COLA COMMUNITY CENTER
UNTERMYER PARK AND GARDENS

945 NORTH BROADWAY YONKERS, NY 10701

CONSTRUCTION DOCUMENTS
MAY 6, 2024

SHEET LIST_BKSK

NUMBER	NAME
T-000	COVER
G-001	ABBREVIATION AND DRAWING SYMBOLS
A-101	SITE PLAN
A-201	1ST FLOOR REMOVALS AND CONSTRUCTION PLAN
A-301	ELECTRICAL / MECHANICAL PLAN
A-401	EXTERIOR ELEVATION
A-501	INTERIOR ELEVATIONS
A-700	PARTITION AND DOOR TYPES, SCHEDULES
A-800	DETAILS

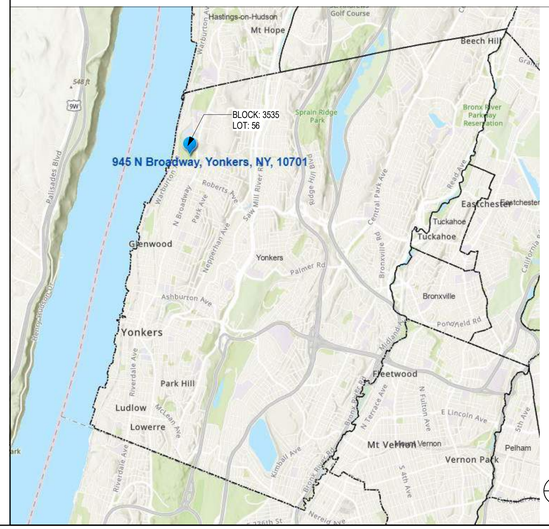
ENERGY CODE CONSERVATION STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE.

PROPERTY INFORMATION

1. PROPERTY CLASS: 682- REC FACILITY
2. SITE: COM 1
3. ZONING CODE: S-50- DET- 1 FAM 50 FT
4. NEIGHBORHOOD CODE: 00017- NEPARA PARK
5. TAX MAP ID #: 3.-3535-56
6. BLOCK 3535 LOT 56
7. WORK DESCRIPTION: CONVERSION OF GARAGE SPACE TO A MULTIPURPOSE ROOM, INCLUDING NEW WINDOWS IN EXISTING GARAGE DOOR OPENINGS AND A NEW INTERIOR ENTRANCE DOOR.
8. CONSTRUCTION CLASSIFICATION: TYPE VB, FIRE SEPARATION > 30 FEET: NO FIRE RATING REQUIRED IN WALLS OR ROOF PER TABLE 602..
9. NO PLUMBING IN SCOPE OF WORK
10. EXISTING SPRINKLER SYSTEM TO REMAIN UNCHANGED
11. NO FIRE ALARM IN BUILDING
12. APPLICABLE CODE: NYS EXISTING BUILDING CODE 2020 AND THE NYS ENERGY CONSERVATION CODE 2020
13. CHANGE OF OCCUPANCY: FROM LOW HAZARD STORAGE S2 TO BUSINESS GROUP B
14. ENERGY CODE ANALYSIS: SEE A-401

LOCATION PLAN



APPLICANT

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STAMP & SIGNATURE

REGISTERED ARCHITECT JULIA A. NELSON No. 093126 STATE OF NEW YORK

ARCHITECT, AIA

PROJECT NO.	**2210**
DATE:	**02/21/2024**
SCALE:	**1/4" = 1'-0"**

T-000

ABBREVIATIONS

AB	ANCHOR BOLT
ABV	ABOVE
AC	AIR CONDITIONING
ACM	ASBESTOS-CONTAINING MATERIAL
ACOUS	ACOUSTICAL
ACP	ACOUSTICAL CEILING PANEL
ACT	ACOUSTIC CEILING TILE
ACT INSUL	ACOUSTIC INSULATION
AD	ACCESS DOOR
ADDM	ADDENDUM
ADDL	ADDITIONAL
ADH	ADHESIVE
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
AFCI	ARC FAULT CIRCUIT INTERRUPTER
AGG	AGGREGATE
ALUM	ALUMINUM
ALT	ALTERNATE
ANOD	ANODIZED, ANODIC COATING
AP	ACCESS PANEL
APPX	APPROXIMATE(LY)
APT	APARTMENT
ARCH	ARCHITECT(URAL)
ASC	ABOVE SUSPENDED CEILING
ASPH	ASPHALT(IC)
ASTRG	ASTRAGAL
AUTO	AUTOMATIC
AUX	AUXILARY
AV	AUDIO/VISUAL
AVG	AVERAGE
BOC	BOTTOM OF CURB
BIT	BITUMINOUS
BLK	BLOCK
BLKG	BLOCKING
BLDG	BUILDING
BLKHD	BULKHEAD
BLW	BELOW
BM	BEAM
BO	BOTTOM OF
BP	BASE PLATE
BR	BEDROOM
BRG	BEARING
BRNZ	BRONZE
BS	BOTH SIDES
BSBD	BASEBOARD
BSMT	BASEMENT
BTWN	BETWEEN
C/C	CENTER TO CENTER
CAB	CABINET
CCTV	CLOSED CIRCUIT TELEVISION
CEM	CEMENT
CER	CERAMIC
CG	CORNER GUARD
CHAN	CHANNEL
CHAM	CHAMFER
CI	CONTINUOUS INSULATION
CIP	CAST IN PLACE
CJ	CONTROL/CONSTRUCTION JOINT
CSTIR	CAST IRON
CL	CENTER LINE
CLG	CEILING
CLO	CLOSET
CLL	CONTRACT LIMIT TIME
CO	CLEANOUT
COORD	COORDINATE
COL	COLUMN
COMB	COMBUSTIBLE
COMP	COMPOSITE
CONC	CONCRETE
CONF	CONFERENCE
CMDT	CARBON MONOXIDE DETECTOR
CMU	CONCRETE MASONRY UNIT
CSMU	CALCIUM SILICATE MASONRY UNIT
CWS	CURTAIN WALL SYSTEM
CONT	CONTINUOUS
CORR	CORRIDOR
CPT	CARPET
CMD	CORRUGATED METAL DECK
CSK	COUNTERSUNK
CT	CERAMIC TILE
CTR	CENTER
CTV	CABLE TELEVISION
CU	CUBIC
CBCL	CUBICLE
CW	COLD WATER
DBL	DOUBLE
DEG	DEGREE
DEMO	DEMOLISHED, DEMOLITION
DEP	DEPRESSED
DEPT	DEPARTMENT
DETL	DETAIL
DF	DRINKING FOUNTAIN
DH	DOUBLE HUNG
DIA	DIAMETER
DIAG	DIAGONAL
DISP	DISPENSER
DS	DOWNSPOUT
DKG	DECKING
DIM	DIMENSION
DIST	DISTANCE
DIV	DIVISION/DIVIDER
DMPFG	DAMPPROOFING
DMPR	DAMPER
DMT	DEMOUNTABLE
DN	DOWN
DO	DOOR OPENING
DOM	DOMESTIC
DR	DINING ROOM
DSP	DRY STANDPIPE
DU	DWELLING UNIT
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER
EA	EACH
EB	EXPANSION BOLT
EF	EACH FACE
EFS	EXTERIOR FINISH SYSTEM
EG	END GUARD
EHG	ELECTRIC HAND DRYER
ELEC	ELECTRIC
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EL	ELEVATION
EJ	EXPANSION JOINT
EMGCY	EMERGENCY
EMR	ELEVATOR MACHINE ROOM
ENCL	ENCLOSURE
ENAM	ENAMEL
ENGR	ENGINEER
ELEV	ELEVATOR
EP	ELECTRICAL PANEL
EPS	EXPANDED POLYSTYRENE
EQUIP	EQUIPMENT
EQ	EQUAL
EST	ESTIMATE(D)
EXDF	EXHAUST DIFFUSER
EXT	EXTERIOR
EX'G	EXISTING
FA	FIRE ALARM
FB	FACE BRICK
FBO	FURNISH BY OTHER
FC	FOOTCANDLE
FCU	FAN COIL UNIT
FDC	FIRE DEPARTMENT CONNECTION
FO	FACE OF
FD	FLOOR DRAIN
FDN	FOUNDATION
FDPR	FIRE DAMPER
FF	FINISHED FLOOR
FIN	FINISHED
FIXT	FIXTURE
FLR	FLOOR
FPSC	FIREPROOF SELF-CLOSING
FRT	FIRE RETARDANT TREATED
FSH	FIRE SPRINKLER HEAD
FSP	FIRE STANDPIPE
FTG	FOOTING
FURN	FURNITURE
FURR	FURRING
FUT	FUTURE
FVC	FIRE VALVE CABINET
FXD	FIXED
GA	GAUGE
GAL	GALLON
GALV	GALVANIZED
GB	GRAB BAR
GEN	GENERATOR
GENL	GENERAL
GF	GROUND FACE
GFI	GROUND FAULT INTERRUPTER
GLM	GLUE GLAMINATED
GLZ	GLAZING
GMU	GLASS MASONRY UNIT
GND	GROUND
GR	GRADE/GRADING
GRT	GRATING
GSKT	GASKET
GT	GROUT
GWB	GYPSUM WALLBOARD
GWT	GLAZED WALL TILE
GYP	GYPSUM
HB	HOSE BIBB
HC	HAT CHANNEL / HOLLOW CORE
HCW	HOT & COLD WATER
HD	HEAD
HDBD	HARDBOARD
HDR	HEADER
HGR	HANGER
HM	HOLLOW METAL
HO	HOLD-OPEN
HTSB	LARGE FORMAT AND HEAVY TILE SETTING BED
HT	HEIGHT
HTG	HEATING
HTDT	HEAT DETECTOR
HTR	HEATER
HORIZ	HORIZONTAL
HW	HOT WATER
IG	INSULATED GLASS
IGU	INSULATED GLASS UNIT
INCL	INCLUDE & INCLUDING
INCIN	INCINERATOR
INFO	INFORMATION
INSTL	INSTALLATION
INSTR	INSTRUCTION(S)
INSUL	INSULATION
INT	INTERIOR
INTER	INTERSECTION
INTERCOM	INTERCOMMUNICATION
INV	INVERT
IMP	INSULATED METAL PANEL
IPS	INSIDE PIPE SIZE
JAN	JANITOR
JB	JUNCTION BOX
JC	JANITOR'S CLOSET
JCT	JUNCTION
JST	JOIST
JT	JOINT
KD	KNOCK DOWN
KITCH	KITCHEN
KO	KNOCK OUT
KOP	KNOCK OUT PANEL
KPL	KICK PLATE
LAB	LABORATORY
LAD	LADDER
LAM	LAMINATE
LAV	LAVATORY
LB	POUND
LBL	LABEL
LBR	LUMBER
LCD	LINEAR CEILING DIFFUSER
LD	LINEAR DIFFUSER
LINO	LINOLEUM
LT	LIGHT
LW	LIGHTWEIGHT
LVL	LEVEL
LVR	LOUVER
MAINT	MAINTENANCE
MFR	MANUFACTURER
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MBR	MASTER BEDROOM
MC	MEDICINE CABINET
MDF	MEDIUM DENSITY FIBERBOARD
MEMB	MEMBRANE
MER	MECHANICAL EQUIPMENT ROOM
MFR	MANUFACTURER
MIR	MIRROR
ML	METAL LATH
MLWK	MILLWORK
MO	MASONRY OPENING
MOV	MOVABLE
MP	METAL PANEL
MJ	MASONRY EXPANSION JOINT
MT	MASS TIMBER/MARBLE TILE
MTD	MOUNTED
MRT	MORTAR
MS	MUD SET
MTL	METAL
MULL	MULLION
MULT	MULTIPLE
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NSV	NATURAL STONE VENEER
NO	NUMBER
NOM	NOMINAL
NS	NONSLIP
NRC	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE
OA	OUTSIDE AIR
OCC	OCCUPANCY
OCCSR	OCCUPANCY SENSOR
OD	OVERFLOW DRAIN
OFO	OUTSIDE FACE OF
OFF	OFFICE
OC	ON CENTER
OPP	OPPOSITE
OPNG	OPENING
ORIG	ORIGINAL
OVHD	OVERHEAD
PB	PANIC BAR
PED	PEDESTAL
PERF	PERFORATED
PERIM	PERIMETER
PFB	PREFABRICATED
PG	PLATE GLASS
PF	FENESTRATION PROJECTION FACTOR
PLAS	PLASTER
PLYWD	PLYWOOD
PNL	PANEL
PCTL	PORCELAIN TILE
POLYISO	POLYISOCYANURATE INSULATION
PRCST	PRECAST
PREP	PREPARATION
PROD	PRODUCT
PROJ	PROJECT/PROJECTION
PSI	POUND PER SQUARE INCH
PSF	POUND PER SQUARE FOOT
PRTD	PRESSURE TREATED
PTD	PAINTED
PCSP	PORTLAND CEMENT STRUCTURAL PANELS
PKG	PARKING
PTN	PARTITION
PVR	PAVER
PVG	PAVING
PVMT	PAVEMENT
PWR	POWER
RA	RETURN AIR
RAD	RADIATOR
RAG	RETURN AIR GRILLE
RC	RESILIENT CHANNEL
RCWY	RACEWAY
RD	ROOF DRAIN
RECT	RECTANGLE
REF	REFRIGERATOR
REG	REGISTER
REINF	REINFORCEMENT
REQ'D	REQUIRED
RESIL	RESILIENT
RET	RETURN
REV	REVISION
RFG	ROOFING
RFH	ROOF HATCH
RHB	RECESSED HOSE BIBB
RHRB	RIGHT HAND REVERSE BEVEL
RLG	RAILING
RM	ROOM
RND	ROUND
RO	ROUGH OPENING
SAB	SOUND ATTENUATION BATT
SALV	SALVAGE
SAN	SANITARY
SCHED	SCHEDULE
SCN	SCREEN
SDL	SADDLE
SECT	SECTION
SF	SQUARE FEET
SFS	STOREFRONT SYSTEM
SHGC	SOLAR HEAT GAIN COEFFICIENT
SHWR	SHOWER
SHTHG	SHEATHING
SHV	SHELVES
SK	SINK
SIM	SIMILAR
SMKDT	SMOKE DETECTOR
SMHDT	SMOKE + HEAT DETECTOR
SLB	SLAB
SLV	SLEEVE
SNT	SEALANT
SP	STANDPIPE
SPDF	SUPPLY DIFFUSER
SPEC	SPECIFICATIONS
SPKLR	SPRINKLER
SPHD	SPRINKLER HEAD
SPKR	SPEAKER
SQ	SQUARE
SS	STAINLESS STEEL
ST	STREET
STN	STONE
STAG	STAGGERED
STC	SOUND TRANSMISSION CLASS
STD	STANDARD
STL	STEEL
STOR	STORAGE
STR	STRAIGHT
STRCT	STRUCTURE & STRUCTURAL
SURF	SURFACE
SUSP	SUSPENDED
SWR	SEWER
SYMB	SYMBOL
SYMM	SYMMETRY
SYST	SYSTEM
T&G	TONGUE AND GROOVE
TB	TOWEL BAR
TBB	TILE BACKER BOARD
TB-XX	TEST BORING - XX
TD	TRENCH DRAIN
TEL	TELEPHONE
TEMP	TEMPORARY
TERR	TERRAZZO
TERM	TERMINAL
TG	TEMPERED GLASS
THERM	THERMAL
THRMST	THERMOSTAT
THK	THICKNESS
THRES	THRESHOLD
THRU	THROUGH
TM	TRANSITION MEMBRANE
TMPD	TEMPERED
TO	TOP OF
TOC	TOP OF CURB
TOF	TOP OF FOOTING
TOFF	TOP OF FINISH FLOOR
TOIL	TOILET
TOS	TOP OF STRUCTURE/SLAB
TOW	TOP OF WALL
TPD	TOILET PAPER DISPONSER
TPH	TOILET PAPER HOLDER
TR	TRANSOM
TS	THIN SET
TYP	TYPICAL
UOB	UNDERSIDE OF BEAM
UC	UNDERCUT
UG	UNDERGROUND
UH	UNIT HEATER
UOD	UNDERSIDE OF DECK
UOS	UNDERSIDE OF SLAB
UON	UNLESS OTHERWISE NOTED
UNFIN	UNFINISHED
UNIF	UNIFORM
UNIV	UNIVERSAL
UR	URINAL
UTIL	UTILITY
UV	ULTRA-VIOLET
UWS	UPHOSTERERED WALL SYSTEM
VAR	VARIES
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VEN	VENEER
VEH	VEHICLE
VENT	VENTILATOR
VERT	VERTICAL
VEST	VESTIBULE
VIWB	VAPOR IMPERMEABLE WEATHER BARRIER
VNR	VENEER
VPWB	VAPOR PERMEABLE WEATHER BARRIER
VG	VERTICAL GRAIN
WNDW	WINDOW
WC	WATER CLOSET
WH	WATER HYDRANT
WT	WEIGHT
W/	WITH
W/O	WITHOUT
WD	WOOD
WSCT	WAINSCOT
WP	WEATHER STRIPPING
WWF	WELDED WIRE FABRIC
XPS	EXTRUDED POLYSTYRENE INSULATION
YD	YARD DRAIN

