



SENDLEWSKI ARCHITECTS, PC
ARCHITECTS – PLANNERS

ADDENDUM NO. 1
ISSUED 08-15-22

FIREHOUSE FACILITY PROJECTS
TAPPAN FIRE DISTRICT
PROJECT No. 2108.01A, 2108.01B, 2108.02

This addendum is hereby made part of the Contract Documents dated July 20, 2022 to the extent as though it was originally included therein. All costs reflected by this addendum shall be included in the contract price.

PROJECT ADMINISTRATION ITEMS
(Applies to all bidders/trades):

1. The bid due date remains as **Monday August 22, 2022 @ 7:00 pm**. All bids shall be delivered by the responsible contractor as outlined in the Project Manual ‘Notice to Bidders’.
2. All bidders shall use the attached bid form (Attachment E) to submit bids in lieu of the bid form included in project manual. All bidders shall also include revised unit pricing based on the unit price list that is included with the new Attachment ‘E’ bid form stated above. Acknowledgment of this Addendum on the bid form is required.
3. All prime contractors will be required to provide the Owner with a list of their subcontractors, as well as a copy of all subcontractor’s insurance.
4. Refer to **Attachment “A”** for corrected scale designations to all drawings.
5. All trades shall have only one superintendent that will supervise all three projects.
6. Liquidated damages will apply to all contracts in the amount of five hundred dollars per day (\$500.00/day) for each calendar day the project remains incomplete beyond the contract period and approved extensions. The start of the contract period date will be the date of the notice to proceed to be issued by the owner.
7. Contractors shall have full access and control over the Washington Street site with the exception of the west pedestrian access to the park. Security fence and silt fence shall be around entire site work limits.
8. Contractors shall have full access and control over the Western Highway site from the rear of the existing building if the annex alternate is accepted. Contractors shall coordinate and limit operations as required for the two existing substation front bays and parking to remain in use by the fire department at all times. Security fence and silt fence shall be around the designated work limits.
9. Owner to provide remediation report for previous Washington St. tank removal
10. Any soils deemed hazardous, contaminated or unsuitable shall not be included in base bid and shall be removed and clean fill provided via change order in accordance with unit prices.

NEW WASHINGTON ST. FIREHOUSE – Project Base Bid 2108.01A:

Washington Street General tems (Applies to all bidders):

1. On project location map Drawing 0-0, Washington Lane cross street revised to Main Street.

Washington Street General Construction:

1. Add 5'-0" wide operable gate next to generator on East property line 16'-0" from south corner for service/access.
2. Fencing shall include the front access gate from the north east corner of the building to the property line, then southward to the south east corner of the property, then west to along the south property line to a point even with the south/west corner of the building.
3. Provide W8 x 10 steel cross beams for three (3) VF-1 ceiling fans in bay area similar to the one currently shown for the center bay.. Additional fans to be located at two side bays (similar to middle bay).
4. Door hardware at door 1-02 to be Schlage DE575 Ply 626 ELA keypad lever with Plymouth trim, elan lever and auto lock.
5. Access control door strike for door 1-09 to be for controlled access from delivery room to hallway.
6. Provide additional blocking for horn post connection at diagonal wall at south/east corner of upper attic (near 2" conduits) for air horn connection.
7. Omit recessed floor mats at vestibules.
8. Apron slab and joints and details to be per **Attachment "B"-1**.
9. Add alternate for apron insulation for ice melt system shall be per **Attachment "B"-2**.
10. Waterproofing for elevator pit to include:
 - Water stop in footing continuous 6" vertical rubber dumbbell Warco model DBO with DBUE corners.
 - Foundation waterproofing to be applied to exterior of pit walls Menards Water barrier BG700 with D-41 primer.
 - Under slab to have WR Meadows Perminator 15 mil vapor battier turn up full height on face of footing/slab.
11. All building insulation to be as follows:
 - Roof insulation = R-38 foil faced.
 - Wall insulation = R-19 foil faced.
12. Bottom of roof trusses at second floor shall have 5/8" gyp board with 1 coat tape & spackle throughout.
13. HP-2 to be bracket mounted on parapet wall at flat roof. Provide and coordinate blocking with mechanical contractor.
14. Move north attic access door to roof 6'-0" east. Add interior and exterior steps & platforms at both attic doors per **Attachment "C"**.

15. Provide auxiliary end switches in overhead doors for CO venting detector to be tied into overhead door and fan controllers to open doors and activate fans when activated. Coordinate with mechanical contractor.
16. There are (2) types of ceiling tile indicated on A9.1, however we haven't found any indication to where gets what type.
17. Ceiling grids shall be heavy duty 15/16" fire guard grid., white.
18. Areas where 3" ArmorWall Sheathing Board is indicated shall be 2 3/4" thickness.
19. All plywood sheathing and roof sheathing shall be 3/4" fire treated.
20. Include gutter leaf guards for SAF 6" 'Colonial' perimeter gutter system specified in project. Shall include the SAF Aluminum Leaf Guard option, typical. 0.040" aluminum guard with 3/16" holes at 1/4" staggered centers, attached with SAF clips at 30" on-center (per SAF spec). Finish to be painted by manufacturer to match gutter system.
21. Provide shoring as required to protect existing culvert pipe at S/E corner where building is closest to culvert.
22. Roof Insulation for the roof shall be poly iso vs eps insulation.
23. Include 100 LF. Roof walk pads to be located per layout reviewed in field.
24. See **Attachment "F"** marked up drawings with structural comments as follows:
 - **A-3.1** – cross-brace framing indicated on North & West elevations.
 - **A-3.2** – cross-brace framing indicated on South elevation.
 - **A-6.1** – Changes made to Wall Section 'A'.
 - **A-6.2** – Changes made to Wall Section 'B'.
 - **S-1.1** – Changes made to Foundation Plan, Pile Cap Details, and Grade Beam Schedule.
 - **S-1.2** – Changes made to Detail 'E'.
 - **S-2** – Changes made to Second Floor Framing Plan, and Lintel Schedule added.
 - **S-4** – Changes made to Column Schedule.

Washington Street Mechanical:

1. Address for title box is revised as 135 in lieu of 123 Washington Street.
2. Provide three (3) VF-1 ceiling fans in bay area. Additional fans to be located at two side bays (similar to middle bay).
3. Provide hanging isolators for all unit heaters.
4. Vent east unit heaters 1 & 4 in bays with side wall vents through east wall with sleeve. West rear unit heater 3 to vent up through attic to sloped shingle roof similar to UH 5. UH 2 to vent up through attic with side wall vent through parapet wall.
5. Extend ducts leading to EF-1 & 2 and locate fans through side parapet wall from above second floor plenum.
6. HP-2 to be bracket mounted on parapet wall at flat roof. Coordinate blocking with GC.
7. Omit BAS system in its entirety. Controls to be as local control at each room.
8. Omit air purifier AP-1 in gear area.
9. Provide HRV ventilation system at gear area in bays, see **Attachment "D"**.
10. ERV system and unit to be bid as add alternate. Submit supplemental bid page **Attachment "E"** to bid.

11. CO venting detector to be tied into overhead door controllers and ceiling fans with auxiliary relays and contact to open doors and activate fans when activated. Coordinate with GC.
12. Omit motorized intake louver at south bay wall (gear area) and exhaust fan EF-5 including all controls.
13. Direct capture vehicle exhaust system is being provided by owner vendor and is not in contract. Coordinate bay ceiling fan locations with owner vendor for clearance.
14. Provide venting from ice melt unit off apparatus bay up through second floor through roof.

Washington Street Plumbing:

1. Address for title box is revised as 135 in lieu of 123 Washington Street.
2. Building is located 5'-0" from the south property line and 12'-0" from the east property line per site plan drawings.
3. Generator is located on side of building approximately 15'-0" from south property line per site plan drawings.
4. Scale of site plan is 3/16" = 1'-0". Plans are rotated 180 deg. (North down).
5. Clean out at sanitary line in front of building to be located in planting bead area.
6. Omit pot fill and associated piping to stove.
7. Move hose reel in bay to 16'-0" from north corner of east wall.
8. As per the storm riser diagram, provide two roof drains plus two secondary drains and locate as per the architectural roof plan.
9. Air hose reels shall be Hannay hose reel model# E1516-17-18 with electric rewind.
10. Provide water hammer arrestors at all bathroom branches. Provide model as scheduled on plans.
11. Allowance indicated within the plumbing drawing to be removed. Only include allowance indicated in project manual scope of work.
12. Revise gear wash trough to be a floor sink. Provide 'Jay R Smith model# 3250-C-12' with half grate option.
13. All piping shall be fully insulated per specification by plumbing contractor.
14. Yellow polyethylene tubing is acceptable for underground piping to generator.
15. Install underground conduit pipe from gas service location at street to new header location for O&R use to install gas service line. Coordinate with O&R prior to installation.
16. Provide condensate piping shown for FC-7 and FC-8 run to funnel drain in delivery closet. All condensate piping to be copper.
17. Water reel on P-7 to be located on east wall 15'-0" from front wall.
18. Existing water service is being re-used as temp during construction. Then re-connected for new permanent service.

Washington Street Electrical:

1. Address for title box is revised as 135 in lieu of 123 Washington Street.
2. Building is located 5'-0" from the south property line and 12'-0" from the east property line per site plan drawings.

3. Generator in located on side of building approximately 15'-0" from south property line per site plan drawings.
4. All site lighting is by building mounted lighting. All site lighting poles, fixtures and associated conduit, wiring & controls are omitted. Existing site lighting to be demolished and removed as part of this bid.
5. Provide emergency phone box at front door tied into 911 emergency line type Viking # 1600-IP-EWP wire into IT room for interface with phone service.
6. Provide (2) 2" conduit from diagonal parapet wall at south/east corner of upper attic to IT room. See location on drawing A-2.2. Install owner provided horn with 2" galvanized mast supplied by owner including power and control wire.
7. Scale of site plan is 3/16" = 1'-0". Plans are rotated 180 deg. (north down).
8. Access control door strike for door 1-09 to be for controlled access from delivery room to hallway.
9. Provide power circuit for three (3) VF-1 ceiling fans in bay area. Additional fans and circuits to be located at two side bays (similar to middle bay).
10. Lantern style fixtures between overhead doors and front entry (six total) to be included in base bid as \$1,000.00 each (\$6,000.00 total).
11. Relocate TV and data outlets at south wall of ready room 110, verify location per owner.
12. Outlets at work bench area to be 42" AFF.
13. Provide power strip wiring and outlet in each gear grid locker run in wireway provided as part of lockers, tie into junction box typical.
14. Add camera location in soffit above delivery door room 105 including cat 6 home run to IT room.
15. Provide and install hand dryers in bathrooms (total of 4) Xlerator model XL-BW-110. Include 120v/15a circuit breakers with 2#10+#10grd wire for all.
16. Provide HVLS ventilation fan shutdown for apparatus bay fans to fire alarm control panel.
17. Provide power for attic fan and thermostat control. Include a 120v/15-amp circuit with 2#12+#12grd wire.
18. Clarification, kitchen hood shall be circuited as per panel schedule. Provide 120v/15a circuit. 2#12+#12grd wire.
19. For ice melt system provide two (2) 120v/10a circuit. 2#12+#12grd wire.
20. Provide computer outlet next to red alert system.
21. Provide a 208v/40a 1ph breaker in panel MDP with 3#6+#8grd wire for air compressor shown on plan
22. Provide cat-7 wiring for all locations. Lighting controls only shall be cat-5.
23. provide power for four air hose reels as part of electric reel circuits pp2-42,44,46, 48 as per panel schedules. See plumbing plan for reels.
24. As per fire alarm riser diagram, provide fire alarm monitoring modules for generator.
25. Provide power to It room heat pump. Fan coil is powered from heat pump. Circuit designation and breaker to remain the same.
26. All exterior lighting shall include a timeclock for additional control. Tork model EWZ201C 2 channel.
27. CO venting detector to be tied into overhead door controllers and bay fans to open doors and activate fans when activated.

28. Coordinate fire alarm detectors in bay to shut down ceiling fans with mechanical contractor.
29. EMT is acceptable for all conduit and drops.
30. Ruse 10 existing LED lighting from substation at bathrooms, first floor delivery and second floor file room.

EXISTING SUBSTATION ALTERATIONS - Project Base Bid 2108.01B:

Existing Substation Alterations General tems (Applies to all bidders):

1. Refer to **Attachment “SP-1”** for Western highway site plan drawings which are included as part of this base bid. Site plan drawings have also been uploaded into the bid documents Dropbox folder as **“2108.02_New Annex Facility Site”**.
2. North & south elevation designations are reversed on drawing A-3.1.
3. Trenching and 95% compaction backfill for all trade utilities to be by respective trade contractor.
4. Contractor shall complete work including all demo in one phase. Owner will limit operations to front 2/3 of existing bay area.
5. This base bid for the substation shall include all utilities and site improvements including extending utilities to the rear of the property for the annex facility. Said utilities shall service the new annex. If the new annex alternate is not accepted, they shall be run and capped for future connection as including:
 - Electric conduits for upgrade of service at north driveway and complete electric upgrade including new panels and service as indicated in annex drawings (electric bid).
 - Run new electric conduit from existing panel location and add two (2) spare 2” conduits from substation electric service closet to annex location. (electric bid).
 - Conduit from front property line to gas meter location for O&R gas service upgrade (plumbing bid).
 - Extend and cap 1” water service from existing building utility room 105 to annex location with shut off in utility room 105 (plumbing bid).
 - Extend gas line for substation header to annex (plumbing bid).

Existing Substation Alterations General Construction:

1. Install 24” x 12” cast iron wheel bumpers each side of overhead doors (see note 9 drawing A-3.1 for Washington Street for spec.
2. Base bid shall include patching with 6” RCA and 4” binder asphalt base course at all utility installations (see plumbing and electric site plans). Existing paved areas to be milled and new 2” top coat NYS 1A asphalt to be installed over entire parking lot.
3. Replace trench drain at rear door with “Trench Drain Supply” Model R-4986-DG.
4. All slab demolition including demo for plumbing roughing shall be included in the general construction contract. Coordinate with plumbing contractor.
5. Base bid includes removal and replacement of overhead door operators on rear doors, front door operators to remain. Operators shall be per overhead door specification.

6. Provide auxiliary end switches in overhead doors for CO venting detector to be tied into overhead door and fan controllers to open doors and activate fans when activated. Coordinate with mechanical contractor.

Existing Substation Alterations Mechanical:

1. Provide hanging isolators for all unit heaters.
2. Vent unit heaters in bays with side wall vents through south wall with sleeve. Coordinate wall penetrations with general contractor.
3. Provide two (2) VF-1 ceiling fans in bay area located at center of bay from side to side between second and fourth long span roof deck locations. Match fan type in Washington Street bid.
4. Relocate heat pumps hp-1 & 2 from roof to wall bracket on north wall brick area below EIFS band.
5. Omit EF-2 and related gooseneck and grill and fresh air duct including gooseneck in north west corner of bay near engineers room.
6. Omit EF-1 and related gooseneck. Provide in line fan model _Greenheck SQ-60-VG. with through 12"x12" wall exhaust louver.
7. Omit air purifier AP-1 in gear area.
8. Provide HRV ventilation system at gear area in bays per Attachment "D".
9. CO venting detector to be tied into overhead door and fan controllers to open doors when activated. Coordinate with electric and general contractors.

Existing Substation Plumbing:

1. Demolition of all slabs including as required for plumbing piping shall be by general contractor.
2. Omit new water service and hot box from Green Road.
3. Provide four roof drains and two secondary drains similar to system riser and specification included with Washington Street riser diagram drawing. See architectural roof plan for placement.
4. Water heater concentric intake and exhaust by plumber to be through wall type at north wall. Coordinate with GC.
5. Allowance indicated within the plumbing drawing to be removed. Provide allowance per scope of work in project manual only.
6. Revise gear wash trough to be a floor sink. Provide 'Jay R smith model# 3250-C-12' with half grate option.
7. All piping shall be fully insulated per specification by plumbing contractor.
8. Insulate cold water lines for two water hose reels as indicated on plan P-3.
9. Provide below slab roughing and cap for future toilet and sink to be provided in storage room along north wall.
10. Air compressor to be located in utility room.

Existing Substation Alterations Electrical:

1. Provide power strip wiring and outlet in each gear grid locker run in wireway provided as part of lockers, tie into junction box typical.
2. Provide one electric hand dryer to be installed in the bathroom Xlerator model XL-BW-110. Include 120v/15a circuit breakers with #10+grd wire for all.
3. Provide wiring and circuits for two (2) VF-1 ceiling fans in bay area located at center of bay from side to side between second and fourth long span roof deck locations. Match fan type in Washington Street bid.
4. Provide cat-7 wiring for all. Lighting controls only shall be cat-5.
5. Provide connection of hose and air reels. For a total connection of 7 locations. See drawings P-3 & 4 for locations.
6. All exterior lighting shall include a timeclock for additional control. Tork model EWZ201C 2 channel.
7. Provide computer outlet next to red alert system.
8. Provide three monitoring modules for the existing backup generator to the new fire alarm control panel.
9. Include card reader at ready room door control as per riser diagram.
10. Add two (2) additional outlets at ready room. Field verify location with owner.
11. Existing outlets between overhead doors shall remain.
12. Add four (4) duplex outlets at south apparatus bay wall. Verify location in field.
13. The new MDP shall include a 125a 3ph breaker for the pavilion panel PP1.
14. Save and reuse 12 existing LED lighting as follows:
 - (1) at substation utility room 105.
 - (1) at substation storage 107.
 - (10) at Washington Street bathrooms, first floor delivery and second floor file room.

ANNEX @ WESTERN HIGHWAY – Add Alternate Bid 2108-02:

Add Alternate Annex General items applies to all bidders:

Ts base bid for the substation includes all utilities and site improvements including extending utilities to the rear of the property for this annex facility and are not included in this add alternate bid:

- Electric conduits for upgrade of service at north driveway and complete electric upgrade including new panels and service as indicated in annex drawings (electric bid).
- Run new electric conduit from existing panel location and add two (2) spare 2” conduits from substation electric service closet to annex location. (electric bid).
- Conduit from front property line to gas meter location for O&R gas service upgrade (plumbing bid).
- Extend and cap 1” water service from existing building utility room 105 to annex location with shut off in utility room 105 (plumbing bid).
- Extend gas line for substation header to annex (plumbing bid).

Add Alternate Annex General Construction:

1. Drawing A-8 (Structural dwg.) was missing for Annex set initially issued has been inserted 8/1/22 & notification emailed to all plan holders.
2. Omit all wall cabinets in kitchen.
3. All base/wall cabinets shall be 'Regency – Space Solutions' Stainless Steel model with sliding doors, sized as per A-6.2 drawing.
4. Overhead door to be manually operated only. Omit overhead door motor and controls.
5. Storage room 202 to have quarry tile floor and base to match kitchen.
6. Attic floor slab to remain unfinished. Omit VCT.
7. Include an area floor drain for the LULA lift location, it shall be connected to the storm water system. See site plan for storm system location.
8. Existing shed, concrete pad & retaining wall at rear lawn behind existing firehouse to be demolished as part of this bid.
9. Refer to **Attachment "G"** for structural mark ups of Annex, including the following:
 - **A-1** - Added notes to Lower Level Plan, and changes to Details 1 & 2.
 - **A-2** - Changes to Detail 1.
 - **A-5.1** - Changes/Notes on Sections A & B, Section 1, and Detail 2 & 3.
 - **A-5.2** - Changes/Notes on Section C, and Details 2, 3 & 4.
 - **A-8** - Changes/Notes added on Attic/Roof Framing Plan, and all Schedules/Notes. Added Lintel Schedule, Section Detail, and Steel Beam Connection Detail.

Add Alternate Annex Mechanical:

1. Provide hanging isolators for all unit heaters.
2. Omit EF-1 & 2 and provide in line fan model Greenheck SQ-70-VG.
3. Omit soft serve ice cream unit indicated on M-3.
4. Omit MUA unit for kitchen hood in its entirety.
5. Provide wall bracket for heat pump to be mounted on side of retaining wall.

Add Alternate Annex Plumbing:

1. Provide an additional automatic gas shutoff valve for the outdoor griddle gas piping. Gas valve shall automatically shut down griddle upon fire suppression activation.
2. Omit new water service from Green Road. Provide new 1" service feed from existing building (included in substation bid). Include 1" backflow device located in lower garage.
3. Provide thermostatic mixing valve apollo model# 34CLF for domestic hot water heater. Include mixing valves watts model# 1170C at all sink locations.
4. Provide ½" hot water re-circulation line to specified re-circ pump. Include balancing and isolation valves.
5. Omit kitchen hand sink in countertop.
6. Move ice machine from kitchen to storage room including condensate drain.
7. Pot filler specified shall be located over the stove.
8. Lavatory in bathrooms shall be wall hung.
9. Seismic bracing is required as per detail 12 on P-9.

10. All floor drains and piping in the Pavilion area shown on Foundation Plan A-1 shall be included as part of the plumbing scope of work to 5'-0" outside of foundation.
11. The Dimensions of Grease Trap GT-1 to be per specified grease trap on P-2.
12. Kitchen sink and equipment included in this bid are as follows:
 - The spec on the 'Solware' Microwave is push button and what 1.2 cu ft.
 - The stove unit shall be the 4-burner model as specified.

Add Alternate Annex Electrical:

1. Exterior lighting shall include a timeclock for additional control. Tork model EWZ201C 2 channel.
2. Add four (4) Gotham type EV06 lights at BBQ roof area with local switch in kitchen
3. Add six (6) Gotham type EV06 lights at south bathroom access and stair area roof area with local exterior 3 way switch at bottom wall (adjacent to lift) and at wall between bathroom doors.
4. Add one (1) Gotham type EV06 lights at roof overhang area over east roll up door with local switch in storage room 202.

END OF ADDENDUM #1



SENDLEWSKI ARCHITECTS, PC
ARCHITECTS – PLANNERS

ATTACHMENT 'A'

FIREHOUSE FACILITY PROJECTS
TAPPAN FIRE DISTRICT
PROJECT No. 2108.01A, 2108.01B, 2108.02

This addendum is hereby made part of the Contract Documents dated July 20, 2022 to the extent as though it was originally included therein. The following details in the mentioned drawings listed below show incorrect scale, the chart provided below clarifies the actual scale.

NEW WASHINGTON ST. FIREHOUSE – Project Base Bid 2108.01A:

Drawing	Detail	Current Scale	Actual Scale
A-4.1	C	1" = 1'-0"	1/2" = 1'-0"
A-5.3	6	1" = 1'-0"	1-1/2" = 1'-0"
A-5.3	7	1" = 1'-0"	3/4" = 1'-0"
S-2	C	1-1/2" = 1'-0"	1/2" = 1'-0"
S-3.2	A	1/4" = 1'-0"	1" = 1'-0"
P-1	PLUMING SITE PLAN	1/16" = 1'-0"	3/32" = 1'-0"
E-1	ELECTRICAL SITE PLAN	1/16" = 1'-0"	3/32" = 1'-0"

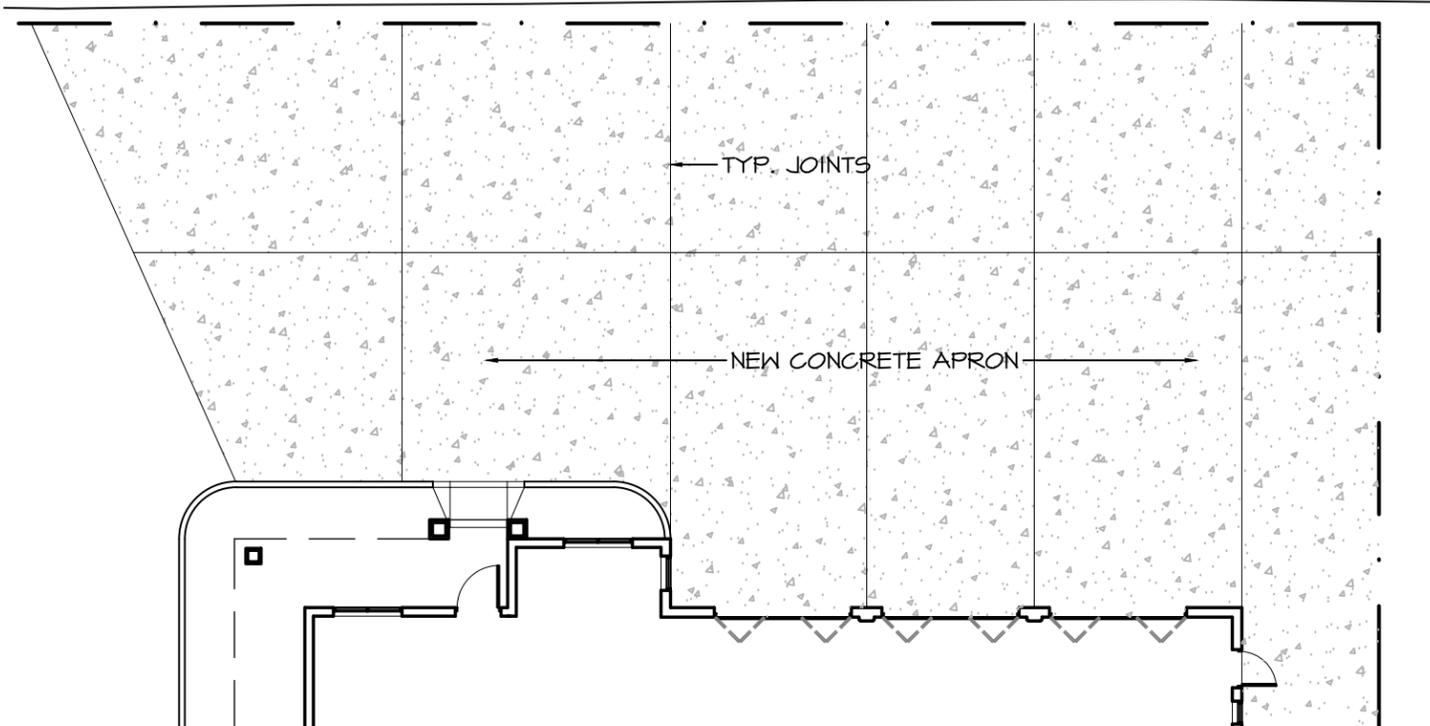
EXISTING SUBSTATION ALTERATIONS - Project Base Bid 2108.01B:

Drawing	Detail	Current Scale	Actual Scale
A-1	B	3/8" = 1'-0"	3/4" = 1'-0"
A-1	C	3/8" = 1'-0"	3/4" = 1'-0"
P-1	PLUMING SITE PLAN	NO SCALE	1' = 20"
E-1	ELECTRICAL SITE PLAN	NO SCALE	1' = 20"

ANNEX @ WESTERN HIGHWAY – Add Alternate Bid 2108-02:

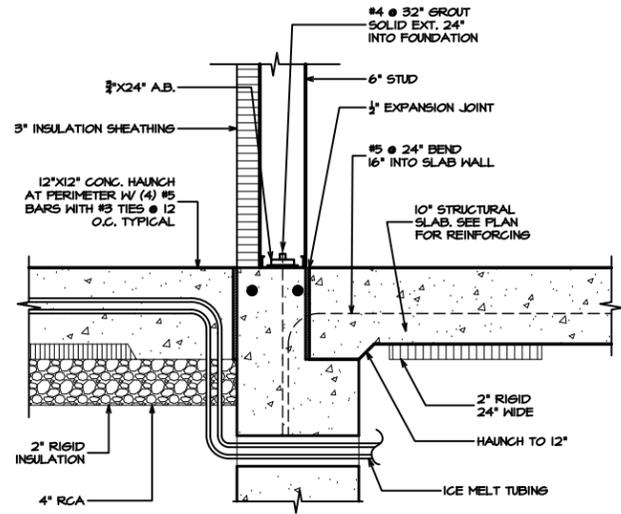
Drawing	Detail	Current Scale	Actual Scale
A-1	3	3/4" = 1'-0"	1" = 1'-0"
A-1	4	3/4" = 1'-0"	1" = 1'-0"
A-1	5	3/4" = 1'-0"	1" = 1'-0"
A-5.1	STAND-OFF PIPE DETAIL	1-1/2" = 1'-0"	1" = 1'-0"
P-1	PLUMING SITE PLAN	NO SCALE	1' = 20"
E-1	ELECTRICAL SITE PLAN	NO SCALE	1' = 20"

