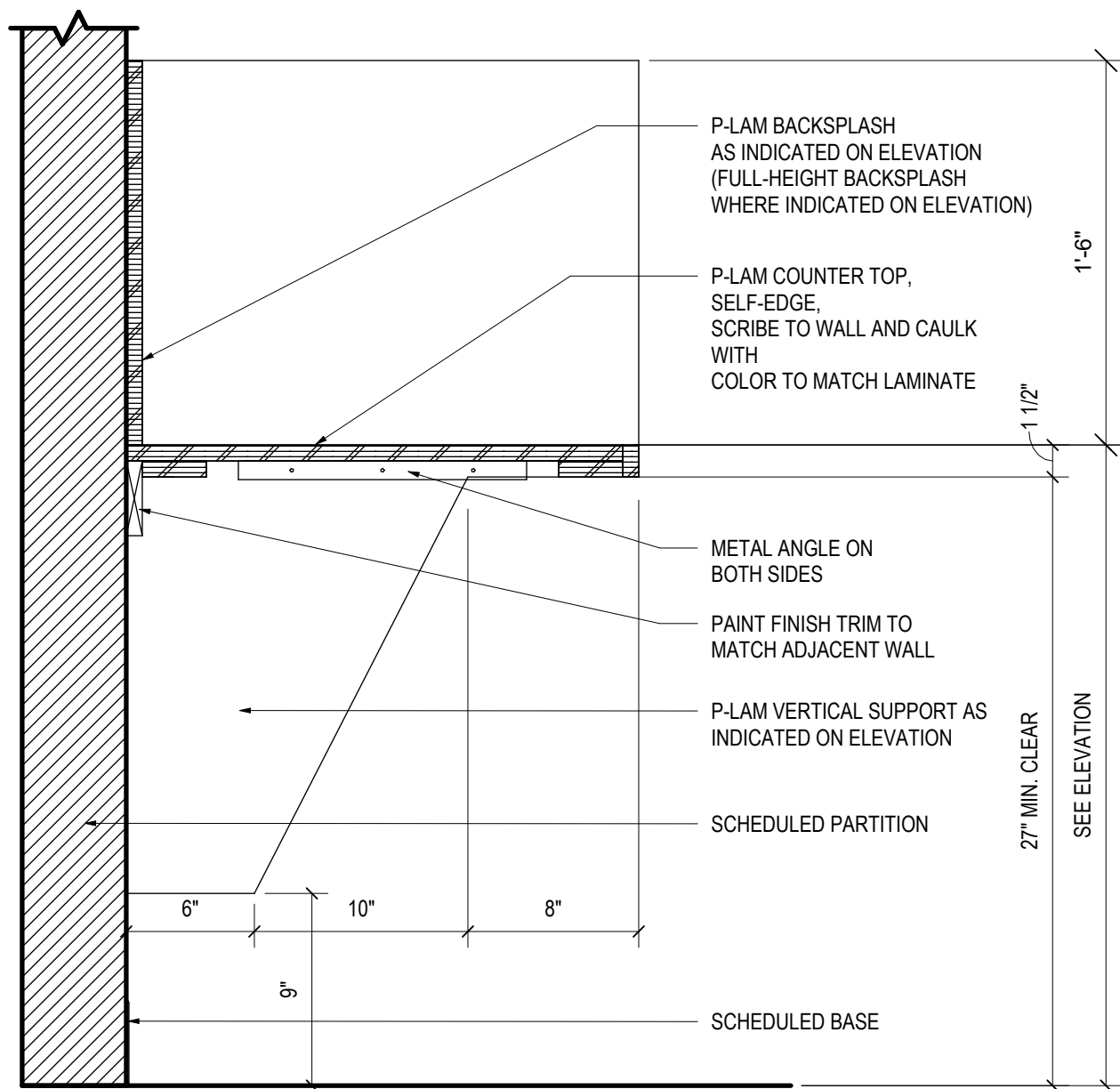


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02

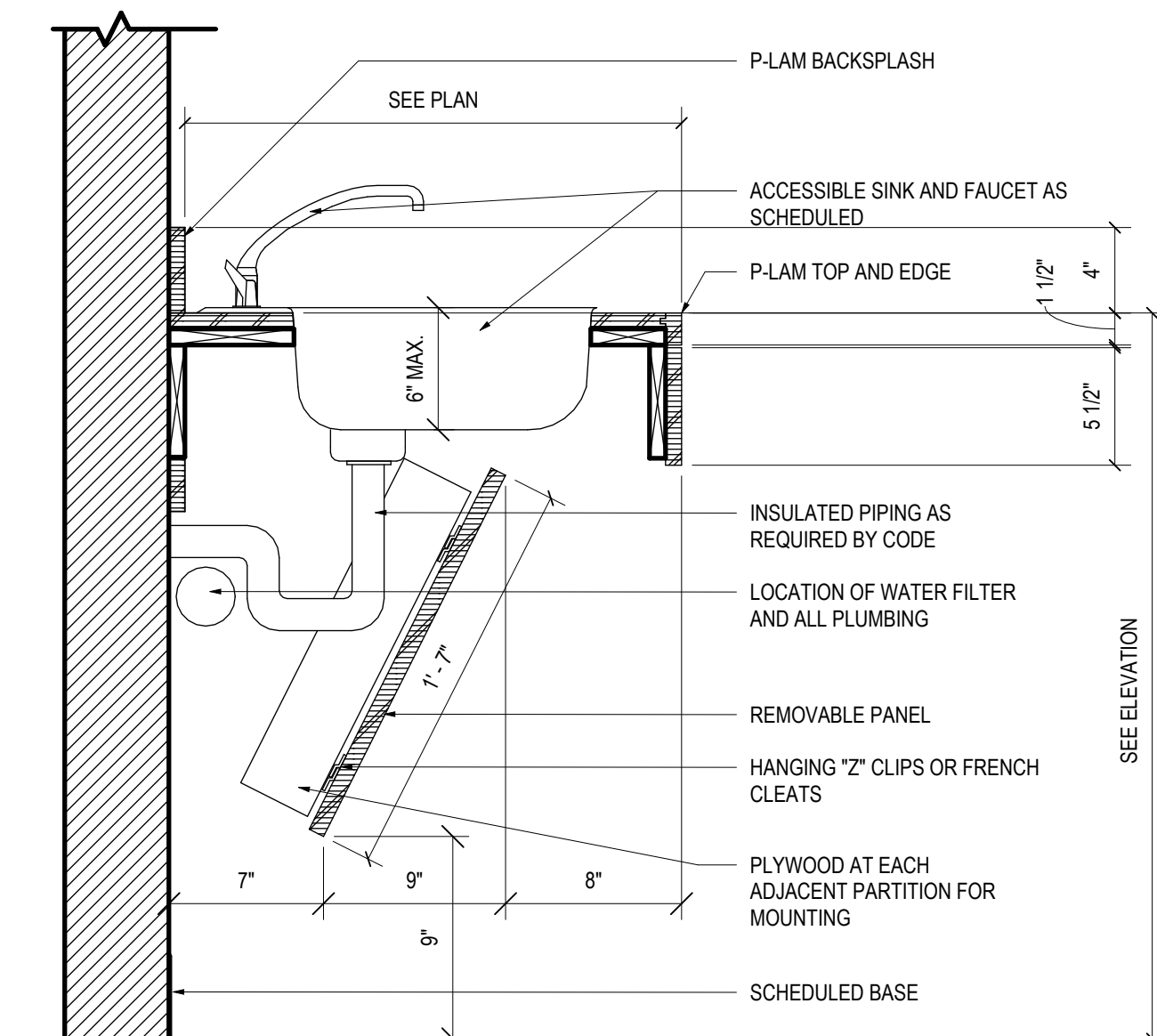
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OPEN COUNTER WITH TALL BACKSPLASH

SCALE: 1 1/2" = 1'-0"

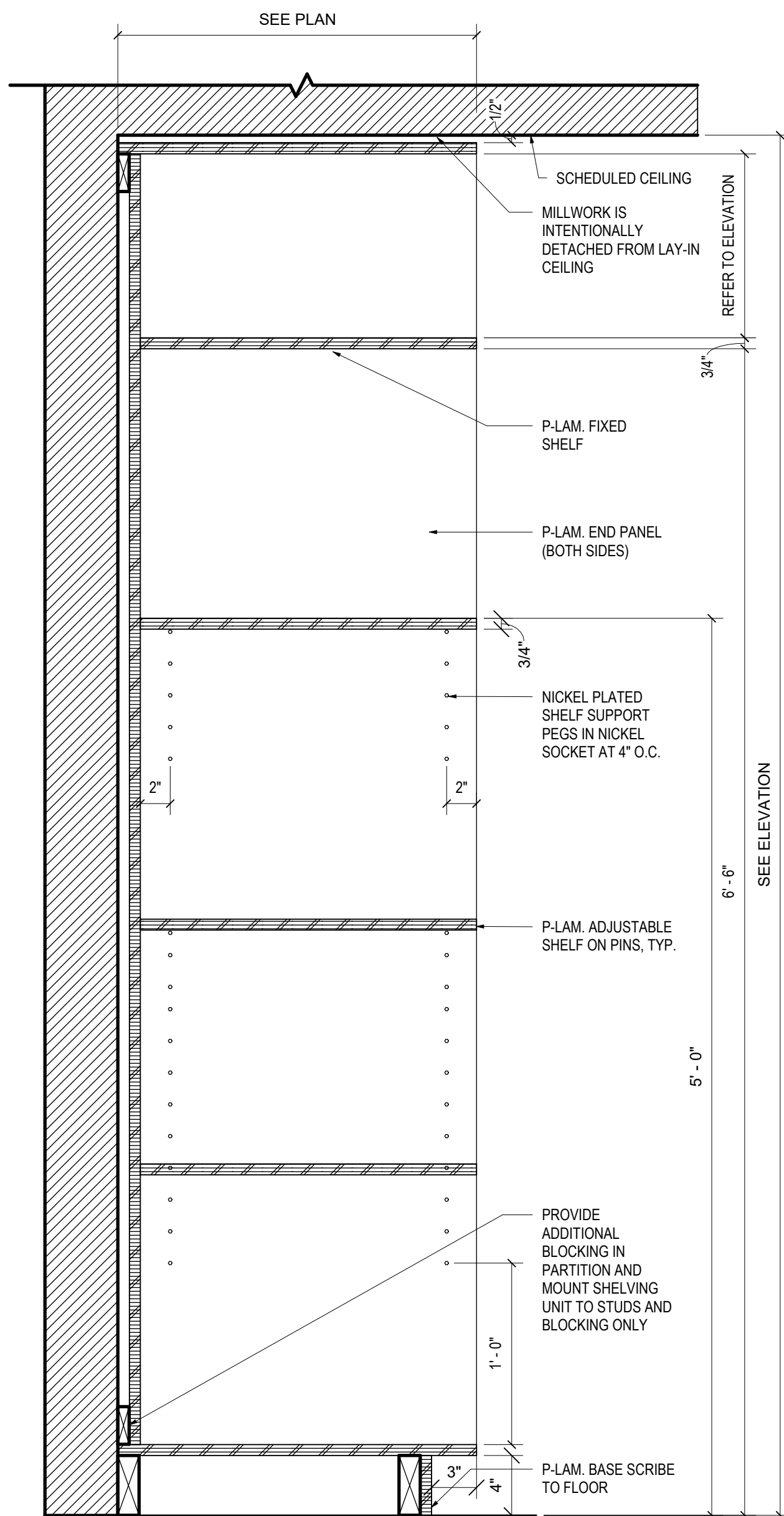
14



SINK WITH APRON

SCALE: 1 1/2" = 1'-0"

