

Keyed Roof Restoration Notes

- 1R PROVIDE COATED FOAMED ROOFING RESTORATION, TYPICAL AT ALL ROOF AREAS INDICATED ON PLAN. SEE SPECIFICATION SECTION 07 57 10 - COATED FOAMED ROOFING RESTORATION INCLUDING ROOF MOISTURE SCANS ATTACHED TO SPECIFICATION AND ROOF TYPE RS-3 DETAIL.
- 2R PROVIDE CONTINUOUS 30" WIDE ROOF WALKWAY COATING SYSTEM, COORDINATE LOCATIONS WITH EXISTING PENETRATIONS, VERIFY IN FIELD. SEE SECTION 07 57 10 - COATED FOAMED ROOFING RESTORATION.
- 3R PROVIDE COATED FOAMED ROOF RESTORATION AT VERTICAL SURFACE, APPROXIMATE HEIGHT AS INDICATED ON PLAN. SEE SECTION 07 57 10 - COATED FOAMED ROOFING RESTORATION.
- 4R EXISTING EXPANSION JOINT LOCATION, PROVIDE CONTINUOUS 24" MIN. WIDTH MESH REINFORCEMENT, TYPICAL AT ALL EXPANSION JOINTS, CRACKS, WALL BASE FLASHING, AND TERMINATION LOCATIONS. NOT ALL LOCATIONS ARE SHOWN ON PLAN. VERIFY IN FIELD. SEE SECTION 07 57 10 - COATED FOAMED ROOFING RESTORATION AND DETAIL 4ZA750.
- 5R EXISTING CURB/PARAPET WITH PRECAST CONCRETE COPING, REPLACE DETERIORATED UNITS AND PROVIDE POINTING MORTAR AND SEALANT AT ALL JOINTS BY OTHERS PRIOR TO ROOF RESTORATION WORK. COORDINATE WITH OTHER PRIME CONTRACTORS. PREPARE ALL SURFACES, PROVIDE BUTYL FLEECE TAPE REINFORCING AT ALL SURFACES AND EXTEND COATED FOAMED ROOFING RESTORATION SYSTEM OVER TOP OF COPING. AT ROOF EDGE CONDITIONS, NEATLY MASK AND TERMINATE COATING SYSTEM AT EXTERIOR EDGE.
- 6R NEW PENETRATION AT EXISTING ROOFING SYSTEM. REMOVE EXISTING ROOFING MATERIALS TO ROOF DECK AND PATCH TO MATCH EXISTING MATERIALS AND THICKNESSES AFTER INSTALLATION OF PENETRATION PRIOR TO RECOATING. PROVIDE DECK OPENINGS, INTEGRAL TAPERED DIVERSION CRICKET AT UPSLOPE SIDE OF FRAMES AND CURB, TYPICAL COORDINATE WITH OTHER PRIME CONTRACTORS. SEE STRUCTURAL DRAWINGS AND DETAILS 8 AND 10ZA750.
- 7R EXISTING MECHANICAL EQUIPMENT LOOSE OVER ROOF TO BE REMOVED AND REINSTALLED ON SUPPORT SYSTEM BY OTHERS. SEAL ALL PENETRATIONS THROUGH ROOF. COORDINATE WITH OTHER PRIME CONTRACTORS.
- 8R EXISTING MECHANICAL EQUIPMENT ON SUPPORT RAILS TO REMAIN.
- 9R EXISTING ROOF DRAIN WITH MISSING OR PLASTIC STRAINER. PROVIDE GALVANIZED IRON DOME.
- 10R PROVIDE MOVABLE SAFETY RAILING SYSTEM.
- 11R EXISTING SURFACE MOUNTED ELECTRICAL BOX AND CONDUITS TO BE REMOVED AND REINSTALLED BY OTHERS. COORDINATE WITH OTHER PRIME CONTRACTORS.
- 12R EXISTING DOWNSPOUT. REMOVE CONCRETE SPLASH BLOCK AND PROVIDE RUBBER SPLASH BLOCK ON ROOF.
- 13R EXISTING PONDED AREA. SCARIFY EXISTING COATING AND PROVIDE ADDITIONAL THICKNESS OF SPRAY POLYURETHANE FOAM AS REQUIRED TO CREATE POSITIVE SLOPE TO ROOF DRAIN. VERIFY EXACT CONDITIONS IN FIELD.
- 14R REMOVE EXISTING WALL LADDER. PROVIDE ALUMINUM WALL LADDER, APPROX. HEIGHT AS INDICATED ON PLAN. VERIFY EXACT LOCATION IN FIELD. SEE DETAIL 6ZA750.
- 15R PROVIDE ALUMINUM WALL LADDER, APPROX. HEIGHT AS INDICATED ON PLAN. VERIFY EXACT LOCATION IN FIELD. SEE DETAIL 6ZA750.
- 16R NEW PENETRATION AT EXISTING ROOFING SYSTEM. REMOVE EXISTING ROOFING MATERIALS TO ROOF DECK AND PATCH TO MATCH EXISTING MATERIALS AND THICKNESSES AFTER INSTALLATION OF PENETRATION PRIOR TO RECOATING. PROVIDE DECK OPENING, INTEGRAL TAPERED DIVERSION CRICKET AT UPSLOPE SIDE OF CURB AND 30" X 36" ROOF HATCH. INTERIOR ALUMINUM WALL LADDER AND FALL PROTECTION RAIL SYSTEM. VERIFY EXACT LOCATION IN FIELD. PATCH TO MATCH EXISTING MATERIALS AND THICKNESSES AFTER INSTALLATION OF ROOF HATCH. COORDINATE EXACT LOCATION WITH FLOOR PLAN. SEE DETAIL 11ZA750.
- 17R DUCT OVER ROOF ON SUPPORTS. COORDINATE WITH OTHER PRIME CONTRACTORS.

