

B I D A D D E N D U M 0 6

The items set forth herein, whether of omission, addition, substitution, or clarification are to be included in and form a part of the construction documents for the project listed above.

This Addendum consists of the following Parts:

Part 1	Divisions #0-1, Bidding and Contract Requirements
Part 2	Technical Changes, Architectural, Structural, Civil & Abatement
Part 3	Technical Changes, Plumbing, Mechanical and Electrical
Part 4	Drawing Changes, Architectural / Civil / Abatement
Part 5	Drawing Changes, Structural
Part 6	Drawing Changes, Plumbing, Mechanical and Electrical
Part 7	Clarifications
Part 8	New Issues – List of Included Documents

PART 1 DIVISIONS #0-1, BIDDING AND CONTRACT REQUIREMENTS

- 1.1 004220 Bid Form Contract #2 Abatement
 - a. See REVISED bid form with unit price HAZ-5 removed from the forms.
- 1.2 004030 Bid Form Contract #3 Roofing
 - a. See REVISED bid form for Roofing Contract #3 with Add Alternate #3 added as Section 10.3. Add Alternate No.3.
- 1.3 012200 Unit Prices
 - a. See REVISED unit prices specification section eliminating unit price HAZ-5 for Contract #2 Abatement Work.
- 1.4 012300 Alternates
 - a. See REVISED bid form for Alternates with Contract No. 3 – Roofing Work added to Section 3.1.E.3 Contracts Involved in this Alternate.

PART 2 TECHNICAL CHANGES, ARCHITECTURAL, STRUCTURAL, CIVIL AND ABATEMENT

- 2.1 093000 Tiling
 - a. Section 2.2-A-1-b changed from “Color: Grey 11 Matte finish” to “Color: White #12”

PART 4 DRAWING CHANGES, ARCHITECTURAL / CIVIL / ABATEMENT

- 4.1 A101 – Overall 1st Floor Demo Plan
 - a. See REVISED plan with note 2C removed.

- 4.2 A102 – Ground & 2nd Floor Demo Plan
 a. See REVISED plans with note 2C removed.
- 4.3 A203 – Roof Plan
 a. See REVISED Roof Plan with new HVAC equipment shown
- 4.4 L954B – Landscape Elevations & Details – Alternate
 a. See added details regarding textured courtyard triangle pavers.

PART 7 CLARIFICATIONS

- 7.1 RFI Question - Clarify Exterior Canopy Ceiling
 RFI Response – Exterior Canopy Ceiling (and Exterior Soffits) are based on Armstrong METALWORKS Linear – SYNCHRO Ceiling Planks with compatible BASO linear light fixtures installed in Armstrong Axiom Direct Light Coves.
- 7.2 RFI Question - Confirm if plywood needs to be fire rated?
 RFI Response – Plywood and all wood is required to be fire-retardant-treated wood.
- 7.3 RFI Question – Please provide planting list for Base Bid
 RFI Response –

FOR LANDSCAPE PLAN - BASE BID

PLANT MATERIALS - REPRESENTATIVE LIST FOR PRICING

Botanical Name	Common Name	Size
MINOR TREES - TOTAL COUNT: 3		
Acer griseum	Paperbark Maple	6'-8' HT
SHRUBS - TOTAL COUNT: 81		
Cornus sericea	Red-Osier Dogwood	#3 CONT. ↓
Deutzia scabra	Fuzzy Deutzia	
Ilex verticillata	Winterberry	
Juniperus horizontalis Plumosa	Andorra Juniper	
Physocarpus opulifolius 'Diablo'	Ninebark 'Diablo'	
Pieris japonica	Japanese Pieris	
Spiraea x bumalda 'Goldflame'	Goldflame Spirea	
GROUNDCOVERS - TOTAL COUNT: 1280		
Euonymus fortunei 'coloratus'	Purpleleaf Wintercreeper	1 Yr
Vinca minor	Periwinkle	1 Yr
PERENNIALS AND ORNAMENTAL GRASSES - TOTAL COUNT: 210		
Achillea filipendulina	Fernleaf Yarrow	#1 CONT. ↓
Lavandula angustifolia	English Lavender	
Andropogon scoparius	Big Bluestem	#3 CONT. ↓
Calamagrostis acutiflora Karl Foerster	Karl Foerster Reed Grass	
Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	
Schizachyrium scorparium	Little Bluestem	

- 7.4 RFI Question – Please provide details/information of textured plaza panels
RFI Response – See REVISED L954B for details of textured plaza panels.
- 7.5 RFI Question – Where are projectors and projector screens located?
RFI Response – Disregard notes pertaining to projects and projector screens.
- 7.6 RFI Question – Spec section 077700 calls for composite framing for wall cladding supports but the drawings show aluminum angles – which is correct?
RFI Response – It is an aluminum angle mounted on top of a thermal break material. The thermal break material is between the aluminum angle and the sheathing. See Addendum #4 7.12 for basis of design.
- 7.7 RFI Question – Regarding the classrooms, Sheet A501A calls for LVT-1 while the schedule on A530 calls for LVT-3C and the specs list five different options for LVT-1 (A-E) – please clarify.
RFI Response - Regarding renovated classrooms, the floor finish should be LVT-3 as shown in 096510-3 Resilient Flooring and Accessories. LVT-1 is for new Early Ed classrooms.
- 7.8 RFI Question – The following doors are shown on the door schedule as being aluminum door / aluminum frame, however on the floor plans they are designated with HM# frame type marks. Since they are interior it would make sense for them to be HM. Let me know how you want me to include them. #C102 #C202 #C206 #C230A #C260 #C301 #C302A #C501
RFI Response – All these corridor doors are painted hollow metal.
- 7.9 RFI Question - The abatement drawings indicate that the bathrooms in the 1986 building be treated the same as the 1969 – removing walls and ceilings to access pipe insulation and fittings. However there is no Pipe insulation or fittings listed in the survey. Please advise.
RFI Response – No pipe insulation/fittings abatement in the 1986 building.
- 7.10 RFI Question – The Asbestos survey do not indicate any roofing on the 1986 building to be Asbestos. The Roofing drawing AA153 Only indicates Building flashing & Termination Bar Caulk as well perimeter & Equipment flashing on the 1969 building roof:
RFI Response – The roof abatement is on the 1969 building.
- 7.11 RFI Question – The documents indicate Abatement to re-insulate pipe that has had insulation removed. Is there any re-insulation included in the base contract or is it all to be covered by the Allowance?
RFI Response – See Bid Addendum #4 with information on allowance for re-insulation of piping. It is all to be covered by the allowance.
- 7.12 RFI Question – The schedule indicates the roofs are split between 2025 & 2026 – as we believe that there is only abatement work on the 1969 roof can you be clear what year what areas are to be completed?
RFI Response – It is up to the Hazardous Removal and Roofing contractor to coordinate. Per Addendum #4, RFI 7.26, roofing replacement will commence on Zone 2. Whatever gets removed must remain watertight at all times.

- 7.13 RFI Question – Section 011000-26 3. Demolition d. indicates abatement contractor to demo Electrical equipment, piping, etc. Isn't this in the MEP scope for demo? E. indicates other demo that is not limited to that required for Abatement.
RFI Response - 01 1000-26.3 "Provide demolition of all Electrical equipment, piping, supports as required for a full building gut removal. Included any work found abandoned in place or unused adjacent to work scope. Salvage, Store, Protection of equipment for reinstallation as indicated on the drawings." Shall be deleted. Electrical demolition shall be performed by the Electrical Contractor. Reference 01 1000-20.3
- 7.14 RFI Question – Section 011000-26 4. Temporary Facilities c. indicates abatement contractor to provide temp roof, Isn't this in the roofers scope? d. indicates Temporary enclosures for windows removed isn't that in the GC scope.
RFI Response – Reference Addendum #4 7.27
- 7.15 RFI Question – During the summer months is the abatement contract required to work 2nd shift other then noted for the 1st floor Zones 8, 9, 11, 12, 13, 14, 15 on the schedule.
RFI Response – Per the schedule, the Abatement Contractor has from Jul 7, 2025 to Jul 25, 2025 to complete all work necessary for their scope's completion AND clearances. Other trades to start Jul 28, 2025 in order to return the space back to the school It is up to the Abatement Contractor to determine resources and schedule to complete this work. If additional shifts are required to completed, these cost should be provided within the Base Bid.
- 7.16 RFI Question – Section 02080-40 indicates 45 Windowsills, the Asbestos drawing only shows 38. Which is correct?
RFI Response – Follow the specification.
- 7.17 RFI Question – Please confirm that a minimum of a PAPR is required for all Asbestos removals as noted in section 02080-34 #3 & #5.
RFI Response – OSHA requires a PAPR unless an exposure assessment has been performed in the past year during abatement of similar materials and shows fiber concentrations in line with use of half-mask or full-face air-purifying respirators.
- 7.18 RFI Question – Section 012200-3, 3.2 E. Request a unit price for Exterior caulk not included in the Base Bid, We didn't see any caulk removal in the documents. Please confirm. This unit rate does not include the statement that is in the other Unit rates about it being in an existing containment? Also can a minimum be established for this unit because doing 2 LF is mush different then 20 in the cost to setup.
RFI Response – As no ASB caulking was identified in the abatement report, this unit price shall be removed. See revised bid form and 012200 Unit Prices specification section.
- 7.19 RFI Question – The demo is by various Trades – can the Abatement contractor expect the below ceiling demo to be done prior to there start – i.e. doors, toilets, toilet stalls, built in cabinets, etc.
RFI Response - Yes
- 7.20 RFI Question – AA-151 indicates 38 windows to be removed, Demo drawings A101, indicates has some of those same windows listed as alternates. Please advise.
RFI Response – 30 of the 38 windows listed requiring abatement are part of add alternate 1. We required a price for both the base bid as well as a price for doing the add alternate.

- 7.21 RFI Question – Section 012300-2, 3.1 A. Add alternate No. 1, There are many windows listed in this alternate most of these windows are not listed in the spec as Asbestos containing, please confirm how many windows effect the Abatement contractor for this alternate.
RFI Response – 30 of the 38 windows listed with asbestos are part of Add Alternate 1. Base bid should include 8 windows (not part of Add Alternate 1) and Add Alternate bid should include all 38 windows.
- 7.22 RFI Question – Section 012300-2, 3.1 B. Add alternate No. 2A list rooms on the Abatement drawing as base scope? Please advise.
RFI Response – Abatement work in the rooms listed in Add Alternate 2A shall be part of the Add Alternate 2A, not base bid.
- 7.23 RFI Question – Section 012300-2, 3.1 C. Add alternate No. 2B list rooms on the Abatement drawing as base scope? Please advise.
RFI Response – Abatement work in the rooms listed in Add Alternate 2B shall be part of the Add Alternate 2B, not base bid.
- 7.24 RFI Question – Section 012300-2, 3.1 D. Add alternate No. 2C list rooms on the Abatement drawing as base scope? Please advise.
RFI Response – Abatement work in the rooms listed in Add Alternate 2C shall be part of the Add Alternate 2C, not base bid.
- 7.25 RFI Question – Section 012300-2, 3.1 E. Add alternate No. 3 Renovations to existing Pool and Adjacent Toilet, Toilets are already list in abatement base scope. And is there anything need from the abatement contractor in the pool area?
RFI Response – These is no abatement work identified in pool area (Life Skills 250). Work in adjacent Toilets 248 and 249 (Storage 248 and 249) shall be part of Add Alternate #3, not the base bid.
- 7.26 RFI Question – There are toilets in the Ground floor listed as base contract work for the abatement contractor is that accurate.
RFI Response – Work in the ground floor multi-user toilet rooms are part of the Base Bid.
- 7.27 RFI Question - Which contract owns testing the roof drains per note 5 on A203?
RFI Response – The Plumbing Contract owns testing the roof drains.
- 7.28 RFI Question - Which contract owns removing & resetting lights fixtures per note 5 on A203?
RFI Response – The Roofing Contract owns removing & resetting light fixtures as pertains to notes on A203.
- 7.29 RFI Question – Which contract owns removing & resetting conduit & gas supports per note 8 on A203?
RFI Response – The Roofing Contract owns work pertaining to notes on A203.
- 7.30 RFI Question – Which contract owns the painting scope of work per note 9 on A203?
RFI Response – The Roofing Contract owns work pertaining to notes on A203.