MATERIAL SYMBOL

- STONE ELEVATION
- STONE SECTION
- CONCRETE BLOCK SECTION
- EARTH
- CONCRETE SECTION
- GYPSUM PLASTER
- ALUMINUM
- GRAVEL 1
- GRAVEL 2
- STEEL SECTION
- WOOD SECTION
- WOOD ELEVATION 1
- WOOD ELEVATION 2
- PLASTIC SECTION
- MDF
- INSULATION

DRAFTING SYMBOL

- 1 / A101 — ELEVATION TAG
- SIM / 1 / A101 — SECTION TAG
- SIM / 1 / A101 — CALLOUT TAG
- X — GRID HEAD
- SPOT ELEVATION
- TOS Elevation Level
- 2001A / T-44 — DOOR TAG BY MARK/TYPE MARK
- PARTITION TAG
- 1202 / W96 — WINDOW TAG BY MARK/TYPE MARK
- L1 — LIGHTING TAG
- CEILING TAG
- PB-01 — PLUMBING TAG
- EQ-01 — EQUIPMENT TAG
- WD-01 — MATERIAL TAG
- ACCESSORY TAG

Room name / 150 SF — ROOM TAG

Area name / 150 SF — AREA TAG

1 — REVISION TAG

POWER

- SIMPLEX / DEDICATED OUTLET
  - (DW) DISHWASHER
  - (GD) GARBAGE DISPOSAL
  - (MW) MICROWAVE
  - (OV) OVEN
  - (CT) COOKTOP
  - (RF) REFRIGERATOR / FREEZER
  - (HD) HOOD
  - (WM) WARMING DRAWER
  - (WA) WASHER
  - (DR) DRYER
- DUPLEX OUTLET
  - (#) # SWITCHED OUTLET
  - (S) DUPLEX 1/2 SWITCHED TO OUTLET
  - (WP) WATERPROOF
  - (GFI) GROUND FAULT INTERRUPTER
- QUAD OUTLET
- JUNCTION BOX WALL
- JUNCTION BOX FLOOR
- FLOOR DUPLEX
- FLOOR QUAD
- SWITCH OUTLET
- LV — LV PANEL
- ELEC — ELECTRICAL PANEL

LOW VOLTAGE

- LOW VOLTAGE WALL OUTLET
  - (S) SHADE SWITCH
  - (TEL)
- LOW VOLTAGE FLOOR OUTLET

SWITCHES

- $ — SINGLE WALL SWITCH FOR
  - (J) JAMB SWITCH
  - (#) # LIGHT CIRCUIT
  - (E) BATHROOM EXHAUST
  - (S) SCONCES
  - (C) COVE LIGHTS
  - (R) RECESSED LIGHTS
- $$ — DOUBEL SWITCH GANG
- $$$ — TRIPLE SWITCH GANG
- $$$$ — QUAD SWITCH GANG

AUDIO VISUAL, IT, SECURITY

- TP — TOUCH PANEL
- I — INTERCOM
- SP — WALL SPEAKER
- SP — CEILING SPEAKER
- SW — CEILING SUBWOOFER
- CEILING CAMERA
- WALL CAMERA
- WAP — CEILING WIFI

SENSORS

- OS — CEILING OCCUPANCY SENSOR
- OS — WALL OCCUPANCY SENSOR
- VS — CEILING VACANCY SENSOR
- VS — WALL VACANCY SENSOR
- OS — CEILING SMOKE/CO DETECTOR
- OS — WALL SMOKE/CO DETECTOR

LIFE SAFETY DEVICE LEGEND

- P — PULL STATION
- F — FA HORN & STROBE WALL
- F — FA HORN & STROBE CEILING
- FEC — FULLY RECESED FIRE EXTINGUISHER & CABINET

PLUMBING

- FD — FLOOR DRAIN
- RD — ROOF DRAIN

SPRINKLERS

- SIDE WALL
- CEILING CONCEALED
- CEILING EXPOSED
- UPRIGHT SPRINKLER

EXIT SIGNS

- CEILING MOUNTED
- WALL MOUNTED
- WITH EMERGENCY LIGHT
- EMERGENCY LIGHT W BATTERY

LIGHTING

- CEILING ROUND FIXTURE
- CEILING SQUARE FIXTURE
- CEILING FIXTURE LINEAR
- WALL FIXTURE
- LINEAR TAPE
- PENDANT

MECHANICAL

- T — THERMOSTAT
- TOILET EXHAUST FAN
- AP — ACCESS PANEL

FIRE WALL RATING AND EGRESS

- PROPERTY LINE
- 1HR RATED WALL
- 2HR RATED WALL
- 3HR RATED WALL
- FIRE SERVICE ACCESS ELEVATOR

MISCELLANEOUS

- ADA SIGNAGE
- EXISTING TREE TO REMAIN
- PROPOSED NEW TREE

ISSUE/REVISION		DATE
6	BID SET	05.06.2024
5	ISSUED FOR FILING	02.21.2024
4	REVISED PER PARKS	02.16.2024
3	REVIEW SET	01.26.2024
2	REVIEW SET	01.19.2024
1	REVIEW SET	10.30.2023

