Addition & Interior Renovations

Abbreviations		
AFFABOVE FINISH FLOORAFGABOVE FINISH GRADEALUMALUMINUMAPPROXAPPROXIMATEBMBEAMCLCENTERLINECJCONTROL JOINTCMUCONCRETE MASONRY UNITCOLCOLUMNCONCCONCRETECONTCONTINUOUSCOORDCOORDINATEELEVELEVATIONEPELECTRICAL PANELEXISTEXISTINGETREXISTING TO REMAINFNDFOUNDATIONFTGFOOTINGGWBGYPSUM WALL BOARD	HM HR INSUL LG MAX MIN MO NIC OPN'G OPP PT REQ RO SIM STL TYP UON VIF W/ W/O WD	HOLLOW METAL HOUR INSULATION LIGHT GAUGE METAL FRAMING MAXIMUM MINIMUM MASONRY OPENING NOT IN CONTRACT OPENING OPPOSITE PRESSURE TREATED REQUIREMENTS ROUGH OPENING SIMILAR STEEL TYPICAL UNLESS OTHERWISE NOTED VERIFY IN FIELD WITH WITHOUT WOOD
Library Director:		
LibraryBoard of Truste	Lindsay Jankovi	tz
	Denise Garofalo Kelli Kavanaugh Cheryl Werba, S Anita Jean McM Benjamin Kolan	, Vice President ecretary onigle
Architect:	57 West High St Ballston Spa, Ne ph: (518) 885-12	ew York 12020 255
Site Engineer:	www.brmarchite	ects.com
	Engineering & S 71 Clinton Stree Montgomery, N ph: (845) 457-77	Y 12549
Structural Engineer:		
	Preston Enginee 1 Avian Drive East Greenbush ph: (518) 396-90	, NY 12061
Mechanical, Electrical,	Plumbing E	ngineers:
	Sage Engineerin 9 Columbia Circ Albany, NY 1220 ph: (518) 453-60	03
THE ARCHITECT CERTIFIES THAT THIS PRO SUPERVISION, IN ACCORDANCE WITH THE STATE UNIFORM FIRE PREVENTION AND B STATE ENERGY CONSERVATION CONSTRU FEDERAL, STATE AND LOCAL LAWS, CODE KNOWLEDGE AND BELIEF, THESE DOCUME	EBUILDING CODE OF NEW UILDING CODE, LATEST JCTION CODE (OR LATES S, AND REGULATIONS, A	N YORK STATE / NEW YORK VERSION,THE 2002 NEW YORK ST VERSION), AND APPLICABLE AND TO THE BEST OF MY
Steven H. Rubard	024705	5/20/2025

THIS BUILDING MEETS OR EXCEEDS THE SEISMIC STRUCTURAL REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE AND THEREFORE SATISFIES THE REQUIREMENTS AS ESTABLISHED UNDER THE NATIONAL EARTHQUAKE HAZARD REDUCTION PROTECTION AC (NEHRPA).

