

Symbol Legend	
	AREA OF MASONRY (BRICK AND STONE) REMOVAL AND REPLACEMENT WITH NEW BRICK AND EXISTING STONE. REFER TO NOTES 2 3
	EXIST. CRACK REFER TO REPAIR DETAILS ON A8.21

Brick Veneer Replacement Notes

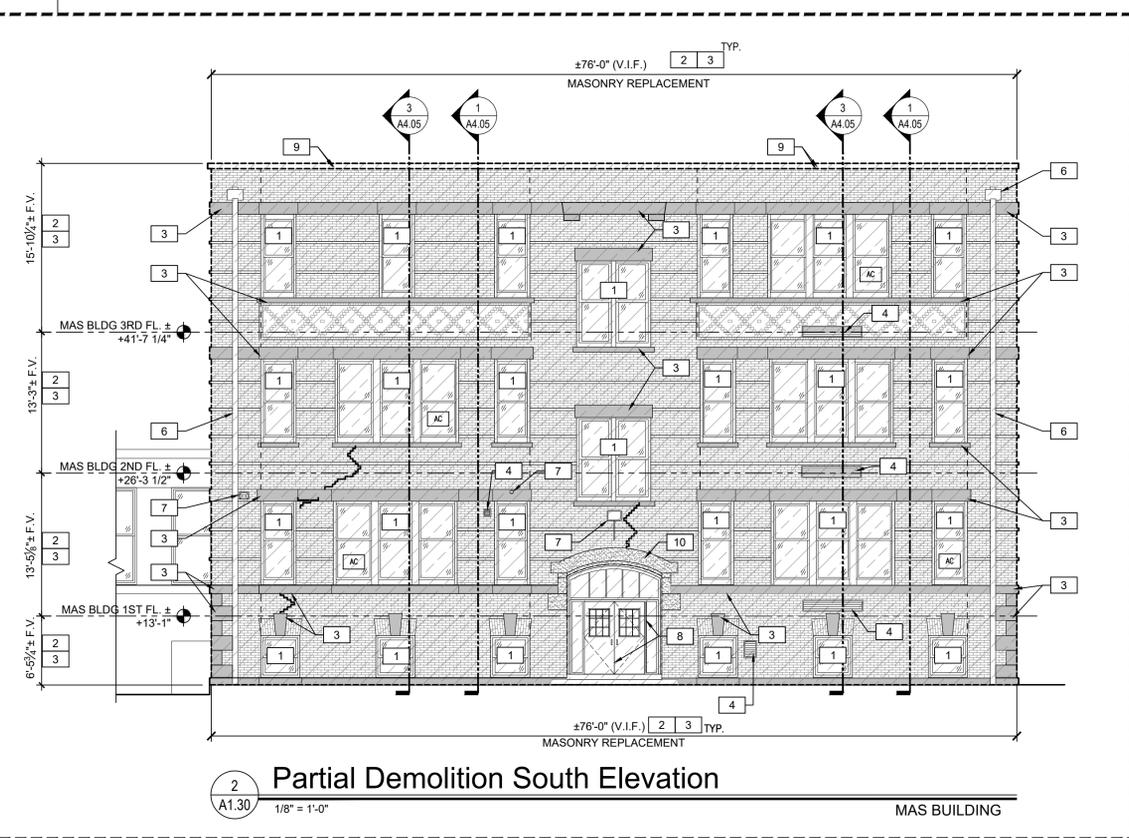
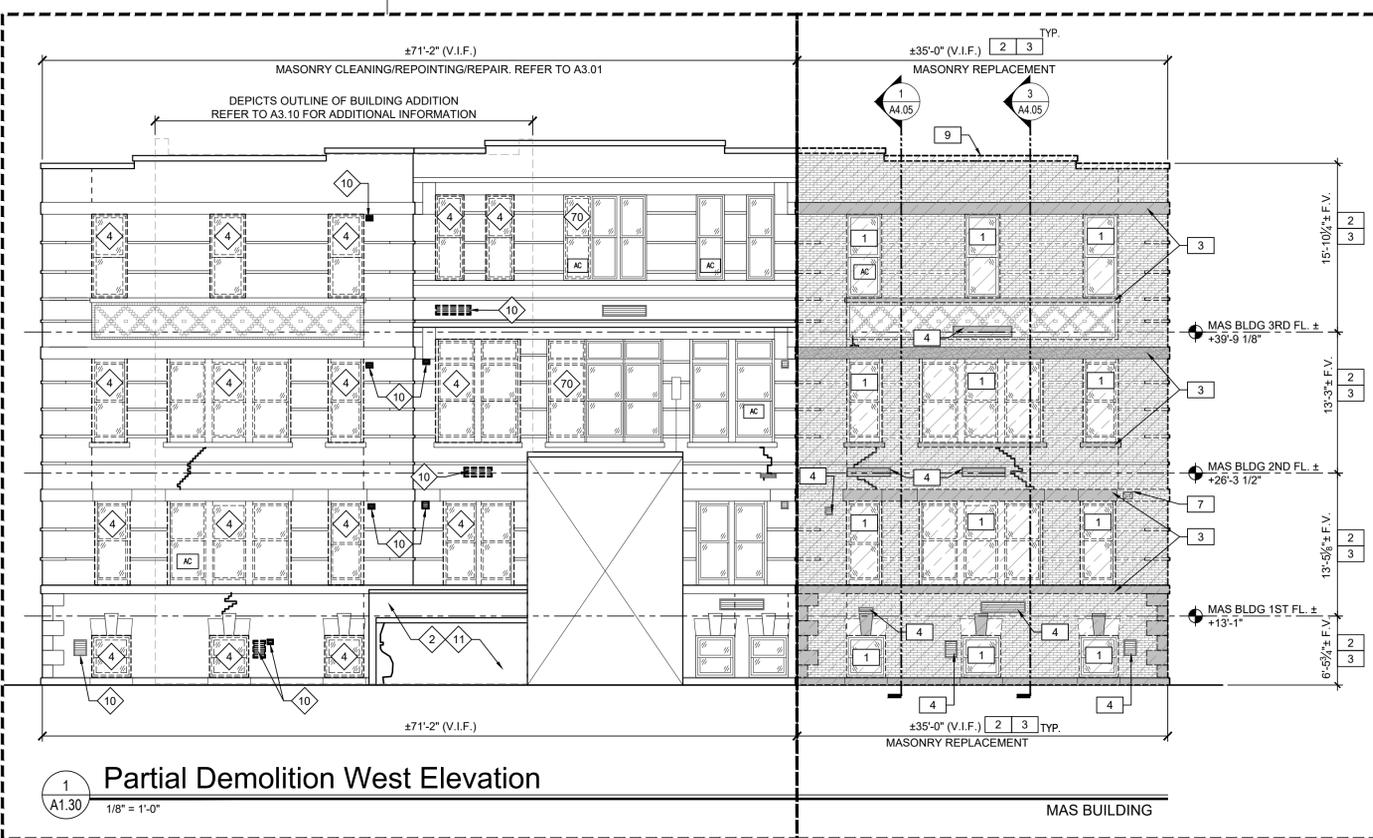
1. THE WORK SHALL CONSIST OF THE REMOVAL AND REPLACEMENT OF THE EXTERIOR BRICK VENEER, FLASHINGS, WATERPROOFING, UNIT VENTILATOR LOUVERS AND WALL SLEEVES AS INDICATED ON THE DRAWINGS. WORK SHALL ALSO INCLUDE THE REMOVAL, SALVAGING, AND RE-INSTALLATION OF EXISTING WINDOWS AND CAST STONE SILLS, HEADERS, AND BANDS.
2. THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS AND THE EXISTING CONDITIONS IN THE FIELD PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL SUBMIT A SCHEDULE AND SEQUENCE OF THE WORK FOR REVIEW PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS IN THE PERFORMANCE OF THE WORK AND TO MAINTAIN A SAFE WORKSITE FOR THE WORKMEN, BUILDING OCCUPANTS AND PEDESTRIANS AND TO PROTECT EXISTING BUILDING COMPONENTS AND SITE FEATURES TO REMAIN.
