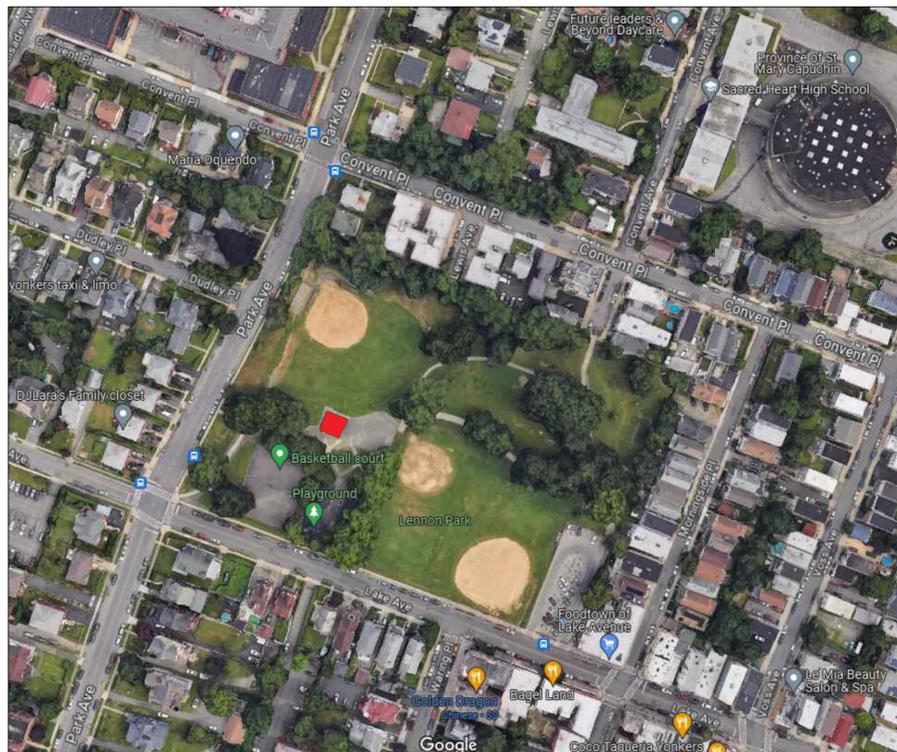


RESTROOM REHABILITATION AND REPAIR

AT LENNON PARK LAKE AVENUE AND PARK AVENUE

YONKERS

NEW YORK



PLOT PLAN

LENNON PARK RESTROOMS

PROPERTY INFORMATION			
ZONING:	M	OWNER:	CITY OF YONKERS
BLOCK:	2440		
LOT:	11.64	NO. OF STORIES:	1



GENERAL NOTES

1. WORK MUST CONFORM TO THE OTHER REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE, FIRE DEPARTMENT REGULATIONS AND ALL APPLICABLE LAWS, UTILITY COMPANY REQUIREMENTS AND BEST TRADE PRACTICES.
2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIREMENTS CERTIFICATES OF INSURANCE WITH DEPARTMENT OF BUILDING. OBTAIN ALL REQUIRED PERMITS FROM ALL APPLICABLE N.Y.S. AGENCIES. COPIES OF ALL CERTIFICATES AND PERMITS SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER BEFORE WORK COMMENCES.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PROPER TO COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE PROFESSIONAL ENGINEER, REGISTERED ARCHITECT.
4. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PRIOR CONSTRUCTION OF ANY PART OF WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, AND THE PROFESSIONAL ENGINEER, REGISTERED ARCHITECT AND OWNER SHALL BE NOTIFIED IN THE WRITING PRIOR TO COMMENCING WORK.
5. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITH IN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITIES FOR ANY DAMAGE AND INJURIES CAUSED BY DURING THE EXECUTION OF THE WORK.
7. PLUMBING AND ELECTRICAL WORK IF ANY SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADE, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN OFF.
8. THE CONTRACTOR SHALL DO ALL PATCHING AND CUTTING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
9. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED AND PLUGGED.
10. AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE DEPARTMENT OF BUILDING BEFORE THE COMMENCEMENT OF ANY WORK FOR WHICH A WORK PERMIT HAS BEEN OBTAINED. BEFORE ANY WORK COMMENCED ON AN ITEM OF CONSTRUCTION REQUIRING CONTROLLED INSPECTION ALL PERSONS RESPONSIBLE FOR SUCH CONTROLLED INSPECTIONS SHALL BE NOTIFIED IN WRITING AT LEAST SEVENTY-TWO HOURS PERIOD TO SUCH COMMENCEMENT. CONTRACTOR SHALL ALL PERMIT APPROVALS AND EXPEDITING FEES.
11. SHORING OF MEMBERS AND PROTECTIONS OF THE EXISTING STRUCTURE DURING CONSTRUCTION IS THE RESPONSIBILITY OF CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS OF LOCAL AND STATE CODES.

