

# Addition & Interior Renovations

## for the

# Marlboro Free Library

1251 Route 9W, Marlboro, NY 12542

### Abbreviations

AFF	ABOVE FINISH FLOOR	HM	HOLLOW METAL
AFG	ABOVE FINISH GRADE	HR	HOUR
ALUM	ALUMINUM	INSUL	INSULATION
APPROX	APPROXIMATE	LG	LIGHT GAUGE METAL FRAMING
BM	BEAM	MAX	MAXIMUM
CL	CENTERLINE	MIN	MINIMUM
CJ	CONTROL JOINT	MO	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
COL	COLUMN	OPN'G	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONT	CONTINUOUS	PT	PRESSURE TREATED
COORD	COORDINATE	REQ	REQUIREMENTS
ELEV	ELEVATION	RO	ROUGH OPENING
EP	ELECTRICAL PANEL	SIM	SIMILAR
EXIST	EXISTING	STL	STEEL
ETR	EXISTING TO REMAIN	TYP	TYPICAL
FND	FOUNDATION	UCON	UNLESS OTHERWISE NOTED
FTG	FOOTING	VIF	VERIFY IN FIELD
GWB	GYPSUM WALL BOARD	W/	WITH
		W/O	WITHOUT
		WD	WOOD

### Library Director:

Lindsay Jankovitz

### Library Board of Trustees:

Denise Garofalo, President  
Kelli Kavanaugh, Vice President  
Cheryl Werba, Secretary  
Anita Jean McMonigle  
Benjamin Kolansky

### Architect:

Butler Rowland Mays Architects, LLP  
57 West High Street  
Ballston Spa, New York 12020  
ph: (518) 885-1255  
www.brmarchitects.com

### Site Engineer:

Engineering & Surveying Properties, PC  
71 Clinton Street  
Montgomery, NY 12549  
ph: (845) 457-7727

### Structural Engineer:

Preston Engineering, PLLC  
1 Avian Drive  
East Greenbush, NY 12061  
ph: (518) 396-9680

### Mechanical, Electrical, Plumbing Engineers:

Sage Engineering Associates, LLP  
9 Columbia Circle  
Albany, NY 12203  
ph: (518) 453-6091

THE ARCHITECT CERTIFIES THAT THIS PROJECT HAS BEEN DESIGNED BY ME, OR UNDER MY SUPERVISION, IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE / NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, LATEST VERSION, THE 2002 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE (OR LATEST VERSION), AND APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES, AND REGULATIONS, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS ARE IN CONFORMANCE THEREWITHIN.

*Steven G. Rowland*  
STEVEN G. ROWLAND, RA

024705

NYS REGISTRATION No.

5/20/2025

DATE

THIS BUILDING MEETS OR EXCEEDS THE SEISMIC STRUCTURAL REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE AND THEREFORE SATISFIES THE REQUIREMENTS AS ESTABLISHED UNDER THE NATIONAL EARTHQUAKE HAZARD REDUCTION PROTECTION ACT (NEHRPA).

### Schedule of Drawings

#### G1 COVER

#### SITE

C100 EXISTING CONDITIONS & DEMOLITION PLAN  
C101 SITE PLAN  
C102 GRADING & DRAINAGE PLAN  
C301 DETAILS

#### STRUCTURAL

S100 GENERAL NOTES AND SPECIFICATIONS  
S101 FOUNDATION PLAN  
S102 ROOF FRAMING PLAN  
S200 TYPICAL FOUNDATION SECTIONS + DETAILS  
S201 FOUNDATION SECTIONS  
S300 FRAMING SECTIONS + DETAILS  
S301 ROOF FRAMING SECTIONS AND DETAILS  
S400 LINTEL DETAILS  
S500 TYPICAL COLD FORMED METAL FRAMING DETAILS

#### ARCHITECTURAL

AR100 EXIST. CONDITIONS & REMOVALS PLAN  
AR101 EXIST. REFLECTED CEILING PLAN & REMOVALS  
A100 OVERALL FLOOR PLAN  
A101 REFLECTED CEILING PLAN  
A102 ROOF PLAN & DETAILS  
A103 FLOOR FINISH PLAN  
A200 ELEVATIONS  
A201 SECTIONS  
A300 WALL SECTIONS  
A301 WINDOW & DOOR DETAILS  
A302 DETAILS  
A400 RESTROOM PLANS & ELEVATIONS  
A600 MILLWORK  
F100 FURNITURE FLOOR PLAN

