

GENERAL NOTES (use only applicable notes)

DIVISION 0- PROCUREMENT AND CONTRACTING

1. All contractors shall familiarize themselves with the site prior to bidding.

DIVISION 1- GENERAL REQUIREMENTS

1. All work shall conform to the requirements of the Building Code of New York State 2020 Edition, and all other applicable codes, ordinances and regulations regardless of whether or not they are specifically called for in these notes or on these drawings. In case of discrepancies between the notes and drawings, code requirements shall govern.
2. Where notes and drawing details may not in agreement, the details shall prevail.
3. All specifications shall be provided as noted or as an approved equal subject to Architect review.
4. All building permits and inspections including but not limited to building and occupancy permits shall be obtained and paid for by the contractor. This also includes driveway permits, electrical inspection fees, sanitary system inspections, plumbing inspections, misc. building inspector fees, filing fees, etc. A CERTIFICATE OF OCCUPANCY must be obtained for the completion of the work.
5. All contractors shall hold to the intent of the drawings which is to provide complete and finished work, tested and guaranteed for a minimum of one year from the time of completion and ready for occupancy, including all necessary items required, regardless of whether specifically called for or not on the drawings.
6. All work shall be performed by mechanics skilled in their respective trades.
7. All contractors shall be responsible for cutting, patching, filling, and cleaning up after their own work.
8. In no event shall structural members be cut or drilled without the written approval of the architect.
9. Information appearing on one drawing appears on all drawings.
10. Do not scale dimensions from the drawings. All written or dimensioned information takes precedence over the drawing.
11. All contractors shall check all dimensions, assemblies, etc. and report to the architect in writing any inconsistencies prior to starting work, ordering materials, or fabricating shop built items.
12. All changes shall be requested in writing and approved in writing by the owner and the architect.
13. All waste and removals shall be disposed of legally off site.
14. Insurance: all contractors shall provide the owner, architect and A.H.J., with certificates of insurance prior to starting work for the following types and amounts:
- 14.1. * Workmen's Compensation - cover all obligations of the Workmen's Compensation and Disability Benefits Laws including:
- 14.1.1. N.Y.S. General Municipal Law Section 125- requiring that a contractor must provide proof of workman's compensation insurance with forms C-105.2 or U26.3
- 14.1.2. Disability forms- to accompany all Building Permit Submissions. Including DB 120.1 or DB 155
- 14.1.3. If a contractor is self employed and has no employees and will not hire employees for a project the following form must be completed and approved: WC/DB 100
- 14.1.4. General liability and property damage including bodily injury providing for coverage with limits of two million dollars aggregate and one million per occurrence. (Typically Accord Form)
15. The contractor shall guarantee all his work and the work of his subcontractors for a period of one-year minimum after receiving final acceptance, and do all repair work and replacement as may be necessary during that period at the contractors' expense.
16. Do not split this set.
17. Notify and schedule the architect 48 hours in advance with any substantial issues.
18. Upon completion of the contract and before final acceptance, the contractor shall clean the entire job site removing all debris inside and outside the building.
19. The architect has the right to reject any unworkmanlike, sloppy, poorly installed, or unauthorized work or work done contrary to the intent of the contract documents. Such work shall be replaced, repaired or removed at the contractor's expense.
20. Shop drawings, where required, must be reviewed for design intent by the architect prior to the start of fabrication of those items
21. Job site must be kept clean during the course of construction.
22. No workers shall be under the influence of drugs, alcohol or other substances that may impair their work or judgment while on the job site.
23. The contractor shall be responsible for temporary bracing of structure during construction and also provide as necessary temporary power, heat and lighting; cleanliness; telephone etc. during construction.
24. The contractor shall provide all temporary protection required to keep the building weather tight at all times.
25. The Entity in responsible charge for the project completion and coordination of the trades (CM, GC, or other) shall be held responsible for the coordination of work of all trades employed in the total project.
26. It is a violation of the law for any person, unless acting under the direction of a licensed architect or engineer of record, to alter an item in any way. If an item bearing the seal of an architect is altered, the altering architect or engineer of record shall affix to this item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration. No one except the architect who's name and signature that have been affixed to this document may make any alteration without express written consent of this individual.
27. Meaning of the Seal and Signature- The seal and signature of an architect on a document has been interpreted as an attestation that, to the best of the licensee's belief and information, the work represented in the document:
- 27.1. is accurate.
- 27.2. conforms with governing codes applicable at the time of submission,
- 27.3. conforms with reasonable standards of practice and with a view to the safeguarding of life, health, property and public welfare,
- 27.4. is the responsibility of the licensee.
28. These plans have not been designed for and do not meet flood resistant design unless noted otherwise. The owner and or contractor will notify the architect immediately if the site is subject to flood hazards and controls. The owner must provide a certified flood elevation prepared by a Licensed Land Surveyor coordinated with FEMA FIRM Maps and any Local Municipal requirements. Consult the architect for design modifications to these plans that may be required. All buildings and structures erected in areas prone to flooding as identified in Table RR301.2(1) and classified as either flood hazard areas (including A zones) or coastal high hazard areas (including V- zones) shall be constructed and elevated as required by applicable codes.
29. All dimensions are to framing unless otherwise noted.
30. Architect's Standard Terms and Conditions- By use of these documents, the Owner acknowledges and agrees to the following:
- 30.1. Hazardous Substances- The Architect shall not be responsible for the identification, removal, testing and/or certification of removal relative to any hazardous substance including, but not limited to, PCB, petroleum, hazardous waste, asbestos, lead paint, lead piping, and similar substances. Both the Architect and the Client acknowledge that the Scope of Services does not include any items related to a Hazardous Environmental Condition. The Owner is responsible for having a professional hazardous materials testing company perform testing of any suspect potential hazardous materials present prior to commencement of work.
- 30.2. Standard of Practice- Services performed by the Architect to prepare these documents have been conducted in a manner consistent with the level of care and skill ordinarily exercised by members of their respective professions practicing in the same locality under similar conditions. No other representation expressed or implied, and no warranty or guarantee is included or intended in this Agreement, or any report, opinion, document, or otherwise.
- 30.3. Method and Means of Construction- The Architect and its consultants are not responsible for the Contractor's method, means or sequencing of construction. Additionally, the Architect is not responsible in any way for the Contractor's performance or failure to comply with the construction documents or any applicable codes, rules or regulations.
- 30.4. Storage of Materials- The Contractor is responsible for the storage and protection of materials brought to the site. Materials shall be stored in an area that is adequately