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PROJECT NAME

Untermyer Multipurpose Room
945 N BROADWAY
YONKERS, NY 10701

DOB JOB #: 000000000

DRAWING TITLE

ABBREVIATION AND DRAWING SYMBOLS

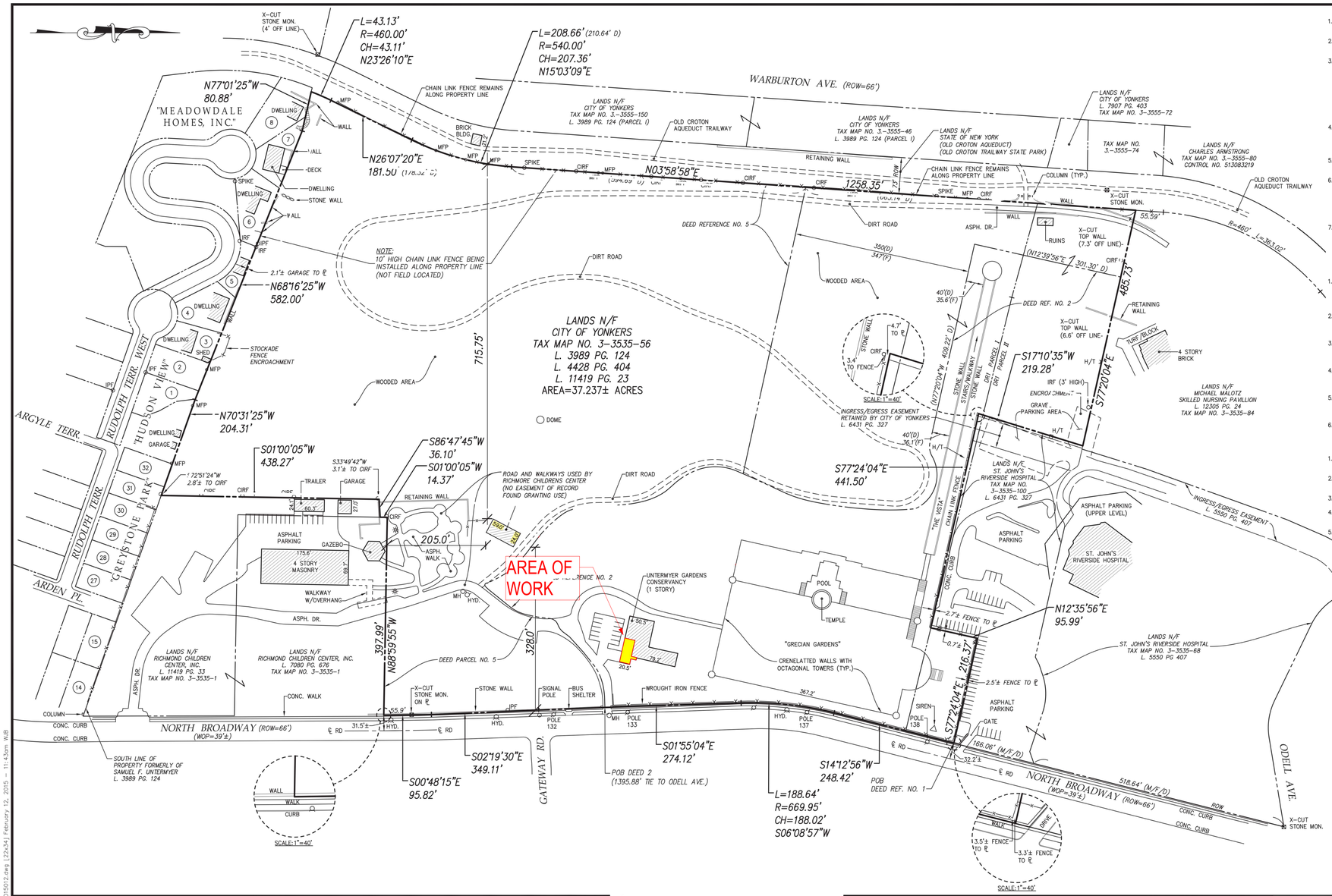
STAMP & SIGNATURE

REGISTERED ARCHITECT JOSEPH A. NETTER No. 023126 STATE OF NEW YORK

ARCHITECT, AIA

PROJECT NO.	2210
DATE:	03/17/23
SCALE:	As indicated
SHEET NO.	2 OF 9

G-001



NOTES:

1. INFORMATION SHOWN HEREON WAS COMPILED FROM AN ACTUAL FIELD SURVEY CONDUCTED DURING THE MONTH OF JANUARY, 2015.
2. NORTH ORIENTATION AND BEARING BASE PER MAP REFERENCE NO. 4, AND DEED REFERENCE NO. 2 & 4.
3. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. SURFACE FEATURES SUCH AS CATCH BASIN RIMS, MANHOLE COVERS, WATER VALVES, GAS VALVES, ETC. ARE THE RESULT OF FIELD SURVEY UNLESS NOTED OTHERWISE. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. DIG SAFELY NEW YORK MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.
4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN UP-TO-DATE ABSTRACT OF TITLE OR TITLE REPORT AND IS, THEREFORE, SUBJECT TO ANY EASEMENTS, COVENANTS, RESTRICTIONS OR ANY STATEMENT OF FACT THAT SUCH DOCUMENTS MAY DISCLOSE.
5. THIS BOUNDARY SURVEY MAP IS TO BE CONSIDERED PRELIMINARY UNTIL SUCH TIME AS PROPERTY CORNERS HAVE BEEN SET.
6. BUILDINGS, ROADWAYS, PARKING AND OTHER PHYSICAL FEATURES THAT LIE ON THE INTERIOR OF THIS PARCEL (BEYOND 50 FEET FROM THE EXTERIOR BOUNDARY LINES) ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON AERIAL PHOTOGRAPHY OVERLAYS FOR DISPLAY PURPOSES ONLY. NO ATTEMPT WAS MADE TO FIELD LOCATE THESE FEATURES, NOR ANY OTHER ABOVE GROUND OR BELOW GROUND FEATURES THAT LIE ON THE INTERIOR OF THE PROPERTY.
7. THE SOUTHERLY PROPERTY LINE OF HOSPITAL & NORTHERLY PROPERTY LINE OF PARK IS BASED ON THE TIE DISTANCES ALONG NORTH BROADWAY TO ITS INTERSECTION WITH ODELL AVENUE. WE HELD THE CONCRETE MONUMENT AS THIS POINT OF INTERSECTION FOR DETERMINING PROPERTY LINE LOCATIONS. NO OTHER SURVEY MONUMENTATION WAS FOUND (OTHER THAN CAPPED IRON RODS RECENTLY SET BY ARISTOTLE BOURNAZOS SURVEYOR AND THREE OTHER STONE MONUMENTS).

MAP REFERENCE:

1. "MAP OF LAND BELONGING TO HARRIMAN & HAWLEY SITUATED ON WARBURTON, ODELL & HARRIMAN AVES & HAWLEY TERRACE", PREPARED BY WILLIAM HENRY BALDWIN, DATED JANUARY 13, 1896, AND FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP 1260.
2. "MAP OF LAND IN THE CITY OF YONKERS KNOWN AS GREYSTONE PARK", PREPARED BY HENRY BALDWIN, DATED APRIL, 1898 AND FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP 1327.
3. "MAP OF SUBDIVISION OF ROBERT PARK", PREPARED BY JOHN E. WARNECK, DATED SEPTEMBER 1, 1945 AND FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP 5951.
4. "MAP SHOWING SURVEY OF SAMUEL UNTERMYER PARK & GARDENS", PREPARED BY CITY OF YONKERS, DATED MAY 16, 1946 AND FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP 6165.
5. "SUBDIVISION MAP HUDSON VIEW", PREPARED BY THOMAS S. GREGORY, DATED AUGUST 2, 1960 AND FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP 2741.
6. "SUBDIVISION MAP MEADOWDALE HOMES, INC.", PREPARED BY RICHARD A. WIBERLEY, DATED APRIL 27, 1962 AND FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP 13373.

DEED REFERENCE:

1. SAMUEL UNTERMYER ESTATE TO SAMUEL UNTERMYER PARK AND GARDENS, DATED MARCH 25, 1942, L. 3989, PG. 124, PARCELS I & II.
2. SAMUEL UNTERMYER PARK AND GARDENS TO CITY OF YONKERS, DATED JUNE 24, 1946, L. 4428, PG. 404.
3. CITY OF YONKERS TO LEONARD MENDLOW, DATED JULY 8, 1948, L. 4652, PG. 150.
4. CITY OF YONKERS TO ST. JOHN'S RIVERSIDE HOSPITAL, DATED AUGUST 14, 1964, L. 6431, PG. 327.
5. REGO BEL HOLDINGS INC. TO CITY OF YONKERS, DATED MAY 15, 1996, L. 11419, PG.23.

EXISTING LEGEND

PROPERTY LINE		CATCH BASIN	DS	GAS MAIN	8"G	SWAMP, MARSH	
RIGHT-OF-WAY LINE	ROW	MANHOLE	MH	WATER MAIN	8"W	STREAM W/ CULVERT	
EASEMENT LINE		GAS VALVE	GV	STORM SEWER	8"ST	DITCH	
POINT OF BEGINNING	P.O.B.	HYDRANT	HYD.	SANITARY SEWER	8"SA	WOODED OR BRUSH AREA	
CAPPED IRON ROD/PIPE FOUND	CIRF/IPF	WATER VALVE	WV	SANITARY FORCEMAIN	8"FM	HEDGEROW	
CAPPED IRON ROD SET	CIRS	WATER SHUTOFF		OVERHEAD WIRE	OW	TREE (CONIFEROUS/DECIDUOUS)	
METAL FENCE POST	MFP	WELL	W	U/G ELECTRIC	E	FENCE	
MONUMENT	MON.	UTILITY POLE W/WO GUY		U/G TELEPHONE	T	STONE WALL	
HUB & TACK	H/T	UTILITY POLE W/LIGHT		EXISTING SPOT	x 202.1	RETAINING WALL	
MAP/FIELD/DEED	M/F/D	LIGHT POLE		CONTOUR	100	RAILROAD TRACKS	
WIDTH OF PAVEMENT	WOP	SIGN		FINISHED FLOOR	FF		

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PRELIMINARY

Paul G. Lovell N.Y.S. PLS Lic. No. 49750

REVISIONS

NO.	DATE	DESCRIPTION	BY

HORIZONTAL SCALE 100 50 0 100 200 300

CITY OF YONKERS
WESTCHESTER COUNTY * NEW YORK

BOUNDARY SURVEY
PORTION OF UNTERMYER PARK & GARDENS LYING EASTERLY OF OLD CROTON AQUEDUCT

DESIGNED BY ____ DRAWN BY WJB REVIEWED BY PGL

GURLEY ENGINEERING
Surveying and Mapping Group, P.C.
4 Computer Drive West • Albany, New York 12205
Phone: (518) 458-7112 • Fax: (518) 458-1879