- 7.31 RFI Question – Which contract owns the roof ladders, stair and railings?
RFI Response – The Roofing Contract owns roof ladders, stairs and railings pertaining to the roof work. Stairs and railings inside the building are for General Construction.
- 7.32 RFI Question – Which contract owns the masonry work shown on detail(s) 11-12A/A250, 13&14/A251, 17&18/A251, 21&22/A251, and notes 12 & 13 per A203?
RFI Response – Roofing Contract owns the masonry work shown on these details.
- 7.33 RFI Question - Which contract owns the filling the top of CMU blocks per the details shown on A250-A254?
RFI Response – General Construction owns the masonry work shown on these details.
- 7.34 RFI Question – Please confirm that note 14 on A203 is by the plumbing contract.
RFI Response – Confirmed. Plumbing Contract is to place drains including related insulation at undersides of new drain bowls.
- 7.35 RFI Question – Please confirm that all contracts are responsible for the roof protection notes shown on A203.
RFI Response – Refer to 01100 – Multi Prime Contract Summary Section 1.10-4-a.
- 7.36 RFI Question - What is being done at the abandoned roof drains shown on A203?
RFI Response – There are no roof drains to be abandoned. All existing roof drain locations will be replaced per detail 36/A252.
- 7.37 RFI Question – There is no space on the roofing contract bid form to include the costs for RTU-5 alternate shown on M203, M103, S105, E203 & E103.
RFI Response – See REVISED Roofing Contract Bid form.
- 7.38 RFI Question – Note 6 on A203 says to set AC units on concrete pavers and walkway pads. M602 detail 8 shows new rail supports. Are the units being mounted on pavers per A203 or rails per M602? There's no roofing detail for rail support curbs shown on A250-A254.
RFI Response – Follow mechanical information for rail supports.
- 7.39 RFI Question – Regarding the metal panel ceilings in Section 095130, shown on Sheet A610 and Section Detail 2/A312, are the exterior areas also intended to have metal panel ceilings? Sheet 7/A806 suggests metal panel ceilings for the exterior, but Sheet A210, 1/A312, 3/4/A801, and 4/A805 indicate fiber cement wall panels (Specification 074300). Please clarify.
RFI Response – What is called out as metal panel ceilings from Section 095130 is correct. The details at the soffits includes the same high density fiber cement wall panel at the front edge, but what is called out as wood soffit will also be the same metal panel ceiling system. The metal panel ceiling system is to look like wood.
- 7.40 RFI Question – In the addition area, we are currently stopping at the DensGlass. Please confirm that this is correct or advise if additional scope is required.
RFI Response – General Contraction work does not stop at the DensGlass. Reference Addendum #3 7.10 and 7.11 as well as Addendum #4 7.15 and 7.33 for clarification on scope under General Construction.

- 7.41 RFI Question – The project schedule indicates that the addition will be completed by 12/11/2025 and 1st Floor Zones 8,9,11,12,13,14, and 15 will be completed by 8/30/2025. However, the timeline for the remaining zones is unclear. Additionally, there is a reference to “renovations renovation general” for 2026 and 2027. Could you please clarify the completion dates and scope for the other zones?

RFI Response - Each zone is listed within the Project schedule by zone. An example of a few as shown below;

Example

Task

ID	Description	Duration	Start	Finish
A1480	GC-EC-MC Demo - Finish Zone 2	35	02-Sep-25*	20-Oct-25
A1800	GC-EC-MC Demo - Finish Zone 3	35	21-Oct-25	08-Dec-25
A1810	GC-EC-MC Demo - Finish Zone 4	35	09-Dec-25	26-Jan-26

As for the 35 day duration, within the schedule (bottom) there is an example logic flow of how to proceed thru a Zone

OUB Axelrod – Renovations - Example Zone Build Rooms Only (not hallways)

- 7.42 RFI Question – Sheet A101 includes a tag “2C”, which calls for the removal of existing doors and replacement with new doors (e.g., Room #203). However, new doors are not indicated on Sheet A201A or on the door schedule on Sheet A906. Please confirm if the locations tagged as “2C” will not receive new doors or provide updated drawings/specifications if replacements are required.

RFI Response – Sheet A101 is incorrect. See revised Sheet A101. Construction plans A200s and door schedule on Sheet A906 are correct.

- 7.43 RFI Question – Please confirm that the “Security film” listed for glass type GL-4 as shown on drawing A910/A911/A951 is to be as listed in specification 088000 section 2.2-Q. If not, please provide security film basis of design.

RFI Response - Confirmed. Security film follows the specification 088000 section 2.2-Q.

- 7.44 RFI Question – 46/A253 details the roof skylights. 077200, 2.2.C spec calls for interior safety screens. The screens are not shown on 46/A253. Safety screens are not included in specification 086200. Are interior screens being provided? Which contract owns the interior screen work?

RFI Response – These safety screens are exterior, above the skylight dome and part of the Roofing Contract. The same type of skylight domes are specified in Sections 077200 and 086200, except the skylights called out in 086200 have “self-flashing curbs”. We want the curbs built as shown in Detail 46/A253

- 7.45 RFI Question – Are we to assume that note 4 on FA200A refers to only the items listed on the FA prints as “EX/RL” and all other devices are new installations? Please confirm if this is correct.

RFI Response – Note #4 applies to fire alarm detection devices. Fixtures tagged “EX/RL” are existing to be stored and secured for relocation and reconnection. This note applies to all FA drawings.

- 7.46 There is no demo plan provided for FA is there one available? If so, please provide.
RFI Response – There are no demo plans for the FA system. Refer to notes on drawings.
- 7.47 RFI Question – Please confirm that all FA work is to fall under the base bid price and not broken out in any alternates.
RFI Response – Provide Add Alternate Bid Price for the following areas:
- Ground Floor – Refer to Add Alternate notes on Electrical drawings. Refer to Addendums for additional notes and information.
 - Life Skills – Refer to Add alternate notes on Electrical drawings. Refer to Addendums for additional notes and information.
- 7.48 RFI Question – On the mechanical spec section 232113-7, it stated for 2-1/2" pipe and smaller it shall be EITHER copper or steel pipe for hot water and dual temp. However, on the pipe schedule on drawing (M702), it stated for 2-1/2" and smaller it shall be copper. Please advise which is correct.
RFI Response – Use specification for piping material schedule, use of copper OR steel piping is acceptable for 2 1/2" and below.

PART 8 NEW ISSUES

- | | | |
|----|--|------------------|
| 1. | 000420 Bid Form Contract #2 Abatement | (6 Pages) 8.5x11 |
| 2. | 004030 Bid Form Contract #3 Roofing | (5 Pages) 8.5x11 |
| 3. | 012200 Unit Prices | (4 Pages) 8.5x11 |
| 4. | 012300 Alternates | (4 Pages) 8.5x11 |
| 5. | A101 – OVERALL 1 ST FLOOR DEMO PLAN | (1 Page) 30x42 |
| 6. | A102 – GROUND & 2 ND FLOOR DEMO PLAN | (1 Page) 30x42 |
| 7. | A203 – ROOF PLAN | (1 Page) 30x42 |
| 8. | L954B – LANDSCAPE ELEVATIONS & DETAILS – ALTERNATE | (1 Page) 30x42 |

****** END OF BID ADDENDUM #6 ******

BID FORM

FOR

ORANGE ULSTER BOCES

ADDITIONS & ALTERATIONS TO EMANUEL AXELROD SPECIAL EDUCATION CENTER

CONTRACT NO. 2 – ABATEMENT WORK

Owner Information:

Orange Ulster BOCES

53 Gibson Road

Goshen, New York 10924

Attn: Mark Coleman, Assistant Superintendent for Finance & Management

Project Location:

Orange Ulster BOCES – Gibson Road Campus

Emanuel Axelrod Education Center

53 Gibson Road

Goshen, New York 10924

1. The Undersigned hereby declares that it has carefully examined all Bidding and Contract Documents and has inspected the actual location of Work, together with the local sources of supply, and has satisfied itself as to all quantities and conditions, and understands that in signing this Proposal, it waives all rights to plead any misunderstanding regarding the same.
2. The Undersigned further understands and agrees that it is to do, perform and complete all the Work in accordance with the Contract Documents and Contract and to accept in full compensation therefor, the amount of the Base Bid, modified by such additive or deductive alternatives, if any, as are accepted by the Owner.
3. In submitting this Bid, the Undersigned agrees:
 - a. To hold the Bid open for forty-five (45) days after Bid Opening.
 - b. To accept the provisions of the Instructions to Bidders.
 - c. To enter into and execute a Contract and the PLA within ten (10) days of the Notice of Award issue date, and to simultaneously furnish Performance and Labor and Material Bonds.
 - d. To enter into, become signatory to, and to abide by, the provisions of the Project Labor Agreement with the Hudson Valley Building and Construction Trades Council, AFLCIO and the signatory local unions. A copy of this Project Labor Agreement ("PLA") is included in the specifications as Section 007013.
 - e. To require any and all of its subcontractors of any tier on the Orange Ulster BOCES Additions and Alterations to Emanuel Axelrod Education Building Project to become signatory to, and to abide by, the PLA.
 - f. To commence the Work immediately upon receipt of Notice of Award.
4. The Undersigned agrees to the stated percentages for Changes in the Work in accordance with Invitation/Instructions to Bidders and Article 7 AIA 232-2019
5. The Undersigned agrees that the Work proposed herein will be Substantially Complete the dates indicated in specification Section 011000 - "Summary" and in the Project Milestone Schedule following Section 011000.

6. By submission of this Bid, each Bidder and each person signing on behalf of any Bidder certifies, and in the case of a joint Bid, each party thereto certifies as to its own organization, under penalty of perjury, that to the best of the party's knowledge and belief:
- a. the prices in this Bid have been arrived at independently without collusion, consultation, communication or agreement, for the purpose of restricting competition, as to any matter relating to such prices, with any other Bidder or with any competitor,
 - b. unless otherwise required by law, the prices that have been quoted in this Bid have not been knowingly disclosed by the Bidder, and will not knowingly be disclosed by the Bidder prior to opening, directly or indirectly, to any other Bidder or to any competitor; and
 - c. no attempt has been made or will be made by the Bidder to induce any other person, partnership or corporation to submit or not to submit a Bid for the purpose of restricting competition.

A Bid shall not be considered for award, nor shall any award be made where a., b., and c. above have not been complied with, provided however, that if in any case the Bidder cannot make the foregoing certification, the Bidder shall so state and shall furnish, with the Bid, a signed statement which sets forth in detail the reasons therefor. Where a., b., and c. above have not been complied with, the Bid shall not be considered for award, nor shall any award be made unless the head of the purchasing unit of the political subdivision, public department, agency or official thereof to which the Bid is made, or his designee, determines that such disclosure was not made for the purpose of restricting competition.

The fact that a Bidder (a) has published price lists, rates or tariffs covering items being procured, (b) has informed prospective customers of proposed or pending publication of new or revised price lists for such items, or (c) has sold the same items to other customers at the same prices being Bid, does not constitute, without more, a disclosure within the meaning of this Section.