#### PLUMBING

P001 LEGEND, SYMBOLS AND DETAILS  
P002 DETAILS  
PR101 SANITARY, VENT & STORM REMOVAL PLAN  
PR102 DOMESTIC WATER REMOVAL PLAN  
P101 SANITARY, VENT & STORM INSTALLATION PLAN  
P102 DOMESTIC WATER INSTALLATION PLAN

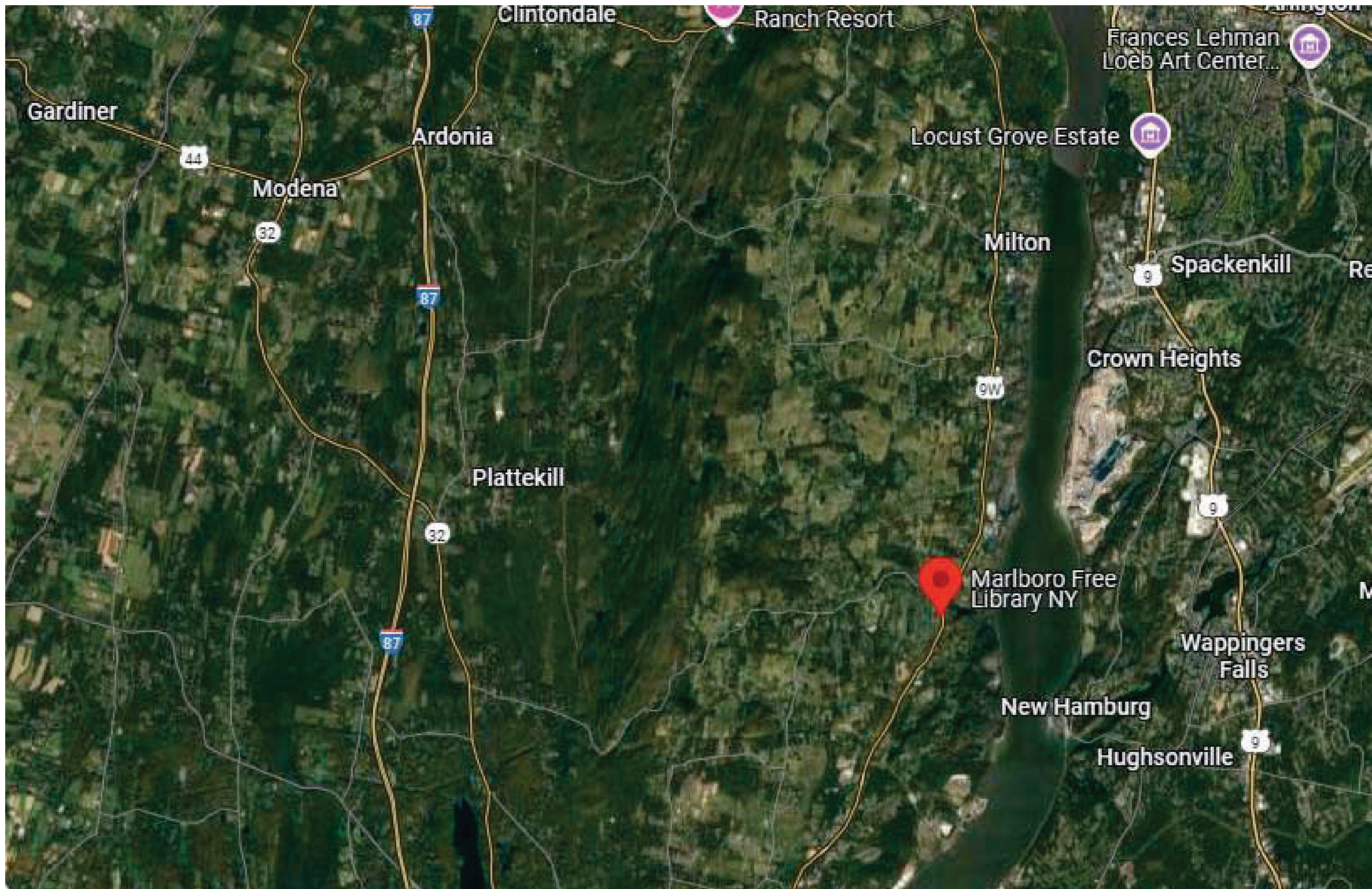
#### MECHANICAL

M001 LEGEND, SYMBOLS AND NOTES  
M002 DETAILS  
M003 DETAILS  
MR101 REMOVALS PLAN  
MR102 ROOF REMOVALS PLAN  
M101 HVAC INSTALLATION PLAN  
M102 HVAC ROOF INSTALLATION PLAN

