

B I D A D D E N D U M 0 5

BIDS ARE NOW DUE WEDNESDAY DECEMBER 18 AT 2:00 PM
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The items set forth herein, whether of omission, addition, substitution, or clarification are to be included in and form a part of the construction documents for the project listed above.

This Addendum consists of the following Parts:

Part 1	Divisions #0-1, Bidding and Contract Requirements	
Part 2	Technical Changes, Architectural, Structural, Civil & Abatement	(Not Used)
Part 3	Technical Changes, Plumbing, Mechanical and Electrical	
Part 4	Drawing Changes, Architectural / Civil / Abatement	
Part 5	Drawing Changes, Structural	
Part 6	Drawing Changes, Plumbing, Mechanical and Electrical	
Part 7	Clarifications	
Part 8	New Issues – List of Included Documents	

PART 1 DIVISIONS #0-1, BIDDING AND CONTRACT REQUIREMENTS

- 1.1 002100 Replace the dates and times in sections 1.6A to be as follows:

Bids Due: December 18, 2024 at 2:00 pm

- 1.2 004050 Bid Form – Mechanical
- See REVISED bid form for Mechanical Contract #5 with add alternate #5 included. See information in this addendum for add alternate #5.
- 1.3 012300 Alternates
- See REVISED 012300 with information on Add-Alternate #5 – Mechanical Equipment.
 - See REVISED 012300 with clarifications on Add-Alternate #3 – Renovations to existing Pool to become Life Skills Classroom 250. Renovations of existing Toilet Rooms adjacent to the Pool Area to become Storage 248 and Storage 249.

PART 3 TECHNICAL CHANGES, PLUMBING, MECHANICAL AND ELECTRICAL

- 3.1 Section 237223.19 – “Packaged Indoor Fixed Plate Energy Recovery Units”
- For Add Alternate #5 – Mechanical Equipment, delete last sentence of paragraph 1.1 “Related Documents” part A.
 - For Add Alternate #5 – Mechanical Equipment, delete “owner-furnished equipment” from first sentence and the entire last sentence of paragraph 1.2 “Summary”.
 - For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.7 “Field Quality Control” to read as follows:

- i. "A. Perform tests and inspection with the assistance of a factory-authorized service representative."
 - ii. "B. Tests and Inspections: 1.) Operational Test: After electrical circuitry has been energized, start units to confirm proper motor rotation and unit operation. 2.) Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment."
 - iii. "C. Packaged, indoor, fixed-plate, energy-recovery units will be considered defective if it does not pass tests and inspections."
 - iv. "D. Prepare test and inspection reports."
 - d. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.8 "Startup Service" part "A" to read as follows:
 - i. "A. Engage a factory-authorized service representative to perform startup service. 1.) Complete installation and startup checks according to manufacturer's written instructions."
 - e. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.9 "Adjusting" to read as follows:
 - i. "A. Adjust moving parts to function smoothly, and lubricate as recommended by manufacturer."
 - ii. "B. Adjust initial temperature and humidity setpoints."
 - iii. "C. Set field-adjustable switches and circuit-breaker trip ranges as indicated."
 - f. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.10 "Demonstration" part "A" to read as follows:
 - i. "A. Engage a factory-authorized service representative to train Owner's maintenance personnel to adjust, operate, and maintain equipment."
 - g. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.11 "Commissioning" part "A" to read as follows:
 - i. "A. Provide commissioning documentation in accordance with the requirements of Section 230800, COMMISSIONING OF HVAC SYSTEMS. This shall be provided by the Mechanical Contractor."
- 3.2 Section 237223.29 – "Packaged Outdoor Fixed Plate Energy Recovery Units"
- a. For Add Alternate #5 – Mechanical Equipment, delete last sentence of paragraph 1.1 "Related Documents" part A.
 - b. For Add Alternate #5 – Mechanical Equipment, delete "owner-furnished equipment" from first sentence and the entire last sentence of paragraph 1.2 "Summary".
 - c. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.7 "Startup Service" part "A" to read as follows:
 - i. "A. Engage a factory-authorized service representative to perform startup service. 1.) Complete installation and startup checks according to manufacturer's written instructions."
 - d. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.8 "Adjusting" to read as follows:
 - i. "A. Adjust moving parts to function smoothly, and lubricate as recommended by manufacturer."
 - ii. "B. Adjust initial temperature and humidity setpoints."
 - iii. "C. Set field-adjustable switches and circuit-breaker trip ranges as indicated."

- e. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.9 “Field Quality Control” to read as follows:
 - i. “A. Perform tests and inspection with the assistance of a factory-authorized service representative.”
 - ii. “B. Tests and Inspections: 1.) Operational Test: After electrical circuitry has been energized, start units to confirm proper motor rotation and unit operation. 2.) Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment.”
 - iii. “C. Packaged, outdoor, fixed-plate, energy-recovery units will be considered defective if it does not pass tests and inspections.”
 - iv. “D. Prepare test and inspection reports.”
 - f. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.10 “Demonstration” part “A” to read as follows:
 - i. “A. Engage a factory-authorized service representative to train Owner’s maintenance personnel to adjust, operate, and maintain equipment.”
 - g. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.11 “Commissioning” part “A” to read as follows:
 - i. “A. Provide commissioning documentation in accordance with the requirements of Section 230800, COMMISSIONING OF HVAC SYSTEMS. This shall be provided by the Mechanical Contractor.”
- 3.3 Section 237416.11 – “Packaged, Small-Capacity, Rooftop Air-Conditioning Units”
- a. For Add Alternate #5 – Mechanical Equipment, delete last sentence of paragraph 1.1 “Related Documents” part A.
 - b. For Add Alternate #5 – Mechanical Equipment, delete “owner-furnished equipment” from first sentence and the entire last sentence of paragraph 1.2 “Summary”.
 - c. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.7 “Startup Service” part “A” to read as follows:
 - i. “A. Engage a factory-authorized service representative to perform startup service. 1.) Complete installation and startup checks according to manufacturer’s written instructions.”
 - d. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.8 “Adjusting” part “A” to read as follows:
 - i. “A. Adjust damper linkages for proper damper operation.”
 - ii. “B. Comply with requirements in Section 230593 “Testing, Adjusting, and Balancing for HVAC” for air-handling system testing, adjusting, and balancing.”
 - e. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.10 “Field Quality Control” to read as follows:
 - i. “A. Perform tests and inspection with the assistance of a factory-authorized service representative.”
 - ii. “B. Tests and Inspections: 1.) After installing RTUs and after electrical circuitry has been energized, test units for compliance with requirements. 2.) Inspect for and remove shipping bolts, blocks, and tie-down straps. 3.) Operational Test: After electrical circuitry has been energized, start units to confirm proper motor rotation and unit operation. 4.) Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment.”

- iii. "C. RTU will be considered defective if it does not pass tests and inspections."
- iv. "D. Prepare test and inspection reports."
- f. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.11 "Demonstration" part "A" to read as follows:
 - i. "A. Engage a factory-authorized service representative to train Owner's maintenance personnel to adjust, operate, and maintain equipment."
- g. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.12 "Commissioning" part "A" to read as follows:
 - i. "A. Provide commissioning documentation in accordance with the requirements of Section 230800, COMMISSIONING OF HVAC SYSTEMS. This shall be provided by the Mechanical Contractor."

3.4 Section 237416.13 – "Packaged, Large-Capacity, Rooftop Air-Conditioning Units"

- a. For Add Alternate #5 – Mechanical Equipment, delete last sentence of paragraph 1.1 "Related Documents" part A.
- b. For Add Alternate #5 – Mechanical Equipment, delete "owner-furnished equipment" from first sentence and the entire last sentence of paragraph 1.2 "Summary".
- c. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.7 "Startup Service" part "A" to read as follows:
 - i. "A. Engage a factory-authorized service representative to perform startup service. 1.) Complete installation and startup checks according to manufacturer's written instructions."
- d. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.8 "Adjusting" to read as follows:
 - i. "A. Adjust damper linkages for proper damper operation."
 - ii. "B. Comply with requirements in Section 230593 "Testing, Adjusting, and Balancing for HVAC" for air-handling system testing, adjusting, and balancing."
- e. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.10 "Field Quality Control" to read as follows:
 - i. "A. Perform tests and inspection with the assistance of a factory-authorized service representative."
 - ii. "B. Tests and Inspections: 1.) After installing RTUs and after electrical circuitry has been energized, test units for compliance with requirements. 2.) Inspect for and remove shipping bolts, blocks, and tie-down straps. 3.) Operational Test: After electrical circuitry has been energized, start units to confirm proper motor rotation and unit operation. 4.) Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment."
 - iii. "C. RTU will be considered defective if it does not pass tests and inspections."
 - iv. "D. Prepare test and inspection reports."
- f. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.11 "Demonstration" to read as follows:
 - i. "A. Engage a factory-authorized service representative to train Owner's maintenance personnel to adjust, operate, and maintain equipment."

- g. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.12 “Commissioning” part “A” to read as follows:
 - i. “A. Provide commissioning documentation in accordance with the requirements of Section 230800, COMMISSIONING OF HVAC SYSTEMS. This shall be provided by the Mechanical Contractor.”

3.5 Section 238126 – “Split-System Air-Conditioners”

- a. For Add Alternate #5 – Mechanical Equipment, delete last sentence of paragraph 1.1 “Related Documents” part A.
- b. For Add Alternate #5 – Mechanical Equipment, delete “owner-furnished equipment” from first sentence and the entire last sentence of paragraph 1.2 “Summary”.
- c. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.4 “Startup Service” part “A” to read as follows:
 - i. “A. Engage a factory-authorized service representative to perform startup service. 1.) Complete installation and startup checks according to manufacturer’s written instructions.”
- d. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.5 “Demonstration” part “A” to read as follows:
 - i. “A. Engage a factory-authorized service representative to train Owner’s maintenance personnel to adjust, operate, and maintain equipment.”
- e. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.6 “Commissioning” part “A” to read as follows:
 - i. “A. Provide commissioning documentation in accordance with the requirements of Section 230800, COMMISSIONING OF HVAC SYSTEMS. This shall be provided by the Mechanical Contractor.”

3.6 Section 238129 – “Variable-Refrigerant-Flow HVAC Systems”

- a. For Add Alternate #5 – Mechanical Equipment, delete last sentence of paragraph 1.1 “Related Documents” part A.
- b. For Add Alternate #5 – Mechanical Equipment, delete “owner-furnished equipment” from first sentence and the entire last sentence of paragraph 1.2 “Summary”.
- c. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.11 “Field Quality Control” part “A” to read as follows:
 - i. “A. Manufacturer’s Field Service: Engage VRF HVAC system manufacturer’s service representative to advise and assist installers; witness testing; and observe and inspect components, assemblies, and equipment installations, including controls and connections.”
- d. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.12 “Startup Service” to read as follows:
 - i. “A. Engage a factory-authorized service representative to perform startup service. 1.) Complete installation and startup checks according to manufacturer’s written instructions. 2.) After completion of startup service, manufacturer shall issue a report for each separate system.”
 - ii. “B. Installer shall accompany manufacturer’s service representative during startup service and provide manufacturer’s service representative with requested documentation and technical support

- during startup service. 1.) Installer shall correct deficiencies found during startup service for reverification.”
- iii. “C. The Commissioning Agent will observe startup and contractor testing of selected equipment. Coordinate the startup and contractor testing schedules with COR and Commissioning Agent. Provide a minimum notice of 10 working days prior to startup and testing.”
- e. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.13 “Adjusting” to read as follows:
- i. “A. Adjust equipment and components to function smoothly, and lubricate as recommended by manufacturer.”
 - ii. “B. Adjust initial temperature and humidity set points. Adjust initial airflow settings and discharge airflow patterns.”
 - iii. “C. Set field-adjustable switches and circuit-breaker trip ranges according to VRF HVAC system manufacturer's written instructions, and as indicated.”
- f. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.15 “Demonstration” part “A” to read as follows:
- i. “A. Engage a factory-authorized service representative to train Owner’s maintenance personnel to adjust, operate, and maintain equipment.”
- g. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.16 “Commissioning” part “A” to read as follows:
- i. “A. Provide commissioning documentation in accordance with the requirements of Section 230800, COMMISSIONING OF HVAC SYSTEMS. This shall be provided by the Mechanical Contractor.”

3.7 Section 238216 – “Hydronic Air Coils”

- a. For Add Alternate #5 – Mechanical Equipment, delete last sentence of paragraph 1.1 “Related Documents” part A.
- b. For Add Alternate #5 – Mechanical Equipment, delete “owner-furnished equipment” from first sentence and the entire last sentence of paragraph 1.2 “Summary”.
- c. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.4 “Startup Service” Part “A” to read as follows:
 - i. “A. Engage a factory-authorized service representative to perform startup service. 1.) Complete installation and startup checks according to manufacturer’s written instructions.”
- d. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.5 “Demonstration” part “A” to read as follows:
 - i. “A. Engage a factory-authorized service representative to train Owner’s maintenance personnel to adjust, operate, and maintain equipment.”
- e. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.6 “Commissioning” part “A” to read as follows:
 - i. “A. Provide commissioning documentation in accordance with the requirements of Section 230800, COMMISSIONING OF HVAC SYSTEMS. This shall be provided by the Mechanical Contractor.”

3.8 Section 238219 – “Fan Coil Units”

- a. For Add Alternate #5 – Mechanical Equipment, delete last sentence of paragraph 1.1 “Related Documents” part A.

- b. For Add Alternate #5 – Mechanical Equipment, delete “owner-furnished equipment” from first sentence and the entire last sentence of paragraph 1.2 “Summary”.
- c. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.4 “Field Quality Control” to read as follows:
 - i. “A. Perform tests and inspection with the assistance of a factory-authorized service representative.”
 - ii. “B. Tests and Inspections: 1.) Operational Test: After electrical circuitry has been energized, start units to confirm proper motor rotation and unit operation. 2.) Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment.”
 - iii. “C. Remove and replace malfunctioning units and retest as specified above.”
 - iv. “D. Prepare test and inspection reports.”
- d. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.5 “Adjusting” part “A” to read as follows:
 - i. “A. Adjust initial temperature and humidity set points.”
- e. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.6 “Startup Service” part “A” to read as follows:
 - i. “A. Engage a factory-authorized service representative to perform startup service. 1.) Complete installation and startup checks according to manufacturer’s written instructions.”
- f. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.7 “Demonstration” part “A” to read as follows:
 - i. “A. Engage a factory-authorized service representative to train Owner’s maintenance personnel to adjust, operate, and maintain equipment.”
- g. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.8 “Commissioning” part “A” to read as follows:
 - i. “A. Provide commissioning documentation in accordance with the requirements of Section 230800, COMMISSIONING OF HVAC SYSTEMS. This shall be provided by the Mechanical Contractor.”

3.9 Section 238223 – “Unit Ventilators”

- a. For Add Alternate #5 – Mechanical Equipment, delete last sentence of paragraph 1.1 “Related Documents” part A.
- b. For Add Alternate #5 – Mechanical Equipment, delete “owner-furnished equipment” from first sentence and the entire last sentence of paragraph 1.2 “Summary”.
- c. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.4 “Field Quality Control” to read as follows:
 - i. “A. Perform tests and inspection with the assistance of a factory-authorized service representative.”
 - ii. “B. Tests and Inspections: 1.) Operational Test: After electrical circuitry has been energized, start units to confirm proper motor rotation and unit operation. 2.) Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment.”
 - iii. “C. Remove and replace malfunctioning units and retest as specified above.”
 - iv. “D. Prepare test and inspection reports.”

- d. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.5 “Startup Service” part “A” to read as follows:
 - i. “A. Engage a factory-authorized service representative to perform startup service. 1.) Complete installation and startup checks according to manufacturer’s written instructions.”
- e. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.6 “Adjusting” part “A” to read as follows:
 - i. “A. Adjust initial temperature and humidity set points.”
- f. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.7 “Demonstration” part “A” to read as follows:
 - i. “A. Engage a factory-authorized service representative to train Owner’s maintenance personnel to adjust, operate, and maintain equipment.”
- g. For Add Alternate #5 – Mechanical Equipment, revise paragraph 3.8 “Commissioning” part “A” to read as follows:
 - i. “A. Provide commissioning documentation in accordance with the requirements of Section 230800, COMMISSIONING OF HVAC SYSTEMS. This shall be provided by the Mechanical Contractor.”

PART 4 DRAWING CHANGES, ARCHITECTURAL / CIVIL / ABATEMENT

- 4.1 A101 Overall First Floor Demolition Plan
 - a. See REVISED A101 with additional information on demolition of the existing canopy at the existing main entrance, and information on demolition in the area of Office 412 for temporary egress during construction.
- 4.2 A201D First Floor Plan Part D
 - a. See REVISED A201D with information on Storage 412B and double doors required for egress during construction.
- 4.3 A312 Building Sections
 - a. See REVISED A312 with additional information on modifications to the existing building at the area of the existing main entrance required after demolition, and elevation of double door at Storage 412B for egress.

PART 5 DRAWING CHANGES, STRUCTURAL

- 5.1 S301 Building Sections and S503 Structural Steel Connection Details
 - a. Attached please find the following revised Structural Drawings with additional framing information at the main entrance canopy.
See revisions to details 4/S301 and 15/S503.
Note: Detail 15/S503 shall be typical for both sides of canopy along grid lines ‘C.2’ and ‘D’

PART 6 DRAWING CHANGES, PLUMBING, MECHANICAL AND ELECTRICAL

- 6.1 Drawing M701 – Add the following alternate note to the drawing near the box note that starts as “**Note:** 1. All of the following equipment...”:

- a. "Add Alternate #5 – Mechanical Equipment, Base Bid Scope: , Alternate Scope: Mechanical Contractor to purchase and install equipment indicated."
- 6.2 Drawing M702 – Add the following alternate note to the drawing near the box note that starts as "**Note:** 1. All of the following equipment...":
 - a. "Add Alternate #5 – Mechanical Equipment, Base Bid Scope: , Alternate Scope: Mechanical Contractor to purchase and install equipment indicated."
- 6.3 Drawing M702 – Revise "Packaged Vertical Unit Ventilator Schedule" to include the following additional option: "Economizer Fault Detection".
- 6.4 Drawing M703 – Add the following alternate note to the drawing near the box note that starts as "**Note:** 1. All of the following equipment...":
 - a. "Add Alternate #5 – Mechanical Equipment, Base Bid Scope: , Alternate Scope: Mechanical Contractor to purchase and install equipment indicated."
- 6.5 Drawing M704 – Add the following alternate note to the drawing near the box note that starts as "**Note:** 1. All of the following equipment...":
 - a. "Add Alternate #5 – Mechanical Equipment, Base Bid Scope: , Alternate Scope: Mechanical Contractor to purchase and install equipment indicated."
- 6.6 Drawing M705 – Add the following alternate note to the drawing near the box note that starts as "**Note:** 1. All of the following equipment...":
 - a. "Add Alternate #5 – Mechanical Equipment, Base Bid Scope: , Alternate Scope: Mechanical Contractor to purchase and install equipment indicated."
- 6.7 Attached please find the following revised Plumbing Drawings with modifications and/or additional information clouded:
 - a. Drawing P101B – Plumbing First Floor Demo Plan Part B
- 6.8 Attached please find the following revised Mechanical Drawings with modifications and/or additional information clouded:
 - a. Drawing M101B – Mechanical First Floor Demo Plan Part B
 - b. Drawing M111B – Mechanical First Floor Piping Demo Plan Part B
 - c. Drawing M200B – Mechanical Ground Floor Plan Part B
- 6.9 Attached please find the following revised Electrical Drawings with modifications and/or additional information clouded:
 - a. Drawing E101B – Electrical First Floor Demo Plan Part B
 - b. Drawing E102B – Electrical Second Floor Demo Plan Part B
 - c. Drawing E103 – Electrical Roof Demo Plan
 - d. Drawing E200B – Electrical Ground Floor Power Plan Part B
 - e. Drawing E201B – Electrical First Floor Power Plan Part B
 - f. Drawing E203 – Electrical Roof Power Plan
 - g. Drawing E300A – Electrical Ground Floor Lighting Plan Part A & D
 - h. Drawing E300B – Electrical Ground Floor Lighting Plan Part B
 - i. Drawing E301A – Electrical First Floor Lighting Plan Part A
 - j. Drawing E301B – Electrical First Floor Lighting Plan Part B
 - k. Drawing E301C – Electrical First Floor Lighting Plan Part C
 - l. Drawing E301D – Electrical First Floor Lighting Plan Part D

- m. Drawing E302A – Electrical Second Floor Lighting Plan Part A
- n. Drawing E302B – Electrical Second Floor Lighting Plan Part B

PART 7 CLARIFICATIONS

7.1 Clarification of the work areas for the Add Alternates 1, 2A, 2B, 2C, and 3:

Add Alt 1 (GC and Abatement)

Window Replacements

- GC – Window replacements labeled “Add-Alt 1” on the Drawings.
- Abatement – In 1969 portion of the building only, these windows have ASB sills. Refer to abatement specifications.

Add Alt 2A (GC, Abatement, Mechanical, Electrical)

Renovation of Ground Floor Classrooms

- Renovation of Classrooms 129, 131, 133, 137, 139, 141 and Offices 135, 135A, 135B, 143, and 143A, along with adjacent areas as required for the new work.

Add Alt 2B (GC, Abatement, Mechanical, Electrical)

Renovation of Ground Floor Classrooms

- Renovation of Classrooms 111, 113, 123, 125 along with adjacent areas as required for the new work.
- Converting existing Classroom 115 to Resource Rooms (Strive Related Services) 118 and 120 including structural work for corridor wall removal in this area.

Add Alt 2C (GC, Abatement, Mechanical, Electrical)

Renovation of Ground Floor Classrooms

- Renovation of Classrooms 103, 105 and 107 along with adjacent areas as required for the new work.

Add Alt 3 (GC, Abatement, Plumbing, Mechanical, Electrical) – Renovation of Existing Pool and Adjacent Toilet Room Spaces to become Life Skills Classroom 250 and Storage Spaces 248 and 249

- Renovation of Existing Pool to become Life Skills 250
 - o Note: Space labeled “Life Skills 250” is the existing Pool which shall be renovated as part of this add-alternate. The pool will be decommissioned and filled in to create a level floor in this space per the Structural Drawings.
- Renovation of two Toilet Rooms adjacent to the existing Pool to become Storage 248 and Storage 249
 - o Note: Spaces labeled Storage 248 and Storage 249 are existing toilet rooms to be renovated into storage rooms as part of this add-alternate.

7.2 For the area of site demolition for new underground piping (Demolition note '16' on A101), the existing playground surface to be restored shall be a poured in place playground surface by the General Contractor. Playground surfacing shall be Soft Fusion by A&D Recreation, Inc. or approved equal. 1/2" EPDM top course surface, 3inch thick shredded SBR cushion base, asphalt binder, 4inch min. crushed stone base. General Contractor to allow for 800sf new playground surfacing. Color from manufacturers standard color selections.

- 7.3 In area of office 412, the General Contractor shall modify these spaces and provide temporary double doors and openings, including lintels, supports, signage, etc. for egress from this area during construction. Upon completion of construction, these spaces shall be restored with new LVT flooring, painted walls with rubber base, and ACT ceilings. In addition to temporary doors, the GC shall provide exterior FRP double door E412 with transom as part of Base Bid.
- 7.4 RFI Question – Spec section 011000 1.9.e.d.2 makes mention of topsoil & grass seed but neither are shown in the civil drawing set. Where are these to be used?
RFI Response – Topsoil / grass seed is not required around new addition as it is surrounded by plaza. Restoration of existing site required at staging areas and other work areas around the building.
- 7.5 RFI Question – Are plantings in the general contracting scope? If so, please provide a schedule.
RFI Response – See plant list below for pricing purposes for Add Alternate #4

FOR LANDSCAPE PLAN - ALTERNATE		
PLANT MATERIALS - REPRESENTATIVE LIST FOR PRICING		
Botanical Name	Common Name	Size
MINOR TREES - TOTAL COUNT: 10		
Acer griseum	Paperbark Maple	6'-8' HT
Cercis canadensis	Eastern Redbud	↓
SHRUBS - TOTAL COUNT: 108		
Cornus sericea	Red-Osier Dogwood	#3 CONT.
Deutzia scabra	Fuzzy Deutzia	↓
Ilex verticillata	Winterberry	
Juniperus horizontalis Plumosa	Andorra Juniper	
Physocarpus opulifolius 'Diablo'	Ninebark 'Diablo'	
Pieris japonica	Japanese Pieris	
Spiraea x bumalda 'Goldflame'	Goldflame Spirea	
GROUNDCOVERS AND VINES - TOTAL COUNT, GC: 1600, VINE: 5		
Clematis x Jackmanii	Jackman Clematis	↓
Euonymus fortunei 'coloratus'	Purpleleaf Wintercreeper	
Vinca minor	Periwinkle	1 Yr
PERENNIALS AND ORNAMENTAL GRASSES - TOTAL COUNT: 215		
Achillea filipendulina	Fernleaf Yarrow	#1 CONT.
Lavandula angustifolia	English Lavender	↓
Thymus praecox	Creeping Thyme	
Andropogon scoparius	Big Bluestem	
Calamagrostis acutiflora Karl Foerster	Karl Foerster Reed Grass	#3 CONT.
Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	#3 CONT.
Schizachyrium scorparium	Little Bluestem	#1 CONT.
THYME OR MOSS SOD - TOTAL: 700 S.F.		

- 7.6 RFI Question – Please clarify areas of masonry restoration, cleaning, and brick repointing.
RFI Response – In addition to areas of brick work identified on A251 for new roofing, the General Contractor shall allow for the following:
1,000 LF of repairs/adjustment to precast wall panels at upper portion of exterior wall that are out of alignment
5,000 SF of brick repointing, exact locations to be determined during construction.
Contractor to assume repointing work at minimum 5 different locations.
- 7.7 RFI Question – Please provide more information on the “Green Wall” for pricing purposes.
RFI Response – For Add Alternate #4, General Contractor shall provide galvanized metal wire mesh green screen panels (8'-0"H x 4'-0"W each) mechanically fastened to existing

masonry wall. Product shall be McNichols Eco-Mesh 135 (10) GA. Inter Woven Wire Mesh 2" Square Pattern with galvanized steel frame around perimeter of panel (minimum 3inch channel 16 GA galv steel) or equivalent. Total length of green wall shall be 48 feet (12-4foot wide panels)

- 7.8 RFI Question – There are unlabeled light fixtures throughout Drawings E300B, E301A, E301B, E301C, E301D, E302A, E302B. Please advise.
RFI Response – See attached revised electrical drawings with light fixtures labeled.
- 7.9 RFI Question – E302B Stair G has two different fixtures overlayed on top of each other please confirm correct fixture.
RFI Response – Fixture 'B' is the only fixture.
- 7.10 RFI Question – Please provide existing FA vendor if available.
RFI Response – Information can be found on drawing FA601 Detail #3 – Red Hawk Fire & Security – 1-914-769-8900.
- 7.11 RFI Question – Description, complete with backup data as necessary attached hereto: On P103 Roof Demo it shows 51 RD coming out On P203 it shows 89 RD being installed that is 38 new RD going in with absolutely no diagram or piping layout on the drawings is this a Build by design bid and I have to calculate the correct piping size increase to handle the additional flow from the 38 also how are they being piped in. Doing a walkthrough you don't have the time to pop open ceilings ETC. to get a correct takeoff, there are notes saying verify in the field in this case the drawings are lacking information that is needed to get correct proper takeoff and for a Qualifying Bid Riser diagram needed.
RFI Response – Drawing P103 shows 52 roof drains being removed and replaced in same location. Drawing P203 shows a total of 73 roof drains (18 on addition) with all piping associated with 21 new roof drains shown on Drawing P201A, P201C and P201D.