DATE 2/12/15 SCALE 1"=100' SHEET 1

BLOCK 3535
LOT 56

6	BID SET	05.06.2024
5	ISSUED FOR FILING	02.21.2024
4	REVISED PER PARKS	02.16.2024
3	REVIEW SET	01.26.2024
2	ISSUED	12.22.2023
1	REVIEW SET	10.30.2023

ISSUE/REVISION DATE

APPLICANT

UNTERMYER GARDENS CONSERVANCY
945 N BROADWAY
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230 W 38TH STREET NEW YORK, NEW YORK 10018
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PROJECT NAME

Untermyer Multipurpose Room
945 N BROADWAY
YONKERS, NY 10701

DOB JOB #: 000000000

DRAWING TITLE

SITE PLAN

STAMP & SIGNATURE

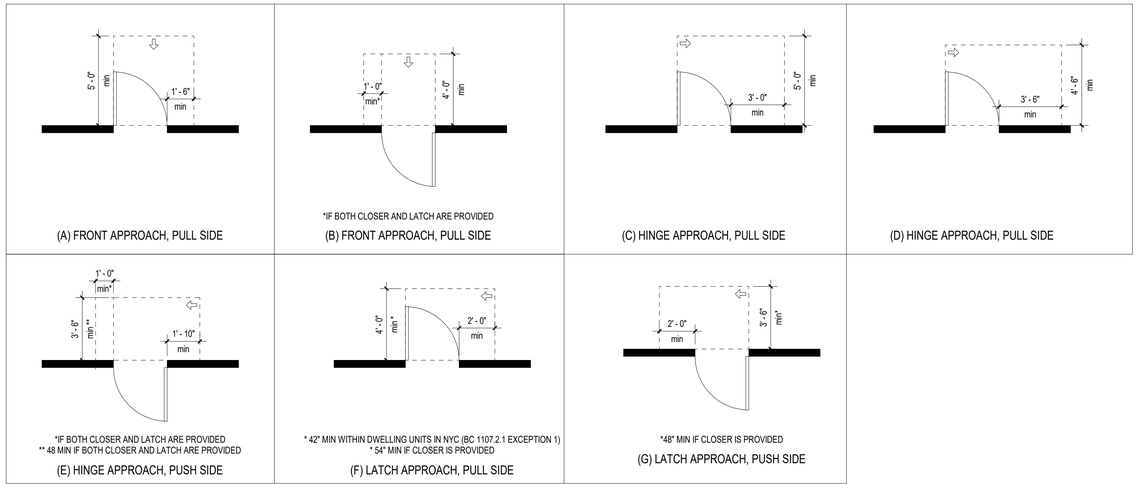
REGISTERED ARCHITECT JAMES A. NEGRON No. 023126 STATE OF NEW YORK

ARCHITECT, AIA

PROJECT NO.	2210
DATE:	03/20/23
SCALE:	
SHEET NO.	3 OF 9

A-101

Laberge Group — J:\2015012\Cadd\dwg\Survey_2015012.dwg [22x34] February 12, 2015 — 11:43am WJB



DOOR ACCESSIBILITY DIAGRAMS

FINISH MATERIALS:

FLOOR VAPOR RETARDER:	LAITICRETE	VAPOR BAN ER
CONCRETE DEGREASER:	LAITICRETE	L+M CITREX
DASH PATCH:	LAITICRETE	L+M JOINT TITE 750
FINSH FLOOR ADHESIVE:	FORBO	SUSTAIN 1195
FINISH FLOOR:	FORBO	MARMOLEUM 10 X 10 TILE: COLOR A: DONKEY ISLAND COLOR B: STARDUST
BASE:	JOHNSONITE	BLACK VINYL 6"
CEILING PAINT:	BENJ MOORE	FLAT LATEX COLOR SELECTED BY OWNER
WALL PAINT:	BENJ MOORE	PEARLESCENT LATEX COLOR SELECTED BY OWNER
DOORS + TRIM PAINT:	BENJ MOORE	SEMIGLOSS LATEX COLOR SELECTED BY OWNER

GENERAL NOTES

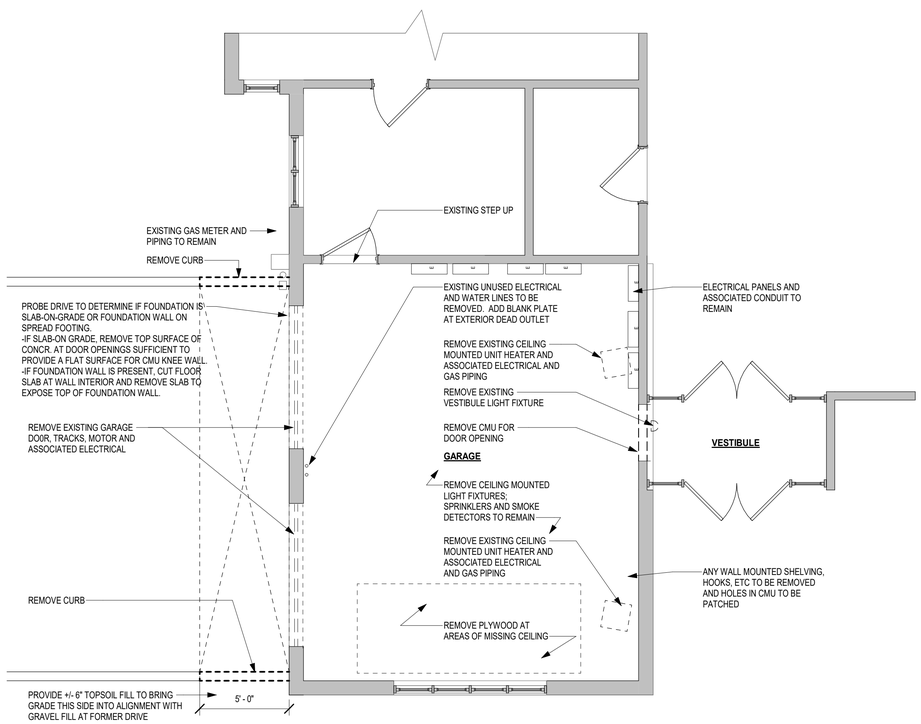
1. DIMENSION MEASURED FROM WALL FINISH TO WALL FINISH UNLESS OTHERWISE NOTED.
2. ALL EXISTING AND NEW WALL AND CEILIING SURFACES TO RECEIVE PAINT UNDER THIS CONTRACT SHALL BE FINISHED TO A LEVEL 4 FINISH. APPLY 1 COAT PRIMER + 2 COATS FINISH.
3. ALL FRAMING SHALL BE LIGHT GAGE STEEL, SIZE AND GAGE SELECTED TO LIMIT DEFLECTION TO 1/360.
4. ALL DRYWALL SHALL BE 5/8", TYPE C AT RATED CONSTRUCTION.
5. ALL WIRING AND PIPING INSTALLED WITHIN WORK AREA SHALL BE CONCEALED. REMOVE EXISTING FINISHES AS REQUIRED FOR INSTALLATION. REPAIR TO LIKE-NEW CONDTION.

EXISTING CONSTRUCTION
NEW CONSTRUCTION

FLOOR FINISH INSTALLATION

FLOOR FINISH WILL CONSIST OF LINOLEUM SHEET GOODS GLUED TO EXISTING CONCRETE SLAB, OVER A LIQUID-APPLIED VAPOR RETARDER:

1. REMOVE ALL LOOSE AND UNSOUND MATERIAL FROM SURFACE OF EXISTING CONCRETE SLAB-ON GRADE.
2. PREPARE ENTIRE SURFACE TO RECEIVED FLOOR FINISH IN ACCORDANCE WITH VAPOR RETARDER MANUFACTURER'S INSTRUCTIONS: REMOVE ALL DIRT, OIL, PAINT, LAITANCE, SEALERS AND OTHER CONTAMINANTS BY MECHANICAL MEANS TO AN ICRI (INTERNATIONAL CONCRETE REPAIR INSTITUTE) CSP-3 TO 5 (LIGHT TO MEDIUM SHOTBLAST TEXTURE). SEE https://www.tccmaterials.com/wp-content/uploads/2020/06/ConcreteSurfaceProfiles.pdf
3. CLEAN ANY REMAINING OIL OR GREASE CONTAMINATION USING L+M CITREX DEGREASING AGENT AND THOROUGHLY RINSE USING 3000 PSI PRESSURE WASH.
4. REPAIR ANY CRACKS OR OTHER DEFECTS IN SLAB SURFACE IN ACCORDANCE WITH VAPOR RETARDER MANUFACTURER'S INSTRUCTIONS.
5. MIX AND APPLY VAPOR RETARDER USING BRUSH, ROLLER, RESIN BROOM, OR NOTCHED SQUEEGEE PER MANUFACTURER'S INSTRUCTIONS. ALLOW TO CURE 3-5 HOURS BEFORE INSTALLING FLOOR FINISH.
6. DASH PATCH SURFACE FLAT AND LEVEL TO A TOLERANCE OF NOT MORE THAN 1/8" IN 10 FEET.
7. GLUE DOWN FINISH FLOOR PER MANUFACTURER'S INSTRUCTIONS.

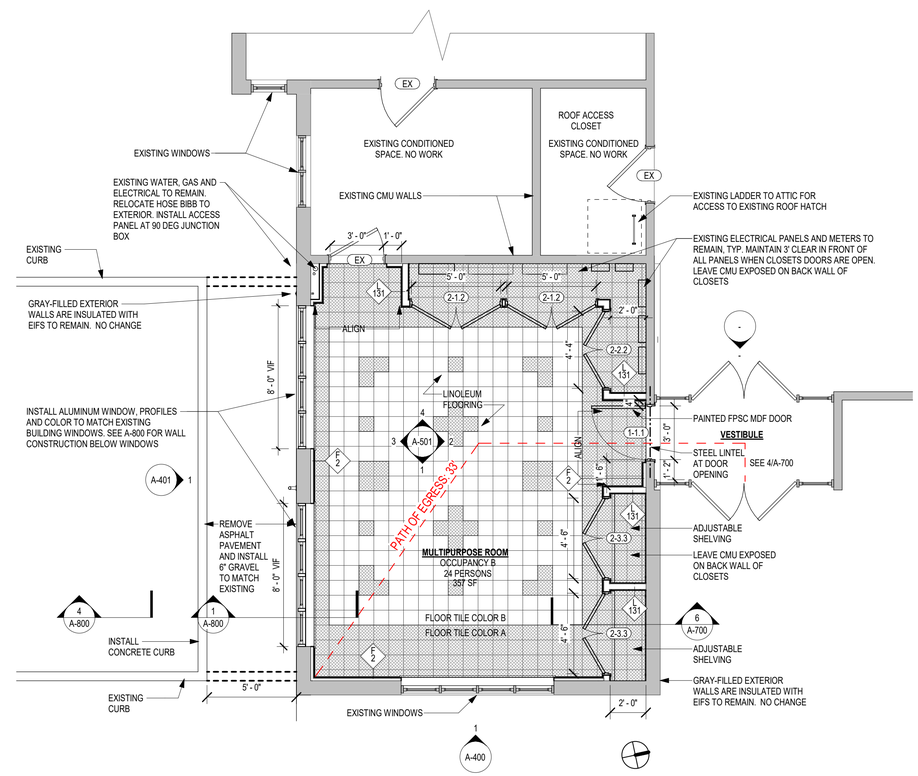


REMOVE ALL SURFACE-MOUNTED ELECTRICAL WIRING RACEWAYS, AND DEVICES WITHIN WORK AREA.