Schedule of Drawings	Overall Site Plan
G1 COVER	
SITE	
C100 EXISTING CONDITIONS & DEMOLITION PLAN C101 SITE PLAN C102 GRADING & DRAINAGE PLAN C301 DETAILS	
STRUCTURAL	
S100 GENERAL NOTES AND SPECIFICATIONS S101 FOUNDATION PLAN S102 ROOF FRAMING PLAN S200 TYPICAL FOUNDATION SECTIONS + DETAILS S201 FOUNDATION SECTIONS S300 FRAMING SECTIONS + DETAILS S301 ROOF FRAMING SECTIONS AND DETAILS S400 LINTEL DETAILS S500 TYPICAL COLD FORMED METAL FRAMING DETAILS	Clintondale Ranch Resort
ARCHITECTURAL	Ardonia Locust Grove E
AR100 EXIST. CONDITIONS & REMOVALS PLAN AR101 EXIST. REFLECTED CEILING PLAN & REMOVALS A100 OVERALL FLOOR PLAN A101 REFLECTED CEILING PLAN A102 ROOF PLAN & DETAILS A103 FLOOR FINISH PLAN A200 ELEVATIONS A201 SECTIONS A300 WALL SECTIONS A300 WALL SECTIONS A301 WINDOW & DOOR DETAILS A302 DETAILS A400 RESTROOM PLANS & ELEVATIONS A600 MILLWORK F100 FURNITURE FLOOR PLAN	Modena Milton Milton
PLUMBING	32
P001 LEGEND, SYMBOLS AND DETAILS P002 DETAILS PR101 SANITARY, VENT & STORM REMOVAL PLAN PR102 DOMESTIC WATER REMOVAL PLAN P101 SANTIARY, VENT & STORM INSTALLATION PLAN P102 DOMESTIC WATER INSTALLATION PLAN	Marlboro Library N New H
MECHANICAL	
M001 LEGEND, SYMBOLS AND NOTES M002 DETAILS M003 DETAILS MR101 REMOVALS PLAN MR102 ROOF REMOVALS PLAN M101 HVAC INSTALLATION PLAN M102 HVAC ROOF INSTALLATION PLAN	
ELECTRICAL	
E001 ELECTRICAL LEGEND, NOTES & DETAILS ER101 POWER AND DATA REMOVALS PLAN ER201 LIGHTING REMOVALS PLAN ER301 FIRE ALARM REMOVALS PLAN E101 POWER AND DATA PLAN E102 MECHANICAL POWER PLAN E201 LIGHTING PLAN E301 FIRE ALARM PLAN	

- E501 LIGHTING FIXTURE SCHEDULE E601 PANEL SCHEDULES
- E602 PANEL SCHEDULES

for the Marlboro Free Library

1251 Route 9W, Marlboro, NY 12542



General Notes

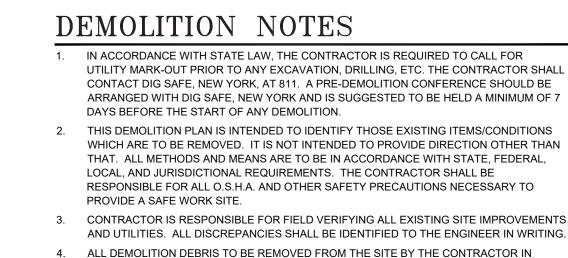
- G-1. DO NOT SCALE THE DRAWINGS.
- G-2. UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF FRAMING, CENTERLINE OF STEEL, OR EDGE OF ROUGH OPENING.
- G-3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION WORK.
- G-4. UNAUTHORIZED ADDITIONS TO OR ALTERATIONS OF THESE DOCUMENTS WITHOUT CONSULTING THE ARCHITECT IS A VIOLATION OF NYS EDUCATION LAW.
- G-5. ALL MATERIALS, PRODUCTS AND FINISHES SHALL BE INSTALLED IN FULL COMPLIANCE WITH ALL MANUFACTURER'S INSTRUCTIONS.
- G-6. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- G-7. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY DURING CONSTRUCTION IS THE CONTRACTOR'S RESPONSIBILITY.
- G-8. ALL WORK IS TO BE IN STRICT ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE, THE MECHANICAL AND PLUMBING CODES OF NEW YORK STATE, THE ENERGY CONSERVATION CODE OF NEW YORK STATE, THE NATIONAL ELECTRIC CODE AND ANY LOCAL ORDINANCES.
- G-9. GENERAL CONTRACTOR SHALL INSTALL ALL MISCELLANEOUS BLOCKING IN PARTITIONS AS REQUIRED TO SUPPORT AND FRAME WALL MOUNTED ITEMS.