PART 8 NEW ISSUES

SPECIFICATIONS

- | | |
|---|------------------|
| 1. 004050 – Bid Form – Mechanical Contract #5 | (6 pages) 8.5x11 |
| 2. 012300 – Alternates | (4 pages) 8.5x11 |

DRAWINGS

- | | |
|--|----------------|
| 3. Drawing S301 – Building Sections | (1 Page) 30x42 |
| 4. Drawing S503 – Structural Steel Connection Details | (1 Page) 30x42 |
| 5. Drawing A101 – Overall First Floor Demolition Plan | (1 Page) 30x42 |
| 6. Drawing A201D – First Floor Plan Part D | (1 Page) 30x42 |
| 7. Drawing A312 – Building Sections | (1 Page) 30x42 |
| 8. Drawing P101B – Plumbing First Floor Demo Plan Part B | (1 Page) 30x42 |
| 9. Drawing M101B – Mechanical First Floor Demo Plan Part B | (1 Page) 30x42 |
| 10. Drawing M111B – Mechanical First Floor Piping Demo Plan Part B | (1 Page) 30x42 |
| 11. Drawing M200B – Mechanical Ground Floor Plan Part B | (1 Page) 30x42 |
| 12. Drawing E101B – Electrical First Floor Demo Plan Part B | (1 Page) 30x42 |
| 13. Drawing E102B – Electrical Second Floor Demo Plan Part B | (1 Page) 30x42 |
| 14. Drawing E103 – Electrical Roof Demo Plan | (1 Page) 30x42 |
| 15. Drawing E200B – Electrical Ground Floor Power Plan Part B | (1 Page) 30x42 |

- | | |
|--|----------------|
| 16. Drawing E201B – Electrical First Floor Power Plan Part B | (1 Page) 30x42 |
| 17. Drawing E203 – Electrical Roof Power Plan | (1 Page) 30x42 |
| 18. Drawing E300A – Electrical Ground Floor Lighting Plan Part A & D | (1 Page) 30x42 |
| 19. Drawing E300B – Electrical Ground Floor Lighting Plan Part B | (1 Page) 30x42 |
| 20. Drawing E301A – Electrical First Floor Lighting Plan Part A | (1 Page) 30x42 |
| 21. Drawing E301B – Electrical First Floor Lighting Plan Part B | (1 Page) 30x42 |
| 22. Drawing E301C – Electrical First Floor Lighting Plan Part C | (1 Page) 30x42 |
| 23. Drawing E301D – Electrical First Floor Lighting Plan Part D | (1 Page) 30x42 |
| 24. Drawing E302A – Electrical Second Floor Lighting Plan Part A | (1 Page) 30x42 |
| 25. Drawing E302B – Electrical Second Floor Lighting Plan Part B | (1 Page) 30x42 |

****** END OF BID ADDENDUM #5 ******

BID FORM

FOR

ORANGE ULSTER BOCES

ADDITIONS & ALTERATIONS TO EMANUEL AXELROD SPECIAL EDUCATION CENTER

CONTRACT NO. 5 – MECHANICAL WORK

Owner Information:

Orange Ulster BOCES

53 Gibson Road

Goshen, New York 10924

Attn: Mark Coleman, Assistant Superintendent for Finance & Management

Project Location:

Orange Ulster BOCES – Gibson Road Campus

Emanuel Axelrod Education Center

53 Gibson Road

Goshen, New York 10924

1. The Undersigned hereby declares that it has carefully examined all Bidding and Contract Documents and has inspected the actual location of Work, together with the local sources of supply, and has satisfied itself as to all quantities and conditions, and understands that in signing this Proposal, it waives all rights to plead any misunderstanding regarding the same.
2. The Undersigned further understands and agrees that it is to do, perform and complete all the Work in accordance with the Contract Documents and Contract and to accept in full compensation therefor, the amount of the Base Bid, modified by such additive or deductive alternatives, if any, as are accepted by the Owner.
3. In submitting this Bid, the Undersigned agrees:
 - a. To hold the Bid open for forty-five (45) days after Bid Opening.
 - b. To accept the provisions of the Instructions to Bidders.
 - c. To enter into and execute a Contract and the PLA within ten (10) days of the Notice of Award issue date, and to simultaneously furnish Performance and Labor and Material Bonds.
 - d. To enter into, become signatory to, and to abide by, the provisions of the Project Labor Agreement with the Hudson Valley Building and Construction Trades Council, AFLCIO and the signatory local unions. A copy of this Project Labor Agreement ("PLA") is included in the specifications as Section 007013.
 - e. To require any and all of its subcontractors of any tier on the Orange Ulster BOCES Additions and Alterations to Emanuel Axelrod Education Building Project to become signatory to, and to abide by, the PLA.
 - f. To commence the Work immediately upon receipt of Notice of Award.
4. The Undersigned agrees to the stated percentages for Changes in the Work in accordance with Invitation/Instructions to Bidders and Article 7 AIA 232-2019
5. The Undersigned agrees that the Work proposed herein will be Substantially Complete the dates indicated in specification Section 011000 - "Summary" and in the Project Milestone Schedule following Section 011000.

6. By submission of this Bid, each Bidder and each person signing on behalf of any Bidder certifies, and in the case of a joint Bid, each party thereto certifies as to its own organization, under penalty of perjury, that to the best of the party's knowledge and belief:
- a. the prices in this Bid have been arrived at independently without collusion, consultation, communication or agreement, for the purpose of restricting competition, as to any matter relating to such prices, with any other Bidder or with any competitor,
 - b. unless otherwise required by law, the prices that have been quoted in this Bid have not been knowingly disclosed by the Bidder, and will not knowingly be disclosed by the Bidder prior to opening, directly or indirectly, to any other Bidder or to any competitor; and
 - c. no attempt has been made or will be made by the Bidder to induce any other person, partnership or corporation to submit or not to submit a Bid for the purpose of restricting competition.

A Bid shall not be considered for award, nor shall any award be made where a., b., and c. above have not been complied with, provided however, that if in any case the Bidder cannot make the foregoing certification, the Bidder shall so state and shall furnish, with the Bid, a signed statement which sets forth in detail the reasons therefor. Where a., b., and c. above have not been complied with, the Bid shall not be considered for award, nor shall any award be made unless the head of the purchasing unit of the political subdivision, public department, agency or official thereof to which the Bid is made, or his designee, determines that such disclosure was not made for the purpose of restricting competition.

The fact that a Bidder (a) has published price lists, rates or tariffs covering items being procured, (b) has informed prospective customers of proposed or pending publication of new or revised price lists for such items, or (c) has sold the same items to other customers at the same prices being Bid, does not constitute, without more, a disclosure within the meaning of this Section.

7. The Undersigned understands that the Owner reserves the right to accept or reject any or all Bids and to waive any informalities in the bidding.
8. The Undersigned acknowledges the receipt of the following addenda, but agrees that it is bound by all addenda whether or not listed herein:

Addendum Number

Date of Addendum

9. BASE BID

All labor, material, services and equipment necessary for completion of the Work shown on the Drawings and the Technical Specifications for Contract No. 5 MECHANICAL WORK:

\$ _____ (in numbers)

_____ Dollars (in words)

10. ALTERNATES

The Undersigned agrees to provide all work in accordance with the requirements of the Specifications and the Drawings, and Section 012300 "Alternates" and includes all costs of related coordination, modification, or adjustments for the following:

2A. ADD ALTERNATE NO.2A: GROUND FLOOR CLASSROOMS PART A

ADD _____ Dollars (\$ _____)

2B. ADD ALTERNATE NO.2B: GROUND FLOOR CLASSROOMS PART B

ADD _____ Dollars (\$ _____)

2C. ADD ALTERNATE NO.2C: GROUND FLOOR CLASSROOMS PART C

ADD _____ Dollars (\$ _____)

3. ADD ALTERNATE NO.3: RENOVATION OF EXISTING POOL AND ADJ. SPACES

ADD _____ Dollars (\$ _____)

5. ADD ALTERNATE NO.5: MECHANICAL EQUIPMENT

ADD _____ Dollars (\$ _____)

11. SCHEDULE OF UNIT PRICES**CONTRACT NO. 5 – MECHANICAL WORK**

The Undersigned agrees to perform all work as drawn and specified for the following items at the unit prices given. See Section 012200 "Unit Prices" for further information.

Unit Price MC-1 – Piping Insulation	<div>\$ _____/LF 1inch or Less</div> <div>\$ _____/LF 1.25inch – 2inch</div> <div>\$ _____/LF 2.5" - Greater</div>
Unit Price MC-2 – Ball Valve Shutoffs	<div>\$ _____/Each 1inch or Less</div> <div>\$ _____/Each 1.25inch – 2inch</div> <div>\$ _____/Each 2.5" - Greater</div>

- 12.** The Undersigned has attached the following documents to this Bid:
- A. 004100 Non-Collusive Affidavit
 - B. 004200 Indemnification and Hold-Harmless Clause
 - C. 004300 Certificate of Compliance with the Iran Divestment Act
 - D. 004400 Sexual Harassment Written Policy and Training Certification
 - E. 004500 Bid Bond / Certified Check
 - F. 004600, 004601, 004602, 004603, 0046004 Statement of Bidder's Qualifications AIA Document A305 and Exhibits A, B, C, and D

(BID FORM CONTINUES NEXT PAGE)

(Name of Bidder)

Legal name of person, partnership, joint venture or corporation (please type)

(If Corporation,
affix corporate seal)

Address (please type)

Federal ID No. or Social Security No. (please type)

Phone No. (please type)

Name and title of signer (please type)

Signature

Date

If a Corporation
Name

Address

_____, PRESIDENT _____

_____, SECRETARY _____

_____, TREASURER _____

If a Partnership
Name

Address

If a Joint Venture
Name

Address

(Name of Bidder)

If an Individual
Name of Individual

Address

See Specifications Sections 004100, 004200, 004300, 004400, 004500, 004600, 004601, 004602, 004603, and 004604 for additional forms to be included with bid proposal.

****END OF BID FORM****

SECTION 012300 - ALTERNATES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.2 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.3 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

A. **Add Alternate No. 1: EXTERIOR WINDOWS**

1. Description of Alternate: Remove existing windows and interior sills, and prep for new window installation. Provide and install new window/storefront assembly and associated flashings, trim, and new solid surface sills at interior. Abatement work required at windows in Original 1969 wing per abatement specifications.
2. Base Bid Work: Existing windows and sills to remain. Provide new window treatments at all renovated spaces.
Abatement contractor shall refer to Architectural Drawings for windows/storefronts that are included in base bid verses Add-Alternate No.1.
3. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 2 – Abatement Work

B. **Add Alternate No. 2A: RENOVATIONS TO EXISTING GROUND FLOOR CLASSROOMS/OFFICES – AREA A**

1. Description of Alternate: Demolition of existing classrooms including removals of finishes, fixtures, abatement, plumbing, mechanical and electrical equipment as noted on the drawings. Renovation work including new finishes (flooring, paint, ceilings), window treatments, casework/millwork, mechanical and electrical work and all associated work as noted on the drawings.
2. Alternate Area A = Classrooms 129, 131, 133, 137, 139, 141 and Offices 135, 135A, 135B, 143 and 143A; along with adjacent areas as required for the new work.
3. Base Bid Work: Existing conditions to remain.
4. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 2 – Abatement Work
 - c. Contract No. 5 – Mechanical Work
 - d. Contract No. 6 – Electrical Work

C. **Add Alternate No. 2B: RENOVATIONS TO EXISTING GROUND FLOOR CLASSROOMS/RESOURCE ROOMS – AREA B**

1. Description of Alternate: Demolition of existing classrooms including removals of finishes, fixtures, abatement, plumbing, mechanical and electrical equipment as noted on the drawings. Renovation work including new finishes (flooring, paint, ceilings), window treatments, casework/millwork, mechanical and electrical work and all associated work as noted on the drawings.
2. Alternate Area B = Classrooms 111, 113, 123, 125 and Converting existing Classroom 115 to Resource Rooms 118 and 120; along with adjacent areas as required for the new work.

3. Base Bid Work: Existing conditions to remain.
4. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 2 – Abatement Work
 - c. Contract No. 5 – Mechanical Work
 - d. Contract No. 6 – Electrical Work

D. Add Alternate No. 2C: RENOVATIONS TO EXISTING GROUND FLOOR CLASSROOMS – AREA C

1. Description of Alternate: Demolition of existing classrooms including removals of finishes, fixtures, abatement, plumbing, mechanical and electrical equipment as noted on the drawings. Renovation work including new finishes (flooring, paint, ceilings), window treatments, casework/millwork, mechanical and electrical work and all associated work as noted on the drawings.
2. Alternate Area C = Classrooms 103, 105, 107; along with adjacent areas as required for the new work.
3. Base Bid Work: Existing conditions to remain.
4. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 2 – Abatement Work
 - c. Contract No. 5 – Mechanical Work
 - d. Contract No. 6 – Electrical Work

E. Add Alternate No. 3: RENOVATIONS TO EXISTING POOL AND ADJACENT TOILET ROOM SPACES

1. Description of Alternate: Gut Demolition of existing pool and adjacent Toilet Room Spaces including removals of finishes, fixtures, pool equipment and accessories, abatement, plumbing, mechanical and electrical equipment as noted on the drawings. Renovation work including infill of pool for new concrete floor slab, new finishes (flooring, paint, ceilings), modifications to toilet rooms to create storage spaces, plumbing, mechanical and electrical work and all associated work as noted on the drawings.
Note: Room labeled Life Skills 250 is the existing pool. The existing pool shall be renovated to become Life Skills 250 as part of this add alternate.
Note: Rooms labeled Storage 248 and Storage 249 are existing toilet rooms. The existing Toilet Rooms shall be renovated to become Storage Rooms 248 and 249 as part of this add alternate.
2. Base Bid Work: Existing conditions to remain.
3. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 2 – Abatement Work
 - c. Contract No. 4 – Plumbing Work
 - d. Contract No. 5 – Mechanical Work
 - e. Contract No. 6 – Electrical Work

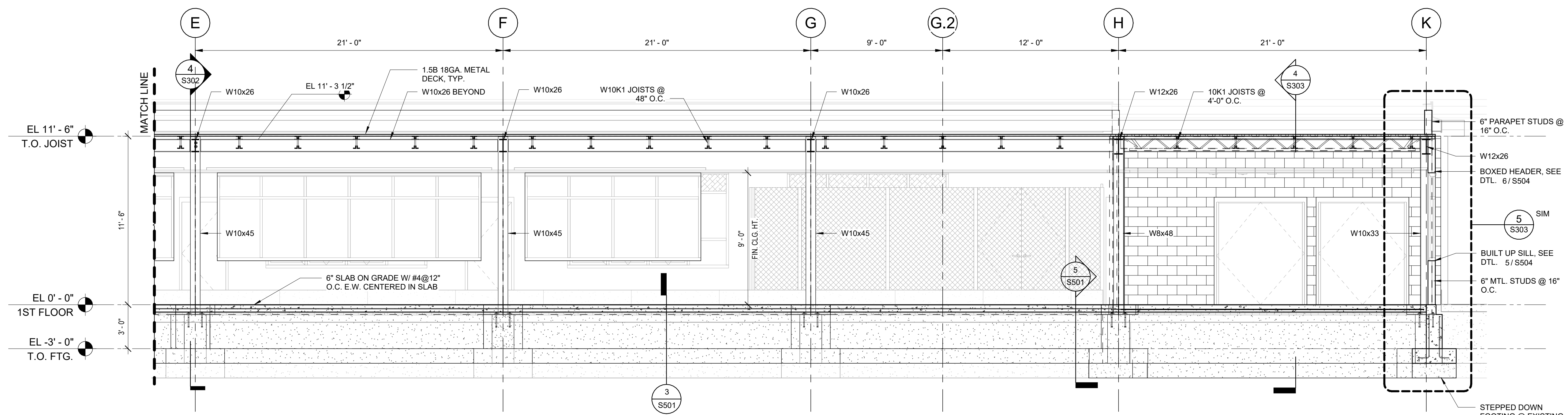
F. Add Alternate No. 4: EXTERIOR PLAZA RENOVATIONS

1. Description of Alternate: In lieu of new concrete paving/sidewalk at courtyard/plaza around New Addition, Contractor to provide triangular pavers, landscape elements, plantings, benches, planters, greenwall and additional lighting as noted on the drawings.
2. Base Bid Work: Removals at existing plaza as noted including concrete pavement, curbs, planters, drainage, utilities, and equipment as noted on drawings. Provide new concrete paving/sidewalks, curbs, fences, pads, flag pole, plantings, grading, drainage and utilities as noted on drawings.
3. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 6 – Electrical Work

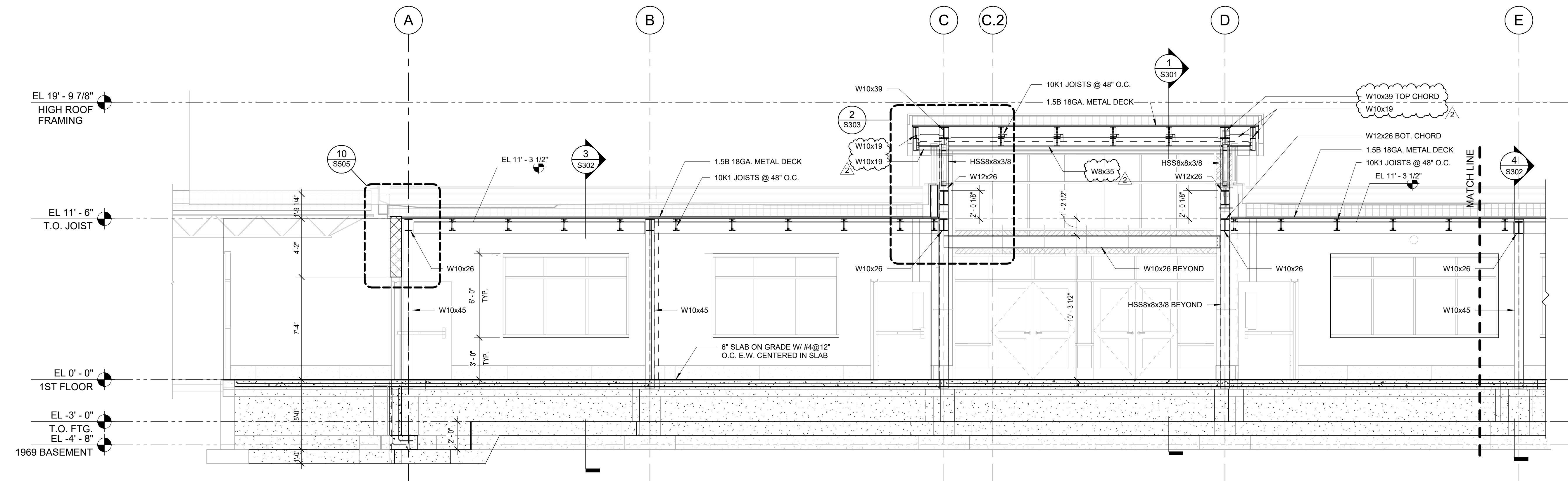
G. Add Alternate No. 5: MECHANICAL EQUIPMENT

1. Description of Alternate: In lieu of owner furnished mechanical equipment, the Mechanical Contractor (Contract #5) shall provide and install mechanical equipment, and perform all testing, start up, adjusting, field quality control, training and demonstration.
Equipment includes Packaged Indoor and Outdoor Fixed Plate Energy Recovery Units, Packaged Small Capacity and Large Capacity Rooftop Air Conditioning Units, Split System Air Conditioners, Variable Refrigerant Flow HVAC Systems, Hydronic Air Coils, Fan Coil Units and Unit Ventilators.
See further descriptions included in Bid Addendum #5.
2. Base Bid Work: Owner furnished equipment for installation by Mechanical Contractor.
3. Contracts Involved in this Alternate:
 - a. Contract No. 5 – Mechanical Work

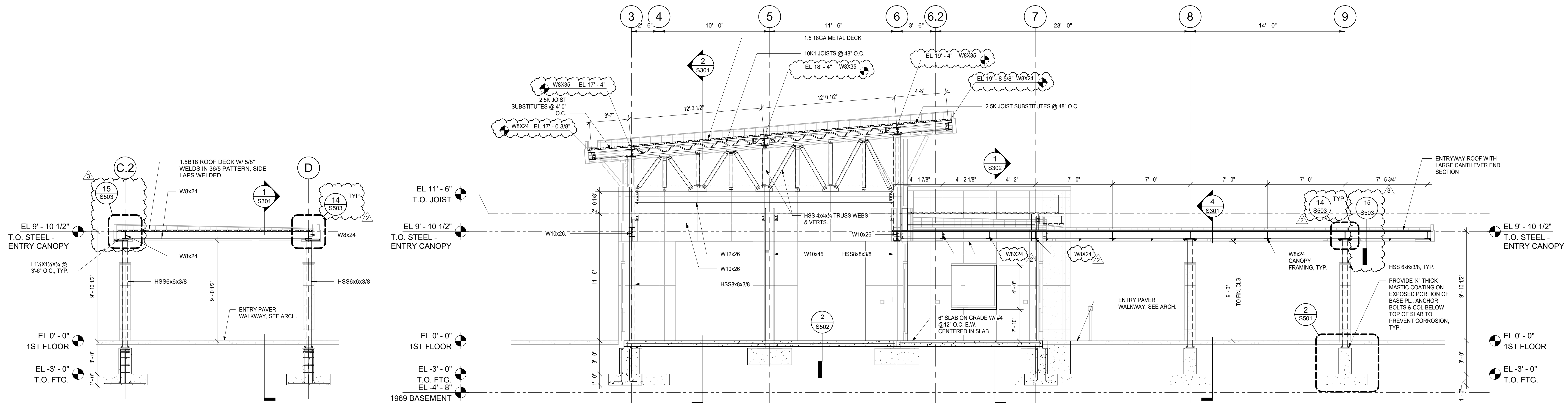
END OF SECTION 012300 ALTERNATES



3 BLDG. SECTION - E-K
1/4" = 1'-0"



2 BLDG. SECTION - A-E
1/4" = 1'-0"



4 ENTRY CANOPY SECTION
1/4" = 1'-0"

1 ENTRYWAY BLDG. SECTION
1/4" = 1'-0"

ORANGE-ULSTER BOCES
AXELROD - MAIN
BUILDING
ADDITIONS +
ALTERATIONS
53 GIBSON ROAD
GOSHEN, NY 10924

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imagine
build
KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO . NEW YORK . 10549
P-914.666.5900 KGDARCHITECTS.COM

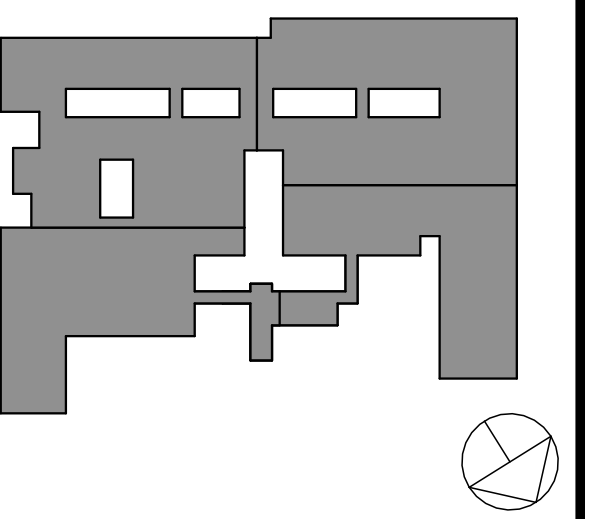
NY SED PROJECT CONTROL NO:
44-90-00-00-009-036

BID ISSUE

MHE
ENGINEERING

33 Airport Center Drive, Suite 202 111 Wheelfield Drive, Suite 1
New Windsor, NY 12553 Milford, PA 18337
(845) 967-3100 (570) 296-2765

KEY PLAN



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Professional Seal

No.	Date	Issue
3	12/03/24	BID ADDENDUM #5
2	11/15/24	BID ADDENDUM #3
1	10/25/24	BID ISSUE

Sheet Title

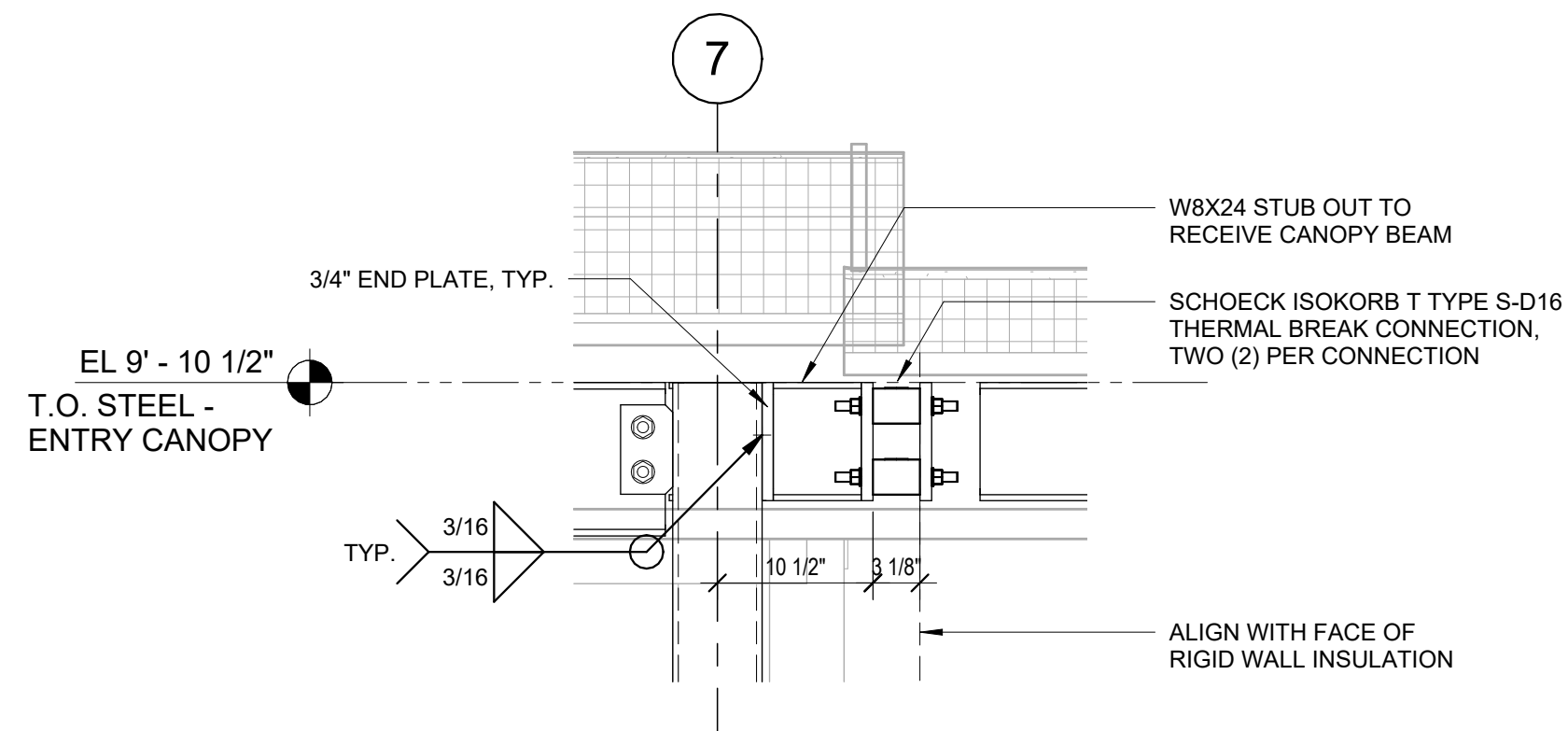
BUILDING
SECTIONS

Job No.	2023-1013	Date	10/25/2024
Scale	AS NOTED	Drawn / Checked	Author Checker

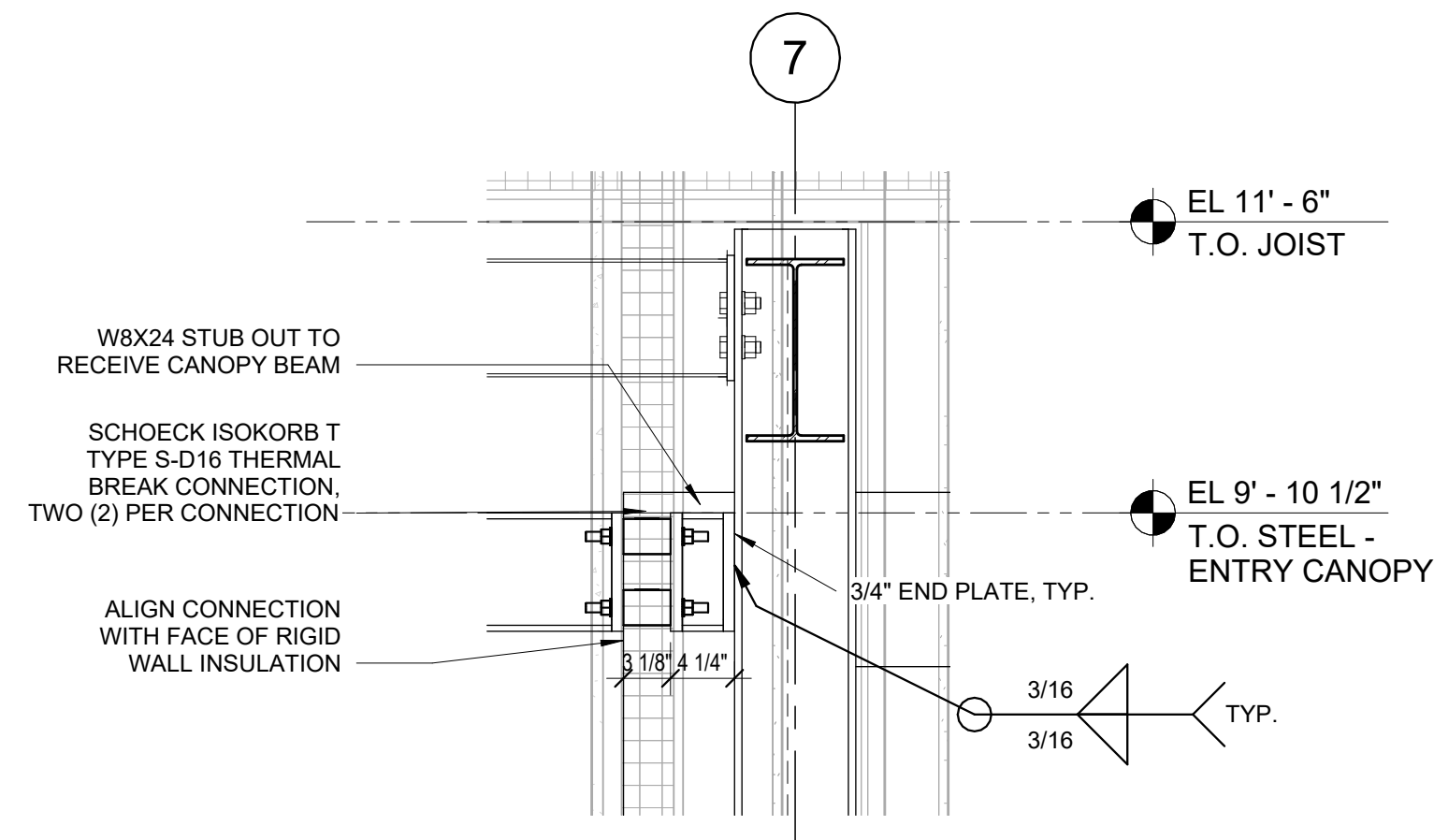
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S301