General Roof Restoration Notes

- A. AT AREAS INDICATED FOR ROOF RESTORATION, WORK INCLUDES, BUT IS NOT LIMITED TO: PROVIDING COATED FOAM ROOFING RESTORATION AT ALL ROOF AREAS AND ADJACENT BASE FLASHINGS AND VERTICAL TRANSITIONS AS INDICATED ON ROOF TYPE RS-3 DETAIL AND SPECIFICATION SECTION 07 57 10 - COATED FOAMED ROOFING RESTORATION INCLUDING ROOF MOISTURE SCANS ATTACHED TO SPECIFICATION. ROOFING RESTORATION INCLUDES REMOVAL AND REPLACEMENT OF EXISTING WET, LOOSE, BLISTERED, DELAMINATED, CRACKED, CONTAMINATED OR ROOFING MATERIALS NOT SUITABLE FOR RE-COATING. REPLACEMENT FOAM IS TO BE INSTALLED AT REQUIRED THICKNESS/ELEVATION TO ELIMINATE PONDING AND PROVIDE POSITIVE DRAINAGE. PROVIDE REINFORCING AT ALL EXPANSION JOINTS, CRACKS, WALL BASE FLASHING, AND TERMINATION LOCATIONS AND ROOF WALKWAY SYSTEM AT LOCATIONS SHOWN ON DRAWINGS. SEE ROOF PLANS FOR SPECIFIC NOTES AND DETAILS.
- B. DRAWINGS ARE REPRESENTATIVE, AND MAY NOT EXACTLY INDICATE ALL FIELD CONDITIONS. CONTRACTOR IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS IN FIELD. A SITE VISIT/ROOF INSPECTION BY THE CONTRACTOR/INSTALLER PRIOR TO SUBMITTING BIDS IS STRONGLY RECOMMENDED.
- C. VERIFY IN FIELD LOCATIONS OF ALL EXISTING ROOF DRAINS AND PENETRATIONS PRIOR TO FIRST SUBMITTAL OF SHOP DRAWINGS.
- D. AT AREAS OF EXPOSURE, INSPECT ROOF DECK PRIOR TO ROOFING INSTALLATION. VERIFY THAT EXISTING MATERIALS ARE SOLID AND SECURE. NOTIFY ARCHITECT IMMEDIATELY IF DETERIORATED OR LOOSE MATERIALS ARE DISCOVERED.
- E. PROVIDE COMPLETE ROOFING INSTALLATION. PROTECT ALL ADJACENT SURFACES AS REQUIRED. RECONSTRUCT OR REPLACE ALL EXISTING ITEMS NOT SCHEDULED FOR WORK THAT ARE DAMAGED DURING ROOFING WORK.
- F. MAINTAIN WATERTIGHT CONDITIONS AT ALL TIMES.
- G. PROVIDE ROOFING SYSTEMS AND ALL RELATED COMPONENTS INDICATED BY THE CONTRACT DOCUMENTS AND AS REQUIRED TO ACHIEVE ROOF SYSTEM MANUFACTURER'S WARRANTY.
- H. AT EXISTING ROOF DRAIN LOCATIONS, REMOVE, CLEAN AND REINSTALL EXISTING DOME STRAINERS. CLEAN EXISTING DRAIN BOWL AND PIPING AS REQUIRED AND PERFORM HOSE TEST TO ENSURE FUNCTIONAL OPERATION BEFORE BEGINNING CONSTRUCTION. VERIFY DRAINS AND PIPING IS CLEAR AND IN WORKING ORDER. REPORT ANY OBSTRUCTIONS TO ARCHITECT AND OWNER PRIOR TO BEGINNING WORK. AT DRAIN LOCATIONS WITH MISSING OR PLASTIC STRAINERS, PROVIDE GALVANIZED IRON DOME.
- I. ALL MATERIALS SHALL COMPLY WITH CHAPTER 15 OF THE 2020 BCNYS.
- J. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL LOAD NOTES.
- K. ADDITIONAL CONSTRUCTION ACTIVITIES MAY BE TAKING PLACE DURING THIS PROJECT'S DURATION REQUIRING COORDINATION WITH THE DISTRICT AND OTHER PRIME CONTRACTORS.
- L. AT ALL ROOF EDGES WITH METAL FASCIA, CUT 1" V GROOVE AT SPF TERMINATION AGAINST METAL FASCIA AND FILL CONTINUOUS WITH SILICONE SEALANT, TYPICAL. SEE DETAIL 2ZA750.