ventilated and free from excessive moisture and condensation that may be conducive to mold and contamination.

30.5. Site Safety- The Architect is not responsible for site safety.

DIVISION 3- CONCRETE (Refer to Structural Drawings)

DIVISION 4- MASONRY

1. All concrete masonry work (material & construction) shall be in accordance with Residential Code of New York State Part III - Building Planning and Construction Chapter R6 Wall Construction §RR606 General Masonry Construction or in accordance with the provisions of ACI 530/ASCE 5/TMS 402.
2. All concrete masonry units shall be "Moisture Controlled" Type 1, minimum, and shall conform to the following specifications:
- 2.1. ASTM C 55-75 for concrete masonry brick
- 2.2. ASTM C 90-75 for hollow load-bearing units
- 2.3. ASTM C 129-75 for hollow non-load-bearing units
- 2.4. ASTM C 145-75 for solid load-bearing units.

DIVISION 5- METALS (Refer to Structural Drawings)

1. All structural steel to be 50 KSI minimum. Provide shop drawings to the architect for compliance with design intent prior to ordering / fabrication. Do not fabricate prior to the completed review of the shop drawings by the architect and all comments have been incorporated.
2. Do not use salt products or derivatives for de-icing or other purposes in contact with any galvanized or stainless steel as they may cause connectors to corrode and fail.
3. Do not use power framing nail guns to fasten Simpson straps/ connectors- use traditional hammer nailing only or fasteners as indicated in manufacturer's installation instructions.
4. JOIST HANGER SCHEDULE:

(1) 2X6	SIMPSON	LUS26
(1) 2X8	SIMPSON	LUS26
(1) 2X10	SIMPSON	LUS28
(1) 2X12	SIMPSON	LUS210
(2) 2X8	SIMPSON	LUS210
(2) 2X10	SIMPSON	LUS210-2
(2) 2X12	SIMPSON	LUS210-2
(3) 2X8	SIMPSON	LUS28-3
(3) 2X10	SIMPSON	LUS210-3
(3) 2X12	SIMPSON	LUS210-3
(4) 2X10	SIMPSON	U610R- SPECIAL ORDER
(4) 2X12	SIMPSON	U610R- SPECIAL ORDER

5. POST BASE SCHEDULE:
- | | | |
|-----|---------|-------|
| 4X4 | SIMPSON | ABU44 |
| 6X6 | SIMPSON | ABU66 |
6. Do not use aluminum in contact with pressure treated lumber unless separated by bond breaker (ice & water shield or equal).
7. Steel erector or fabricator shall verify all dimensions before beginning fabrication.
8. Shop drawings shall be prepared for all new structural steel and submitted to Architect/ Engineer fir review and approval prior to fabrication.

DIVISION 6- WOOD, PLASTICS AND COMPOSITES

1. All framing lumber shall be kiln dried SPF #2, fb=825 psi minimum unless noted otherwise.
2. Verify all wall framing layouts with Architect in field prior to construction.
3. All wood framing members shall be installed @16" O.C. spacing unless noted otherwise.
4. Exterior window and door opening headers shall be sized according to RCNYS Table 502.5(1) unless otherwise noted.
5. Any wood framing members in contact with masonry or concrete shall be pressure treated southern yellow pine in accordance with applicable standards.
6. All wood framing shall be adequately braced by Contractor as required during construction.
7. Sheathing shall be as follows unless otherwise noted:
- 7.1. Pitched Roofs- 5/8" CDX U.N.O.
- 7.2. Flat Roofs- ¾" T&G CDX glued and screwed.