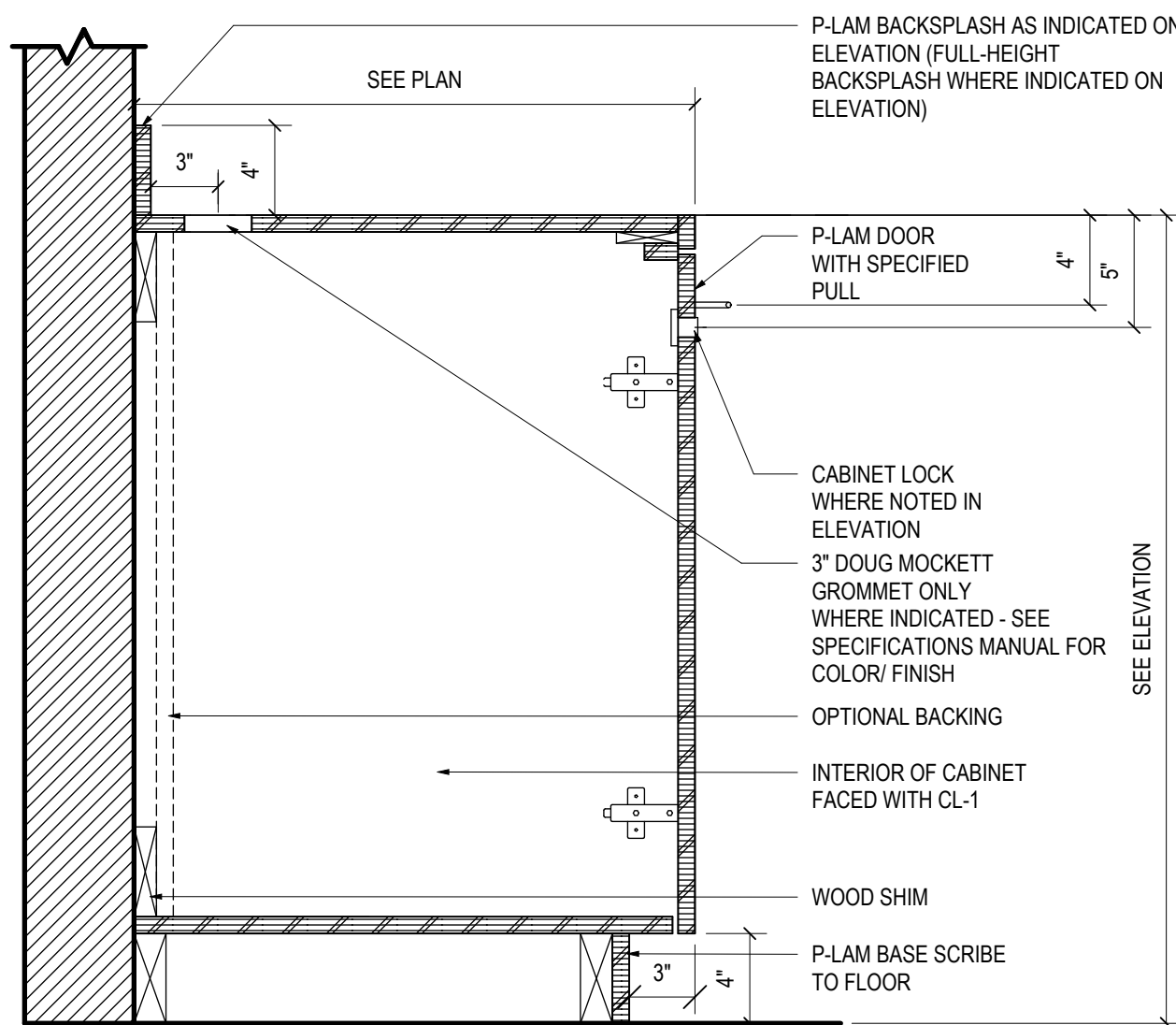
13



SHELVING UNIT

SCALE: 1 1/2" = 1'-0"

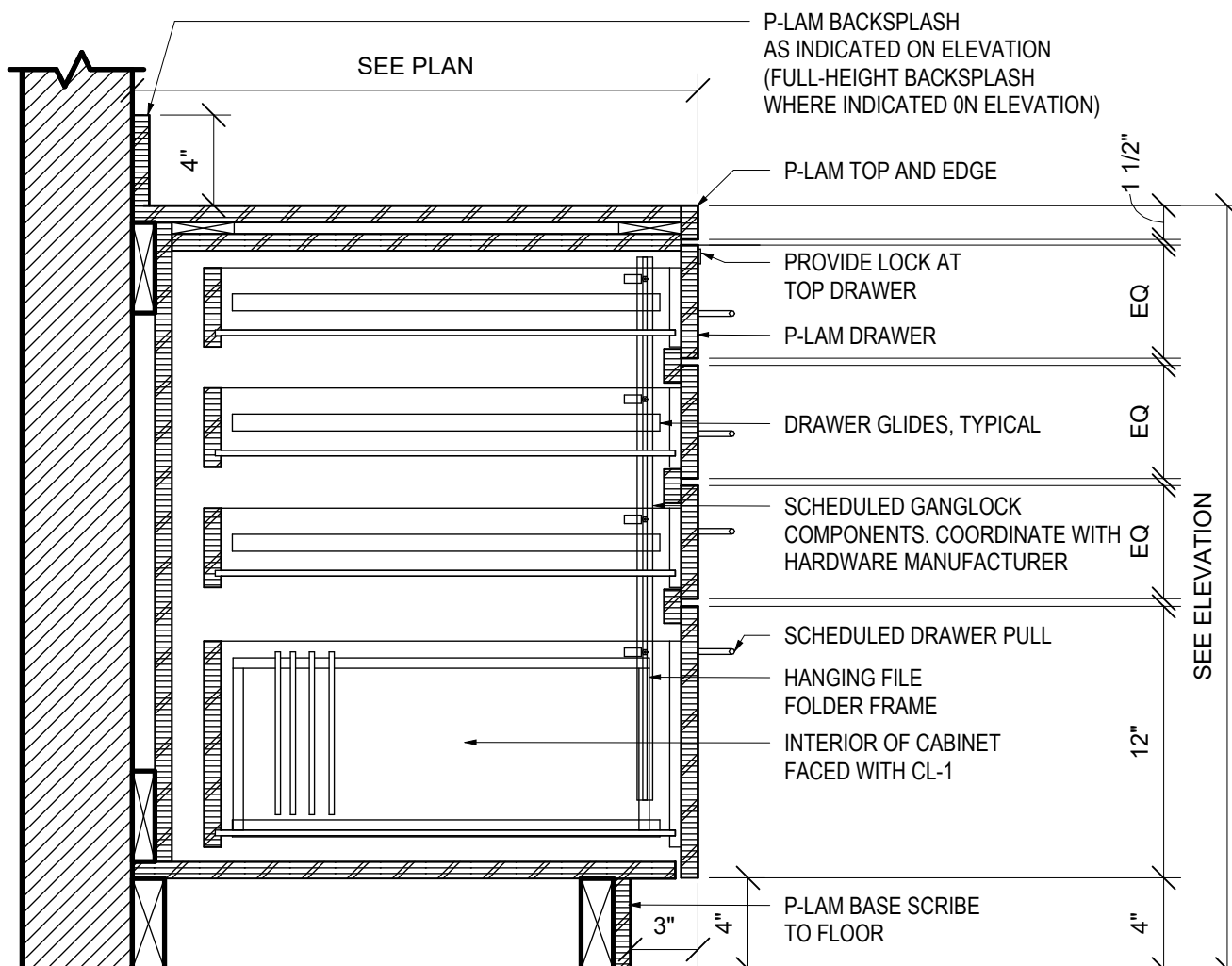
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BASE CABINET WITHOUT SHELF

SCALE: 1 1/2" = 1'-0"

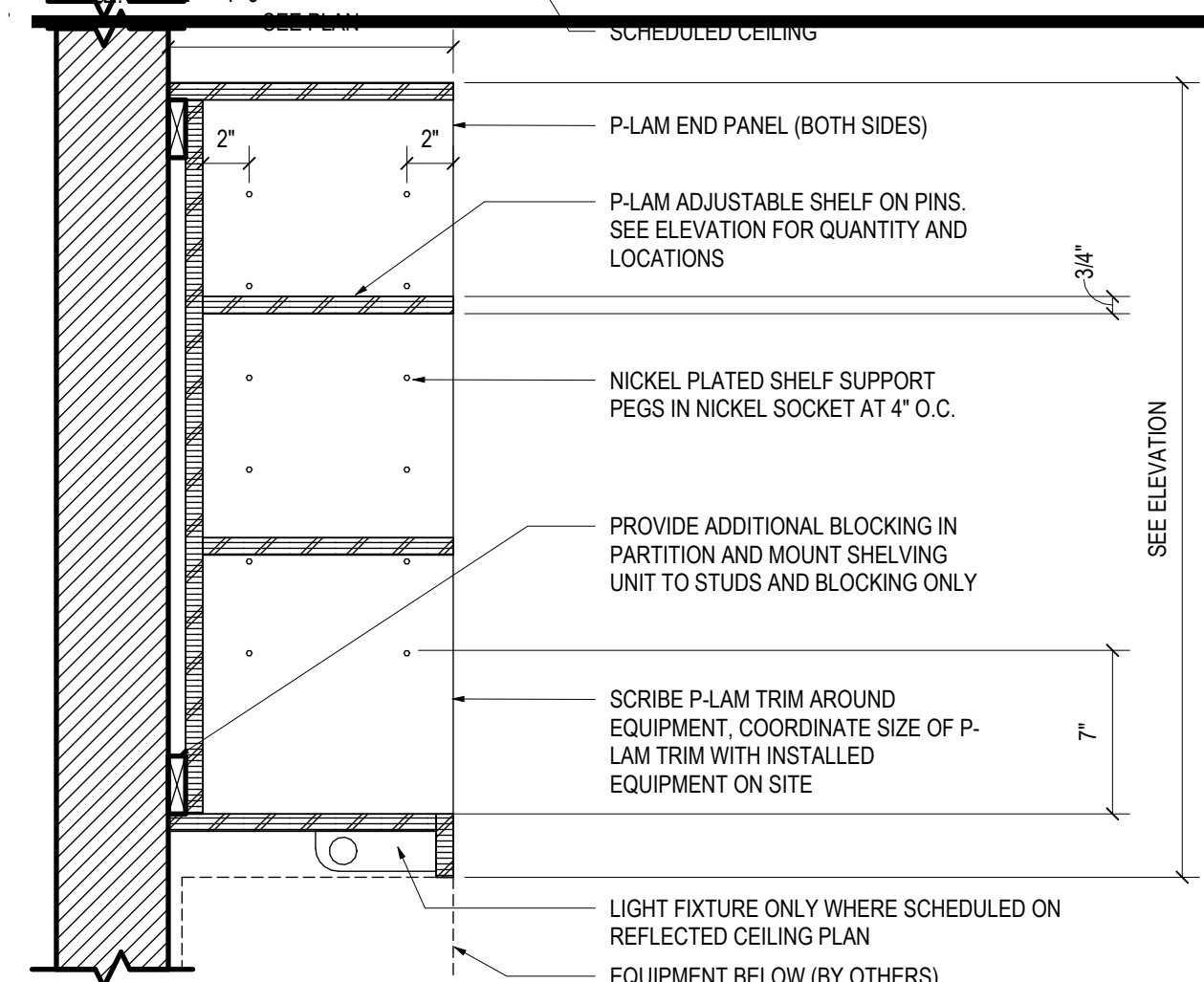
08



BASE CABINET WITH DRAWERS AND FILING

SCALE: 1 1/2" = 1'-0"