LIST OF DRAWINGS

T-001.00	TITLE SHEET AND GENERAL NOTES
A-101.00	RESTROOM PLANS
A-201.00	RESTROOM INTERIOR ELEVATIONS
A-202.00	RESTROOM INTERIOR ELEVATIONS
A-203.00	BUILDING EXTERIOR ELEVATIONS
A-400.00	DETAILS
A-401.00	DETAILS

CONSULTANT:

CLIENT:



Department of Parks, Recreation & Conservation
285 Nepperhan Avenue
Yonkers, NY 10701

KEY PLAN:



NUMBER	ISSUED FOR	DATE
4	DOB FILING / BID	7-30-24
3	FINAL CLIENT REVIEW	6-10-24
2	CD REVIEW	4-24-24
1	PRELIMINARY REVIEW	3-09-24

NUMBER	ISSUED FOR	DATE
Revision Schedule		

PROJECT:

**RESTROOM RENOVATIONS
LENNON PARK
YONKERS, NY**

DWG TITLE:

**TITLE SHEET AND
GENERAL NOTES**

PROJECT #: 24-0235-00

SCALE: AS NOTED

DOB JOB #: BXXXXXXX

DRAWN BY: GJM/JP

CHECKED BY: BP



DWG NO. **T-001.00**

CONSULTANT:

CLIENT:



Department of Parks, Recreation & Conservation
285 Nepperhan Avenue
Yonkers, NY 10701

KEY PLAN:



SITE

NUMBER	ISSUED FOR	DATE
4	DOB FILING / BID	7-30-24
3	FINAL CLIENT REVIEW	6-10-24
2	CD REVIEW	4-24-24
1	PRELIMINARY REVIEW	3-09-24

NUMBER	ISSUED FOR	DATE
Revision Schedule		

PROJECT:

**RESTROOM RENOVATIONS
LENNON PARK
YONKERS, NY**

DWG TITLE:

RESTROOM ELEVATIONS

PROJECT #: 24-0235-00

SCALE: AS NOTED

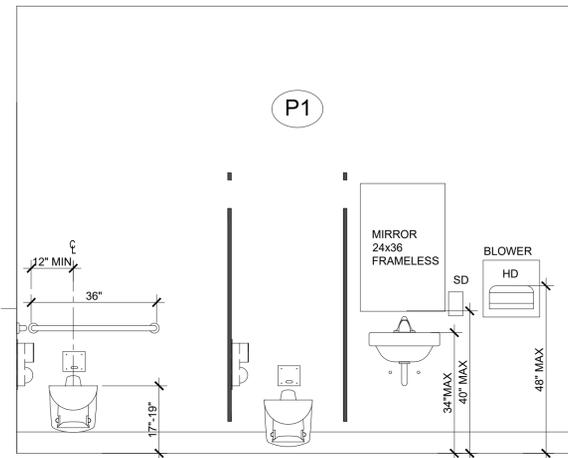
DOB JOB #: BXXXXXXX

DRAWN BY: GJM/JP

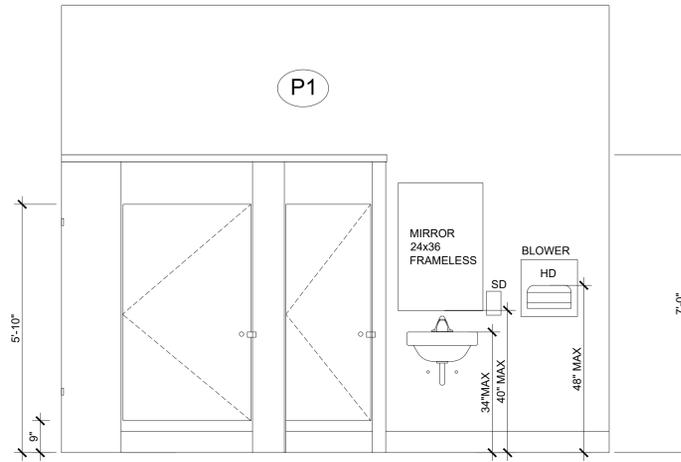
CHECKED BY: BP

SEAL
STATE OF NEW YORK
BRUNO PIETROSAVVI
No. 02051
REGISTERED ARCHITECT

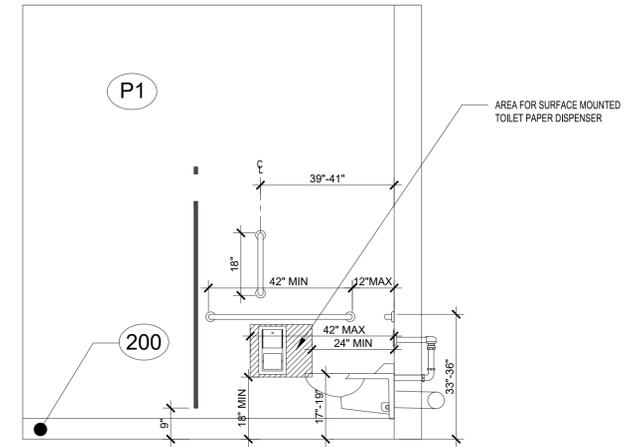
DWG NO:
A-201.00



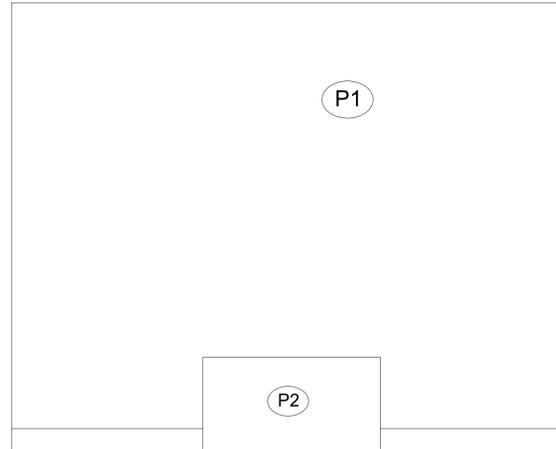
WOMEN'S ROOM ELEVATION -A-
SCALE: 1/2"=1'-0"



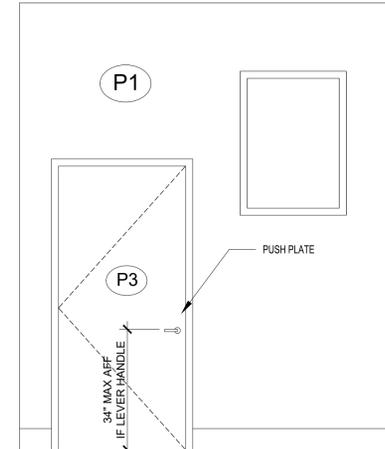
WOMEN'S ROOM ELEVATION -B-
SCALE: 1/2"=1'-0"



WOMEN'S ROOM ELEVATION -C-
SCALE: 1/2"=1'-0"



WOMEN'S ROOM ELEVATION -D-
SCALE: 1/2"=1'-0"



WOMEN'S ROOM ELEVATION -E-
SCALE: 1/2"=1'-0"



CONSULTANT:

CLIENT:



Department of Parks, Recreation & Conservation
285 Nepperhan Avenue
Yonkers, NY 10701

KEY PLAN:



SITE

NUMBER	ISSUED FOR	DATE
4	DOB FILING / BID	7-30-24
3	FINAL CLIENT REVIEW	6-10-24
2	CD REVIEW	4-24-24
1	PRELIMINARY REVIEW	3-09-24

NUMBER	ISSUED FOR	DATE
Revision Schedule		

PROJECT:

**RESTROOM RENOVATIONS
LENNON PARK
YONKERS, NY**

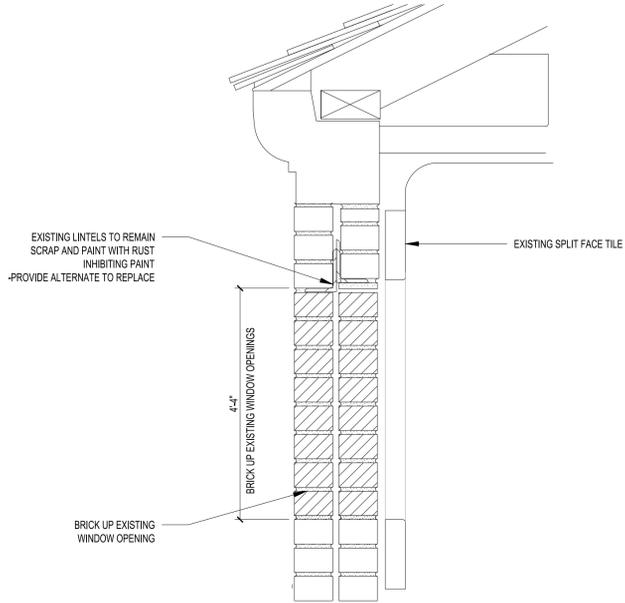
DWG TITLE:

DETAILS

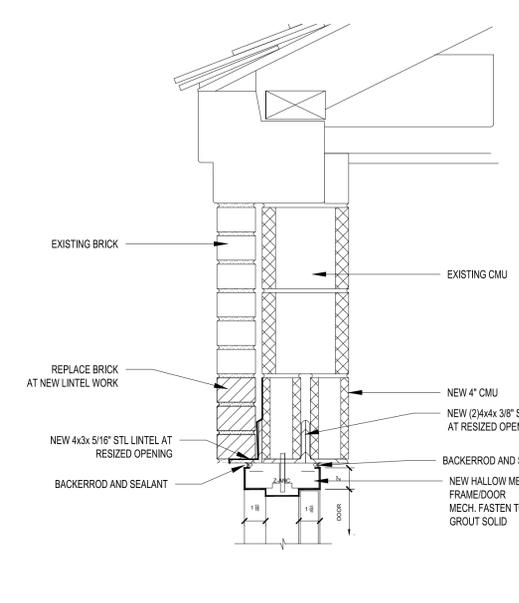
PROJECT #:	24-0235-00
SCALE:	AS NOTED
DOB JOB #:	BXXXXXX
DRAWN BY:	GJM/JP
CHECKED BY:	BP