- 7.3. Floors- (1) layer ¾" T&G CDX glued and screwed.
- 7.4. Walls- ½" Zip System (Tape all seams)
8. Rafter and ceiling joists having a depth-to-thickness ratio exceeding 5 to 1 based on nominal dimensions shall be provided with lateral support at points of bearing to prevent rotation.
9. Rafter and ceiling joists having a depth-to-thickness ratio exceeding 6 to 1 based on nominal dimensions shall be supported laterally by solid blocking, diagonal bridging (wood or metal) or a continuous 1-inch by 3-inch (25.4 mm by 76 mm) wood strip nailed across the rafters or ceiling joists at intervals not exceeding 8 feet (2438 mm).
10. Openings in roof and ceiling framing shall be framed with header and trimmer joists. When the header joist span does not exceed 4 feet (1219 mm), the header joist may be a single member the same size as the ceiling joist or rafter. Single trimmer joists may be used to carry a single header joist that is located within 3 feet (914 mm) of the trimmer joist bearing. When the header joist span exceeds 4 feet (1219 mm), the trimmer joists and the header joist shall be doubled and of sufficient cross section to support the ceiling joists or rafter framing into the header. Approved hangers shall be used for the header joist to trimmer joist connections when the header joist span exceeds 6 feet (1829 mm). Tail joists over 12 feet (3658 mm) long shall be supported at the header by framing anchors or on ledger strips not less than 2 inches by 2 inches (51 mm by 51 mm).
11. Max bore 2-3/16" in a 2 x 6 wall with 5/8" min. each side of stud to remain.
12. When plumbing/boring exceeds limits plumbing shall be headed with joist, S.S.T.D.I.O. uses sheathing for uplift 15/32" thick min. (1/2" thick does not meet code). Use Simpson connectors. Block at sheathing splices.
13. All structural wood framing members shall be fastened in accordance with the requirements of Table RR602.3(1).
14. Fire and structural wood blocking shall be provided in the following locations:
- 14.1. In concealed spaces of stud walls and partitions, including furred spaces at the ceiling and floor levels.
- 14.2. Concealed horizontal furred spaces shall also be fire blocked at intervals not exceeding 10 feet (3048 mm).
- 14.3. At all interconnections between concealed vertical and horizontal spaces that may occur at soffits, drop ceilings and cove ceilings.
- 14.4. In concealed spaces between stair stringers at the top and bottom of the run.
- 14.5. Within Floor Level at Bearing Walls
- 14.6. Mid-height in all bearing walls and all walls 10' in height or taller.
- 14.7. Within floor framing at ¼ span or 8' maximum in floors framed with dimensional lumber.
- 14.8. Insulation blocking over cap plate at eaves where applicable.
- 14.9. Where required for hand rails, grab bars, accessories, etc.
- 14.10. Where required for installation of exterior trim.
- 15.11. As required for installation of equipment, accessories, at door swing where handle meets wall and cabinets etc.
16. All sound partitions are to extend to the underside of the floor or roof construction above. Partitions that do not extend to the structure above are to be firmly braced.
15. Provide wood nailers as needed to facilitate gypsum board installation.