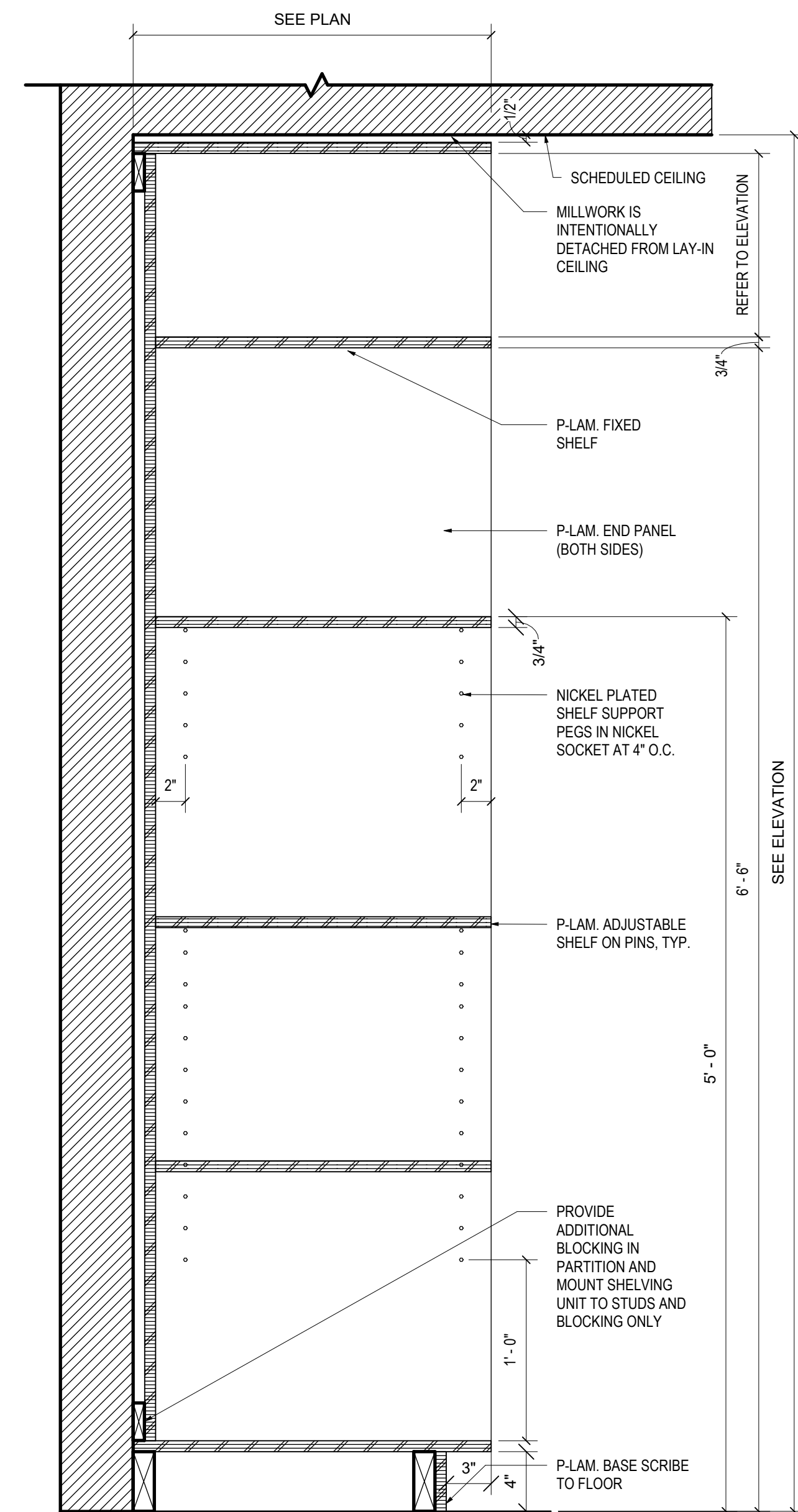
04



CASH VAULT MILLWORK

SCALE: 1 1/2" = 1'-0"

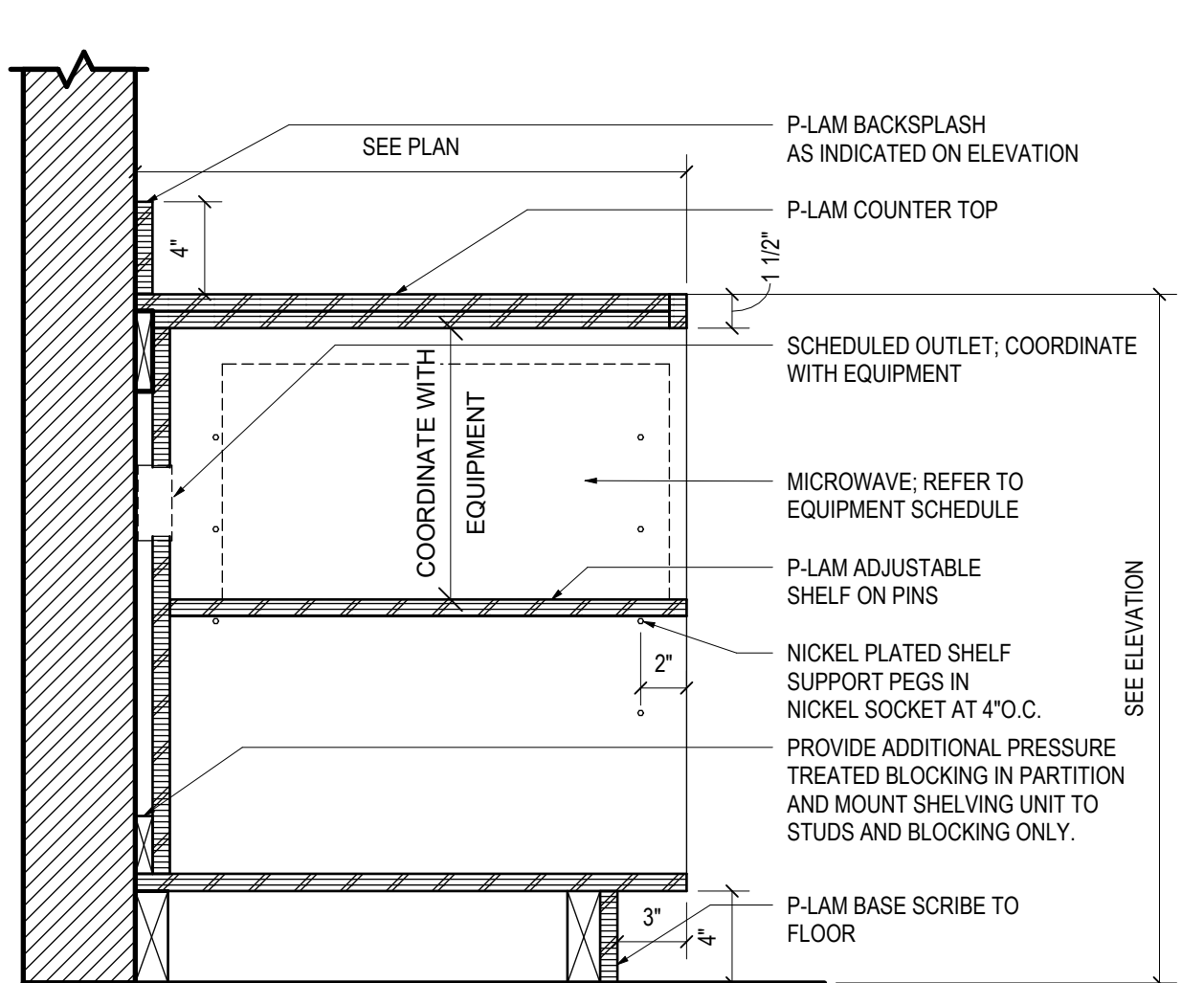
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SECURE CABINET

SCALE: 1 1/2" = 1'-0"

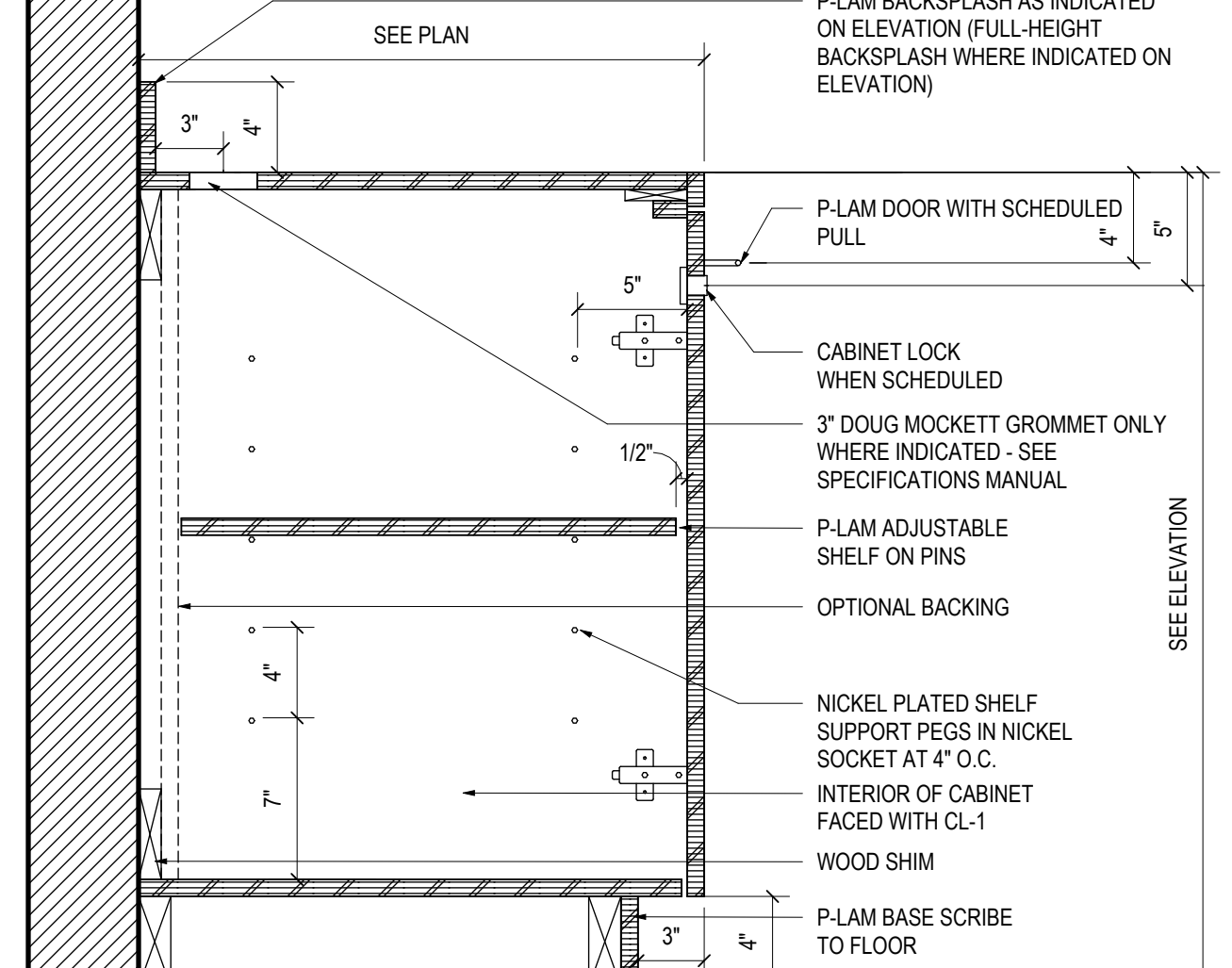
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COUNTER WITH SHELVING