Symbols Legend				
	ENLARGED PLAN or DETAIL NUMBER SHEET LOCATION			
	BUILDING SECTION NUMBER SHEET LOCATION			
	WALL SECTION NUMBER SHEET LOCATION			
	NEW WALL CONSTRUCTION			
	EXISTING WALL			
	NEW DOOR			
	EXISTING DOOR			

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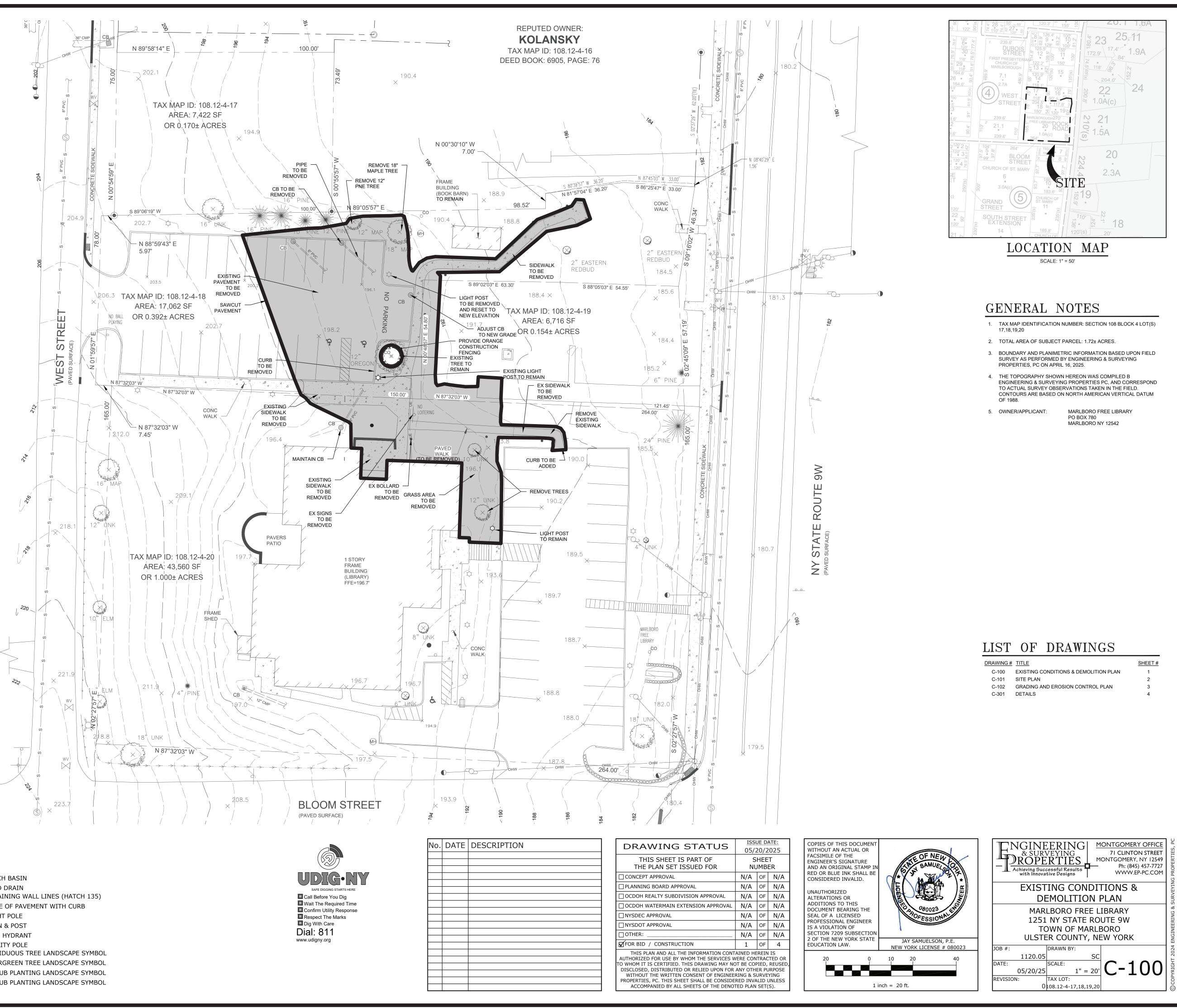


ALL DEMOLITION DEBRIS TO BE REMOVED FROM THE ACCORDANCE WITH ALL APPLICABLE REGULATIONS.