SEAL
STATE OF NEW YORK
BRUNO PIETROSEWICZ
REGISTERED ARCHITECT
No. 020574

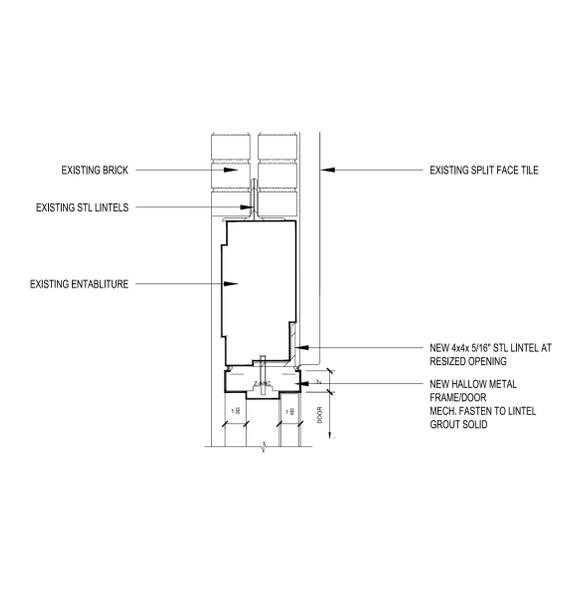
DWG NO. **A-400.00**



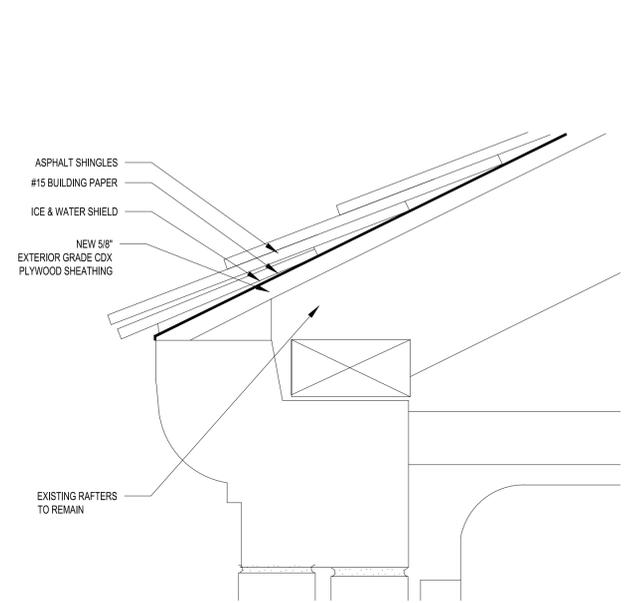
EXISTING WINDOW - BRICKED UP DETAIL
SCALE: 1/2"=1'-0"



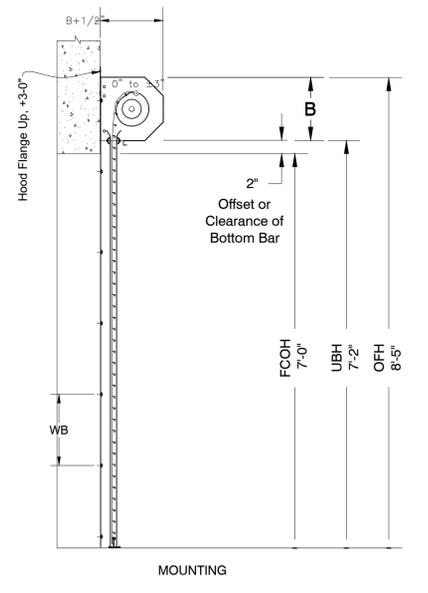
NEW LINTEL DETAIL
SCALE: 1/2"=1'-0"



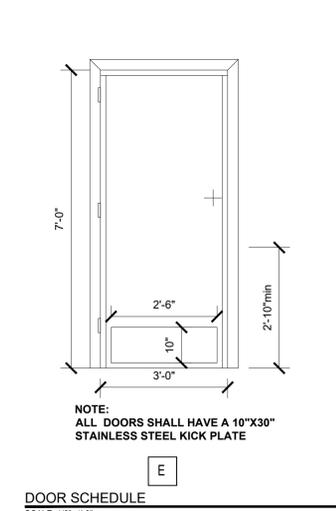
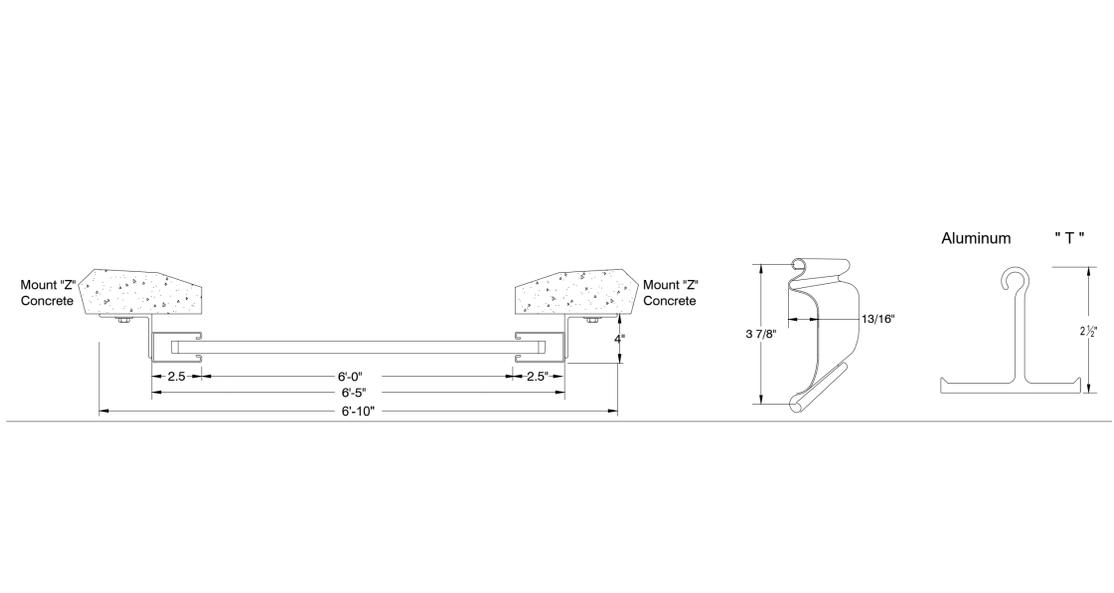
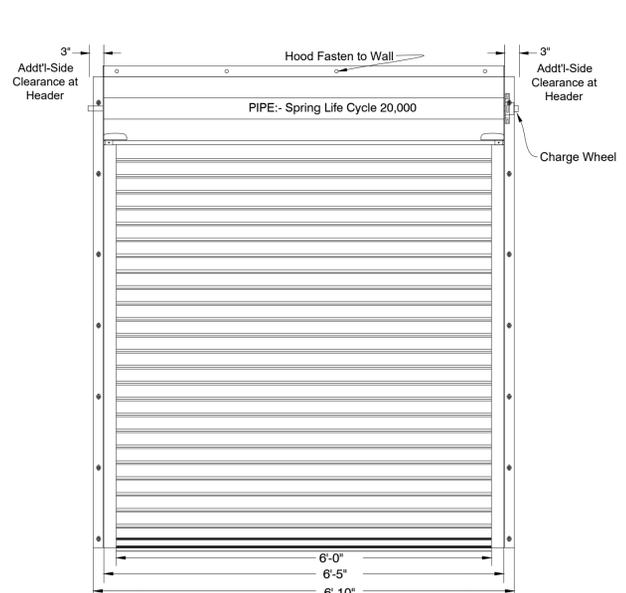
NEW LINTEL DETAIL @ ENTABLATURE
SCALE: 1/2"=1'-0"