SCALE: 1 1/2" = 1'-0"

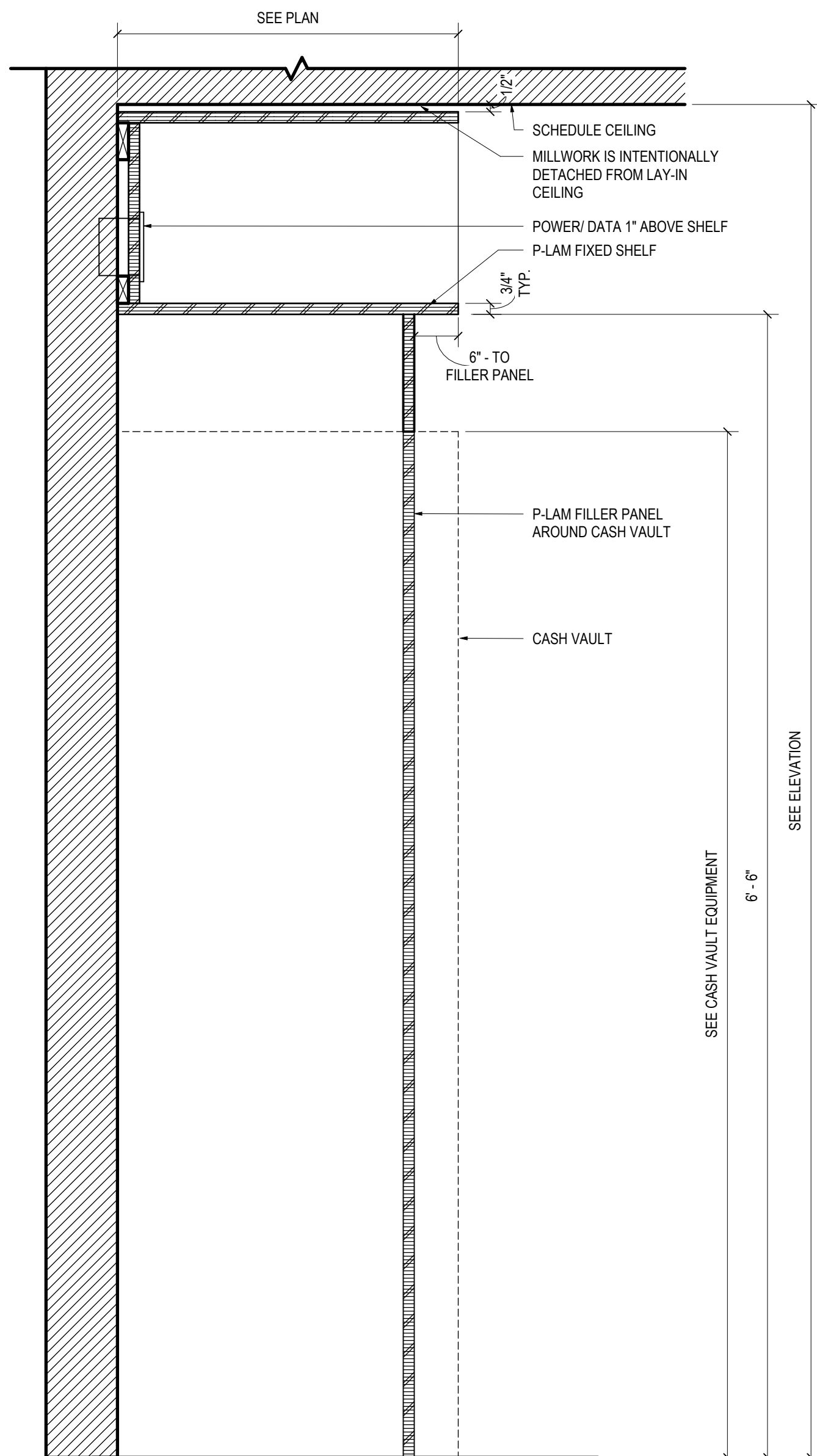
07



BASE CABINET WITH SHELF

SCALE: 1 1/2" = 1'-0"

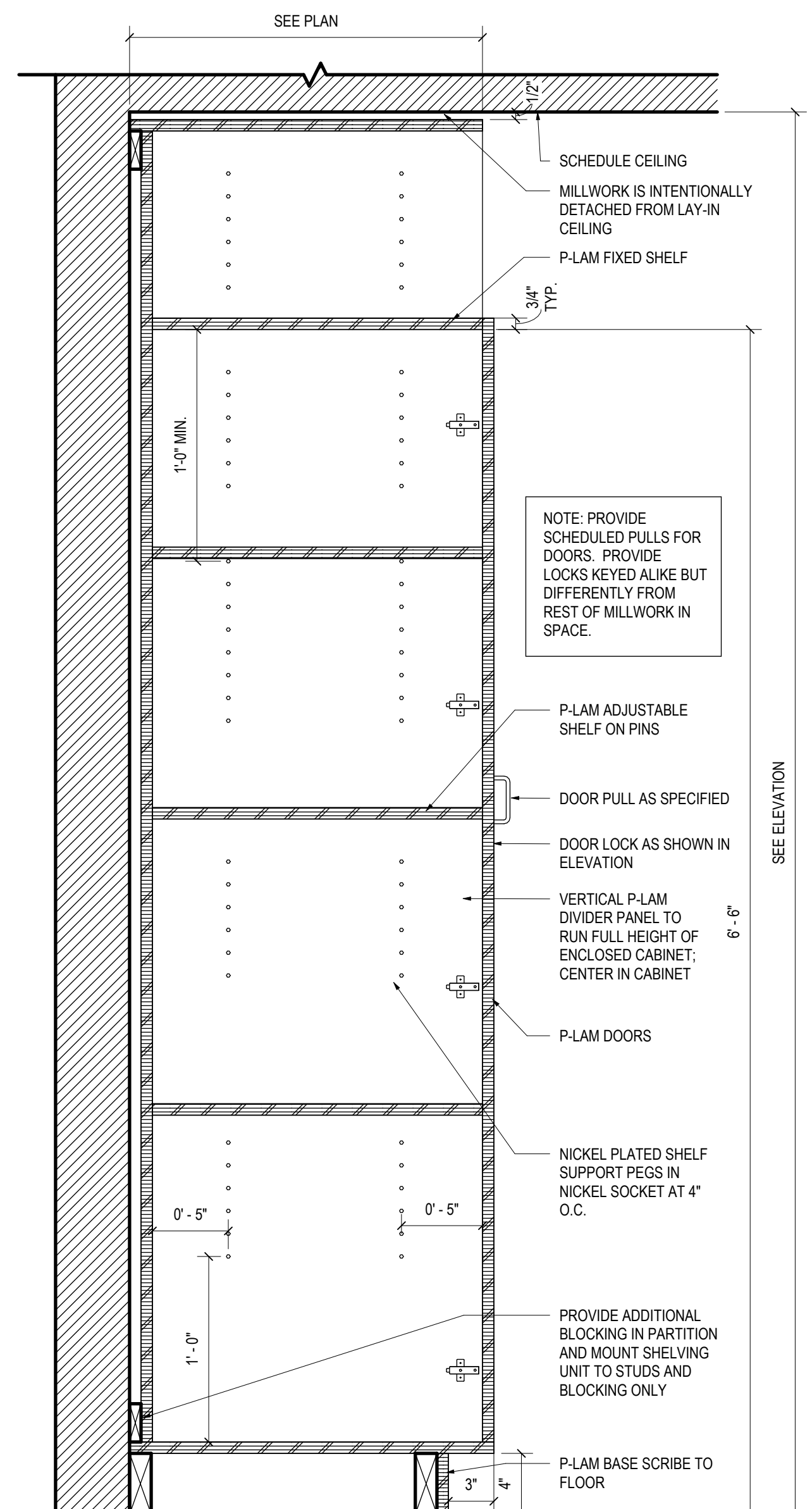
03



CASH VAULT

SCALE: 1 1/2" = 1'-0"