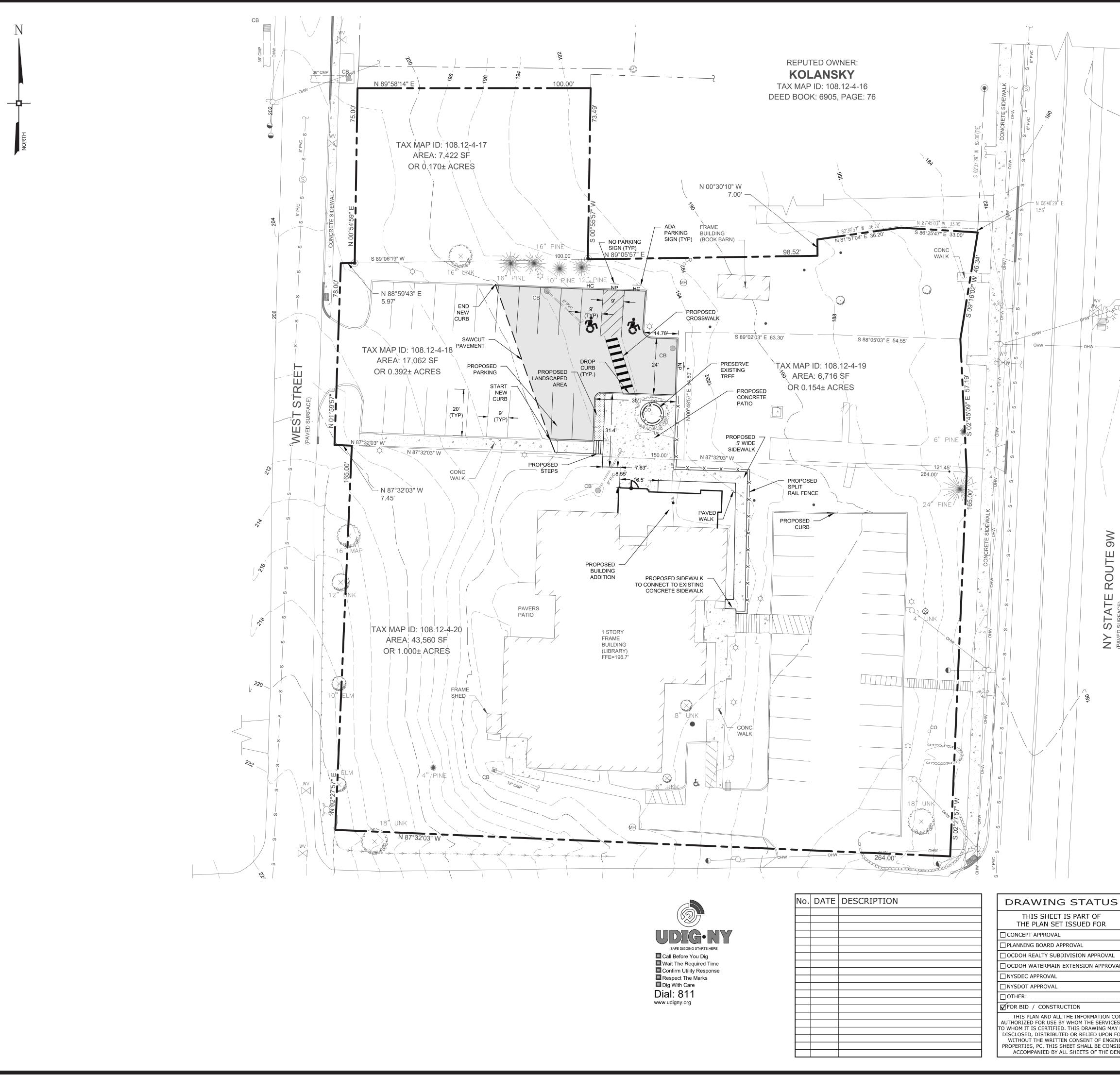
- 5. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS, AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THE ENGINEERING IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION THE CONTRACTOR IS RESPONSIBLE FOR/TO: a. ENSURING COPIES OF ALL PERMITS AND APPROVALS ARE OBTAINED AND MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW FOR THE ENTIRE DURATION OF ALL WORK.
- b. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
- c. ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
- d. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITY SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.e. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND
- IS RESPONSIBLE FOR ALL COORDINATION REGARDING PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- THE UNDERSIGNED ENGINEER IS NOT RESPONSIBLE FOR ANY REMEDIATION OF UNKNOWN OR UNDOCUMENTED EXISTING ENVIRONMENTAL CONDITIONS FOUND.
- 8. THE ENGINEER OR ENGINEER'S FIRM OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE O.S.H.A. REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- 9. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIR SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- 10. THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTING, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH ALL PLANS, NOTES, AND SPECIFICATIONS.