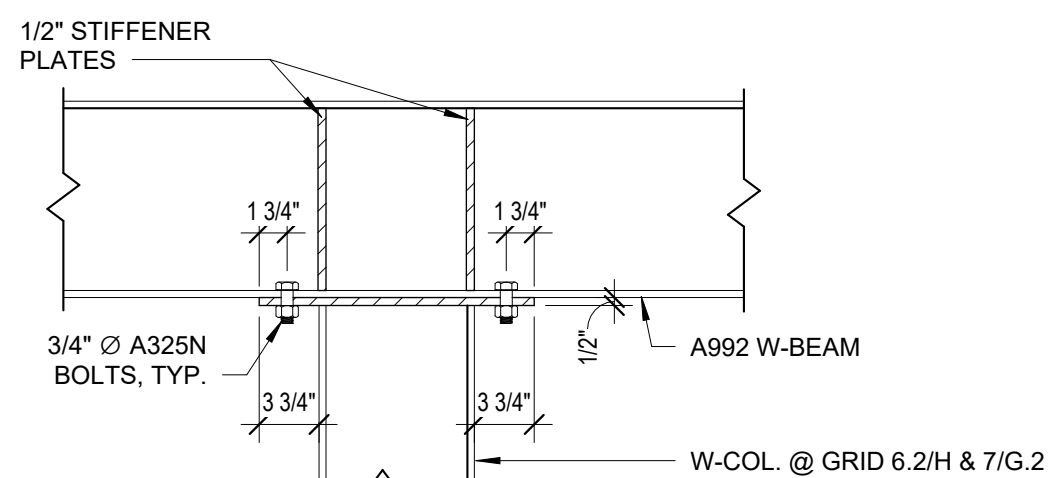
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MARK	BASE PLATE			ANCHOR BOLTS				DETAIL	REMARK
	THICKNESS	"A"	"B"	SIZE	GRADE	EMBED	TYPE		
BP1	5/8"	14"	14"	3/4"	36	12" MIN.	HEADED	1/S503	W10x45, W10x33, W8x48, W8x35
BP2	1/2"	10"	10"	3/4"	36	12" MIN.	HEADED	2/S503	HSS6x6x3/8
BP3	5/8"	14"	14"	3/4"	36	12" MIN.	HEADED	2/S503	HSS8x8x3/8
BP4	3/8"	8"	8"	3/4"	36	6" MIN.	EPOXY	2/S503	HSS4 1/2x4 1/2x3/8



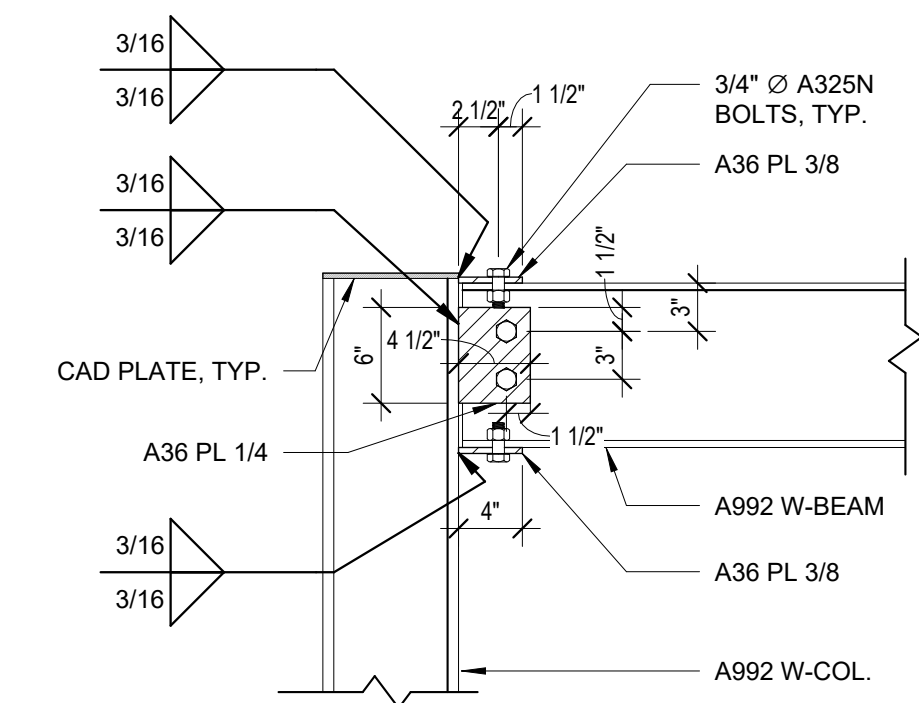
13 THERMAL BREAK CONNECTION DETAIL
1" = 1'-0"



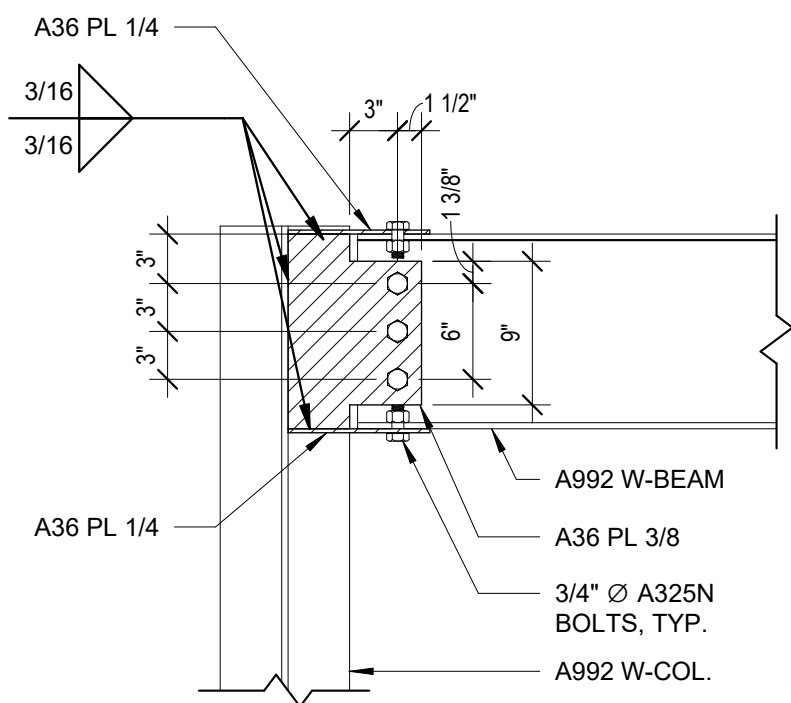
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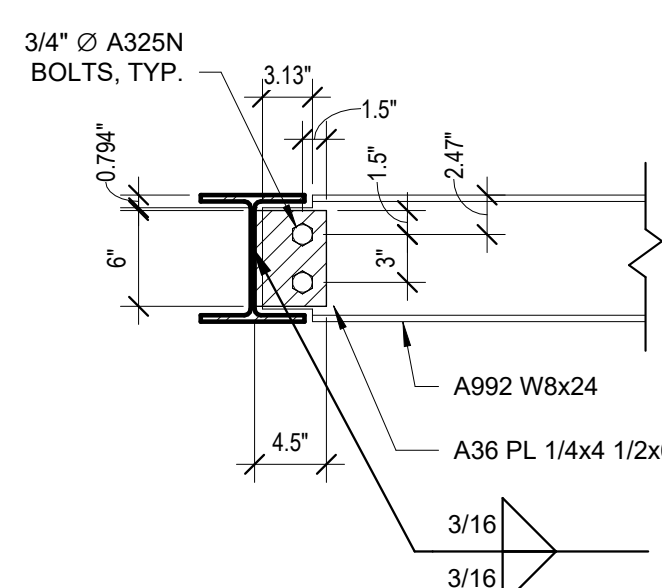
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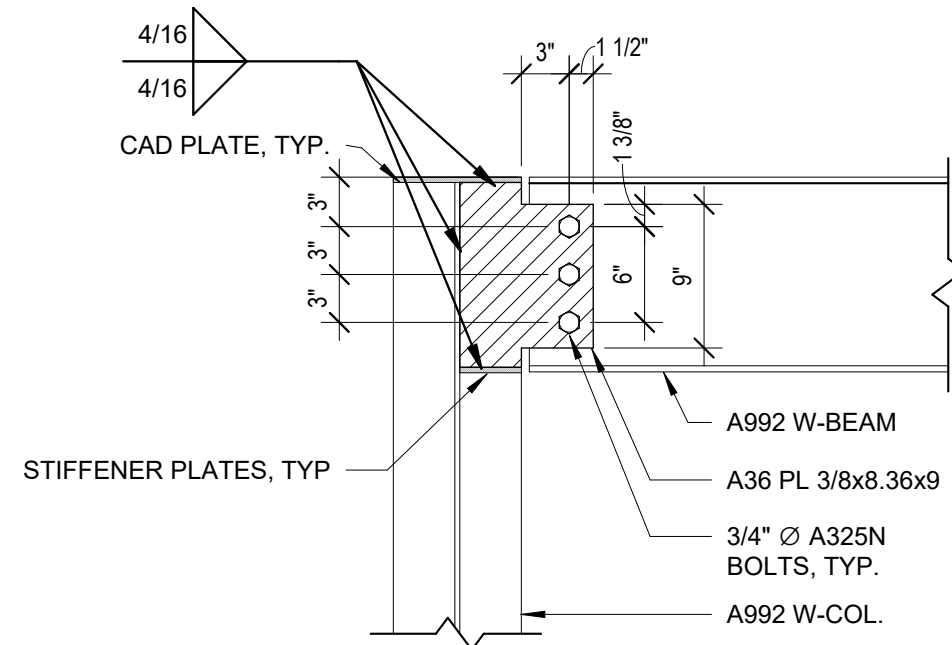
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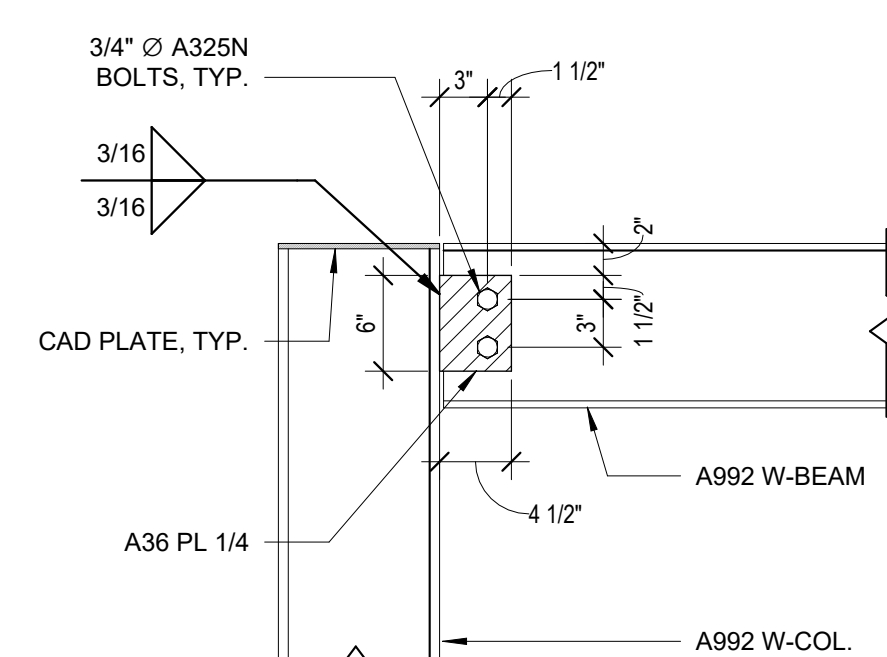
9 W-BEAM MOMENT CONNECTION - WEB
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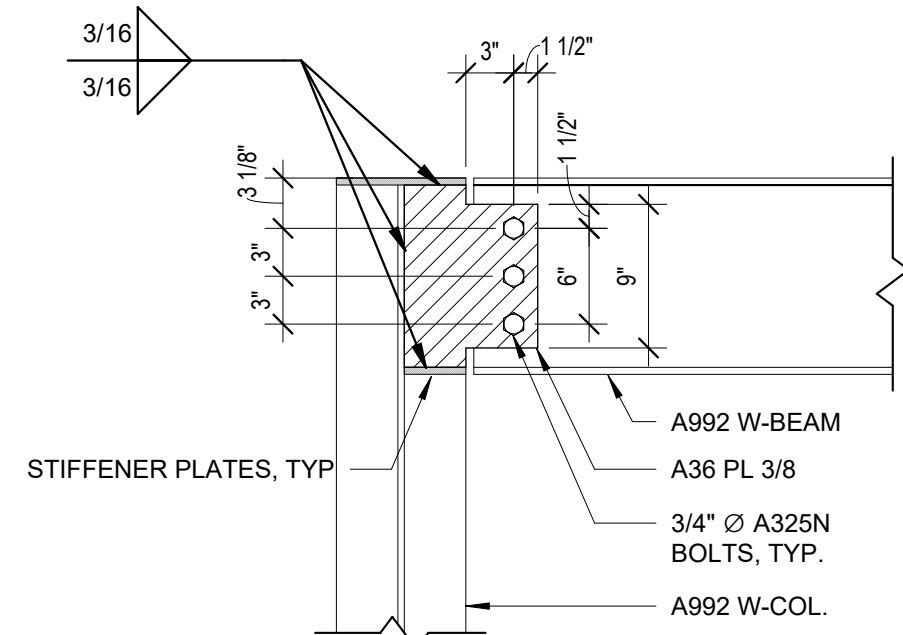
8 W8x24 ENTRY CANOPY SHEAR PLATE
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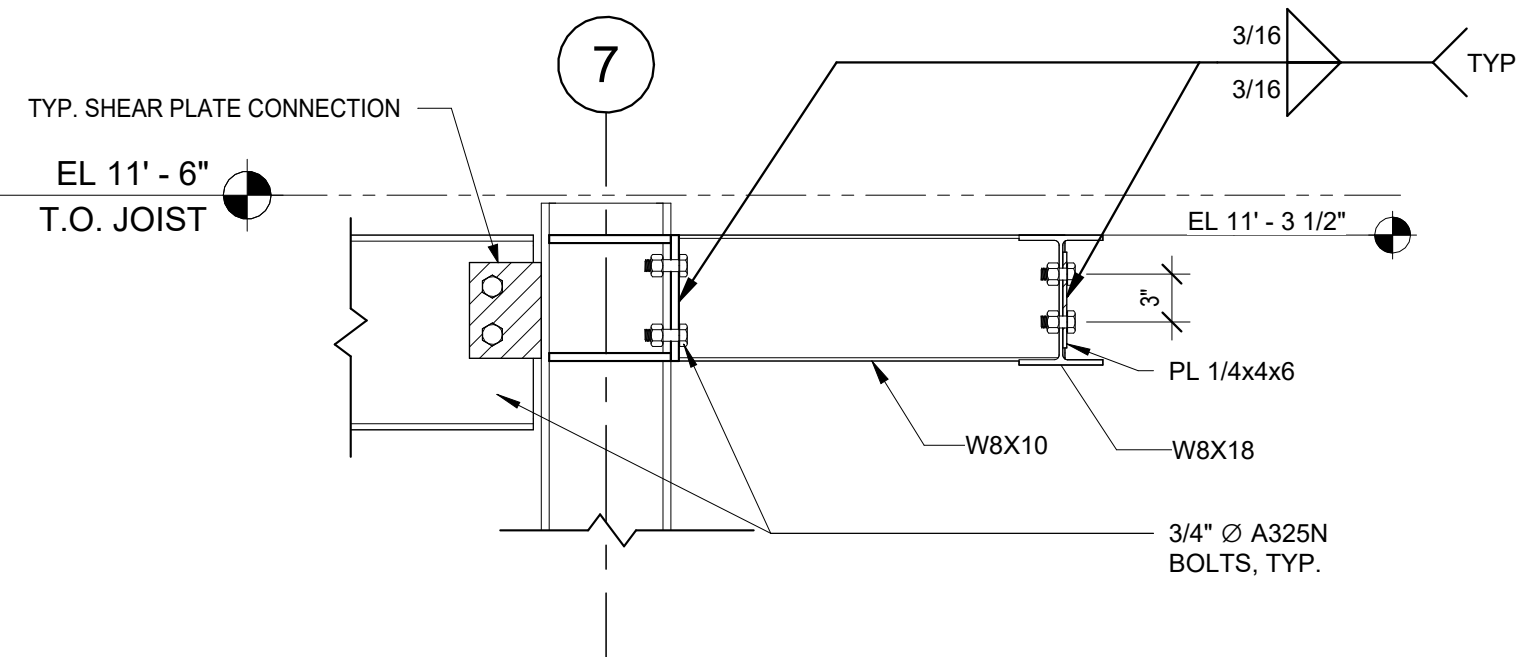
7 W12x26 BEAM SHEAR PLATE
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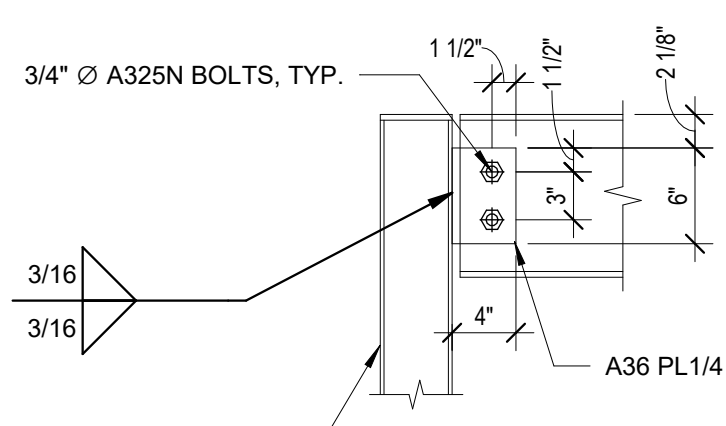
6 W-BEAM SHEAR PLATE - FLANGE
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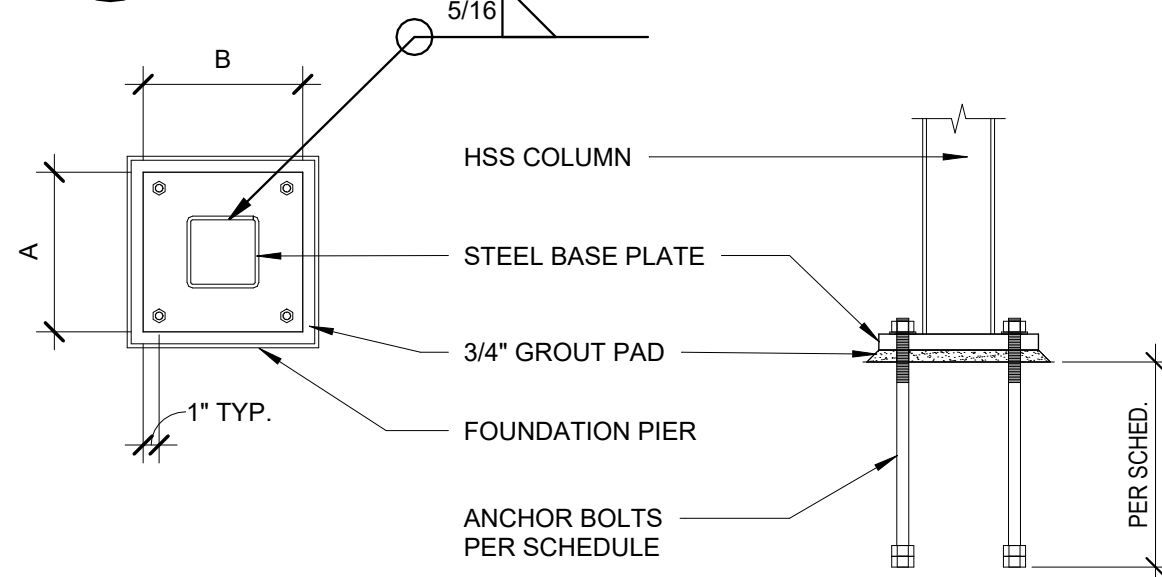
5 W-BEAM SHEAR PLATE - WEB
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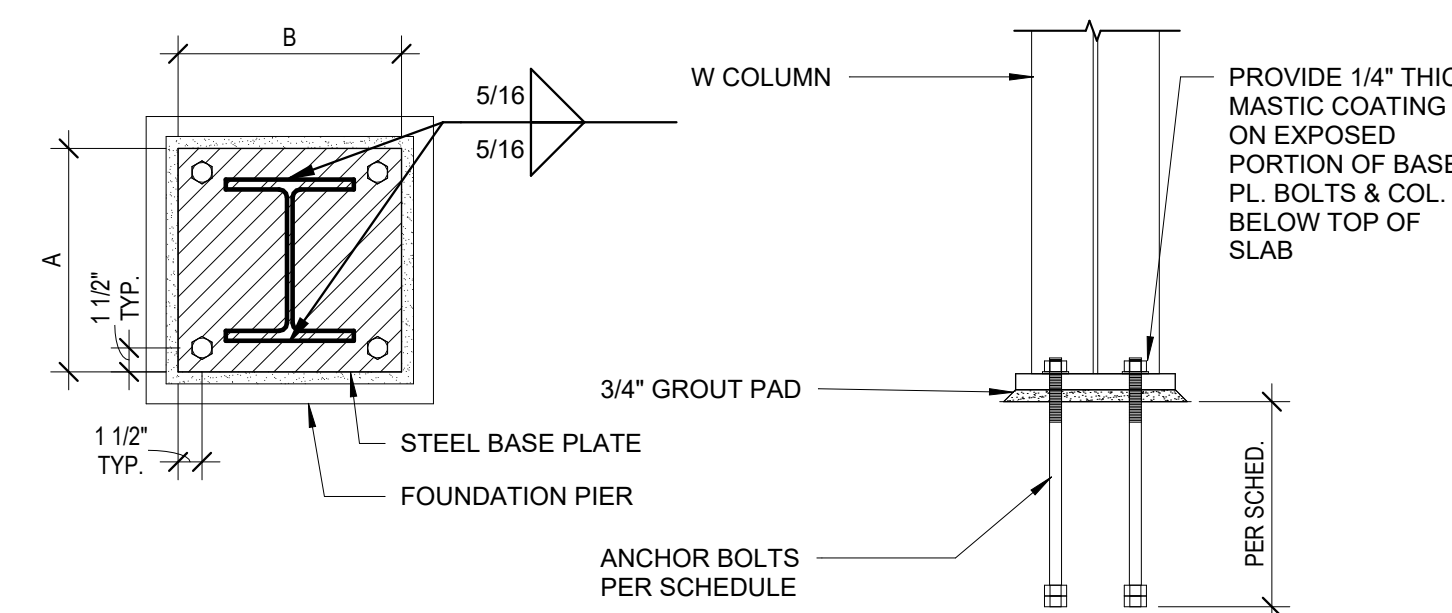
4 OVERHANG CANTILEVER CONNECTION DETAIL
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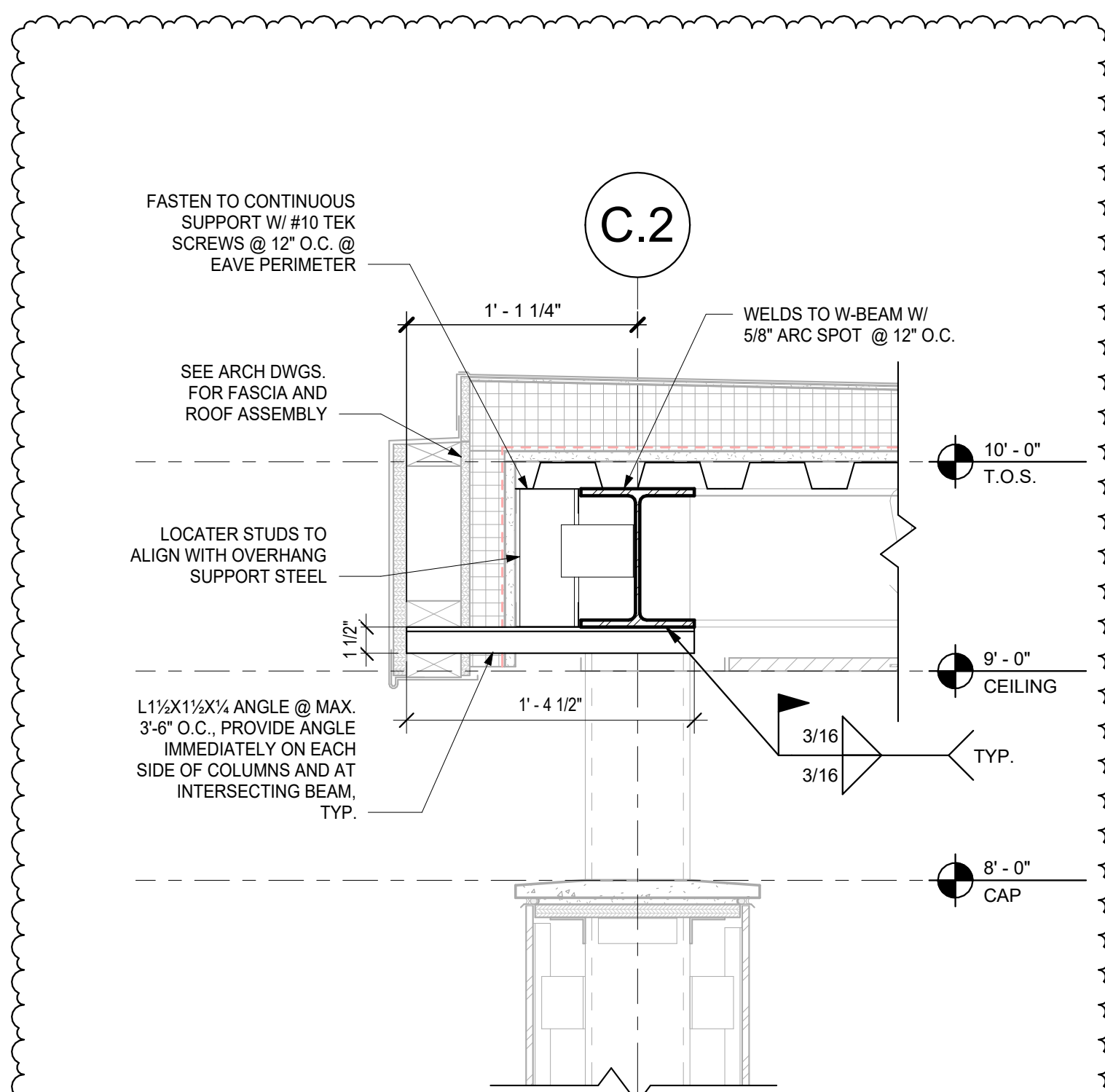
3 TYP. HSS CONNECTION DETAIL
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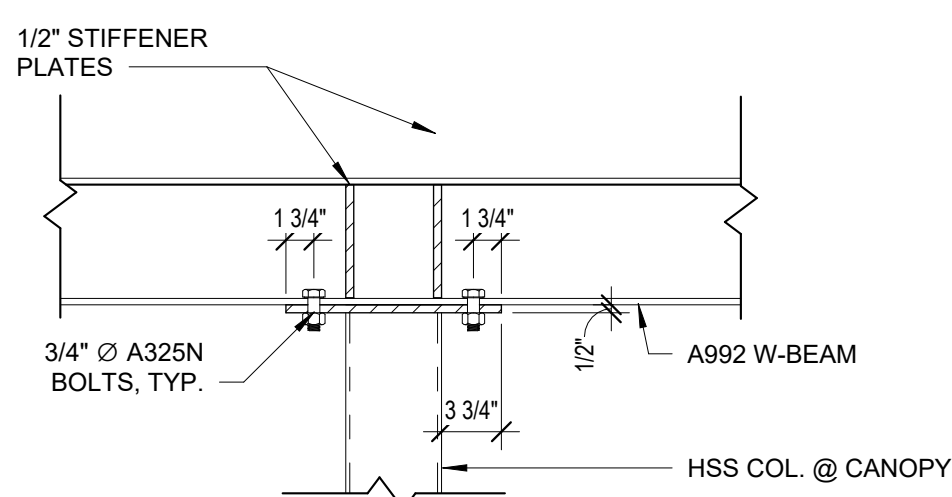
2 HSS BASE PLATE DETAIL
1" = 1'-0"



