



215 West 40<sup>th</sup> Street, 15<sup>th</sup> Floor  
New York, New York 10018

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## **BID ADDENDUM #2**

**Nanuet Union Free School District  
103 Church Street  
Nanuet, NY 10954**

***Nanuet Bond Projects Phase 3***

**Date: June 23, 2023**

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### **NOTICE TO CONTRACTORS**

This Addendum issued prior to receipt of Bid shall and does hereby become a part of the Construction Documents for the above project.

All principal Contractors shall be responsible for seeing that their Subcontractors are properly apprised of the contents of this Addendum.

All information contained in this Addendum shall supersede and shall take precedence over any conflicting information in the original Bidding Documents dated **June 6, 2023**. and all previous addenda.

All Contractors shall acknowledge receipt of this Addendum in the space provided in the Bid Form. Failure to do so may subject Bidder to disqualification.

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### **CLARIFICATIONS:**

NONE

**CHANGES TO SPECIFICATIONS:**

NONE

**REVISIONS TO DRAWINGS:**

1. Replace BM-A100.



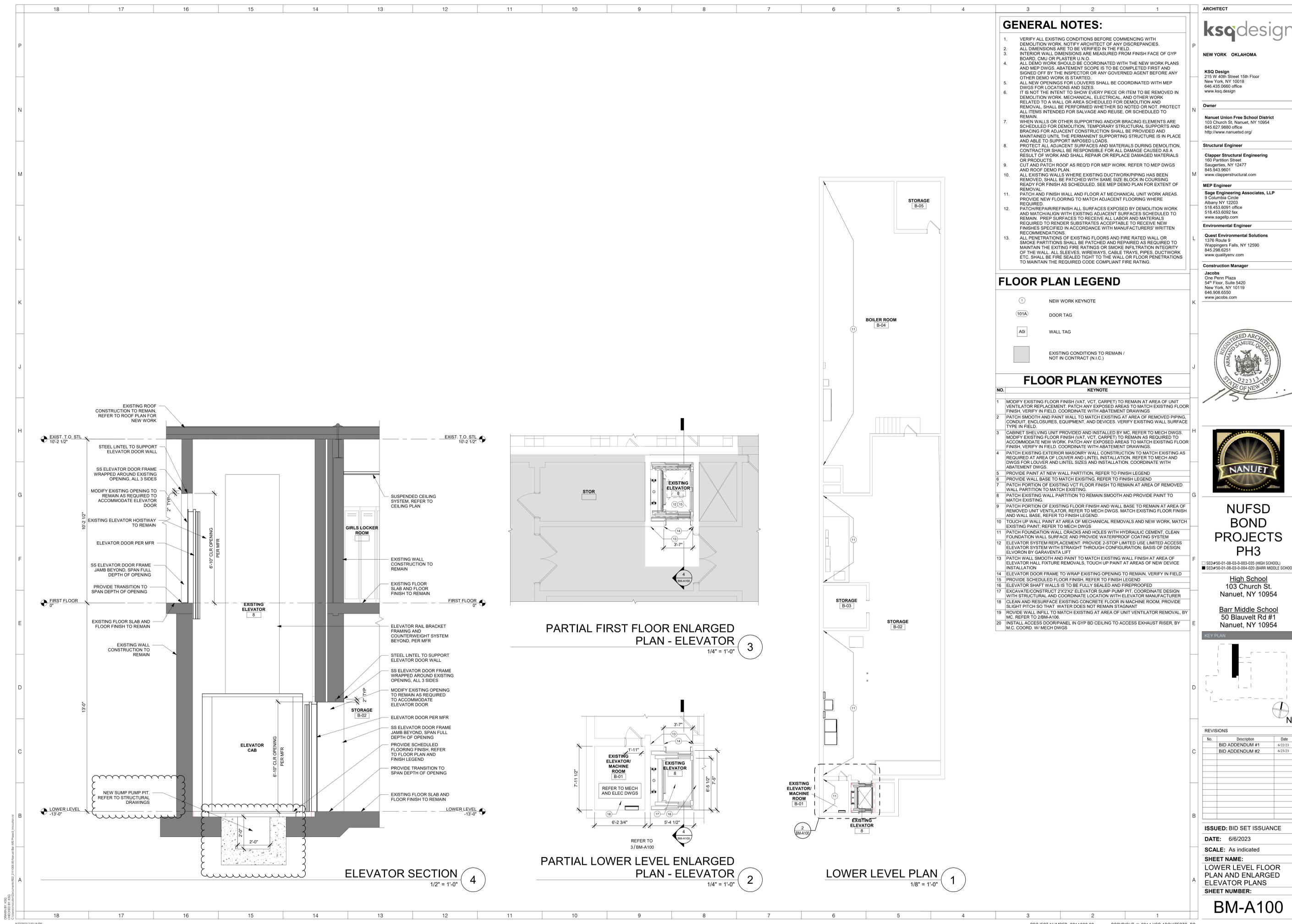


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**END OF BID ADDENDUM No. 2**