7. The Undersigned understands that the Owner reserves the right to accept or reject any or all Bids and to waive any informalities in the bidding.
8. The Undersigned acknowledges the receipt of the following addenda, but agrees that it is bound by all addenda whether or not listed herein:

Addendum Number

Date of Addendum

9. BASE BID

All labor, material, services and equipment necessary for completion of the Work shown on the Drawings and the Technical Specifications for Contract No. 2 ABATEMENT WORK:

\$ _____ (in numbers)

_____ Dollars (in words)

10. ALLOWANCES

In accordance with the terms and conditions of the Contract and Proposal form, Section 012100 "Allowances", the Drawings and the specific technical section sections that are applicable, the undersigned agrees that the following allowances are included in the Total Base Bid quoted.

ALLOWANCE NO. 1- Include the sum of \$60,000.00 for re-insulation of existing piping
Contract No. 2 – Abatement Work

11. ALTERNATES

The Undersigned agrees to provide all work in accordance with the requirements of the Specifications and the Drawings, and Section 012300 "Alternates" and includes all costs of related coordination, modification, or adjustments for the following:

1. ADD ALTERNATE NO.1: EXTERIOR WINDOWS

ADD _____ Dollars (\$ _____)

2A. ADD ALTERNATE NO.2A: GROUND FLOOR CLASSROOMS PART A

ADD _____ Dollars (\$ _____)

2B. ADD ALTERNATE NO.2B: GROUND FLOOR CLASSROOMS PART B

ADD _____ Dollars (\$ _____)

(Name of Bidder)

2C. **ADD ALTERNATE NO.2C:** GROUND FLOOR CLASSROOMS PART C

ADD _____ Dollars (\$_____)

3. **ADD ALTERNATE NO.3:** RENOVATION OF EXISTING POOL AND ADJ. SPACES

ADD _____ Dollars (\$_____)

12. SCHEDULE OF UNIT PRICES

CONTRACT NO. 2 – ABATEMENT WORK

The Undersigned agrees to perform all work as drawn and specified for the following items at the unit prices given. See Section 012200 “Unit Prices” for further information.

Unit Price HAZ-1 – Mudded Joint Fittings	\$ _____/Each
Unit Price HAZ-2 – Pipe Insulation	\$ _____/Lin. Ft
Unit Price HAZ-3 – ACT Ceiling Tiles	\$ _____/Sq. Ft
Unit Price HAZ-4 – Floor Mastic	\$ _____/Sq. Ft

(BID FORM CONTINUES NEXT PAGE)

(Name of Bidder)

- 13.** The Undersigned has attached the following documents to this Bid:
- A. 004100 Non-Collusive Affidavit
 - B. 004200 Indemnification and Hold-Harmless Clause
 - C. 004300 Certificate of Compliance with the Iran Divestment Act
 - D. 004400 Sexual Harassment Written Policy and Training Certification
 - E. 004500 Bid Bond / Certified Check
 - F. 004600, 004601, 004602, 004603, 0046004 Statement of Bidder's Qualifications AIA Document A305 and Exhibits A, B, C, and D

Legal name of person, partnership, joint venture or corporation (please type)

(If Corporation,
affix corporate seal)

Address (please type)

Federal ID No. or Social Security No. (please type)

Phone No. (please type)

Name and title of signer (please type)

Signature

Date

If a Corporation
Name

Address

_____, PRESIDENT _____

_____, SECRETARY _____

_____, TREASURER _____

If a Partnership
Name

Address

(Name of Bidder)

If a Joint Venture
Name

Address

If an Individual
Name of Individual

Address

See Specifications Sections 004100, 004200, 004300, 004400, 004500, 004600, 004601, 004602, 004603, and 004604 for additional forms to be included with bid proposal.

****END OF BID FORM****

BID FORM

FOR

ORANGE ULSTER BOCES

ADDITIONS & ALTERATIONS TO EMANUEL AXELROD SPECIAL EDUCATION CENTER

CONTRACT NO. 3 – ROOFING WORK

Owner Information:

Orange Ulster BOCES

53 Gibson Road

Goshen, New York 10924

Attn: Mark Coleman, Assistant Superintendent for Finance & Management

Project Location:

Orange Ulster BOCES – Gibson Road Campus

Emanuel Axelrod Education Center

53 Gibson Road

Goshen, New York 10924

1. The Undersigned hereby declares that it has carefully examined all Bidding and Contract Documents and has inspected the actual location of Work, together with the local sources of supply, and has satisfied itself as to all quantities and conditions, and understands that in signing this Proposal, it waives all rights to plead any misunderstanding regarding the same.
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3. In submitting this Bid, the Undersigned agrees:
 - a. To hold the Bid open for forty-five (45) days after Bid Opening.
 - b. To accept the provisions of the Instructions to Bidders.
 - c. To enter into and execute a Contract and the PLA within ten (10) days of the Notice of Award issue date, and to simultaneously furnish Performance and Labor and Material Bonds.
 - d. To enter into, become signatory to, and to abide by, the provisions of the Project Labor Agreement with the Hudson Valley Building and Construction Trades Council, AFLCIO and the signatory local unions. A copy of this Project Labor Agreement ("PLA") is included in the specifications as Section 007013.
 - e. To require any and all of its subcontractors of any tier on the Orange Ulster BOCES Additions and Alterations to Emanuel Axelrod Education Building Project to become signatory to, and to abide by, the PLA.
 - f. To commence the Work immediately upon receipt of Notice of Award.
4. The Undersigned agrees to the stated percentages for Changes in the Work in accordance with Invitation/Instructions to Bidders and Article 7 AIA 232-2019
5. The Undersigned agrees that the Work proposed herein will be Substantially Complete the dates indicated in specification Section 011000 - "Summary" and in the Project Milestone Schedule following Section 011000.

6. By submission of this Bid, each Bidder and each person signing on behalf of any Bidder certifies, and in the case of a joint Bid, each party thereto certifies as to its own organization, under penalty of perjury, that to the best of the party's knowledge and belief:
- a. the prices in this Bid have been arrived at independently without collusion, consultation, communication or agreement, for the purpose of restricting competition, as to any matter relating to such prices, with any other Bidder or with any competitor,
 - b. unless otherwise required by law, the prices that have been quoted in this Bid have not been knowingly disclosed by the Bidder, and will not knowingly be disclosed by the Bidder prior to opening, directly or indirectly, to any other Bidder or to any competitor; and
 - c. no attempt has been made or will be made by the Bidder to induce any other person, partnership or corporation to submit or not to submit a Bid for the purpose of restricting competition.

A Bid shall not be considered for award, nor shall any award be made where a., b., and c. above have not been complied with, provided however, that if in any case the Bidder cannot make the foregoing certification, the Bidder shall so state and shall furnish, with the Bid, a signed statement which sets forth in detail the reasons therefor. Where a., b., and c. above have not been complied with, the Bid shall not be considered for award, nor shall any award be made unless the head of the purchasing unit of the political subdivision, public department, agency or official thereof to which the Bid is made, or his designee, determines that such disclosure was not made for the purpose of restricting competition.

The fact that a Bidder (a) has published price lists, rates or tariffs covering items being procured, (b) has informed prospective customers of proposed or pending publication of new or revised price lists for such items, or (c) has sold the same items to other customers at the same prices being Bid, does not constitute, without more, a disclosure within the meaning of this Section.

7. The Undersigned understands that the Owner reserves the right to accept or reject any or all Bids and to waive any informalities in the bidding.
8. The Undersigned acknowledges the receipt of the following addenda, but agrees that it is bound by all addenda whether or not listed herein:

<u>Addendum Number</u>	<u>Date of Addendum</u>

9. BASE BID

All labor, material, services and equipment necessary for completion of the Work shown on the Drawings and the Technical Specifications for Contract No. 3 ROOFING WORK:

\$ _____ (in numbers)

_____ Dollars (in words)

10. ALTERNATES

The Undersigned agrees to provide all work in accordance with the requirements of the Specifications and the Drawings, and Section 012300 "Alternates" and includes all costs of related coordination, modification, or adjustments for the following:

3. ADD ALTERNATE NO.3: RENOVATION OF EXISTING POOL AND ADJ. SPACES

ADD _____ Dollars (\$ _____)

11. SCHEDULE OF UNIT PRICES

CONTRACT NO. 3 – ROOFING WORK

The Undersigned agrees to perform all work as drawn and specified for the following items at the unit prices given. See Section 012200 "Unit Prices" for further information.

Unit Price ROOF-1 – Rigid Insulation	\$ _____ / Sq. Ft
Unit Price ROOF-2 – Tapered Insulation	\$ _____ / Sq. Ft

(BID FORM CONTINUES NEXT PAGE)

(Name of Bidder)

12. The Undersigned has attached the following documents to this Bid:
- A. 004100 Non-Collusive Affidavit
 - B. 004200 Indemnification and Hold-Harmless Clause
 - C. 004300 Certificate of Compliance with the Iran Divestment Act
 - D. 004400 Sexual Harassment Written Policy and Training Certification
 - E. 004500 Bid Bond / Certified Check
 - F. 004600, 004601, 004602, 004603, 0046004 Statement of Bidder's Qualifications AIA Document A305 and Exhibits A, B, C, and D

Legal name of person, partnership, joint venture or corporation (please type)

(If Corporation,
affix corporate seal)

Address (please type)

Federal ID No. or Social Security No. (please type)

Phone No. (please type)

Name and title of signer (please type)

Signature

Date

If a Corporation
Name

Address

_____, PRESIDENT _____

_____, SECRETARY _____

_____, TREASURER _____

If a Partnership
Name

Address

(Name of Bidder)

If a Joint Venture
Name

Address

If an Individual
Name of Individual

Address

See Specifications Sections 004100, 004200, 004300, 004400, 004500, 004600, 004601, 004602, 004603, and 004604 for additional forms to be included with bid proposal.

****END OF BID FORM****

SECTION 012200 - UNIT PRICES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.