1 W COL. BASE PLATE DETAIL
1" = 1'-0"



15 ENTRY CANOPY - EAVE DETAIL
1 1/2" = 1'-0"



14 HSS COLUMN CAP CONNECTION DETAIL
1" = 1'-0"

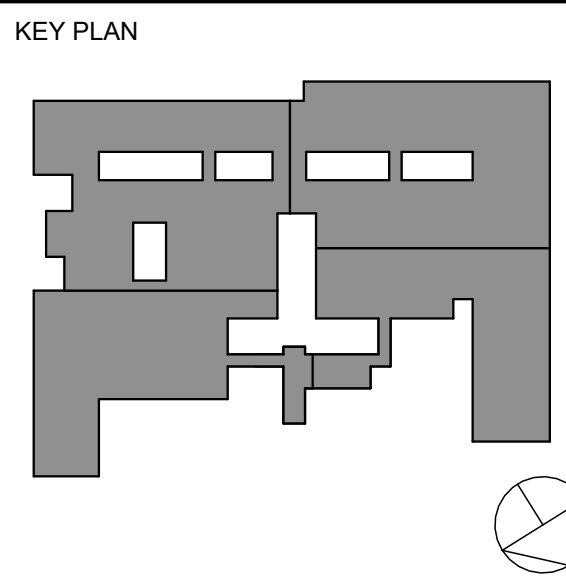
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ALTERATIONS
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GOSHEN, NY 10924

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build
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P-914.666.5900 KGDARCHITECTS.COM

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44-90-00-00-009-036

BID ISSUE

MHE
ENGINEERING
33 Airport Center Drive, Suite 202 111 Wheatfield Drive, Suite 1
New Windsor, NY 12553 Milford, PA 18337
(845) 967-3100 (570) 296-2765



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AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY
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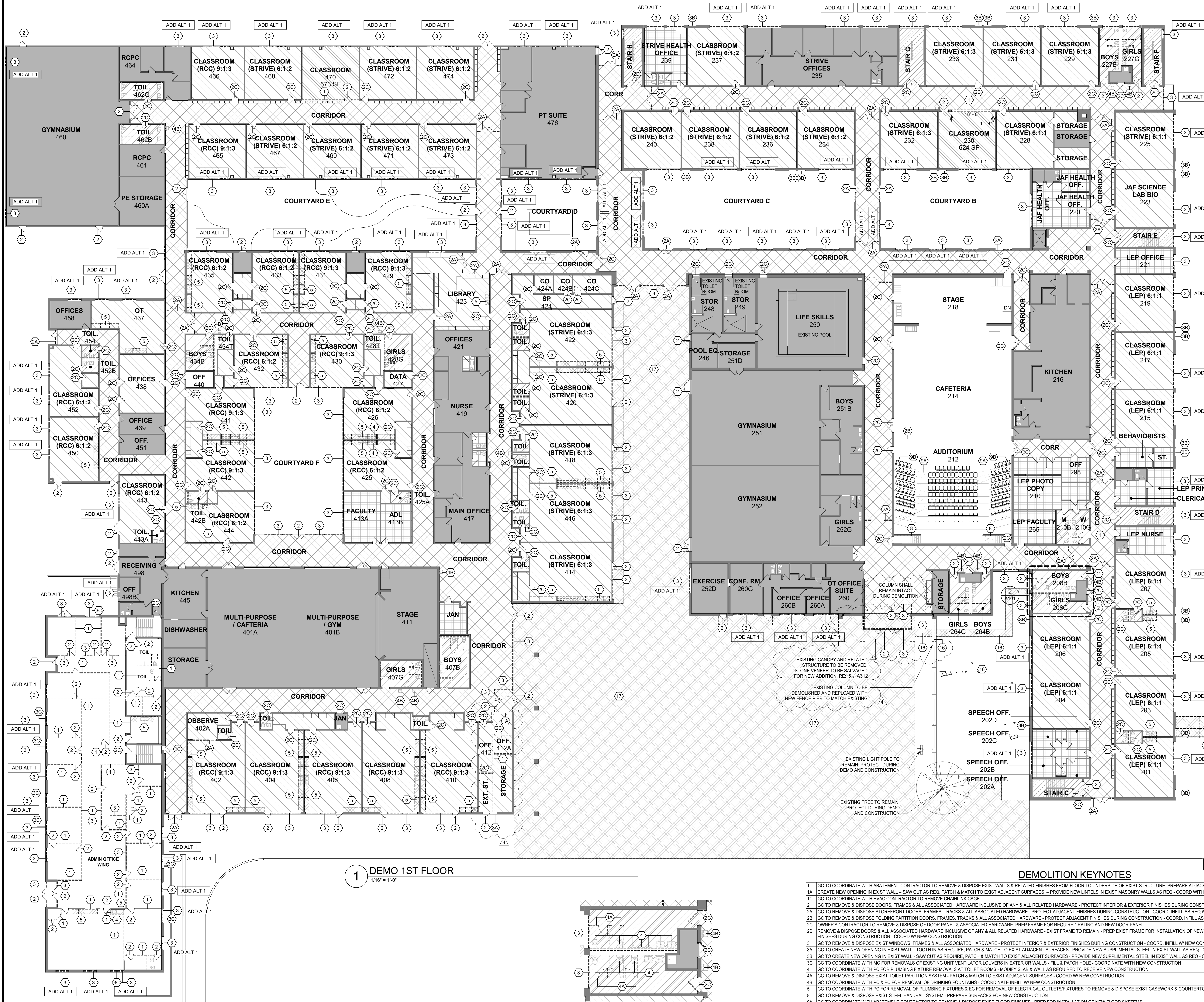
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No.	Date	Issue
3	12/03/24	BID ADDENDUM #5
2	11/15/24	BID ADDENDUM #3
1	10/25/24	BID ISSUE

Sheet Title
**STRUCTURAL
STEEL
CONNECTION
DETAILS**

Job No. 2023-1013 Date 10/25/2024
Scale AS NOTED Drawn / Checked
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Sheet Number
S503



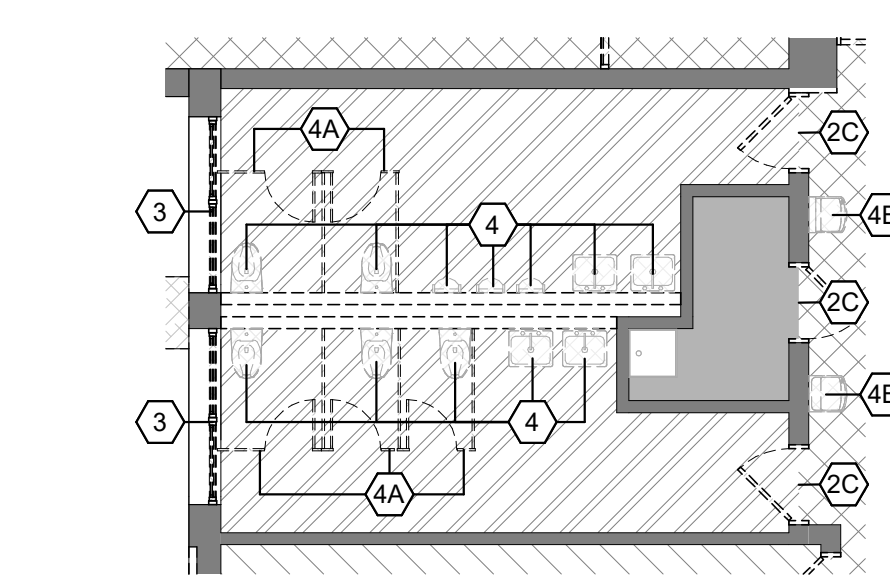
DEMOLITION NOTES

- PRIOR TO ANY DEMOLITION, CONTRACTORS ARE REQUIRED TO BE FAMILIAR WITH EXISTING CONDITIONS. SHORING MAY BE NEEDED INCLUDING INSTALLATION OF LINTELS PRIOR TO THE REMOVAL OF ANY BUILDING ELEMENT.
- COORDINATE ALL DEMOLITION WITH M.E.P. REMOVALS. NOTE: ALL WIRING, DEVICES & M.E.P. SYSTEMS NOT BEING REMOVED AS PART OF THE WORK, WHICH RUN THROUGH THE WORK AREA, SHALL BE TESTED, LABELED & PROTECTED FROM DISTURBANCE SO THEY REMAIN OPERATIONAL THROUGHOUT THE PROJECT.

LEGEND

- DEMOTES AREA OF NO MAJOR ARCHITECTURAL WORK, SPECIFIC WORK MAY BE SHOWN ELSEWHERE INCLUDING WORK THAT MAY REQUIRE ACCESS, PATCHING & RESTORATION. REFER TO STRUCTURAL & M.E.P. DIVS.
- DEMOTES EXISTING WALL TO REMAIN
- DEMOTES EXISTING CONSTRUCTION TO BE DEMOLISHED (U.N.O.)
- DEMOTES EXISTING SURFACES TO BE DEMOLISHED (U.N.O.)
- MOST EXISTING INTERIOR WALLS ARE OF MASONRY CONSTRUCTION W/ CEMENT PLASTER & LATH.
- MOST EXISTING EXTERIOR WALLS ARE BRICK W/ BLOCK BACKUP & SOME HAVE INNER WYTHE OF BLOCK W/ CEMENT PLASTER & LATH.
- DEMOTES AREAS WITH CEILING / HVAC WORK
- GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.
- GC TO COORD WITH PC AND EC FOR REMOVAL OF PLUMBING AND ELECTRICAL REMOVE CASEWORK/MILLWORK. PREP FOR NEW MILLWORK.
- GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.
- DEMOTES NEW COLLAB CLASSROOM AREAS IN SCOPE OF WORK.
- GC TO COORDINATE WITH OTHER CONTRACTORS FOR REMOVAL OF CORRIDOR WALLS. PROTECT ADJACENT CORRIDOR FLOORS DURING CONSTRUCTION & PATCH AS NEEDED.
- GC TO REMOVE LOCKERS AT REMOVED WALLS AND SAFELY STORE FOR OWNER.
- GC TO COORDINATE WITH ABATEMENT CONTRACTOR FOR REMOVAL OF FLOOR FINISHES. PREP FOR NEW FLOORS.
- GC TO PREP WALLS FOR NEW PAINT.
- GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.
- DEMOTES CORRIDOR AREAS IN SCOPE OF WORK.
- GC TO PREP WALLS FOR NEW PAINT.
- GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.
- DEMOTES TOILET ROOM AREAS IN SCOPE OF WORK.
- GC TO COORDINATE WITH OTHER CONTRACTORS FOR REMOVAL OF PLUMBING WALLS. PROTECT ADJACENT WALLS DURING CONSTRUCTION & PATCH AS NEEDED.
- GC TO COORDINATE WITH ABATEMENT CONTRACTOR FOR REMOVAL OF FLOOR FINISHES. PREP FOR NEW FLOORS.
- GC TO COORDINATE WITH ABATEMENT AND PLUMBING CONTRACTORS FOR REMOVAL OF ALL PLUMBING FIXTURES INCLUDING TOILETS, URINALS, LAVATORIES, ETC. PATCH AND FILL SLAB AND WALL IN PREPARATION FOR NEW CONSTRUCTION.
- GC TO REMOVE ALL TOILET ROOM ACCESSORIES INCLUDING MIRRORS, SOAP DISPENSERS, TOILET PAPER HOLDERS, TRASH RECEPTACLES, ETC. PREP WALLS FOR NEW FINISHES & ACCESSORIES.
- GC TO PREP WALLS FOR NEW PAINT & TILE.
- GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.
- DEMOTES STAIR AREAS IN SCOPE OF WORK.
- GC TO REMOVE EXISTING STAIR RAILINGS & GUARDRAILS. PREP WALLS & STRINGERS FOR NEW RAILINGS.
- GC TO REMOVE EXISTING STAIR TREAD & RISER FINISH. PREP STAIR TREADS FOR NEW FINISHES.
- GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.

1 DEMO 1ST FLOOR
1/16" = 1'-0"



2 TYPICAL MULTI-USER TOILET ROOM DEMO PLAN
1/8" = 1'-0"

DEMOLITION KEYNOTES

- GC TO COORDINATE WITH ABATEMENT CONTRACTOR TO REMOVE & DISPOSE EXIST WALLS & RELATED FINISHES FROM FLOOR TO UNDERSIDE OF EXIST STRUCTURE. PREPARE ADJACENT SURFACES FOR NEW CONSTRUCTION - TYP
- 1A CREATE NEW OPENING IN EXIST WALL - SAW CUT AS REQ. PATCH & MATCH TO EXIST ADJACENT SURFACES - PROVIDE NEW LINTELS IN EXIST MASONRY WALLS AS REQ. - COORD WITH STRUCTURAL, MEP & NEW CONSTRUCTION
- 1C GC TO COORDINATE WITH HVAC CONTRACTOR TO REMOVE CHAINLINK CAGE
- 2 GC TO REMOVE & DISPOSE DOORS, FRAMES & ALL ASSOCIATED HARDWARE - INCLUSIVE OF ANY & ALL RELATED HARDWARE - PROTECT INTERIOR & EXTERIOR FINISHES DURING CONSTRUCTION - COORD. INFILL AS REQ. W/ NEW CONSTRUCTION
- 2A GC TO REMOVE & DISPOSE STOREFRONT DOORS, FRAMES, TRACKS & ALL ASSOCIATED HARDWARE - PROTECT ADJACENT FINISHES DURING CONSTRUCTION - COORD. INFILL AS REQ. W/ NEW CONSTRUCTION
- 2B GC TO REMOVE & DISPOSE FOLDING PARTITION DOORS, FRAMES, TRACKS & ALL ASSOCIATED HARDWARE - PROTECT ADJACENT FINISHES DURING CONSTRUCTION - COORD. INFILL AS REQ. W/ NEW CONSTRUCTION
- 2C OWNERS CONTRACTOR TO REMOVE & DISPOSE OF DOOR PANEL & ASSOCIATED HARDWARE. PREP FRAME FOR REQUIRED RATING AND NEW DOOR PANEL
- 2D REMOVE & DISPOSE DOORS & ALL ASSOCIATED HARDWARE INCLUSIVE OF ANY & ALL RELATED HARDWARE - EXIST FRAME TO REMAIN - PREP EXIST FRAME FOR INSTALLATION OF NEW DOOR & HARDWARE SYSTEM - PROTECT INTERIOR & EXTERIOR FINISHES DURING CONSTRUCTION - COORD W/ NEW CONSTRUCTION
- 3 GC TO REMOVE & DISPOSE EXIST WINDOWS, FRAMES & ALL ASSOCIATED HARDWARE - PROTECT INTERIOR & EXTERIOR FINISHES DURING CONSTRUCTION - COORD. INFILL W/ NEW CONSTRUCTION
- 3A GC TO CREATE NEW OPENING IN EXIST WALL - TOOTH IN AS REQUIRE. PATCH & MATCH TO EXIST ADJACENT SURFACES - PROVIDE NEW SUPPLEMENTAL STEEL IN EXIST WALL AS REQ. - COORDINATE WITH STRUCTURAL, MEP & NEW CONSTRUCTION.
- 3B GC TO CREATE NEW OPENING IN EXIST WALL - SAW CUT AS REQUIRE. PATCH & MATCH TO EXIST ADJACENT SURFACES - PROVIDE NEW SUPPLEMENTAL STEEL IN EXIST WALL AS REQ. - COORDINATE WITH STRUCTURAL, MEP & NEW CONSTRUCTION.
- 3C GC TO COORDINATE WITH PC FOR REMOVALS OF EXISTING UNIT VENTILATOR LOUVERS IN EXTERIOR WALLS - FILL & PATCH HOLES - COORDINATE WITH NEW CONSTRUCTION
- 4 GC TO COORDINATE WITH PC FOR PLUMBING FIXTURE REMOVALS AT TOILET ROOMS - MODIFY SLAB & WALL AS REQUIRED TO RECEIVE NEW CONSTRUCTION
- 4A GC TO REMOVE & DISPOSE EXIST TOILET PARTITION SYSTEM - PATCH & MATCH TO EXIST ADJACENT SURFACES - COORD W/ NEW CONSTRUCTION
- 4B GC TO COORDINATE WITH PC & EC FOR REMOVAL OF DRINKING FOUNTAINS - COORDINATE INFILL W/ NEW CONSTRUCTION
- 5 GC TO COORDINATE WITH PC FOR REMOVAL OF PLUMBING FIXTURES & EC FOR REMOVAL OF ELECTRICAL OUTLETS/FIXTURES TO REMOVE & DISPOSE EXIST CASEWORK & COUNTERTOPS/BUILT-INS - PREPARE SURFACES FOR NEW CONSTRUCTION
- 6 GC TO REMOVE & DISPOSE EXIST STEEL HANDRAIL SYSTEM - PREPARE SURFACES FOR NEW CONSTRUCTION
- 8 GC TO COORDINATE WITH ABATEMENT CONTRACTOR TO REMOVE & DISPOSE EXIST FLOOR FINISHES - PREP FOR INSTALLATION OF NEW FLOOR SYSTEMS
- 9A GC TO REMOVE & DISPOSE EXIST UPHOLSTERY, SEATS TO REMAIN - COORDINATE NEW UPHOLSTERY W/ FINISH SCHEDULE
- 10A GC TO COORDINATE WITH HVAC CONTRACTOR TO REMOVE EXISTING CONCRETE MECHANICAL PAD - REFER TO MEP DEMO PLANS FOR DEMO OF EQUIPMENT - RESTORE TO MATCH ADJACENT SURFACE
- 10B GC TO COORDINATE WITH PC TO DIG TRENCH FOR NEW PLUMBING LINE - UNINSTALL FENCE RAILING BETWEEN PIERS & PLAYGROUND AS NEEDED AND STORE SAFELY FOR REINSTALLATION LATER - REINSTALL TO MATCH EXISTING CONDITION - PROTECT SURROUNDING AREA DURING CONSTRUCTION
- 17 SEE CIVIL DEMO PLAN FOR REMOVALS AT PLAZA COURTYARD. GC SHALL ALLOW FOR UP TO 2'-0" DEPTH OF CONCRETE REMOVAL THROUGHOUT ENTIRE AREA OF DEMOLITION AS REQUIRED FOR NEW WORK.

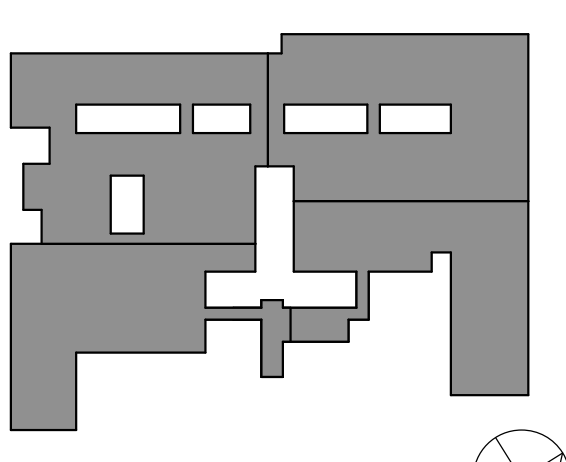
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AXELROD - MAIN
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OVERALL 1ST
FLOOR DEMO
PLAN

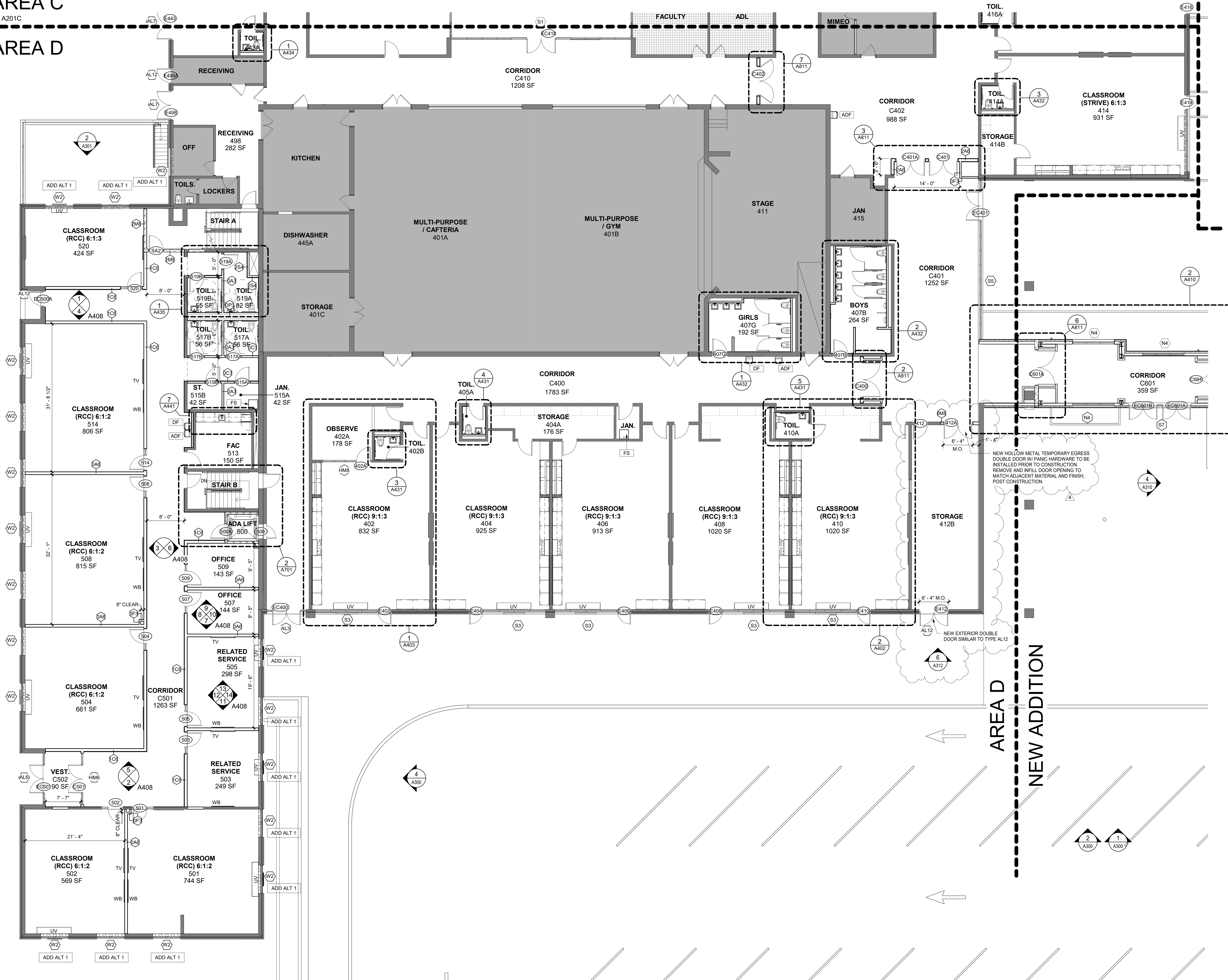
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A101

AREA C

2 / A201C

AREA D



GENERAL NOTES

- DENOTES AREA OF NO MAJOR ARCHITECTURAL RENOVATION WORK. SPECIFIC WORK MAY BE SHOWN ELSEWHERE. REFER TO M.E.P. DWGS.
- DENOTES AREA WITH CEILING / HVAC WORK. REFER TO RCPs IN THE A800s & M.E.P. DWGS.
- DENOTES DOOR NUMBER SEE A006 FOR DOOR SCHEDULE. SEE SPECS. FOR HARDWARE SETS & INFO.
- RW RESCUE WINDOW LOCATIONS ARE DENOTED ON THE LIFE SAFETY PLANS. REFER TO SHEETS CC02 & CC03.
- DENOTES EXISTING WALL TO REMAIN (MOST EXISTING WALLS ARE MASONRY).
- DENOTES WALL TYPE. SEE SHEET A901 FOR PARTITION TYPES.
- DENOTES WINDOW OR STOREFRONT. SEE SHEET A910, A911 FOR WINDOW & STOREFRONT TYPES. SEE SHEET A951 FOR ADD ALTERNATE 1.
- ALL CORRIDOR WALLS ARE TO HAVE AT LEAST A 1-HR FIRE RATING (EVEN IF NOT LABELED). REFER TO CODE COMPLIANCE PLANS ON SHEETS CC01-CC03 FOR ALL FIRE RATED WALLS.
- DIMENSIONS SHOWN FOR INTERIOR WALLS ARE TO FACE OF CMU OR FACE OF FINISH.
- FACE OF ADJACENT WALL TO EDGE OF DOOR FRAME IS 4" (TYP) U.N.O. (SEE A & B ON A905).
- DENOTES EXISTING DOOR TO REMAIN (U.N.O.).
- DENOTES NEW DOOR, FRAME, & HARDWARE, PROVIDED BY GC.
- DENOTES NEW DOOR & HARDWARE PROVIDED BY OWNER.