DIVISION 7- THERMAL AND MOISTURE PROTECTION

1. Provide sealant for all joints exposed to weather and where indicated on drawings.
2. Provide sealant bead under all wood sill plates.
3. All penetrations, gaps and cracks through exterior walls shall be infilled with "Great Stuff" expandable foam sealant and sealed from exterior using and 50 year exterior grade sealant where exposed to weather or water intrusion. Use appropriate expansion formula for the intended use.
4. Roofing Notes:

- 4.1. Roof pitch as noted on the plans.
- 4.2. Roof underlayment: for roof slopes from two units vertical in 12 units horizontal (17-percent slope), up to four units vertical in 12 units horizontal (33-percent slope), underlayment shall be two layers applied in the following manner. Apply a 19-inch (483 mm) strip of underlayment felt parallel with and starting at the eaves, fastened sufficiently to hold in place. Starting at the eave, apply 36-inch-wide (914 mm) sheets of underlayment, overlapping successive sheets 19 inches (483 mm), and fastened sufficiently to hold in place. For roof slopes of four units vertical in 12 units horizontal (33-percent slope) or greater, underlayment shall be one layer applied in the following manner. Underlayment shall be applied shingle fashion, parallel to and starting from the eave and lapped 2 inches (51 mm), fastened sufficiently to hold in place. End laps shall be offset by 6 feet (1829 mm).
- 4.3. Ice protection: in lieu of normal underlayment, an ice barrier that consists of a least two layers of underlayment cemented together or of a self-adhering polymer modified bitumen sheet, shall be installed so that 24" from the finished interior face of the exterior wall forms a plumb line up to the roofs surface, where the roof ice barrier will terminate.
- 4.4. Crickets and saddles. A cricket or saddle shall be installed on the ridge side of any chimney greater than 30 inches (762 mm) wide. Cricket or saddle coverings shall be sheet metal or of the same material as the roof covering.
- 4.5. Sidewall flashing: flashing against a vertical sidewall and at all wall to roof connections shall be by the step-flashing method.
- 4.6. Other flashing: flashing against a vertical front wall, as well as soil stack, vent pipe and chimney flashing shall be applied according to asphalt shingle manufacturer's printed instructions.
- 4.7. Use aluminum drip edges at all roof to fascia connections. Color to match gutters and/ or fascia.
- 4.8. Maintain a 2'-0" separation between ridge vent and end of roof or change in ridge. Use "Master Vent" ridge vent with ridge shingle and end plugs or equal.
- 4.9. Use 15# roofing felt over plywood.
- 4.10. Roof shingle to be 30 year min. asphalt / fiberglass architectural shingle as manufactured by GAF or equal. Color and style to be selected by Owner unless noted elsewhere.
- 4.11. Shingles damaged during construction must be replaced.
- 4.12. Provide six (6) nails per shingle.
- 4.13. Provide closed shingle valleys.
5. Gutter Notes:
- 5.1. Provide 5" half round gutters as indicated on roof plan. Color and style to be selected by Owner/Architect.
- 5.2. Provide 3" diameter round smooth aluminum leaders. Leaders to be attached with hidden brackets as required. All leaders to be .032 aluminum with custom Kynar 500 finish. Color to be selected by Owner/Architect.
- 5.3. Provide splash block and pitch grade away from building at base of leader.
6. Provide rubber membrane waterproofing under floor in residential apartment unit Laundry closets.
7. Spray Foam Insulation:
- 7.1. All wood framing shall be inspected by Building Inspector and Architect prior to start of insulation work.
- 7.2. Provide intumescent coating on all exposed spray foam not directly covered by gypsum board finish (e.g. attics, basements, etc.)
- 7.3. Contractor shall verify and document proper environmental conditions (temperature, humidity, substrate moisture content, etc.) prior to application of spray foam and be able to maintain conditions a minimum of 48 hours post application or for a longer duration if required by spray foam manufacturer.
- 7.4. Spray foam insulation R-values shall be certified by installer upon completion and a certificate provided to the Architect for record.