RECYCLE REMOVED MATERIALS TO THE EXTENT POSSIBLE.

DISPOSE OF ALL OTHER REMOVED MATERIALS OFF SITE IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.

2 REMOVALS PLAN - 1ST FLR
1/4" = 1'-0"



1 CONSTRUCTION PLAN - 1ST FLR
1/4" = 1'-0"

8	BID SET	05.06.2024
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PROJECT NAME

Untermyer Multipurpose Room
945 N BROADWAY
YONKERS, NY 10701

DOB JOB #: 000000000

DRAWING TITLE

1ST FLOOR REMOVALS AND CONSTRUCTION PLAN

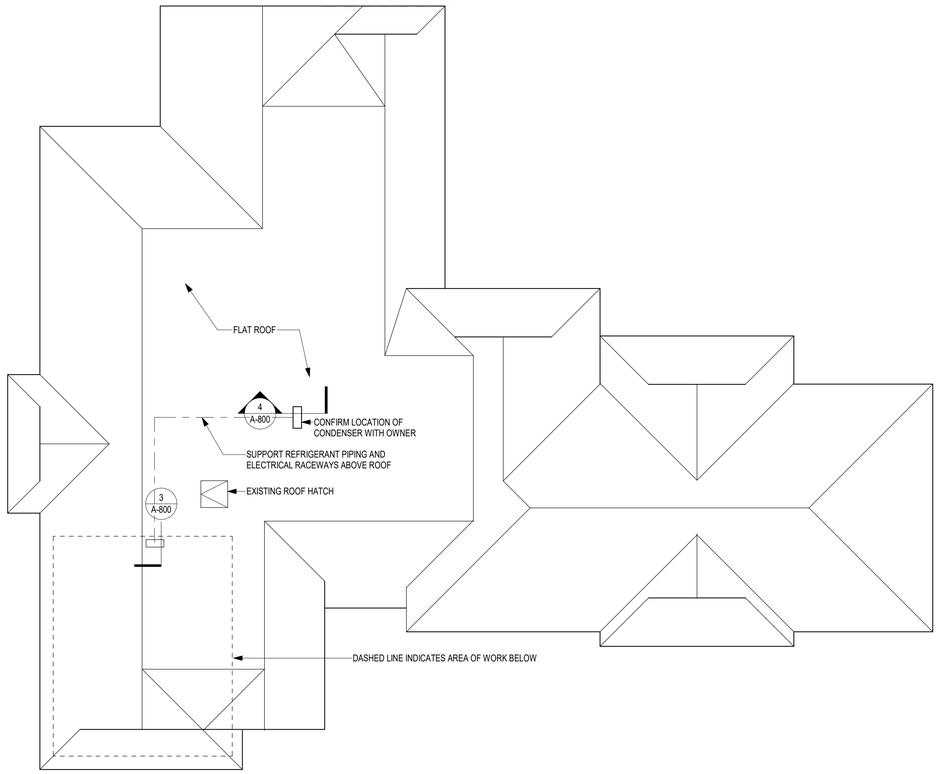
STAMP & SIGNATURE

REGISTERED ARCHITECT JULIA NERI No. 093125 STATE OF NEW YORK

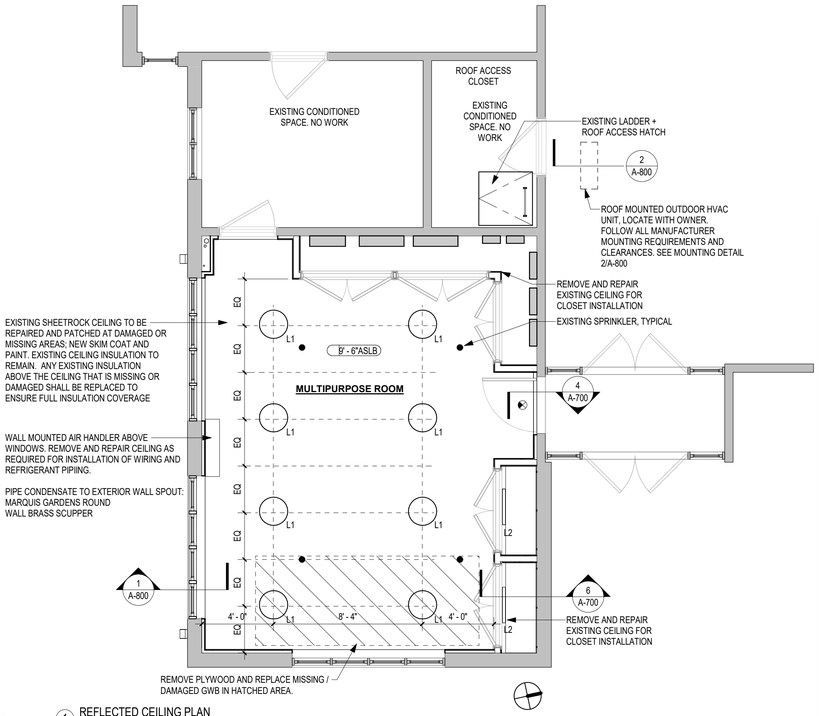
ARCHITECT, AIA

PROJECT NO.	2210
DATE:	02/14/23
SCALE:	1/4" = 1'-0"
SHEET NO.	4 OF 9

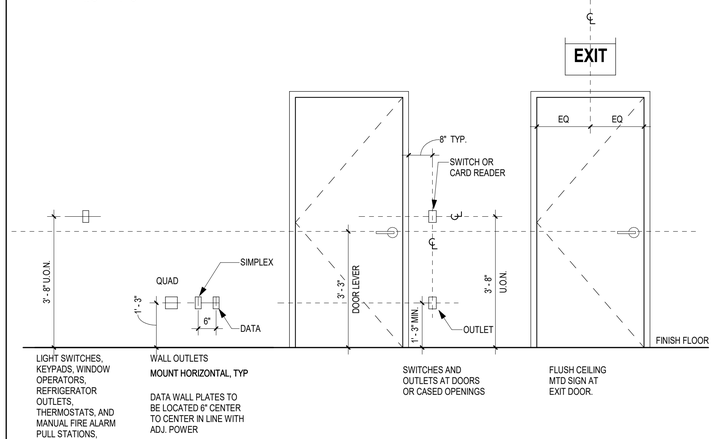
A-201



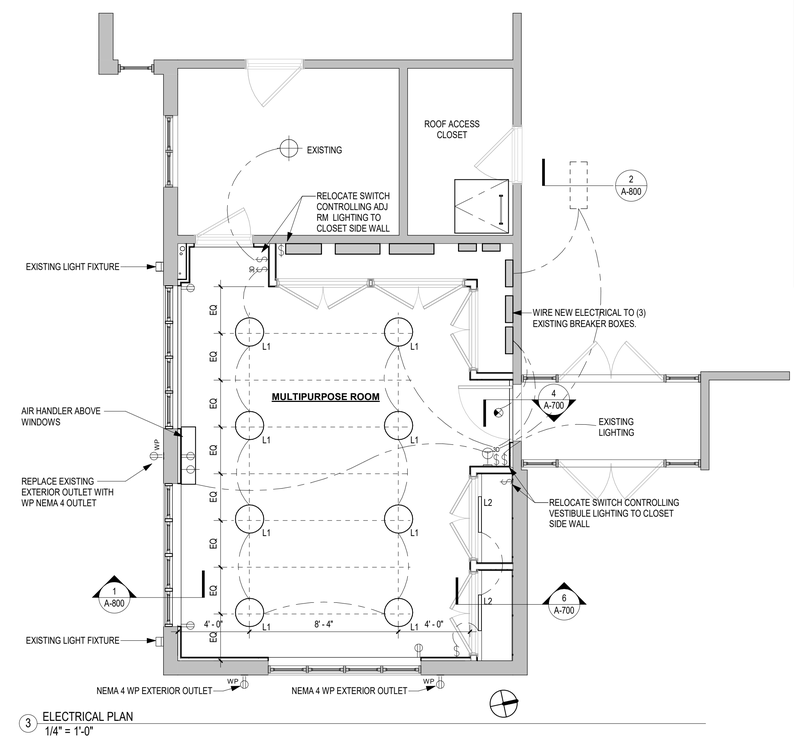
2 ROOF PLAN
1/8" = 1'-0"



1 REFLECTED CEILING PLAN
1/4" = 1'-0"



4 TYPICAL MOUNTING HEIGHTS
1/2" = 1'-0"



3 ELECTRICAL PLAN
1/4" = 1'-0"

MECHANICAL NOTES

1. WRAP REFRIGERANT PIPING WITH CLOSED-CELL INSULATION AND WITH BUILT-IN VAPOR RETARDER. SEAL ALL SEAMS. INSTALL PIPING ABOVE CEILING AND WITHIN FURRED CONSTRUCTION. SUPPORT AS REQUIRED AT ROOF LEVEL, AND PROVIDE WEATHER-PROOF JACKET.
2. WALL MOUNTED TYPE HVAC UNIT WITH INDOOR AND OUTDOOR UNITS FOR HEATING AND COOLING:
   MITSUBISHI 12,000 BTU MSZ GS12 / HYPER HEAT MUZ-GS12HZ DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM OR EQUAL. PROVIDE POWER AS REQUIRED. PROVIDE PT CURB ON EXISTING ROOF- REMOVE EXISTING ROOF AND SECURE CURB DIRECTLY TO ROOF SHEATHING AND FRAMING. FLASH CURB INTO EXISTING ROOF USING MATERIALS COMPATIBLE WITH EXISTING ROOF.
3. PIPE CONDENSATE TO EXTERIOR WALL SPOUT: MARQUIS GARDENS ROUND WALL BRASS SCUPPER.
4. REQUIRED SUBMITTALS
   A. SPLIT SYSTEM PRODUCT INFORMATION, INCLUDING PIPING, INSULATION, CONTROL SYSTEM, INSTALLATION AND MAINTENANCE MANUALS.
   B. ROOF CURB AND PENETRATION PRODUCT INFORMATION FOR FLASHING AND COPINGS COMPATIBLE WITH EXISTING ROOF SYSTEM. SHOP DRAWINGS OF PROPOSED CURBS AND PENETRATIONS IF THEY DIFFER FROM CONTRACT DRAWINGS.