ORANGE-ULSTER BOCES
AXELROD - MAIN
BUILDING
ADDITIONS +
ALTERATIONS
53 GIBSON ROAD
GOSHEN, NY 10924

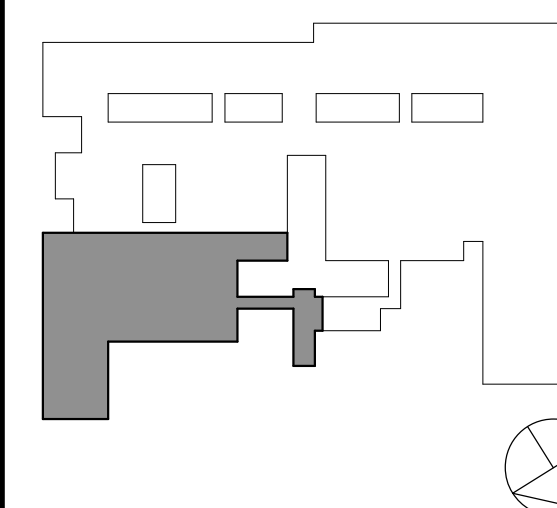
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4 12/3/2024 BID ADDENDUM #5
1 10/25/2024 BID ISSUE

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Sheet Title

1ST FLOOR PLAN
PART D

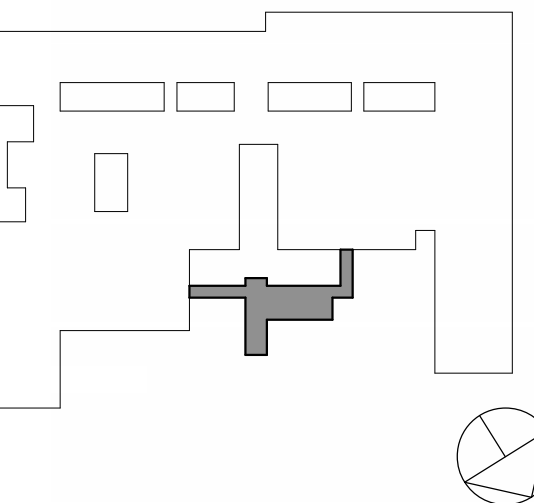
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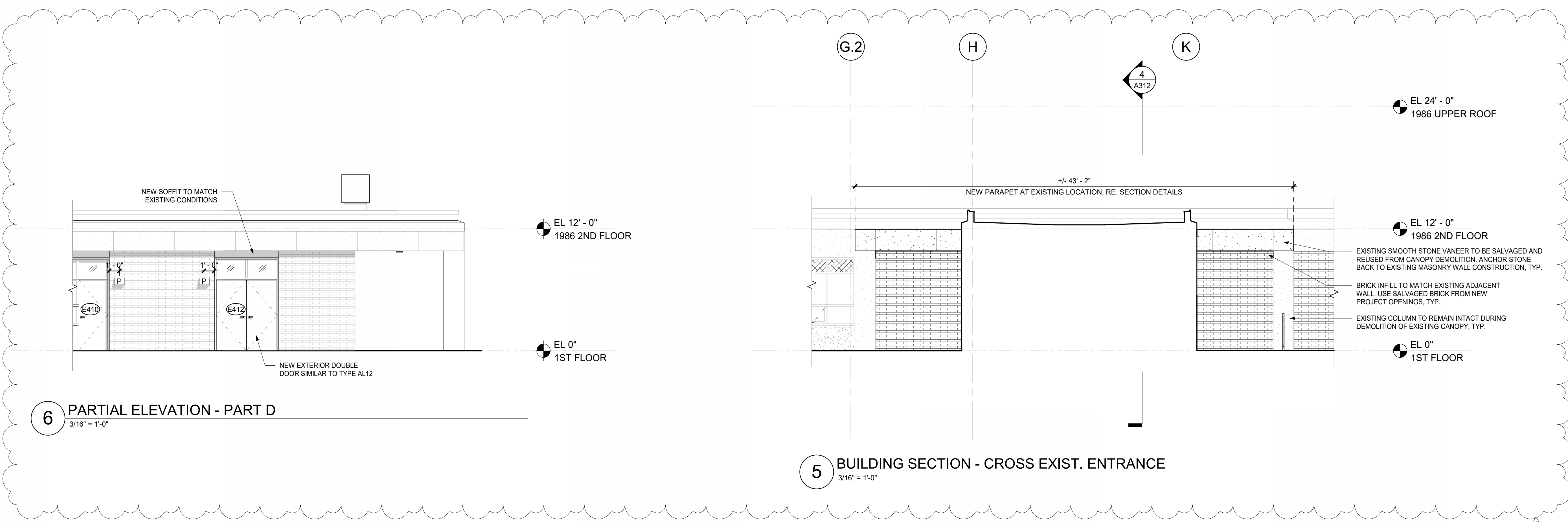
BUILDING
SECTIONS

Job No. 2023-1013 Date 10/25/2024

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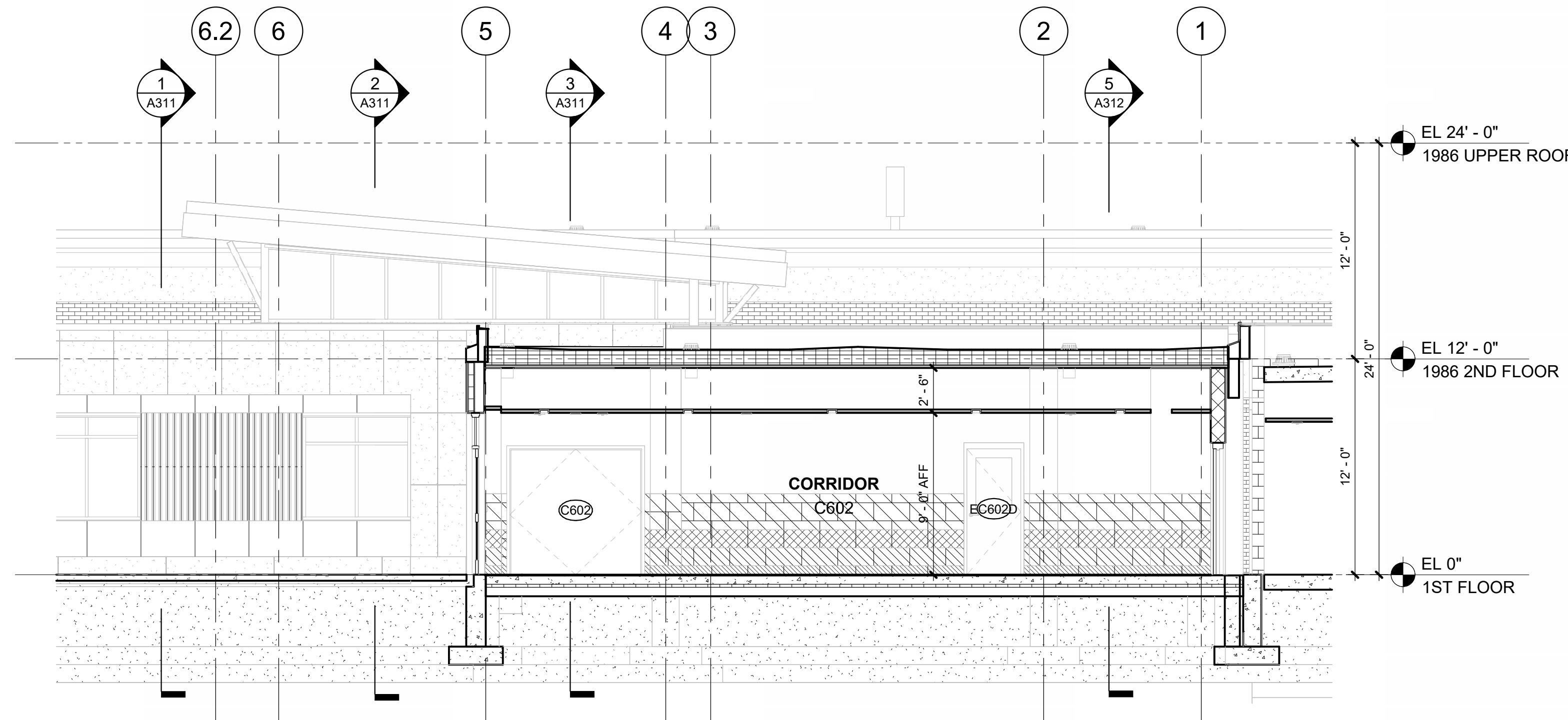
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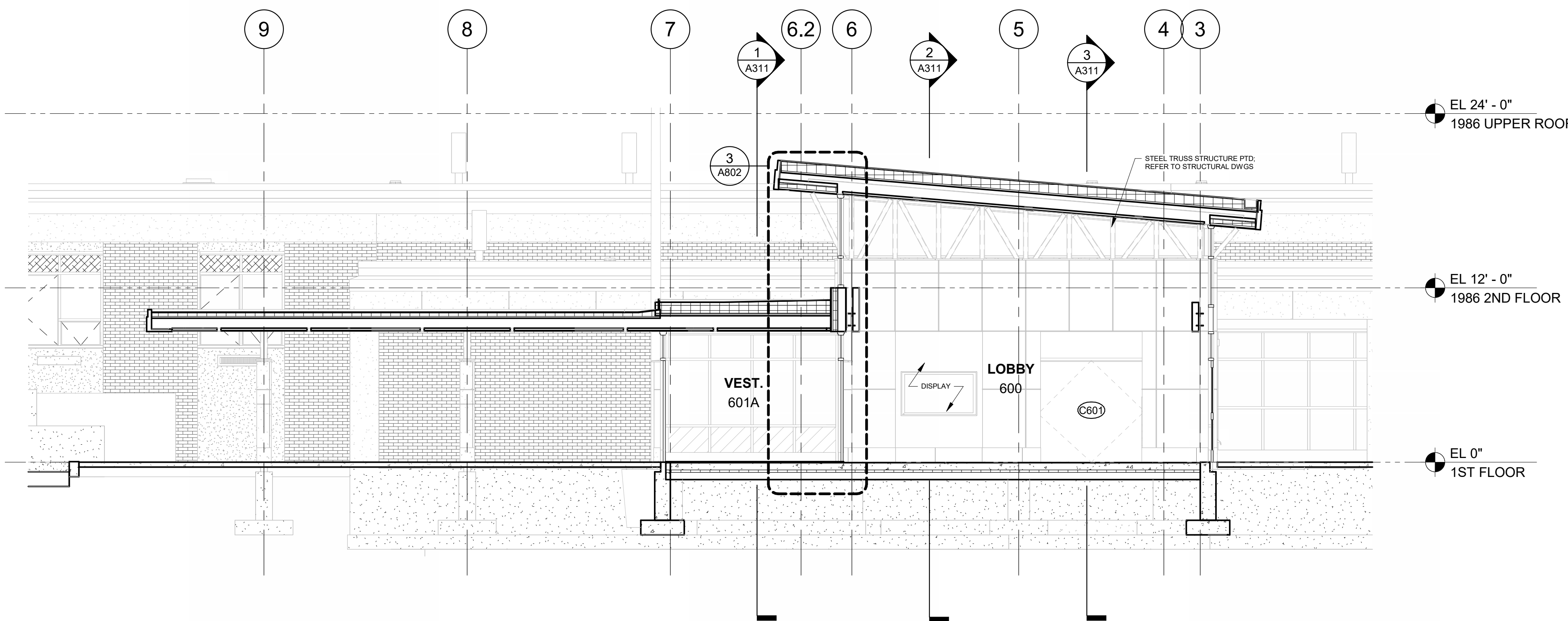


6 PARTIAL ELEVATION - PART D
3/16" = 1'-0"

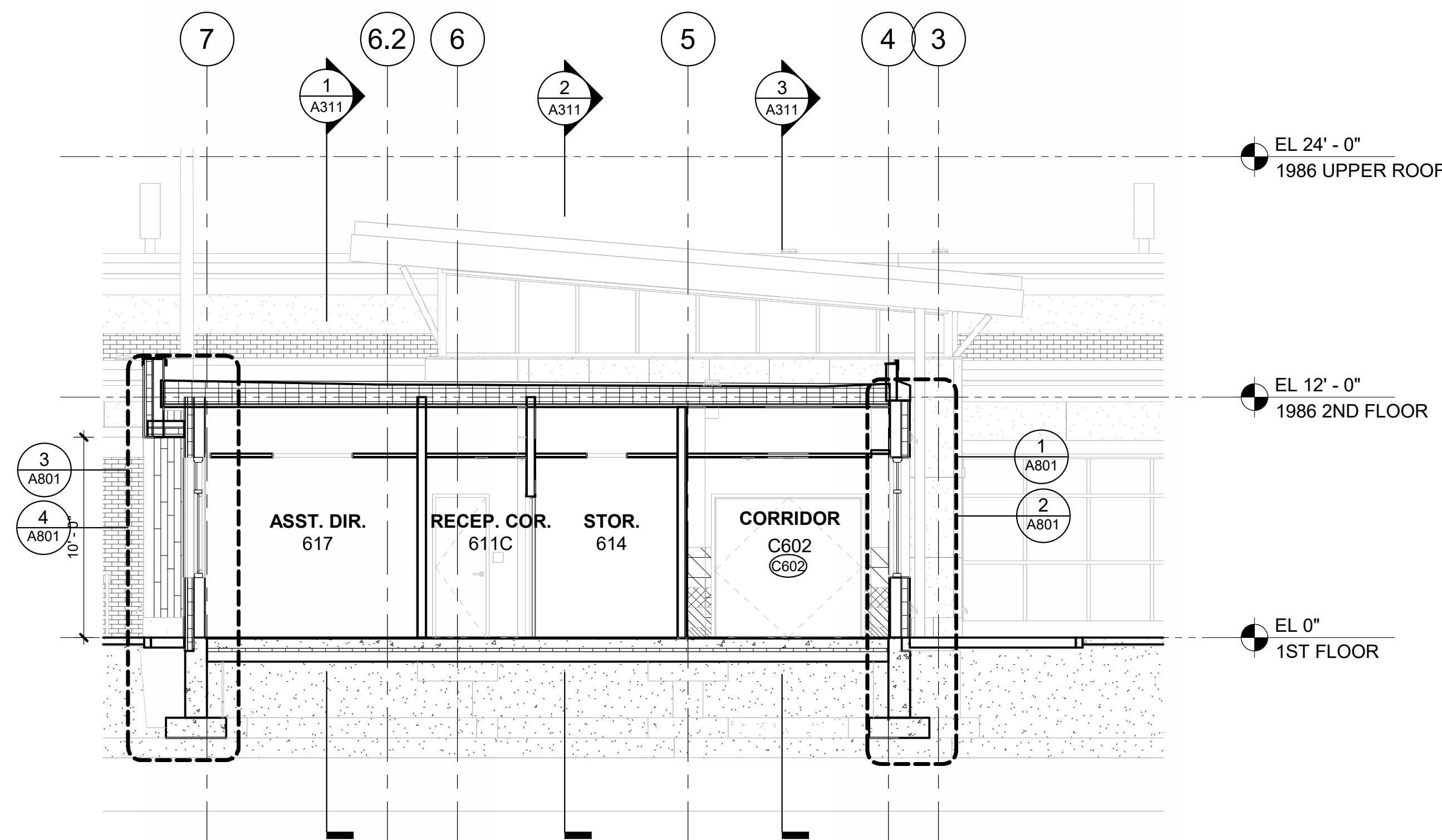
5 BUILDING SECTION - CROSS EXIST. ENTRANCE
3/16" = 1'-0"



4 BUILDING SECTION - CROSS CORRIDOR
3/16" = 1'-0"

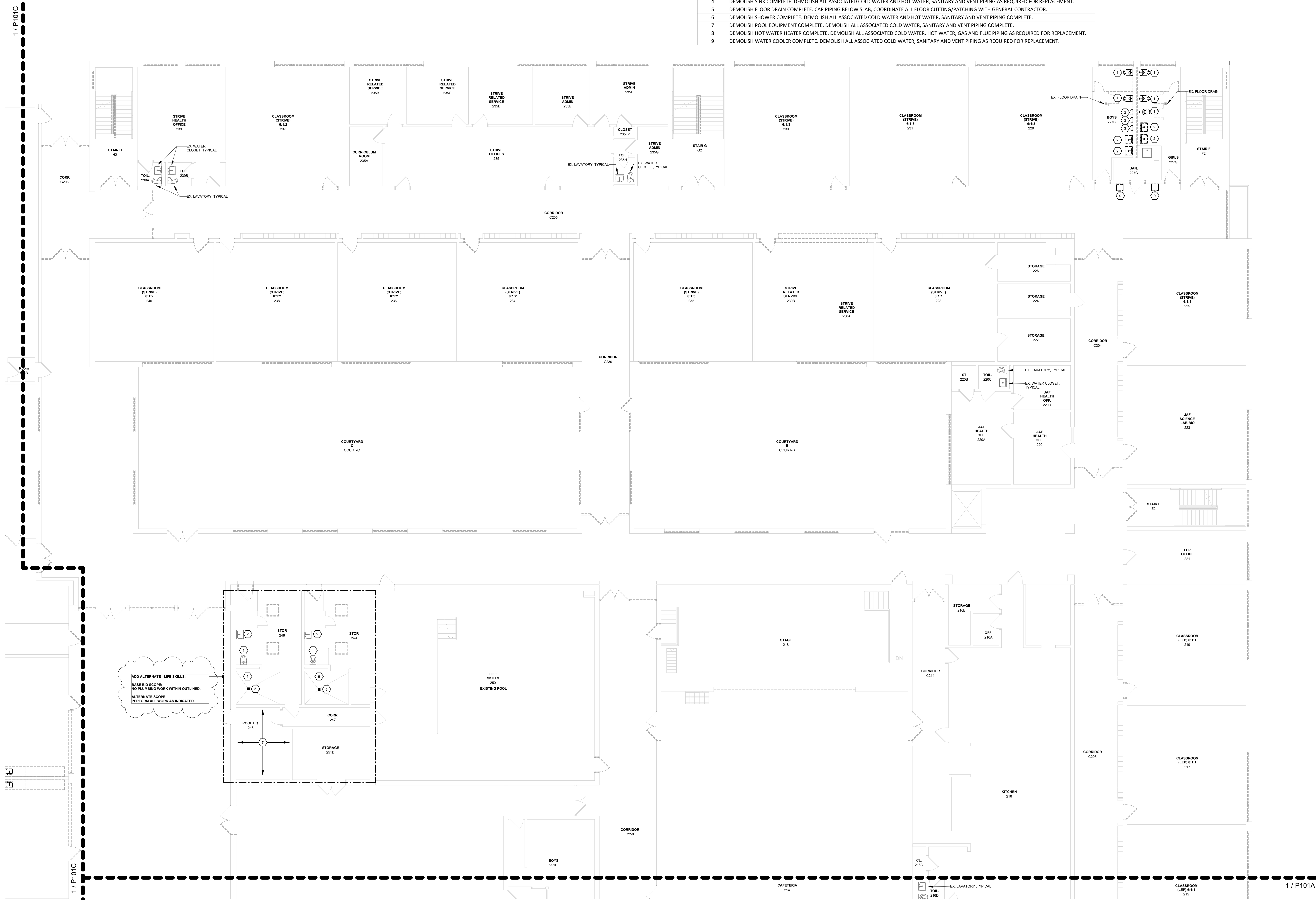


2 BUILDING SECTION - CROSS ENTRANCE
3/16" = 1'-0"



1 BUILDING SECTION - CROSS OFFICES AND
CORRIDOR
3/16" = 1'-0"

#	DESCRIPTION (NOT ALL TAGS MAY APPEAR ON DRAWING)
1	DEMOLISH WATER CLOSET AND SUPPORTS COMPLETE. DEMOLISH ALL ASSOCIATED COLD WATER, SANITARY AND VENT PIPING AS REQUIRED FOR REPLACEMENT.
2	DEMOLISH LAVATORY AND SUPPORTS COMPLETE. DEMOLISH ALL ASSOCIATED COLD AND HOT WATER, SANITARY AND VENT PIPING AS REQUIRED FOR REPLACEMENT.
3	DEMOLISH URINAL AND SUPPORTS COMPLETE. DEMOLISH ALL ASSOCIATED COLD WATER, SANITARY AND VENT PIPING AS REQUIRED FOR REPLACEMENT.
4	DEMOLISH SINK COMPLETE. DEMOLISH ALL ASSOCIATED COLD WATER AND HOT WATER, SANITARY AND VENT PIPING AS REQUIRED FOR REPLACEMENT.
5	DEMOLISH FLOOR DRAIN COMPLETE. CAP PIPING BELOW SLAB, COORDINATE ALL FLOOR CUTTING/PATCHING WITH GENERAL CONTRACTOR.
6	DEMOLISH SHOWER COMPLETE. DEMOLISH ALL ASSOCIATED COLD WATER AND HOT WATER, SANITARY AND VENT PIPING COMPLETE.
7	DEMOLISH POOL EQUIPMENT COMPLETE. DEMOLISH ALL ASSOCIATED COLD WATER, SANITARY AND VENT PIPING COMPLETE.
8	DEMOLISH HOT WATER HEATER COMPLETE. DEMOLISH ALL ASSOCIATED COLD WATER, HOT WATER, GAS AND FLUE PIPING AS REQUIRED FOR REPLACEMENT.
9	DEMOLISH WATER COOLER COMPLETE. DEMOLISH ALL ASSOCIATED COLD WATER, SANITARY AND VENT PIPING AS REQUIRED FOR REPLACEMENT.



1 PLUMBING - FIRST FLOOR DEMOLITION PLAN - PART B
1/8" = 1'-0"

ORANGE-ULSTER BOCES
AXELROD - MAIN
BUILDING
ADDITIONS +
ALTERATIONS
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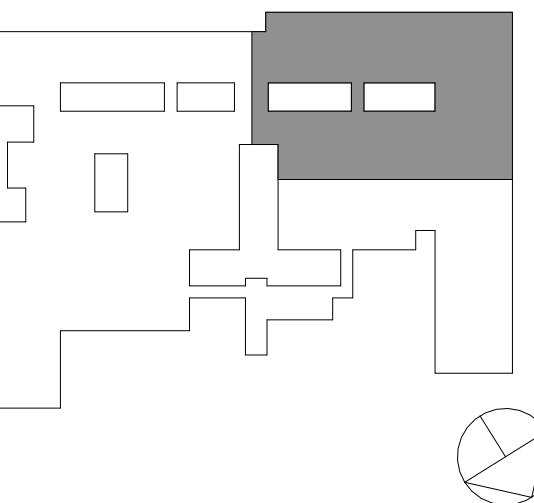
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3	12/03/2024	BID ADDENDUM #5
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No.	Date	Issue
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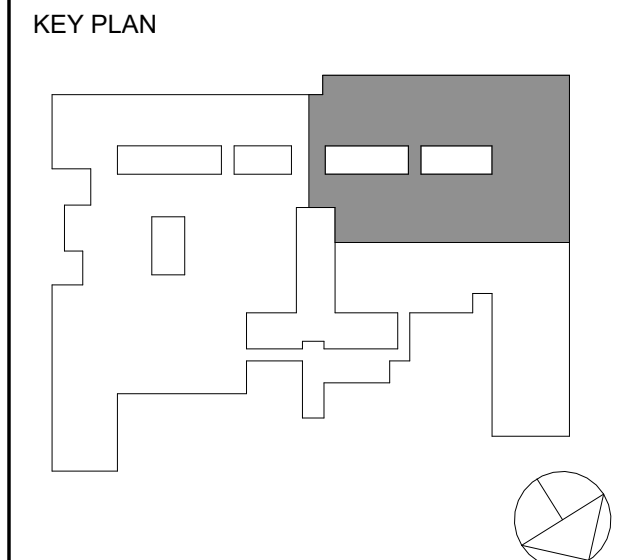
Sheet Title
**PLUMBING:
FIRST FLOOR
DEMO PLAN
PART B**

Job No.	2023-1013	Date	10/25/2024
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Sheet Number

P101B



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No. Date Issue

Sheet Title

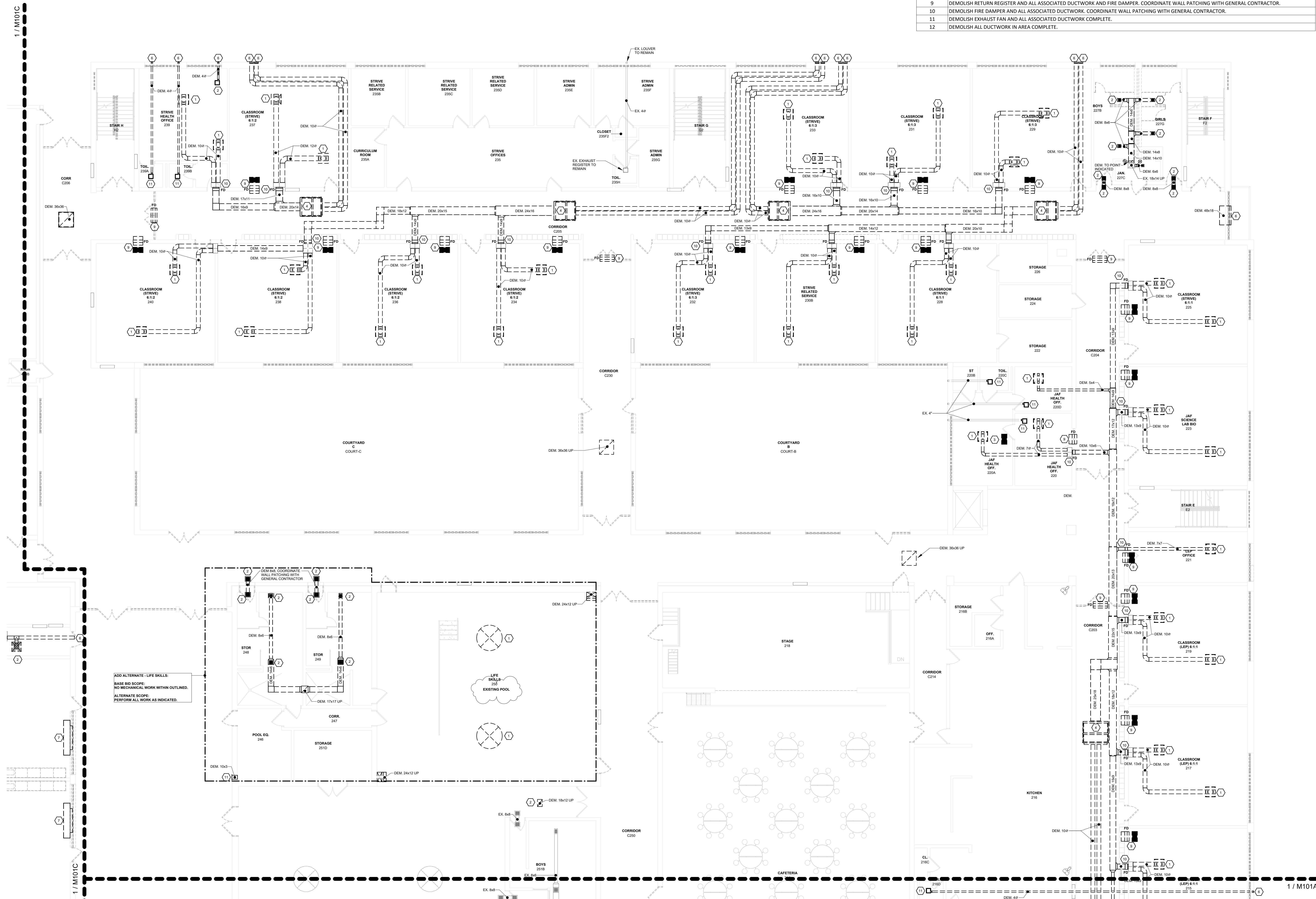
MECHANICAL:
FIRST FLOOR
DEMO PLAN
PART B

Job No. 2023-1013 Date 10/25/2024
Scale AS NOTED Drawn / Checked DC SZ

Sheet Number

M101B

#	DESCRIPTION (NOT ALL TAGS MAY APPEAR ON DRAWING)
1	DEMOLISH CEILING DIFFUSER/SUPPLY REGISTER AND ALL ASSOCIATED DUCTWORK COMPLETE.
2	DEMOLISH EXHAUST/RETURN REGISTER AND ALL ASSOCIATED DUCTWORK COMPLETE.
3	DEMOLISH EXHAUST/RETURN REGISTER AND ALL ASSOCIATED DUCTWORK COMPLETE.
4	DEMOLISH AIR HANDLING UNIT AND ALL ASSOCIATED DUCTWORK, PIPING, CONTROLS, SUPPORTS, AND ETC.
5	DEMOLISH THROUGH WALL AC UNIT. COORDINATE WALL PATCHING WITH GENERAL CONTRACTOR.
6	DEMOLISH LOUVER AND ALL ASSOCIATED DUCTWORK. COORDINATE WALL PATCHING WITH GENERAL CONTRACTOR.
7	DEMOLISH UNIT VENTILATOR. DEMOLISH CONDENSATE AND DUAL TEMPERATURE WATER SUPPLY AND RETURN PIPING AS REQUIRED FOR REPLACEMENT, CONTROLS, OUTSIDE AIR INTAKE DUCTWORK AND ETC. AS REQUIRED FOR UNIT VENTILATOR REPLACEMENT. RECORD AND REPORT WATER FLOW RATE TO UNIT PRIOR TO REMOVAL.
8	DEMOLISH CONDENSING UNIT AND ALL ASSOCIATED REFRIGERANT PIPING, CONTROLS AND ETC.
9	DEMOLISH RETURN REGISTER AND ALL ASSOCIATED DUCTWORK AND FIRE DAMPER. COORDINATE WALL PATCHING WITH GENERAL CONTRACTOR.
10	DEMOLISH FIRE DAMPER AND ALL ASSOCIATED DUCTWORK. COORDINATE WALL PATCHING WITH GENERAL CONTRACTOR.
11	DEMOLISH EXHAUST FAN AND ALL ASSOCIATED DUCTWORK COMPLETE.
12	DEMOLISH ALL DUCTWORK IN AREA COMPLETE.