1.2 DEFINITIONS

- A. Unit price is a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

1.3 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.
- E. Unit prices represent the cost, in place, unless otherwise specified, of the unit of measure or quantity for each item of material or labor, or both, or of equipment in each respective trade or classification listed herein. All unit prices include all cost of work to the Contractor, including all charges for materials, labor, plant, equipment, overhead, profit, additional insurance, taxes and all charges of whatever kind.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES – GENERAL CONSTRUCTION CONTRACT #1 ONLY

- A. Unit Price No. GC-1: Removal and Reinstallation of Existing ACT Ceilings
 - 1. Description: Removal and reinstallation of existing ACT ceilings for spaces adjacent to work areas, in addition to what is scheduled on the Contract

- Documents. Contractor shall assume existing ceilings at approximately 9-foot height.
- 2. Unit of Measurement: Per Square Foot
- 3. Base Bid includes amounts as indicated on Drawings
- B. Unit Price No. GC-2: New Chase Walls
 - 1. Description: Provide chase wall assembly including 3-5/8" metal stud framing, 1 layer 5/8" gypsum board installation at one side, and finishes (paint and base). Contractor shall assume finish ceilings at approximately 9-foot height, and 12-foot height to underside of decking.
 - 2. Unit of Measurement: Per Square Foot
 - 3. Base Bid includes amounts as indicated on Drawings
- C. Unit Price No. GC-3: Rock Removal
 - 1. Description: On-site rock removal including excavation, removal and disposal.
 - 2. Unit of Measurement: Per Cubic Yard
 - 3. Base Bid includes amounts as indicated on Drawings
- D. Unit Price No. GC-4: Unsuitable Soils
 - 1. Description: Contractor shall excavate, remove and dispose of unsuitable soils. Include the placement and compaction of suitable fill materials to replace over excavated materials back to required depths for installation of new work. No payment for excavation or backfill of suitable site soils used in installation of work shall be made on this pay item.
 - 2. Unit of Measurement: Per Cubic Yard
 - 3. Base Bid includes amounts as indicated on Drawings

3.2 SCHEDULE OF UNIT PRICES – ABATEMENT CONTRACT #2 ONLY

- A. Unit Price No. HAZ-1: Mudded Joint Fittings
 - 1. Description: Abatement and removal of mudded joint fittings (any size) while under previously erected containment, in addition to what is scheduled in the Contract Documents.
 - 2. Unit of Measurement: Per Each Fitting
 - 3. Base Bid includes amounts as indicated on Drawings
- B. Unit Price No. HAZ-2: Pipe Insulation
 - 1. Description: Abatement and removal of pipe insulation while under previously erected containment, in addition to what is scheduled in the Contract Documents.
 - 2. Unit of Measurement: Per Linear Foot
 - 3. Base Bid includes amounts as indicated on Drawings
- C. Unit Price No. HAZ-3: ACT Ceiling Tiles
 - 1. Description: Abatement and removal of ACT ceiling tiles while under previously erected containment, in addition to what is scheduled in the Contract Documents.
 - 2. Unit of Measurement: Per Square Foot
 - 3. Base Bid includes amounts as indicated on Drawings

- D. Unit Price No. HAZ-4: Floor Mastic
 - 1. Description: Abatement and removal of floor mastic while under previously erected containment, in addition to what is scheduled in the Contract Documents.
 - 2. Unit of Measurement: Per Square Foot
 - 3. Base Bid includes amounts as indicated on Drawings

3.3 SCHEDULE OF UNIT PRICES – ROOFING CONTRACT #3 ONLY

- A. Unit Price No. ROOF-1: Rigid Insulation
 - 1. Description: Provide 2inches rigid insulation at roofing, in addition to what is scheduled in the Contract Documents.
 - 2. Unit of Measurement: Per Square Foot
 - 3. Base Bid includes amounts as indicated on Drawings
- B. Unit Price No. ROOF-2: Tapered Insulation
 - 1. Description: Provide tapered rigid insulation at roofing, in addition to what is scheduled in the Contract Documents.
 - 2. Unit of Measurement: Per Square Foot
 - 3. Base Bid includes amounts as indicated on Drawings

3.4 SCHEDULE OF UNIT PRICES – PLUMBING CONTRACT #4 ONLY

- A. Unit Price No. PC-1: Piping Insulation
 - 1. Description: Provide piping insulation, in addition to what is scheduled in the Contract Documents.
 - 2. Unit of Measurement: Per Linear Foot: 1" or less; 1.25"-2"; 2.5"+ Greater
 - 3. Base Bid includes amounts as indicated on Drawings
- B. Unit Price No. PC-2: Ball Valve Shutoffs
 - 1. Description: Provide ball valve shutoffs, in addition to what is scheduled in the Contract Documents.
 - 2. Unit of Measurement: Per Each Valve: 1" or less; 1.25"-2"; 2.5"+ Greater
 - 3. Base Bid includes amounts as indicated on Drawings
- C. Unit Price No. PC-3: Roof Drain Body and Piping
 - 1. Description: Provide one roof drain body and 50feet of 4-inch storm piping, in addition to what is scheduled on the Contract Documents.
 - 2. Unit of Measurement: Per Each Occurrence
 - 3. Base Bid includes amounts as indicated on Drawings

3.5 SCHEDULE OF UNIT PRICES – MECHANICAL CONTRACT #5 ONLY

- A. Unit Price No. MC-1: Piping Insulation
 - 1. Description: Provide piping insulation, in addition to what is scheduled in the Contract Documents.
 - 2. Unit of Measurement: Per Linear Foot: 1" or less; 1.25"-2"; 2.5"+ Greater
 - 3. Base Bid includes amounts as indicated on Drawings

- B. Unit Price No. MC-2: Ball Valve Shutoffs
 - 1. Description: Provide ball valve shutoffs, in addition to what is scheduled in the Contract Documents.
 - 2. Unit of Measurement: Per Each Valve: 1" or less; 1.25"-2"; 2.5"+ Greater
 - 3. Base Bid includes amounts as indicated on Drawings

3.6 SCHEDULE OF UNIT PRICES – ELECTRICAL CONTRACT #6 ONLY

- A. No Unit Prices for Electrical Contract No. 6

END OF SECTION 012200 UNIT PRICES

SECTION 012300 - ALTERNATES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.2 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.3 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

A. **Add Alternate No. 1: EXTERIOR WINDOWS**

1. Description of Alternate: Remove existing windows and interior sills, and prep for new window installation. Provide and install new window/storefront assembly and associated flashings, trim, and new solid surface sills at interior. Abatement work required at windows in Original 1969 wing per abatement specifications.
2. Base Bid Work: Existing windows and sills to remain. Provide new window treatments at all renovated spaces.
Abatement contractor shall refer to Architectural Drawings for windows/storefronts that are included in base bid verses Add-Alternate No.1.
3. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 2 – Abatement Work

B. **Add Alternate No. 2A: RENOVATIONS TO EXISTING GROUND FLOOR CLASSROOMS/OFFICES – AREA A**

1. Description of Alternate: Demolition of existing classrooms including removals of finishes, fixtures, abatement, plumbing, mechanical and electrical equipment as noted on the drawings. Renovation work including new finishes (flooring, paint, ceilings), window treatments, casework/millwork, mechanical and electrical work and all associated work as noted on the drawings.
2. Alternate Area A = Classrooms 129, 131, 133, 137, 139, 141 and Offices 135, 135A, 135B, 143 and 143A; along with adjacent areas as required for the new work.
3. Base Bid Work: Existing conditions to remain.
4. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 2 – Abatement Work
 - c. Contract No. 5 – Mechanical Work
 - d. Contract No. 6 – Electrical Work

C. **Add Alternate No. 2B: RENOVATIONS TO EXISTING GROUND FLOOR CLASSROOMS/RESOURCE ROOMS – AREA B**

1. Description of Alternate: Demolition of existing classrooms including removals of finishes, fixtures, abatement, plumbing, mechanical and electrical equipment as noted on the drawings. Renovation work including new finishes (flooring, paint, ceilings), window treatments, casework/millwork, mechanical and electrical work and all associated work as noted on the drawings.
2. Alternate Area B = Classrooms 111, 113, 123, 125 and Converting existing Classroom 115 to Resource Rooms 118 and 120; along with adjacent areas as required for the new work.

3. Base Bid Work: Existing conditions to remain.
4. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 2 – Abatement Work
 - c. Contract No. 5 – Mechanical Work
 - d. Contract No. 6 – Electrical Work

D. Add Alternate No. 2C: RENOVATIONS TO EXISTING GROUND FLOOR CLASSROOMS – AREA C

1. Description of Alternate: Demolition of existing classrooms including removals of finishes, fixtures, abatement, plumbing, mechanical and electrical equipment as noted on the drawings. Renovation work including new finishes (flooring, paint, ceilings), window treatments, casework/millwork, mechanical and electrical work and all associated work as noted on the drawings.
2. Alternate Area C = Classrooms 103, 105, 107; along with adjacent areas as required for the new work.
3. Base Bid Work: Existing conditions to remain.
4. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 2 – Abatement Work
 - c. Contract No. 5 – Mechanical Work
 - d. Contract No. 6 – Electrical Work

E. Add Alternate No. 3: RENOVATIONS TO EXISTING POOL AND ADJACENT TOILET ROOM SPACES

1. Description of Alternate: Gut Demolition of existing pool and adjacent Toilet Room Spaces including removals of finishes, fixtures, pool equipment and accessories, abatement, plumbing, mechanical and electrical equipment as noted on the drawings. Renovation work including infill of pool for new concrete floor slab, new finishes (flooring, paint, ceilings), modifications to toilet rooms to create storage spaces, plumbing, mechanical and electrical work and all associated work as noted on the drawings.
Note: Room labeled Life Skills 250 is the existing pool. The existing pool shall be renovated to become Life Skills 250 as part of this add alternate.
Note: Rooms labeled Storage 248 and Storage 249 are existing toilet rooms. The existing Toilet Rooms shall be renovated to become Storage Rooms 248 and 249 as part of this add alternate.
2. Base Bid Work: Existing conditions to remain.
3. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 2 – Abatement Work
 - c. Contract No. 3 – Roofing Work
 - d. Contract No. 4 – Plumbing Work
 - e. Contract No. 5 – Mechanical Work
 - f. Contract No. 6 – Electrical Work

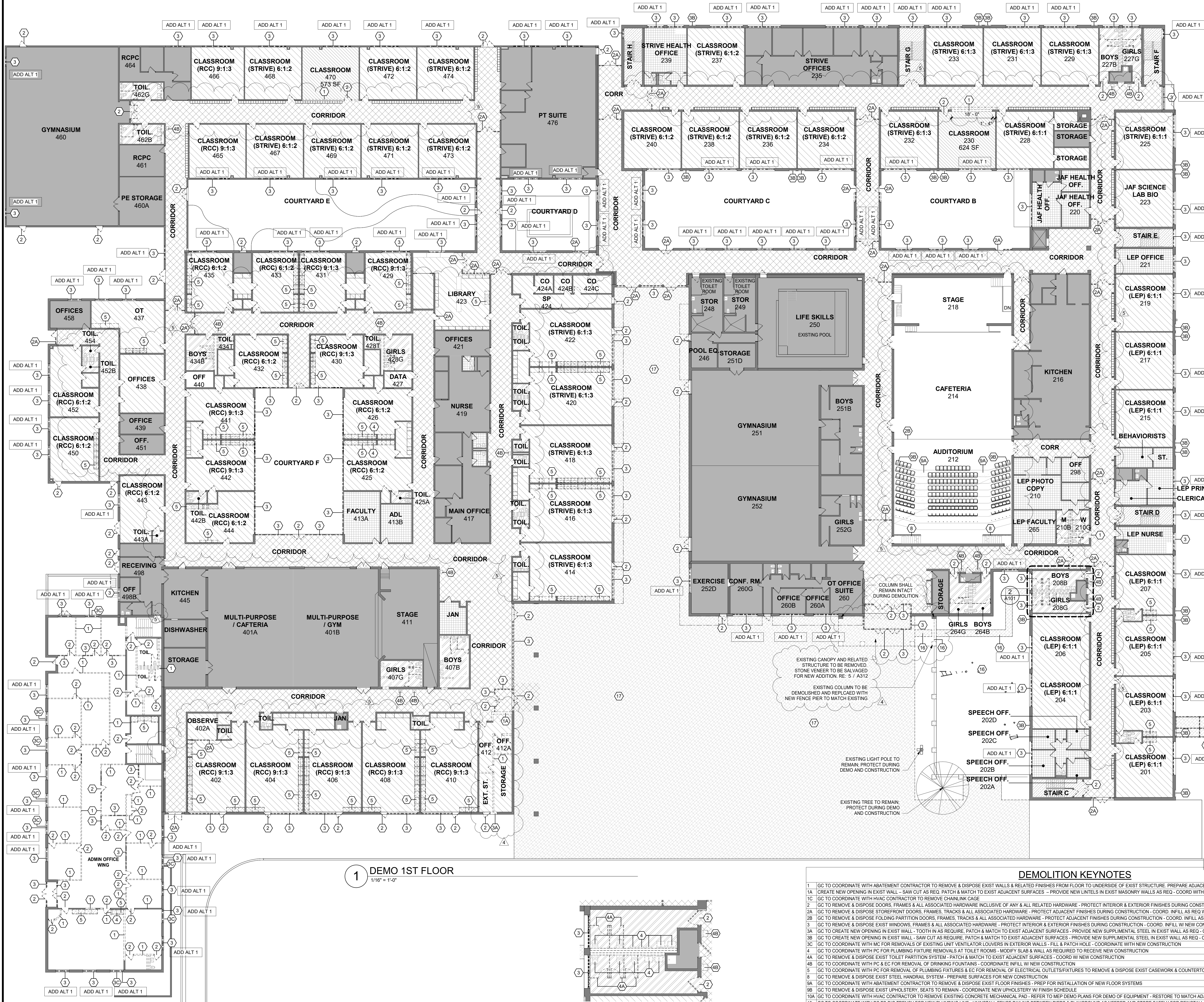
F. Add Alternate No. 4: EXTERIOR PLAZA RENOVATIONS