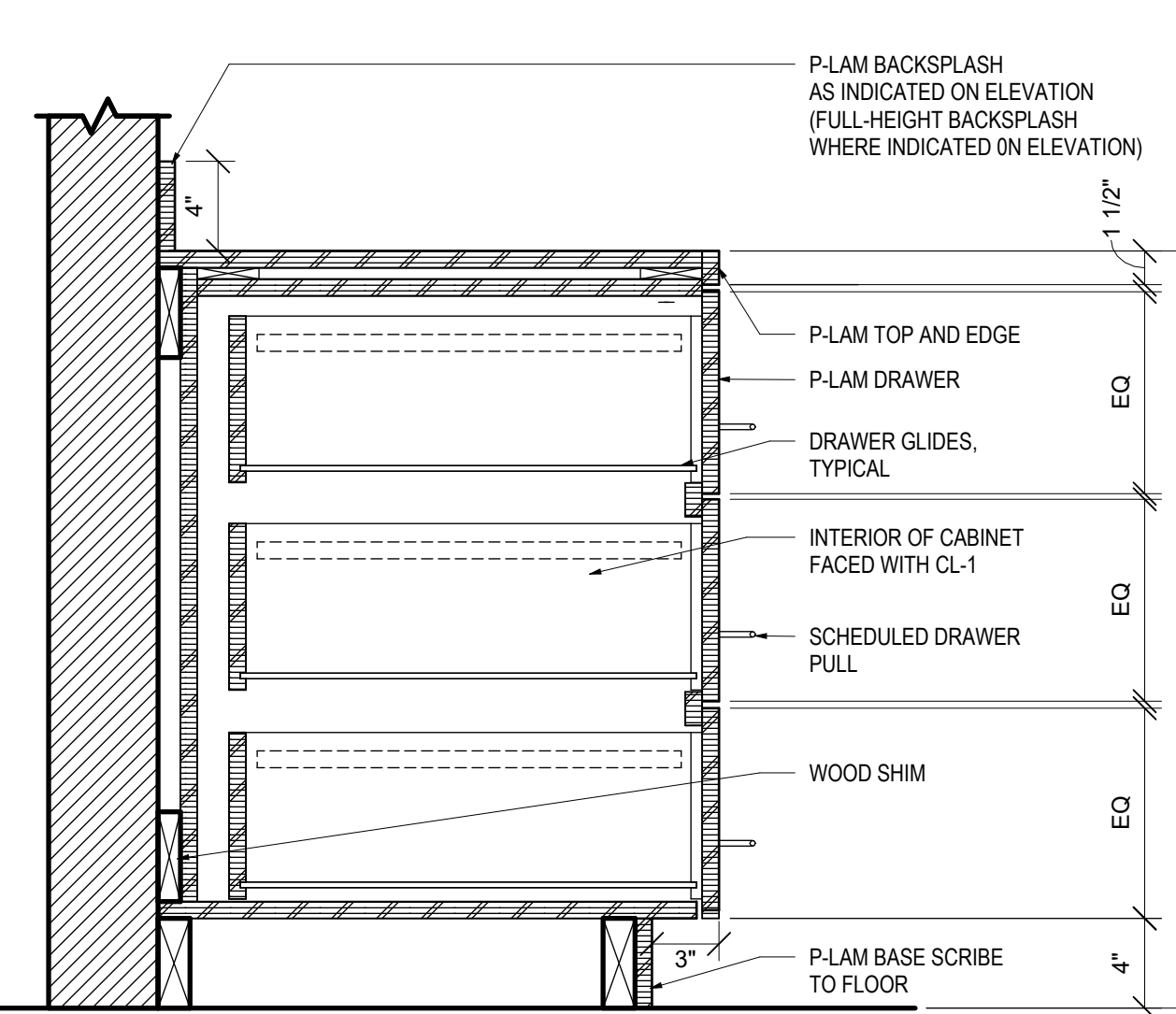
12



BASE CABINET WITH DRAWERS

SCALE: 1 1/2" = 1'-0"

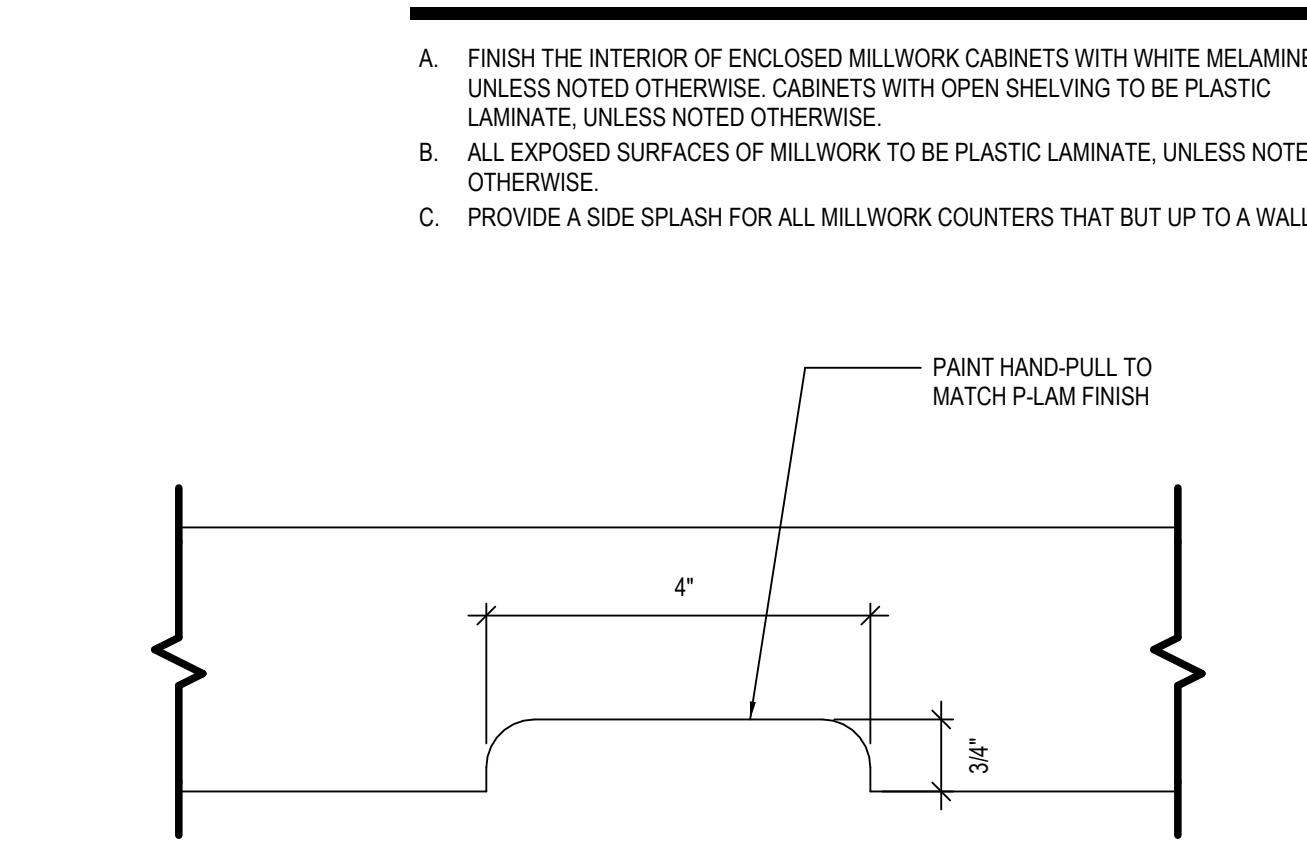
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BASE CABINET WITH DRAWERS

SCALE: 1 1/2" = 1'-0"

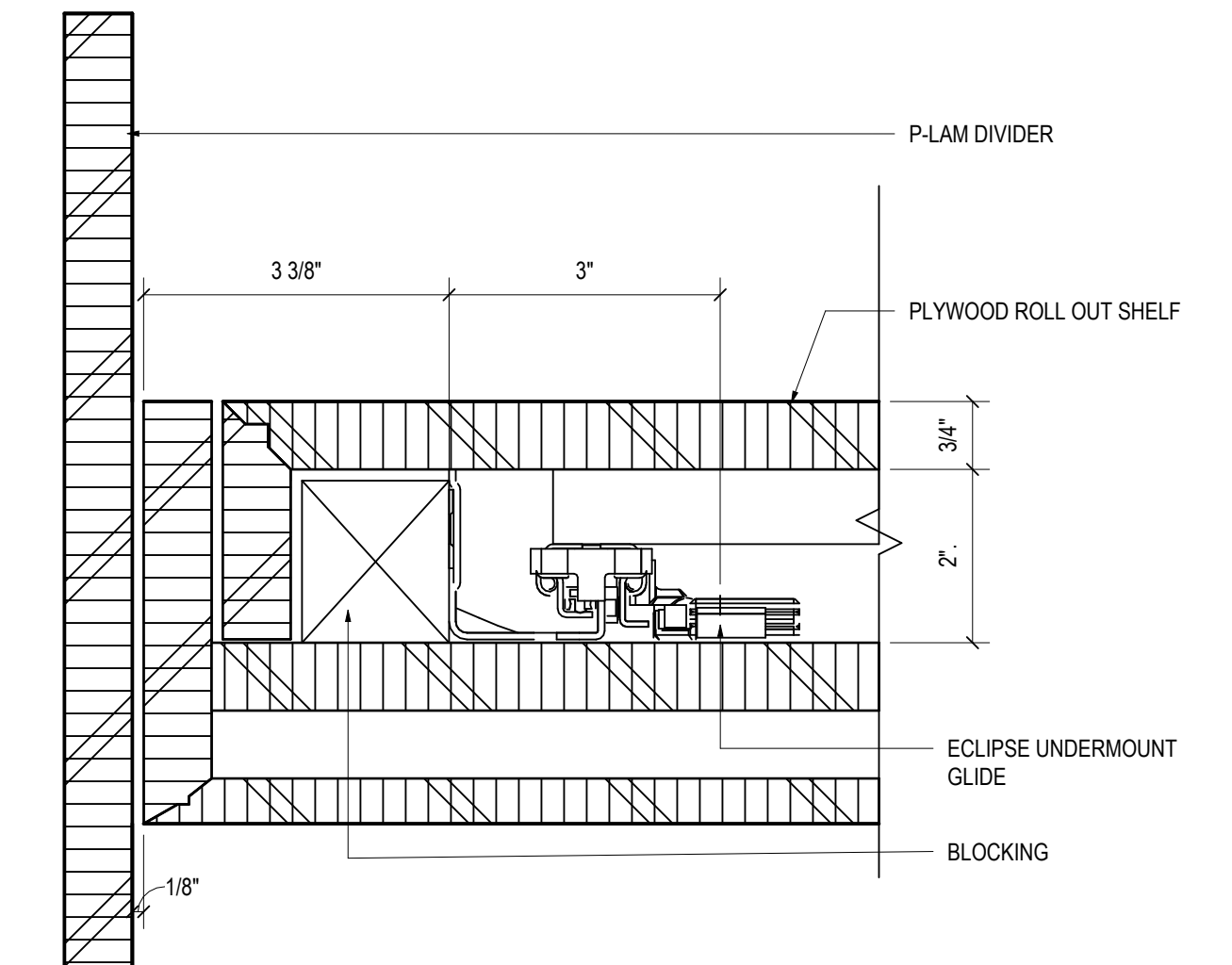
01



HAND-PULL DETAIL

SCALE: 6" = 1'-0"

02



SHELF GLIDE DETAIL

SCALE: 6" = 1'-0"