DIVISION 8- OPENINGS

1. Closet door sizes to be determined by owner/ contractor to fit in the available space.
2. Provide tempered glass for all windows & doors 18" or less off of finished floor, all doors & sidelights & transoms, and other locations as required.
3. All windows and doors shall have 1" insulated glass, unless noted otherwise.
4. All metal windows and doors, if any, shall have a thermal break.
5. All windows and doors shall be weather-stripped.
6. All space between window and door heads, jambs and sills shall be sealed as specified by the manufacturer after the doors and windows have been plumbed and leveled. Contractor shall make any adjustments for expansion 24 hours after application of sealants for proper smooth operation of windows and doors.
7. Provide opening limiters as required by code.
8. All ground floor storefront glazing shall be tempered.
9. Contractor shall provide shop drawings of all new door, window and hardware packages for Architect review and approval prior to fabrication or order.

DIVISION 9- FINISHES

1. Provide corner beads for all exposed corners, unless otherwise noted on the drawings. Provide water resistant type gypsum wallboard for all sink areas bathroom, lavatory and toilet areas.
2. Finish Carpentry Notes:
- 2.1. All trim shall be painted wood (Poplar).
- 2.1.1. Baseboard: 1x6 with shoe molding.
- 2.1.2. Window & Door Casings: 1x4 with 1x2 backband.
- 2.1.3. Window Sills: ¾ x 4 with rounded edge and apron.
- 2.2. Glue & nail all interior trim in place with adhesives specified for the materials to be joined.
- 2.3. Saw cut backs of all flat stock interior & exterior trim approx. 1/4", for the length of the board, 2 times per board. Scarf cut adjoining flat stock.
- 2.4. Use maximum length boards to minimize joints.
- 2.5. Sand or plane smooth surfaces of adjoining boards.
- 2.6. Use bright finish nails for interior trim work, size appropriate to the work. Set nails below surface of wood. Nail holes will be filled with wood filler appropriate to the finish.
- 2.7. All ribs, bevels, etc. shall be cut on a table saw so as to leave no saw marks.
3. All gyp. bd. shall be ½" "Type X" U.N.O.
- 3.1. Bathrooms: Provide Moisture Resistant (Green Board)
4. Gyp. Bd. installation shall be in accordance with standard practice as set forth in the latest edition of U.S.G. "Gypsum Construction Handbook" and shall include all components and accessories.
5. The complete exposed gyp. bd. surfaces shall be taped, spackled (2 finish coats), sanded smooth without exposed air bubbles and ready for painting.
6. All gaps, spaces, etc., between woodwork and walls, cracks, etc. shall be filled with clear, paintable, Phenoseal caulk prior to painting. Reapply after prime coat as required.
7. Interior Painting:
- 7.1. All finished gypsum board surfaces shall be painted (1) one prime coat and (2) two finish coats.
- 7.2. Paint shall be Benjamin Moore Aura or equal.
- 7.3. All colors TBD by Owner/ Architect.
- 7.4. Sheens:
- 7.4.1. Ceilings: Flat
- 7.4.2. Walls: Eggshell
- 7.4.3. Trim: Semi-Gloss
8. All bedroom walls, bathroom walls, floors and walls between apartment units to be soundproofed with 3 1/2" sound attenuating insulation. Provide sound insulation at all plumbing chases. Refer to floor and wall details for additional sound attenuating insulation requirements.
9. Floor finish:
- 9.1. Floor finish shall be level and plumb.
- 9.2. Floor filling in wet areas shall be non-slip type, applied in accordance to manufacturer's instructions.
10. Wall finish and ceiling finish:
- 10.1. Gypsum Board walls shall be taped, spackled, and smooth sanded to be finished.
- 10.2. Finish material samples and lighting fixtures shall be provided for Owner/Architect approval.