ROOFING DETAIL
SCALE: 1/2"=1'-0"

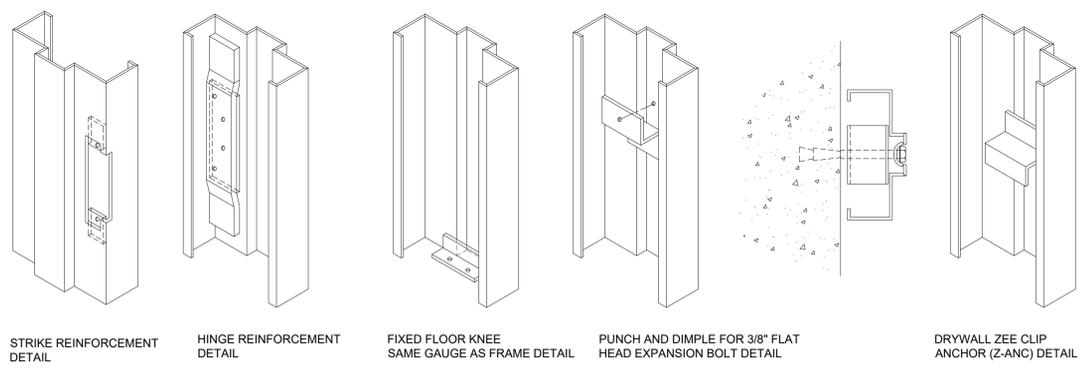


MANUAL PUSH-UP ROLL GATE
SCALE: NTS

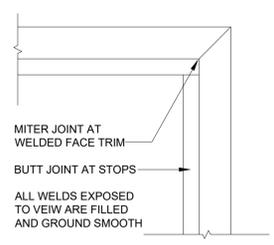


DOOR SCHEDULE
SCALE: 1/2"=1'-0"