WASHINGTON STREET



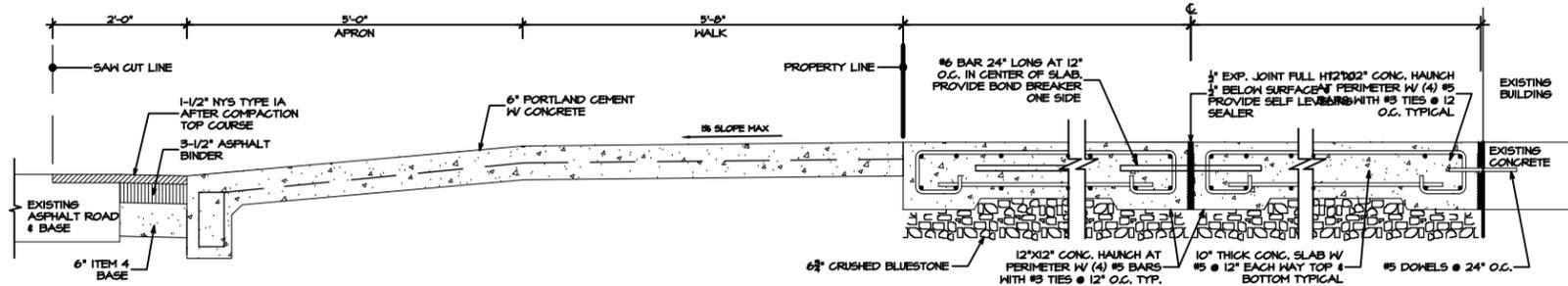
CONCRETE APRON

SCALE: 1/2" = 1'-0"



ADD ALT. ICE MELT

SCALE: 1/2" = 1'-0"



STAMP CONG. WALK & APRON

SCALE: 1/2" = 1'-0"

DATE: ISSUE
07-20-2022 ISSUED FOR BID & PERMIT

SEAL:

SENDEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
(631) 727-5352
9 SELENA COURT
WALDEN, NY 12586
(845) 522-1243



PROPOSED NEW FACILITY
TAPPAN FIRE DISTRICT
125 WASHINGTON STREET
TAPPAN, NY 10985

CONCRETE APRON

PROJECT #: 2108.01A

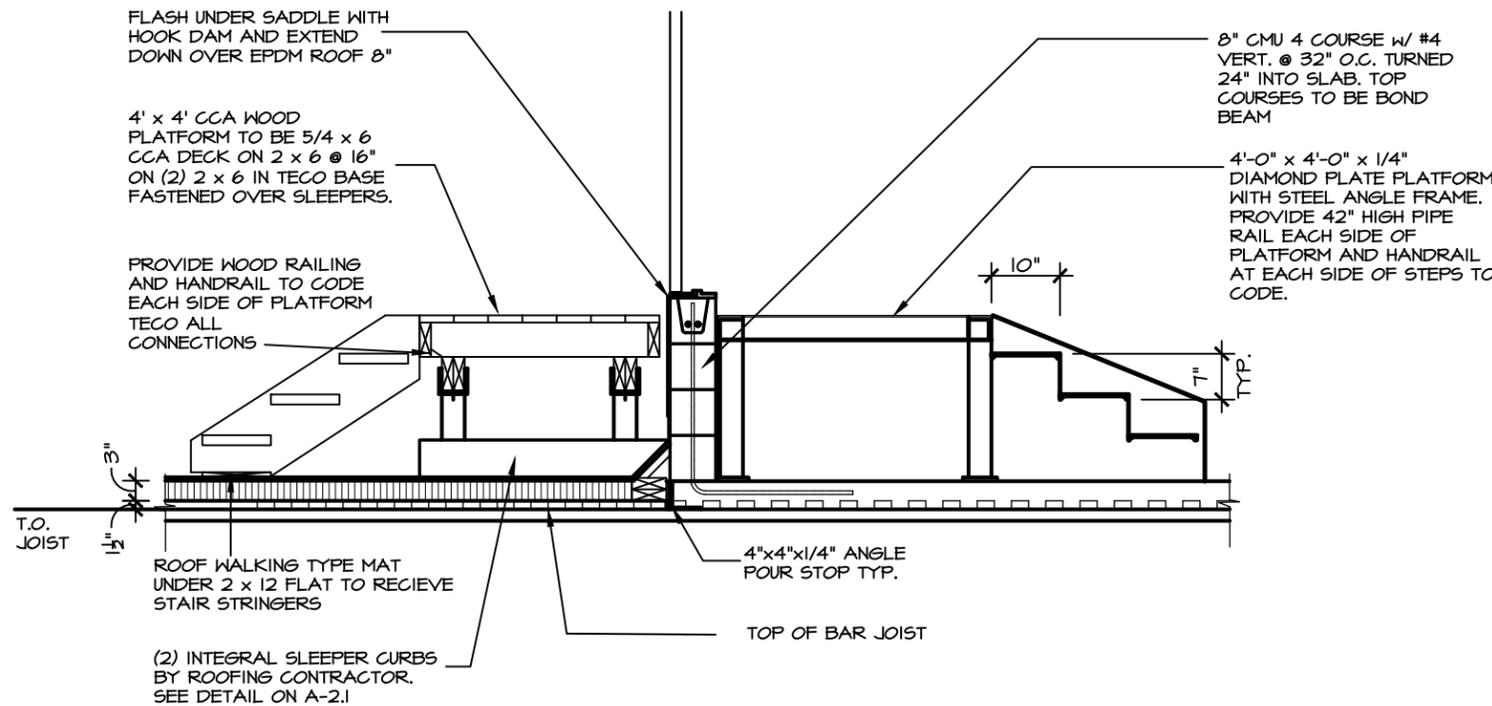
DRAWN BY: .

CAD FILE: 2108.01A/F./BID

DRAWING#:



ATTACHMENT



DETAIL AT ROOF ACCESS DOORS

SCALE: 1/2" = 1'-0"

DATE: ISSUE
01-20-2022 ISSUED FOR BID & PERMIT

SEAL:

SENDLEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
(631) 727-5352
9 SELENA COURT
WALDEN, NY 12586
(845) 522-1243



PROPOSED NEW FACILITY
TAPPAN FIRE DISTRICT
125 WASHINGTON STREET
TAPPAN, NY 10985
ATTIC ROOF ACCESS

PROJECT #: 2108.01A

DRAWN BY: .

CAD FILE: 2108.01A/F./BID

DRAWING#:



ATTACHMENT



BROAN B6LC
Part no. B6LC

560 to 690 CFM (0.4 in. w.g.)



VB0240

FOR LIGHT COMMERCIAL APPLICATIONS

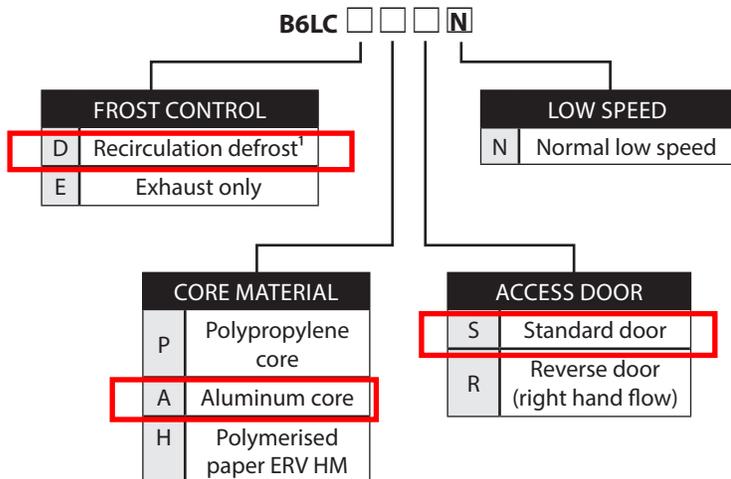
High CFM ventilation for small business owners concerned about indoor air quality (excess moisture, smoke, odors and cleanliness). Suitable for installation above a suspended ceiling, mechanical room or suspended from a ceiling, this model delivers year-round comfort and sensible heat recovery with virtually no cross leakage. On this unit, the heat exchange efficiency can reach up to 66%.

- Only 24.5" high for false ceiling installation
- Defrost system
- Two-speed control
- Low voltage remote switch

REPAIRS AND MAINTENANCE

All parts of the B6LC such as the large access door and the entire motor sub-assembly can be removed for ease of maintenance. Furthermore, the electronic circuit board reduces electro-mechanical parts, minimizing repair time.

ORDERING EXAMPLE



¹When ordered, the recirculation defrost damper module is factory installed.

HEAT RECOVERY VENTILATOR AND ENERGY RECOVERY VENTILATOR

Control

- Built-in electronic circuit board ready to receive the VT1W main wall control.

Heat Recovery Cores/Energy Recovery Cores

Dimensions: 12" x 12" x 13.125"

Exchange surface: 200 ft²

Weight: HRV Polypropylene: 9.2 lb. ; Aluminum: 13.9 lb.
 ERV Polymerised paper: 11.2 lb.

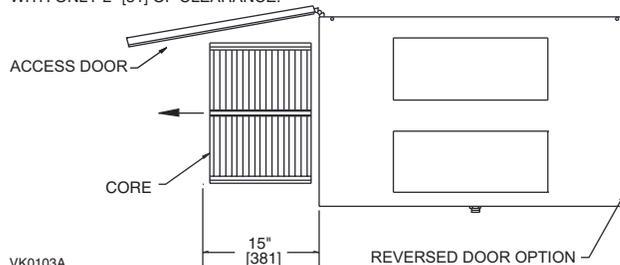
Type: Plate to plate core

Quantity: 2

Material: HRV polypropylene or aluminum
 ERV polymerised paper

Warranty: HRV 15 years; ERV 5 years

A MINIMUM OF 15" [381] CLEARANCE FROM ANY OBSTRUCTION IS REQUIRED FOR REMOVAL OF CORES, FANS, ETC. THE ACCESS DOOR CAN BE REMOVED FROM CABINET WITH ONLY 2" [51] OF CLEARANCE.



Option

- Medium efficiency air supply filters

Recirculation or exhaust defrost

OUTDOOR TEMPERATURE		DEFROST CYCLE (IN MINUTES)
°C	°F	DEFROST/OPERATION
WARMER THAN -5	WARMER THAN 23	NO DEFROST
-5 TO -15	23 TO 5	12/60
-15 TO -30	5 TO -21	12/24
-30 & LESS	-21 & LESS	12/12

Requirements and standards

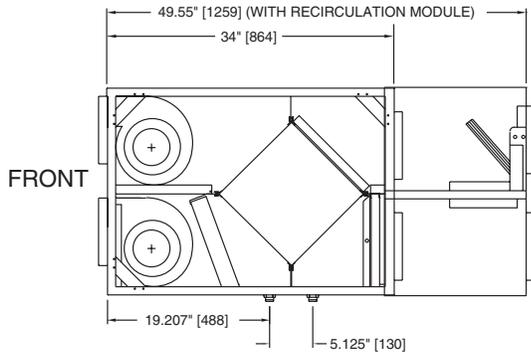
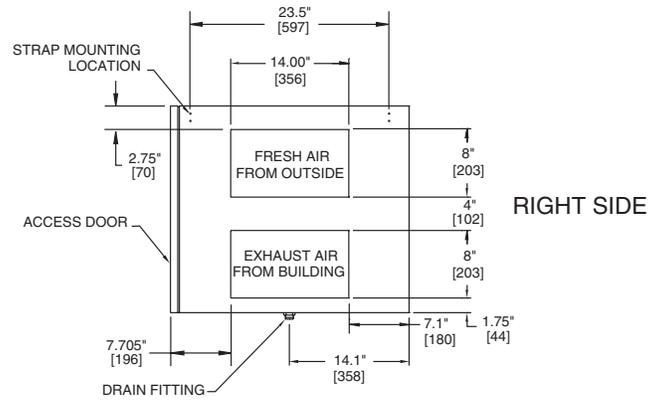
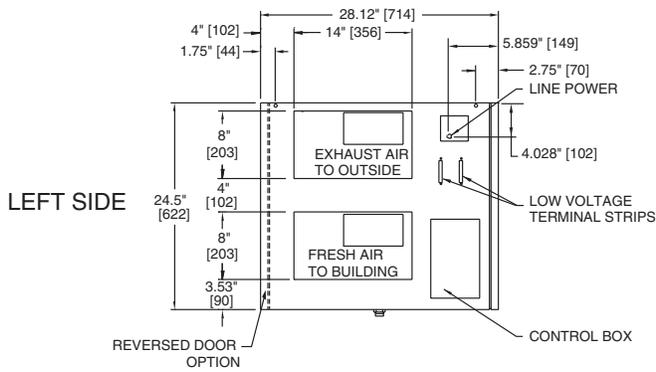
- Complies with the CSA C22.2, no. 113 Standard applicable to ventilators
- Complies with UL Standard 1812 - ducted Heat Recovery Ventilators or Energy Recovery Cores

Warranty

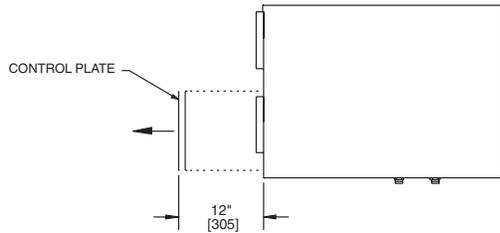
The B6LC unit is fully protected by a 2-year warranty on parts, the best in the industry, and the heat recovery cores are covered by a 15-year warranty.

Available at:

DIMENSIONS AND SERVICE CLEARANCES: B6LC



A MINIMUM OF 12" [305] CLEARANCE FROM ANY OBSTRUCTION IS REQUIRED FOR REMOVAL OF CONTROL BOX.



NOTE: Dimensions in brackets are in millimeters.

VK0050A NOTE: FOR UNITS WITH THE REVERSED DOOR OPTION, INTERIOR COMPONENTS WILL APPEAR AS A MIRROR IMAGE OF THE ABOVE DIAGRAM.

WEIGHT

B6LC Exhaust Defrost

Core Types	Total Assembled Weight
Polypropylene	148 lb.
Aluminum	170 lb.
Polymerized paper	157 lb.

B6LC Recirculation Defrost

Core Types	Total Assembled Weight
Polypropylene	197 lb.
Aluminum	219 lb.
Polymerized paper	206 lb.

PERFORMANCES

External Static Pressure		Power Consumed Watt	HRV and ERV							
			HRV High		ERV High		Medium		Low	
in. w.g.	Pascal		cfm	L/s	cfm	L/s	cfm	L/s	cfm	L/s
0.1	25	778	720	340	716	338	660	311	595	281
0.2	50	774	710	335	701	331	646	305	586	276
0.3	75	765	698	329	683	322	632	298	576	272
0.4	100	750	685	323	664	313	617	291	564	266
0.5	125	730	670	316	642	303	600	283	550	259
0.6	150	706	650	307	618	292	580	274	528	249
0.7	175	676	625	295	590	278	547	258	500	236
0.8	200	641	590	278	550	259	505	238	455	215
0.9	225	600	540	255	495	233	450	212	400	189
1.0	250	555	470	222	400	189				

ENERGY PERFORMANCE

POLYPROPYLENE CORE				EFFECTIVENESS		
SUPPLY TEMPERATURE		NET AIR FLOW		SENSIBLE	LATENT	TOTAL
°F	°C	CFM	L/S			
HEATING						
35	1.7	400	189	57	0	38
35	1.7	300	142	63	0	42
COOLING						
95	35	400	189	55	0	21
95	35	300	142	60	0	23

ALUMINUM CORE				EFFECTIVENESS		
SUPPLY TEMPERATURE		NET AIR FLOW		SENSIBLE	LATENT	TOTAL
°F	°C	CFM	L/S			
HEATING						
35	1.7	400	189	54	0	36
35	1.7	300	142	57	0	38
COOLING						
95	35	400	189	52	0	20
95	35	300	142	56	0	21

POLYMERIZED PAPER CORE (HM)				EFFECTIVENESS		
SUPPLY TEMPERATURE		NET AIR FLOW		SENSIBLE	LATENT	TOTAL
°F	°C	CFM	L/S			
HEATING						
35	1.7	400	189	60	47	56
35	1.7	300	142	65	53	61
COOLING						
95	35	400	189	60	38	46
95	35	300	142	63	45	52

EFFECTIVENESS

UNIT PERFORMANCE, SENSIBLE EFFECTIVENESS				
HEATING SUPPLY TEMPERATURE 35°F / 1.7°C	AIRFLOW (CFM)			
	300	400	500	600
POLYPROPYLENE	69	64	59	55
ALUMINUM	62	59	56	55
POLYMERIZED PAPER (HM)	77	75	73	71

UNIT PERFORMANCE, TOTAL EFFECTIVENESS				
COOLING SUPPLY TEMPERATURE 95°F / 35°C	AIRFLOW (CFM)			
	300	400	500	600
POLYMERIZED PAPER (HM)	49	44	41	39

NOTE: All specifications are subject to change without notice.

ACOUSTIC NOISE POWER CHART (dBA) AT UNIT PORTS

Airflow	Fresh air to building port	Exhaust air from building port
685 CFM at 0.4 in. w.g.	76.9 dBA	61.3 dBA
586 CFM at 0.2 in. w.g.	66.1 dBA	52.5 dBA

The data shown on left chart come from measurement performed according to ISO 5136 Standard. These data represent the sound power directly measured at the fresh air distribution port and exhaust air from building port. To get the actual noise level in the room, consider noise attenuation resulting from total ductwork installation.

SPECIFICATIONS

- Model: B6LC
- All duct connections: 8" x 14"
- Housing: 20 ga. pre-painted steel
- Mounting: Reinforced rubber straps
- Drains: 3/4" fittings
- Filters: 4 reticulated washable foam filters (20 ppi) and 2 disposable MERV 8 filters (optional) part no. SV63342
- Insulation: 3/4" foil faced and 1" acoustic fiberglass wool
- Supply & Exhaust Blower motors:
 - Motor type: PSC motors with sealed sleeved bearings, 3 speeds (2 available to customer)
 - R.P.M.: 1625 - H.P.: 1/4
 - Fan type: Direct drive centrifugal blower 7 1/8" x 6"
 - Housing: Galvanised steel
- Fan Speed control:
 - Low, medium & high speed
 - 2 speeds available to user
 - Low or medium speed is selected at the time of installation
- Unit electrical characteristics:

Volts	MCA	MOP	Watts
120	9.5	12.0	640

Project:	REMARKS
Location:	
Model no.: B6LC	
Quantity:	
Submitted by:	Date:



Broan-NuTone LLC, 926 West State Street, Hartford, WI 53027 (1-877-862-7626)



www.broan.com

B6LCd190528

ATTACHMENT 'E'

**BID FORM
SPECIFICATION NO.
Tappan Fire District
PO box 575
Tappan, NY 10989**

NAME OF BIDDER: _____

BUSINESS ADDRESS: _____

TELEPHONE NUMBER: _____

EMAIL ADDRESS: _____

The bidder mentioned above being duly sworn deposes and says:

- First: That said bidder is of lawful age and the only one interested in this bid, and that no one other than said bidder has any interest herein.
- Second: That this bid is made without any previous understanding, agreement, or connection with any other person, firm, or corporation making a bid for the same purpose, and is in all respects fair and without collusion or fraud.
- Third: That no member of the Board of Fire Commissioners of the Tappan Fire District, nor any officer or employee or person whose salary is payable as a whole or in part from the treasury of said Board is directly or indirectly interested in this bid or in the supplies, materials, equipment, work, or services to which it relates, or in any portion of the profits thereof.
- Fourth: That said bidder has carefully examined the drawings, Instruction to Bidders, schedules, specifications and scope of work, and will, if successful in this bid, furnish and deliver at the prices bid and within the time stated, all materials, supplies, apparatus, goods wares, merchandise, services, or labor for which this bid is made.
- Fifth: That the prices quoted are net and exclusive of all federal, state, and municipal sales and excise taxes. However, successful bidder will be required prior to award of contract to provide certification that they, affiliates, subcontractors and the affiliates of their subcontractors have a valid certificate of authority to collect New York State and local sales and compensating use taxes if the contractors, affiliates, subcontractors and the affiliates of their subcontractors have made sales delivered by any means to locations within New York State of tangible personal property or taxable services having a cumulative value in excess of \$300,000, during the four quarterly periods ending on the last day of February, May, August, and November which immediately preceded the quarterly period in which this

certification is made. Submit completed form ST-220.

Sixth: The undersigned further declares that he has received and examined the following addenda (if any):

Addendum No. _____ Dated: _____

Addendum No. _____ Dated: _____

Addendum No. _____ Dated: _____

FOR PROPOSAL FORM TO BE VALID, ALL PAGES OF THE PROPOSAL FORM MUST BE DULY EXECUTED.

Seventh: The undersigned further understands and agrees that he is to furnish all labor, materials, equipment, supplies, and other facilities and things necessary and required for the execution and completion of all work associated with his bid in strict accordance with the contract documents.

Eighth: The undersigned further agrees that the Board of Fire Commissioners hereby reserves the right to accept or reject any item set forth individually as add alternates indicated as part of each bid. The Owner may determine the lowest bid by adding to or deducting from those base bid(s), additive or deduct alternates, unit prices, or substitutions, if any, which the Owner elects to accept after the opening of bids.

Ninth: BID SECURITY

Each bidder shall deposit with his bid a bid bond, bank draft, or certified check in the amount of not less than five percent (5%) of the Base bid made payable to the Tappan Fire District AND agrees such surety shall be a measure of liquidated damages should be default in delivery of agreement.

Tenth: COMPLETION

It is intended that the work under this contract be completed substantially within the time frame included as part of the Supplemental Conditions.

Eleventh: NON-COLLUSIVE BIDDING CERTIFICATION

General Municipal Law, Section 103-d
(Submit with Bid Proposal Form)

A. By submission of this bid, the bidder and each person signing on behalf of the bidder certifies, and if this is a joint bid each party hereto certifies as to its own organization, under penalty of perjury that to the best of the bidder's knowledge and belief:

1. The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement, for the purpose of restricting completion, as to any matter relating to such prices with any other bidder or with any competitor;
2. Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or to any competitor; and
3. No attempt has been made or will be made by the bidder to induce any other person, partnership, or corporation to submit a bid for the purpose of restricting completion.

B. A bid shall not be considered for award nor shall award be made here A-1, 2, and 3 above have not been complied with provided, however, that if in any case the bidder shall so state and shall furnish with a bid a signed statement which sets forth in detail the reasons therefore, where A-1, 2, and 3 above have not been complied with, the bid shall not be considered for award nor shall any award be made unless the head of the purchasing unit of the political subdivision, public department agency, or official thereof to which the bid is made, or his designee, determines that such disclosure was not made for the purpose of restricting completion.

The fact that the bidder: (a) has published price lists, rates, or tariffs covering items being procured, (b) has informed prospective customers of proposed or pending publication of new or revised price lists for such items, or (c) has sold the same items to other customers at the same prices being bid, does not constitute without more, a disclosure within the meaning of Paragraph A above.

- C. If the bidder is a corporation, the corporation shall be deemed to have been authorized by the Board of Directors of the bidder to make the above certification and such authorization shall be deemed to include the signing and submission of the bid and the inclusion therein of the certificate as to non-collusion as the act and deed of the corporation, provided by General Municipal Law Section 103 d (2).

Twelfth: That the Bidder agrees to furnish upon request after the bid and prior to the bid award a full material and labor breakdown of their bid including unit measures of all materials, individual prices, subcontract bids, list of subcontractors and any additional information requested to evaluate bids.

Thirteenth: On acceptance of this proposal for said work, the undersigned hereby binds himself or themselves to enter into written contract within fourteen (14) days of date of notice of award, and to comply in

all respects with the provisions set forth in “Instructions for Bidders” and “General Conditions of Contract” in relation to security for the faithful performance of the terms of said contract.

Fourteenth: That the bids submitted will be held without increase in amount for a period of forty-five (45) days following the date of the bid opening without exception, in accordance with General Municipal Law 105.

Fifteenth: That by submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that the bidder has and has implemented a written policy addressing sexual harassment prevention in the workplace and provides annual sexual harassment prevention training to all of its employees. Such policy shall, at a minimum, meet the requirements of section two hundred one G of the labor law

Sixteenth: That unit prices shall be included as a condition of the contract for changes during construction as included by each bidder in “Attachment A Unit Prices” as attached to this bid form for both additions (extra) and deletions (credit) on the scope of work as related to said alternate unit prices by change order:

seventeenth: That the amount of the bid and alternates are as follows:

GENERAL CONSTRUCTION BIDS

BASE BID GC2108.01A GENERAL CONSTRUCTION for New Washington Street firehouse:

This base bid for all General Construction work including all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the Washington Street New Firehouse facility as included in the drawings, specifications and addenda shall be in the amount of:

_____ (\$ _____)

ADD ALTERNATE GC2108.01A (add 1) – Roll-up Apparatus Bay Doors:

This add alternate is to provide & install three (3) Raynor TM300 sectional roll-up apparatus bay doors and controls; to be compatible with the original base bid door operation specifications including any and all preparation work required for the opening to receive said door (blocking brackets, etc.) shall be in the amount of:

_____ (\$ _____)

ADD ALTERNATE GC2108.01A (add 2) – Installation of insulation and coordination with mechanical contractor for radiant ice melt apron:

This add alternate to provide 2” rigid insulation under the new concrete front apron and coordination with mechanical contractor for the installation of radiant slab tubing shall be in the amount of:

_____ (\$ _____)

DEDUCT ALTERNATE GC2108.01A (deduct 1) – Bifold Apparatus Bay Doors:

This deduct alternate is to remove the three (3) new bi-fold apparatus bay doors as part of the base bid; and controls including any and all preparation work required for the opening to receive said door (blocking brackets, etc.) shall be in the amount of:

_____ (\$ _____)

BASE BID GC2108.01B GENERAL CONSTRUCTION for Western Highway substation alterations:

This base bid for all General Construction work including all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the Washington Street New Firehouse facility as included in the drawings, specifications and addenda shall be in the amount of:

_____ (\$ _____)

ADD ALTERNATE GC2108.01B (add 1) – New Apparatus Bay Doors:

This add alternate to provide and install two (2) new upward acting Raynor TM300 sectional apparatus bay doors and controls including any and all preparation work required for the opening to receive said door (blocking brackets, etc.) shall be in the amount of:

_____ (\$ _____)

ADD ALTERNATE BID GC2108.02 GENERAL CONSTRUCTION work for Western Highway new annex facility:

This add alternate bid for all General Construction work including any and all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the new

Western Highway annex facility as included in the drawings, specifications and addenda shall be in the additional amount of:

_____ (\$ _____)

ADD ALTERNATE GC2108.02 (add 1) – Alternate metal roofing:

This add alternate to provide and a new standing seam metal roof in lieu if the asphalt shingle roof included in the base bid shall be in the amount of:

_____ (\$ _____)

MECHANICAL BIDS

BASE BID M2108.01A MECHANICAL work for New Washington Street firehouse:

This base bid for all Mechanical work including all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the Washington Street New Firehouse facility as included in the drawings, specifications and addenda shall be in the amount of:

_____ (\$ _____)

ADD ALTERNATE M2108.01A (add 1) – Installation of insulation and coordination with general contractor for radiant ice melt apron:

This add alternate to provide an ice melt system for the new apparatus concrete front apron and coordination with general contractor for the installation of radiant slab tubing shall be in the amount of:

_____ (\$ _____)

ADD ALTERNATE M2108.01B (add 2) – Installation of new full building ERV system:

This add alternate is to provide a full building ERV system as indicated in the drawings, and shall be in the amount of:

_____ (\$ _____)

BASE BID M2108.01B MECHANICAL work for Western Highway substation alterations:

This base bid for all Mechanical work including all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the Washington Street New Firehouse facility as included in the drawings, specifications and addenda shall be in the amount of:

(\$ _____)

ADD ALTERNATE BID M2108.02 MECHANICAL work for Western Highway new annex facility:

This add alternate bid for all Mechanical work including any and all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the new Western Highway annex facility as included in the drawings, specifications and addenda shall be in the additional amount of:

(\$ _____)

PLUMBING BIDS

BASE BID P2108.01A PLUMBING work for New Washington Street firehouse:

This base bid for all Plumbing work including all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the Washington Street New Firehouse facility as included in the drawings, specifications and addenda shall be in the amount of:

(\$ _____)

BASE BID P2108.01B PLUMBING work for Western Highway substation alterations:

This base bid for all Plumbing work including all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the Washington Street New Firehouse facility as included in the drawings, specifications and addenda shall be in the amount of:

(\$ _____)

ADD ALTERNATE BID P2108.02 PLUMBING work for Western Highway new annex facility:

This add alternate bid for all Plumbing work including any and all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the new Western Highway annex facility as included in the drawings, specifications and addenda shall be in the additional amount of:

_____ (\$ _____)

ELECTRICAL BIDS

BASE BID E2108.01A ELECTRIC work for New Washington Street firehouse:

This base bid for all electric work including all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the Washington Street New Firehouse facility as included in the drawings, specifications and addenda shall be in the amount of:

_____ (\$ _____)

BASE BID E2108.01B ELECTRIC work for Western Highway substation alterations:

This base bid for all electric work including all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the Washington Street New Firehouse facility as included in the drawings, specifications and addenda shall be in the amount of:

_____ (\$ _____)

ADD ALTERNATE BID E2108.02 ELECTRIC work for Western Highway new annex facility:

This add alternate bid for all electric work including any and all materials, labor, installations, coordination with other trades for all work indicated in the drawings and specifications and as required for a complete installation of all work for the new Western Highway annex facility as included in the drawings, specifications and addenda shall be in the additional amount of:

_____ (\$ _____)

BIDDER AUTHORIZATION:

Corporate or Company Name: _____

By: _____
Name & Title

Signature: _____ Date: _____

State of _____
County of _____

Sworn before me this ____ day of _____, 2020

Notary Public – State of _____

(To be completed by Notary Public duly authorized in jurisdiction where executed)

For Corporate Bidders:

Corporate bidders must attach Corporate Resolution authorizing execution of bid by agent executing this bid form.