1 MECHANICAL - FIRST FLOOR DEMOLITION PLAN - PART B
1/8" = 1'-0"

ORANGE-ULSTER BOCES
AXELROD - MAIN
BUILDING
ADDITIONS +
ALTERATIONS
53 GIBSON ROAD
GOSHEN, NY 10924

KG+D listen
imagine
build

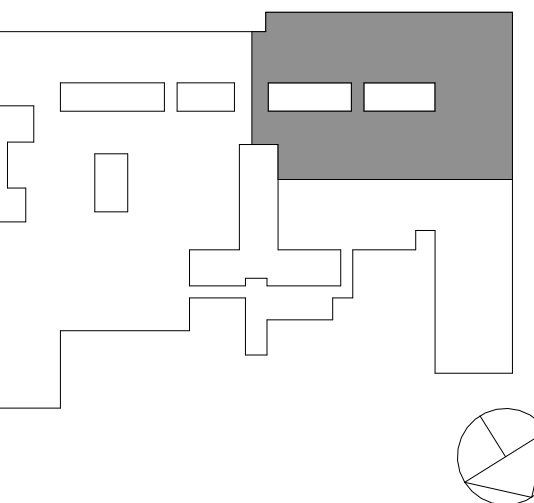
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KEY PLAN



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1 10/25/2024 BID ISSUE

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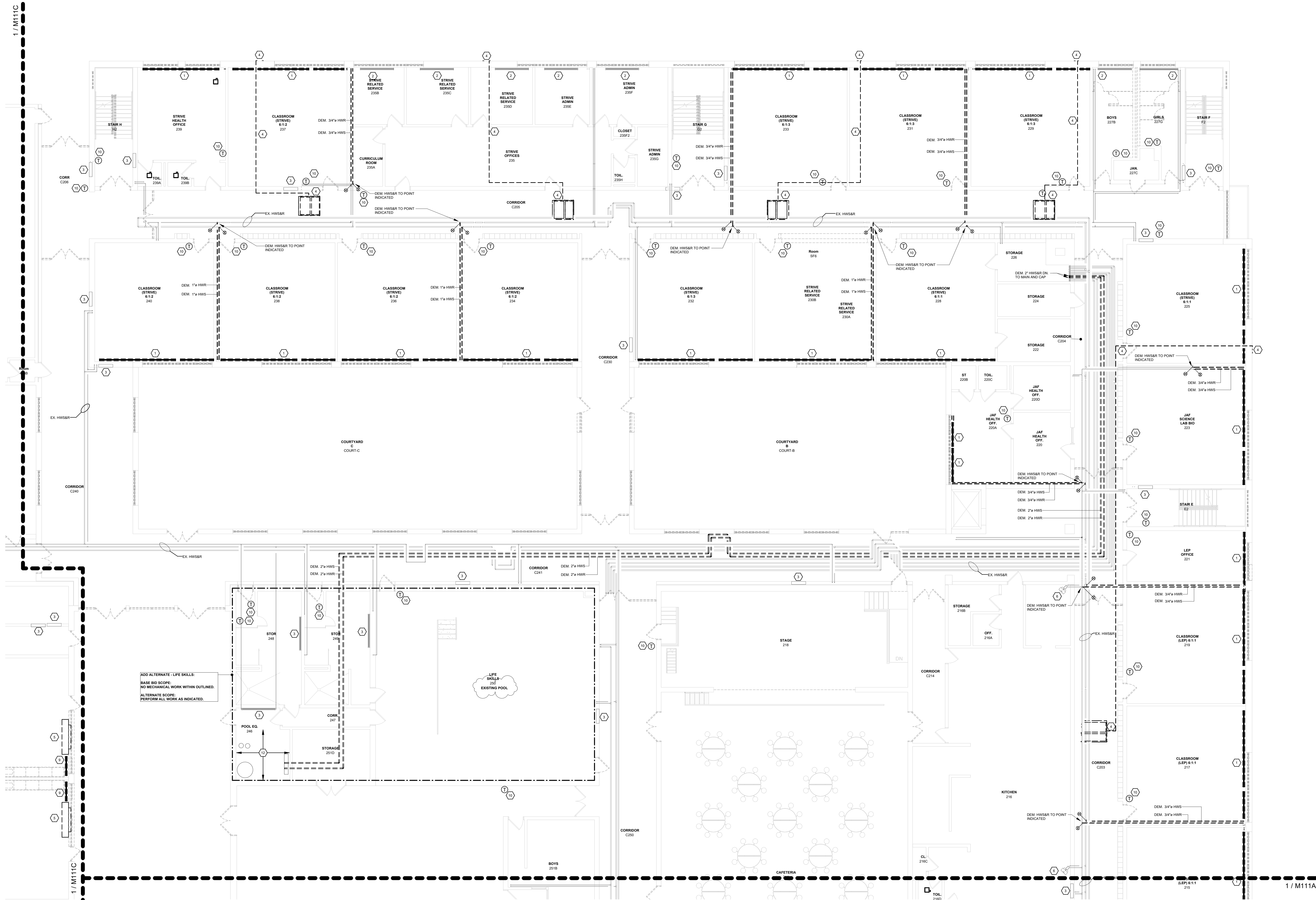
MECHANICAL:
FIRST FLOOR
PIPING DEMO PLAN
PART B

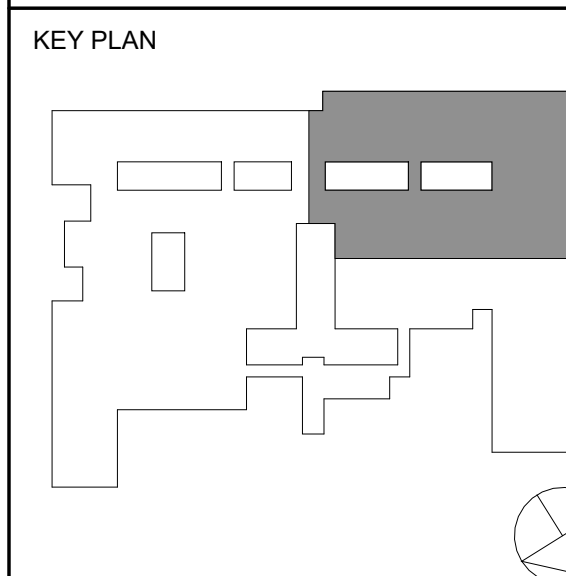
Job No. 2023-1013 Date 10/25/2024

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2	11/22/2024	BID ADDENDUM #4
1	10/25/2024	BID ISSUE

No. Date Issue

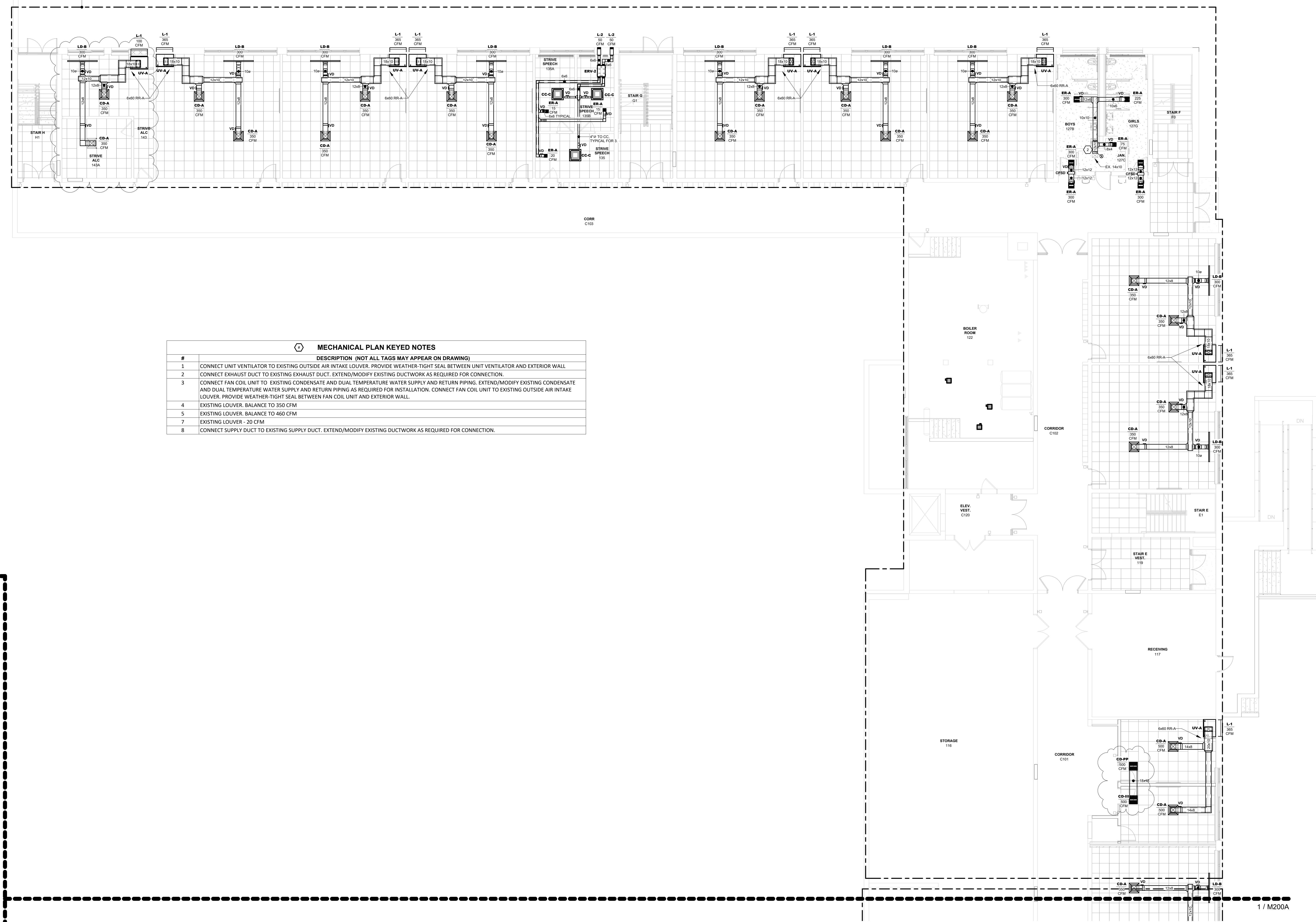
MECHANICAL:
GROUND FLOOR PLAN
PART B

Job No.	2023-1013	Date	10/25/2024
Scale	AS NOTED	Drawn / Checked	DC / SZ

Sheet Number

M200B

ADD ALTERNATE - GROUND FLOOR:
BASE BID SCOPE:
NO MECHANICAL WORK WITHIN OUTLINED.
ALTERNATE SCOPE:
PERFORM ALL WORK AS INDICATED.



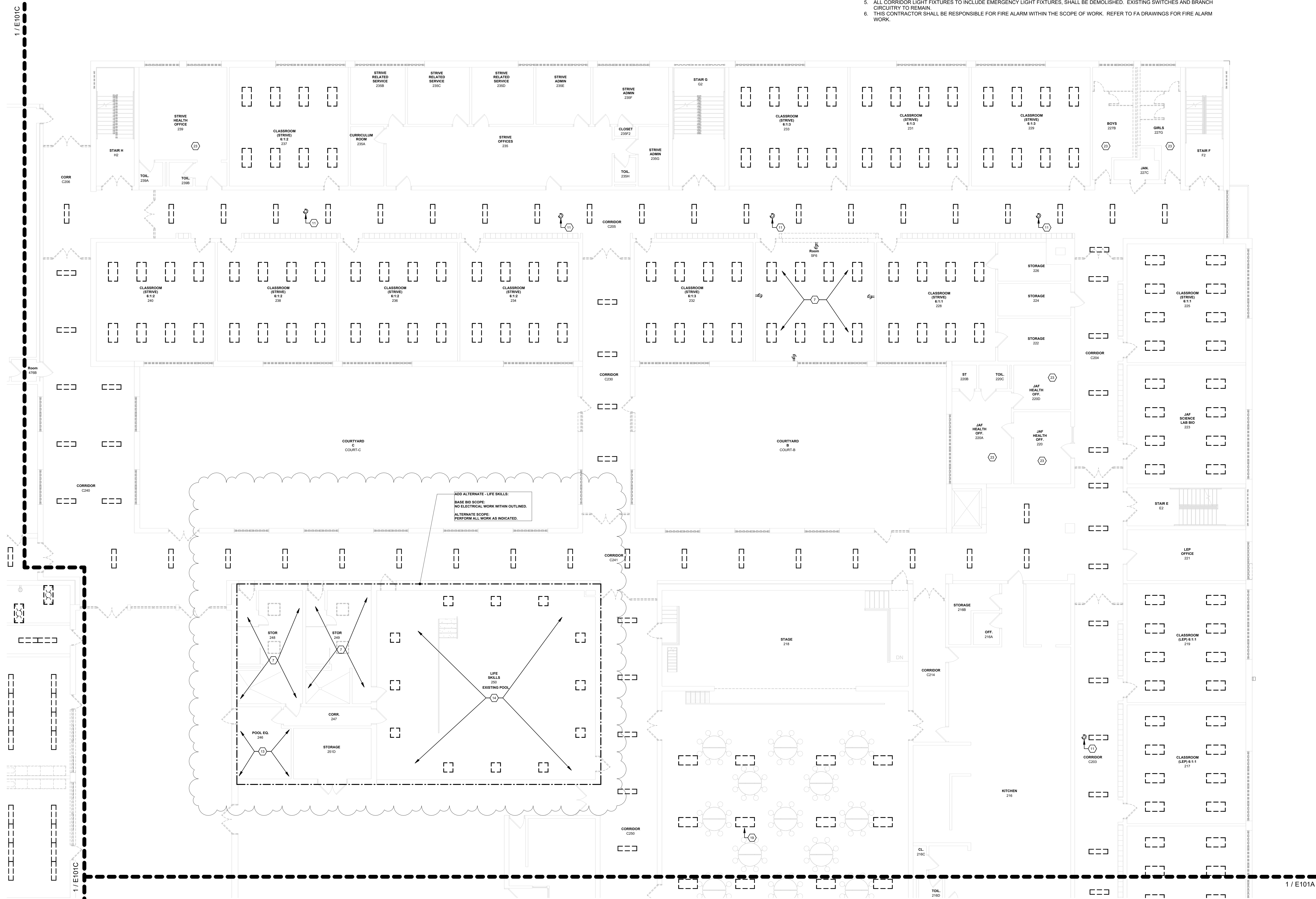
MECHANICAL PLAN KEYED NOTES

#	DESCRIPTION (NOT ALL TAGS MAY APPEAR ON DRAWING)
1	CONNECT UNIT VENTILATOR TO EXISTING OUTSIDE AIR INTAKE LOUVER. PROVIDE WEATHER-TIGHT SEAL BETWEEN UNIT VENTILATOR AND EXTERIOR WALL.
2	CONNECT EXHAUST DUCT TO EXISTING EXHAUST DUCT. EXTEND/MODIFY EXISTING DUCTWORK AS REQUIRED FOR CONNECTION.
3	CONNECT FAN COIL UNIT TO EXISTING CONDENSATE AND DUAL TEMPERATURE WATER SUPPLY AND RETURN PIPING. EXTEND/MODIFY EXISTING CONDENSATE AND DUAL TEMPERATURE WATER SUPPLY AND RETURN PIPING AS REQUIRED FOR INSTALLATION. CONNECT FAN COIL UNIT TO EXISTING OUTSIDE AIR INTAKE LOUVER. PROVIDE WEATHER-TIGHT SEAL BETWEEN FAN COIL UNIT AND EXTERIOR WALL.
4	EXISTING LOUVER. BALANCE TO 350 CFM
5	EXISTING LOUVER. BALANCE TO 460 CFM
7	EXISTING LOUVER - 20 CFM
8	CONNECT SUPPLY DUCT TO EXISTING SUPPLY DUCT. EXTEND/MODIFY EXISTING DUCTWORK AS REQUIRED FOR CONNECTION.

1 MECHANICAL - GROUND FLOOR PLAN - PART B
1/8" = 1'-0"

KEYED NOTES:
REFER TO DEMOLITION, ELECTRICAL, AND LIGHTING KEYED NOTES, AND SCHEDULES ON SHEET E703

- ELECTRICAL DEMOLITION NOTES**
1. ALL DEVICES, FIXTURES, PANELS, ETC. ARE SHOWN BASED ON CASUAL FIELD OBSERVATIONS AND SHOULD BE VERIFIED IN FIELD BY THIS CONTRACTOR.
 2. ALL CEILING MOUNTED SECURITY DEVICES, SPEAKERS, NOTIFICATION DEVICES, LOW VOLTAGE EQUIPMENT, DATA OUTLETS, ETC. NOT RELATED TO THE SCOPE OF WORK, SHALL BE DOCUMENTED, DISCONNECTED, SECURED, AND RECONNECTED DURING CONSTRUCTION. THIS CONTRACTOR SHALL HIRE OWNER'S VENDOR TO TEST AND DOCUMENT OPERABLE. FAULTY, DEFECTIVE, AND/OR DAMAGED EQUIPMENT PRIOR TO DEMOLITION AND AFTER CONSTRUCTION. DAMAGE TO ANY ITEM SHALL BE REPAIRED OR REPLACED AT THIS CONTRACTORS EXPENSE. ALTERATIONS TO EQUIPMENT AND/OR SYSTEMS SHALL BE PERFORMED BY THE OWNERS EQUIPMENT VENDOR.
 3. ALL CLASSROOM 120V DUPLEX RECEPTACLES, REMOVE AND REPLACE IN KIND, UNLESS NOTED OTHERWISE. EXTEND/MODIFY BRANCH CIRCUITRY, AS REQUIRED. REFER TO E-200 SERIES DRAWINGS.
 4. ALL CLASSROOM LIGHT FIXTURES AND LIGHTING CONTROL DEVICES SHALL BE DEMOLISHED, UNLESS NOTED OTHERWISE.
 5. ALL CORRIDOR LIGHT FIXTURES TO INCLUDE EMERGENCY LIGHT FIXTURES, SHALL BE DEMOLISHED. EXISTING SWITCHES AND BRANCH CIRCUITRY TO REMAIN.
 6. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR FIRE ALARM WITHIN THE SCOPE OF WORK. REFER TO FA DRAWINGS FOR FIRE ALARM WORK.



1 ELECTRICAL - FIRST FLOOR DEMOLITION PLAN - PART B
1/8" = 1'-0"

ORANGE-ULSTER BOCES
**AXELROD - MAIN
BUILDING
ADDITIONS +
ALTERATIONS**
53 GIBSON ROAD
GOSHEN, NY 10924

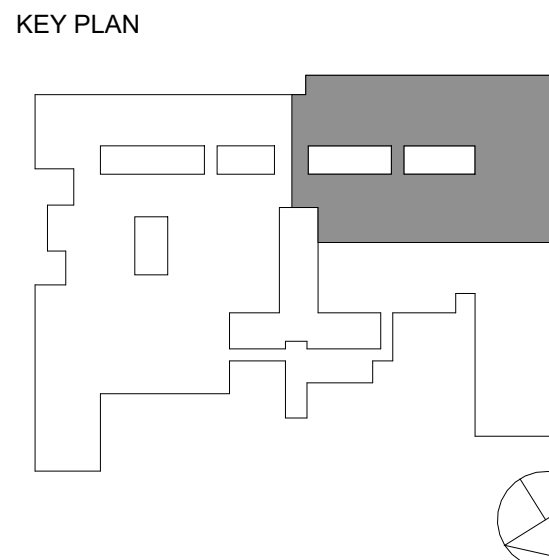
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No.	Date	Issue
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**ELECTRICAL:
FIRST FLOOR
DEMO PLAN
PART B**

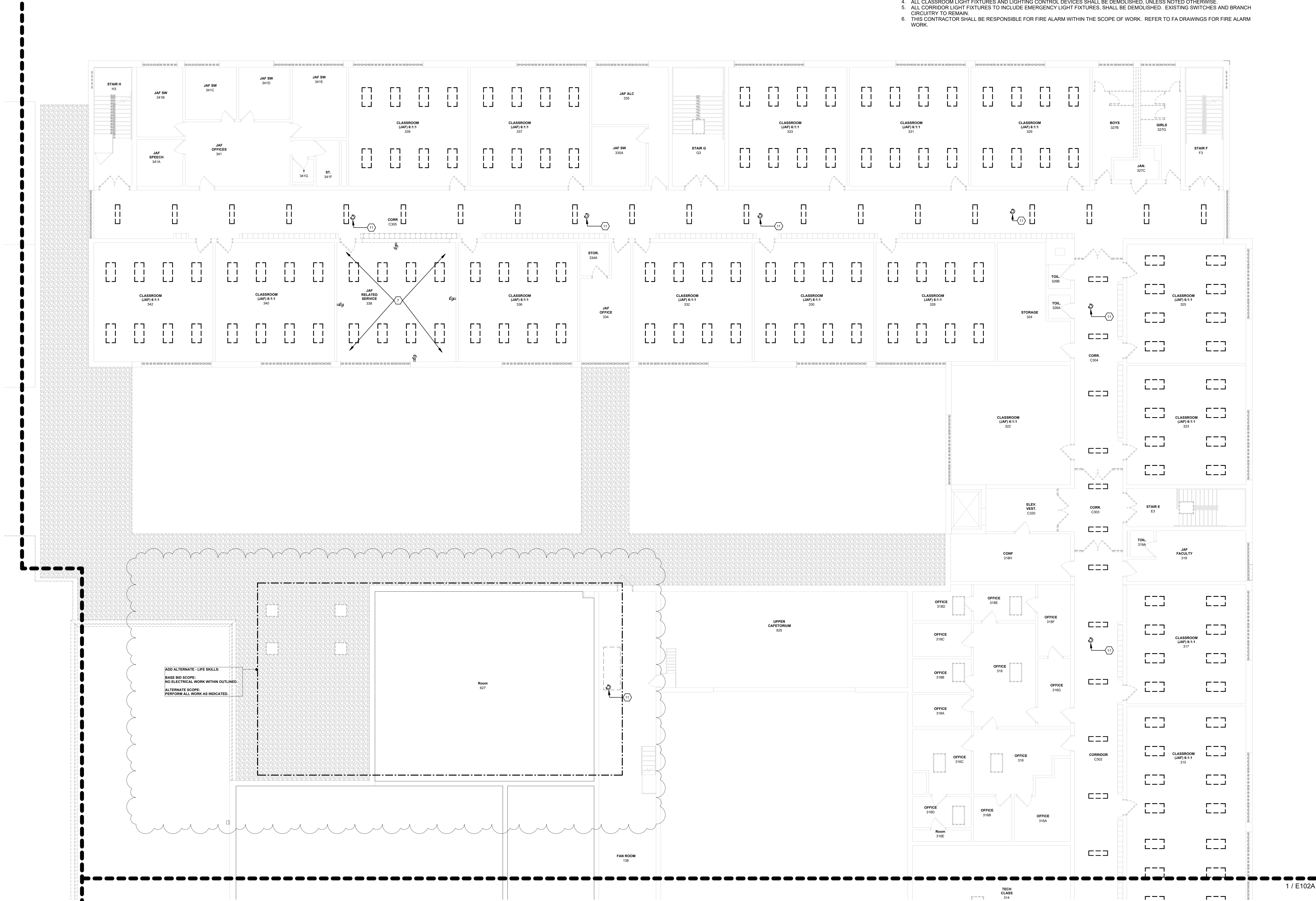
Job No.	2023-1013	Date	10/25/2024
Scale	AS NOTED	Drawn / Checked	RL WH

Sheet Number

E101B

KEYED NOTES:
REFER TO DEMOLITION, ELECTRICAL, AND LIGHTING KEYED NOTES, AND SCHEDULES
ON SHEET E703

- ELECTRICAL DEMOLITION NOTES
1. ALL DEVICES, FIXTURES, PANELS, ETC. ARE SHOWN BASED ON CASUAL FIELD OBSERVATIONS AND SHOULD BE VERIFIED IN FIELD BY THIS CONTRACTOR.
 2. ALL CEILING MOUNTED SECURITY DEVICES, SPEAKERS, NOTIFICATION DEVICES, LOW VOLTAGE EQUIPMENT, DATA OUTLETS, ETC. NOT RELATED TO THE SCOPE OF WORK, SHALL BE DOCUMENTED, DISCONNECTED, SECURED, AND RECONNECTED DURING CONSTRUCTION. THIS CONTRACTOR SHALL HIRE OWNER'S VENDOR TO TEST AND DOCUMENT OPERABLE, FAULTY, DEFECTIVE, AND/OR DAMAGED EQUIPMENT PRIOR TO DEMOLITION AND AFTER CONSTRUCTION. DAMAGE TO ANY ITEM SHALL BE REPAIRED OR REPLACED AT THIS CONTRACTORS EXPENSE. ALTERATIONS TO EQUIPMENT AND/OR SYSTEMS SHALL BE PERFORMED BY THE OWNER'S EQUIPMENT VENDOR.
 3. ALL CLASSROOM 120V DUPLEX RECEPTACLES, REMOVE AND REPLACE IN KIND, UNLESS NOTED OTHERWISE. EXTEND/MODIFY BRANCH CIRCUITRY, AS REQUIRED. REFER TO E-200 SERIES DRAWINGS.
 4. ALL CLASSROOM LIGHT FIXTURES AND LIGHTING CONTROL DEVICES SHALL BE DEMOLISHED, UNLESS NOTED OTHERWISE.
 5. ALL CORRIDOR LIGHT FIXTURES TO INCLUDE EMERGENCY LIGHT FIXTURES, SHALL BE DEMOLISHED. EXISTING SWITCHES AND BRANCH CIRCUITRY TO REMAIN.
 6. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR FIRE ALARM WITHIN THE SCOPE OF WORK. REFER TO FA DRAWINGS FOR FIRE ALARM WORK.