1. Description of Alternate: In lieu of new concrete paving/sidewalk at courtyard/plaza around New Addition, Contractor to provide triangular pavers, landscape elements, plantings, benches, planters, greenwall and additional lighting as noted on the drawings.
2. Base Bid Work: Removals at existing plaza as noted including concrete pavement, curbs, planters, drainage, utilities, and equipment as noted on drawings. Provide new concrete paving/sidewalks, curbs, fences, pads, flag pole, plantings, grading, drainage and utilities as noted on drawings.
3. Contracts Involved in this Alternate:
 - a. Contract No. 1 – General Construction Work
 - b. Contract No. 6 – Electrical Work

G. Add Alternate No. 5: MECHANICAL EQUIPMENT

1. Description of Alternate: In lieu of owner furnished mechanical equipment, the Mechanical Contractor (Contract #5) shall provide and install mechanical equipment, and perform all testing, start up, adjusting, field quality control, training and demonstration.
Equipment includes Packaged Indoor and Outdoor Fixed Plate Energy Recovery Units, Packaged Small Capacity and Large Capacity Rooftop Air Conditioning Units, Split System Air Conditioners, Variable Refrigerant Flow HVAC Systems, Hydronic Air Coils, Fan Coil Units and Unit Ventilators.
See further descriptions included in Bid Addendum #5.
2. Base Bid Work: Owner furnished equipment for installation by Mechanical Contractor.
3. Contracts Involved in this Alternate:
 - a. Contract No. 5 – Mechanical Work

END OF SECTION 012300 ALTERNATES



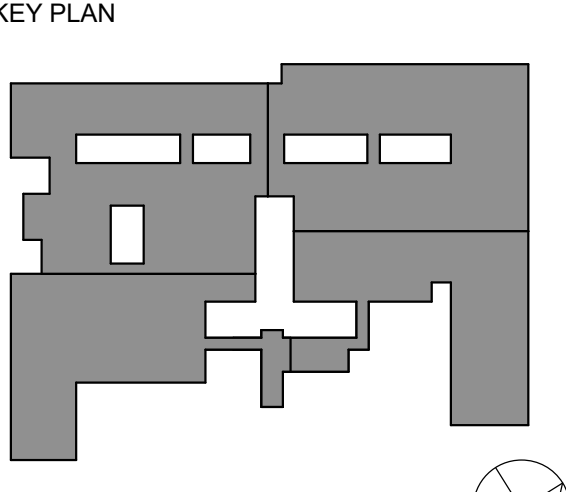
- ### DEMOLITION NOTES
- PRIOR TO ANY DEMOLITION, CONTRACTORS ARE REQUIRED TO BE FAMILIAR WITH EXISTING CONDITIONS. SHORING MAY BE NEEDED INCLUDING INSTALLATION OF UNITS PRIOR TO THE REMOVAL OF ANY BUILDING ELEMENT.
 - COORDINATE ALL DEMOLITION WITH M.E.P. REMOVALS. NOTE: ALL WIRING, DEVICES & M.E.P. SYSTEMS NOT BEING REMOVED AS PART OF THE WORK, WHICH RUN THROUGH THE WORK AREA, SHALL BE TESTED, LABELED & PROTECTED FROM DISTURBANCE SO THEY REMAIN OPERATIONAL THROUGHOUT THE PROJECT.
- ### LEGEND
- DEMOTES AREA OF NO MAJOR ARCHITECTURAL WORK, SPECIFIC WORK MAY BE SHOWN ELSEWHERE INCLUDING WORK THAT MAY REQUIRE ACCESS, PATCHING & RESTORATION. REFER TO STRUCTURAL & M.E.P. DWGS.
 - DEMOTES EXISTING WALL TO REMAIN
 - DEMOTES EXISTING CONSTRUCTION TO BE DEMOLISHED (U.N.O.)
 - DEMOTES EXISTING SURFACES TO BE DEMOLISHED (U.N.O.)
 - MOST EXISTING INTERIOR WALLS ARE OF MASONRY CONSTRUCTION W/ CEMENT PLASTER & LATH.
 - MOST EXISTING EXTERIOR WALLS ARE BRICK W/ BLOCK BACKUP & SOME HAVE INNER WYTHE OF BLOCK W/ CEMENT PLASTER & LATH.
 - DEMOTES AREAS WITH CEILING / HVAC WORK
 - GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.
 - DEMOTES GENERAL CLASSROOM AREAS IN SCOPE OF WORK
 - GC TO COORDINATE WITH ABATEMENT CONTRACTOR FOR REMOVAL OF FLOOR FINISHES. PREP FOR NEW FLOORS.
 - GC TO PREP WALLS FOR NEW PAINT.
 - GC TO COORD WITH PC & EC FOR REMOVAL OF PLUMBING AND ELECTRICAL. REMOVE CASEWORK/MILLWORK. PREP FOR NEW MILLWORK.
 - GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.
 - DEMOTES NEW COLLAB CLASSROOM AREAS IN SCOPE OF WORK
 - GC TO COORDINATE WITH OTHER CONTRACTORS FOR REMOVAL OF CORRIDOR WALLS. PROTECT ADJACENT CORRIDOR FLOORS DURING CONSTRUCTION & PATCH AS NEEDED.
 - GC TO REMOVE LOCKERS AT REMOVED WALLS AND SAFELY STORE FOR OWNER.
 - CONTRACTOR FOR REMOVAL OF FLOOR FINISHES. PREP FOR NEW FLOORS.
 - GC TO PREP WALLS FOR NEW PAINT.
 - GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.
 - DEMOTES CORRIDOR AREAS IN SCOPE OF WORK
 - GC TO PREP WALLS FOR NEW PAINT.
 - GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.
 - DEMOTES TOILET ROOM AREAS IN SCOPE OF WORK
 - GC TO COORDINATE WITH OTHER CONTRACTORS FOR REMOVAL OF PLUMBING WALLS. PROTECT ADJACENT WALLS DURING CONSTRUCTION & PATCH AS NEEDED.
 - GC TO COORDINATE WITH ABATEMENT CONTRACTOR FOR REMOVAL OF FLOOR FINISHES. PREP FOR NEW FLOORS.
 - GC TO COORDINATE WITH ABATEMENT AND PLUMBING CONTRACTORS FOR REMOVAL OF ALL PLUMBING FIXTURES INCLUDING TOILETS, URINALS, LAVATORIES, ETC. PATCH AND FILL SLAB AND WALL IN PREPARATION FOR NEW CONSTRUCTION.
 - GC TO REMOVE ALL TOILET ROOM ACCESSORIES INCLUDING MIRRORS, SOAP DISPENSERS, TOILET PAPER HOLDERS, TRASH RECEPTACLES, ETC. PREP WALLS FOR NEW FINISHES & ACCESSORIES.
 - GC TO PREP WALLS FOR NEW PAINT & TILE.
 - GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.
 - DEMOTES STAIR AREAS IN SCOPE OF WORK
 - GC TO REMOVE EXISTING STAIR RAILINGS & GUARDRAILS. PREP WALLS & STRINGERS FOR NEW RAILINGS.
 - GC TO REMOVE EXISTING STAIR TREAD & RISER FINISH. PREP STAIR TREADS FOR NEW FINISHES.
 - GC TO COORD WITH ABATEMENT CONTRACTOR & EC TO REMOVE ALL CEILINGS INCLUDING LIGHT FIXTURES, SECURITY & FIRE ALARM DEVICES, ETC. COORD WITH NEW RCP LAYOUTS.

ORANGE-ULSTER BOCES
**AXELROD - MAIN
BUILDING
ADDITIONS +
ALTERATIONS**
53 GIBSON ROAD
GOSHEN, NY 10924

KG+D listen
imagine
build
KG+D . ARCHITECTS PC
385 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
44-90-00-00-0-009-036

BID ISSUE



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Professional Seal

**OVERALL 1ST
FLOOR DEMO
PLAN**

Job No. 2023-1013 Date 10/25/2024
Scale AS NOTED Drawn / Checked Author Checker
Sheet Number