06

MEDIUM RENOVATION

1414 NY-300

Newburgh, NY 12550

SERIAL NUM./MANH. ID: NY6-225

NRSP VERSION: 4.0

BULLETIN: 01-2023

DOB NUMBER: XXX-XXX

Gensler

101 South Tryon Street Suite 2100 Charlotte, NC 28280 United States

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FPA

FRENCH & PARRELLO ASSOCIATES

French & Parrello Associates 1800 Route 34, Suite 101 Wall Township, NJ 07719

Contact: Amin H. Goema, PE Amin.Goema@FPAengineers.com

Tel 732-312-9873

05.28.2024 90% DESIGN DEVELOPMENT

NOT FOR CONSTRUCTION

Project Name MEADOW HILL

Project Number 059.8400.015

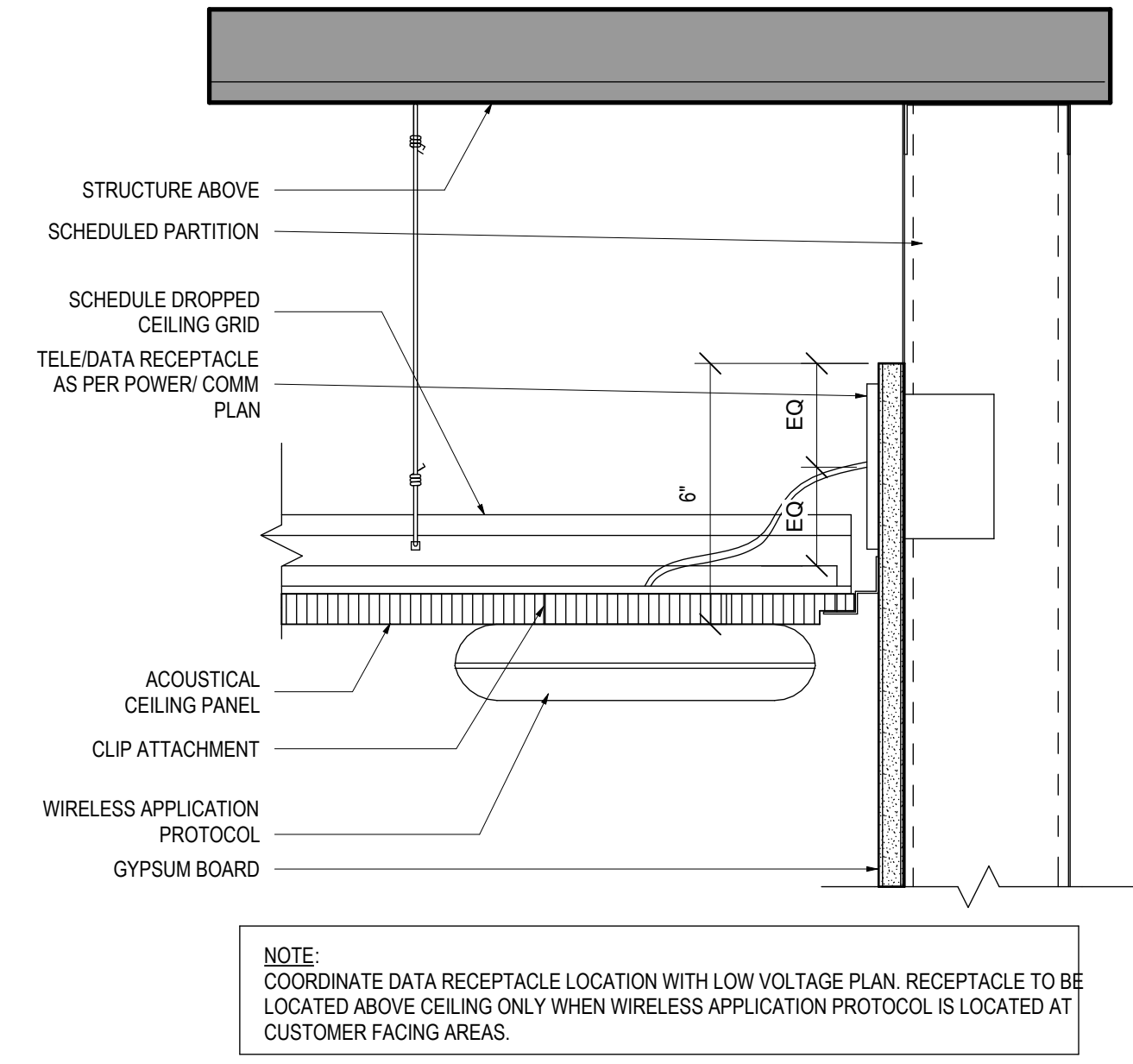
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Scale As indicated

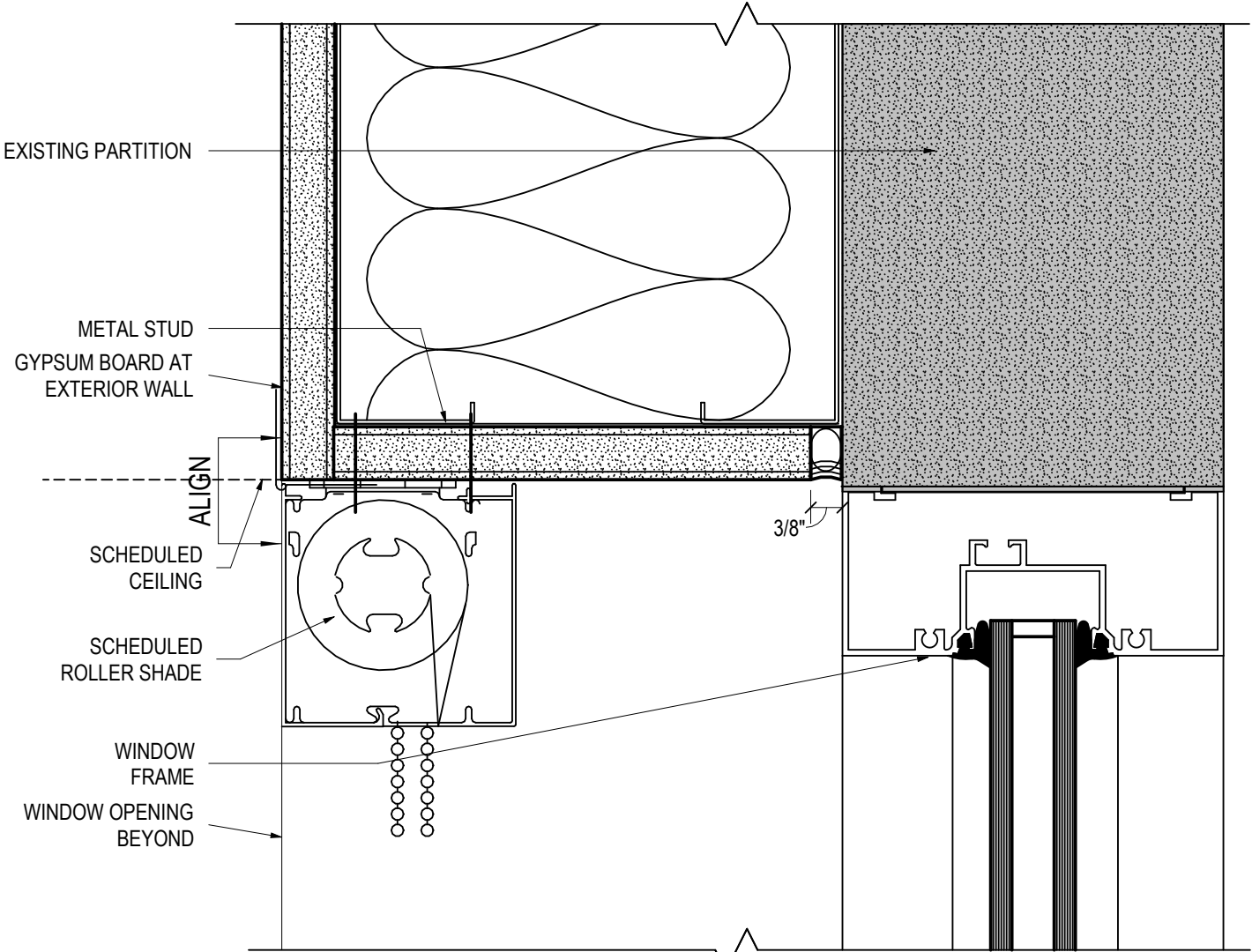
A12.20

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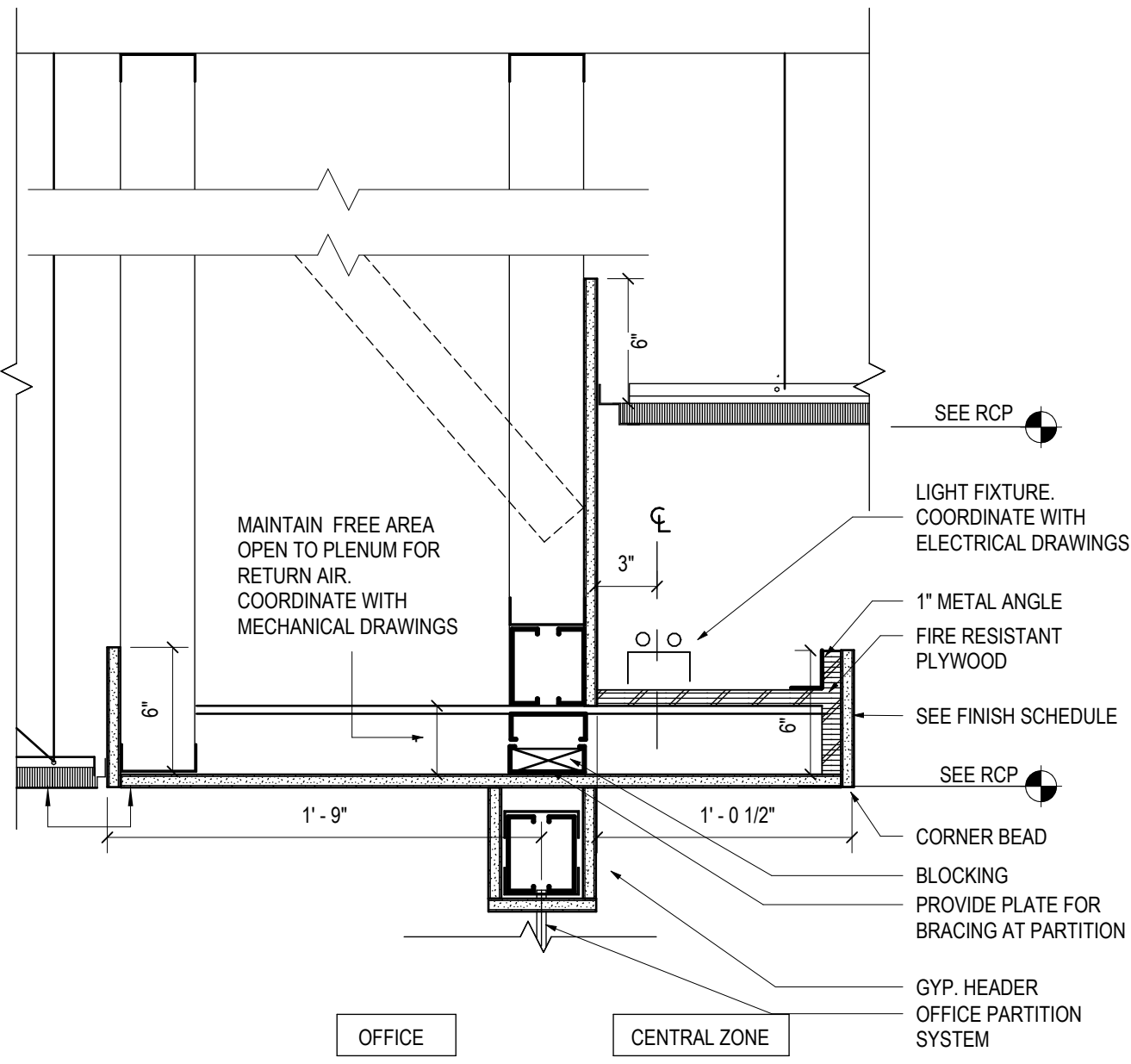
5/28/2024 9:00:58 PM Autodesk Docs\\059.8400.015 - Bank REP - NYC-225 Meadow Hill\\NY6-225_Meadow Hill_059.8400.015.rvt