#### ELECTRICAL

E001 ELECTRICAL LEGEND, NOTES & DETAILS  
ER101 POWER AND DATA REMOVALS PLAN  
ER201 LIGHTING REMOVALS PLAN  
ER301 FIRE ALARM REMOVALS PLAN  
E101 POWER AND DATA PLAN  
E102 MECHANICAL POWER PLAN  
E201 LIGHTING PLAN  
E301 FIRE ALARM PLAN  
E501 LIGHTING FIXTURE SCHEDULE  
E601 PANEL SCHEDULES  
E602 PANEL SCHEDULES

### Overall Site Plan



### General Notes

- G-1. DO NOT SCALE THE DRAWINGS.
- G-2. UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF FRAMING, CENTERLINE OF STEEL, OR EDGE OF ROUGH OPENING.
- G-3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION WORK.
- G-4. UNAUTHORIZED ADDITIONS TO OR ALTERATIONS OF THESE DOCUMENTS WITHOUT CONSULTING THE ARCHITECT IS A VIOLATION OF NYS EDUCATION LAW.
- G-5. ALL MATERIALS, PRODUCTS AND FINISHES SHALL BE INSTALLED IN FULL COMPLIANCE WITH ALL MANUFACTURER'S INSTRUCTIONS.
- G-6. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- G-7. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY DURING CONSTRUCTION IS THE CONTRACTOR'S RESPONSIBILITY.
- G-8. ALL WORK IS TO BE IN STRICT ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE, THE MECHANICAL AND PLUMBING CODES OF NEW YORK STATE, THE ENERGY CONSERVATION CODE OF NEW YORK STATE, THE NATIONAL ELECTRIC CODE AND ANY LOCAL ORDINANCES.
- G-9. GENERAL CONTRACTOR SHALL INSTALL ALL MISCELLANEOUS BLOCKING IN PARTITIONS AS REQUIRED TO SUPPORT AND FRAME WALL MOUNTED ITEMS.

### Symbols Legend

	ENLARGED PLAN or DETAIL NUMBER
	SHEET LOCATION
	BUILDING SECTION NUMBER
	SHEET LOCATION
	WALL SECTION NUMBER
	SHEET LOCATION
	NEW WALL CONSTRUCTION
	EXISTING WALL
	NEW DOOR
	EXISTING DOOR

ARCHITECTS JOB No: 23-46-06  
ISSUE DATE:

DWG. No.

A001



- ## LEGEND

CATCH BASIN  
YARD DRAIN  
RETAINING WALL LINES (HATCH 135)  
EDGE OF PAVEMENT WITH CURB  
LIGHT POLE  
SIGN & POST  
FIRE HYDRANT  
UTILITY POLE  
DECIDUOUS TREE LANDSCAPE SYMBOL  
EVERGREEN TREE LANDSCAPE SYMBOL  
SHRUB PLANTING LANDSCAPE SYMBOL  
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SHRUB PLANTING LANDSCAPE SYMBOL  
SHRUB PLANTING LANDSCAPE SYMBOL

The map shows a grid of streets and property lots. A black rectangle highlights a lot at the intersection of West Street and Milwaukee Avenue. A large black arrow points to this lot, with the word "SITE" written in bold capital letters. The map includes the following streets and landmarks:

- Streets:** Dubois Street, West Street, Bloom Street, Grand Street, South Street Extension, Milwaukee Avenue, and South Street.
- Churches:** First Presbyterian Church of the Madeleine, Church of St. Mary, Church of the Holy Mary, and Church of the Holy Spirit.
- Other Features:** A black rectangle highlights a lot at the intersection of West Street and Milwaukee Avenue. A large black arrow points to this lot, with the word "SITE" written in bold capital letters.