ATTACHMENT 'E', continued...**UNIT PRICE LIST**GENERAL CONSTRUCTION:

UNIT	PRICE
Access panel (24"x24" insulated) installed	Ea.
Linear foot of concrete curbing	/lin. Ft.
Linear foot of 6' high vinyl fencing as specified	/lin. Ft.
Door & frame per unit, installed (3'-0" X 7'-0" standard)	Ea.
Electric strike installation (HES 5000/9500 model)	Ea.
Framed/insulated/finished gyp. bd. wall (9'-0" min height)	/lin. Ft.
Installation of new catch basin	Ea.
Contaminated/Hazardous/Unsuitable soil material	/ Cu. Yard
Certified clean fill soil material	/ Cu. Yard

ELECTRICAL:

Power outlet (home run wired)	Ea.
Low voltage wiring & devise (data outlet)	Ea.
Electric strike power/control wiring per door	Ea.
Linear foot of site SDR piping (12")	/lin. Ft.
Smoke/heat detector	Ea.

PLUMBING:

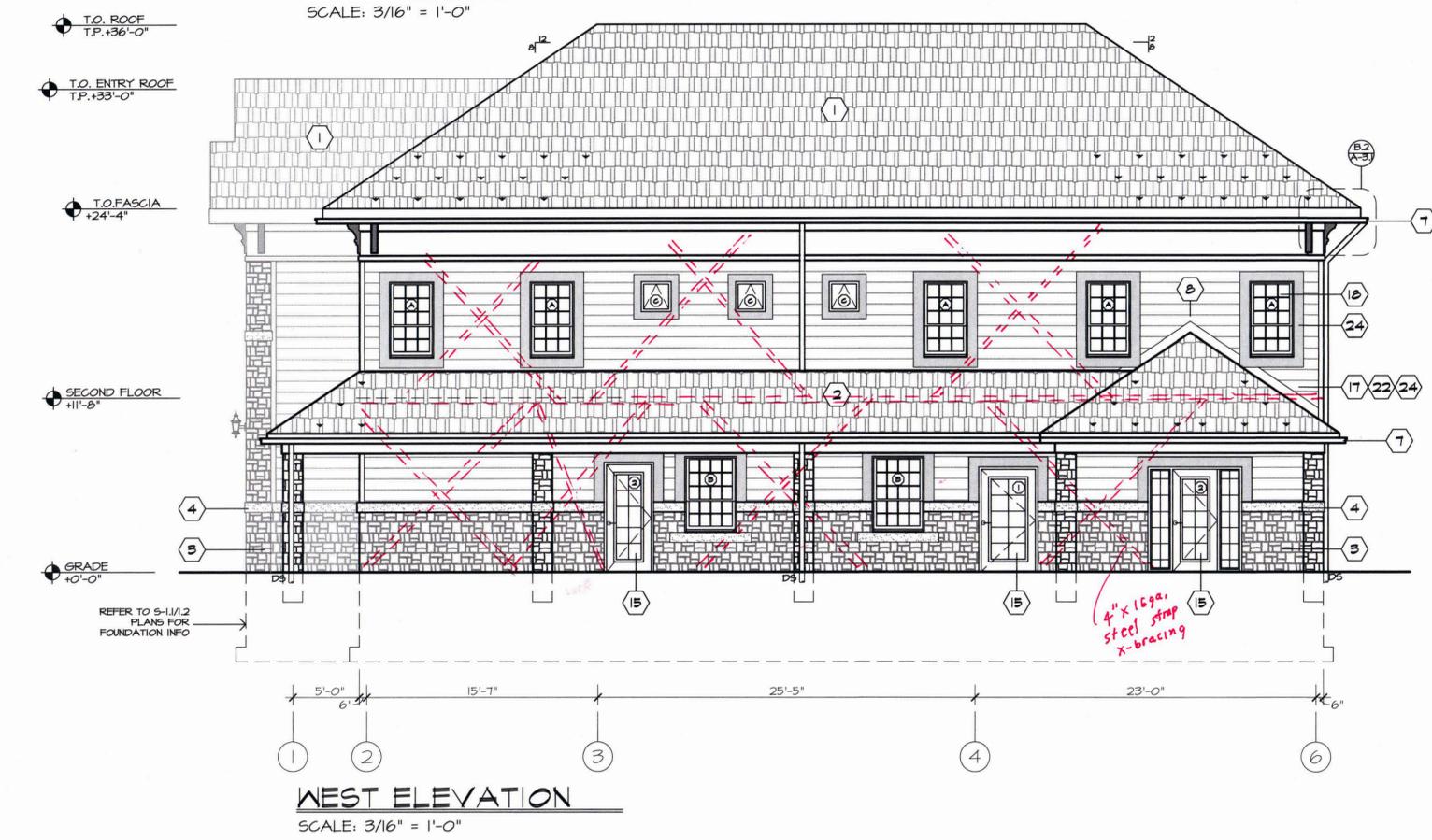
Linear foot of domestic water piping	/lin. Ft.
Linear foot of sanitary piping 4"	/lin. Ft.

FIRE SPRINKLER:

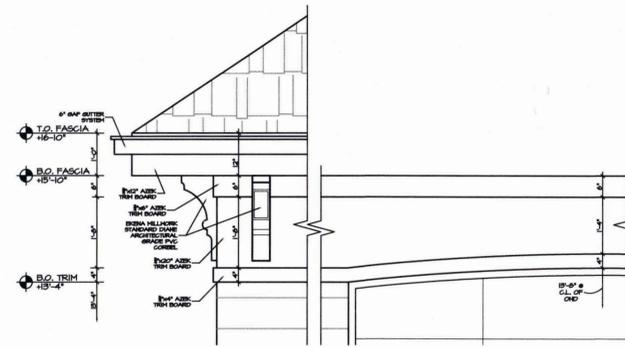
Sprinkler head	Ea.
Linear foot of 1" branch piping	/lin. Ft.
90 degree or Tee fitting	Ea.



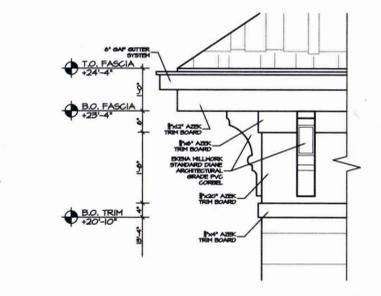
NORTH ELEVATION
SCALE: 3/16" = 1'-0"



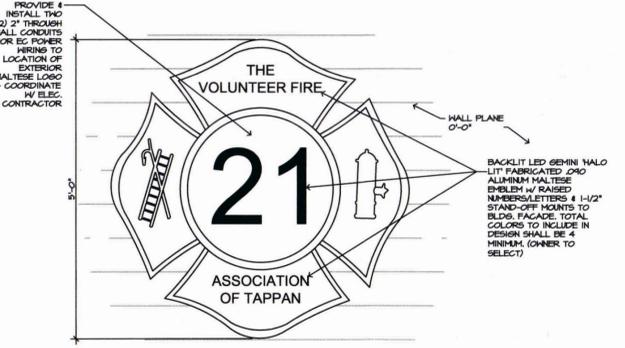
WEST ELEVATION
SCALE: 3/16" = 1'-0"



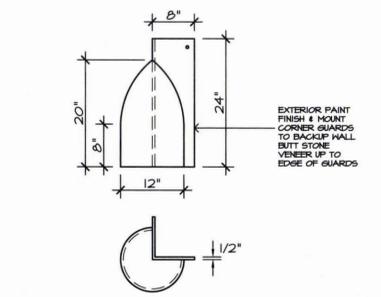
B1 OVERHANG DETAIL
SCALE: 1/2" = 1'-0"



B2 OVERHANG DETAIL
SCALE: 1/2" = 1'-0"



A MALTESE DETAIL
SCALE: 1/2" = 1'-0"



C WHEEL GUARD DETAIL
SCALE: 3/4" = 1'-0"

LEGEND

- 1 ALL SLOPED ROOF AREAS SHALL BE TRUSS/RR SIZED W/ 1/2" HOMASOTE NFCR ROOF DECKING W/ TYVEK PROTEC UNDERLAYMENT FELT AND 6-8\"/>
- 2 LOW ROOF AREAS SHALL BE 2\"/>
- 3 EXTERIOR MASONRY VENEER SHALL BE 60/40 MIXTURE OF SHOULDICE ESTATE STONE NORTON (60%) & SHOULDICE ESTATE STONE HAMPTON (40%), BY KING'S MATERIALS.
- 4 HORIZONTAL ACCENT BANDS SHALL BE 8\"/>
- 5 COPPER SNOWGUARD BY 'ALPINE SNOW GUARDS' MODEL #40R SNOWGUARD
- 6 NUMBERS/LETTERS SHALL BE METAL ARTS OR EQUAL (800) 237-8064, CAST METAL LETTERS 18\"/>
- 7 GUTTER SHALL BE S.A.F 6\"/>
- 8 STRAIGHT LINE FLASHING, TYPICAL ALL ROOF AREAS.
- 9 24\"/>
- 10 NEW 12\"/>
- 11 NEW HOLLOW-METAL INSULATED DOOR & FRAME, PROVIDE 4\"/>
- 12 FASCIA & TRIM SHALL BE PRE-PRIMED 5/8\"/>
- 13 5\"/>
- 14 DECORATIVE LIGHTS, REFER TO ELECTRICAL DRAWINGS FOR FIXTURE TYPE, MOUNT BOX 8\"/>
- 15 STOREFRONT ALUM/GLASS DOOR UNITS SHALL BE KANNER 350T SERIES, APPLIES TO DOORS 101A, 101B, 1012A, 1012B, 1-02, 1-03 & 1-14.
- 16 16\"/>
- 17 COORDINATE ALL EXTERIOR OUTLETS IN MASONRY WITH ELECTRICAL CONTRACTOR
- 18 WINDOWS SHALL BE ANDERSEN 400 SERIES STORM HATCH TYPICAL, REFER TO DRAWING A-3.3 FOR ADDITIONAL WINDOW SPEC INFORMATION.
- 19 HALL PACK LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS FOR FIXTURE TYPE.
- 20 FLOOD LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS FOR FIXTURE TYPE.
- 21 BRASS THRU HALL OVERFLOW SCUPPER TO BE ZURN ZH4, PIPED AND INSULATED THRU FROM HALL SCUPPER @ ROOF.
- 22 THROUGH HALL VENTS/LOWERS/PIPES/ETC., COORDINATE H.O. W/ DEDICATED CONTRACTOR, REFER TO M/E/P DRAWINGS AS NECESSARY, VENTS/LOWERS PROVIDED BY DEDICATED CONTRACTOR & INSTALLED BY GC.
- 23 12\"/>
- 24 HARDIE-PLANK STATEMENT COLLECTION 'SMOOTH' LAP SIDING, SIZE, 8\"/>
- 25 5\"/>

NOTE:
- ALL EXTERIOR FINISHES (MASONRY/VENEER/SIDING/TRIM/ETC.) SHALL BE FULLY CLEANED FREE OF STAINS/DEBRIS AS PART OF CLOSE-OUT AT PROJECT'S END.
- COORDINATE ALL ROOF GUTTER LEADERS WITH ROOF PLAN & MANUFACTURER FOR LOCATIONS.
- DENOTES DOOR/WINDOW TYPE (REFER TO DOOR/WINDOW ELEVATION DETAILS DWG.)

DATE: ISSUE
07-20-2022 ISSUED FOR BID & PERMIT

SEAL:

SENDEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
(631) 727-5352
9 SELENA COURT
WALDEN, NY 12586
(845) 275-8859

PROPOSED NEW FACILITY
TAPPAN FIRE DISTRICT
135 WASHINGTON STREET
TAPPAN, NY 10983
ELEVATIONS (WEST/NORTH)

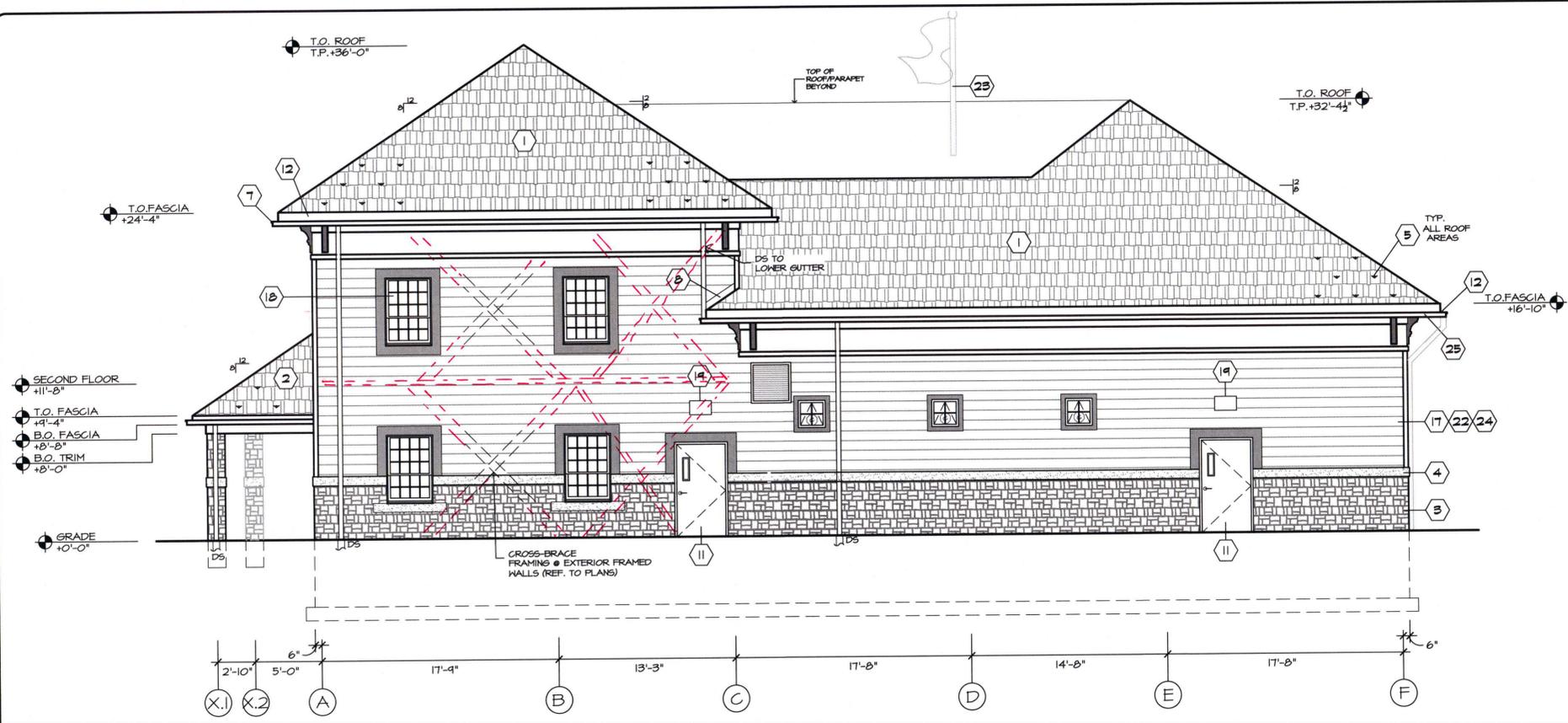
PROJECT #: 2108.01A

DRAWN BY:

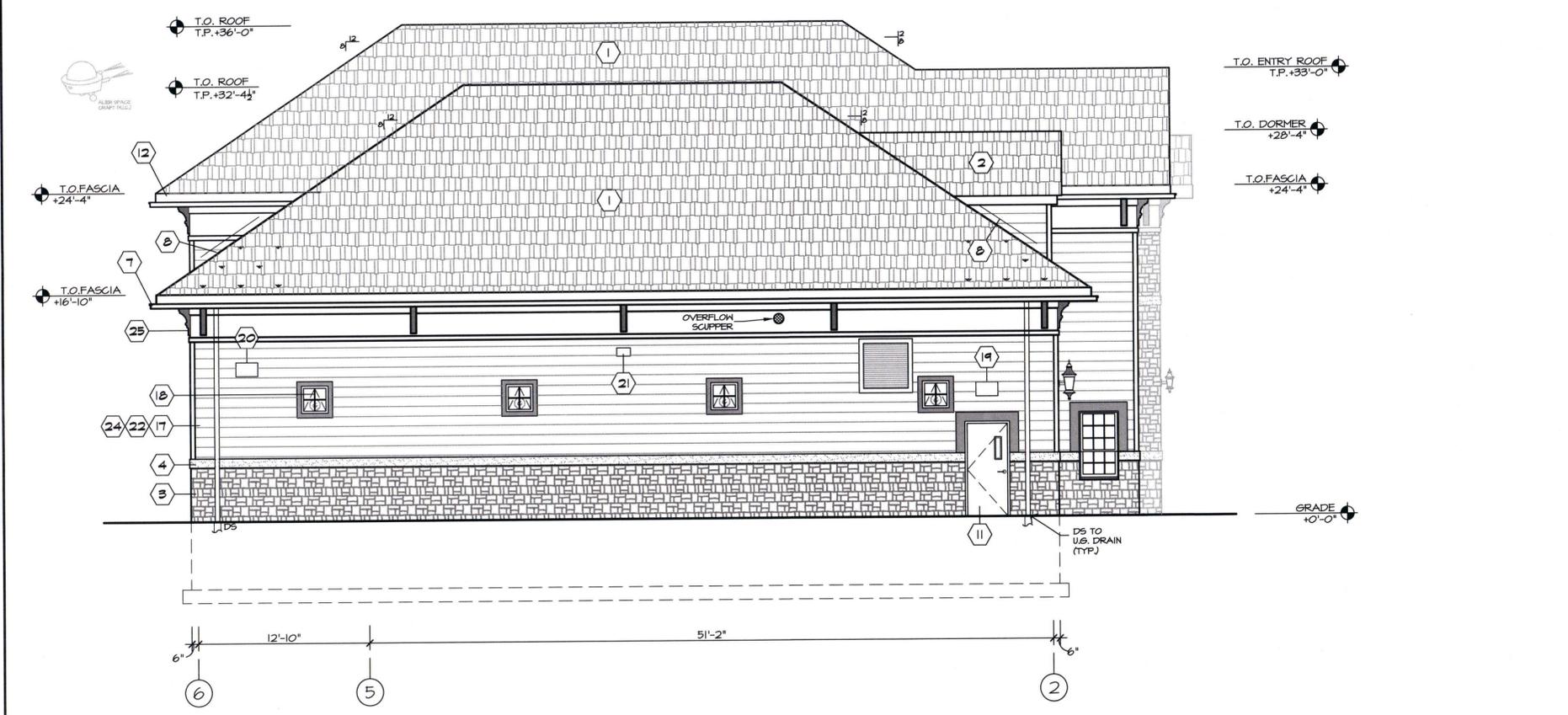
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A-3.1



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"

LEGEND

- 1 ALL SLOPED ROOF AREAS SHALL BE TRUSS/RR SIZED W/ 1/2" HOMASOTE NFCR ROOF DECKING W/ TYVEK PROTEC UNDERLAYMENT FELT AND G.A.F. "TIMBERLINE" ROOFING SHINGLES (OR EQUAL) TYPICAL. COLOR 'SLATE' BY DEFAULT & TO BE CONFIRMED BY OWNER.
- 2 LOW ROOF AREAS SHALL BE 8" MARINO C JOIST @ 16" O.C. W/ TYVEK PROTEC UNDERLAYMENT FELT AND SAME ROOF SHINGLES AS NOTE 1, W/ 1/2" HOMASOTE NFCR DECK.
- 3 EXTERIOR MASONRY VENEER SHALL BE 60/40 MIXTURE OF SHOULDICE ESTATE STONE 'NORTON' (60%) & SHOULDICE ESTATE STONE 'HAMPTON' (40%), BY KINGS MATERIALS.
- 4 HORIZONTAL ACCENT BANDS SHALL BE 8"x4" MAX LENGTH PRECAST 'ROCK-CAST' SELECT STONE SPLIT-FACE FINISH, OR EQUAL. COLOR TO BE SELECTED BY OWNER.
- 5 COPPER SNOWGUARD BY 'ALPINE SNOW GUARDS' MODEL #40R SNOWGUARD
- 6 NUMBERS/LETTERS SHALL BE METAL ARTS OR EQUAL (200) 23T-2069, CAST METAL LETTERS 18" HIGH x 3/4" DEEP TIMES BD, 210 STYLE WITH # 20 ACRYLIC BAKED ENAMEL FINISH. MOUNT WITH PMS-3 ALUMINUM TUBE SPACERS. VERIFY FINISH COLOR W/ OWNER.
- 7 GUTTER SHALL BE S.A.F 6" CORNIAL GUTTER SYSTEM W/ 4"x4" DOWNSPOUTS.
- 8 STRAIGHT LINE FLASHING. TYPICAL ALL ROOF AREAS.
- 9 24"x12" HEAVY DUTY CAST IRON WHEEL GUARD BY TRENCH DRAIN SUPPLY (MODEL: R-4406-D6) WITH PAINT FINISH, COLOR SELECTED BY OWNER.
- 10 NEW 12'-0" W x 14'-0" H FOUR-FOLD APPARATUS BAY DOOR. DOORS SHALL BE BY 'DOOR ENGINEERING' MODEL #FF300, INSULATED DOORS WITH RED FINISH.
- 11 NEW HOLLOW-METAL INSULATED DOOR & FRAME. PROVIDE 4" HEAD AT MASONRY LOCATIONS.
- 12 FASCIA & TRIM SHALL BE PRE-PRIMED 5/4X12 W/ .062 ALUM. WRAP (COLOR WHITE)
- 13 5'-0" DIA. CUSTOM MALTESE CROSS. REFER TO DETAIL 'A' ON A-3.1. GC TO PROVIDE & INSTALL W/ ASSOCIATED MOUNTS, HARNESS, TRANSFORMER, ETC... TO MAKE COMPLETE. ELECTRICIAN SHALL MAKE FINAL POWER WIRING CONNECTION.
- 14 DECORATIVE LIGHTS. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE TYPE. MOUNT BOX 8'-0" TO BOTTOM.
- 15 STOREFRONT ALUM/GLASS DOOR UNITS SHALL BE KANNEER 350T SERIES. APPLIES TO DOORS 101.1A, 101.1B, 101.2A, 101.2B, 1-02, 1-03 & 1-14.
- 16 16" x 24" BRONZE PLAQUE (SIMILAR TO DWS. 0-0 PLAQUE DETAIL) TO BE CAST W/ CUSTOM TEXT/DATE, TO BE CONFIRMED W/ OWNER.
- 17 COORDINATE ALL EXTERIOR OUTLETS IN MASONRY WITH ELECTRICAL CONTRACTOR
- 18 WINDOWS SHALL BE ANDERSEN 400 SERIES 'STORM WATCH' TYPICAL. REFER TO DRAWING A-3.3 FOR ADDITIONAL WINDOW SPEC INFORMATION.
- 19 WALL PACK LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE TYPE.
- 20 FLOOD LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE TYPE.
- 21 BRASS THRU WALL OVERFLOW SCUPPER TO BE ZURN Z199, PIPED AND INSULATED THRU FROM WALL SCUPPER @ ROOF.
- 22 THROUGH WALL VENTS/LOUVERS/PIPES/ETC... COORDINATE M.O. W/ DEDICATED CONTRACTOR. REFER TO M/E/P DRAWINGS AS NECESSARY. VENTS/LOUVERS PROVIDED BY DEDICATED CONTRACTOR & INSTALLED BY GC.
- 23 12' VERTICAL WALL-MOUNT FLAG POLE BY EDER FLAG (MODEL: EVMS-12), INSTALLED AT FLAT-ROOF NORTH PARAPET WALL PROVIDED & INSTALLED BY GC. (INCLUDE ASSOCIATED BLOCKING AS REQ'D.)
- 24 HARDIE-PLANK STATEMENT COLLECTION 'SMOOTH' LAP SIDING, SIZE: 8" EXPOSURE. (COLOR: PEARL GRAY) W/ MATCHING CORNER TRIM (WHITE) TYP. ALL BUILDING CORNERS, INCLUDE HARDIE 4/4 NT3 SMOOTH 6" TRIM BOARDS (COLOR: ARTIC WHITE) AT ALL WINDOWS & DOORS TYPICAL.
- 25 5" W x 9" D x 18" / 22" H STANDARD 'DIANE' ARCHITECTURAL GRADE PVC CORBEL BY EKENA MILLWORK (OR EQUAL). COLOR/FINISH: RED

NOTE:
 - ALL EXTERIOR FINISHES (MASONRY/VENEER/SIDING/TRIM/ETC.) SHALL BE FULLY CLEANED FREE OF STAINS/DEBRIS AS PART OF CLOSE-OUT AT PROJECTS END.
 - COORDINATE ALL ROOF GUTTER LEADERS WITH ROOF PLAN & MANUFACTURER FOR LOCATIONS.
 - DENOTES DOOR/WINDOW TYPE (REFER TO DOOR/WINDOW ELEVATION DETAILS DWS.)