3. THE CONTRACTOR SHALL MAKE PROVISIONS FOR THE ARCHITECT/ENGINEER TO INSPECT THE FIELD CONDITIONS AT EACH STAGE OF THE WORK TO VERIFY THE EXISTING CONSTRUCTION. NO FABRICATIONS OF NEW COMPONENTS SHALL BE MADE UNTIL THE EXISTING CONDITIONS ARE VERIFIED AND MEASURED IN THE FIELD AT EACH LOCATION.
4. THE EXISTING LINTELS OVER THE LARGE WINDOWS SHALL BE EXPOSED BY THE CONTRACTOR AND INSPECTED IN THE FIELD BY THE ENGINEER AT THE START OF WORK. FIELD CONDITIONS MAY REQUIRE MODIFICATION TO THE SPECIFIED REPAIR DETAIL. NO FABRICATION OF NEW COMPONENTS SHALL BE MADE UNTIL THE FIELD CONDITIONS ARE DETERMINED AND THE REPAIR DETAILS VERIFIED.
5. EXISTING BRICK BACKUP WALLS SHALL BE STABILIZED AS DIRECTED IN FIELD BY ARCHITECT/ENGINEER WITH STAINLESS STEEL HELICAL ANCHORS AT 24" OC HORIZONTALLY AND 16" OC VERTICALLY. ADDITIONAL ANCHORS SHALL BE LOCATED AT 8" OC AROUND ALL VENEER OPENINGS AND ALONG ALL VERTICAL JOINTS. ANCHORS SHALL BE HECKMANN #391 REMEDIAL TIES, 10 MM DIAMETER. THE ANCHOR LENGTH SHALL BE DETERMINED BASED ON FIELD MEASUREMENTS OF THE EXISTING WALL.
6. THE NEW BRICK VENEER SHALL BE ANCHORED TO EXISTING BRICK BACKUP WALL WITH NEW CONCRETE SEAL TIE ANCHORS WITH 2-SEAL BUNA-OK WIRE TIE" BY "HOHMANN & BERNARD, INC." MINIMUM SPACING OF 16" O.C. VERTICAL AND 24" O.C. HORIZONTAL.