ELECTRICAL NOTES

1. OUTLETS AND OTHER DEVICES SHALL BE FLUSH MOUNTED. ALL WIRING CONCEALED.
2. LIGHT SWITCHES SHALL BE WHITE TOGGLE TYPE
3. DEVICES AND COVER PLATES SHALL BE WHITE
4. INTERIOR ELECTRICAL WIRING SHALL BE IN GREENFIELD
5. ALL EXPOSED WIRING SHALL BE PLENUM-RATED
6. ALL EXTERIOR WIRING SHALL BE INSTALLED IN WEATHER-TIGHT IMC.
7. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN, WHO WILL EVALUATE THE CAPACITY OF THE EXISTING PANELS TO ACCOMMODATE NEW ELECTRICAL LOADS. ASSIGN WIRING TO CIRCUITS IN ACCORDANCE WITH ELECTRICAL CODE AND BREAKER CAPACITY.

ELECTRICAL LEGEND

- DUPLEX OUTLET
- HARD-WIRED CONNECTION
- WALL SWITCH
- 3D — 3-WAY SWITCH WITH DIMMER
- JAMB SWITCH (N0T USED)
- THERMOSTAT
- EXIT SIGN

LIGHT FIXTURE SCHEDULE

- L1, CEILING ROUND FIXTURE: NUVO LIGHTING BLINK PLUS SINGLE LIGHT 19" INTEGRATED LED FLUSH MOUNT CEILING FIXTURE- WITH WHITE TRIM. 3000K 120 V DIMMABLE
- L2, CLOSET LIGHT: GM LIGHTING CL18-TUN-WH 3000K

ELECTRICAL SUBMITTALS:
A. LIGHT FIXTURE PRODUCT INFORMATION, WITH FINISH OPTIONS FOR SELECTION BY OWNER.
B. WIRING AND ACCESSORIES
C. ELECTRICAL DEVICES (SWITCHES, OUTLETS, ETC. WITH COLOR OPTIONS FOR SELECTION BY OWNER.
D. ANY ADDITIONAL PANELBOARDS OR SUB-PANELS REQUIRED TO ACCOMMODATE LOADS.

PLUMBING

NON-FREEZE HOSE BIBB: ZURN Z1321-C KEYED NON-FREEZE ANTI-SIPHON

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ISSUE/REVISION **DATE**

APPLICANT

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945 N BROADWAY
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230 W 38TH STREET NEW YORK, NEW YORK 10018
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PROJECT NAME

Untermyer Multipurpose Room
945 N BROADWAY
YONKERS, NY 10701

DOB JOB #: 000000000

DRAWING TITLE

ELECTRICAL / MECHANICAL PLAN

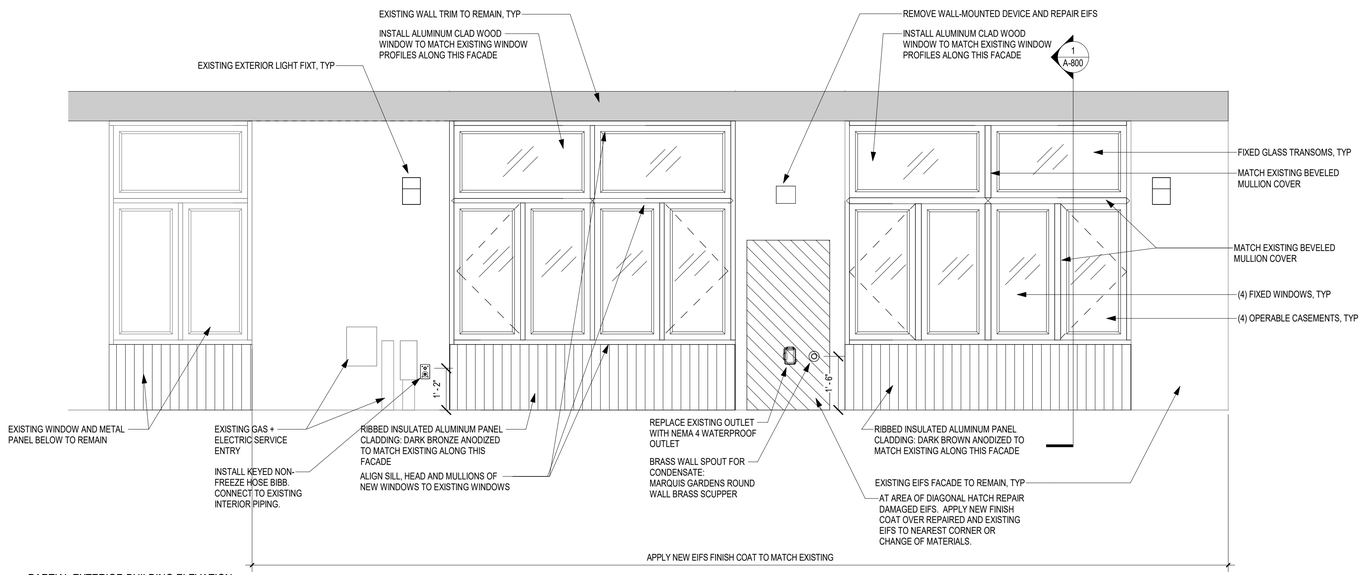
STAMP & SIGNATURE

REGISTERED ARCHITECT JULIA NEBENZAHL 023125 STATE OF NEW YORK

ARCHITECT, AIA

PROJECT NO.	2210
DATE:	02/14/23
SCALE:	As indicated
SHEET NO.	5 OF 9

A-301



1 PARTIAL EXTERIOR BUILDING ELEVATION
1/2" = 1'-0"

EXISTING CONDITIONS

EXTERIOR GENERAL NOTES

1.. NEW WINDOW SPECIFICATIONS:
MATERIAL: HIGH PERFORMANCE PAINTED ALUMINUM EXTERIOR FRAME TO MATCH COLOR OF EXISTING WINDOWS. WOOD INTERIOR FRAMES PAINTED TO MATCH INTERIOR WALLS.
PRODUCT: MARVIN ULTIMATE OUTSWING CASEMENTS WITH SCREENS AND FIXED TRANSOMS

2. PROVIDE EXTERIOR WALL SUBMITTALS:

A. WINDOW JAMB SILL + HEAD DETAILS SHOWING ADJACENT CONSTRUCTION, SEALANT JOINTS, AND CONNECTION TO WEATHER BARRIER, MATCH TO EXISTING PROFILES.

B. WINDOW AND GLAZING PRODUCT INFORMATION DEMONSTRATING COMPLIANCE WITH ENERGY CODE REQUIREMENTS.

C. ALUMINIUM CLADDING TO MATCH EXISTING, SHOWING SHEATHING, INSULATION AND ATTACHMENTS BACKUP MASONRY.

D. ALUMINUM CLADDING SAMPLE TO MATCH EXISTING.

E. CONDENSATE SPOUT

ENERGY CODE NOTES PER 2020 EBCNYS

PROJECTION FACTOR=
HORIZONTAL FROM GLAZING / OVERHANG TO BOTTOM OF GLAZING=
36" / 71" = 0.51

1. NEW WINDOW PERFORMANCE REQUIREMENTS C402.4:
FIXED WINDOW: .38 U-FACTOR MAXIMUM
OPERABLE WINDOW: .45 U-FACTOR MAXIMUM
ALL WINDOWS: .36 SHGC MAXIMUM

2. NEW INSULATED ALUMINUM PANEL PERFORMANCE REQUIREMENTS C402.1.3:
CONTINUOUS INSULATION: 9.5 R- VALUE MINIMUM

3. EXISTING EIFS EXTERIOR WALL: NO CHANGE

4. EXISTING CEILING INSULATION: NO CHANGE

ISSUE/REVISION		DATE
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230 W 38TH STREET NEW YORK, NEW YORK 10018
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PROJECT NAME