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PROPOSED NEW FACILITY
 TAPPAN FIRE DISTRICT
 135 WASHINGTON STREET
 TAPPAN, NY 10983

ELEVATIONS (EAST/NORTH)
 & DETAILS

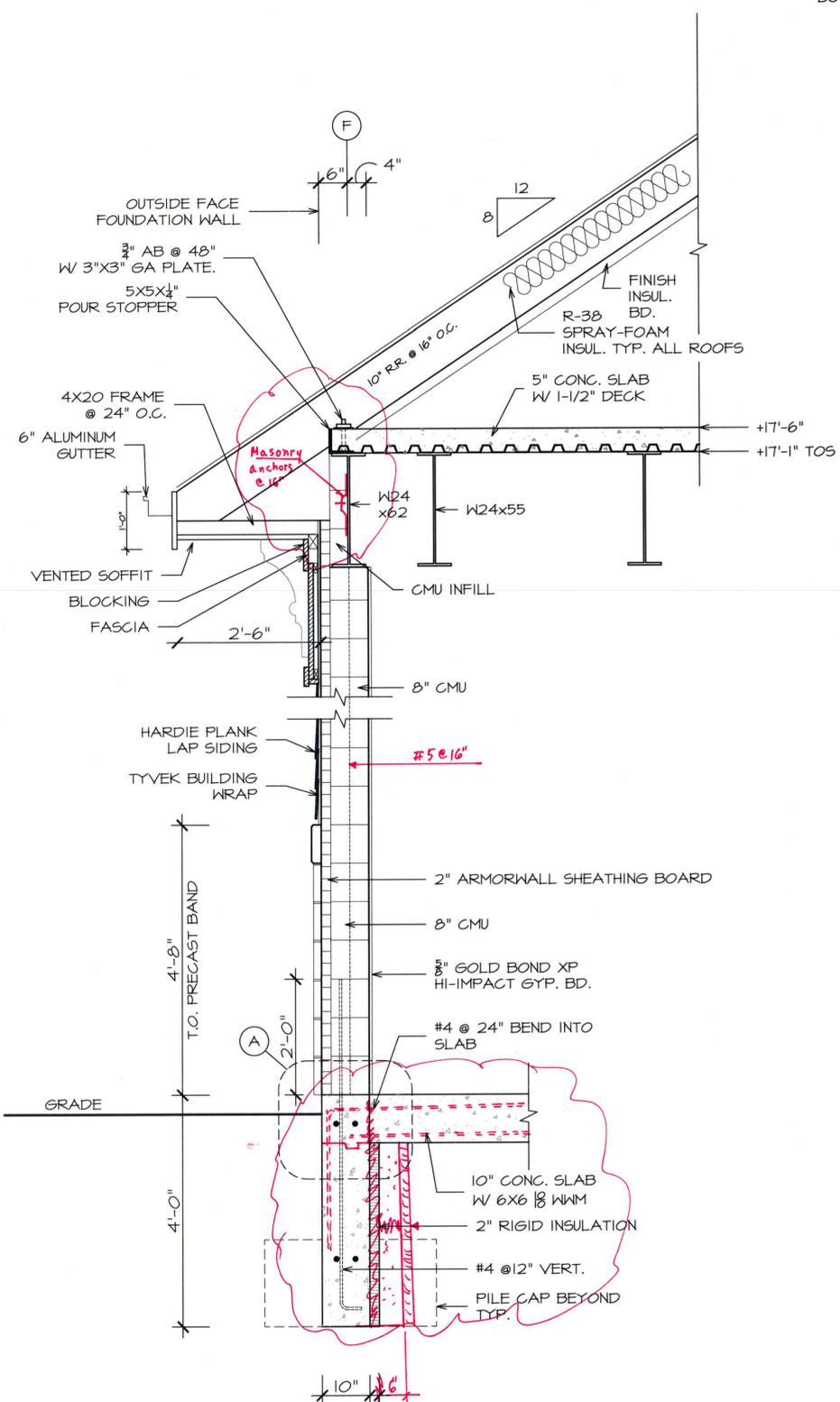
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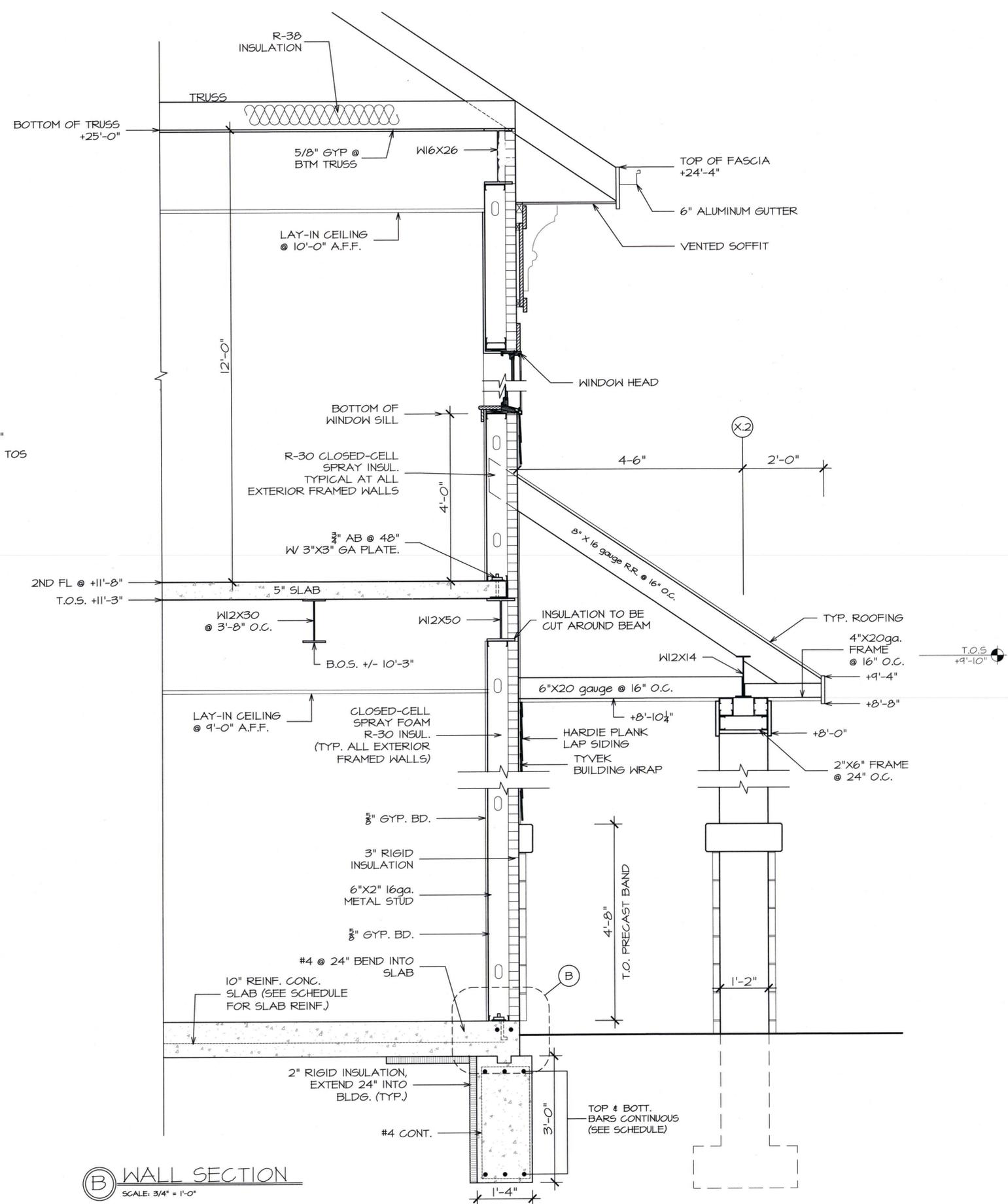
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A-3.2



(A) WALL SECTION
SCALE: 3/4" = 1'-0"



(B) WALL SECTION
SCALE: 3/4" = 1'-0"

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PROPOSED NEW FACILITY
TAPPAN FIRE DISTRICT
135 WASHINGTON STREET
TAPPAN, NY 10983

WALL SECTION & DETAIL

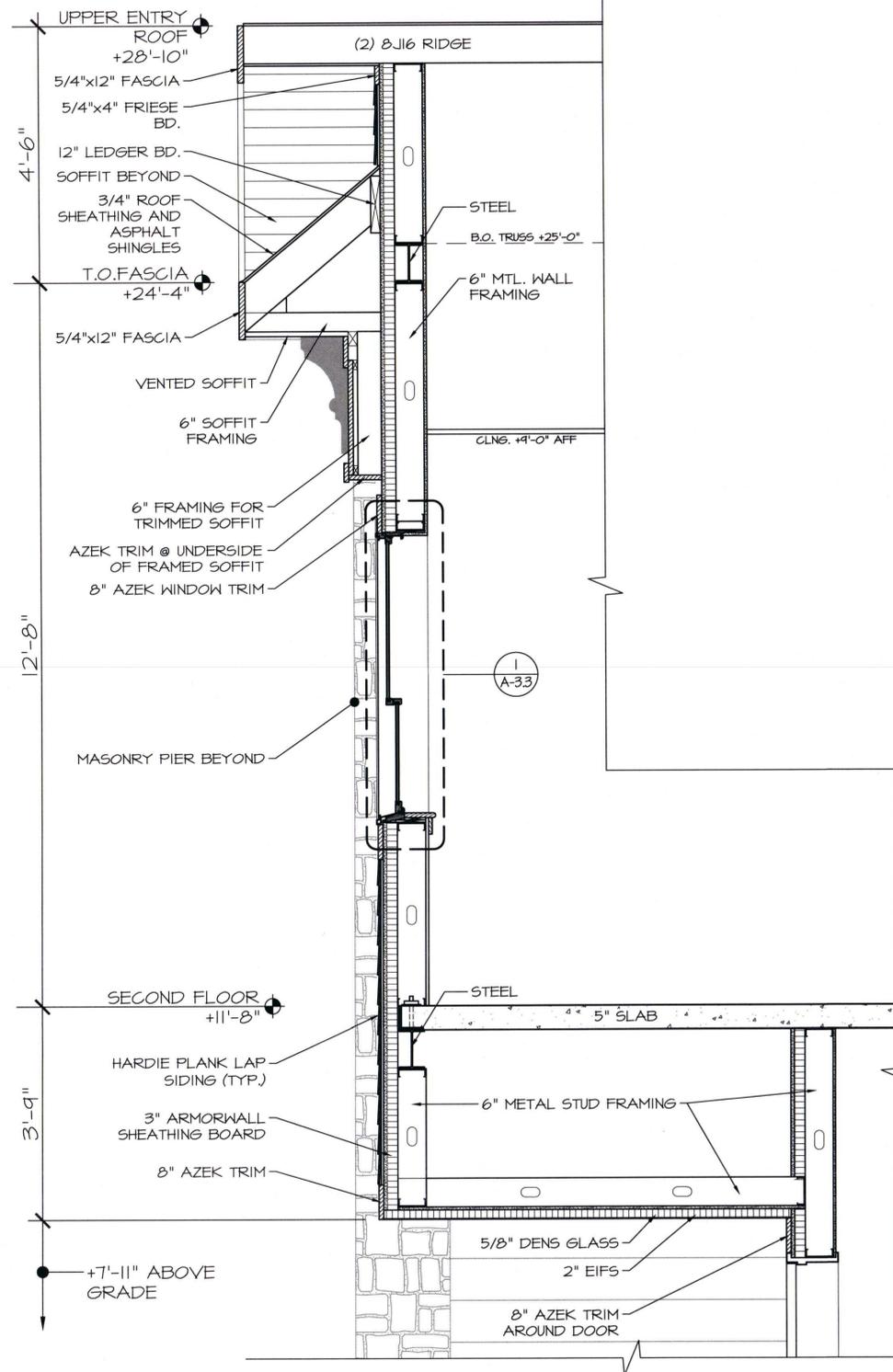
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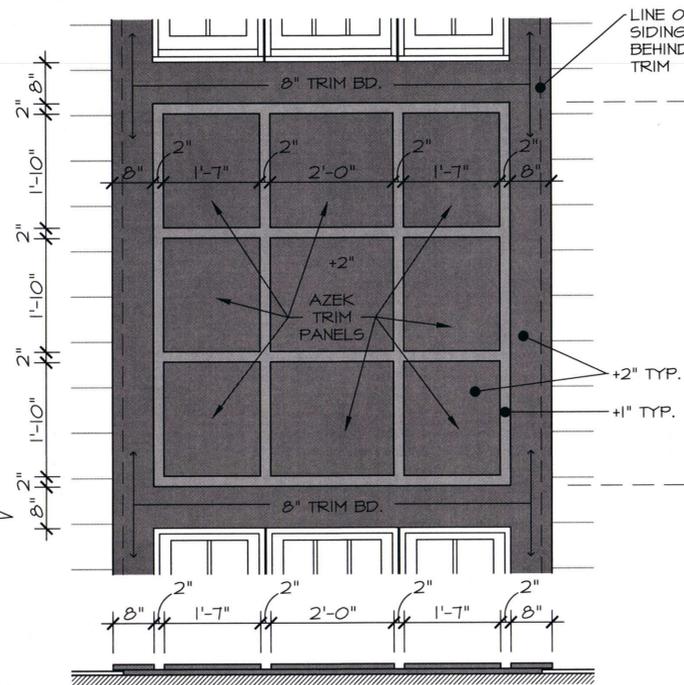
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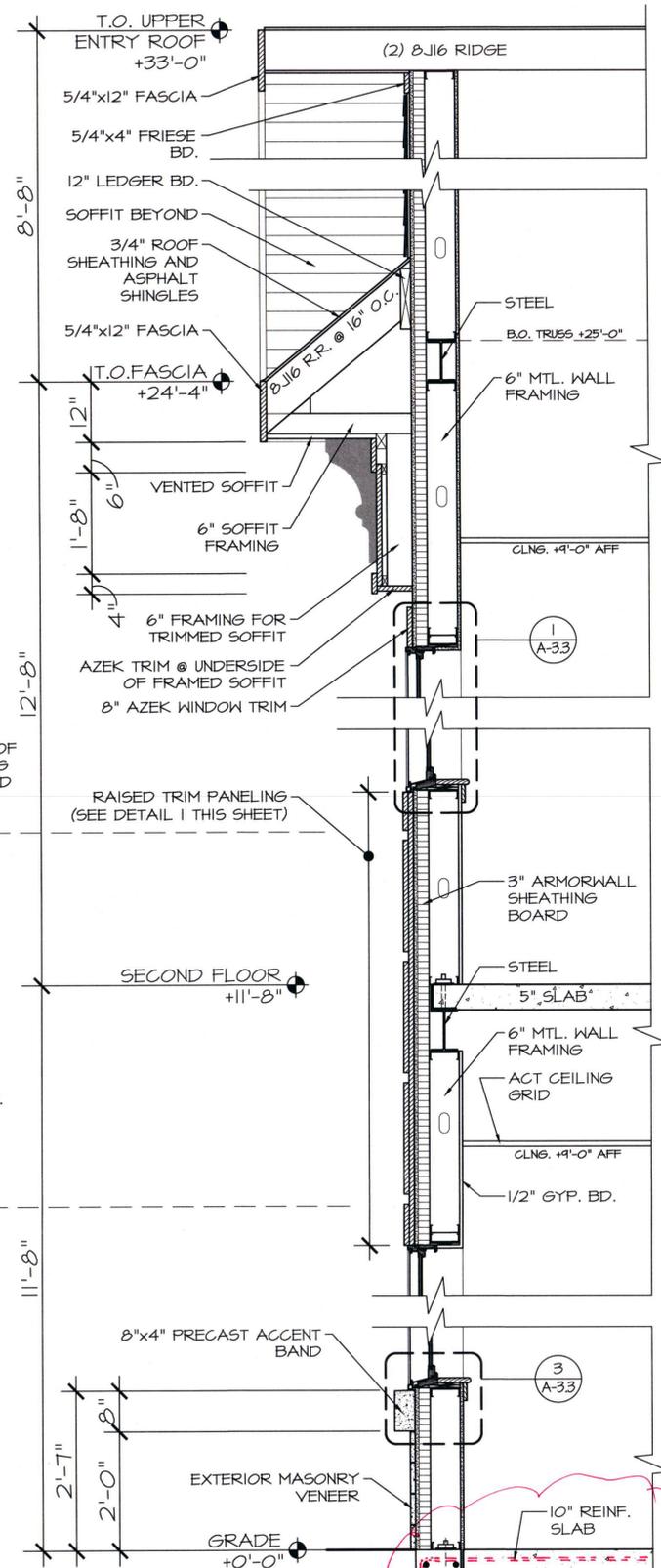
A-6.1



(A) WALL SECTION THRU DUTCH GABLE
SCALE: 3/4" = 1'-0"



(B) RAISED PANEL DETAIL
SCALE: 3/4" = 1'-0"
NOTE: DATUM OF RELIEF ELEVATIONS IS +0'-0" FROM WALL SHEATHING.



(B) WALL SECTION THRU DUTCH GABLE
SCALE: 3/4" = 1'-0"

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PROPOSED NEW FACILITY
TAPPAN FIRE DISTRICT
135 WASHINGTON STREET
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WALL SECTION & DETAIL

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PROPOSED NEW FACILITY
 TAPPAN FIRE DISTRICT
 135 WASHINGTON STREET
 TAPPAN, NY 10983

FOUNDATION PLAN
 & DETAILS

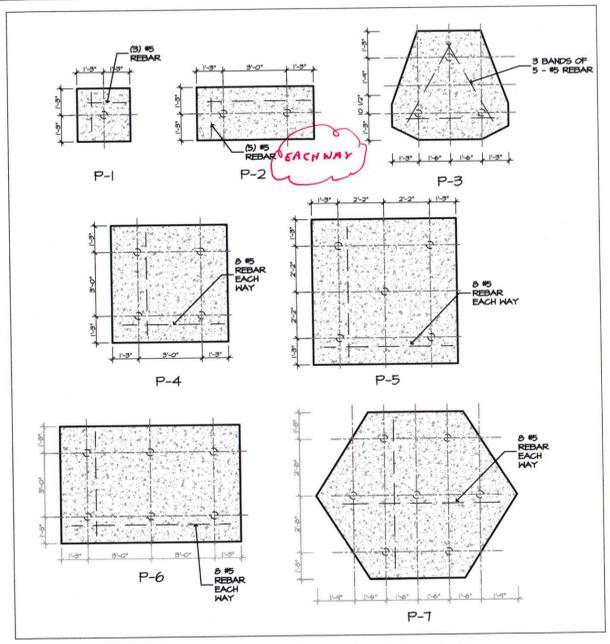
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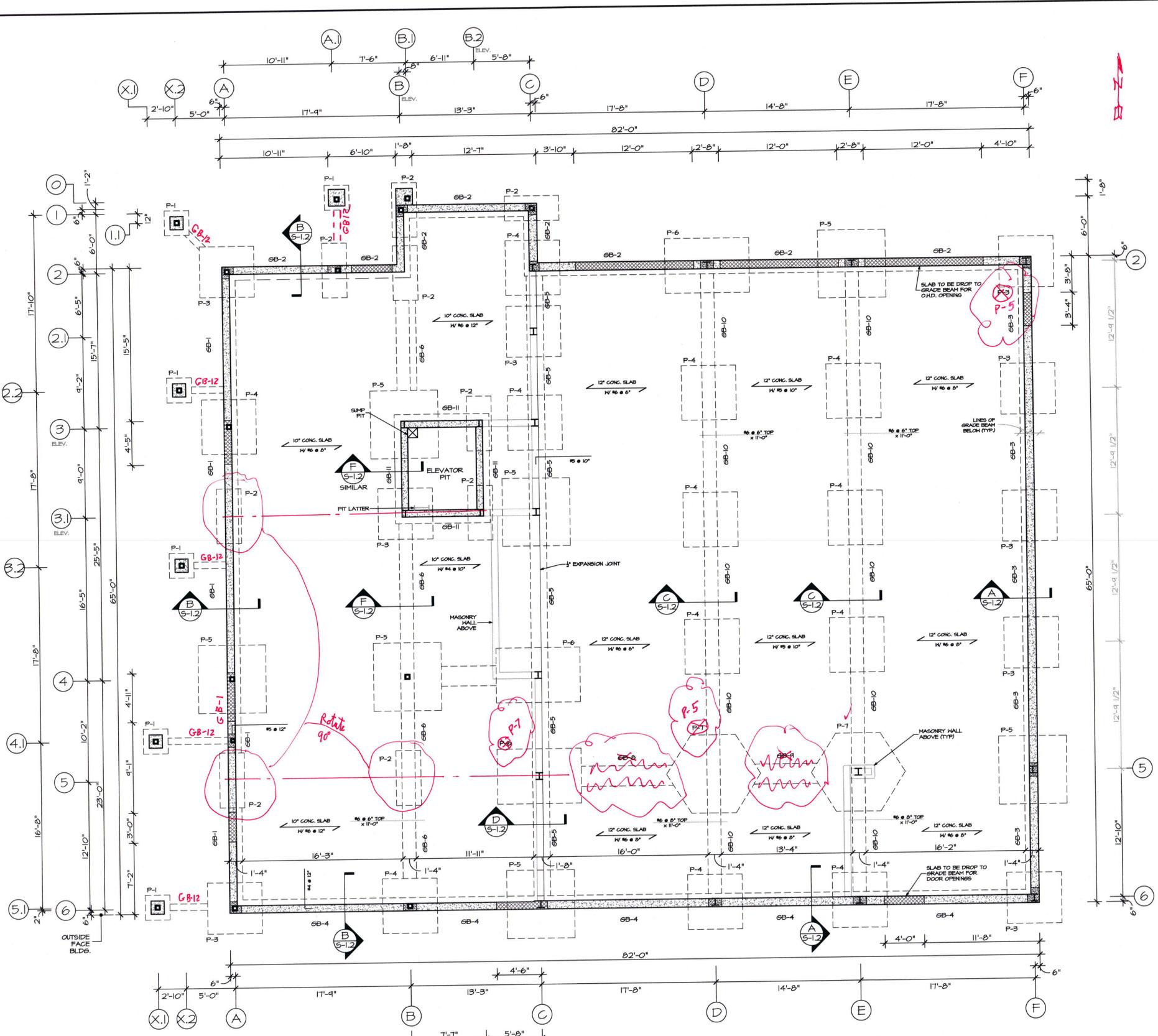
PILE CAP DETAILS

SCALE: 1/4" = 1'-0"

DESIGNATION	SIZE	TOP STEEL	BOTTOM STEEL	#5 STIRRUPS @ 12"
GB-1	16'x36"	3 - #7	3 - #6	#5 STIRRUPS @ 12"
GB-2	16'x36"	3 - #5	3 - #5	#5 STIRRUPS @ 12"
GB-3	16'x36"	3 - #6	3 - #7	#5 STIRRUPS @ 12"
GB-4	16'x36"	3 - #7	3 - #7	#5 STIRRUPS @ 12"
GB-5	20'x36"	3 - #7	3 - #6	#5 STIRRUPS @ 12"
GB-6	16'x36"	3 - #6	3 - #6	#5 STIRRUPS @ 12"
GB-7	16'x36"	3 - #6	3 - #6	#5 STIRRUPS @ 12"
GB-8	16'x36"	4 - #4	4 - #4	#5 STIRRUPS @ 12"
GB-9	16'x36"	4 - #4	3 - #4	#5 STIRRUPS @ 12"
GB-10	16'x36"	4 - #5	3 - #4	#5 STIRRUPS @ 12"
GB-11	16'x36"	4 - #5	3 - #4	#5 STIRRUPS @ 12"
GB-12	12'x12'	2-#5	2-#5	#3 Stirrups @ 12"

HELICAL PILE NOTES:

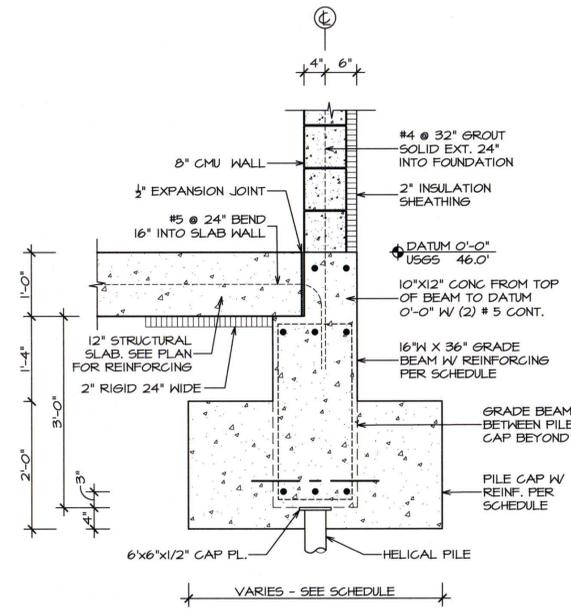
- ALL PILES SHALL BE PATENTED HELICAL PILES AND APPURTANCES AS FURNISHED BY PREMIUM TECHNICAL SERVICES OR EQUAL.
- HELICAL PILE LEAD SECTIONS SHALL BE MODEL 5515 WITH A 1-3/4" DIAMETER ROUND SHAFT AND (1) 10", (1) 12" AND (1) 14" DIAMETER HELIX. LEAD SECTIONS SHALL BE 5.5' LONG. HELIX PILE EXTENSION MAY BE 5', 7', OR 10' LONG DEPENDING ON VERTICAL CLEARANCE.
- HELICAL PILES, EXTENSIONS AND APPURTANCES SHALL BE HOT DIPPED GALVANIZED STEEL IN ACCORDANCE WITH ASTM A153.
- ALL PILE INSTALLATION OPERATIONS SHALL BE SUPERVISED BY A N.Y.S. LICENSED ENGINEER COMMISSIONED BY THE PILE INSTALLER. THE INSPECTOR SHALL KEEP A COMPLETE RECORD OF THE PILE INSTALLATION OPERATION.
- HELICAL PILES SHALL BE INSTALLED THROUGH ALL FILL, BOG, SILT, ETC. AND TO PENETRATE A MINIMUM DEPTH 10' INTO GOOD GRANULAR BEARING MATERIAL, AND TO A MINIMUM CAPACITY OF 15 TONS (WORKING LOAD).
- HELICAL PILES SHALL BE INSTALLED AS SHOWN ON THE ENGINEERS PLAN. ALL CHANGES IN PILE LOCATION MUST BE APPROVED BY THE DESIGN ENGINEER.
- IF UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED DURING INSTALLATION, THE CONTRACTOR SHALL HAVE THE OPTION OF REMOVING THE OBSTRUCTION IF POSSIBLE OR RELOCATING THE PILE WITH THE DESIGN ENGINEERS APPROVAL. THE LATTER OPTION MAY REQUIRE THE RELOCATION OF ADJACENT PILES.
- THE HELICAL PILE SHALL BE CONNECTED TO THE STRUCTURE USING A PITS APPROVED STEEL BRACKET OR CAP PLATE AS THE CASE MAY BE SHOWN ON DESIGN ENGINEERS PLAN. THESE CONNECTION DEVICES SHALL BE CAPABLE OF SAFELY TRANSFERRING THE STRUCTURAL LOADS TO THE HELICAL PILE.
- WRITTEN INSTALLATION RECORDS SHALL BE MAINTAINED FOR EACH HELICAL PILE. THESE RECORDS SHALL INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROJECT NAME AND/OR LOCATION.
 - NAME OF CONTRACTORS FOREMAN OR REPRESENTATIVE WHO WITNESSED THE INSTALLATION
 - DATE AND TIME OF INSTALLATION.
 - LOCATION AND REFERENCE NUMBER OF EACH PILE.
 - DESCRIPTION OF LEAD SECTION AND EXTENSIONS INSTALLED.
 - OVERALL DEPTH OF INSTALLATIONS REFERENCED FROM THE BOTTOM OF GRADE BEAM OR PILE CAP.
 - TORQUE READING FOR THE LAST THREE FEET OF INSTALLATION IF PRACTICAL. IN LIEU OF THIS REQUIREMENT, THE TERMINAL TORQUE SHALL BE RECORDED AS A MINIMUM.
 - ANY OTHER RELEVANT INFORMATION RELATING TO THE INSTALLATION.
- THE INSTALLERS N.Y.S. LICENSED PROFESSIONAL ENGINEER MUST CERTIFY THE PILE INSTALLATION RECORD.



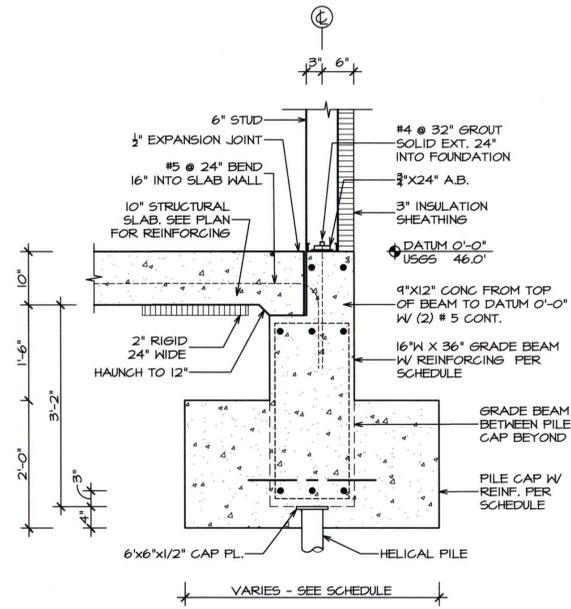
FOUNDATION PLAN

SCALE: 3/16" = 1'-0" SLAB EL. = 46.0 (DATUM / 0'-0")

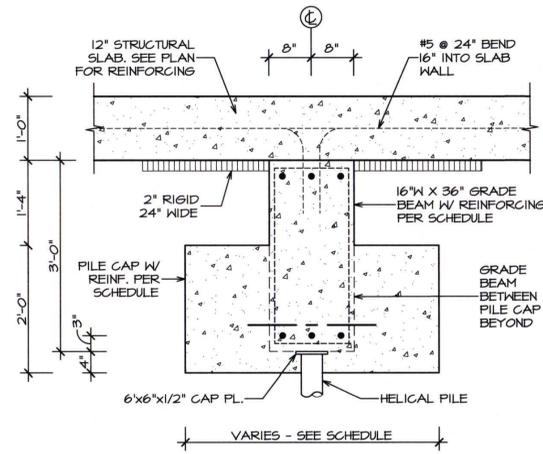
- NOTES:
- HEAVY DUTY 20-MIL VAPOR BARRIER SHALL BE PROVIDED & INSTALLED UNDER ALL CONCRETE SLABS.
 - REFER TO TEST HOLES PROVIDED IN SITE DRAWINGS FOR SOIL CLASSIFICATIONS & ANTICIPATED DEPTHS. RESULTS WITHIN PROVIDED TEST HOLES SHALL BE CONSIDERED APPLICABLE TO ALL OTHER AREAS OF THE SITE.
 - BID DEPTH OF HELICAL PILES SHALL BE 20'-0" FROM DATUM ELEV. 44.0
 - UNIT PRICE IS TO BE PROVIDED IN BID FOR EXTRA/CREDIT FOR DIFFERENCE IN ACTUAL DEPTH COMPARED TO THE 25'-0"
 - COORDINATE UNDER SLAB PIPING HANGERS WITH PLUMBING CONTRACTOR.
 - GC SHALL VERIFY ELEVATOR PIT CLEAR DIMENSIONS W/ APPROVED MANUFACTURER PRIOR TO FORMING/POURING & STEEL WORK.
 - INCLUDE SLAB EXPANSION JOINTS FOR ALL MAIN COLUMN LINES. VERIFY REQUIRED LOCATIONS PRIOR TO PLACEMENT.