- 11. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS NECESSARY OR AT THE DIRECTION OF THE ENGINEER AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE "MANUAL ON UNIFORM TRAFFIC CONTROL", AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
- 12. CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. NO STREET CLOSURE PERMITS WILL BE PERMITTED.
- 13. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- 14. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- 15. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- DEMOLITION SHALL NOT PROCEED UNTIL THE LOCATION OF THE EXISTING UTILITIES ARE MARKED IN THE FIELD AND ALL UTILITY CONNECTIONS ARE SUITABLE SHUT OFF AND DISCONNECTED AND PROPER DEMOLITION PERMITS ARE IN PLACE WITH THE TOWN.
 CONTRACTOR MAY BE RESPONSIBLE TO SEED AND MULCH ALL DISTURBED SITE AREAS
- AS DIRECTED BY THE OWNER AND/OR ENGINEER.
 18. PROTECT ALL EXISTING UTILITIES TO REMAIN (INCLUDING DRAIN INLETS, HYDRANTS, VALVES, SEWER MANHOLES, ETC.) DURING DEMOLITION. THE CONTRACTOR IS
- RESPONSIBLE FOR ANY DAMAGES CAUSED BY THEMSELF OR SUB-CONTRACTORS.
 19. IF ANY ASBESTOS IS ENCOUNTERED WITHIN THE BUILDING DURING DEMOLITION, A QUALIFIED & LICENSED CONTRACTOR SHALL BE UTILIZED TO REMOVE SAID ASBESTOS. ANY ASBESTOS SHALL BE REMOVED IN ACCORDANCE WITH ALL APPLICABLE STATE AND FEDERAL REGULATIONS.