**GENERAL NOTES:**

- VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WITH DEMOLITION WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD.
- INTERIOR WALL DIMENSIONS ARE MEASURED FROM FINISH FACE OF GYP BOARD, CMU OR PLASTER U.N.O.
- ALL DEMO WORK SHOULD BE COORDINATED WITH THE NEW WORK PLANS AND MEP DWGS. ABATEMENT SCOPE IS TO BE COMPLETED FIRST AND SIGNED OFF BY THE INSPECTOR OR ANY GOVERNED AGENT BEFORE ANY OTHER DEMO WORK IS STARTED.
- ALL NEW OPENINGS FOR LOUVERS SHALL BE COORDINATED WITH MEP DWGS FOR LOCATIONS AND SIZES.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL, AND OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE, OR SCHEDULED TO REMAIN.
- WHEN WALLS OR OTHER SUPPORTING AND/OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT SUPPORTING STRUCTURE IS IN PLACE AND ABLE TO SUPPORT IMPOSED LOADS.
- PROTECT ALL ADJACENT SURFACES AND MATERIALS DURING DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE CAUSED AS A RESULT OF WORK AND SHALL REPAIR OR REPLACE DAMAGED MATERIALS OR PRODUCTS.
- CUT AND PATCH ROOF AS REQ'D FOR MEP WORK. REFER TO MEP DWGS AND ROOF DEMO PLAN.
- ALL EXISTING WALLS WHERE EXISTING DUCTWORK/PIPING HAS BEEN REMOVED, SHALL BE PATCHED WITH SAME SIZE BLOCK IN COURSE/READY FOR FINISH AS SCHEDULED. SEE MEP DEMO PLAN FOR EXTENT OF REMOVAL.
- PATCH AND FINISH WALL AND FLOOR AT MECHANICAL UNIT WORK AREAS. PROVIDE NEW FLOORING TO MATCH ADJACENT FLOORING WHERE REQUIRED.
- PATCH/REPAIR/REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK AND MATCH/ALIGN WITH EXISTING ADJACENT SURFACES SCHEDULED TO REMAIN. PREP SURFACES TO RECEIVE ALL LABOR AND MATERIALS REQUIRED TO RENDER SUBSTRATES ACCEPTABLE TO RECEIVE NEW FINISHES SPECIFIED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN RECOMMENDATIONS.
- ALL PENETRATIONS OF EXISTING FLOORS AND FIRE RATED WALL OR SMOKE PARTITIONS SHALL BE PATCHED AND REPAIRED AS REQUIRED TO MAINTAIN THE EXISTING FIRE RATINGS OR SMOKE INFILTRATION INTEGRITY OF THE WALL. ALL SLEEVES, WIREWAYS, CABLE TRAYS, PIPES, DUCTWORK ETC. SHALL BE FIRE SEALED TIGHT TO THE WALL OR FLOOR PENETRATIONS TO MAINTAIN THE REQUIRED CODE COMPLIANT FIRE RATING.

**FLOOR PLAN LEGEND**

- ① NEW WORK KEYNOTE
- 101A DOOR TAG
- A01 WALL TAG
- EXISTING CONDITIONS TO REMAIN / NOT IN CONTRACT (N.I.C.)