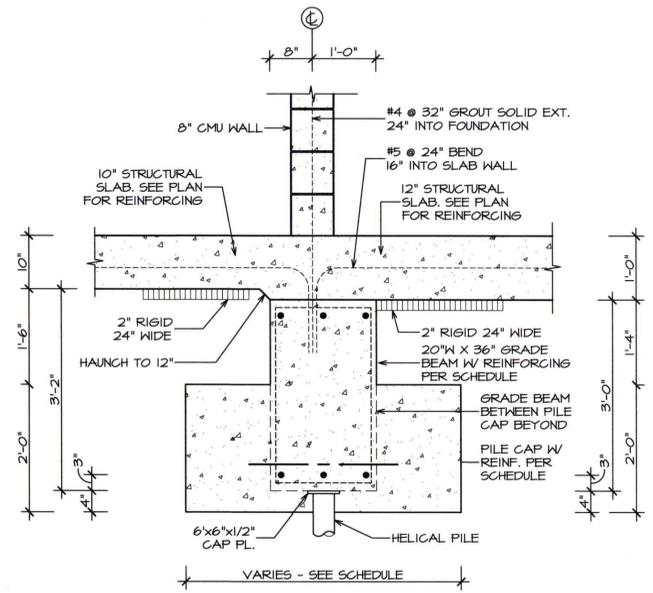
A PERIMETER GRADE BEAM/WALL DETAIL EAST OF COL. C (APPARATUS AREA)
SCALE: 3/4" = 1'-0"



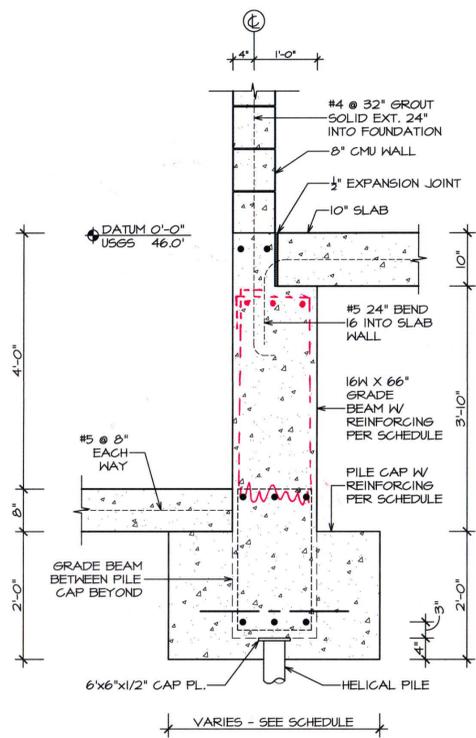
B PERIMETER GRADE BEAM/WALL DETAIL WEST OF COL. C (OCCUPIED AREAS)
SCALE: 3/4" = 1'-0"



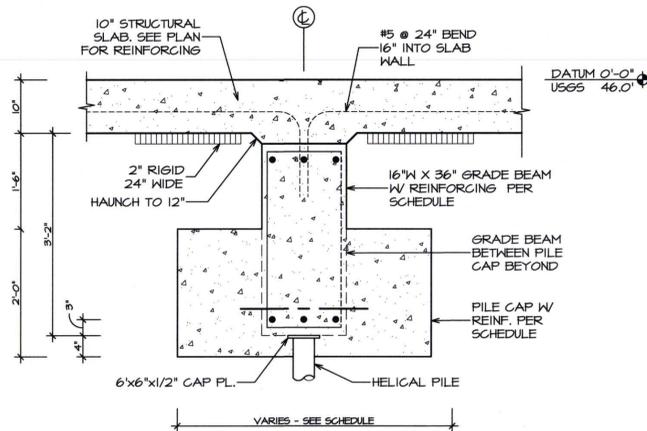
C GRADE BEAM @ COLS. D&E
SCALE: 3/4" = 1'-0"



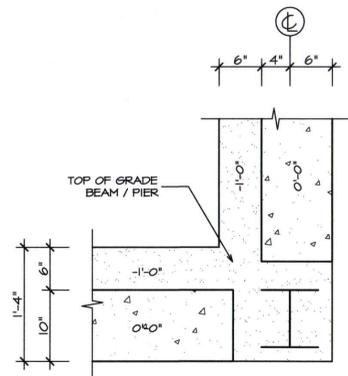
D GRADE BEAM @ COL. C
SCALE: 3/4" = 1'-0"



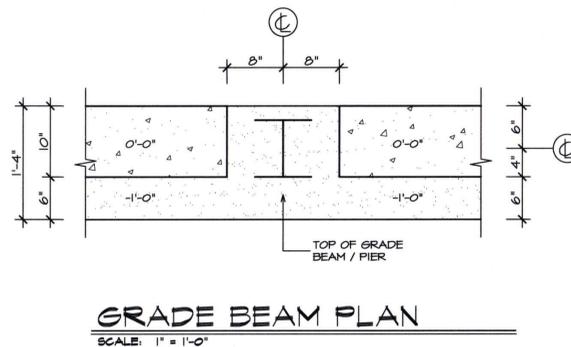
E GRADE BEAM @ ELEVATOR
SCALE: 3/4" = 1'-0"



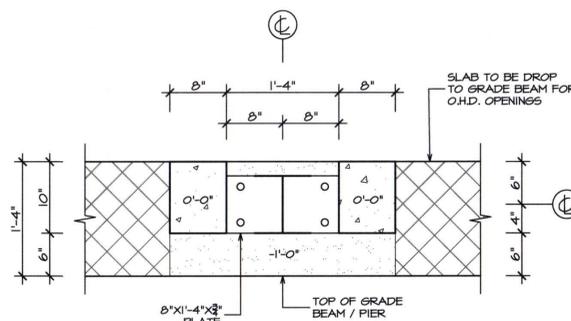
F GRADE BEAM @ COL. B
SCALE: 3/4" = 1'-0"



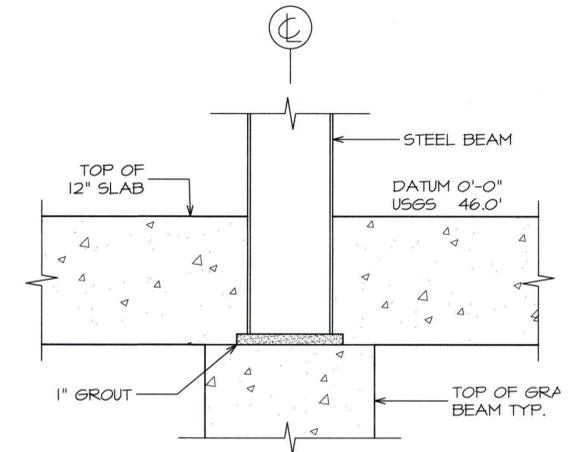
G GRADE BEAM PLAN @ CORNERS
SCALE: 1" = 1'-0"



H GRADE BEAM PLAN
SCALE: 1" = 1'-0"



I GRADE BEAM PLAN @ O.H.D.
SCALE: 1" = 1'-0"

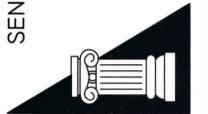


J GRADE BEAM ELEV.
SCALE: 1/2" = 1'-0"

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PROPOSED NEW FACILITY
TAPPAN FIRE DISTRICT
135 WASHINGTON STREET
TAPPAN, NY 10983

FOUNDATION PIER DETAILS

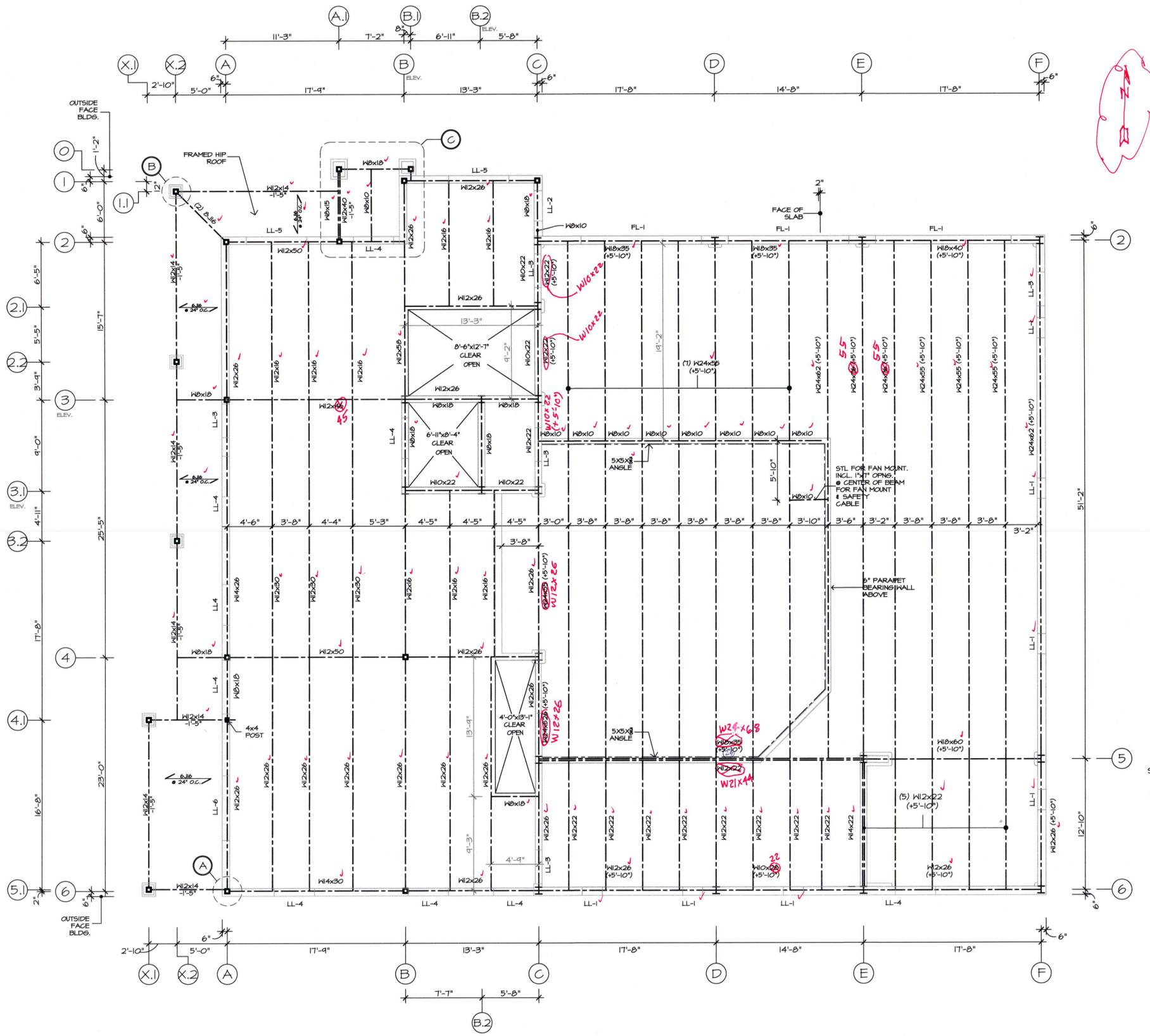
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S-1.2

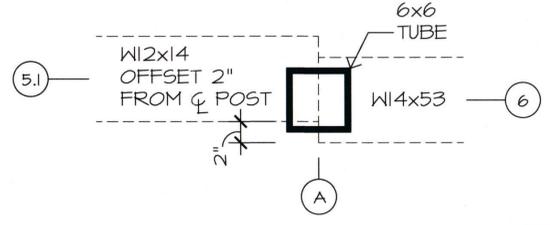


SECOND FLOOR FRAMING PLAN

SCALE: 3/16" = 1'-0"

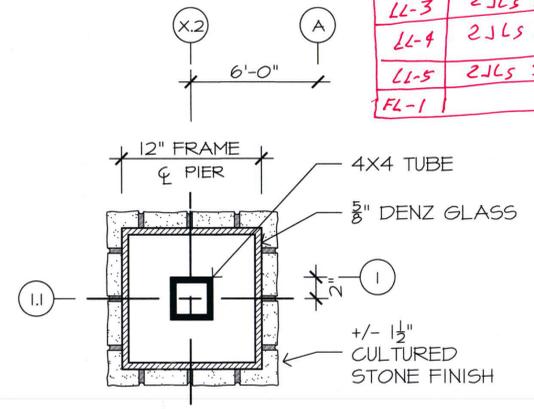
- NOTES:
1. TOP OF STEEL ELEVATION +11'-3" UNLESS NOTED OTHERWISE USING +11'-3" AS REFERENCE. ALL ELEVATIONS ARE FROM FIRST FLOOR DATUM ELEVATION 0'-0".
 2. SECOND FLOOR DECK TO BE 5" CONC. SLAB ON 1 1/2" DEEP 22-GAUGE 'B-LOK' COMPOSITE FLOOR DECK W/ 6"x6"-W4.0/W4.0 W/M.
 3. ATTIC FLOOR DECK TO BE 5" CONC. SLAB ON 1 1/2" DEEP 22-GAUGE 'B-LOK' COMPOSITE FLOOR DECK W/ 6"x6"-W4.0/W4.0 W/M.

LOAD NOTES:
 1. LL 100#/SF + 75#/SF DL USED FOR ALL ATTIC AREAS OVER 5'-0" HIGH.
 2. 50#/SF LL + 20#/SF DL PROVIDED FOR FLAT ROOF AREAS.

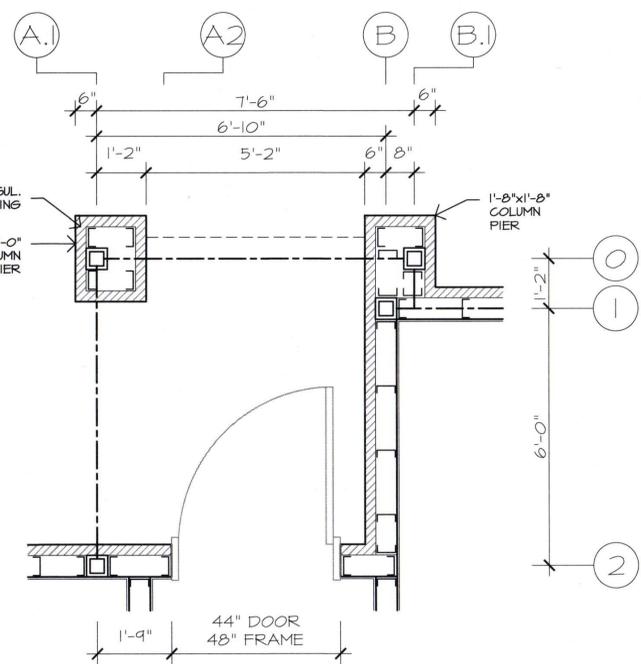


A POST DETAIL
SCALE: 1/2" = 1'-0"

LINTEL SCHEDULE	
MARK	SIZE
LL-1	2 JLS 3 1/2 x 3 1/2 x 5/16"
LL-2	2 JLS 3 1/2 x 3 1/2 x 5/16
LL-3	2 JLS 3 1/2 x 3 1/2 x 5/16
LL-4	2 JLS 3 1/2 x 4 x 5/16
LL-5	2 JLS 5 x 3 1/2 x 5/16



B PIER DETAIL
SCALE: 1/2" = 1'-0"



C PIER DETAIL
SCALE: 1/2" = 1'-0"

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PROPOSED NEW FACILITY
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 SECOND FLOOR/ATTIC FRAMING
 PLAN & DETAILS

PROJECT #: 2108.01A

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S-2

COLUMN SCHEDULE

COL. NO.	TIER	UPPER TRUSS ROOF +25'-0"	UPPER ATTIC/ FLAT ROOF FLOOR +17'-6"	2ND FLR. +11'-8"	1ST FL. +0'-0" (DATUM)	BASE PLATE SEE DETAILS
A-2				6" x 6" x 1/4"	6" x 6" x 1/4"	B
A-3				6" x 6" x 1/4"	6" x 6" x 1/4"	C
A-4				6" x 6" x 1/4"	6" x 6" x 1/4"	C
A-4.1				4" x 4" x 1/4"	4" x 4" x 1/4"	E
A-6				6" x 6" x 1/4"	6" x 6" x 1/4"	B
A1-0				6" x 6" x 1/4"	6" x 6" x 1/4"	E
A1-2				6" x 6" x 1/4"	6" x 6" x 1/4"	C
B-1				6" x 6" x 1/4"	6" x 6" x 1/4"	B
B-2 (ELEV.)				M Ø x 3/16"	M Ø x 3/16"	F
B-4				6" x 6" x 1/4"	6" x 6" x 1/4"	C
B-6				6" x 6" x 1/4"	6" x 6" x 1/4"	C
B-2.3 (ELEV.)				M Ø x 3/16"	M Ø x 3/16"	E
B-2.3.1 (ELEV.)				M Ø x 3/16"	M Ø x 3/16"	F
B-2.3.1 (ELEV.)				M Ø x 3/16"	M Ø x 3/16"	F
C-1				6" x 6" x 1/4"	6" x 6" x 1/4"	B
C-2				M Ø x 3/16"	M Ø x 3/16"	A
C-2.1				M Ø x 3/16"	M Ø x 3/16"	A
C-3				M Ø x 3/16"	M Ø x 3/16"	A
C-3.1				M Ø x 3/16"	M Ø x 3/16"	A
C-4				M Ø x 3/16"	M Ø x 3/16"	A
C-5				M Ø x 3/16"	M Ø x 3/16"	A
C-6				M Ø x 3/16"	M Ø x 3/16"	A
D-2				M Ø x 3/16"	M Ø x 3/16"	A
D-6				M Ø x 3/16"	M Ø x 3/16"	A
E-2				M Ø x 3/16"	M Ø x 3/16"	A
E-5				M Ø x 3/16"	M Ø x 3/16"	A
E-6				M Ø x 3/16"	M Ø x 3/16"	A
F-2				M Ø x 3/16"	M Ø x 3/16"	A
F-5				M Ø x 3/16"	M Ø x 3/16"	A
F-6				M Ø x 3/16"	M Ø x 3/16"	A
X1-5.1				4" x 4" x 1/4"	4" x 4" x 1/4"	E
X1-4.1				4" x 4" x 1/4"	4" x 4" x 1/4"	E
X2-3.2				4" x 4" x 1/4"	4" x 4" x 1/4"	E
X2-2.2				4" x 4" x 1/4"	4" x 4" x 1/4"	E
X2-1.1				4" x 4" x 1/4"	4" x 4" x 1/4"	E

- NOTES:**
- BOTTOM ELEV. OF ALL COLUMNS BELOW DATUM TO BE -1" + 1" NON-SHRINK GROUT (UNLESS NOTED OTHERWISE)
 - WELDED MASONRY ANCHORS ON ALL COLUMNS @ CMU SHALL BE FULL HEIGHT TYPICAL. COORDINATE W/ MASON FOR ANCHOR TIE INSTALLS.
 - ALL TUBE COLUMNS TO BE Fy = 46 ksi
 - ALL 'W' COLUMNS 50 ksi UNLESS NOTED OTHERWISE

TAPPAN PD - DESIGN CRITERIA:

DESIGN LOADS:
 GROUND SNOW LOAD = 36 PSF
 SNOW LOAD IMPORTANCE FACTOR $I_s = 1.2$
 THERMAL FACTOR $C = 1.0$
 FLAT ROOF SNOW LOAD = 25.2 PSF
 ROOF DEAD LOAD = 25 PSF
 ROOF LIVE LOAD = 20 PSF
 FLOOR (LL) = 100 PSF
 FLOOR (DL) = 50/105 PSF
 (DRIFTING LOADS IN ACCORDANCE WITH ASCE 7)
 WIND (128 MPH) = 42 PSF
 WIND IMPORTANCE FACTOR $I_w = 1.15$
 EXPOSURE 'B'
 INTERNAL PRESSURE COEFFICIENT = $\pm .18$
 DESIGN WIND PRESSURE FOR COMPONENTS & CLADDING = +34 PSF; -43 PSF
 OCCUPANCY CATEGORY IV

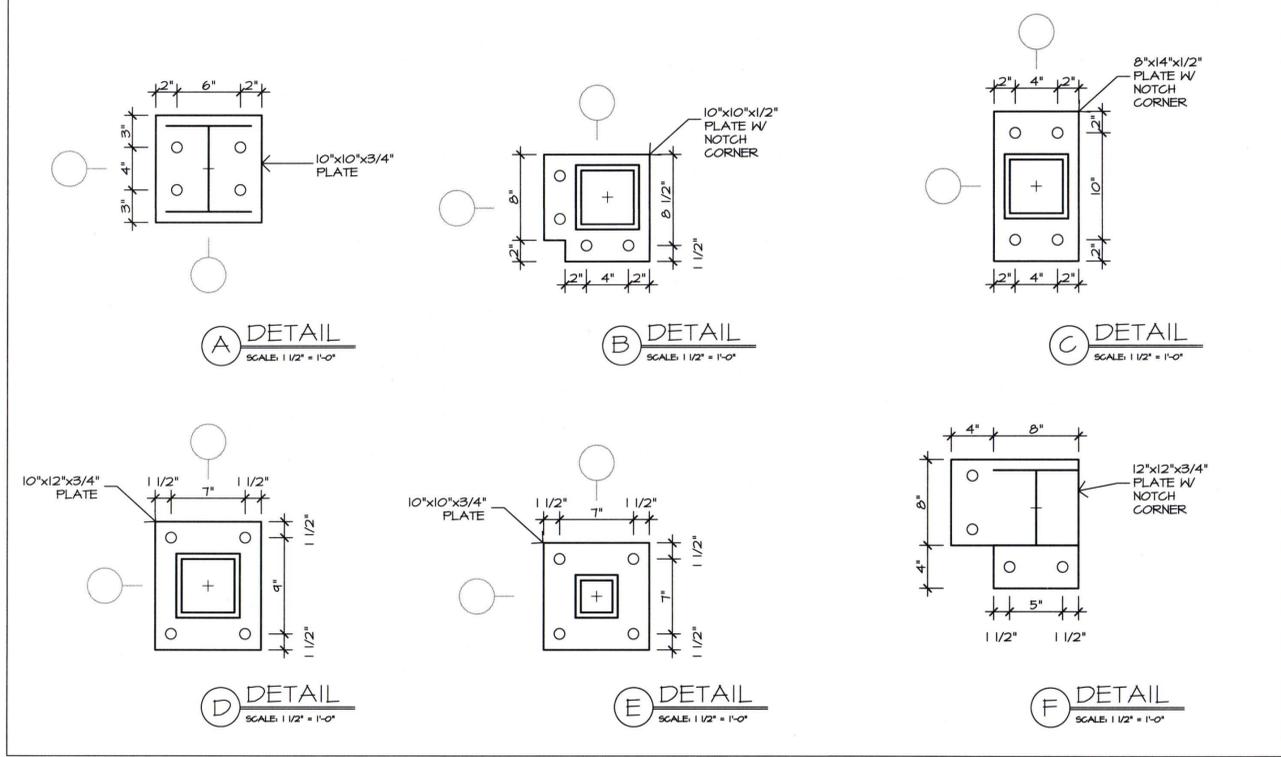
SEISMIC DESIGN PARAMETERS:

- $I_e = 1.50$; SEISMIC USE GROUP 'IV'
- $S_s = .299$
 $S_1 = .062$
- SITE CLASS "D"
- $S_{ps} = .259$
 $S_{pi} = .062$
- SEISMIC DESIGN CATEGORY 'C'
- SEISMIC COEFFICIENTS FOR ORDINARY REINFORCED MASONRY SHEARWALLS
 - A. $R = 2$
 - B. $\Omega = 2.5$
 - C. $C_d = 2$
 - D. REDUNDANCY COEFFICIENT = 1.0
 - E. FUNDAMENTAL PERIOD = .41 SEC.
 - F. $C_e = .115$
- SEISMIC COEFFICIENTS FOR LIGHT-FRAME (COLD-FORMED STEEL) WALL SYSTEMS USING PLAT STRIP BRACING
 - A. $R = 4$
 - B. $\Omega = 2$
 - C. $C_d = 3.5$
 - D. REDUNDANCY COEFFICIENT = 1.0
 - E. FUNDAMENTAL PERIOD = .51 SEC.
 - F. $C_e = .046$
- DESIGN BASE SHEAR = 95.6 KIPS

SPECIAL INSPECTIONS REQUIRED:

- STEEL
 - A. MATERIAL VERIFICATION OF STRUCTURAL STEEL
 - B. HIGH STRENGTH BOLTS
 - C. WELDING
 - D. JOINT DETAILS AS CONSTRUCTED
 - CONCRETE
 - A. REINFORCING STEEL
 - B. ANCHOR BOLTS
 - C. PLACEMENT & CURING
 - D. SAMPLING FRESH CONCRETE
 - MASONRY
 - A. MORTAR & JOINTS
 - B. REINFORCING
 - C. HOT & COLD WEATHER PROTECTION
 - D. GROUTING
 - PILE FOUNDATIONS
 - A. CONTINUOUS SPECIAL INSPECTIONS DURING INSTALLATION.
- * SOIL BEARING CAPACITY (PER TEST BORINGS REPORT)

BASEPLATE DETAILS



GENERAL STRUCTURAL NOTES

- FOUNDATION:**
- ALL PILE CAP FOOTINGS SHALL REST ON HELICAL PILES. SEE DETAILS DWG S-1
 - KEEP FOOTING BOTTOMS WELL DRAINED UNTIL FOOTINGS ARE IN PLACE, PUMP AS REQUIRED.
 - CONSTRUCTION JOINTS IN FOUNDATION WALLS SHALL BE NO MORE THAN 50 FEET APART AND NO LESS THAN 4'-0" FROM ANY PIER. REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONSTRUCTION JOINTS. DO NOT USE HORIZONTAL CONSTRUCTION JOINTS.
 - SLABS ON GRADE SHALL BE PLACED BY STRIP PLACING METHOD (MAX. WIDTH 50 FT. BY INFINITE LENGTH) WITH CONTROL JOINTS (SAM CUT) MAX. 30'-0" O.C.; CONSTRUCTION JOINTS SHALL BE LOCATED ALONG LENGTH OF PLACEMENT AND AT ENDS OF PLACEMENT.

CONCRETE:

- ALL CONCRETE WORK SHALL CONFORM TO ACI 301-16; EXTERIOR CONCRETE WORK SHALL BE 4000 PSI AIR-ENTRAINED. SLABS ON GRADE SHALL BE NORMAL WEIGHT CONCRETE.
- ALL REINFORCEMENT SHALL BE DEFORMED TYPE INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.
- TEMPERATURE REINFORCEMENT, SPLICES, SUPPORTS FOR REINFORCEMENT SHALL CONFORM TO REQUIREMENTS OF ACI-318 14.
- CONTINUOUS REINFORCEMENTS SHALL BE LAPPED 48 DIAMETERS AT SPLICES AND CORNERS AND HOOKED AT NON-CONTINUOUS ENDS OR EXTENDED 24 BAR DIAMETERS UNLESS OTHERWISE NOTED. DETAILING OF ALL REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI SP-66. (DB)
- PROVIDE TWO #6 ALL SIDES FOR OPENINGS IN CONCRETE WALLS UNLESS OTHERWISE NOTED. EXTEND BARS 2'-0" BEYOND OPENING; HOOK ENDS.
- PROVIDE SLEEVES AND BOX OUT FOR OPENINGS FOR MECHANICAL TRADES. OPENINGS SHALL BE PLACED SO AS NOT TO AFFECT THE STRENGTH OF STRUCTURAL MEMBERS.
- BEFORE PLACING CONCRETE, CONTRACTOR SHALL SUBMIT FOR REVIEW A COMPLETE SEQUENCE OF PLACING SCHEDULE, INDICATING ALL CONSTRUCTION JOINTS, TIME SCHEDULE, AND GUARANTEE OF CONTINUITY OF CONCRETE SUPPLY.