Untermyer Multipurpose Room
945 N BROADWAY
YONKERS, NY 10701

DOB JOB #: 000000000

DRAWING TITLE

EXTERIOR ELEVATION

STAMP & SIGNATURE

REGISTERED ARCHITECT
SILVIA NEELY
No. 093120
STATE OF NEW YORK

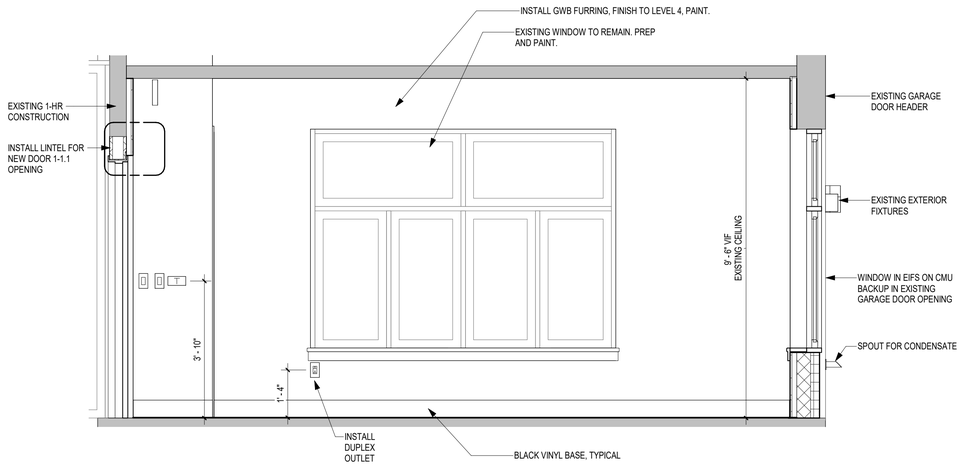
ARCHITECT, AIA

PROJECT NO.	2210
DATE:	02/14/23
SCALE:	As indicated
SHEET NO.	5 OF 9

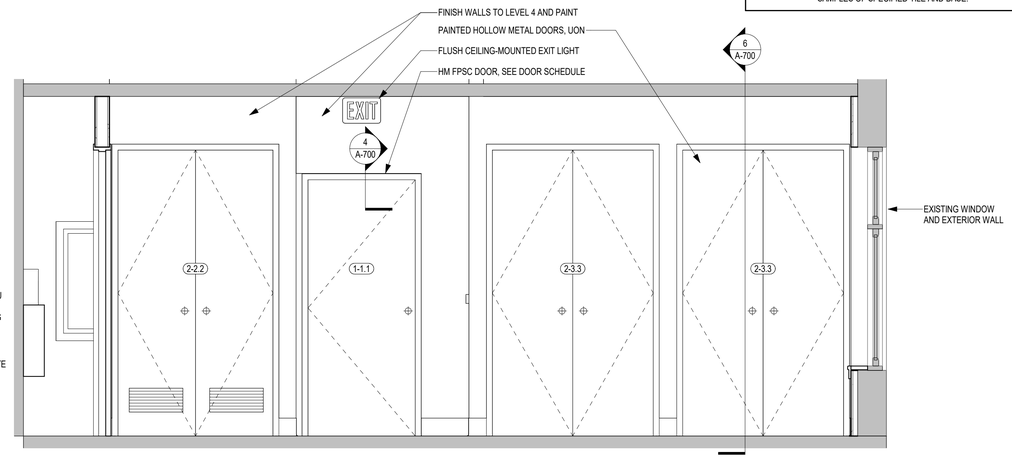
A-401

GENERAL NOTES

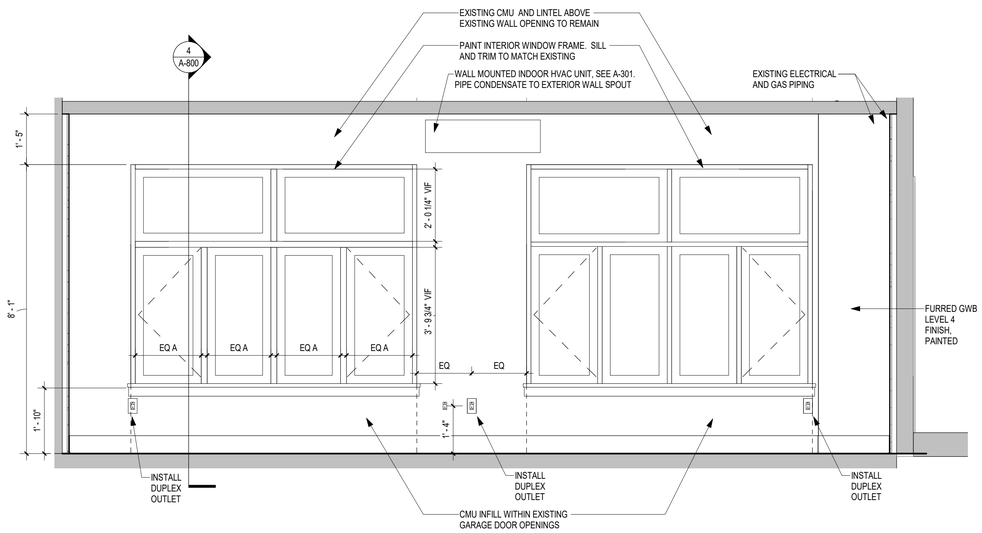
1. ALL DRAWINGS ARE FOR DESIGN INTENT AND SCOPE, GC IS TO PROVIDE DETAILED SHOP DRAWINGS AND PRODUCT INFORMATION FOR REVIEW AND APPROVAL:
   - A. PRODUCT INFORMATION FOR FINISH FLOOR TILE, DOORS AND FRAMES, DOOR HARDWARE, PAINT.
   - B. PRODUCT INFORMATION FOR FLOOR SLAB REPAIR AND LEVELING MATERIALS, VAPOR RETARDER SYSTEM AND FLOOR TILE ADHESIVE, ALL SYSTEMS COMPATIBLE.
   - C. INTERIOR DOOR AND FRAME SHOP DRAWINGS
   - D. IN-PLACE PAINT SAMPLES FOR OWNER REVIEW. PROVIDE AT LEAST 3 COLORS FOR EACH PAINT TYPE TO OWNER FOR FINAL SELECTION.
   - E. FLOOR TILE AND RESILIENT BASE COLOR CHARTS, WITH PHYSICAL SAMPLES OF SPECIFIED TILE AND BASE.



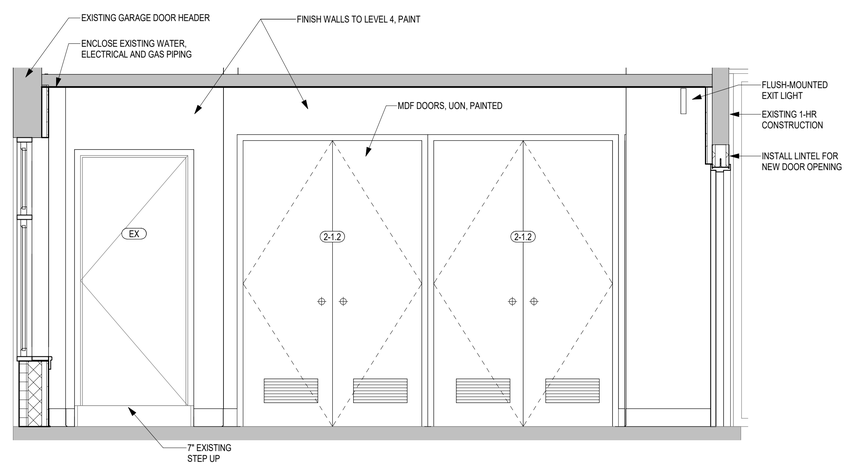
1 EAST ELEVATION
1/2" = 1'-0"



2 NORTH ELEVATION
1/2" = 1'-0"



3 SOUTH ELEVATION
1/2" = 1'-0"



4 WEST ELEVATION
1/2" = 1'-0"

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PROJECT NAME

Untermyer Multipurpose Room
945 N BROADWAY
YONKERS, NY 10701

DOB JOB #: 000000000

DRAWING TITLE

INTERIOR ELEVATIONS

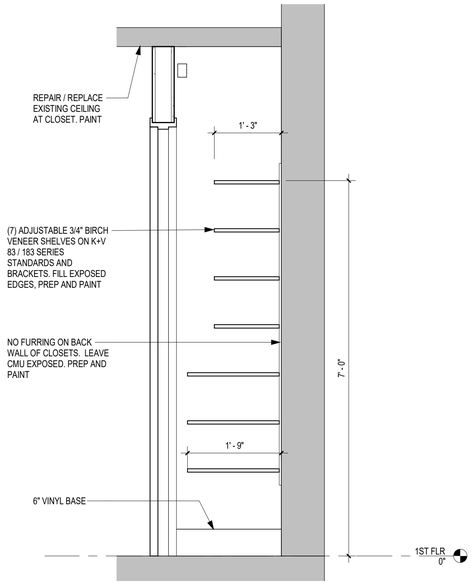
STAMP & SIGNATURE

REGISTERED ARCHITECT JULIA NEIRA-NUNEZ No. 093126 STATE OF NEW YORK

ARCHITECT, AIA

PROJECT NO.	2210
DATE:	02/14/23
SCALE:	As indicated
SHEET NO.	7 OF 9

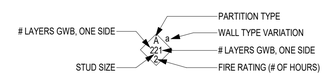
A-501



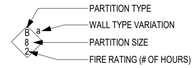
6 CLOSET SECTION
3/4" = 1'-0"

LEGEND

DRY WALL PARTITION:

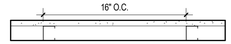


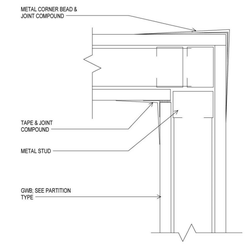
MASONRY WALL PARTITION:



GENERAL NOTES

1. INSTALL DEFLECTION TRACK AT TOP OF LT GA PARTITIONS TO PERMIT MOVEMENT RELATIVE TO STRUCTURE ABOVE. DO NOT FASTEN GWB TO DEFLECTION TRACK
2. PROVIDE 5/8" GWB UNLESS NOTED OTHERWISE
3. FIRESTOP ALL PENETRATIONS AND PERIMETER OF FIRE-RATED PARTITIONS
4. COORDINATE OPENINGS REQUIRED ABOVE CEILINGS REQUIRED FOR MECHANICAL RETURN AIR, IF ANY.
5. PROVIDE CONTINUOUS ACOUSTIC (NON-HARDENING) SEALANT ON EACH SIDE OF THE BOTTOM STUD RUNNER BETWEEN THE GWB AND FLOOR.
6. CLOSE GAPS BETWEEN GWB AND PENETRATING ELEMENTS WITH ACOUSTIC SEALANT
   CONTRACTOR TO SELECT STUD GAUGE AS REQUIRED BY STUD SPACING AND LENGTH TO LIMIT DEFLECTION AS FOLLOWS:
   PAINTED DRYWALL: L/360

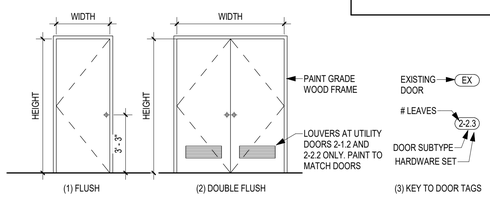
TYPE	PARTITION TYPE	ASSEMBLY	PLAN DETAIL	FIRE RATING	ACOUSTIC INSULATION	STC RATING	UL LISTING (OR OTHER)	NOTES
L 131	LT GA PARTITION	1. ONE (1) LAYER OF GYPSUM WALL BOARD, 5/8" 2. METAL STUD, 3 5/8 3. ONE (1) LAYER OF GYPSUM WALL BOARD, 5/8"			YES	49	U419	TAPE AND COMPOUND ALL DRYWALL. PROVIDE LEVEL 4 FINISH READY FOR PAINT BY OTHERS.
F 2	LT GA FURRING	1. ONE (1) LAYER OF GYPSUM WALL BOARD, 5/8" 2. METAL STUD, 1 5/8			NO	-	-	TAPE AND COMPOUND ALL DRYWALL. PROVIDE LEVEL 4 FINISH READY FOR PAINT BY OTHERS.



5 GWB CORNER DETAIL
12" = 1'-0"

GENERAL NOTES (DOOR SCHEDULE)

1. GC TO COORDINATE ALL DOOR HEIGHTS WITH SADDLE DETAILS
2. ALL HOLLOW METAL FRAMES TO BE FULLY WELDED, UON
3. DOOR SUBMITALLS TO DOCUMENT FRAME INSTALLATION HEIGHTS AND COORDINATE CORRESPONDING UNDERCUT DIMENSIONS FOR ALL DOOR TYPES



1 LEGEND_DOOR PANEL TYPE ELEVATIONS
1/4" = 1'-0"

DOOR SCHEDULE

TYPE	MATERIAL	PANEL TYPE	WIDTH	HEIGHT	DR THICKNESS	FRAME	HEAD/ JAMB	HARDWARE SET	NOTES
1-1.1	MDF + MINERAL CORE	FLUSH	3' - 0"	7' - 2"	1 3/4"	HM	HEAD/JAMB 2	1	45 MIN FPSC
2-1.2	MDF	DOUBLE FLUSH	5' - 0"	8' - 0"	1 3/4"	WD	HEAD/JAMB 1	2	WITH LOUVERS
2-2.2	MDF	DOUBLE FLUSH	4' - 4"	8' - 0"	1 3/4"	WD	HEAD/JAMB 1	2	WITH LOUVERS
2-3.3	MDF	DOUBLE FLUSH	4' - 6"	8' - 0"	1 3/4"	WD	HEAD/JAMB 1	3	