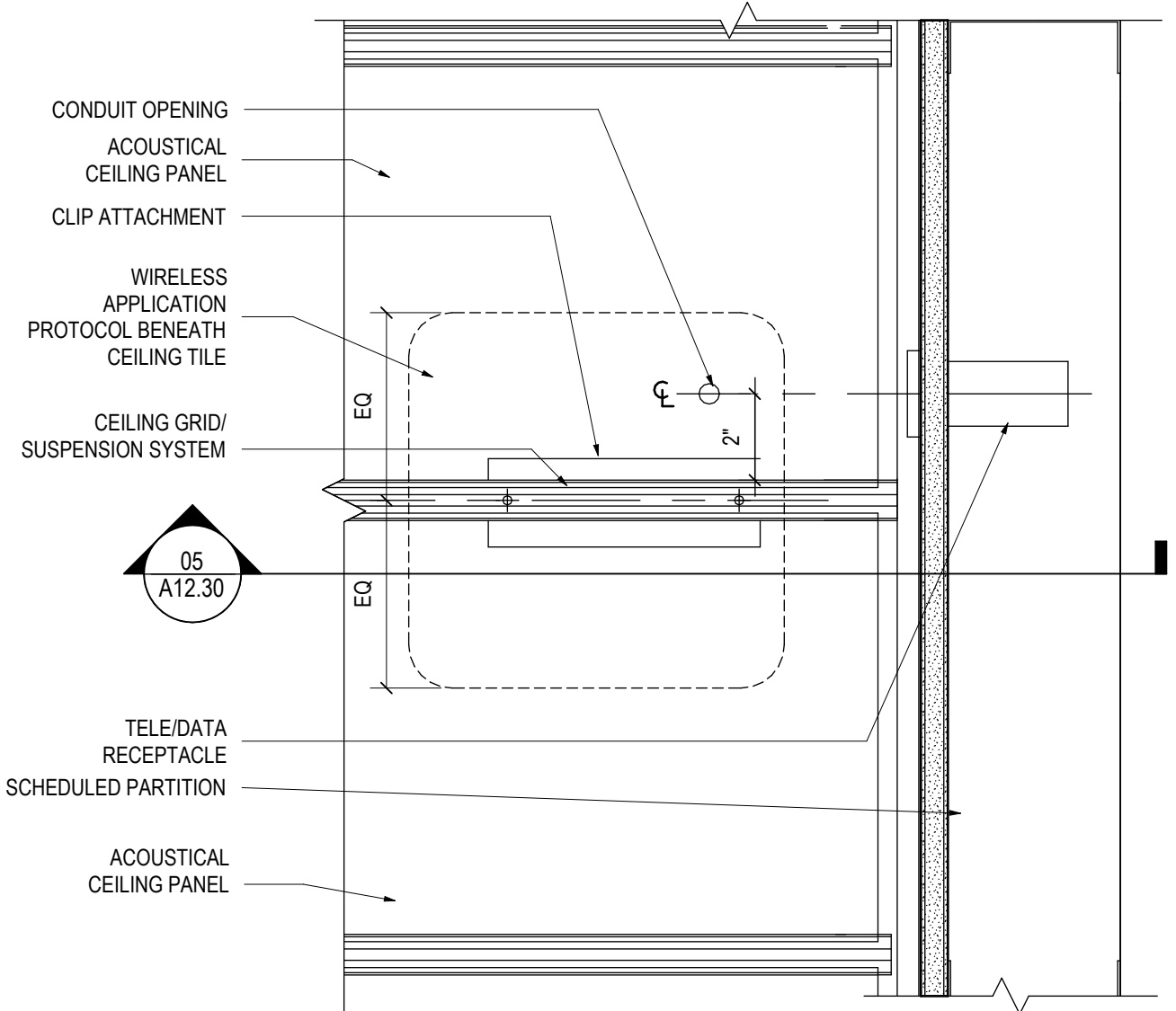
CEILING MOUNTED WAP SECTION DETAIL 05
SCALE: 3" = 1'-0"



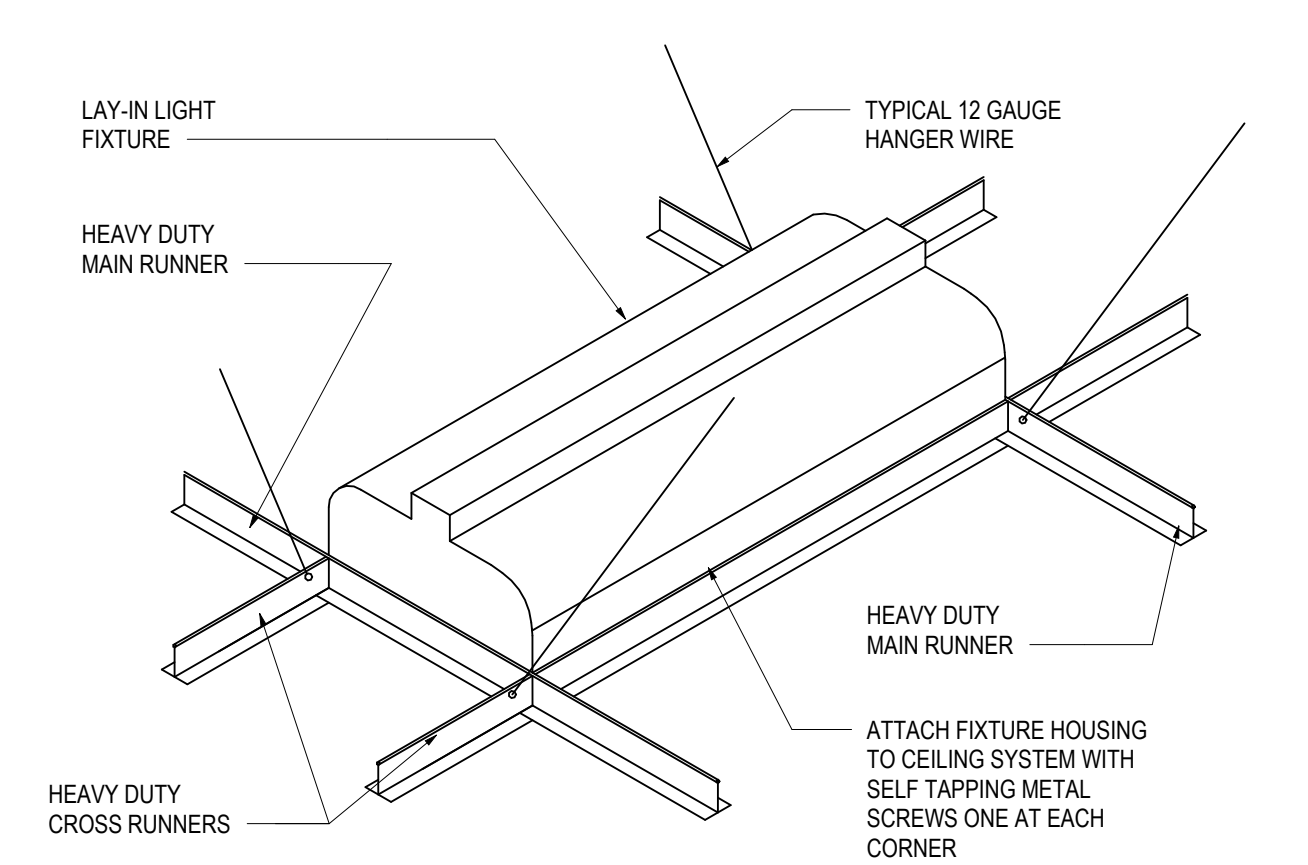
ROLLER SHADE DETAIL AT EXTERIOR WALL 06
SCALE: 6" = 1'-0"



CEILING BROW DETAIL 07
SCALE: 1 1/2" = 1'-0"

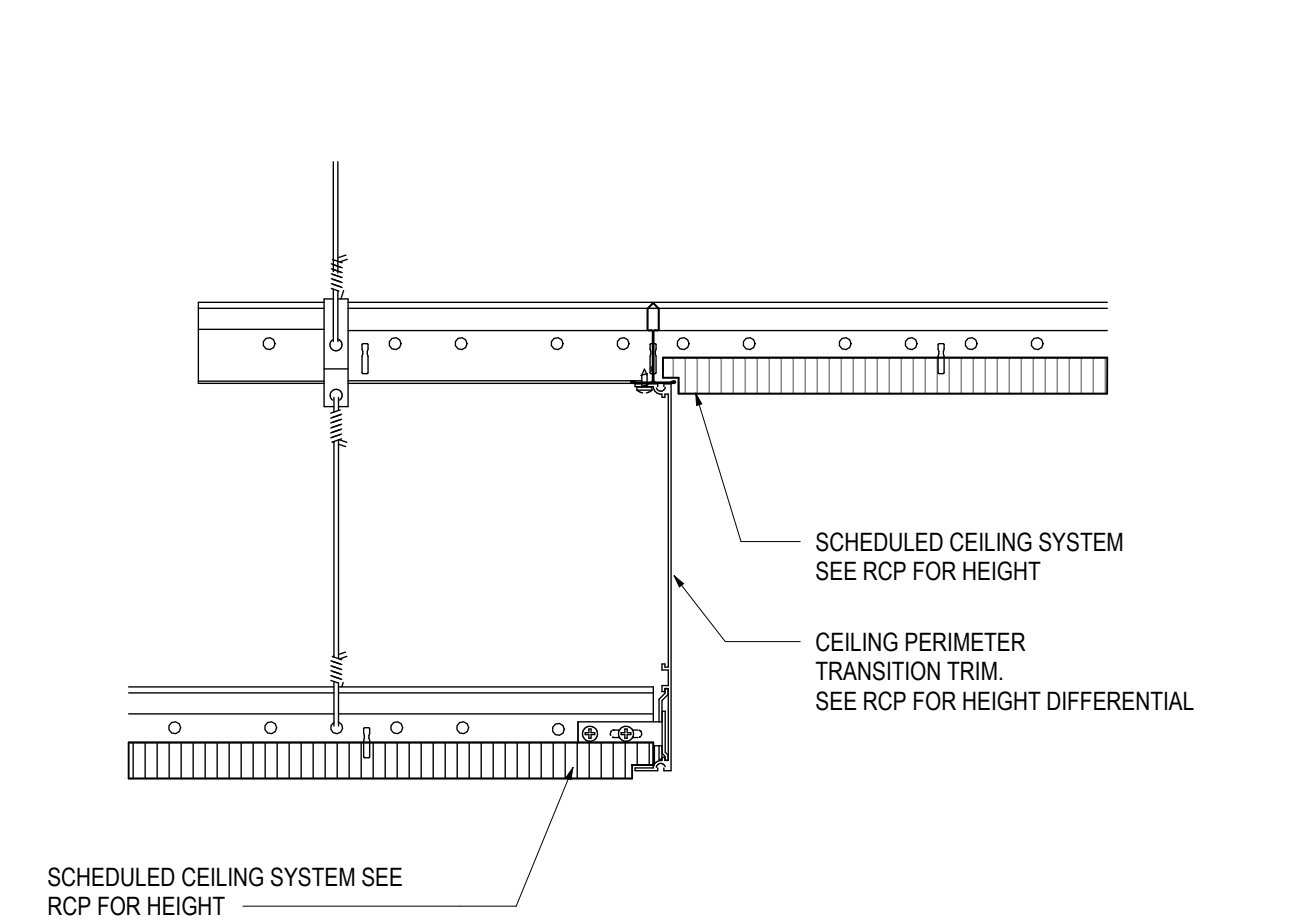


CEILING-MOUNTED WAP ENLARGED PLAN 01
SCALE: 3" = 1'-0"