Existing Conditions Notes

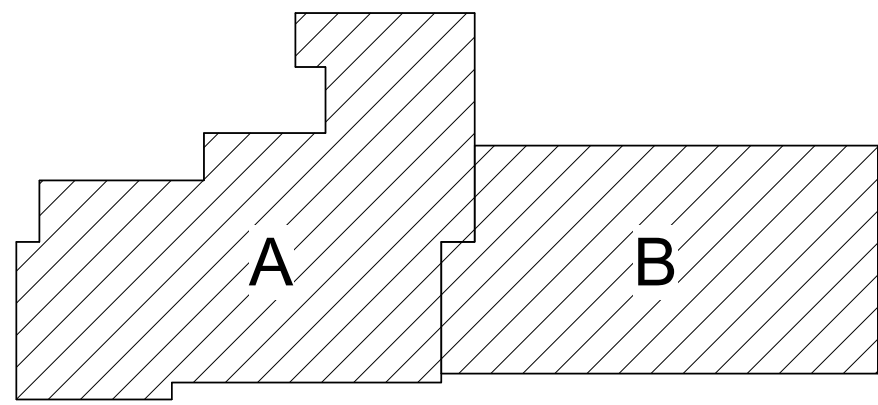
- A. THE FOLLOWING CONDITIONS WERE OBSERVED DURING TEST CUT ANALYSIS. THE CONTRACTOR IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS AND PROVIDE A COMPLETE REMOVAL OF ALL MATERIALS ABOVE THE ROOF DECK AT LOCATIONS INDICATED.
- B. TYPICAL AT AREAS OF ROOF RESTORATION:
- SILICONE COATING WITH GRANULES.
  - SPRAY-APPLIED POLYURETHANE FOAM - THICKNESS VARIES.
  - BUILT-UP ROOFING FELTS AND ASPHALT COATINGS.
  - METAL OR PLANK ROOF DECK.

General Notes - Applies to All Drawings

- A. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS.
- B. TAKE FIELD MEASUREMENTS TO FIT THE WORK PROPERLY. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD.
- C. REFER INCONSISTENCIES TO ARCHITECT PRIOR TO COMMENCING THE WORK IN AFFECTED AREA.
- D. ITEMS ARE SHOWN DIAGRAMMATICALLY ON DRAWINGS. VERIFY SPACE REQUIREMENTS AND DIMENSIONS TO FIT THE WORK PROPERLY.
- E. NOTES SHOWN ON ONE DRAWING APPLY TO ALL SIMILAR DRAWINGS.
- F. DO NOT DISTURB CONSTRUCTION SUSPECTED OF CONTAINING HAZARDOUS MATERIAL. IF ENCOUNTERED, IMMEDIATELY NOTIFY ARCHITECT, CONSTRUCTION MANAGER AND OWNER.
- G. WHERE EXISTING CONSTRUCTION IS DAMAGED OR DISTURBED, PATCH AS REQUIRED TO RESTORE SURFACES TO THEIR ORIGINAL CONDITION.
- H. PARTITION TYPE TAGS APPLY TO ENTIRE LENGTH OF WALL INDICATED BY THAT TAG, REGARDLESS OF OPENINGS WITHIN THAT WALL, TYPICAL UNLESS NOTED OTHERWISE.

Symbol/Hatch Legend

- INDICATES AREAS OF SPF ROOF SYSTEM TO BE RESTORED.
- EXISTING STRUCTURAL SLOPE
- EXISTING TAPERED INSULATION SLOPE, UNO ALL ROOF SURFACES ARE TO SLOPE TO DRAIN
- STRUCTURAL OR TAPERED INSULATION SLOPE
- ROOF DRAIN - EXISTING TO REMAIN, SEE KEYED ROOF RESTORATION NOTE 9R FOR LOCATIONS WITH MISSING STRAINER REQUIRING GALVANIZED CAST IRON DOME
- EQUIPMENT ON CURB (FANHOOID,ETC.)
- CURB WITH SOLID COVER, PROVIDE ROOF COATING
- PIPE PENETRATION
- EXPANSION JOINT
- EQUIPMENT ON SUPPORT RAILS WITH FLEXIBLE PENETRATION
- EQUIPMENT ON CURB (RTU)
- ROOF WALKWAY COATING SYSTEM
- ROOF HATCH
- DOWNSPOUT
- MOVABLE SAFETY RAILING SYSTEM
- TEST CUT LOCATION, SEE EXISTING CONDITIONS NOTES



Key Plan  
N.T.S.

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Tetra Tech Engineers, Architects & Landscape Architects, P.C.



Walkill Central School District  
Walkill, New York

Reconstruction to:  
John G. Borden Middle School

Roof Plan

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