1 ELECTRICAL - SECOND FLOOR DEMOLITION PLAN - PART B
1/8" = 1'-0"

ORANGE-ULSTER BOCES
AXELROD - MAIN
BUILDING
ADDITIONS +
ALTERATIONS
53 GIBSON ROAD
GOSHEN, NY 10924

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imagine
build

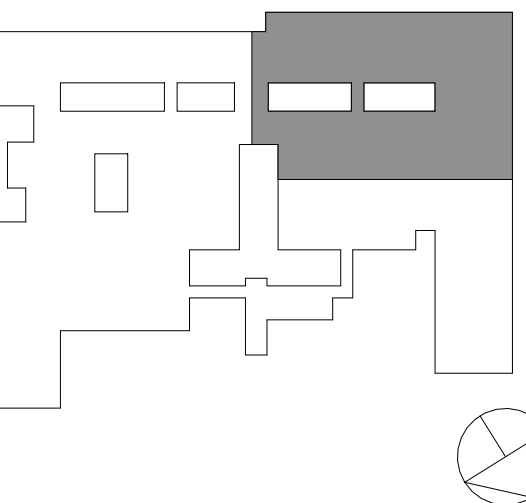
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KEY PLAN



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1 10/25/2024 BID ISSUE

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Sheet Title
**ELECTRICAL:
SECOND FLOOR
DEMO PLAN
PART B**

Job No. 2023-1013 Date 10/25/2024

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Sheet Number

E102B



ELECTRICAL DEMOLITION NOTES

1. ALL DEVICES, FIXTURES, PANELS, ETC. ARE SHOWN BASED ON CASUAL FIELD OBSERVATIONS AND SHOULD BE VERIFIED IN FIELD BY THIS CONTRACTOR.
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6. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR FIRE ALARM WITHIN THE SCOPE OF WORK. REFER TO FA DRAWINGS FOR FIRE ALARM WORK.

POWER PLAN REMOVAL KEYED NOTES ROOF

#	NOTE TEXT
1	EXHAUST FAN TO BE DEMOLISHED BY OTHERS. THIS CONTRACTOR SHALL DEMOLISH ELECTRICAL CONNECTIONS, CONDUCTORS, CONDUIT, ETC. TO RENDER COMPLETE.
2	HEAT PUMP TO BE DEMOLISHED BY OTHERS. THIS CONTRACTOR SHALL DEMOLISH ELECTRICAL CONNECTIONS, CONDUCTORS, CONDUIT, ETC. TO RENDER COMPLETE.
3	ROOF TOP UNIT TO BE DEMOLISHED BY OTHERS. THIS CONTRACTOR SHALL DEMOLISH ELECTRICAL CONNECTIONS, CONDUCTORS, CONDUIT, ETC. TO RENDER COMPLETE.
4	CONDENSING UNIT TO BE DEMOLISHED BY OTHERS. THIS CONTRACTOR SHALL DEMOLISH ELECTRICAL CONNECTIONS, CONDUCTORS, CONDUIT, ETC. TO RENDER COMPLETE.

1 ELECTRICAL - ROOF DEMOLITION PLAN
1/16" = 1'-0"

ORANGE-ULSTER BOCES
AXELROD - MAIN
BUILDING
ADDITIONS +
ALTERATIONS
53 GIBSON ROAD
GOSHEN, NY 10924

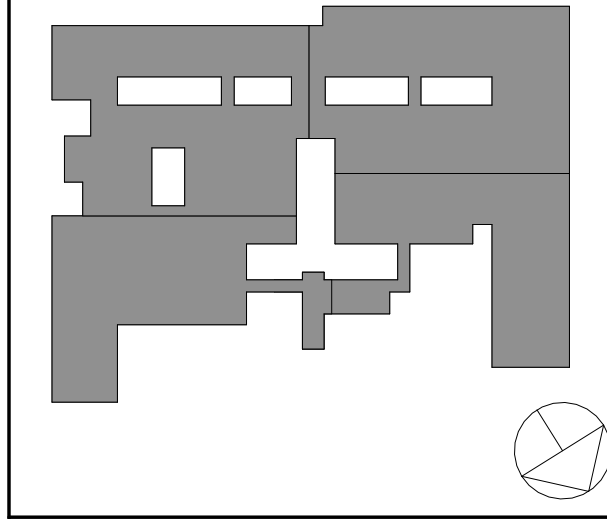
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KEY PLAN



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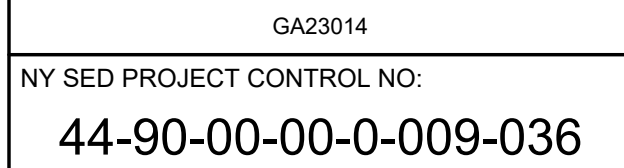
ELECTRICAL:
ROOF DEMO PLAN

Job No.	2023-1013	Date	10/25/2024
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Sheet Number

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GOSHEN, NY 10924



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15 JULY 2005

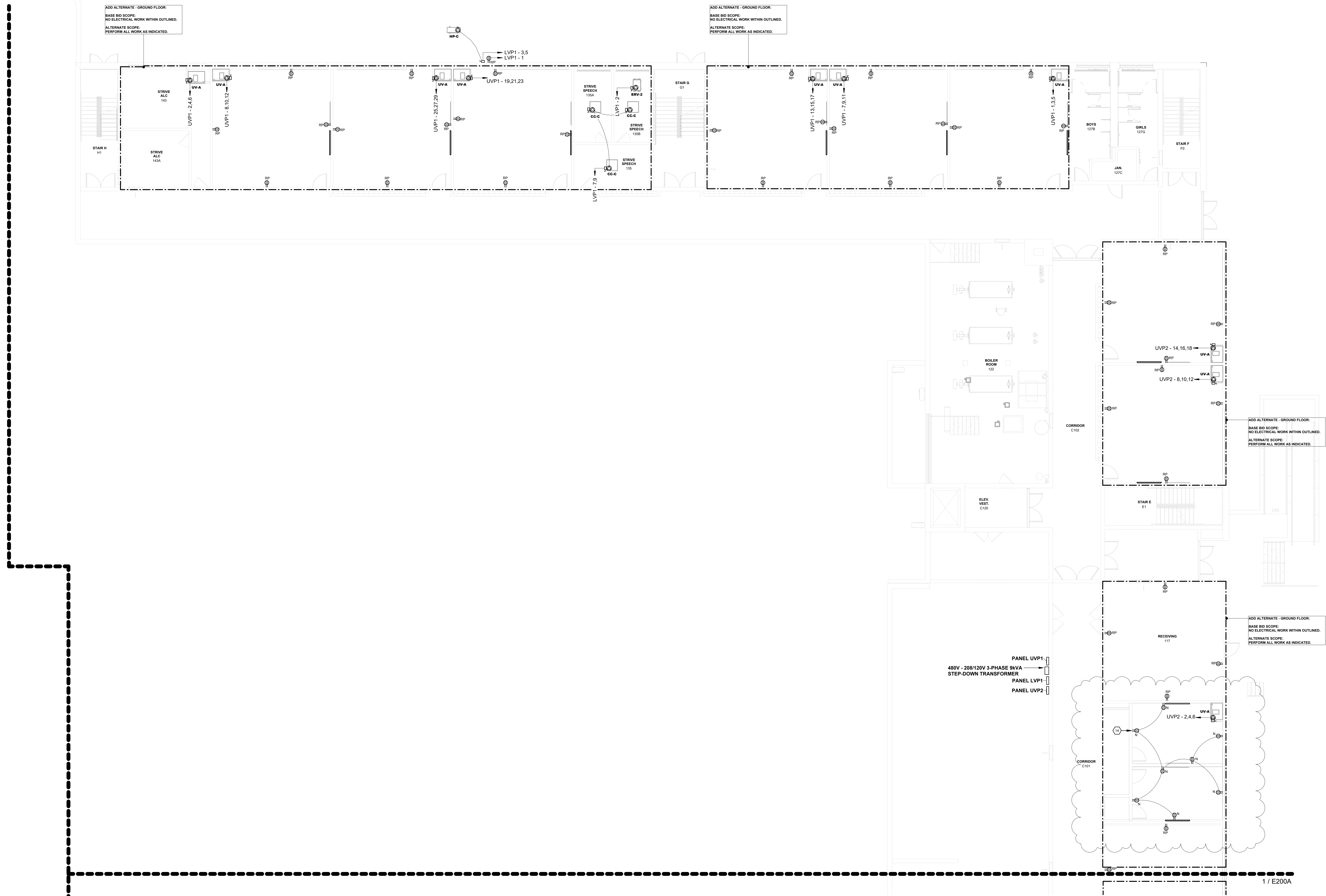
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1	10/25/2024	BID ISSUE
No.	Date	Issue

ELECTRICAL:

Job No. 2023-1013	Date 10/25/2024
Scale AS NOTED	Drawn / Checked RL WH

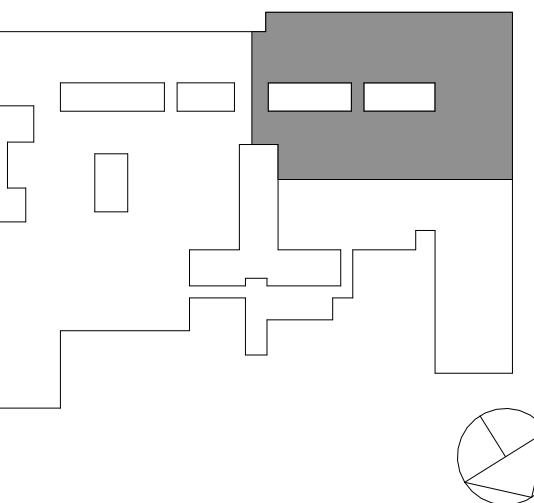
E200B

E200B



1 ELECTRICAL - GROUND FLOOR POWER PLAN - PART B
1/8" = 1'-0"

KEYED NOTES:
REFER TO DEMOLITION, ELECTRICAL, AND LIGHTING KEYED NOTES, AND SCHEDULES
ON SHEET E703



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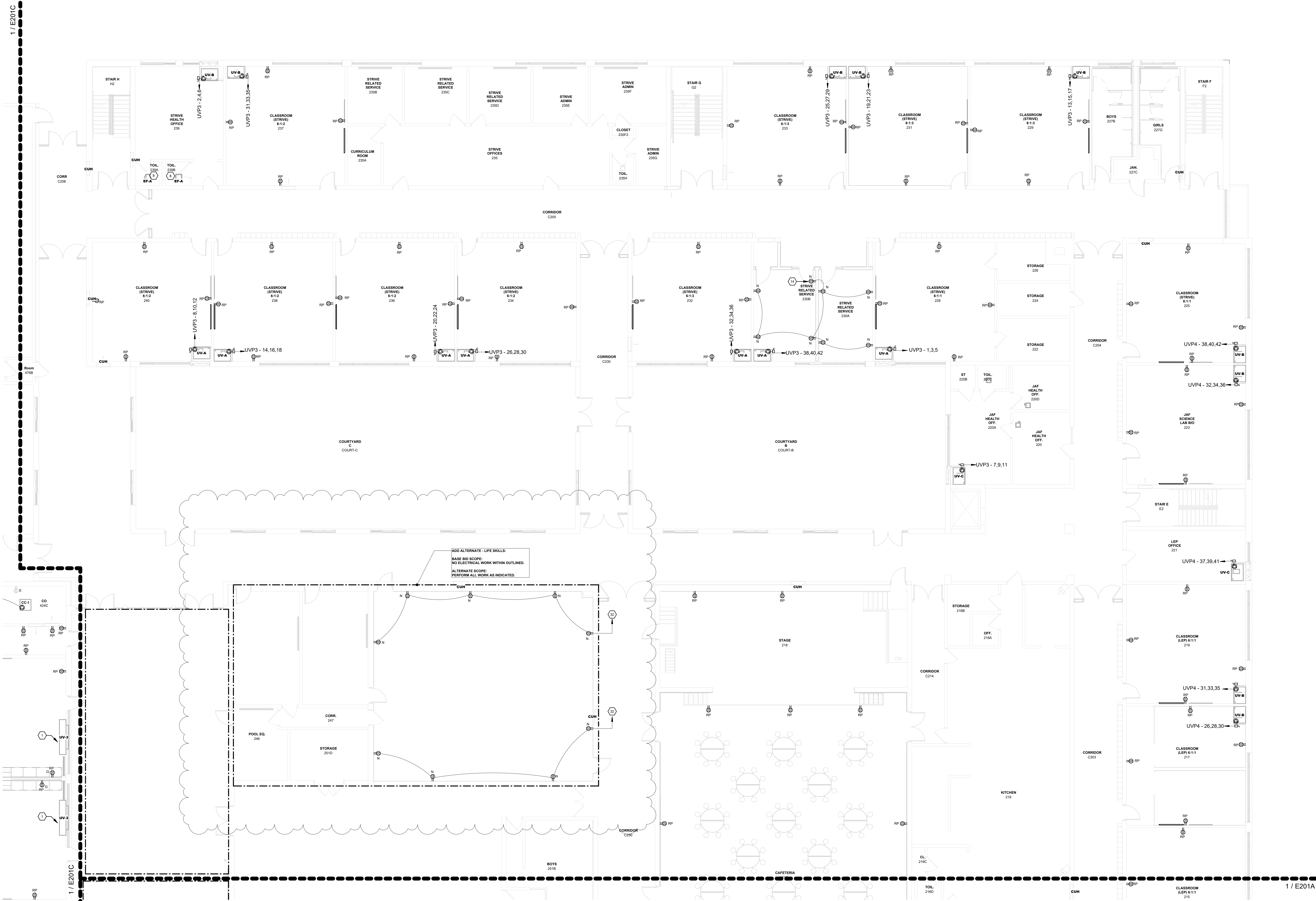
**ELECTRICAL:
FIRST FLOOR
POWER PLAN
PART B**

Job No. 2023-1013 Date 10/25/2024

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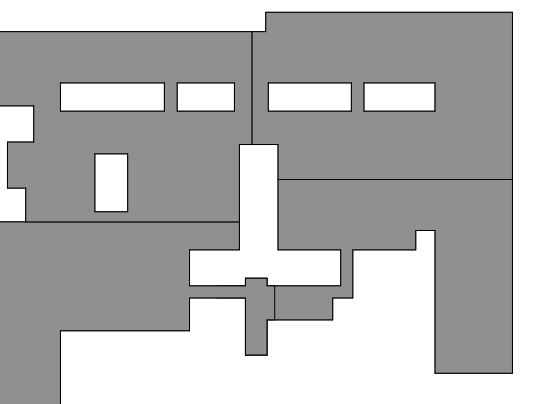
E201B



1 ELECTRICAL - FIRST FLOOR POWER PLAN - PART B
1/8" = 1'-0"

KEYED NOTES:

REFER TO DEMOLITION, ELECTRICAL, AND LIGHTING KEYED NOTES, AND SCHEDULES ON SHEET E703



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Sheet Title

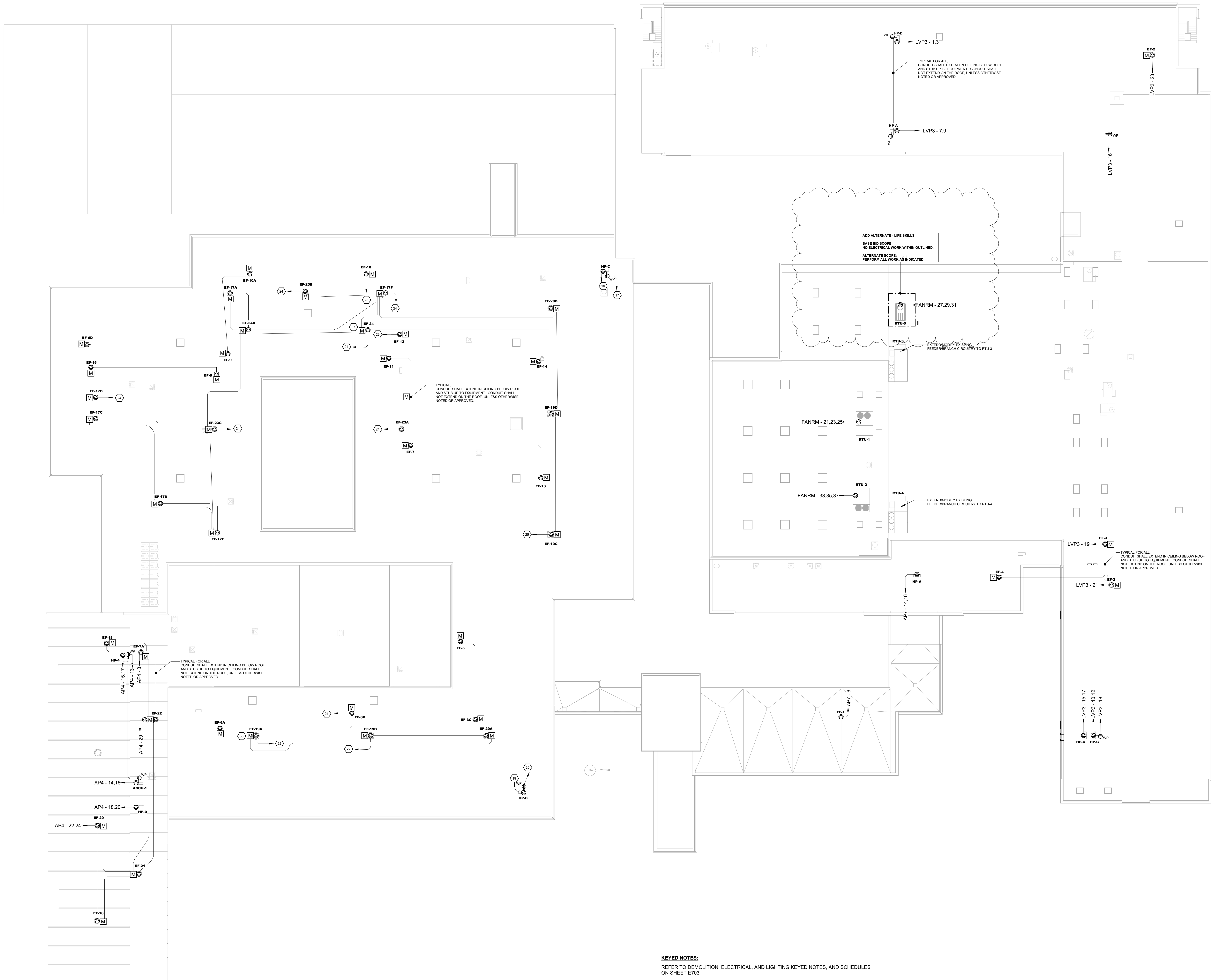
ELECTRICAL:
ROOF POWER PLAN

Job No. 2023-1013 Date 10/25/2024

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E203



KEYED NOTES:
REFER TO DEMOLITION, ELECTRICAL, AND LIGHTING KEYED NOTES, AND SCHEDULES
ON SHEET E703

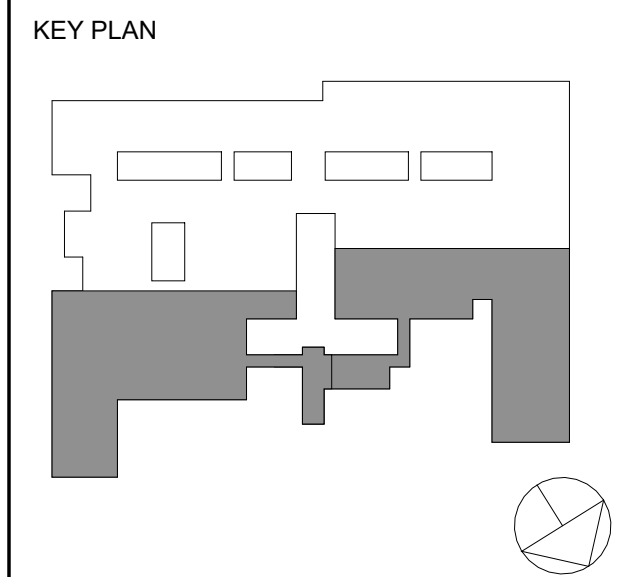
KG+D listen
imagine
build

KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO . NEW YORK . 10549
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GA23014
NY SED PROJECT CONTROL NO: 44-90-00-00-0-009-036

BID ISSUE



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3	12/03/2024	BID ADDENDUM #5
2	11/22/2024	BID ADDENDUM #4
1	10/25/2024	BID ISSUE

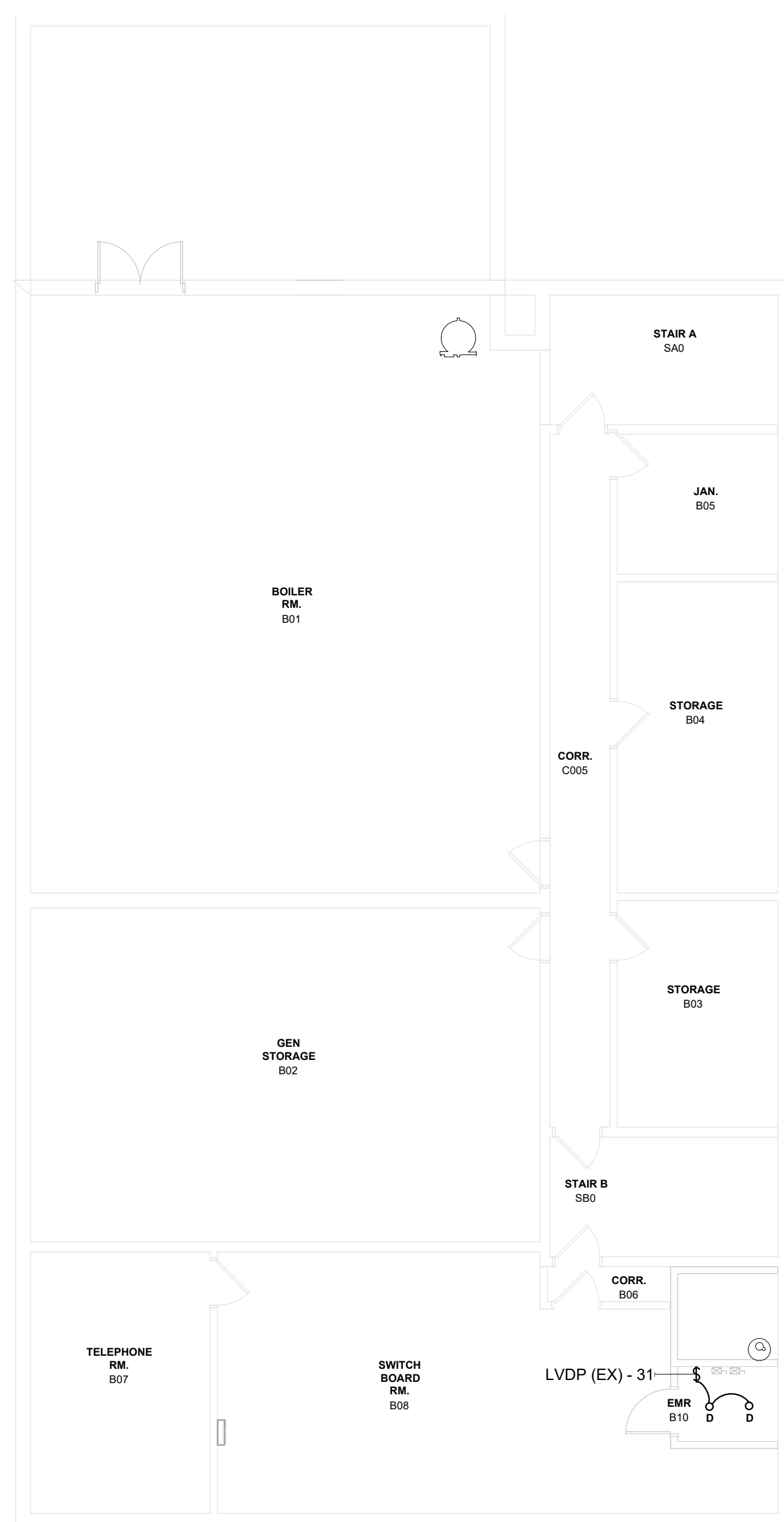
No.	Date	Issue
Sheet Title		

ELECTRICAL:
GROUND FLOOR
LIGHTING PLAN
PART A & D

Job No. 2023-1013	Date 10/25/2024
Scale AS NOTED	Drawn / Checked RL WH

Sheet Number

E300A



EXIT SIGNS AND EMERGENCY LIGHTING NOTES:

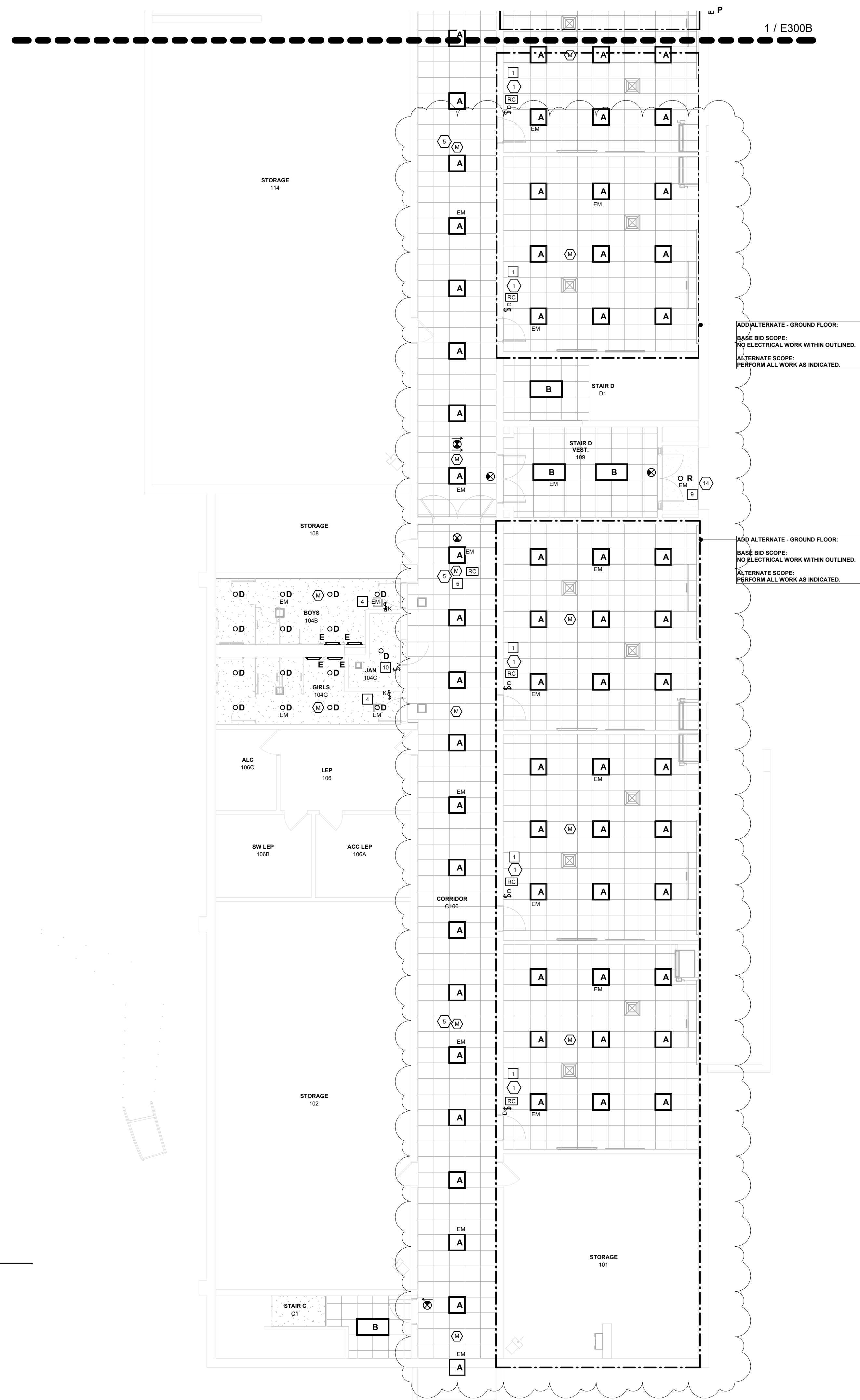
1. EXTEND/MODIFY EXISTING UNSWITCHED LIGHTING BRANCH CIRCUITRY TO EXIT SIGNS AND EMERGENCY LIGHTS.