MASONRY:

- ALL CONCRETE BLOCK SHALL BE LOAD BEARING AND SHALL CONFORM TO ASTM STANDARD C-90 FOR GRADE 'N' UNITS. MORTAR SHALL BE TYPE 'M'.
- PROVIDE VERTICAL CONTROL JOINTS IN BLOCK WALL 30'-0" O.C. MAXIMUM USING A FINE MOLDED FILLER AND JAMB BLOCKS UNLESS DETAILED OTHERWISE.
- ALL BLOCK WALLS SHALL BE CONSTRUCTED WITH GALV. WALL REINFORCING. REINFORCING TO BE TRUSS-TYPE # 4 GAUGE AND PLACED A MAXIMUM OF 1'-4" O.C. VERTICALLY AND TO BE THE WIDTH RECOMMENDED BY THE MANUFACTURER. PROVIDE #5 BARS @ 32" O.C. VERT. IN ALL MASONRY WALLS
- FILL BLOCKS SOLID UNDER CONCENTRATED LOADS IN ALL BLOCK WALLS ABOVE AND BELOW GRADE.
- ALL ANCHORAGE PLACED IN MASONRY SHALL BE ANCHORED SECURELY WITH CONCRETE.
- ALL JAMBS AT MASONRY OPENINGS SHALL BE FILLED SOLID WITH CONCRETE.

STRUCTURAL STEEL:

- STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH AISC SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
 - ROLLED SHAPES AND PLATES SHALL CONFORM TO ASTM DESIGNATION A-572 UNLESS NOTED OTHERWISE; STEEL PIPE SHALL CONFORM TO ASTM A501; STRUCTURAL TUBING SHALL CONFORM TO ASTM A500 GRADE B.
 - SHOP CONNECTIONS SHALL BE WELDED. FIELD CONNECTIONS SHALL BE 3/4" DIAMETER A-325 TYPE N CONNECTION, EXCEPT WHERE FIELD WELDING IS CALLED FOR ON THE DRAWING.
 - WELDING SHALL COMPLY WITH AWS SPECIFICATIONS. USE ETOXX ELECTRODES.
 - ALL STEEL SHALL RECEIVE ONE SHOP COAT OF RUST-INHIBITIVE PAINT.
 - PROVIDE ANGLE ANCHORS AT ENDS OF ALL BEAMS RESTING ON MASONRY OR CONCRETE.
 - CONNECTIONS TO BE DOUBLE ANGLE CONNECTIONS UNLESS NOTED OTHERWISE.
 - ALL BASE PLATES SHALL BE ANCHORED WITH (4) 3/4" DIAMETER BY 18" LONG ANCHOR RODS UNLESS NOTED OTHERWISE.
 - ALL LOOSE LINTELS SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END OF M.O.; PROVIDE FLASHING AT ALL EXTERIOR OPENINGS. ALL WIDE FLANGE LINTELS SHALL HAVE A MINIMUM OF 10" BEARING EACH END OVER 16" BRICK MASONRY.
 - PROVIDE ALL BOLTS, HOLES ANCHORS, ANGLES, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION AND AS REQUIRED BY THE WORK OF OTHER TRADES.
 - PROVIDE MASONRY ANCHORS AT 32" O.C. ON ALL SPANDREL BEAMS AND 16" O.C. ON ALL COLUMNS. HOHMANN & BARNARD 1/4" #4WT GALV. WALL TIE W/ #354 GALV. WELD-ON TIES OR APP. EQUAL.
- STEEL DECK:**
- STEEL ROOF DECK SHALL BE 22 GAUGE, 1 1/2" DEEP, GALVANIZED, TYPE 'B' AS MANUFACTURED BY UNITED STEEL DECK INC. OR APPROVED EQUAL; FLOOR DECK SHALL BE 1 1/2" DEEP GALV. 22 GAUGE B-LOK COMPOSITE FLOOR DECK
 - WELD SIDE LAPS AT MID-POINT OF SPAN.

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 WALDEN, NY 12586
 (845) 275-8859

PROPOSED NEW FACILITY
 TAPPAN FIRE DISTRICT
 135 WASHINGTON STREET
 TAPPAN, NY 10983

COLUMN SCHEDULE & DETAILS

PROJECT #: 2108.01A

DRAWN BY:

CAD FILE: 2108.01A/P./BID

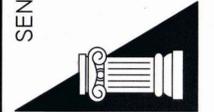
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PROPOSED PAVILLION
 TAPPAN FIRE DISTRICT
 300 WESTERN HIGHWAY SOUTH
 TAPPAN, NY 10983

LOWER LEVEL/FOUNDATION PLAN

PROJECT #: 2108.02

DRAWN BY: AR/JC

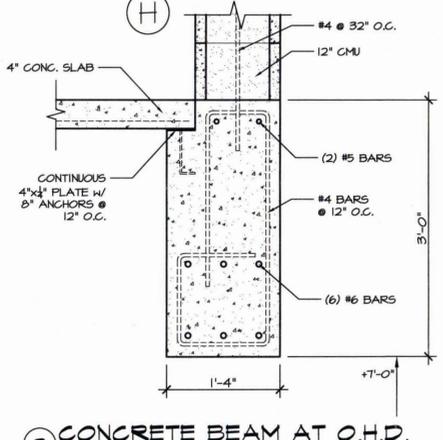
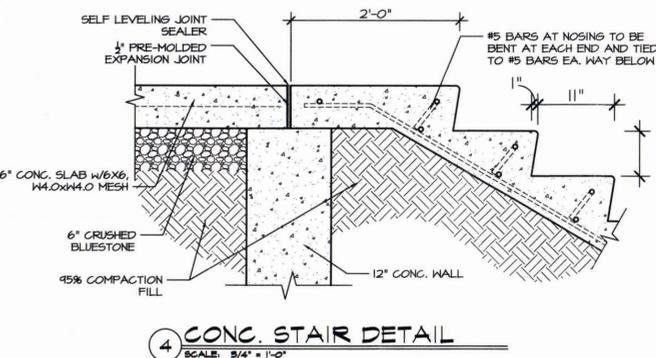
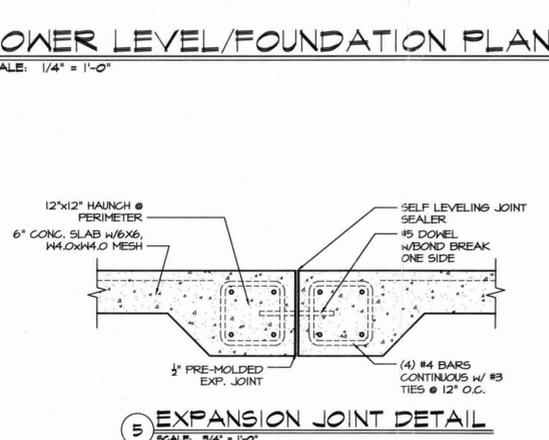
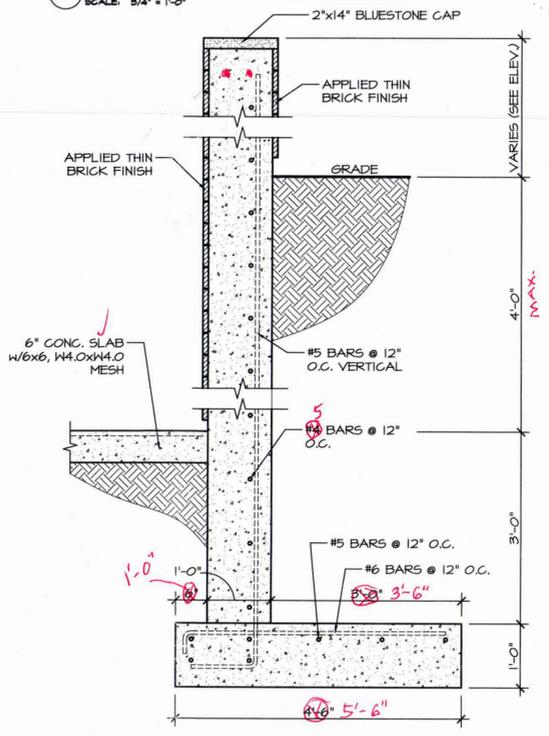
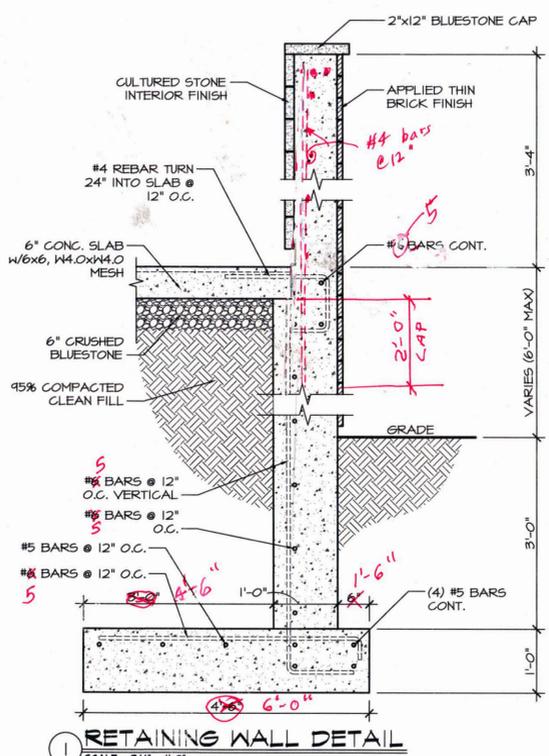
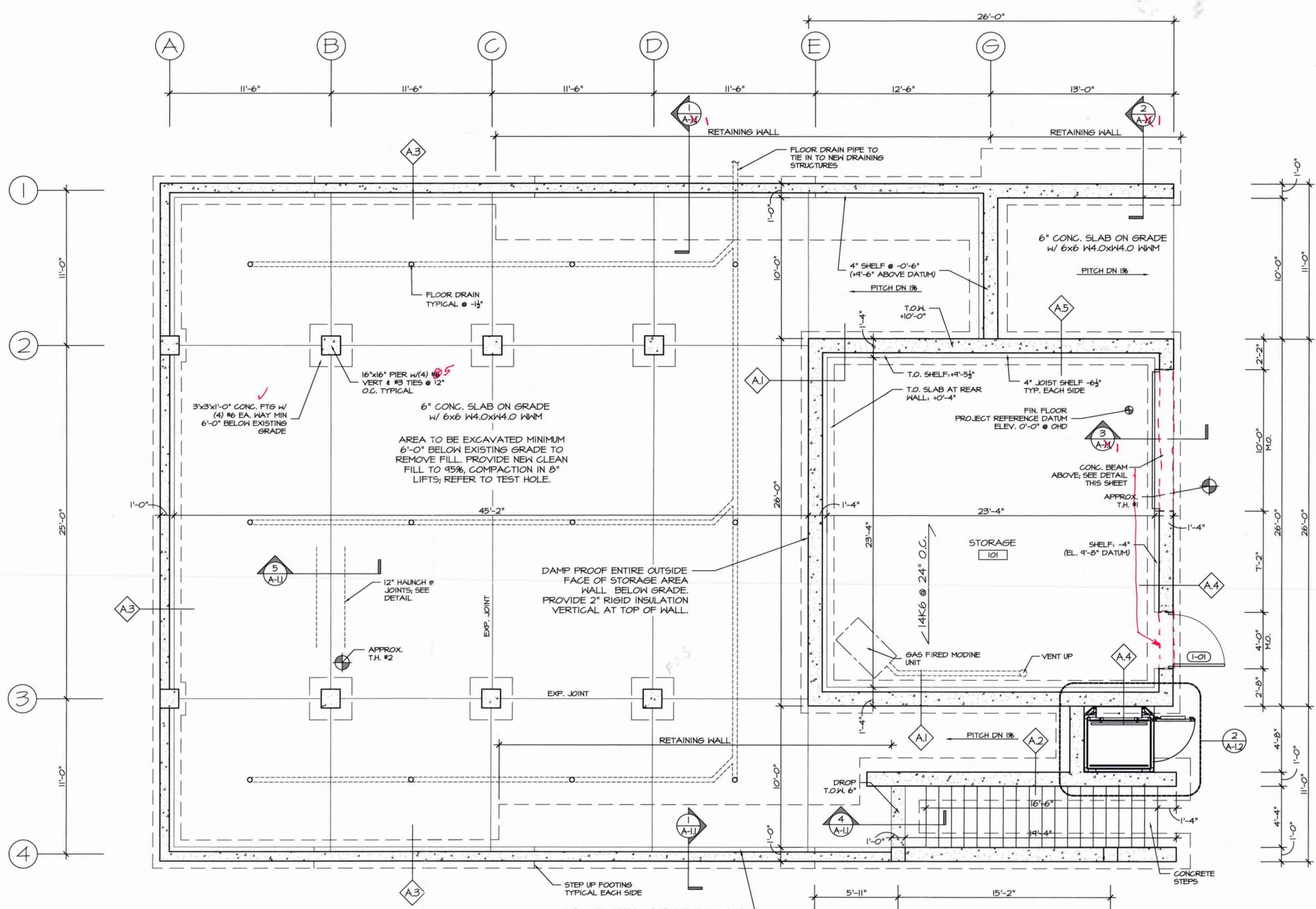
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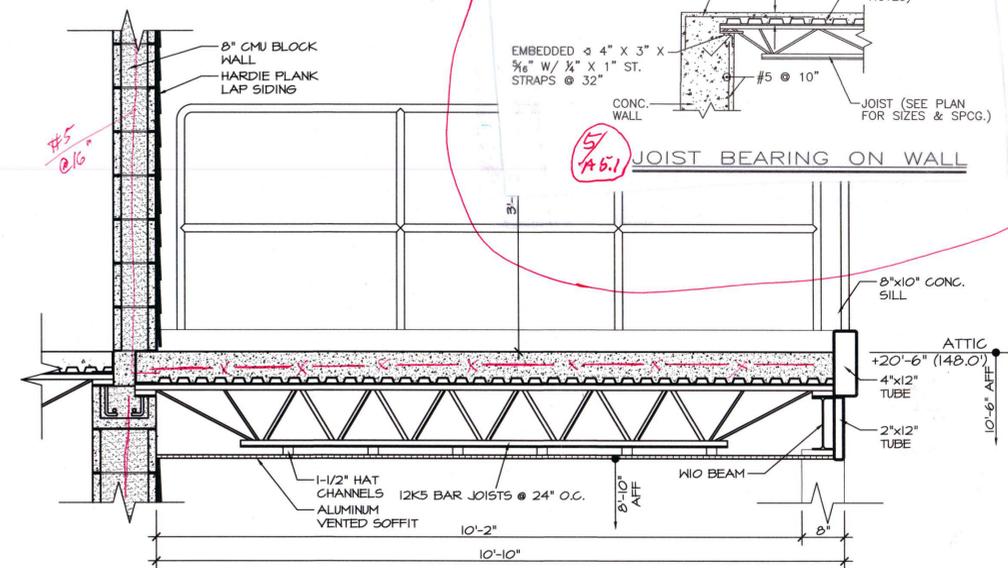
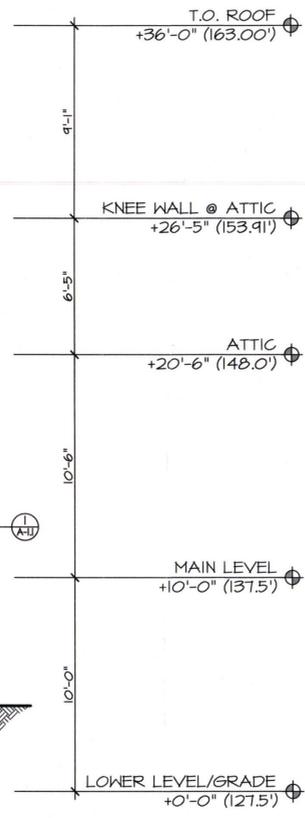
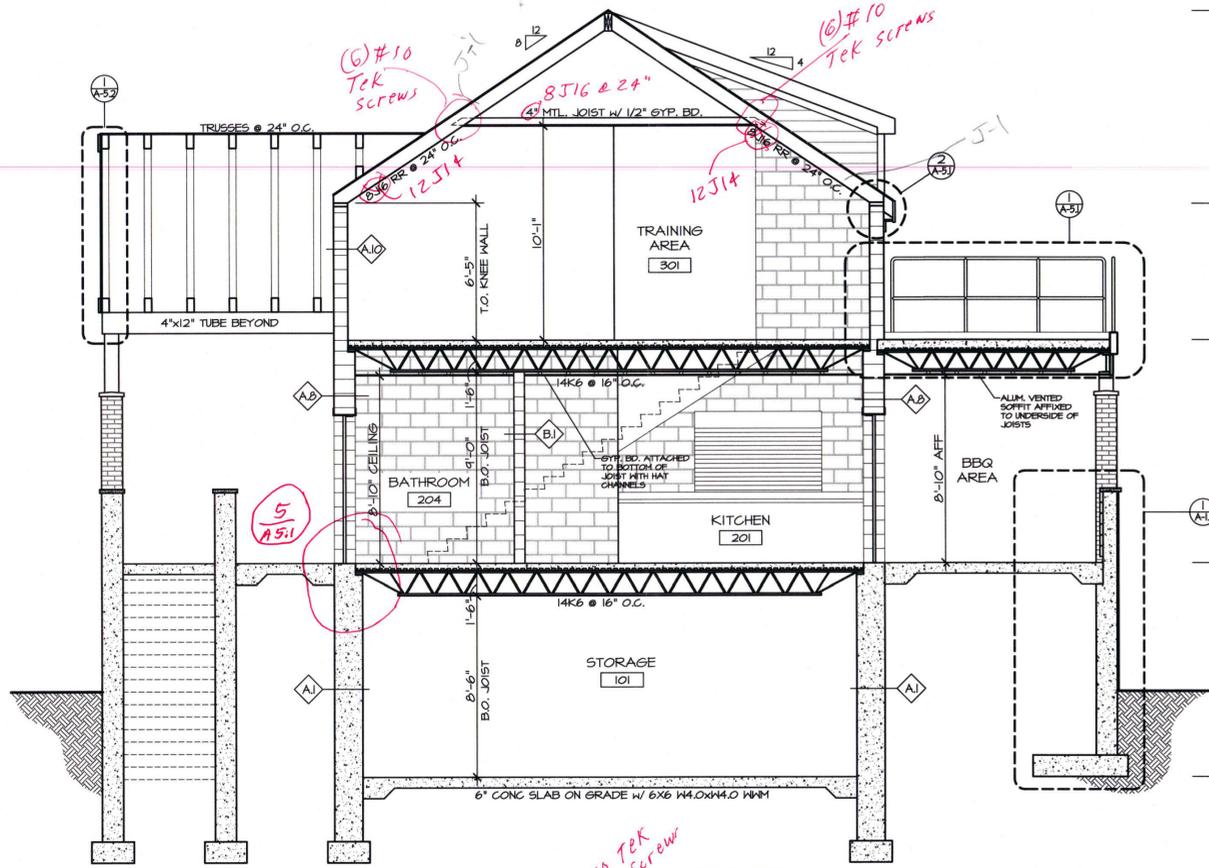
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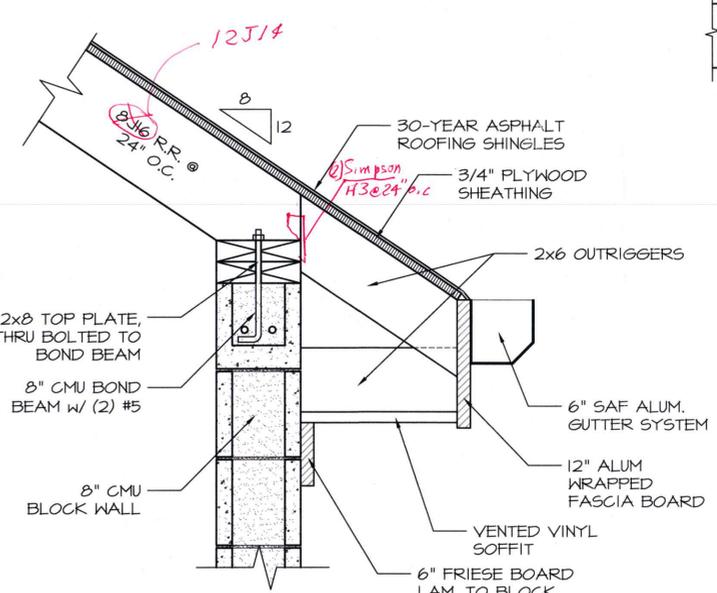
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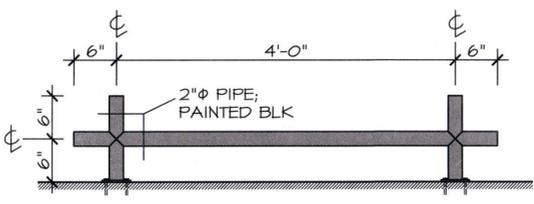




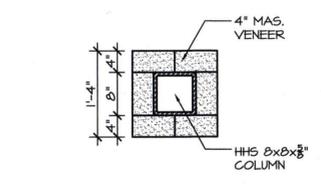
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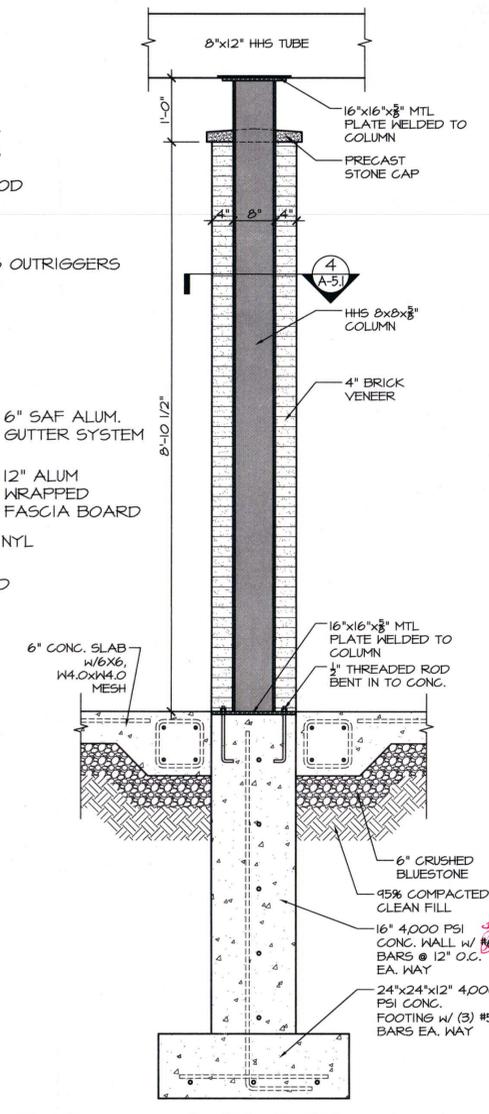
TYPICAL SOFFIT DETAIL
SCALE: 1-1/2" = 1'-0"



STAND-OFF PIPE DETAIL
SCALE: 1-1/2" = 1'-0"

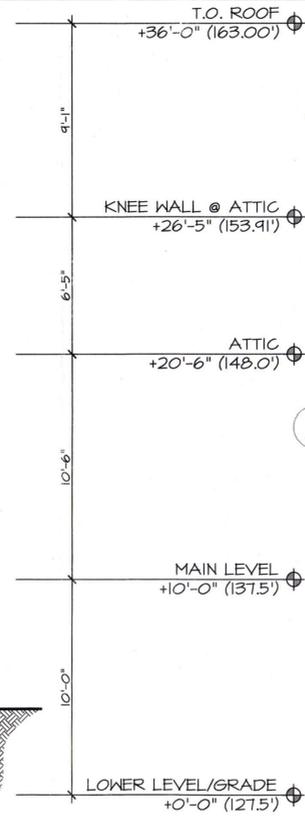
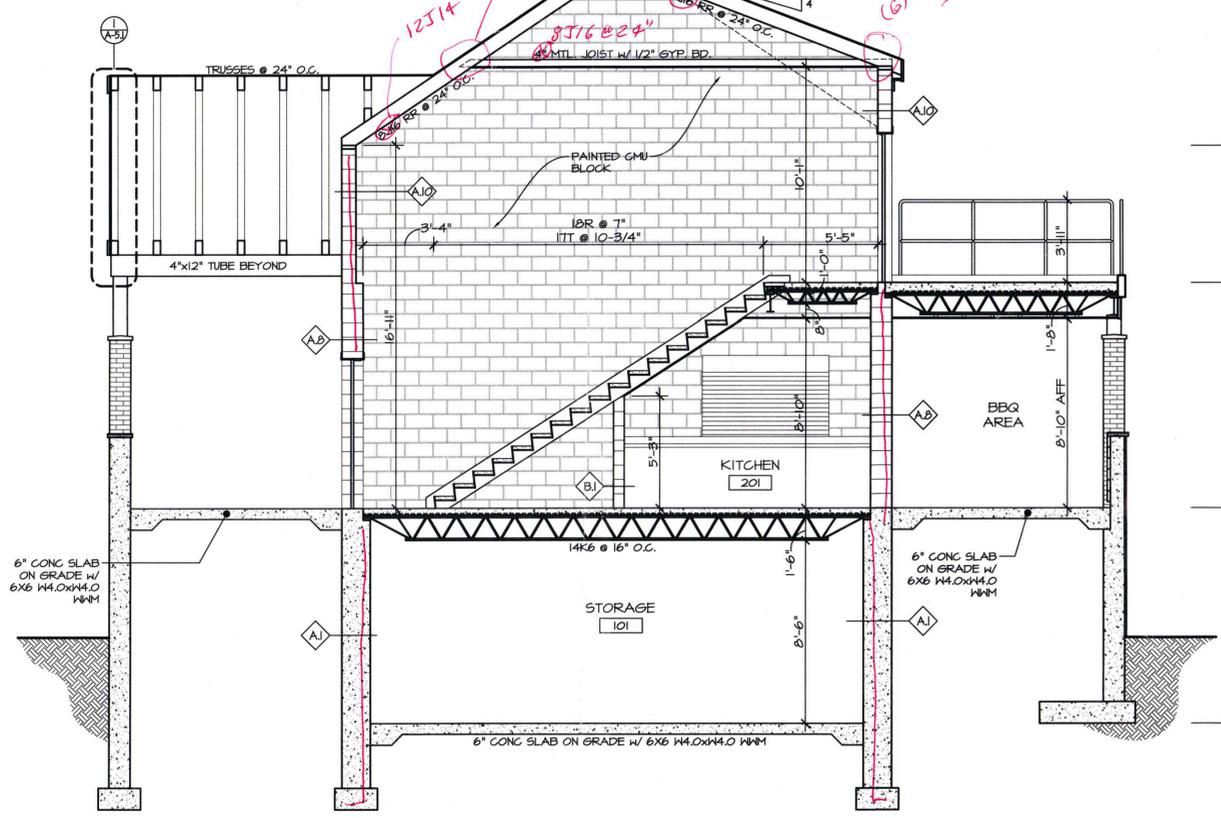


PIER SECTION
SCALE: 3/4" = 1'-0"



TYPICAL PIER DETAIL
SCALE: 3/4" = 1'-0"

SECTION
SCALE: 1/4" = 1'-0"



SECTION
SCALE: 1/4" = 1'-0"

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PROPOSED PAVILION
TAPPAN FIRE DISTRICT
300 WESTERN HIGHWAY SOUTH
TAPPAN, NY 10983