SCALE: 1" = 50'

1. TAX MAP IDENTIFICATION NUMBER: SECTION 10B BLOCK 4 LOT(S) 17, 18, 19, 20.
2. TOTAL AREA OF SUBJECT PARCEL: 1.72± ACRES.
3. BOUNDARY AND PLANIMETRIC INFORMATION BASED UPON FIELD SURVEY AS PERFORMED BY ENGINEERING & SURVEYING PROPERTIES, PC ON APRIL 16, 2025.
4. THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES PC, AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
5. OWNER/APPLICANT: MARLBORO FREE LIBRARY  
PO BOX 780  
MARLBORO NY 12542

DRAWING #	TITLE	SHEET #
C-100	EXISTING CONDITIONS & DEMOLITION PLAN	1
C-101	SITE PLAN	2
C-102	GRADING AND EROSION CONTROL PLAN	3
C-301	DETAILS	4

DRAWING #	TITLE	SHEET #
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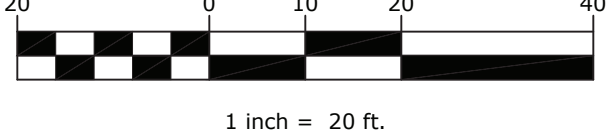
DRAWING STATUS		ISSUE DATE: 05/20/2025	
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		SHEET NUMBER	
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF	N/A
<input type="checkbox"/> PLANNING BOARD APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OCODH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OCODH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF	N/A
FOR OTHER: _____	_____	OF	_____
<input checked="" type="checkbox"/> FOR BID / CONSTRUCTION	1	OF	4
<p>THIS PLAN AND ALL THE INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE BY WHOM THE SERVICES WERE CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ENGINEERING CONSULTANTS &amp; PROPERTIES, PC. THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).</p>			

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ENGINEER'S SIGNATURE  
AND AN ORIGINAL STAMP IN  
RED OR BLUE INK SHALL BE  
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ADDITIONS TO THIS  
DOCUMENT BEARING THE  
SEAL OF A LICENSED  
PROFESSIONAL ENGINEER  
IS A VIOLATION OF  
SECTION 7209 SUBSECTION  
2 OF THE NEW YORK STATE  
EDUCATION LAW.

JAY SAMUELSON, P.E.  
NEW YORK LICENSE # 080023



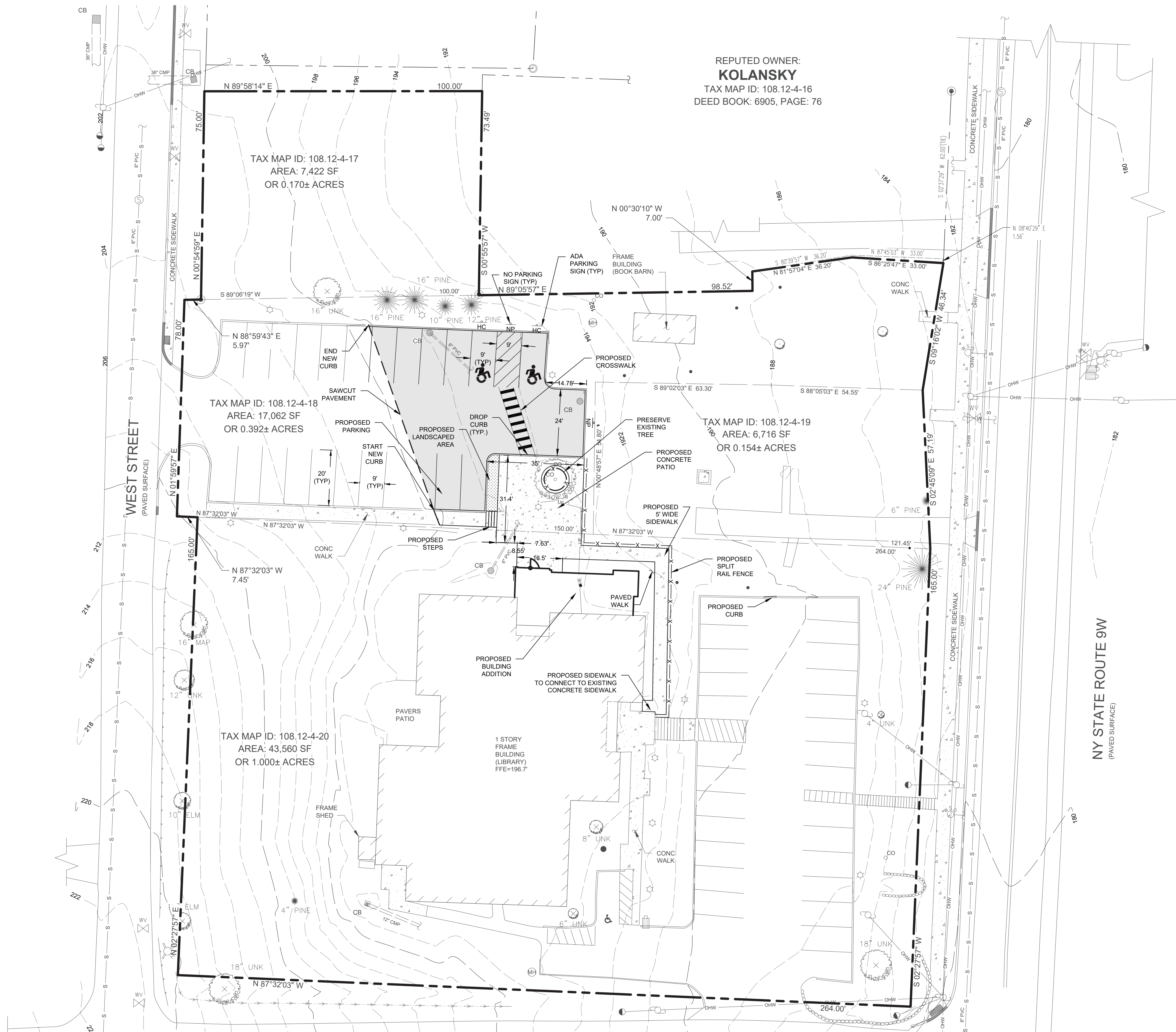
MARLBORO FREE LIBRARY  
1251 NY STATE ROUTE 9W  
TOWN OF MARLBORO  
ULSTER COUNTY, NEW YORK