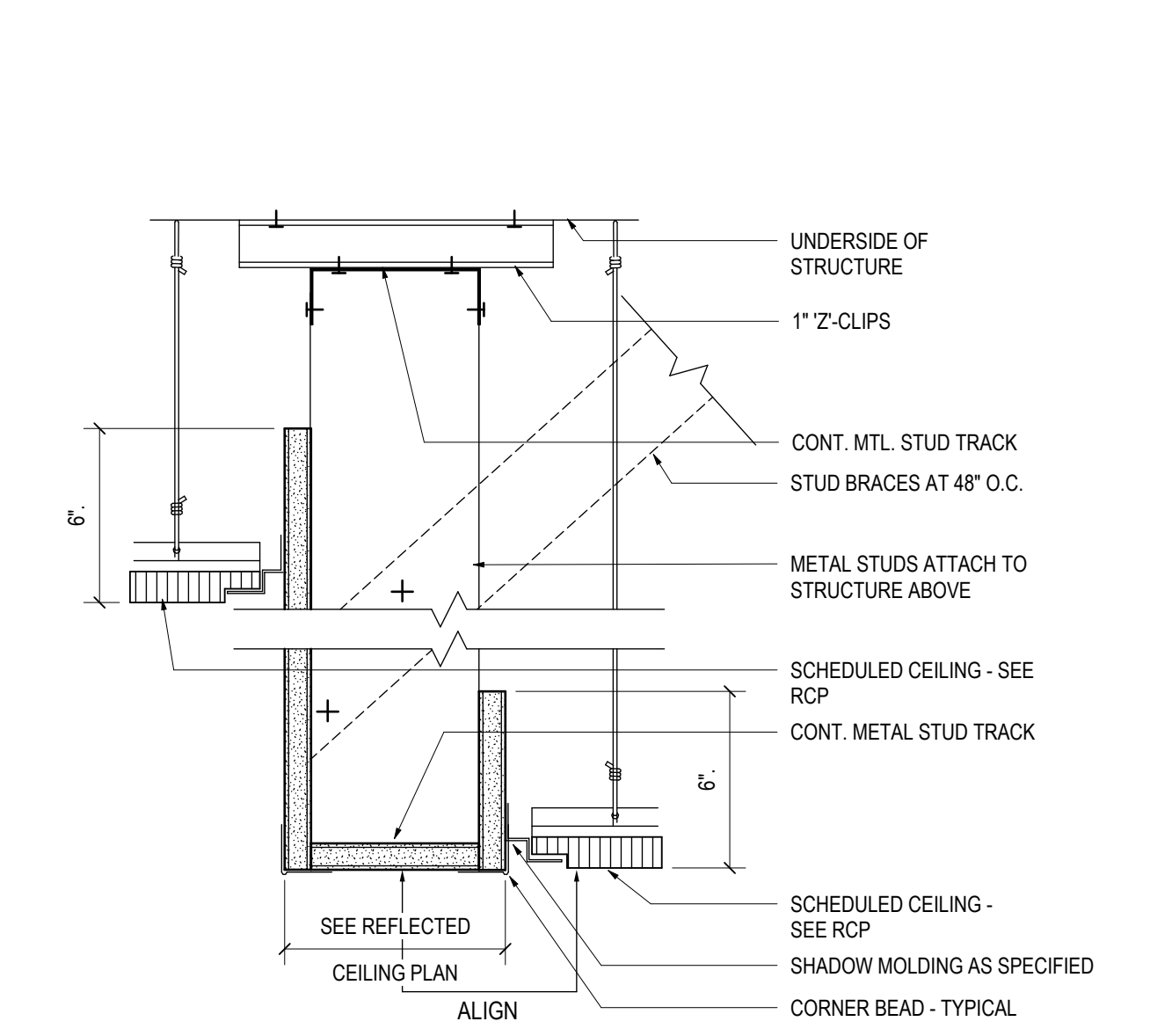


NOTE:
LATERAL BRACING FOR SUSPENDED CEILING MUST BE PROVIDED PER CISCA GUIDELINES FOR SEISMIC RESTRAINT REQUIREMENTS WHERE LOADS ARE LESS THAN 5# PER FOOT AND NOT SUPPORTING INTERIOR PARTITIONS. CEILING BRACING SHALL BE PROVIDED BY FOUR No. 12 GAUGE WIRES SECURED TO THE MAIN RUNNER INTERSECTION AND SPACED 45 DEGREES FROM THE PLANE OF THE CEILING. THESE HORIZONTAL RESTRAINT POINTS SHALL BE IN BOTH DIRECTIONS, WITH THE FIRST POINT WITHIN 4'-0" FROM WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE ABOVE SHALL BE ADEQUATE FOR THE LOAD IMPOSED. INSTALL TWO ADDITIONAL WIRES AT OPPOSITE CORNERS (MAY BE SLACK) OF LIGHT FIXTURE. HOUSING ADDITIONAL WIRES AT OPPOSITE CORNERS (MAY BE SLACK) OF LIGHT FIXTURE HOUSING THAN 8 INCHES FROM PERIMETER WALL.

LIGHT FIXTURE INSTALLATION 02
SCALE: 12" = 1'-0"



TYPICAL ACT CEILING TRANSITION 03
SCALE: 3" = 1'-0"



TYPICAL BULKHEAD DETAIL 04
SCALE: 3" = 1'-0"

MEDIUM RENOVATION
1414 NY-300
Newburgh, NY 12550
SERIAL NUM./MANH. ID: NY6-225
NRSP VERSION: 4.0
BULLETIN: 01-2023
DOB NUMBER: XXX-XXX

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Date	Description
05.28.2024	90% DESIGN DEVELOPMENT

Seal / Signature

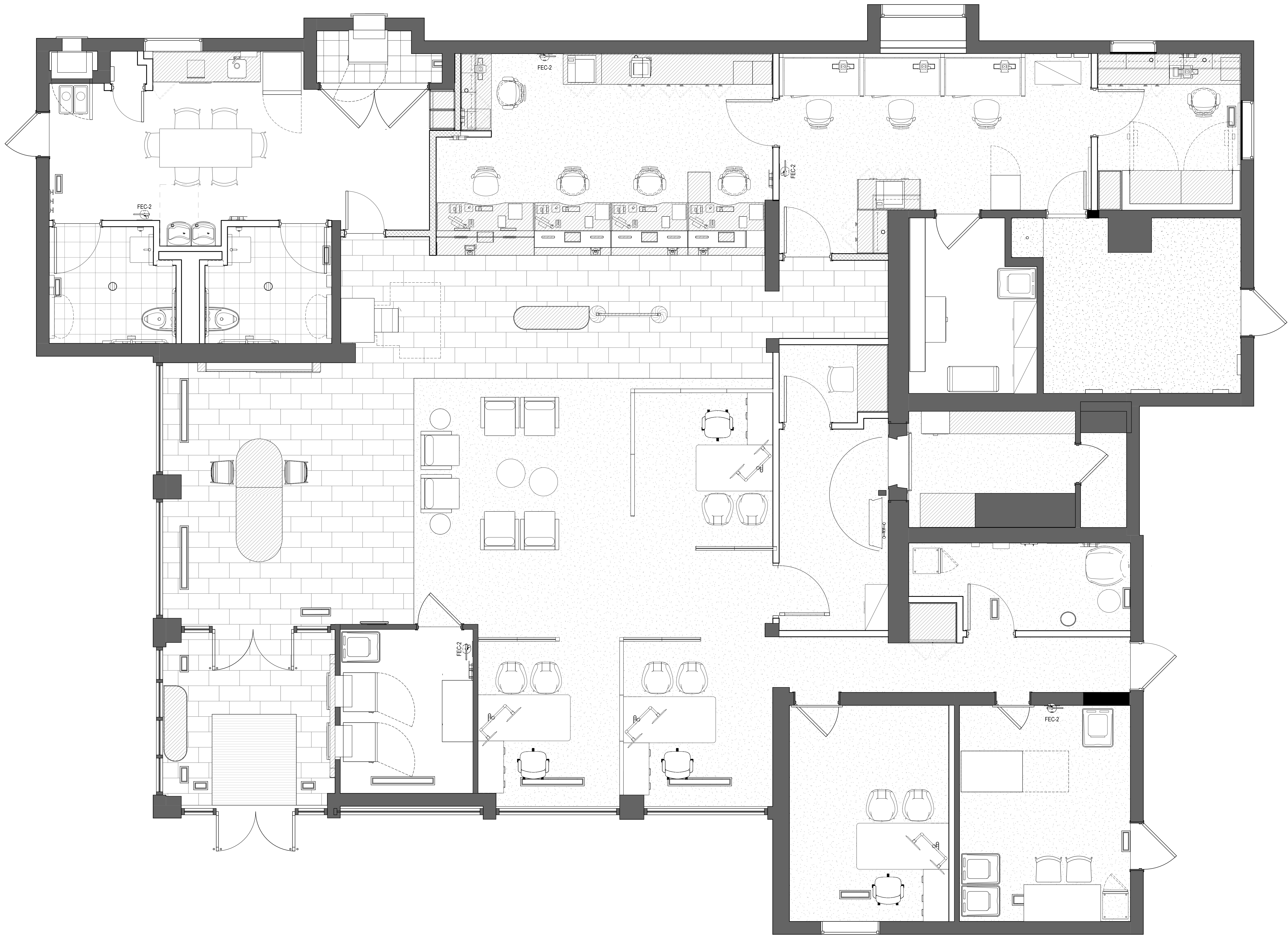
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CONSTRUCTION**

Project Name
MEADOW HILL
Project Number
059.8400.015
Description
CEILING DETAILS

Scale
As indicated

A12.30

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FURNITURE PLAN OVER FLOOR FINISH PLAN

SCALE: 3/8" = 1'-0"

MEDIUM RENOVATION

1414 NY-300
Newburgh, NY 12550

SERIAL NUM./MANH. ID: NY6-225
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△ Date	Description
04.01.2024	ISSUE FOR SCHEMATIC DESIGN
04.01.2024	60% DESIGN DEVELOPMENT
05.28.2024	90% DESIGN DEVELOPMENT

Seal / Signature

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CONSTRUCTION

Project Name

MEADOW HILL

Project Number

059.8400.015

Description

OVERLAY PLAN 1 - FURNITURE PLAN
OVER FLOOR FINISH PLAN

Scale

3/8" = 1'-0"

0 1 2 4 8

SK-01



MEDIUM RENOVATION

1414 NY-300
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05.28.2024	90% DESIGN DEVELOPMENT

Seal / Signature

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CONSTRUCTION

Project Name
MEADOW HILL

Project Number
059.8400.015

Description
OVERLAY PLAN 2 - RCP OVER
FURNITURE PLAN

Scale
3/8" = 1'-0"

SK-02