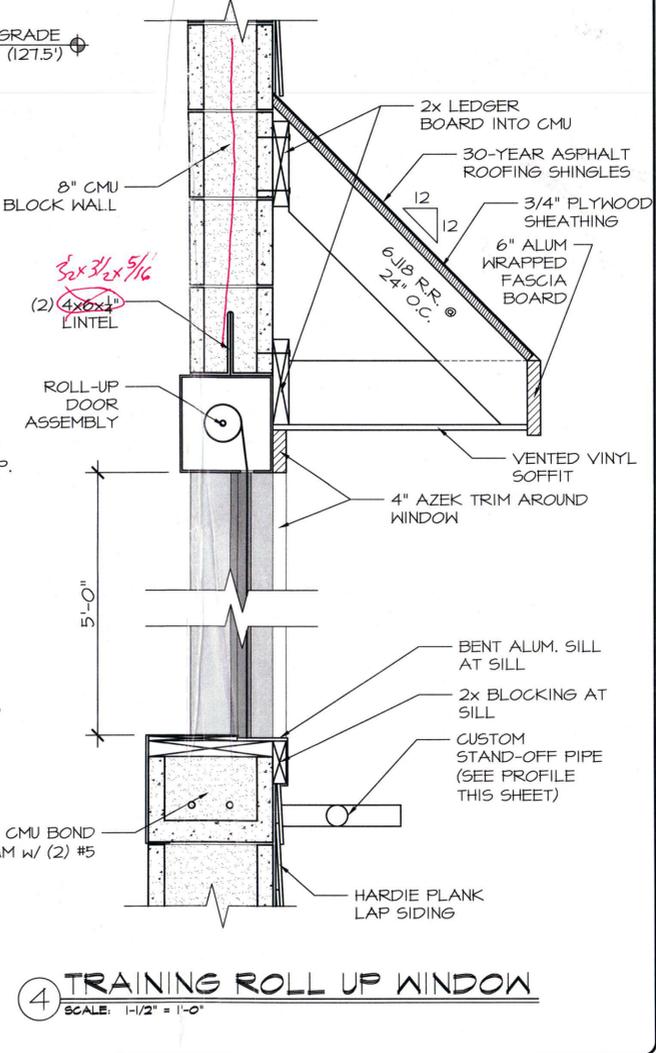
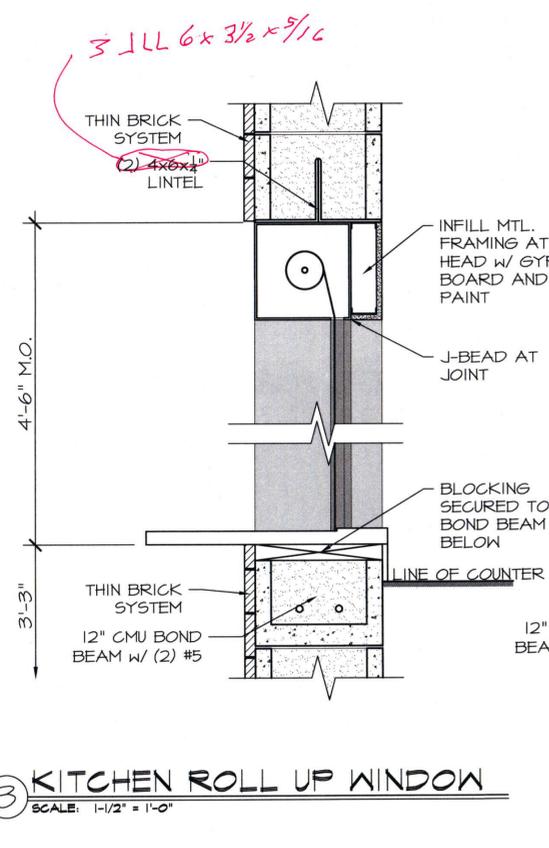
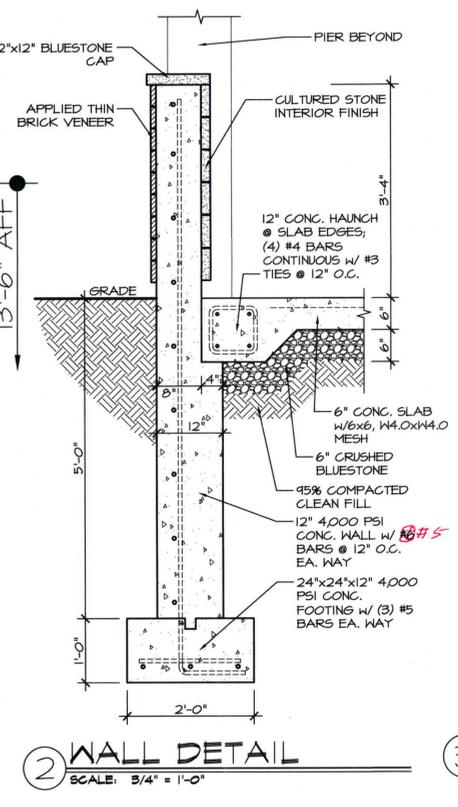
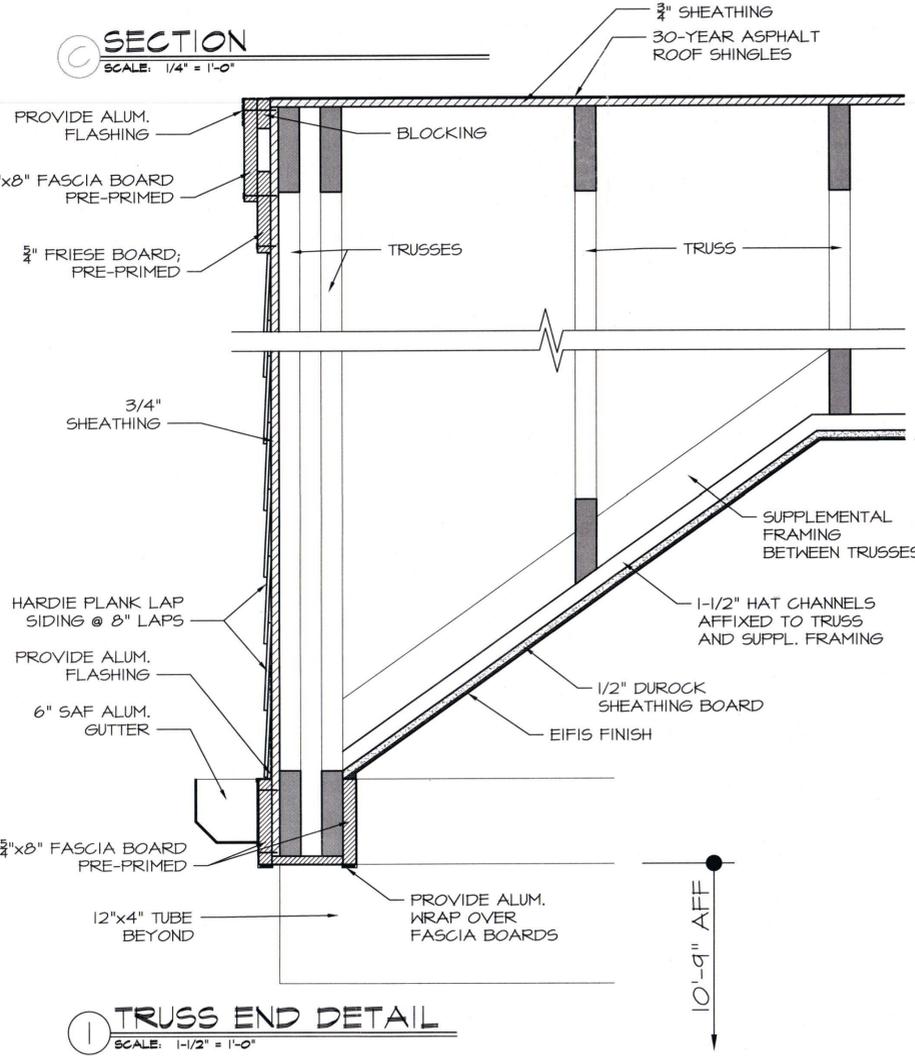
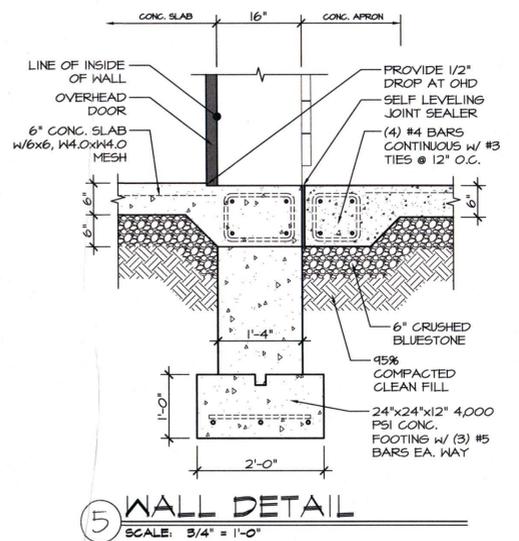
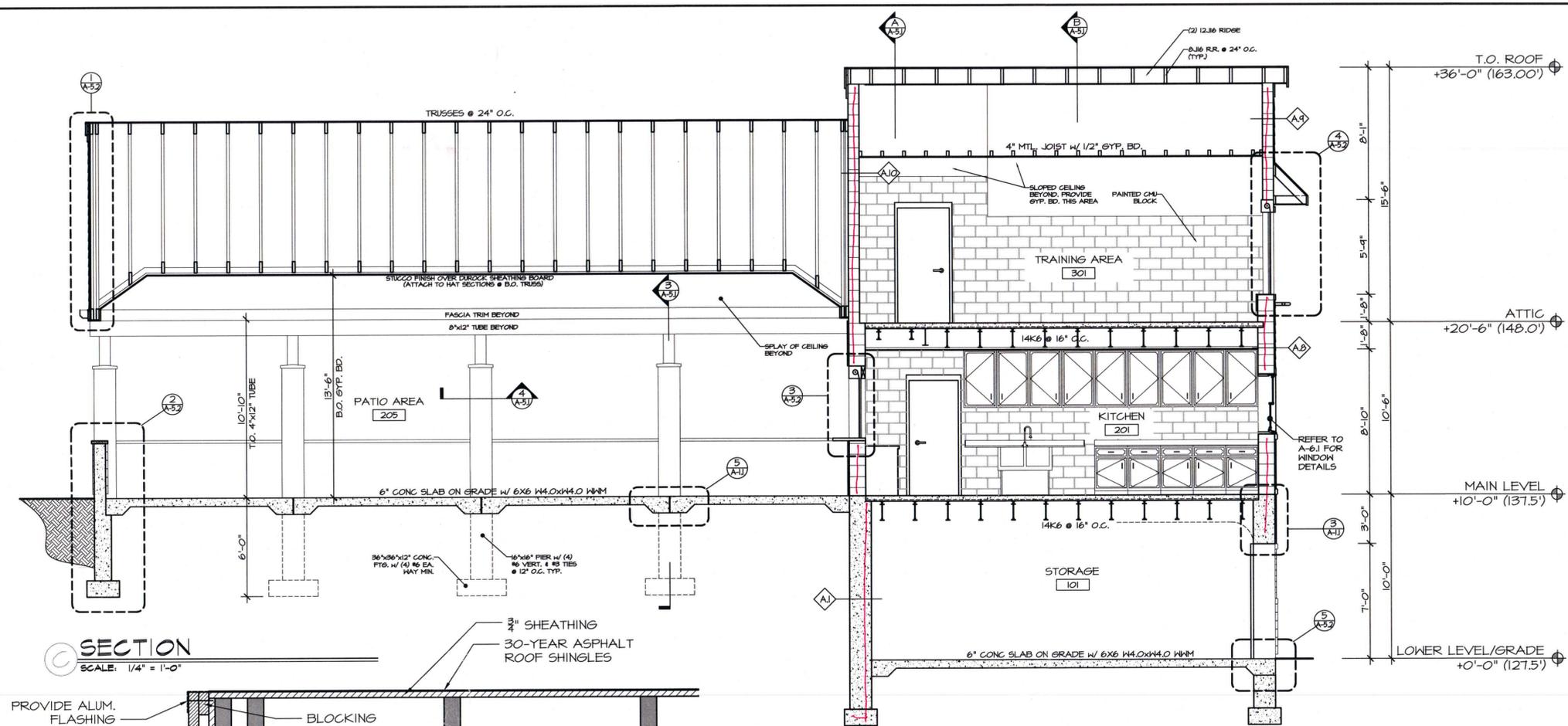
SECTIONS & DETAILS

PROJECT #: 2108/C
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07-11-22 UPDATE



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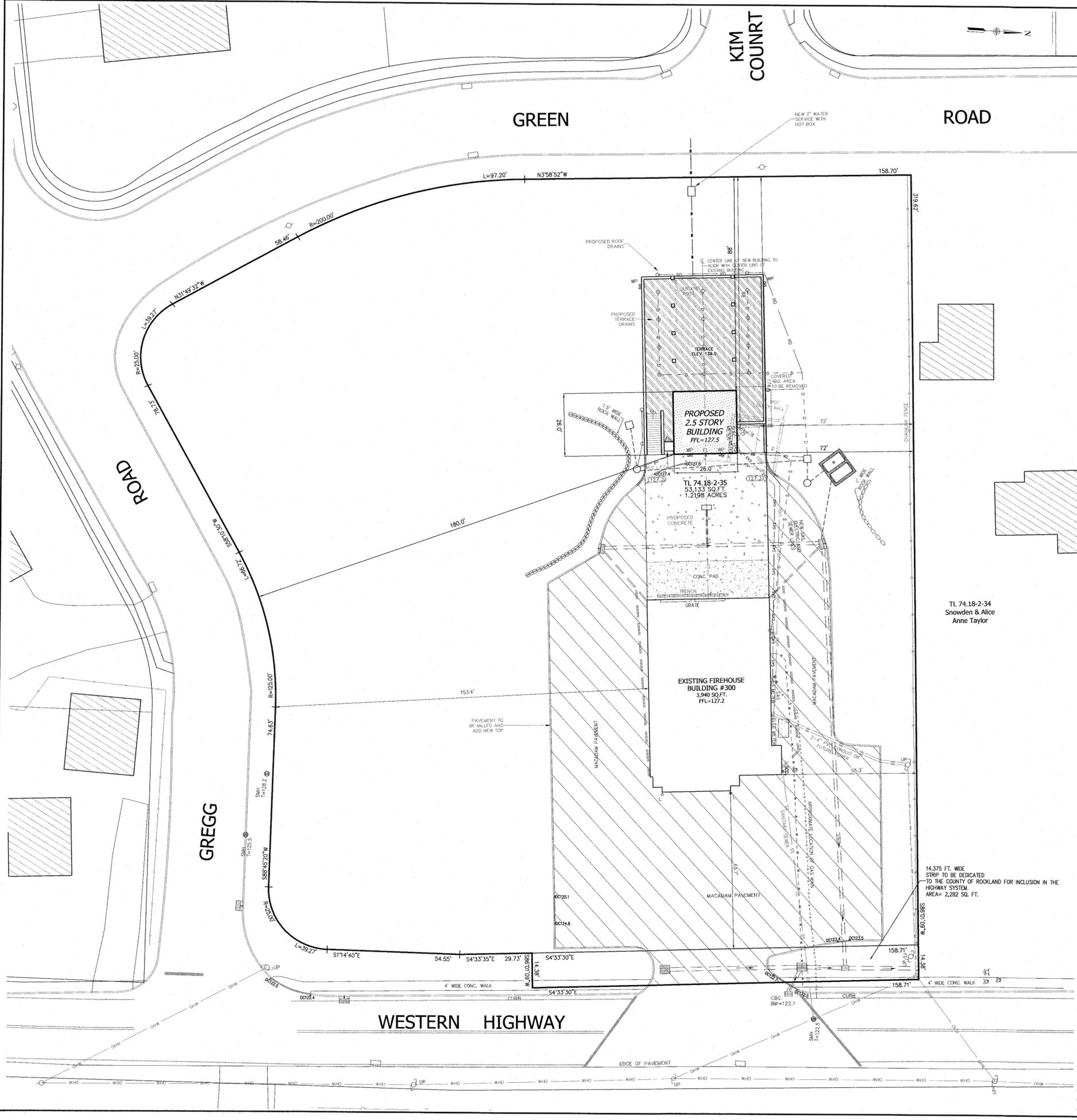
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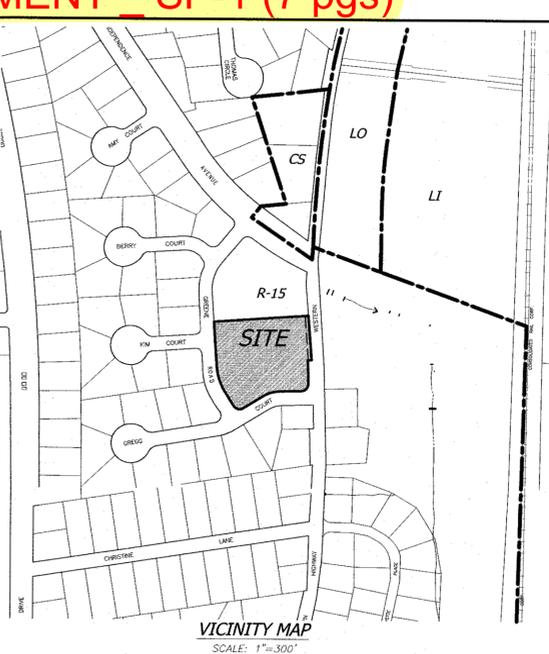
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 DRAWING#:

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PAVILION
 07-11-22 UPDATE



- NOTES:**
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 - NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT AND/OR THE TOWN OF ORANGETOWN.
 - LOT DRAINAGE ON THIS PLAN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
 - ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
 - NO OPEN BURNING DURING CONSTRUCTION WITHOUT SPECIFIC PERMISSION FROM NEW YORK STATE DEPARTMENT OF HEALTH.
 - DATUM: NAVD 1988-CATCHBASIN GREENBUSH ROAD.
 - NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPARTMENT.
 - DURING THE COURSE OF CONSTRUCTION, ALL STORM DRAIN INLETS SHALL BE PROTECTED WITH A HAY BALE FILTER (SEE DETAIL).
 - ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
 - THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH (TO BE INSTALLED AFTER FINAL GRADING). SAID PINS SHOWN THUS: ●
 - THIS SITE PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION DRAWINGS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
 - SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHWAY DEPARTMENT SPECIFICATIONS.
 - TEMPORARY SEDIMENT ENTRAPMENT AREAS SHALL BE PROVIDED AS SHOWN TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
 - ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFURNISHED FOR MORE THAN THIRTY (30) DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 LB. OF RYE GRASS OR MULCH WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
 - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 - AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - PERMANENT VEGETATION COVER SPECIFICATIONS:
LAWN AREA - PER 1,000 S.F.
15 LBS. 10-6-4 50% SLOW RELEASE FERTILIZER
70 LBS. GRANULATE LIMESTONE
4 LBS. SEED MIXTURE
40% KENTUCKY BLUE
40% RED FESCUE
20% PERENNIAL RYEGRASS
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&M OF THE GENERAL MUNICIPAL LAW.
 - CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRECONSTRUCTION MEETING MUST BE HELD WITH THE DEPUTY SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 - TREE PROTECTION:**
A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS, WHICH WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES, ARE AS FOLLOWS:
A) NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
B) TREES WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
C) TREES TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES.
D) TREES TO BE SAVED WILL BE FENCED AT THE OUTER DRIP LINE.
E) NO EARTH FILLS GREATER THAN 6" IN DEPTH WILL BE MADE BENEATH TREES TO BE PRESERVED.
F) IN FILL AREAS, TREES WILL BE PRESERVED IN TREE WELLS, OR THROUGH THE USE OF RETAINING WALLS.
G) IN CUT AREAS, TREES WILL BE PRESERVED WITH RETAINING WALLS.
 - ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE TWO REGULATIONS.
 - A DRAINAGE PERMIT IS REQUIRED FROM THE ROCKLAND COUNTY DRAINAGE AGENCY PRIOR TO ISSUANCE OF BUILDING PERMIT.
 - PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A FLOOD ELEVATION CERTIFICATE IS TO BE SUBMITTED TO THE TOWN OF ORANGETOWN BUILDING DEPT.



OWNER & APPLICANT:
TAPPAN FIRE DISTRICT
PO BOX 525
TAPPAN, NY 10983

TAX MAP REFERENCE:
TOWN OF ORANGETOWN
SECTION 74.18, BLOCK 2, LOTS 35

SITE ADDRESS:
TAPPAN FIRE DISTRICT
300 WESTERN HIGHWAY
TAPPAN, NY 10983

AREAS:
90,393 SQ.FT. OR 2.07 ACS

- DISTRICTS:**
- SCHOOL DISTRICT - SOUTH ORANGETOWN CENTRAL SCHOOL DISTRICT NO. 1
 - FIRE DISTRICT - TAPPAN
 - WATER DISTRICT - TAPPAN
 - SEWER DISTRICT - ORANGETOWN SEWER DISTRICT
 - LIGHTING DISTRICT - TOWN OF ORANGETOWN

DRAWING LIST

DRAWING No.	TITLE	ORIGIN DATE	LAST REVISION
DRAWING 1	SITE DEVELOPMENT PLAN	10-28-2021	07-15-2022
DRAWING 2	EXISTING CONDITION	10-28-2021	07-15-2022
DRAWING 3	GRADING PLAN	10-28-2021	07-15-2022
DRAWING 4	DETAILS	10-28-2021	07-15-2022
DRAWING 5	EROSION & SEDIMENT CONTROL PLAN	10-28-2021	07-15-2022
DRAWING 6	LANDSCAPING PLAN	10-28-2021	07-15-2022
DRAWING 7	LIGHTING PLAN	10-28-2021	07-15-2022

BULK REQUIREMENTS:

ZONE R-15, GROUP P	REQUIRED/PERMITTED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO	NONE	0.08	0.10
MINIMUM LOT AREA (SQ.FT.)	NONE	90,393 SQ.FT. (NET)	90,393 SQ.FT. (NET)
MINIMUM LOT WIDTH	NONE	N/A	N/A COR LOT
MINIMUM STREET FRONTAGE	50 FT.	158.7 FT.	266.7 FT.
FRONT YARD	100 FT.	65.7 FT.	88 FT. *
SIDE YARD	100 FT.	55.3 FT.	72 FT. *
TOTAL SIDE YARD	200 FT.	N/A COR LOT	N/A COR LOT
REAR YARD	100 FT.	N/A	N/A
MAXIMUM BUILDING HEIGHT	NONE	25 FT.	32 FT.

*-DENOTES VARIANCE REQUIRED

PARKING REQUIREMENTS: LOT AREA CALCULATIONS

NOT LISTED IN CODE 13 SPACES PROVIDED

GROSS LOT AREA = 90,393 SQ. FT.

NET LOT AREA FOR ZONING PURPOSES = 89,252 SQ. FT. OR 2.049 ACRES

LEGEND

- EXISTING 2" CONTOUR
- EXISTING 10' CONTOUR
- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING GAS LINE
- EXISTING CATCH BASIN
- EXISTING STORM DRAIN LINE
- EXISTING SEWER MAINLINE
- EXISTING SEWER LINE
- EXISTING SPOT ELEVATION
- EXISTING STONEWALL
- EXISTING SIGN
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- LIMIT OF 100 YEAR FLOODPLAIN
- LIMIT OF 500 YEAR FLOODPLAIN
- GAS - PROPOSED GAS LINE

THE EDUCATION LAW OF THE STATE OF NEW YORK PROVIDES THAT NO PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE PERMITTED TO SIGN ANY DRAWING OR SPECIFICATION UNLESS HE IS A MEMBER OF A PROFESSIONAL SOCIETY OF ENGINEERS OR ARCHITECTS AND IS REGISTERED WITH THE STATE OF NEW YORK. THE PROFESSIONAL SOCIETY OF ENGINEERS AND ARCHITECTS OF THE STATE OF NEW YORK HAS REVIEWED THIS DRAWING AND HAS FOUND THAT IT COMPLIES WITH THE REQUIREMENTS OF THE EDUCATION LAW OF THE STATE OF NEW YORK.

RYAN A. NASHER, P.E.
N.Y.S.P.E. LIC. NO. 89066

JOHN R. ATZL, P.E.
N.Y.S.P.E. LIC. NO. 59228

REVISION	DATE	DESCRIPTION
1	07-15-22	PER COMMENTS BY ARCHITECT

ATZL, NASHER & ZIGLER P.C.
ENGINEERS - SURVEYORS - PLANNERS

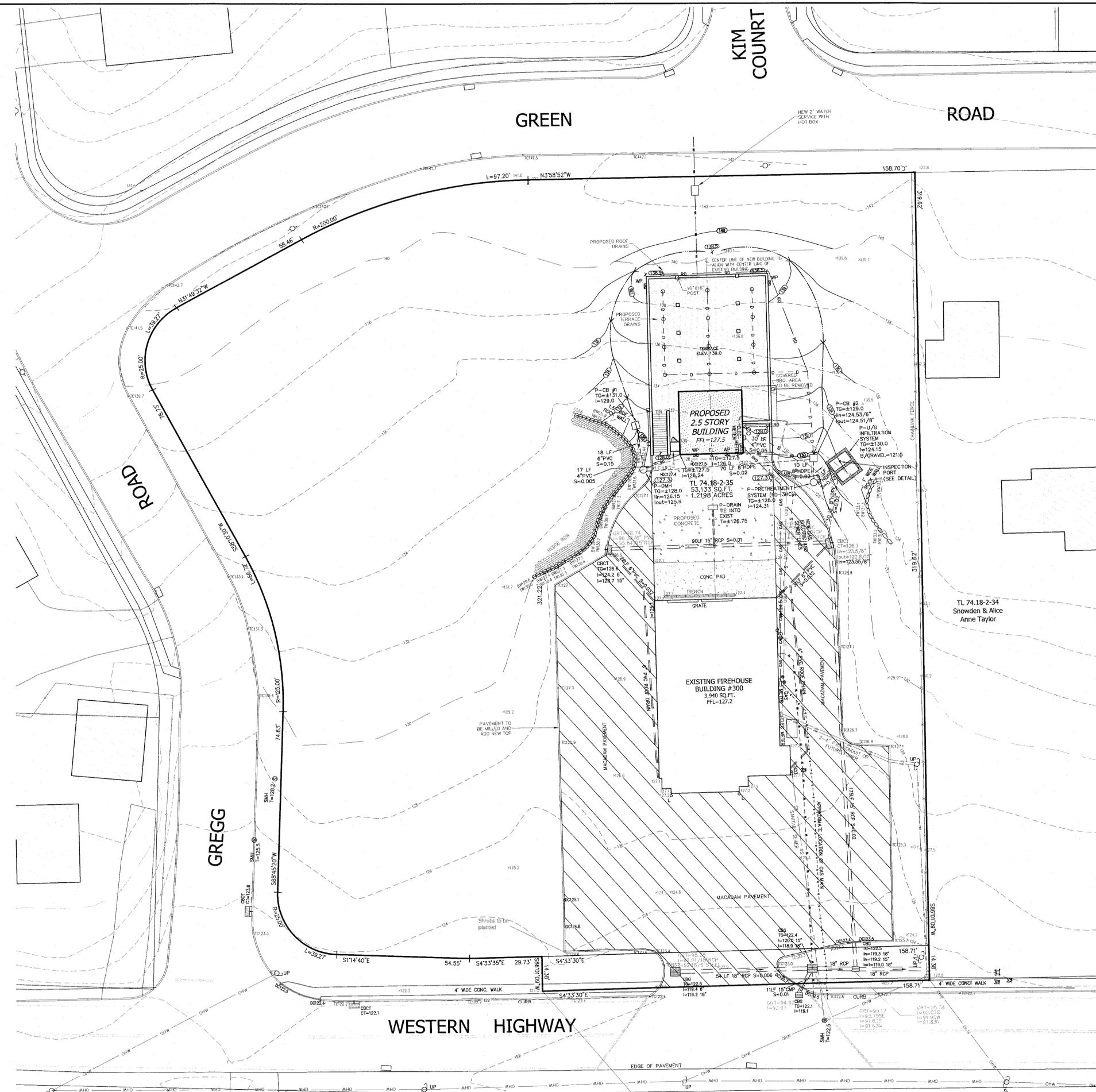
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT:
TAPPAN FIRE DISTRICT

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE:
SITE DEVELOPMENT PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: JUNE 24, 2022	SCALE: 1 IN. = 20 FT.
PROJECT NO:	DRAWING NO:
4924	1



LEGEND

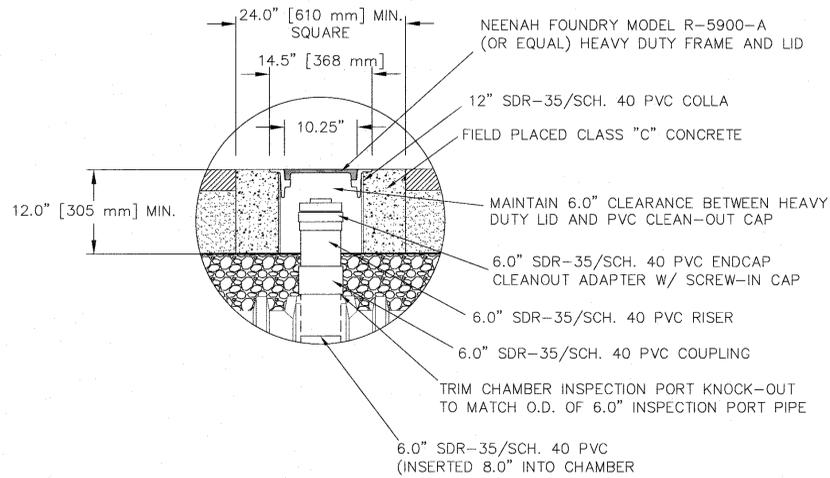
- 302 --- EXISTING 2' CONTOUR
- 300 --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- SD --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- S --- EXISTING SEWER LINE
- + 30.0 --- EXISTING SPOT ELEVATION
- ○ --- EXISTING STONEWALL
- ○ --- EXISTING SIGN
- ○ --- EXISTING LIGHT POLE
- ○ --- EXISTING UTILITY POLE
- --- LIMIT OF 100 YEAR FLOODPLAIN
- --- LIMIT OF 500 YEAR FLOODPLAIN
- GAS --- PROPOSED GAS LINE

THE EDUCATION LAW OF THE STATE OF NEW YORK PRESCRIBES THAT ANY PERSON ATTEMPTING TO PREPARE OR SIGN ANY DRAWING OR SPECIFICATION FOR A PROJECT OF A PROFESSIONAL ENGINEER, ARCHITECT, SURVEYOR, OR PLANNER WITHOUT BEING A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, SURVEYOR, OR PLANNER IN THE STATE OF NEW YORK IS VIOLATING SECTION 1305 OF THE EDUCATION LAW OF THE STATE OF NEW YORK AND IS SUBJECT TO A FINE OF UP TO \$5,000 AND/OR IMPRISONMENT FOR UP TO 1 YEAR OR BOTH.