LEGEND

	BUILDING LINE		
	BUILDING GARAGE LINE		
	BUILDING ROOF LINE		
	CONCRETE PAD LINE		
	CONCRETE HATCH		
310	MAJOR CONTOUR LINE		
422	MINOR CONTOUR LINE		-
	CURB LINE		
_ · · · · · ·	LIMIT OF DISTURBANCE LINE		
	SILT FENCE LINES		
<u> </u>	GUIDERAIL LINES)
	MATCHLINES		>
	PARKING STALL STRIPE		
	SWPPP (CONSTRUCTION) PHASING L	INE	
	PROPERTY LINE		
	EDGE OF PAVEMENT LINE		
	BUILDING SETBACK LINES	_	
		_	CATCH B
	EDGE OF SIDEWALK LINES	_	YARD DR RETAINI
	STORM DRAIN LINES	_	EDGE OF
	STRIPING LINE	*	
	EXISTING BUILDING LINE	∽	SIGN & I
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422	EXISTING MINOR CONTOUR LINE	≫rv ℃	UTILITY
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	EXISTING EDGE OF PAVEMENT LINE	*	EVERGR
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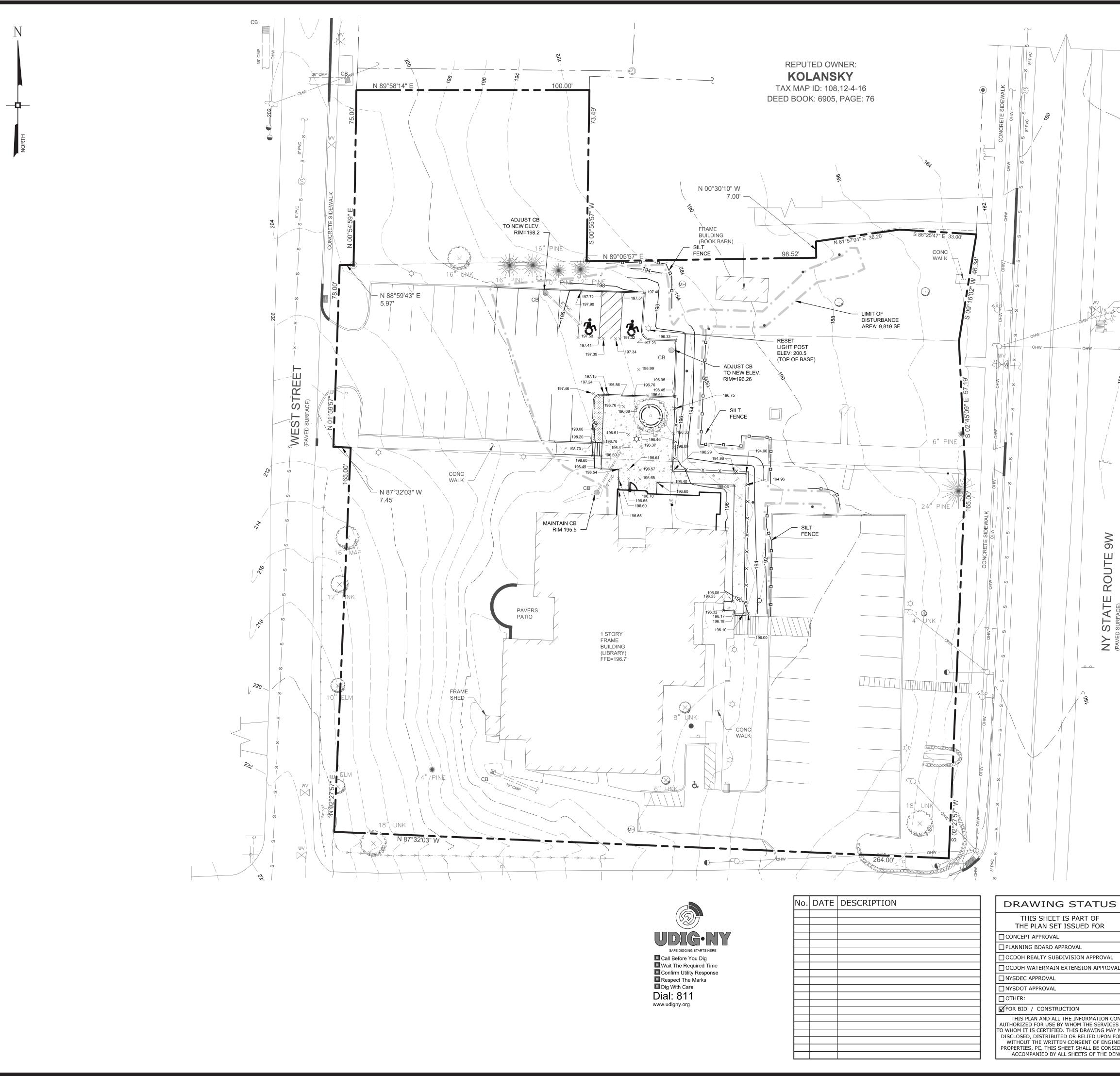