A101

DEMOLITION KEYNOTES

- GC TO COORDINATE WITH ABATEMENT CONTRACTOR TO REMOVE & DISPOSE EXIST WALLS & RELATED FINISHES FROM FLOOR TO UNDERSIDE OF EXIST STRUCTURE. PREPARE ADJACENT SURFACES FOR NEW CONSTRUCTION - TYP
- 1A CREATE NEW OPENING IN EXIST WALL - SAW CUT AS REQ. PATCH & MATCH TO EXIST ADJACENT SURFACES - PROVIDE NEW UNITS IN EXIST MASONRY WALLS AS REQ. - COORD WITH STRUCTURAL, MEP & NEW CONSTRUCTION
- 1C GC TO COORDINATE WITH HVAC CONTRACTOR TO REMOVE CHANLINK CAGE
- 2 GC TO REMOVE & DISPOSE DOORS, FRAMES & ALL ASSOCIATED HARDWARE - INCLUSIVE OF ANY & ALL RELATED HARDWARE - PROTECT INTERIOR & EXTERIOR FINISHES DURING CONSTRUCTION - COORD. INFILL AS REQ W/ NEW CONSTRUCTION
- 3 GC TO REMOVE & DISPOSE STOREFRONT DOORS, FRAMES, TRACKS & ALL ASSOCIATED HARDWARE - PROTECT ADJACENT FINISHES DURING CONSTRUCTION - COORD. INFILL AS REQ W/ NEW CONSTRUCTION
- 3B GC TO REMOVE & DISPOSE FOLDING PARTITION DOORS, FRAMES, TRACKS & ALL ASSOCIATED HARDWARE - PROTECT ADJACENT FINISHES DURING CONSTRUCTION - COORD. INFILL AS REQ W/ NEW CONSTRUCTION
- 3C GC TO REMOVE & DISPOSE EXIST WINDOWS, FRAMES & ALL ASSOCIATED HARDWARE - PROTECT INTERIOR & EXTERIOR FINISHES DURING CONSTRUCTION - COORD. INFILL W/ NEW CONSTRUCTION
- 3D GC TO CREATE NEW OPENING IN EXIST WALL - TOOTH IN AS REQUIRE. PATCH & MATCH TO EXIST ADJACENT SURFACES - PROVIDE NEW SUPPLEMENTAL STEEL IN EXIST WALL AS REQ. - COORDINATE WITH STRUCTURAL, MEP & NEW CONSTRUCTION.
- 3E GC TO CREATE NEW OPENING IN EXIST WALL - SAW CUT AS REQUIRE. PATCH & MATCH TO EXIST ADJACENT SURFACES - PROVIDE NEW SUPPLEMENTAL STEEL IN EXIST WALL AS REQ. - COORDINATE WITH STRUCTURAL, MEP & NEW CONSTRUCTION.
- 3F GC TO COORDINATE WITH MC FOR REMOVALS OF EXISTING UNIT VENTILATOR LOUVERS IN EXTERIOR WALLS - FILL & PATCH HOLE - COORDINATE WITH NEW CONSTRUCTION
- 4 GC TO COORDINATE WITH PC FOR PLUMBING FIXTURE REMOVALS AT TOILET ROOMS - MODIFY SLAB & WALL AS REQUIRED TO RECEIVE NEW CONSTRUCTION
- 4A GC TO REMOVE & DISPOSE EXIST TOILET PARTITION SYSTEM - PATCH & MATCH TO EXIST ADJACENT SURFACES - COORD W/ NEW CONSTRUCTION
- 4B GC TO COORDINATE WITH PC & EC FOR REMOVAL OF DRINKING FOUNTAINS - COORDINATE INFILL W/ NEW CONSTRUCTION
- 5 GC TO COORDINATE WITH PC FOR REMOVAL OF PLUMBING FIXTURES & EC FOR REMOVAL OF ELECTRICAL OUTLETS/FIXTURES TO REMOVE & DISPOSE EXIST CASEWORK & COUNTERTOPS/BUILT-INS - PREPARE SURFACES FOR NEW CONSTRUCTION
- 6 GC TO REMOVE & DISPOSE EXIST STEEL HANDRAIL SYSTEM - PREPARE SURFACES FOR NEW CONSTRUCTION
- 6A GC TO COORDINATE WITH ABATEMENT CONTRACTOR TO REMOVE & DISPOSE EXIST FLOOR FINISHES - PREP FOR INSTALLATION OF NEW FLOOR SYSTEMS
- 6B GC TO REMOVE & DISPOSE EXIST UPHOLSTERY, SEATS TO REMAIN - COORDINATE NEW UPHOLSTERY W/ FINISH SCHEDULE
- 10A GC TO COORDINATE WITH HVAC CONTRACTOR TO REMOVE EXISTING CONCRETE MECHANICAL PAD - REFER TO MEP DEMO PLANS FOR DEMO OF EQUIPMENT - RESTORE TO MATCH ADJACENT SURFACE
- 16 GC TO COORDINATE WITH PC TO DIG TRENCH FOR NEW PLUMBING LINE - UNINSTALL FENCE RAILING BETWEEN PIER & PLAYGROUND AS NEEDED AND STORE SAFELY FOR REINSTALLATION LATER - REINSTALL TO MATCH EXISTING CONDITION - PROTECT SURROUNDING AREA DURING CONSTRUCTION
- 17 SEE CIVIL DEMO PLAN FOR REMOVALS AT PLAZA COURTYARD. GC SHALL ALLOW FOR UP TO 2'-0" DEPTH OF CONCRETE REMOVAL THROUGHOUT ENTIRE AREA OF DEMOLITION AS REQUIRED FOR NEW WORK.

2 TYPICAL MULTI-USER TOILET ROOM DEMO
PLAN
1/8" = 1'-0"

LEGEND:

- EXP - EXPANSION JOINT (SEE DETS. 5,6 & 9,10/A250)
CHIMNEY (SEE DET. 11&12/A250)
CONTROL JOINT (SEE DET. 35/A252)
NEW ROOF DRAIN AT NEW LOCATION (SEE DET. 36/A252)
ROOF DRAIN (SEE DET. 36/A252)
VENT PIPE (SEE DET. 37/A253)
ROOSENECK (SEE DET. 38/A253)
ROOF HATCH (SEE DET. 39/A253)
SEALANT POCKET @ STEEL COLUMN (SEE DET. 40/A253)
PIPE PORTAL CURB @ PIPE PENETRATION (SEE DET. 41/A253)
HVAC CURB (SEE DET. 42/A253)
ROOF LADDER (SEE DET. 43/A253)
SCUPPER (SEE DET. 44/A253)
SCUPPER & LEADER HEAD (SEE DET. 45/A253)
SKYLIGHT (SEE DET. 46/A253)
SMOKE HATCH & SKYLIGHT (SEE DET. 46/A253)
GUARD RAIL (SEE DET. 47/A253)
ROOF STAIR (SEE DET. 48/A253)
DUCT WATERPROOFING (SEE DET. 49/A254)
DUCT PENETRATION (SEE DET. 50/A254)
DOOR (SEE DET. 51/A254)
AC UNIT (SEE NOTE 6)
ELECTRICAL CONDUIT (SEE NOTE 7)
GAS PIPE (SEE NOTE 7)
BREATHING VENT (REMOVE)
PIPE VENT (TO REMAIN)
SIGNAGE (SEE NOTE 7)
ELECTRICAL BOX/ALARM ON FASICA (SEE NOTE 7)
CAMERA (SEE NOTE 7)
SITE LIGHT (SEE NOTE 7)
ANTENNA (SEE NOTE 15)
DECK SLOPE
TAPERED ISOCYANURATE INSULATION, SLOPE 1/8" PER FT
CRICKET - SLOPE 1/4" PER FT
INSULATION HIGH POINT
NEW DRAIN LINE (SEE NOTE 14)
WALKWAY PADS

GENERAL NOTES:

1. THIS DRAWING SHOWS WORK ON THE EXISTING ROOFS; SEPARATE DRAWINGS SHOW WORK ON THE NEW ADDITION ROOFS.
2. THE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.
3. DIMENSIONS AND CONDITIONS ON THE ROOF PLANS AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.
4. ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
5. TEST THE EXISTING DRAIN LINES WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. PROVIDE A WRITTEN REPORT OF ANY CLOGGED LINES TO THE OWNER.
- A. CLOGGED DRAIN LINES REPORTED TO THE OWNER BEFORE WORK STARTS WILL BE CLEANED BY THE OWNER.
B. COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.
C. PERFORM WHATEVER WORK IS REQUIRED SO ALL DRAIN LINES ARE CLEAN AND FREE FLOWING UPON COMPLETION OF THE PROJECT.
6. REMOVE AND RESET EXISTING SMALL AC CONDENSERS ON 2 X 2 FOOT X 2 INCH THICK CONCRETE PAVERS SET ON WALKWAY PADS. FASTEN THE CONDENSERS TO THE PAVERS WITH STAINLESS STEEL NAIL-INS. DISCONNECT, ADJUST, MODIFY, AND RECONNECT THE EXISTING SUPPLY & RETURN LINES AND CONDUITS.
7. REMOVE AND RESET SITE LIGHT FIXTURES, WIRES, CONDUITS, ELECTRICAL BOXES, SECURITY CAMERAS AND GAS LINES THAT INTERFERE WITH THE WORK; REPLACE COMPONENTS THAT CANNOT BE PROPERLY REINSTALLED.
8. REMOVE EXISTING ROOF TOP ELECTRICAL CONDUIT AND GAS PIPE SUPPORTS. RE-SET THE CONDUIT AND PIPES ON ADJUSTABLE HEIGHT FACTORY MANUFACTURED PIPE SUPPORTS PLACED ON WALKWAY PADS SPACED 5 FEET ON CENTER. SECURE THE CONDUITS AND PIPES TO THE PIPE SUPPORTS WITH GALVANIZED CLIPS & BOLTS. PROVIDE ADDITIONAL SUPPORTS AS NEEDED.
9. WIRE BRUSH, PRIME & PAINT ALL ROOF TOP EQUIPMENT HOUSINGS, EXTERIOR & INTERIOR ACCESS LADDERS, BULKHEAD DOORS & DOOR FRAMES (BOTH SIDES), GAS LINES, AND THE VENT PIPES. DO NOT PAINT OVER EQUIPMENT NAME PLATES AND LABELS.
10. REPAIR EXHAUST EQUIPMENT HOUSINGS SO THEY ARE WATERTIGHT; REPLACE ANY MISSING PIECES.
11. REMOVE, MODIFY AND REMOUNT THE EXISTING LADDERS - REWORK THEM SO THEY ARE OSHA COMPLIANT. SCRAPE, PRIME AND PAINT THE LADDERS. FILL OLD FASTENER HOLES WITH COLOR MATCHING MORTAR.
12. RE-CAULK VERTICAL MASONRY CONTROL AND EXPANSION JOINTS IN THE CHANGE IN ELEVATION WALLS ABOVE LOWER LEVEL ROOFS. REMOVE EXISTING SEALANT AND BACK UP MATERIALS, AND INSTALL NEW BACKER ROD AND SEALANT.
13. RE-CAULK JOINTS BETWEEN THE WALL LOUVERS AND MASONRY FACADE. REMOVE EXISTING SEALANT AND BACK UP MATERIALS, AND INSTALL NEW BACKER ROD AND SEALANT.
14. INSULATE NEW DRAIN LINES, AND THE UNDERSIDES OF THE NEW DRAIN BOWLS.
15. REMOVE ABANDONED ANTENNAS FROM THE ROOF AND FASCIAE, REMOUNT ACTIVE ANTENNAS.

ORANGE-ULSTER BOCES
AXELROD - MAIN
BUILDING
ADDITIONS +
ALTERATIONS
53 GIBSON ROAD
GOSHEN, NY 10924

KG+D listen imagine build
KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK 10549
P-914 666 5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO:
44-90-00-00-0-009-036

BID ISSUE

SITE PLAN

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Professional Seal

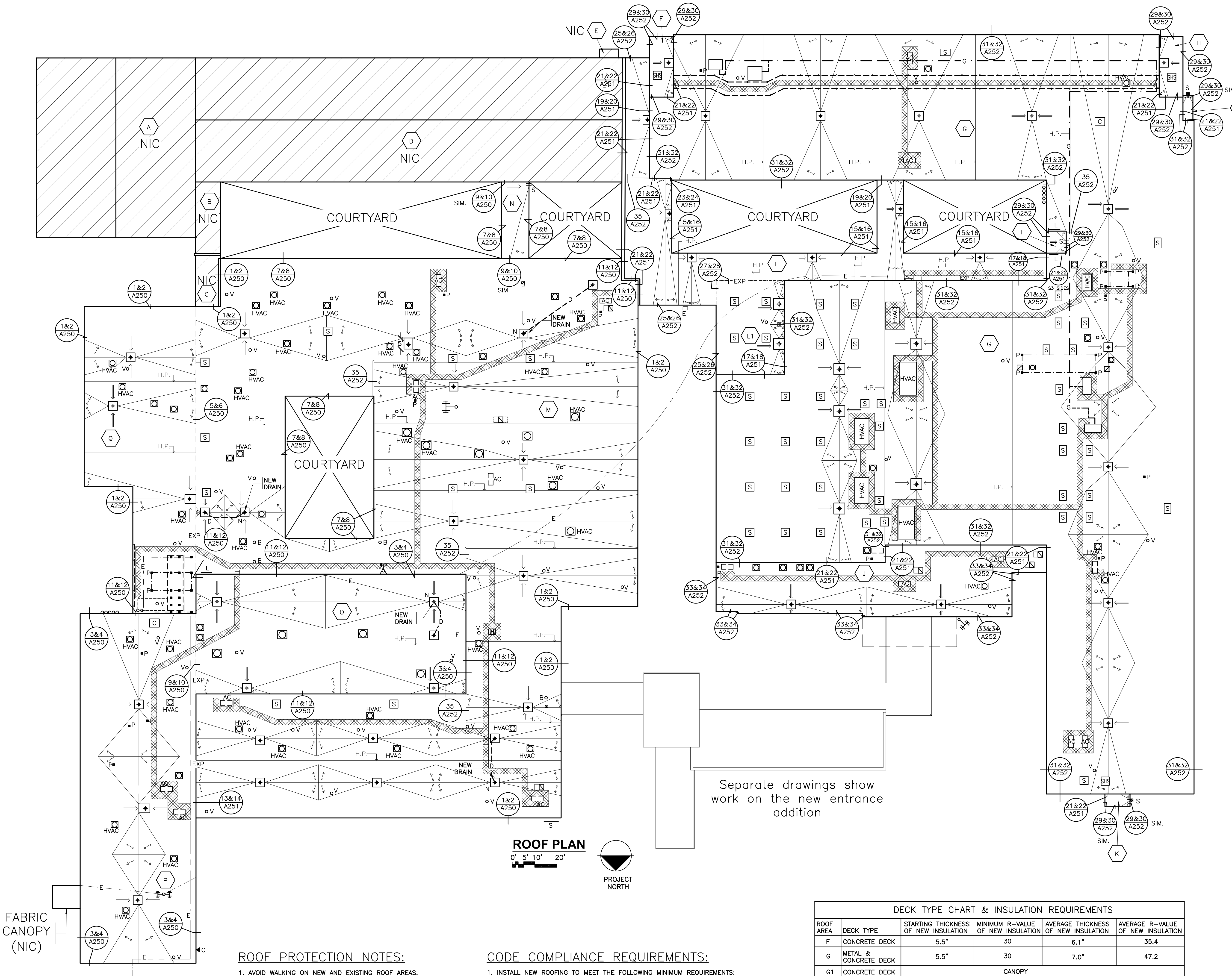
2 12/12/24 BID ADDENDUM #6
1 10/25/2024 BID ISSUE
No. Date Issue