JOB #:	DRAWN BY:
1120.05	SC
DATE:	SCALE:
05/20/25	1" = 20'
REVISION:	TAX LOT:
	0108.12-4-17,18,19,20

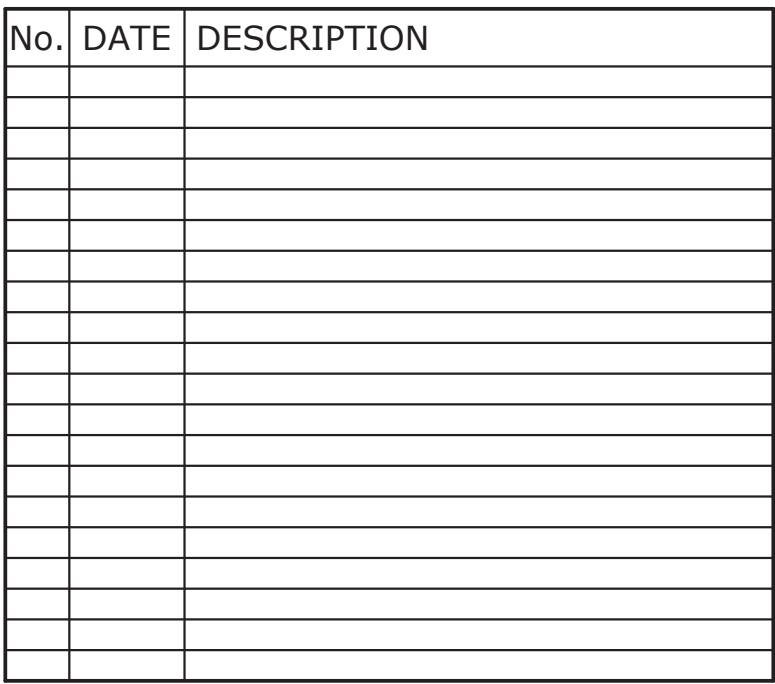
**MONTGOMERY OFFICE**  
71 CLINTON STREET  
MONTGOMERY, NY 12549  
Ph: (845) 457-7727  
[WWW.EP-PC.COM](http://WWW.EP-PC.COM)

C-100





TAX MAP ID: 108.12-4-20  
AREA: 43,560 SF  
OR 1.000± ACRES



DRAWING STATUS		ISSUE DATE: 05/20/2025	
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		SHEET NUMBER	
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF	N/A
<input type="checkbox"/> PLANNING BOARD APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OTHER:			
<input checked="" type="checkbox"/> FOR BID / CONSTRUCTION	2	OF	4
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1 inch = 20 ft.

JOB #:	1120.05	DRAWN BY:	SC	C-101
DATE:	05/20/25	SCALE:	1" = 20'	
REVISION:	0	TAX LOT:	08.12-4-17,18,19,20	