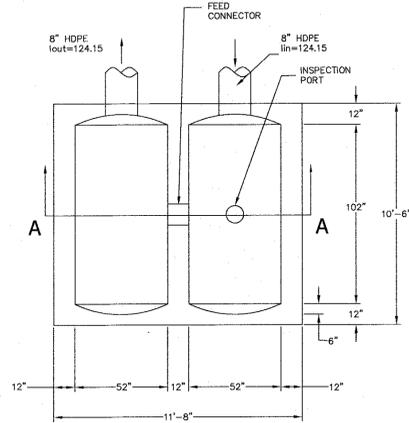
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

JOHN R. ATZL
N.Y.S. P.E. LIC. NO. 50228

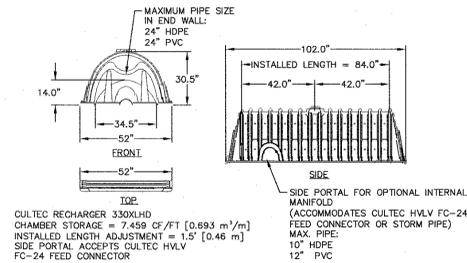
1	07-15-22	PER COMMENTS BY ARCHITECT
REVISION	DATE	DESCRIPTION
 ATZL, NASHER & ZIGLER P.C. ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.ANZNY.com		
PROJECT: TAPPAN FIRE DISTRICT		
TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK		
TITLE: GRADING PLAN		
DRAWN BY: LF	CHECKED BY: JRA	
DATE: OCTOBER 28, 2021	SCALE: 1 IN. = 20 FT.	
PROJECT NO: 4924	DRAWING NO: 3	



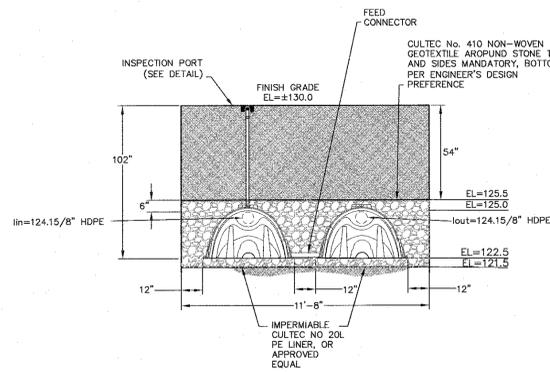
INSPECTION PORT DETAIL
SCALE: 1" = 1"



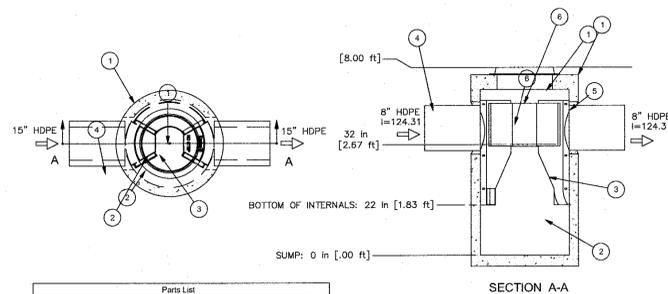
P-UNDERGROUND STORAGE SYSTEM
PLAN (CULTEC OR EQUAL) DETAIL
SCALE: 1" = 4"



CULTEC RECHARGER 330XLHD OR EQUAL HEAVY DUTY
SCALE: 1" = 4"



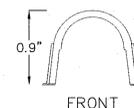
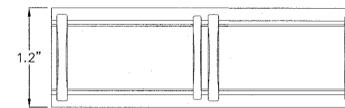
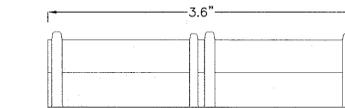
SECTION A-A: CULTEC RECHARGER
330XLHD OR APPROVED EQUAL
SCALE: 1" = 4"



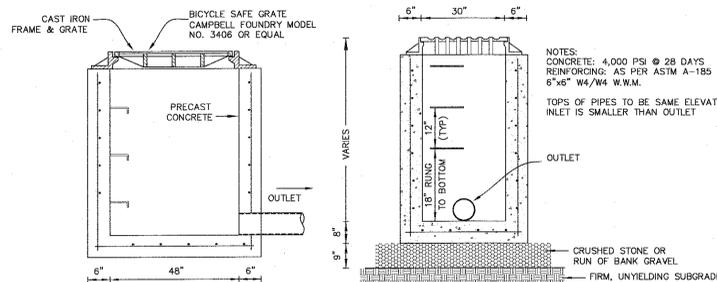
ITEM	QTY.	DESCRIPTION	SIZE (IN)
1	1	I.D. CONCRETE MANHOLE	36
2	1	INLET CHUTE (W/ FLOATABLES TRAP)	
3	1	OUTLET CHUTE	
4	1	INLET PIPE (BY OTHERS)	12
5	1	OUTLET PIPE (BY OTHERS)	12
6	1	HIGH FLOW BYPASS	
7	1	FRAME AND COVER (OR GRATE)	24

- CAPACITIES:**
1. PEAK HYDRAULIC FLOW: 15.0 cfs (424 l/s)
 2. TYPICAL TREATMENT FLOW: 0.84 cfs (23.78 l/s)
 3. SEDIMENT STORAGE CAPACITY: 0.4 cu. yd. (0.3 cu. m.)
 4. OIL STORAGE CAPACITY: 125 gal. (473 liters)
 5. MAXIMUM INLET/OUTLET PIPE DIAMETERS: 18 in. (450 mm)

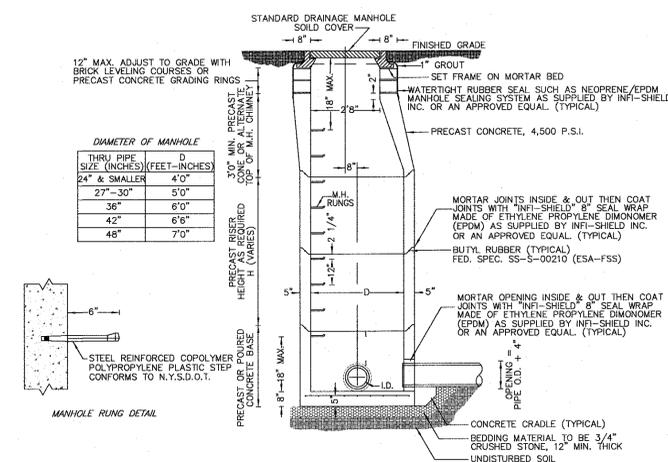
PRETREATMENT (FIRST DEFENSE FD-3HC OR EQUAL)
SCALE: N.T.S.



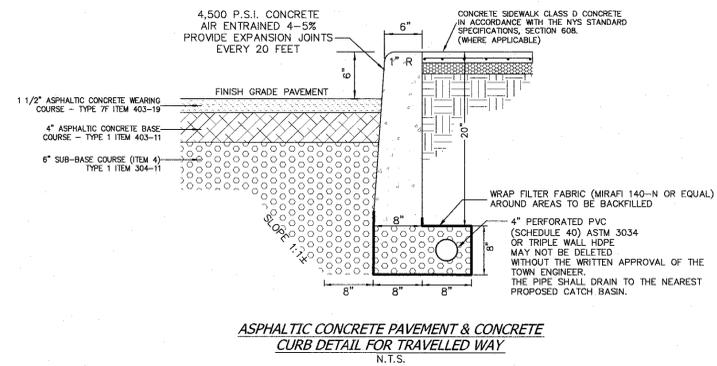
CULTEC HVLV FC-48 FEED CONNECTOR
N.T.S.



TYP. PRECAST FLAT GRATE CATCH BASIN DETAIL
N.T.S.



PRECAST STANDARD DRAINAGE MANHOLE SECTION
N.T.S.



ASPHALTIC CONCRETE PAVEMENT & CONCRETE CURB DETAIL FOR TRAVELLED WAY
N.T.S.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN ENGINEER AND THE TOWN BOARD OF SUPERVISORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN ENGINEER AND THE TOWN BOARD OF SUPERVISORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN ENGINEER AND THE TOWN BOARD OF SUPERVISORS.

RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

JOHN R. ATZL
N.Y.S. P.E. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
1	07-15-22	PER COMMENTS BY ARCHITECT

ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS

232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5643
E-mail: info@anzny.com
Web: www.ANZNY.com

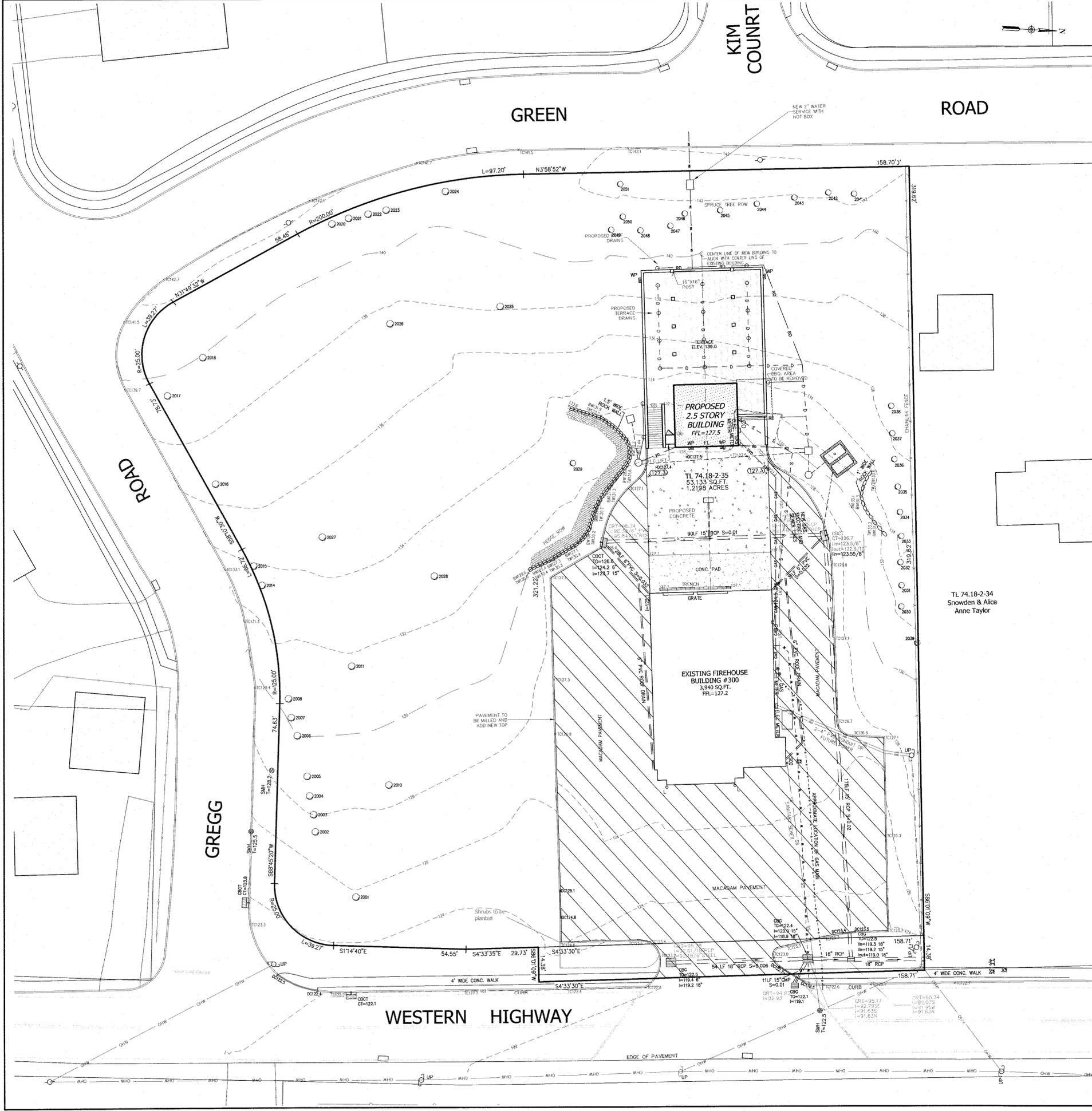
TAPPAN FIRE DISTRICT

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

DETAILS

DRAWN BY: LF
DATE: OCTOBER 28, 2021
PROJECT NO: 4924

CHECKED BY: JRA
SCALE: 1 IN. = 20 FT.
DRAWING NO: 4



LEGEND

- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING GAS LINE
- EXISTING CATCH BASIN
- EXISTING STORM DRAIN LINE
- EXISTING SEWER MANHOLE
- EXISTING SEWER LINE
- EXISTING SPOT ELEVATION
- EXISTING STONE WALL
- EXISTING SIGN
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- LIMIT OF 100 YEAR FLOODPLAIN
- LIMIT OF 500 YEAR FLOODPLAIN
- GAS --- GAS --- PROPOSED GAS LINE

PLANTING NOTES

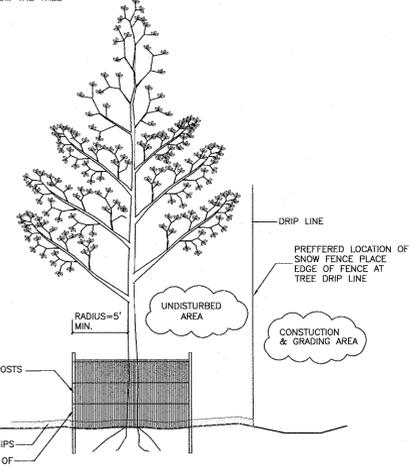
1. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE AND AFTER PLANTING.
2. ALL PLANTING SHALL BE PLACED UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. GIVE 48 HOURS NOTICE BEFORE PLANTING.
3. GUARANTEE ALL PLANTS AND WORKMANSHIP FOR A PERIOD OF TWO PLANTING SEASONS (ONE FULL YEAR).
4. PLACE 4" OF TOPSOIL ON ALL LAWN AREAS AND 12" TOP SOIL IN ALL PLANTING BEDS.
5. PLANT PITS SHALL BE 36" WIDER FOR TREES (MINIMUM OF TWO TIMES ROOT BALL DIAMETER) AND 24" WIDER FOR SHRUBS AND 6" DEEPER THAN THE ROOT BALL. SET PLANTS AT SAME LEVEL AS ORIGINALLY GROWN ON BASE OF UNDISTURBED SOIL. REMOVE ALL EXISTING SOIL FROM PLANT PIT AND BACKFILL WITH A MIXTURE OF ONE PART PEAT HUMUS, ONE PART DEHYDRATED COW MANURE, AND FOUR PARTS TOPSOIL. FERTILIZE ALL PLANTS WITH 2 TO 3 OZ. PER FOOT OF SHRUB HEIGHT AND 2 TO 3 LBS. PER INCH OF TREE TRUNK OF 5-10-5 FERTILIZER. FOR EVERGREEN PLANTING, ADD 1 LB. PER 100 SQUARE FEET OF PLANT BED EACH OF AMMONIUM SULFATE AND SUPERPHOSPHATE.
6. STAKE ALL TREES WITH TWO CEDAR STAKES; COVER TWISTED 10 GAGE GALVANIZED WIRE WITH RUBBER HOSE AND FASTEN AROUND TREE AT 5 FOOT HEIGHT MINIMUM. WRAP TRUNK WITH KRAFT PAPER TO FIRST BRANCH. REMOVE WIRES AND STAKES AFTER THE ONE YEAR.
7. MULCH ALL PLANTS AND PLANTED AREAS WITH A 4" DEPTH OF SHREDDED PINE, OAK BARK.
8. FERTILIZE AREAS BEFORE SEEDING OR SODDING WITH 15 LBS. PER 1000 SQUARE FEET OF 10-20-20 FERTILIZER OR APPROVED EQUIVALENT. REPEAT AFTER 8 WEEKS.
9. LAWN AREAS SHALL BE SEEDING AT 5 LBS. PER 1000 SQUARE FEET WITH THE FOLLOWING SEED MIX: 40% JAMESTOWN CHEWINKS FESCUE, 40% BARON KENTUCKY BLUEGRASS, AND 20% YORKTOWN PERENNIAL RYE. MULCH NEWLY SEEDED LAWN AT 90 LBS. PER 1000 SQUARE FEET WITH HAY OR STRAW MULCH.
10. THE CONTRACTOR IS RESPONSIBLE TO PLANT THE TOTAL QUANTITIES OF ALL PLANTS SHOWN ON THE PLANTING PLAN. THE QUANTITIES OF PLANTING SHOWN GRAPHICALLY ON THE PLAN SHALL GOVERN.
11. EXISTING TREES SHOWN ON THIS PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4 FOOT HIGH SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK.

TREE LIST

NO.	SIZE	TYPE	CONDITION
2001	18"	MAPLE	GOOD
2002	11"	TRIPLEMAPLE	GOOD
2003	19"	TWIN MAPLE	GOOD
2004	21"	QUAD MAPLE	GOOD
2005	24"	MAPLE	GOOD
2006	12"	TRIPLE MAPLE	GOOD
2007	12"	TRIPLE MAPLE	GOOD
2008	14"	QUADMAPLE	GOOD
2010	26"	MAPLE	GOOD
2011	20"	MAPLE	GOOD
2014	16"	TRIPLE MAPLE	GOOD
2015	12"	QUAD MAPLE	GOOD
2016	30"	MAPLE	GOOD
2017	12"	TRIPLE MAPLE	GOOD
2018	16"	MAPLE	GOOD
2020	10"	MAPLE	POOR
2021	12"	MAPLE	GOOD
2022	8"	CLUMP MAPLE	GOOD
2023	22"	TWIN MAPLE	GOOD
2024	21"	TRIPLE MAPLE	GOOD
2025	27"	MAPLE	GOOD
2026	23"	MAPLE	GOOD
2027	24"	SYCAMORE	GOOD
2028	15"	MAPLE	GOOD
2029	48"	OAK	GOOD
2030	7"	FIR	GOOD
2031	10"	FIR	GOOD
2032	12"	FIR	GOOD
2033	8"	FIR	GOOD
2034	10"	FIR	GOOD
2035	9"	FIR	GOOD
2036	9"	FIR	GOOD
2037	7"	FIR	GOOD
2038	10"	FIR	GOOD
2039	15"	BIRCH	GOOD
2041	8"	FIR	GOOD
2042	11"	FIR	GOOD
2043	11"	FIR	GOOD
2044	12"	FIR	GOOD
2045	12"	FIR	GOOD
2046	11"	FIR	GOOD
2047	8"	FIR	GOOD
2048	8"	FIR	GOOD
2049	12"	FIR	GOOD
2050	8"	FIR	GOOD
2051	19"	ASH	GOOD

TREE LEGEND

- EXISTING TREE
- TREE TO BE PRESERVED
- ⊗ TREE TO BE REMOVED



NOTES:

- 1) INSTALL SNOW FENCE TREE PROTECTION PRIOR TO ANY CLEARING OR EXCAVATION.
- 2) MAINTAIN SNOW FENCE FOR THE DURATION OF THE CONSTRUCTION PERIOD.

TREE PROTECTION DETAIL

1	07-15-22	PER COMMENTS BY ARCHITECT
REVISION	DATE	DESCRIPTION

AN&Z
ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

PROJECT:
TAPPAN FIRE DISTRICT

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

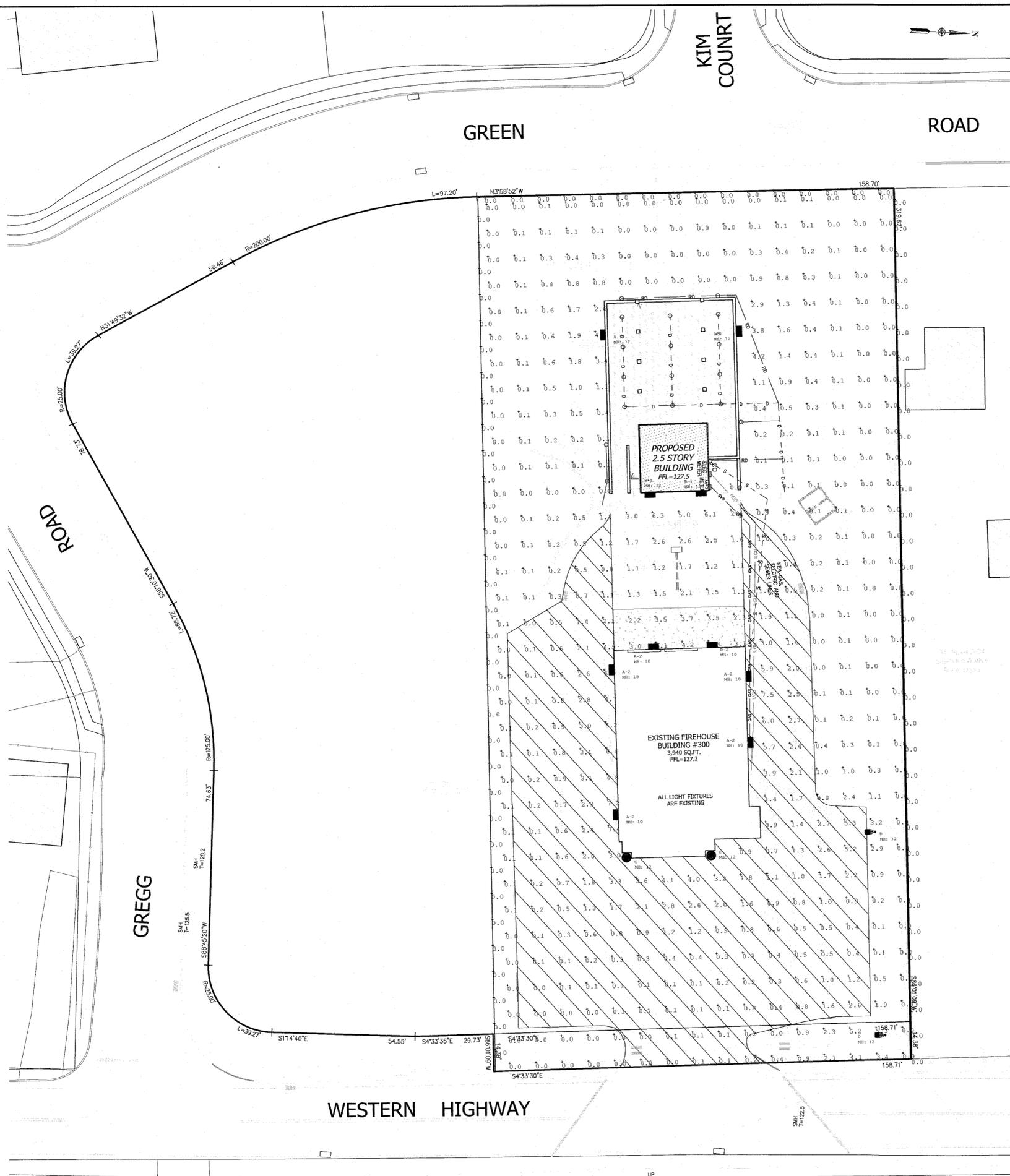
TREE PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 28, 2021	SCALE: 1 IN. = 20 FT.
PROJECT NO: 4924	DRAWING NO: 6

THE EDUCATION LAW OF THE STATE OF NEW YORK PROVIDES THAT ANY PERSON ALLEGING VIOLATION OF THIS CHAPTER OR THIS ARTICLE SHALL BE SUBJECT TO THE JURISDICTION OF THE STATE EDUCATION BOARD. THE BOARD HAS THE AUTHORITY TO TAKE SUCH ACTION AS IT DEEMES APPROPRIATE TO ENFORCE THIS CHAPTER AND THIS ARTICLE. THE BOARD HAS THE AUTHORITY TO TAKE SUCH ACTION AS IT DEEMES APPROPRIATE TO ENFORCE THIS CHAPTER AND THIS ARTICLE. THE BOARD HAS THE AUTHORITY TO TAKE SUCH ACTION AS IT DEEMES APPROPRIATE TO ENFORCE THIS CHAPTER AND THIS ARTICLE.

RYAN A. NASHER, P.E.
 N.Y.S. P.E. LIC. NO. 89066

ATZL, NASH & ZIGLER P.C.
 N.Y.S. P.L.S. LIC. NO. 80228



CALCULATION SUMMARY						
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN MAX/MIN
CALCULATION GRID @ GRADE	ILLUMINANCE	FC	0.91	7.5	0.0	N.A. N.A.
PROPERTY LINE	ILLUMINANCE	FC	0.00	0.0	0.0	N.A. N.A.
SITE	ILLUMINANCE	FC	1.78	7.5	0.0	N.A. N.A.

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	TOTAL LAMP LUM.	LLF	DESCRIPTION	TOTAL WATTS	BUG RATING	LUM. WATTS
■	2	A-1	SINGLE	N.A.	0.950	VISIONAIRE MLB-1-T3-24LC-5-4K-VOLT @ 12' MTG. HT.	77.71428	B1-U0-G1	38.85714
■	5	A-2	SINGLE	N.A.	0.950	VISIONAIRE MLB-1-T3-24LC-5-4K-VOLT @ 10' MTG. HT.	194.2857	B1-U0-G1	38.85714
■	2	B-1	SINGLE	N.A.	0.950	VISIONAIRE MLB-1-T4-24LC-5-4K-COLT @ 12' MTG. HT.	77.71428	B1-U0-G1	38.85714
■	2	B-2	SINGLE	N.A.	0.950	VISIONAIRE MLB-1-T4-24LC-5-4K-COLT @ 10' MTG. HT.	77.71428	B1-U0-G1	38.85714
●	2	C	SINGLE	N.A.	0.950	VISIONAIRE SRL-1-T4-32LC-3-4K-UNV-CL @ 12' MTG. HT.	70	B1-U3-G2	35
■	2	D	SINGLE	N.A.	0.950	VISIONAIRE VSK-L-TAL-20L-4K-HS-VOLT @ 12' MTG. HT.	268	B0-U3-G3	134

LEGEND

- 2' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- ⊗ --- EXISTING FIRE HYDRANT
- --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- UP --- EXISTING UTILITY POLE
- --- LIMIT OF 100 YEAR FLOODPLAIN
- --- LIMIT OF 500 YEAR FLOODPLAIN
- GAS --- PROPOSED GAS LINE

1	07-15-22	PER COMMENTS BY ARCHITECT
REVISION	DATE	DESCRIPTION
 ATZL, NASHER & ZIGLER P.C. ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.ANZNY.com		
PROJECT:		
TAPPAN FIRE DISTRICT		
TITLE:		
LIGHTING PLAN		
DRAWN BY: LF	CHECKED BY: JRA	
DATE: OCTOBER 28, 2021	SCALE: 1 IN. = 20 FT.	
PROJECT NO: 4924	DRAWING NO: 7	

THE ENGINEERING LAW OF THE STATE OF NEW YORK PROVIDES THAT ANY PERSON HOLDING ANY KIND OF PROFESSIONAL LICENSE OR TITLE IN ANY PROFESSION OR BUSINESS SHALL BE CONSIDERED TO BE A PUBLIC OFFICER AND SHALL BE SUBJECT TO THE PROVISIONS OF THE EDUCATION LAW OF THE STATE OF NEW YORK. THE ENGINEERING LAW OF THE STATE OF NEW YORK PROVIDES THAT ANY PERSON HOLDING ANY KIND OF PROFESSIONAL LICENSE OR TITLE IN ANY PROFESSION OR BUSINESS SHALL BE CONSIDERED TO BE A PUBLIC OFFICER AND SHALL BE SUBJECT TO THE PROVISIONS OF THE EDUCATION LAW OF THE STATE OF NEW YORK.

RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89026

JOHN R. ATZL
N.Y.S. P.E. LIC. NO. 50228