Sheet Title

ROOF PLAN

Job No. Date 11/23/2023
Scale AS NOTED Drawn / Checked Author Checker
Sheet Number

A203



ROOF PROTECTION NOTES:

1. AVOID WALKING ON NEW AND EXISTING ROOF AREAS.
- A. NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, WHICH INCLUDES BY REFERENCE THE NEW YORK STATE ENERGY CONSERVATION CODE.
3. INSTALL 1 INCH THICK EXTRUDED POLYSTYRENE INSULATION OVER 6 MIL FIRE RETARDANT POLYETHYLENE, COVERED WITH 2x10 WOOD PLANKS TO PROTECT ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.
4. NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2 INCH OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.
5. DO NOT COVER THE ROOF DRAINS. MAINTAIN THE ROOF DRAIN STRAINERS VISIBLE AND CLEAR AT ALL TIMES.

CODE COMPLIANCE REQUIREMENTS:

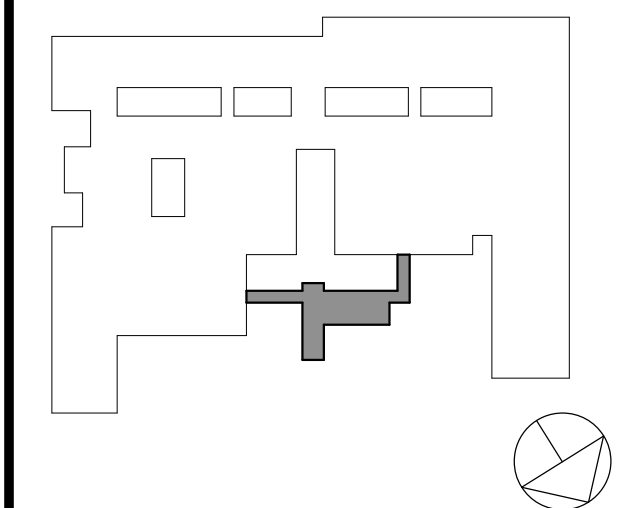
1. INSTALL NEW ROOFING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:
- A. NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, WHICH INCLUDES BY REFERENCE THE NEW YORK STATE ENERGY CONSERVATION CODE.
- B. UNDERWRITERS LABORATORIES INC. CLASS A EXTERNAL FIRE RATING FOR ROOF ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E 108 OR UL 790.
- C. UNDERWRITERS LABORATORIES INC. STANDARD 1256 FOR ROOF ASSEMBLIES WITH FOAM INSULATION.
2. INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, BASED ON THIS CRITERIA:
- RISK CATEGORY III
BASIC WIND SPEED 120 MPH
EXPOSURE CATEGORY B
BUILDING HEIGHT 30 FT.
3. INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS, CALCULATED IN ACCORDANCE WITH ASCE 7 USING A SAFETY FACTOR OF 2:
- FIELD ZONE: 90 PSF
PERIMETER ZONE: 135 PSF
CORNER ZONE: 180 PSF
4. FABRICATE AND INSTALL ROOF PERIMETER FLASHINGS THAT COMPLY WITH THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND WITH ANSI/SPRI ES-1 "WIND STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS", ON A BUILDING USING THE CRITERIA DESCRIBED ABOVE.
5. FABRICATE AND INSTALL WOOD BLOCKING COMPONENTS TO RESIST A FORCE OF 275 POUNDS PER LINEAL FOOT APPLIED IN ANY DIRECTION.

DECK TYPE CHART & INSULATION REQUIREMENTS

ROOF AREA	DECK TYPE	STARTING THICKNESS OF NEW INSULATION	MINIMUM R-VALUE OF NEW INSULATION	AVERAGE THICKNESS OF NEW INSULATION	AVERAGE R-VALUE OF NEW INSULATION
F	CONCRETE DECK	5.5"	30	6.1"	35.4
G	METAL & CONCRETE DECK	5.5"	30	7.0"	47.2
G1	CONCRETE DECK			CANOPY	
H	CONCRETE DECK	5.5"	30	6.1"	35.4
I	CONCRETE DECK	5.5"	30	6.0"	34.8
J	CONCRETE DECK	5.5"	30	6.5"	37.9
K	CONCRETE DECK			CANOPY	
L	CONCRETE DECK	5.5"	30	6.9"	38.5
L1	CONCRETE DECK	5.5"	30	6.4"	37.3
M	CONCRETE DECK	5.5"	30	6.4"	37.3
N	CONCRETE DECK	5.5"	30	6.3"	36.6
O	CONCRETE DECK	5.5"	30	6.3"	36.6
P	CONCRETE DECK	5.5"	30	7.1"	41.6
Q	CONCRETE DECK	5.5"	30	6.9"	40.4

NOTES:

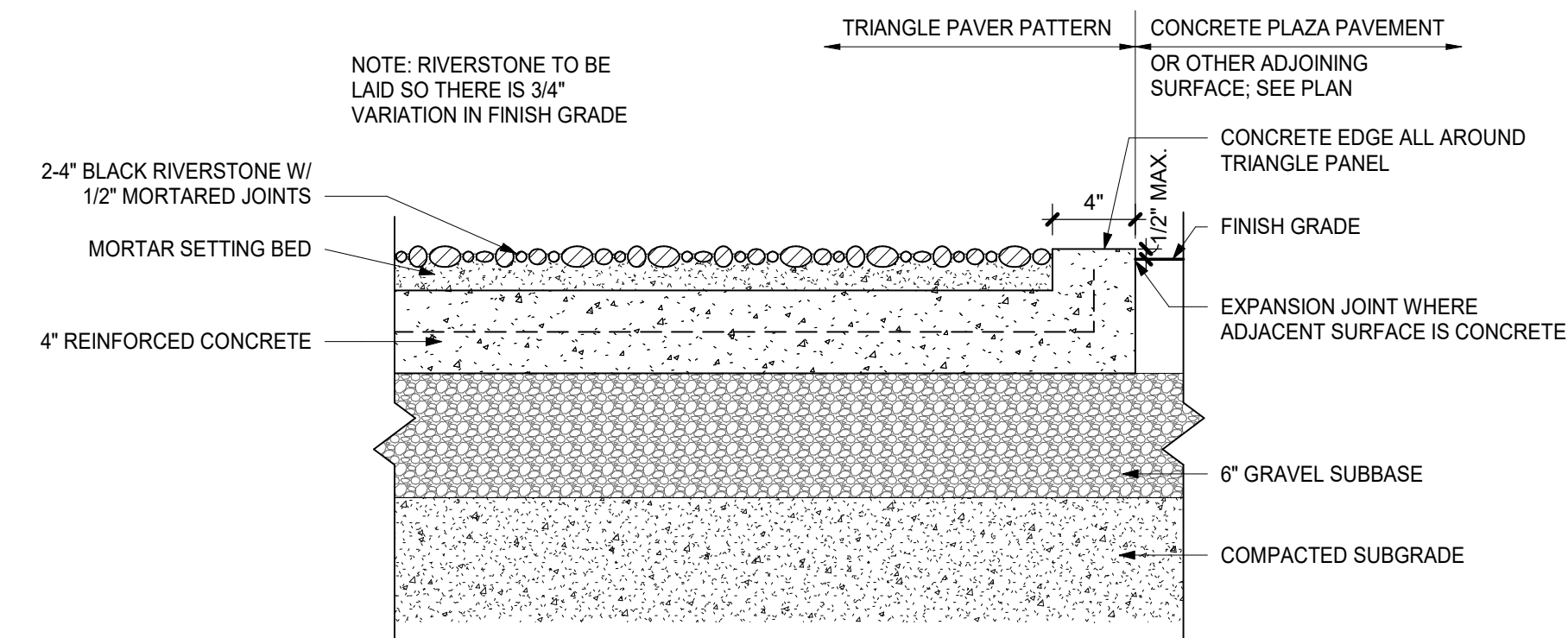
1. INSTALL CONTINUOUS INSULATION WITH A MINIMUM R-VALUE OF 30 ABOVE THE DECK, TO MEET THE NY STATE ENERGY CONSERVATION CODE, INCLUDING THE INTERNATIONAL ENERGY CONSERVATION CODE AND THE NY STATE SUPPLEMENT, FOR A BUILDING IN CLIMATE ZONE 5.
2. INSTALL TAPERED ISOCYANURATE INSULATION THAT SLOPES 1/8 INCH PER FOOT; MINIMUM STARTING THICKNESS 5-1/2 INCHES UNLESS OTHERWISE NOTED. INSTALL THE ISOCYANURATE INSULATION IN MULTIPLE LAYERS, WITH THE THICKEST LAYER BEING 4 INCHES. STAGGER ALL JOINTS BETWEEN LAYERS 12 INCHES.
3. INSTALL ISOCYANURATE INSULATION CRICKETS OVER THE TAPERED INSULATION.
4. INSTALL A COVER BOARD USING LOW RISE FOAM ADHESIVE OVER THE INSULATION AND CRICKETS.
5. INSTALL SLOPING CRICKETS ON THE UP-HILL SIDE OF ALL CURBS THAT ARE 30 INCHES AND WIDER.