- EXTERIOR DOORS AND FRAMES: SDI-100 GRADE III, EXTRA HEAVY DUTY, MODEL 2, MINIMUM 14-GAUGE FACES.
 - SUPPORTS AND ANCHORS: FABRICATE OF NOT LESS THAN 18 GAUGE GALVANIZED SHEET STEEL.
- DOOR HARDWARE:**
BRAND: DORMAKABA
MANUFACTURER PART NUMBER: DB161J626AM 28752 5103 SCMKD
ANSI: GRADE1
LOCK ASSEMBLY TYPE: CYLINDRICAL
CYLINDER CORE TYPE: SMALL FORMAT INTERCHANGEABLE CORE CYLINDER
INCLUDES CORE: CORE INCLUDED
NUMBER OF PINS: 6
BACK SET: 2-3/4 IN
DOOR THICKNESS - MAXIMUM 2 INDOOR THICKNESS - MINIMUM 1-3/8 IN
MATERIAL: BRASS
FINISH: SATIN NICKEL-PLATED, CLEAR COATED
KEY TYPE: KEYED DIFFERENT
NUMBER OF KEYS: 2
INSIDE LOCKING ACCESS: NOT LOCKABLE
OUTSIDE LOCKING ACCESS: KEYWAY
THROW LENGTH: 1 IN
FACEPLATE HEIGHT: 2-1/4 IN FACEPLATE WIDTH 1-1/8 IN
STRIKE PLATE HEIGHT 2-3/4 IN
STRIKE PLATE WIDTH 1-1/8 IN
LOCATION TYPE: COMMERCIAL
SECURITY TYPE: HEAVY-DUTY
LIGATURE RESISTANCE: NOT LIGATURE-RESISTANT
ADA COMPLIANT: YES
UL FIRE RATING UL108, UL10C INCLUDES KEYS
FIRE RATING: 3 HR
STANDARDS ANSI A117.1, ANSI/BHMA A156.5, UL AND CUL LISTED
KEYWAY TYPE: SCHLAGE C
PROPERTIES: LOCKING
UNSPSC:46171503
- TRIMCO 1035-3 ULTIMATE RESTROOM
PULL PLATE - 4' X 16'



DOOR FRAME DETAILS
SCALE: 1/2"=1'-0"