Brick Veneer Demolition Key Notes

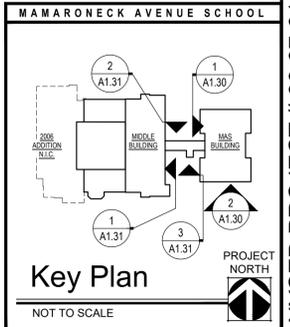
- # DEMOLITION KEY NOTE SYMBOL
- REFER TO PLANS, SECTIONS & ELEVATIONS
1. CONTRACTOR TO CAREFULLY REMOVE EXISTING WINDOWS AND SALVAGE FOR REINSTALLATION. REMOVE EXISTING EXTERIOR SILL AND WINDOW PANNING, WOOD SASH BOX, EXISTING WINDOW BLOCKING, AND INTERIOR WOOD TRIM. CONTRACTOR TO TEMPORARILY REMOVE EXISTING WINDOW BLINDS AS REQUIRED TO PERFORM RENOVATIONS AND REINSTALL UPON COMPLETION. PROVIDE NEW WINDOW LINTELS AND COLUMNS (WHERE APPLICABLE) PER DETAILS 385/A8.20.
 2. CONTRACTOR TO REMOVE EXISTING BRICK VENEER IN LOCATIONS SHOWN ON THE DRAWINGS TO EXPOSE EXISTING BRICK BACK UP WALL. CONTRACTOR SHALL SHORE EXISTING FACE BRICK WALL ANCHORS IF APPLICABLE. CONTRACTOR SHALL SHORE MASONRY ABOVE AS REQUIRED TO PERFORM WORK AND INSTALL TEMPORARY COVERINGS TO PROTECT ALL NEWLY EXPOSED SURFACES FROM MOISTURE INFILTRATION DURING CONSTRUCTION.
 3. CONTRACTOR TO REMOVE, SALVAGE AND REINSTALL EXISTING CAST STONE SILLS AND BANDING. REPLACE ALL DAMAGED PIECES WHERE APPLICABLE TO MATCH EXISTING.
 4. CONTRACTOR TO REMOVE EXISTING UNIT VENTILATOR & SLEEVE AND PREPARE FOR NEW LOUVER SLEEVE PER DETAIL 6/A8.20. SECTION DRAWING 5/A4.05 AND NEW FLASHING PER DETAIL 12/A8.20.
 5. CONTRACTOR TO EXPOSE EXISTING STEEL LINTEL AND NOTIFY ARCHITECT/ENGINEER FOR VISUAL INSPECTION OF THE CONDITION OF THE EXISTING LINTEL. REFER TO DETAILS 385/A8.20 FOR REPAIR FOLLOWING INSPECTION.
 6. CONTRACTOR TO REMOVE EXISTING SCUPPER BOX AND LEADER. SALVAGE FOR REINSTALLATION.
 7. CONTRACTOR TO REMOVE EXISTING SURFACE MOUNTED LIGHTING FIXTURES, LOUSPEAKERS, SECURITY CAMERAS, ETC & SALVAGE FOR REINSTALLATION.
 8. EXISTING DOORS & FRAMES TO REMAIN. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT DOORS & FRAMES DURING REMOVAL & REINSTALLATION OF BRICK VENEER.
 9. CONTRACTOR TO REMOVE EXISTING METAL ROOF COPING AND BLOCKING OR CAST STONE COPING BELOW (VERIFY IN FIELD). REPLACE WITH NEW METAL COPING.
 10. EXISTING CAST STONE TO REMAIN. CLEAN CAST STONE. REPOINT ALL JOINTS.

ADD ALTERNATE MASONRY RESTORATION AT MIDDLE BUILDING REFER TO BID FORM AND SPECIFICATION SECTION 012300 FOR ADDITIONAL INFORMATION.

ADD ALTERNATE MASONRY FACADE REPLACEMENT AT SOUTH AND PARTIAL WEST ELEVATIONS OF MAS BUILDING REFER TO BID FORM AND SPECIFICATION SECTION 012300 FOR ADDITIONAL INFORMATION.



REFER TO DEMOLITION NOTES ON SHEET A1.00
SYMBOL INDICATES DEMOLITION KEY NOTE. DEMOLITION TAGS CORRESPOND TO THE WORK AREA LETTER IN THE DRAWING TITLE INDICATOR LABELED "WORK AREA" REFER TO DEMOLITION KEY NOTES ON SHEETS A1.00



Date: 1/10/20
Checked: DLF
Drawn: TT

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Revisions:
ISSUE TO BID 11/23/20

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Job No. 4.1092.72.2
File No. 10927202A130

A130

NYSED PROJECT # 66-07-01-03-0-004-030