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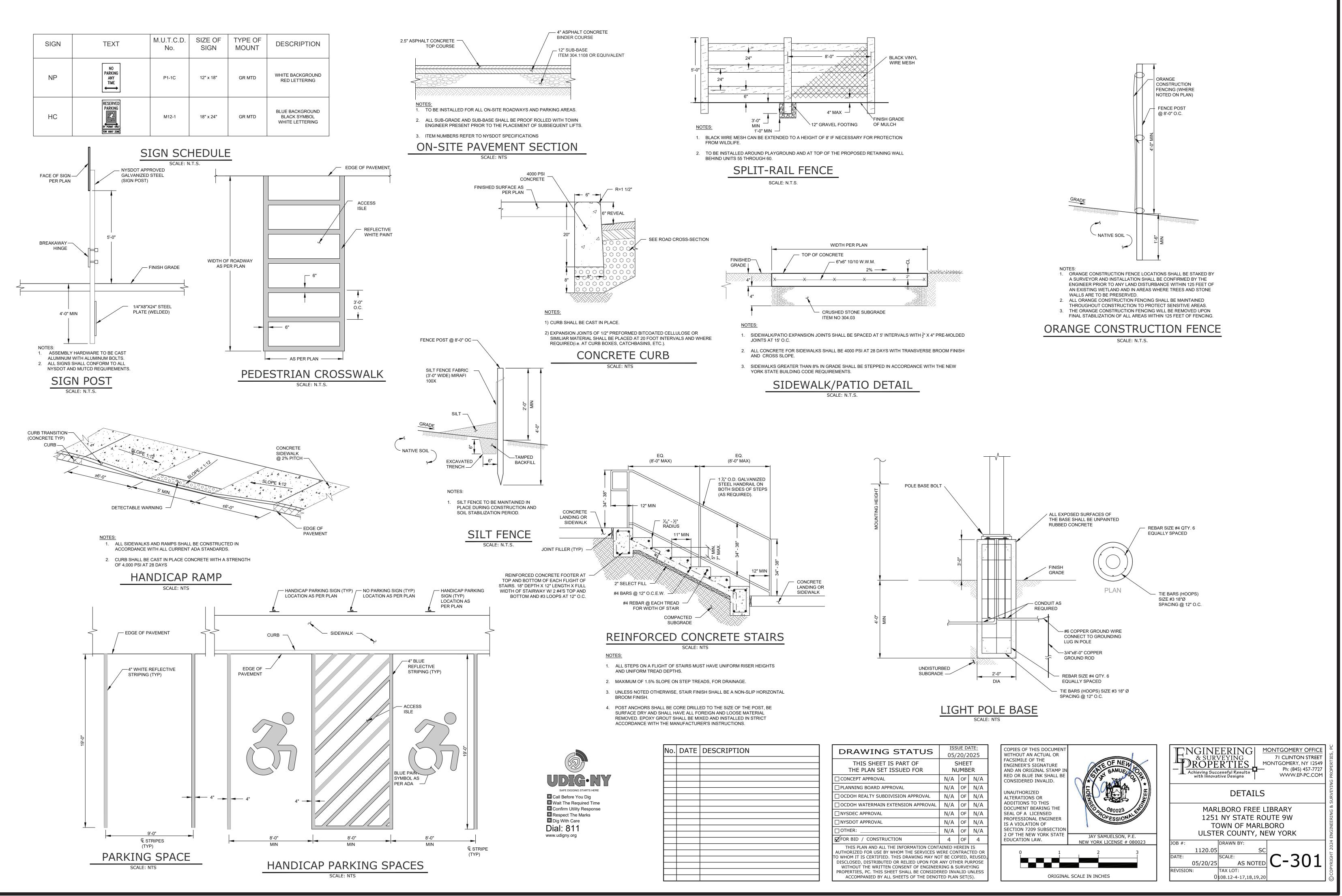
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