LIGHTING CONTROL NOTE

- | | |
|---|--|
| # | REFER TO LIGHTING CONTROL EQUIPMENT SCHEDULE AND LIGHTING CONTROL ROOM SCHEDULE FOR SENSOR AND SWITCH PART SPECIFICATION AND OPERATION MODE. |
|---|--|

KEYED NOTES:

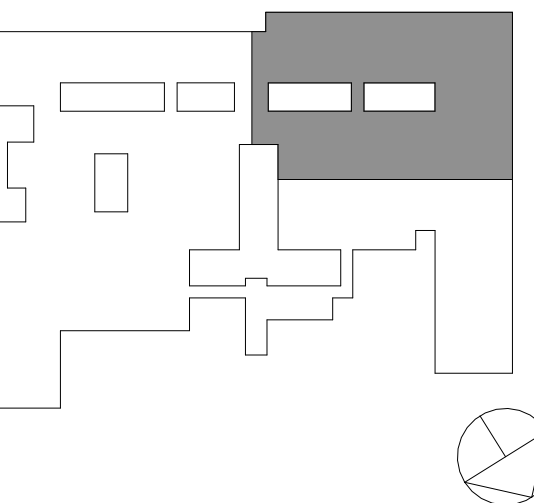
REFER TO DEMOLITION, ELECTRICAL, AND LIGHTING KEYED NOTES, AND SCHEDULES
ON SHEET E703



2 ELECTRICAL - GROUND FLOOR LIGHTING PLAN - PART D
1/8" = 1'-0"

1 ELECTRICAL - GROUND FLOOR LIGHTING PLAN - PART A
1/8" = 1'-0"

KEY PLAN



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3	12/03/2024	BID ADDENDUM #5
2	11/22/2024	BID ADDENDUM #4
1	10/25/2024	BID ISSUE

No. Date Issue

Sheet Title

**ELECTRICAL:
GROUND FLOOR
LIGHTING PLAN
PART B**

Job No. 2023-1013 Date 10/25/2024

Scale AS NOTED Drawn / Checked RL WH

Sheet Number

E300B

ADD ALTERNATE - GROUND FLOOR:
BASE BID SCOPE:
NO ELECTRICAL WORK WITHIN OUTLINED.
ALTERNATE SCOPE:
PERFORM ALL WORK AS INDICATED.

ADD ALTERNATE - GROUND FLOOR:
BASE BID SCOPE:
NO ELECTRICAL WORK WITHIN OUTLINED.
ALTERNATE SCOPE:
PERFORM ALL WORK AS INDICATED.

ADD ALTERNATE - GROUND FLOOR:
BASE BID SCOPE:
NO ELECTRICAL WORK WITHIN OUTLINED.
ALTERNATE SCOPE:
PERFORM ALL WORK AS INDICATED.

ADD ALTERNATE - GROUND FLOOR:
BASE BID SCOPE:
NO ELECTRICAL WORK WITHIN OUTLINED.
ALTERNATE SCOPE:
PERFORM ALL WORK AS INDICATED.

1 ELECTRICAL - GROUND FLOOR LIGHTING PLAN - PART B
1/8" = 1'-0"

EXIT SIGNS AND EMERGENCY LIGHTING NOTES:

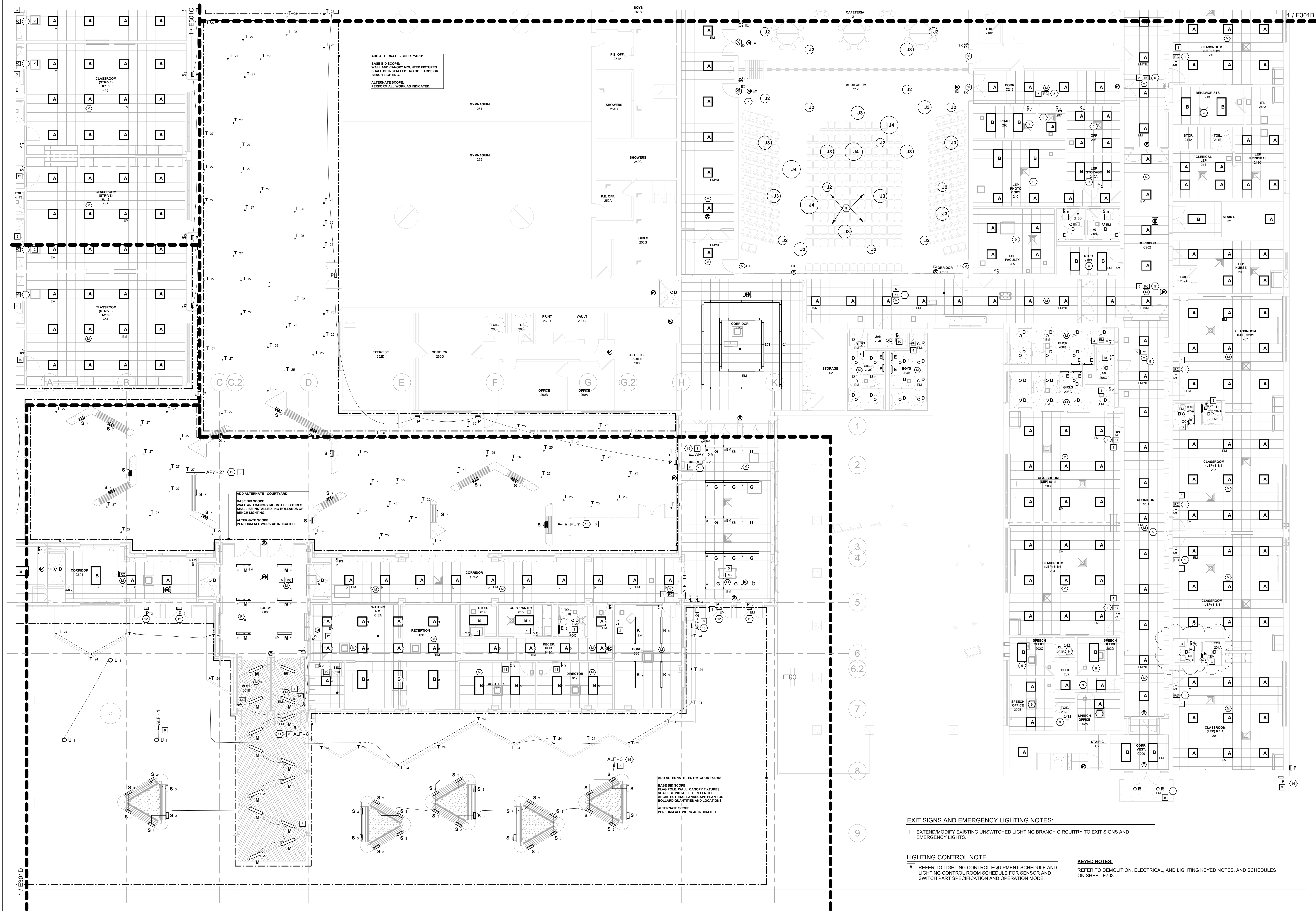
- EXTEND/MODIFY EXISTING UNSWITCHED LIGHTING BRANCH CIRCUITRY TO EXIT SIGNS AND EMERGENCY LIGHTS.

KEYED NOTES:

REFER TO DEMOLITION, ELECTRICAL, AND LIGHTING KEYED NOTES, AND SCHEDULES ON SHEET E703

LIGHTING CONTROL NOTE

REFER TO LIGHTING CONTROL EQUIPMENT SCHEDULE AND LIGHTING CONTROL ROOM SCHEDULE FOR SENSOR AND SWITCH PART SPECIFICATION AND OPERATION MODE.



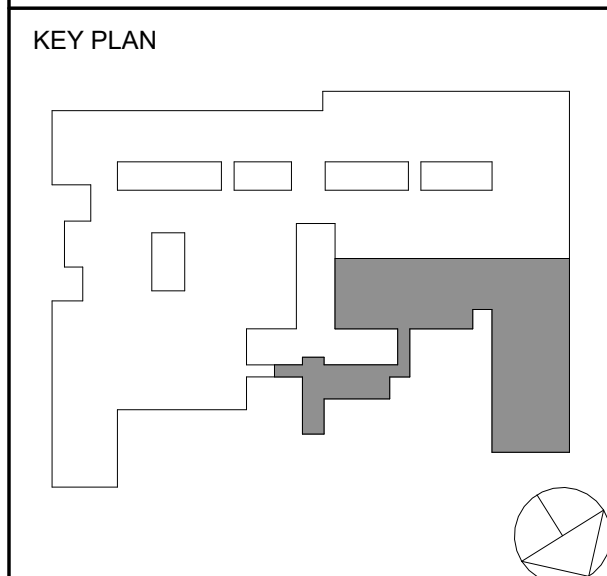
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BUILDING
ADDITIONS +
ALTERATIONS**
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GOSHEN, NY 10924

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EXIT SIGNS AND EMERGENCY LIGHTING NOTES:

1. EXTEND/MODIFY EXISTING UNSWITCHED LIGHTING BRANCH CIRCUITRY TO EXIT SIGNS AND EMERGENCY LIGHTS.

LIGHTING CONTROL NOTE

- # REFER TO LIGHTING CONTROL EQUIPMENT SCHEDULE AND LIGHTING CONTROL ROOM SCHEDULE FOR SENSOR AND SWITCH PART SPECIFICATION AND OPERATION MODE.

KEYED NOTES:

REFER TO DEMOLITION, ELECTRICAL, AND LIGHTING KEYED NOTES, AND SCHEDULES ON SHEET E703

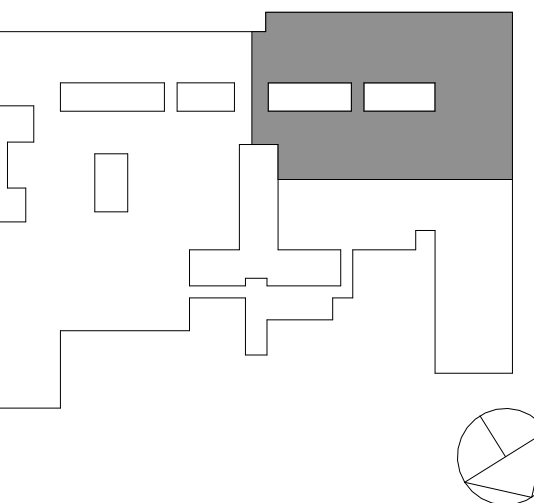
1 ELECTRICAL - FIRST FLOOR LIGHTING PLAN - PART A
1/8" = 1'-0"

**ELECTRICAL:
FIRST FLOOR
LIGHTING PLAN
PART A**

Job No. 2023-1013 Date 10/25/2024
Scale AS NOTED Drawn / Checked RL WH
Sheet Number

E301A

KEY PLAN



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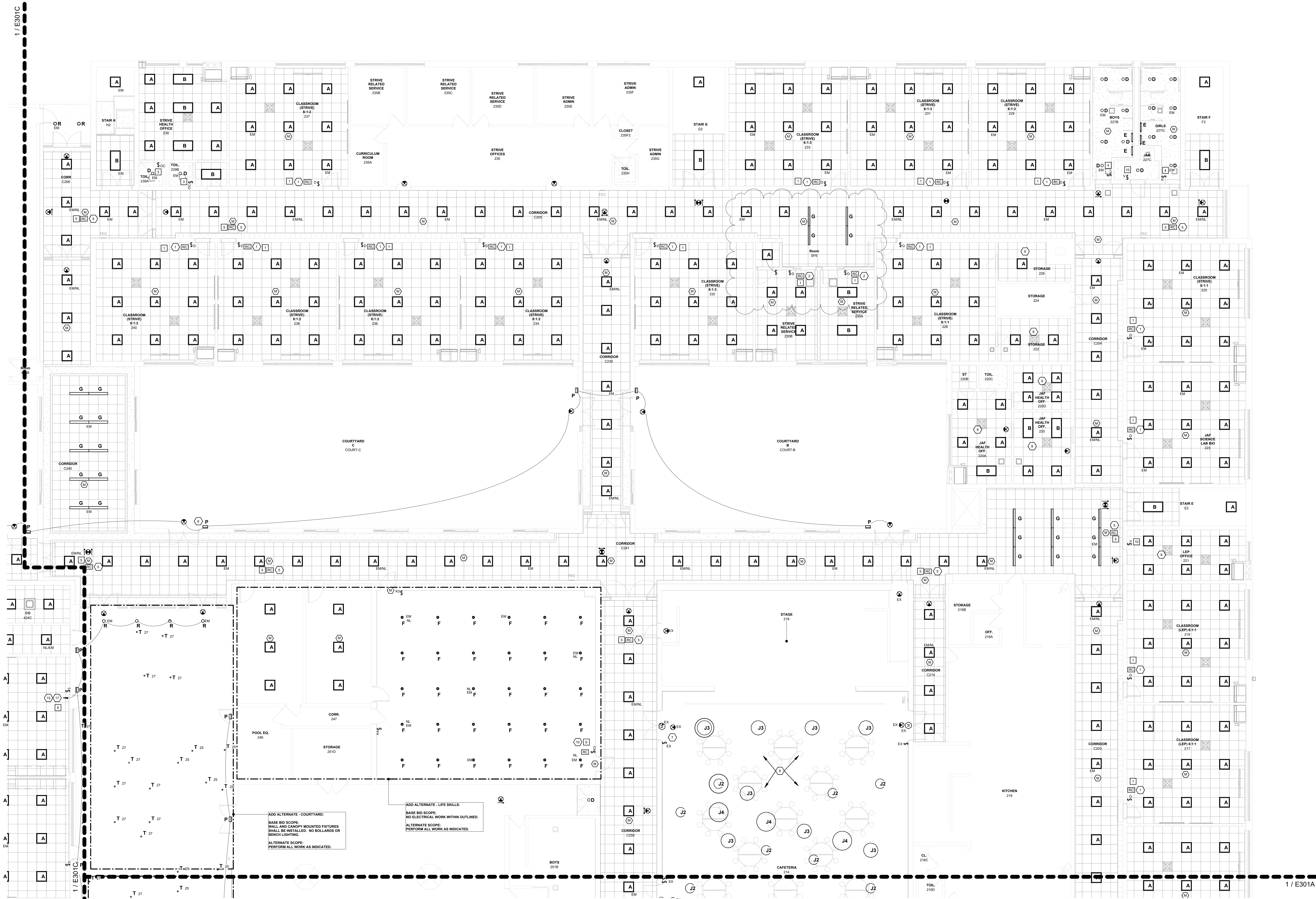
Professional Seal

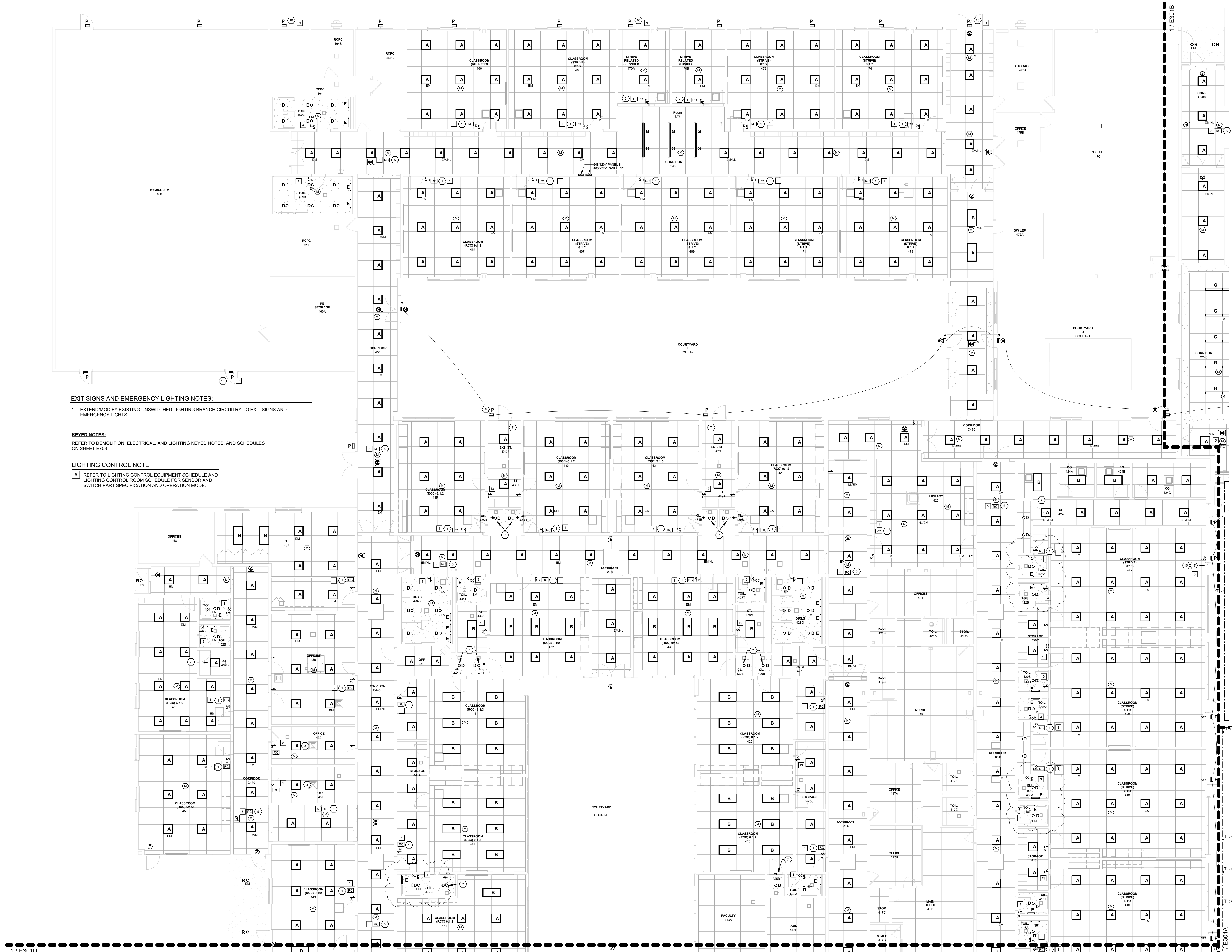
3 12/03/2024 BID ADDENDUM #5
1 10/25/2024 BID ISSUE
No. Date Issue

ELECTRICAL:
FIRST FLOOR
LIGHTING PLAN
PART B

Job No. 2023-1013 Date 10/25/2024
Scale AS NOTED Drawn / Checked RL WH
Sheet Number

E301B





EXIT SIGNS AND EMERGENCY LIGHTING NOTES:

1. EXTEND/MODIFY EXISTING UNSWITCHED LIGHTING BRANCH CIRCUITRY TO EXIT SIGNS AND EMERGENCY LIGHTS.

KEYED NOTES:

REFER TO DEMOLITION, ELECTRICAL, AND LIGHTING KEYED NOTES, AND SCHEDULES ON SHEET E703

LIGHTING CONTROL NOTE

REFER TO LIGHTING CONTROL EQUIPMENT SCHEDULE AND LIGHTING CONTROL ROOM SCHEDULE FOR SENSOR AND SWITCH PART SPECIFICATION AND OPERATION MODE.

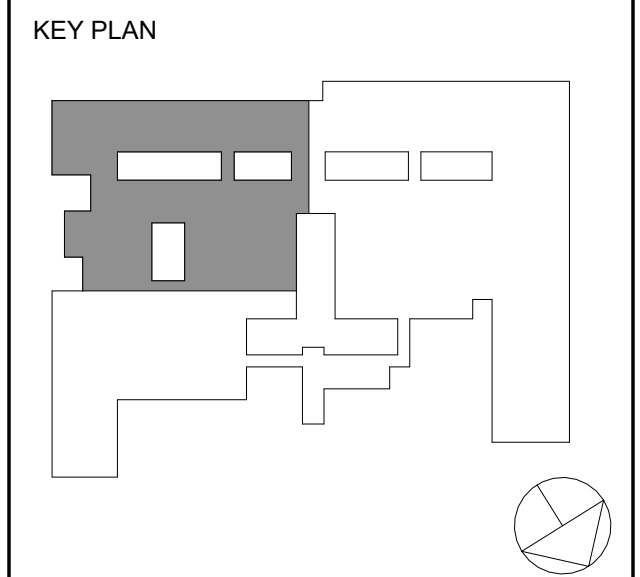
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GOSHEN, NY 10924

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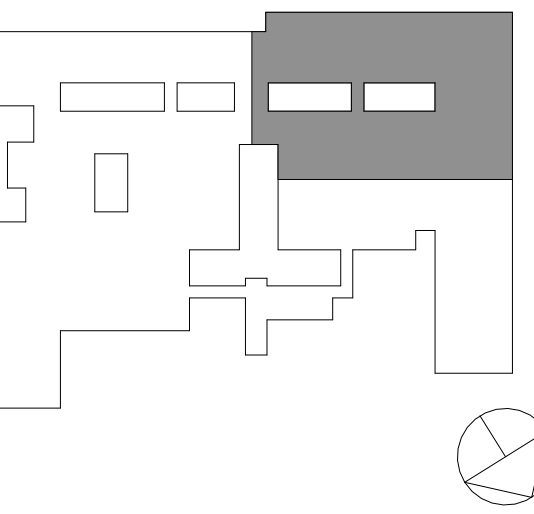
**ELECTRICAL:
FIRST FLOOR
LIGHTING PLAN
PART C**

Job No. 2023-1013 Date 10/25/2024
Scale AS NOTED Drawn / Checked RL WH
Sheet Number

E301C

E302A

KEY PLAN



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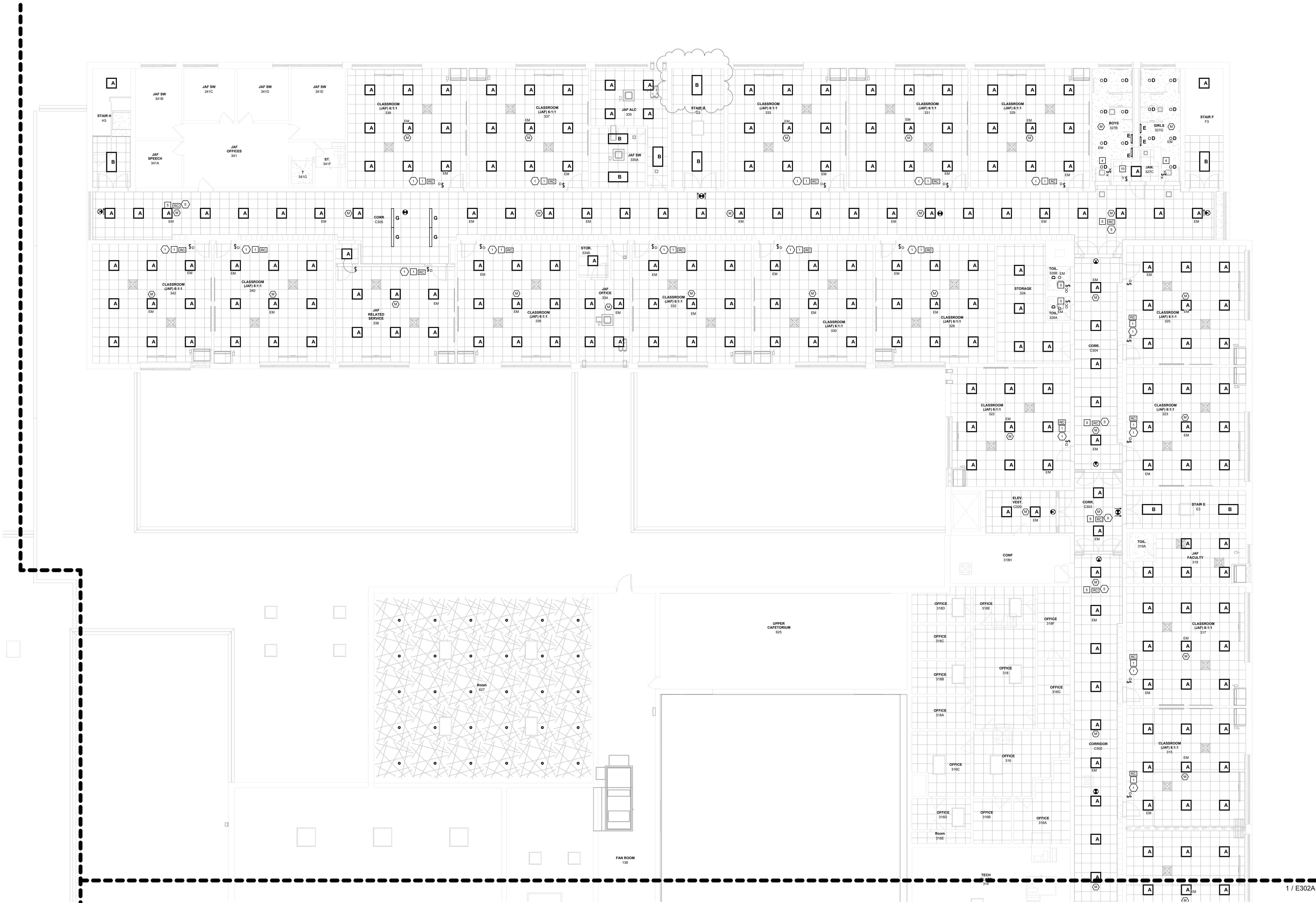
3	12/03/2024	BID ADDENDUM #5
2	11/22/2024	BID ADDENDUM #4
1	10/25/2024	BID ISSUE
No.	Date	Issue

**ELECTRICAL:
SECOND FLOOR
LIGHTING PLAN
PART B**

Job No.	2023-1013	Date	10/25/2024
Scale	AS NOTED	Drawn / Checked	RL WH

Sheet Number

E302B



1 ELECTRICAL - SECOND FLOOR LIGHTING PLAN - PART B
1/8" = 1'-0"

EXIT SIGNS AND EMERGENCY LIGHTING NOTES:

- EXTEND/MODIFY EXISTING UNSWITCHED LIGHTING BRANCH CIRCUITRY TO EXIT SIGNS AND EMERGENCY LIGHTS.

KEYED NOTES:

- REFER TO DEMOLITION, ELECTRICAL, AND LIGHTING KEYED NOTES, AND SCHEDULES ON SHEET E703

LIGHTING CONTROL NOTE

- # REFER TO LIGHTING CONTROL EQUIPMENT SCHEDULE AND LIGHTING CONTROL ROOM SCHEDULE FOR SENSOR AND SWITCH PART SPECIFICATION AND OPERATION MODE.