**FLOOR PLAN KEYNOTES**

- | NO. | KEYNOTE   |
|-----|---|
| 1   | MODIFY EXISTING FLOOR FINISH (VAT, VCT, CARPET) TO REMAIN AT AREA OF UNIT VENTILATOR REPLACEMENT. PATCH ANY EXPOSED AREAS TO MATCH EXISTING FLOOR FINISH. VERIFY IN FIELD. COORDINATE WITH ABATEMENT DRAWINGS.  |
| 2   | PATCH SMOOTH AND PAINT WALL TO MATCH EXISTING AT AREA OF REMOVED PIPING, CONDUIT, ENCLOSURES, EQUIPMENT, AND DEVICES. VERIFY EXISTING WALL SURFACE TYPE IN FIELD.   |
| 3   | CABINET SHELVING UNIT PROVIDED AND INSTALLED BY MC. REFER TO MECH DWGS. MODIFY EXISTING FLOOR FINISH (VAT, VCT, CARPET) TO REMAIN AS REQUIRED TO ACCOMMODATE NEW WORK. PATCH ANY EXPOSED AREAS TO MATCH EXISTING FLOOR FINISH. VERIFY IN FIELD. COORDINATE WITH ABATEMENT DRAWINGS. |
| 4   | PATCH EXISTING EXTERIOR MASONRY WALL CONSTRUCTION TO MATCH EXISTING AS REQUIRED AT AREA OF LOUVER AND LINTEL INSTALLATION. REFER TO MECH AND DWGS FOR LOUVER AND LINTEL SIZES AND INSTALLATION. COORDINATE WITH ABATEMENT DWGS.   |
| 5   | PROVIDE PAINT AT NEW WALL PARTITION. REFER TO FINISH LEGEND.  |
| 6   | PROVIDE WALL BASE TO MATCH EXISTING. REFER TO FINISH LEGEND.  |
| 7   | PATCH PORTION OF EXISTING VCT FLOOR FINISH TO REMAIN AT AREA OF REMOVED WALL PARTITION TO MATCH EXISTING.   |
| 8   | PATCH EXISTING WALL PARTITION TO REMAIN SMOOTH AND PROVIDE PAINT TO MATCH EXISTING.   |
| 9   | PATCH PORTION OF EXISTING FLOOR FINISH AND WALL BASE TO REMAIN AT AREA OF REMOVED UNIT VENTILATOR. REFER TO MECH DWGS. MATCH EXISTING FLOOR FINISH AND WALL BASE. REFER TO FINISH LEGEND.   |
| 10  | TOUCH UP WALL PAINT AT AREA OF MECHANICAL REMOVALS AND NEW WORK. MATCH EXISTING PAINT. REFER TO MECH DWGS.  |
| 11  | PATCH FOUNDATION WALL CRACKS AND HOLES WITH HYDRAULIC CEMENT. CLEAN FOUNDATION WALL SURFACE AND PROVIDE WATERPROOF COATING SYSTEM.  |
| 12  | ELEVATOR SYSTEM REPLACEMENT. PROVIDE 2-STOP LIMITED USE LIMITED ACCESS ELEVATOR SYSTEM WITH STRAIGHT THROUGH CONFIGURATION. BASIS OF DESIGN: ELVORON BY GARAVENTA LIFT.   |
| 13  | PATCH WALL SMOOTH AND PAINT TO MATCH EXISTING WALL FINISH AT AREA OF ELEVATOR HALL FIXTURE REMOVALS. TOUCH UP PAINT AT AREAS OF NEW DEVICE INSTALLATION.  |
| 14  | ELEVATOR DOOR FRAME TO WRAP EXISTING OPENING TO REMAIN. VERIFY IN FIELD.  |
| 15  | PROVIDE SCHEDULED FLOOR FINISH. REFER TO FINISH LEGEND.   |
| 16  | ELEVATOR SHAFT WALLS IS TO BE FULLY SEALED AND FIREPROOFED.   |
| 17  | EXCAVATE/CONSTRUCT 2'X2'X2' ELEVATOR SUMP PUMP PIT. COORDINATE DESIGN WITH STRUCTURAL AND COORDINATE LOCATION WITH ELEVATOR MANUFACTURER.   |
| 18  | CLEAN AND RESURFACE EXISTING CONCRETE FLOOR IN MACHINE ROOM. PROVIDE SLIGHT PITCH SO THAT WATER DOES NOT REMAIN STAGNANT.   |
| 19  | PROVIDE WALL INFILL TO MATCH EXISTING AT AREA OF UNIT VENTILATOR REMOVAL, BY MC. REFER TO 28M-A106.   |
| 20  | INSTALL ACCESS DOOR/PANEL IN GYP BD CEILING TO ACCESS EXHAUST RISER, BY M.C. COORD. W/ MECH DWGS.   |

**PARTIAL FIRST FLOOR ENLARGED PLAN - ELEVATOR**  
1/4" = 1'-0"

**PARTIAL LOWER LEVEL ENLARGED PLAN - ELEVATOR**  
1/4" = 1'-0"

**LOWER LEVEL PLAN**  
1/8" = 1'-0"

**ELEVATOR SECTION**  
1/2" = 1'-0"

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**NUFSD BOND PROJECTS PH3**

High School  
103 Church St.  
Nanuet, NY 10954

Barr Middle School  
50 Blauvelt Rd #1  
Nanuet, NY 10954

**REVISIONS**

No.	Description	Date
BID ADDENDUM #1		6/23/23
BID ADDENDUM #2		6/23/23

**ISSUED: BID SET ISSUANCE**  
DATE: 6/6/2023  
SCALE: As indicated  
SHEET NAME: LOWER LEVEL FLOOR PLAN AND ENLARGED ELEVATOR PLANS  
SHEET NUMBER: **BM-A100**

ISSUE FOR BID SET