- 10.3. Rough and finish hardware:
- 10.3.1. Provide all rough hardware required for construction.
- 10.3.2. Finish hardware shall be as manufactured by Schlage or equal and approved by Owner/Architect.
- 10.3.3. Provide stops, hinges, Master keying at owners option.
11. All plumbing, mechanical and electrical lines to be concealed, unless otherwise noted and excluding the basement. Where concealment under floors, above ceilings or within walls or partitions is not possible the lines are to be covered. Use furring and gypsum board installed in accordance with code requirements.
12. At ceramic tile floor locations over wood framed floors, use Underlayment of 1/4" Dur-A-Rock concrete board. This is a part of the base bid.
13. Ceramic tile is to be a thinset installation.
14. Include installation of all ceramic tile specified in base bid.
15. All apartment kitchens shall have tile back splash.

DIVISION 10- SPECIALTIES

1. All residential apartment bathrooms shall be provided with the following accessories (by Kohler, Moen or equal) with all locations to be verified in field with Architect:
- 1.1. Wall mounted mirror over vanity.
- 1.2. Wall mounted hand towel ring adjacent to vanity.
- 1.3. Wall mounted towel bar adjacent to shower.
- 1.4. Shower curtain rod.
- 1.5. Wall mounted toilet paper holder.
2. Commercial ADA compliance restrooms shall be furnished with accessories as indicated on the restroom plan details.

DIVISION 21- FIRE SUPPRESSION (Refer to Fire Suppression Drawings)

DIVISION 22- PLUMBING (Refer to Plumbing Drawings)

1. Provide plumbing fixture and equipment submittal package for Architect/ Engineer review/ approval prior to fixture order.

DIVISION 23- HVAC (Refer to Mechanical Drawings)

1. Provide shop drawings and equipment fixture cut sheets for Architect/ Engineer review and approval prior to fabrications.

DIVISION 26- ELECTRICAL (Refer to Electrical Drawings)

1. Provide lighting fixture submittal package for Architect/ Engineer review and approval prior to fixture order.

DIVISION 31- EARTHWORK (Refer to Civil Drawings & Geotechnical Report)

DIVISION 32- EXTERIOR IMPROVEMENTS (Refer to Landscaping Plan & Civil Drawings)

PEEKSKILL FIREHOUSE KITCHEN INCUBATOR

Peekskill Facilities Development Corporation (Owner)
EDA PROJECT #01-01-15338
701 Washington Street, Peekskill, New York 10566
S-B-L: 32-20-9-1
City of Peekskill - Westchester County

FOR CONTRACTOR BID

Date: May 7, 2025

Revisions:

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