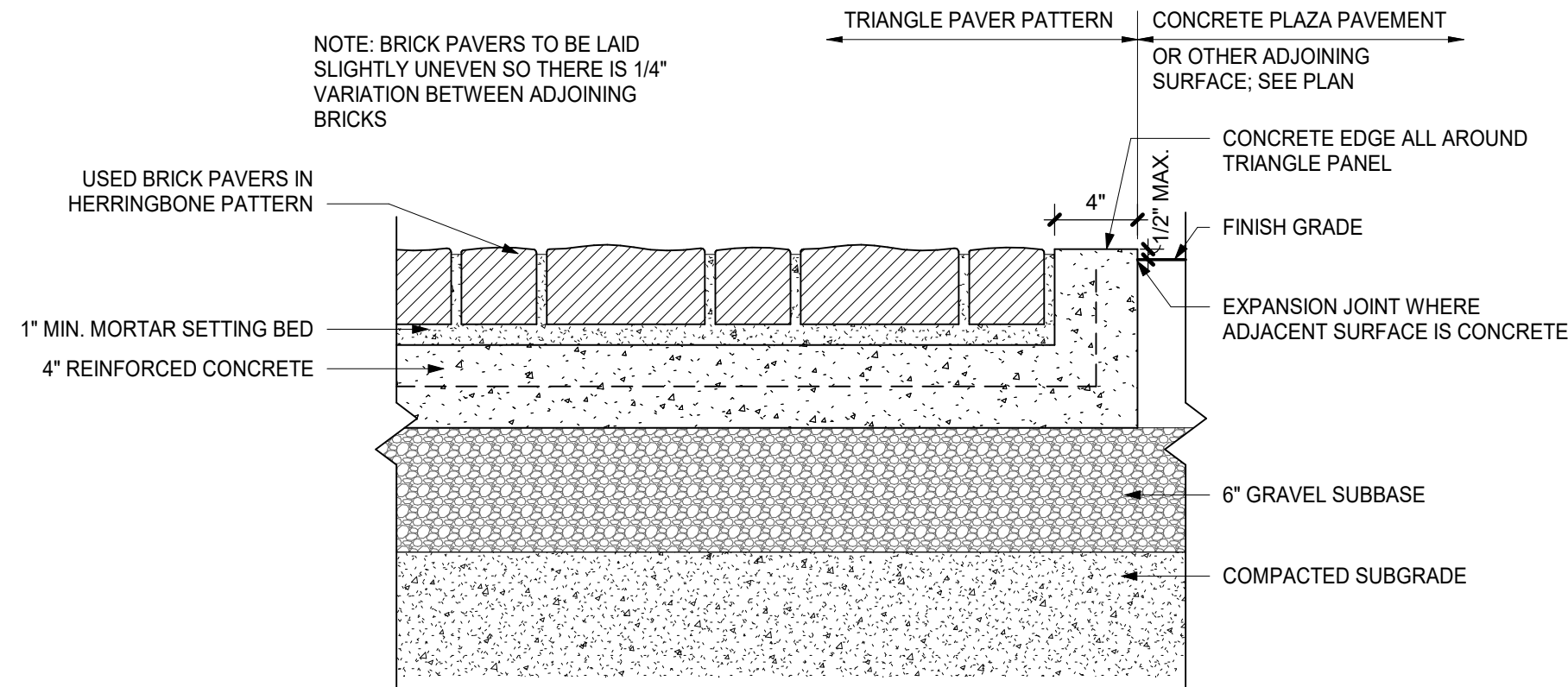
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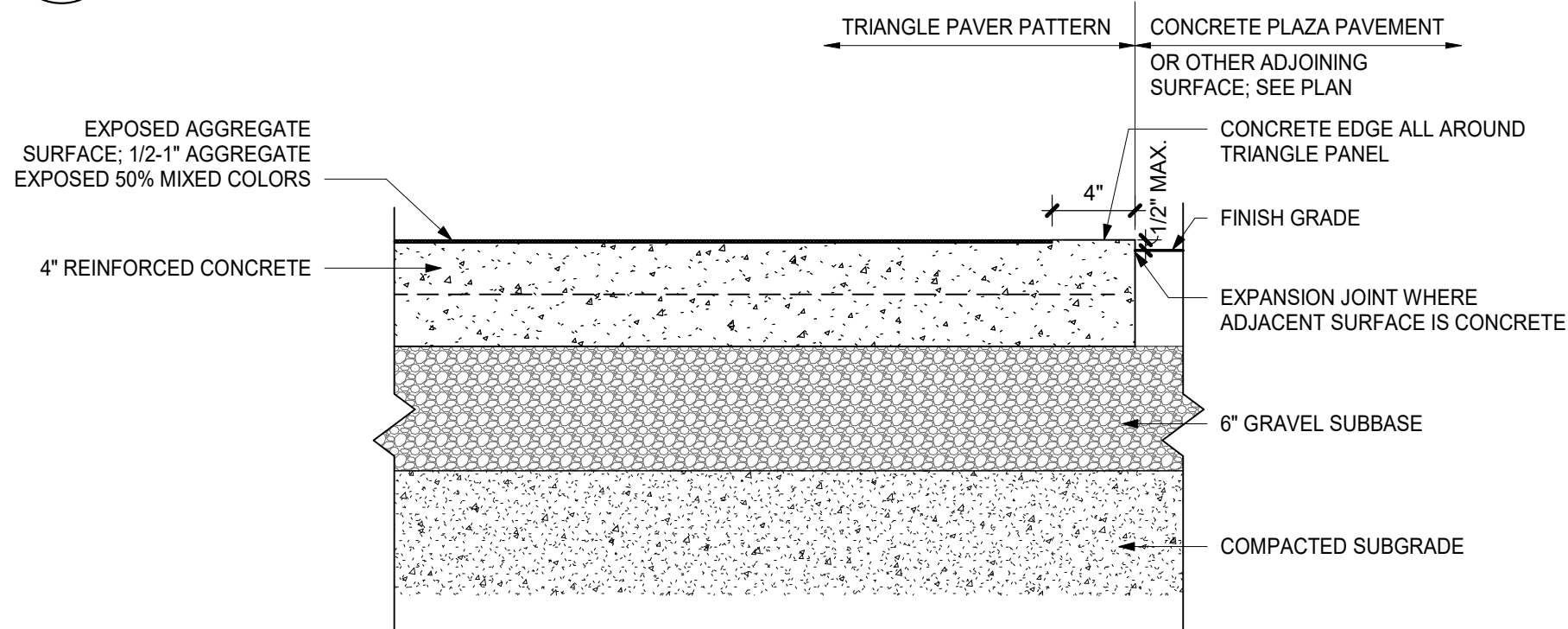
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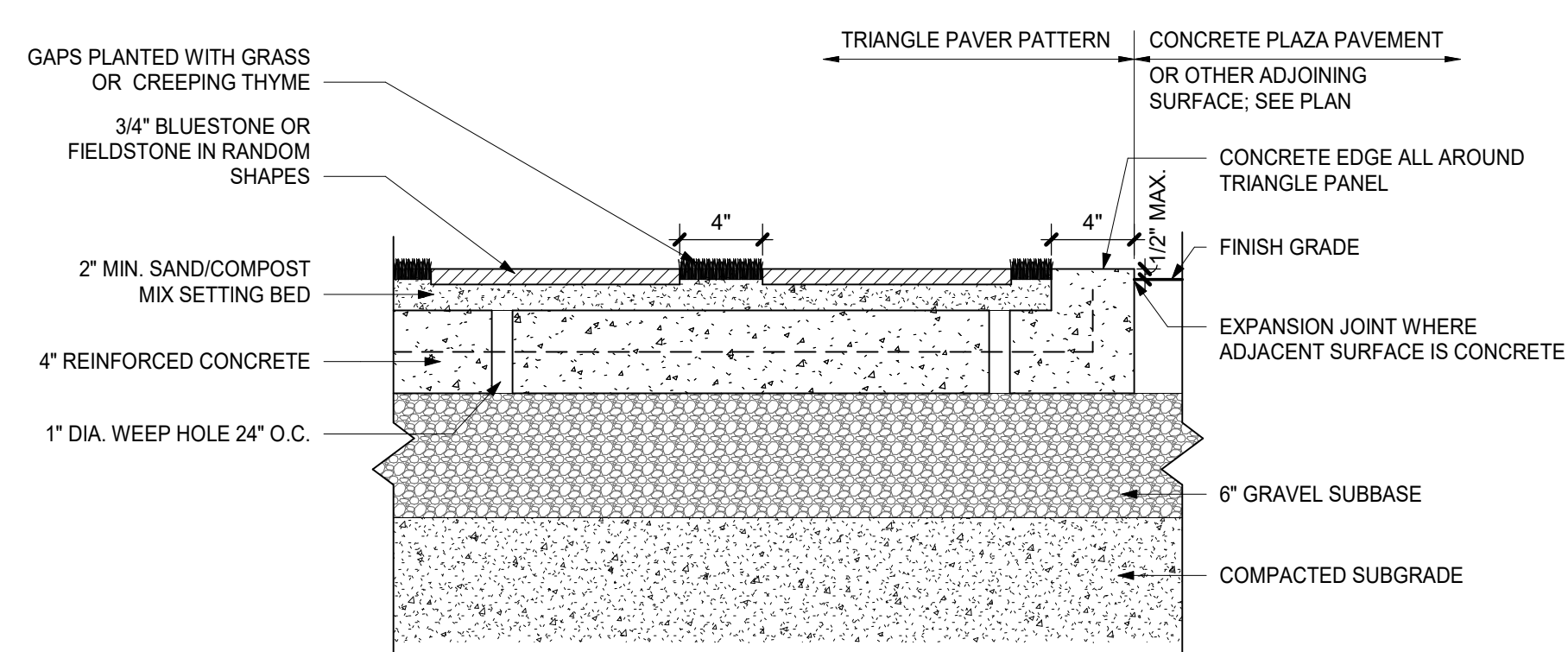
5 TEXTURED PAVEMENT PANEL - RIVERSTONE
1 1/2" = 1'-0"



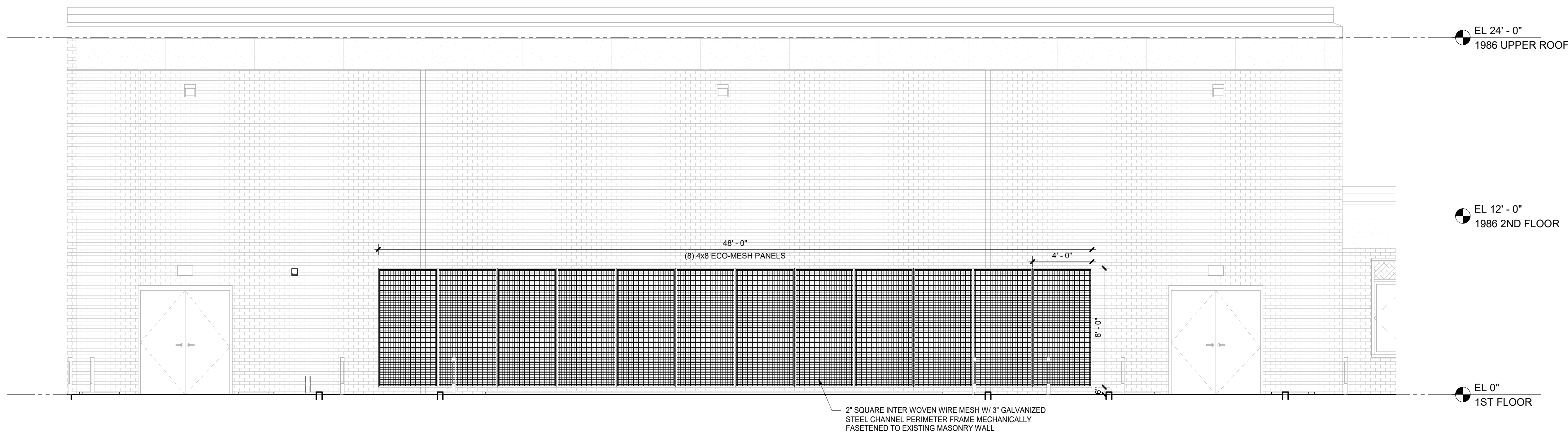
4 TEXTURED PAVEMENT PANEL - BRICK OR
BELGIAN BLOCK
1 1/2" = 1'-0"



3 TEXTURED PAVEMENT PANEL - EXPOSED
AGGREGATE
1 1/2" = 1'-0"



2 TEXTURED PAVEMENT PANEL - BLUESTONE
OR FIELDSTONE
1 1/2" = 1'-0"



1 GREEN WALL ELEVATION
1/4" = 1'-0"