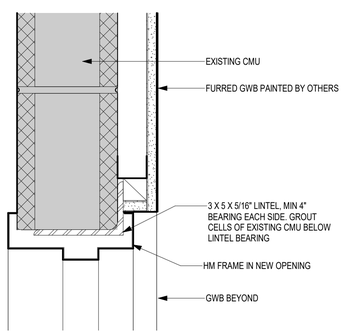
PREP AND PAINT ALL DOORS AND FRAMES

HARDWARE SET SCHEDULE

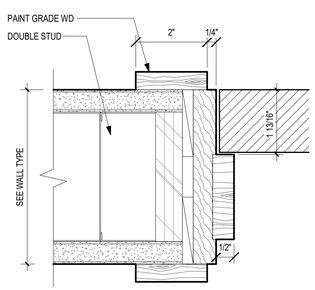
HW SET	HARDWARE TYPE	ARCHITECTURAL TRIM	HINGES/SLIDER	DOOR STOP	LOCKSET	CLOSER	GASKETING	DOOR BOTTOM	SILENCER
1	ENTRY	MANUF/MODEL: CORBIN RUSSWIN CITATION LEVER WITH ROUND ROSE FINISH: STAINLESS STEEL (32D)	MANUF/MODEL: MCKINNEY TA714 OR EQUAL FINISH: STAINLESS STEEL	WALL STOP IVES 61A	TUBULAR PRIVACY SET	YES	PEMKO EV2320BL VINYL SADDLE	N/A	(3) ROCKWOOD 608 OR EQUAL
2	UTILITY CLOSET	MANUF/MODEL:CORBIN RUSSWIN CITATION LEVER WITH ROUND ROSE FINISH: STAINLESS STEEL (32D) AT INACTIVE DOOR DUMMY LEVER AND FLUSH BOLT TOP AND BOTTOM	MANUF/MODEL: MCKINNEY TA714 OR EQUAL FINISH: STAINLESS STEEL	N/A	CLOSET LOCKSET	N/A	N/A	N/A	(2) ROCKWOOD 608 OR EQUAL
3	STORAGE CLOSET	MANUF/MODEL:CORBIN RUSSWIN CITATION LEVER WITH ROUND ROSE FINISH: STAINLESS STEEL (32D)	MANUF/MODEL: MCKINNEY TA714 OR EQUAL FINISH: STAINLESS STEEL	N/A	DUMMY LEVER WITH ROLLER CATCH	N/A	N/A	N/A	(2) ROCKWOOD 608 OR EQUAL

ALL DOOR HARDWARE BRUSHED STAINLESS STEEL

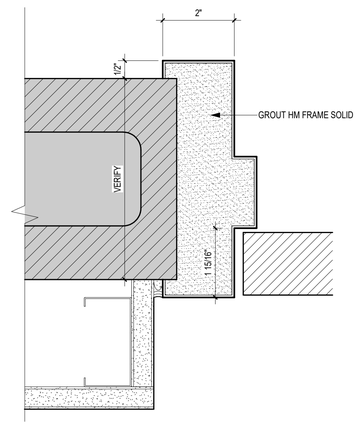
COORDINATE KEYING AND KEYWAYS WITH OWNER



4 ENTRY DOOR 1-1.1 HEAD DETAIL
3" = 1'-0"



3 HEAD/JAMB 1 - DOUBLE RABBET WD FRAME ON DRYWALL
6" = 1'-0"



2 HEAD/JAMB 2 - DOUBLE RABBET METAL FRAME MASONRY W/ FURRING
6" = 1'-0"

7	BID SET	05.06.2024
6	ISSUED FOR FILING	02.21.2024
5	REVISED PER PARKS	02.16.2024
4	REVIEW SET	01.26.2024
3	REVIEW SET	01.19.2024
2	ISSUED	12.22.2023
1	REVIEW SET	10.30.2023

ISSUE/REVISION **DATE**

APPLICANT

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945 N BROADWAY
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PROJECT NAME

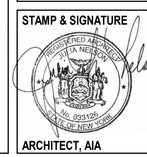
Untermyer Multipurpose Room
945 N BROADWAY
YONKERS, NY 10701

DOB JOB #: 000000000

DRAWING TITLE

PARTITION AND DOOR TYPES, SCHEDULES

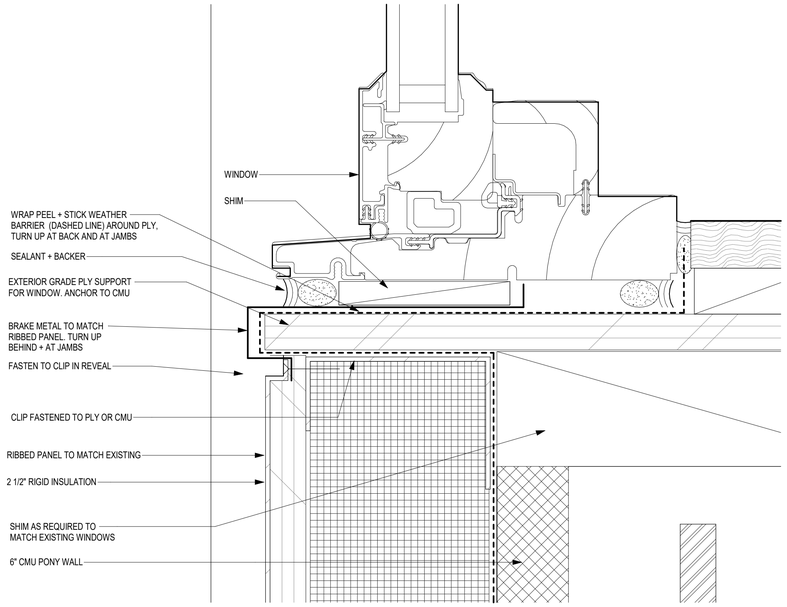
STAMP & SIGNATURE



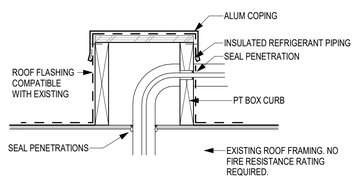
ARCHITECT, AIA

PROJECT NO.	2210
DATE:	03/20/23
SCALE:	As indicated
SHEET NO.	8 OF 9

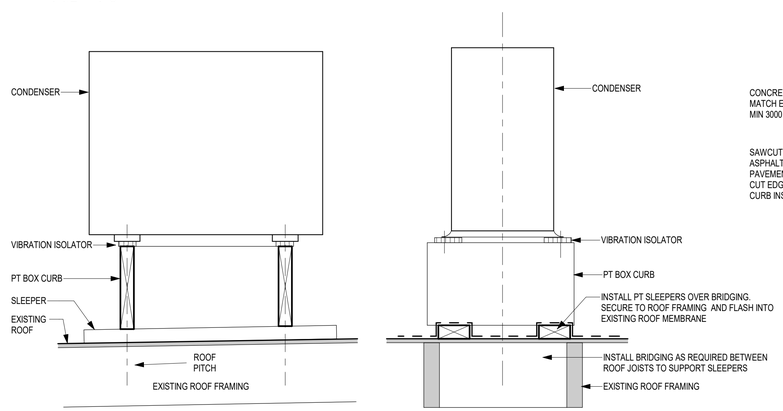
A-700



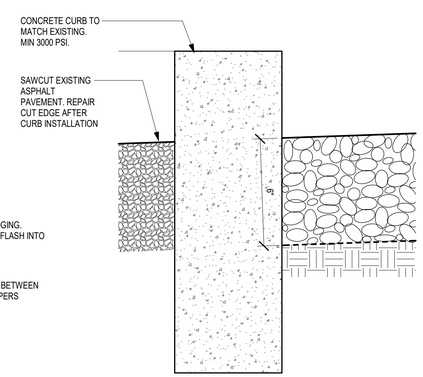
5 WINDOW SILL DETAIL
12" = 1'-0"

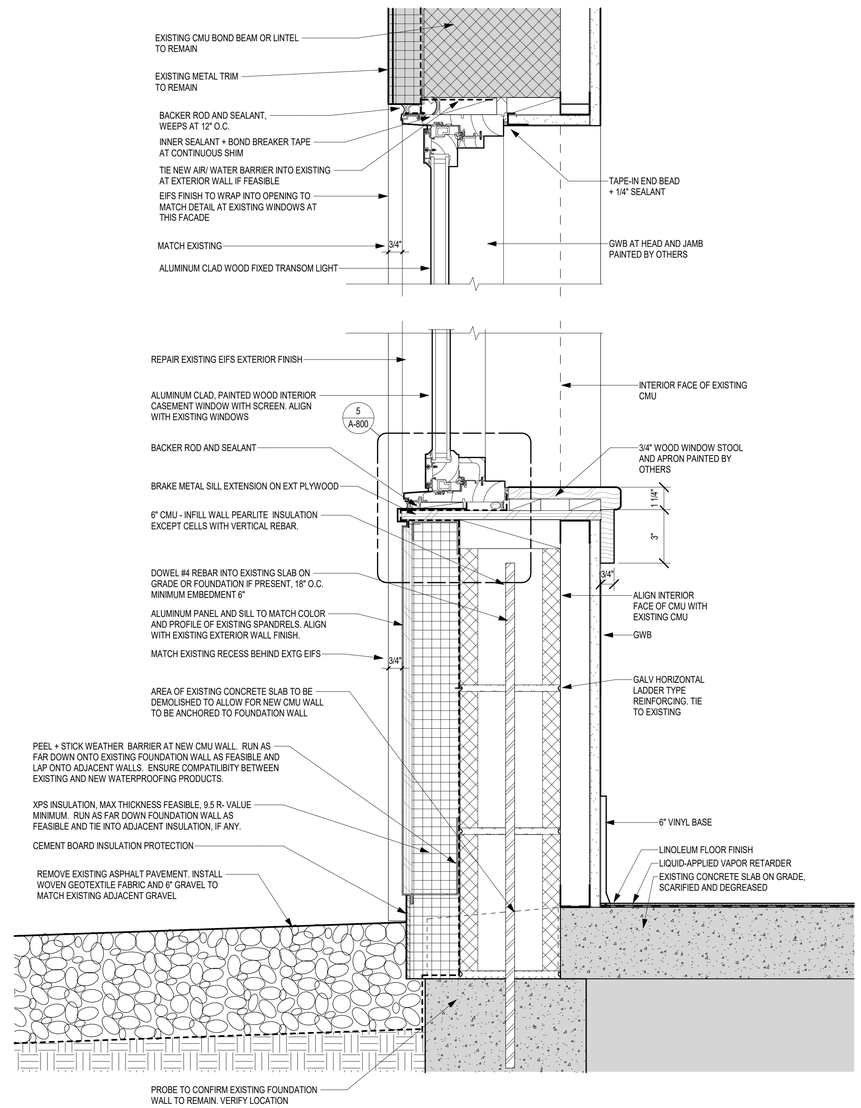


3 ROOF PENETRATION
1 1/2" = 1'-0"



2 CONDENSER INSTALLATION DETAIL
1 1/2" = 1'-0"





KNEE WALL ALTERNATES	
BASE BID PROBE EXTERIOR TO CONFIRM EXISTANCE OF FOUNDATION BELOW SLAB REMOVE SLAB-ON-GRADE AS REQUIRED TO INSTALL CMU DIRECTLY ON TOP OF FOUNDATION AS SHOWN	DEDUCT ALTERNATE INSTALL CMU ON TOP OF SLAB-ON-GRADE EMBED REBAR MIN 4" INTO SLAB-ON-GRADE.

1 EXTERIOR WALL SECTION
3" = 1'-0"

8	BID SET	05.06.2024
7	FILING REVISIONS	04.09.2024
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DRAWING TITLE

DETAILS

STAMP & SIGNATURE

REGISTERED ARCHITECT JOSEPH A. NEELON No. 093126 STATE OF NEW YORK

ARCHITECT, AIA

PROJECT NO.	**2210**
DATE:	**03/17/23**
SCALE:	**As indicated**
SHEET NO.	**9 OF 9**

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