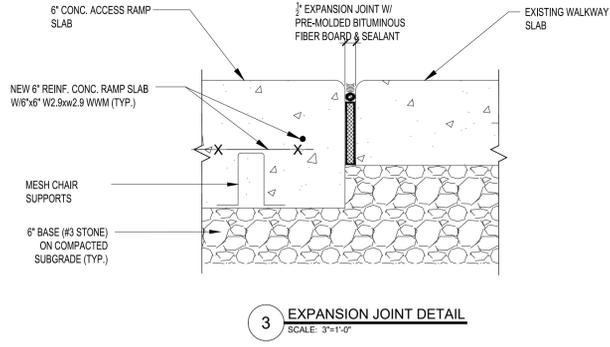
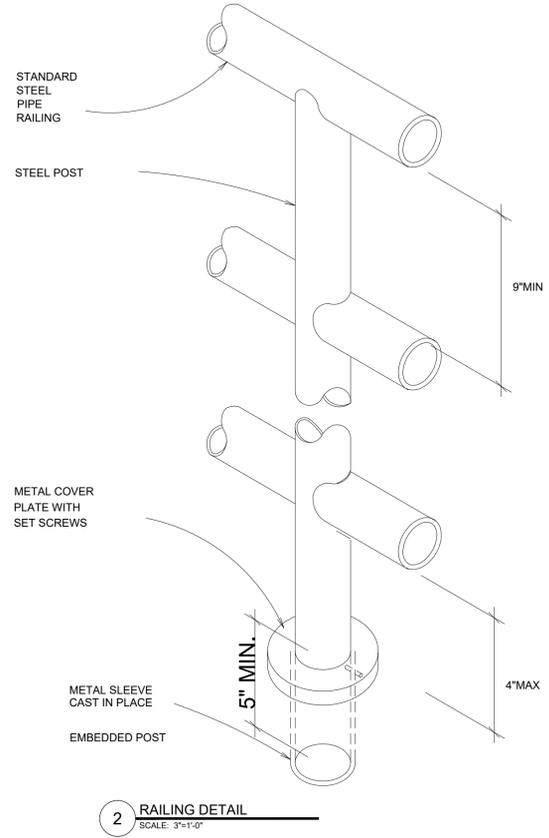
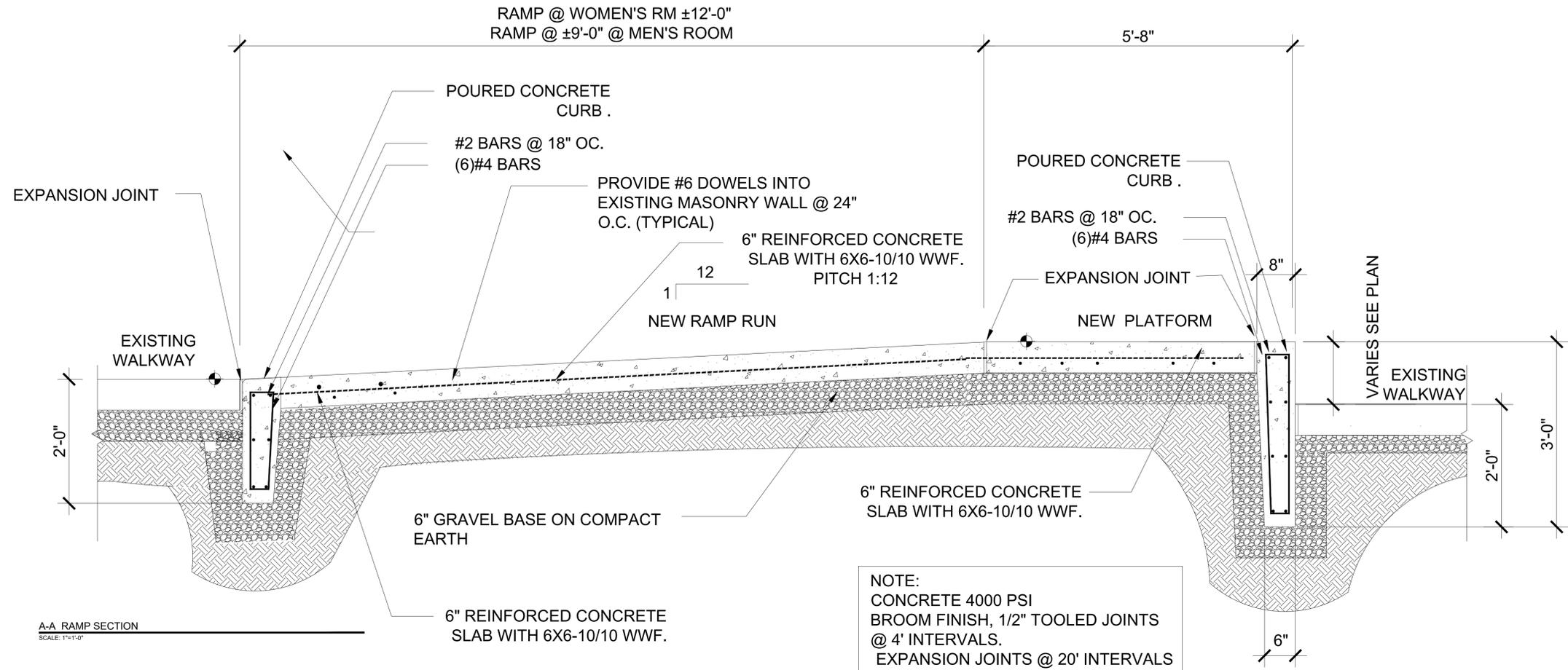
CONSULTANT:

CLIENT:



Department of Parks, Recreation & Conservation
285 Nepperhan Avenue
Yonkers, NY 10701

KEY PLAN:



NUMBER	ISSUED FOR	DATE
4	DOB FILING / BID	7-30-24
3	FINAL CLIENT REVIEW	6-10-24
2	CD REVIEW	4-24-24
1	PRELIMINARY REVIEW	3-09-24

NUMBER	ISSUED FOR	DATE
Revision Schedule		

PROJECT:
**RESTROOM RENOVATIONS
LENNON PARK
YONKERS, NY**

DWG TITLE:
DETAILS

PROJECT #: 24-0235-00
SCALE: AS NOTED
DOB JOB #: BXXXXXX
DRAWN BY: GJM/JP
CHECKED BY: BP

SEAL OF NEW YORK STATE
BRUNO PIETROSKI
REGISTERED ARCHITECT
No. 02051

DWG NO:
A-401.00

SHEET 7 OF 7