

1. PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE PLUMBING AND GAS CODE INCLUDING ALL LOCAL AMENDMENTS.
2. OBTAIN ALL PERMITS AND PAY ALL FEES ASSOCIATED WITH THIS WORK PRIOR TO COMMENCEMENT.
3. PIPING AND EQUIPMENT IS SHOWN DIAGRAMMATICALLY. THE ACTUAL ROUTING OF PIPING AND EXACT LOCATION OF EQUIPMENT SHALL BE DETERMINED IN THE FIELD.
4. IN ADDITION TO REVIEWING AND COORDINATING WITH THE OTHER TRADES (CIVIL, STRUCTURAL, ARCHITECTURAL, FIRE PROTECTION, HVAC, AND ELECTRICAL) THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH DETAILS OF CONSTRUCTION.
5. FURNISH AND INSTALL ALL NECESSARY PIPING, EQUIPMENT SUPPORTS AND ANY EQUIPMENT NOT SHOWN ON DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS BUT NECESSARY TO PROVIDE A COMPLETE AND WORKABLE SYSTEM.
6. PROVIDE ACCESSIBLE SHUTOFF VALVES ON ALL BRANCH PIPING AND ON ALL SUPPLY PIPING TO INDIVIDUAL FIXTURES AND EQUIPMENT.
7. PROVIDE ACCESS TO ALL EQUIPMENT REQUIRING PERIODIC SERVICE AND MAINTENANCE.
8. FURNISH ACCESS PANELS TO THE GENERAL CONTRACTOR FOR INSTALLATION UNDER THE RELATED TRADES.
9. PITCH ALL WATER LINES TO DRAIN.
10. INSTALL HORIZONTAL RUNS OF WATER PIPING AS HIGH AS POSSIBLE AND PROVIDE DRAIN-OFFS AT ALL LOW POINTS.
11. HOT WATER TAKEOFFS SHALL HAVE NOT LESS THAN THREE ELBOW SWINGS.
12. PIPING SHALL RUN CONCEALED IN ALL AREAS WITH THE EXCEPTION OF MECHANICAL ROOMS, AREAS WHERE NO CEILING EXISTS OR WHERE NOTED ON THE PLANS.
13. INSTALL DIELECTRIC COUPLINGS BETWEEN DISSIMILAR MATERIALS.
14. PROVIDE DRIP LEGS FOR ALL GAS RISERS.
15. AN AIR GAP OF AT LEAST TWICE THE EFFECTIVE DIAMETER OF THE DRAIN SERVED SHALL BE PROVIDED ON ALL EQUIPMENT DRAINS PIPED TO DRAINS.
16. REQUIRED FIRE RESISTANCE RATINGS OF FLOORS, WALLS AND CEILINGS SHALL BE MAINTAINED WHEN PIPE PENETRATIONS ARE MADE.
17. REFER TO RISER DIAGRAMS AND DETAILS FOR PIPE AND EQUIPMENT SIZES NOT SHOWN ON THE PLANS.
18. ALL WORK SHOWN ON RISER DIAGRAMS BUT NOT ON PLANS OR VICE VERSA SHALL BE INCLUDED AS IF SHOWN ON BOTH.
19. SEE SPECIFICATIONS FOR OTHER REQUIREMENTS.

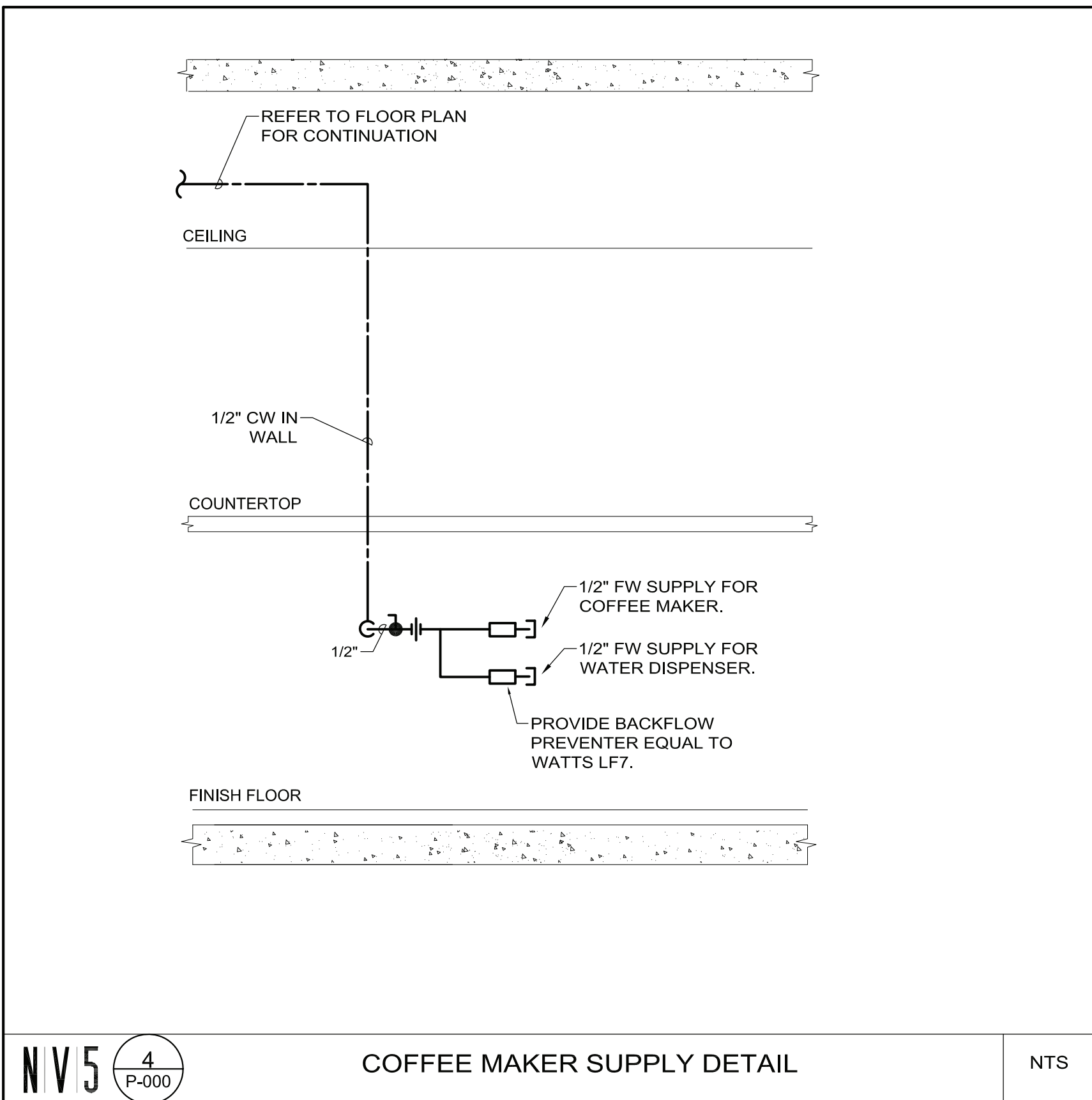
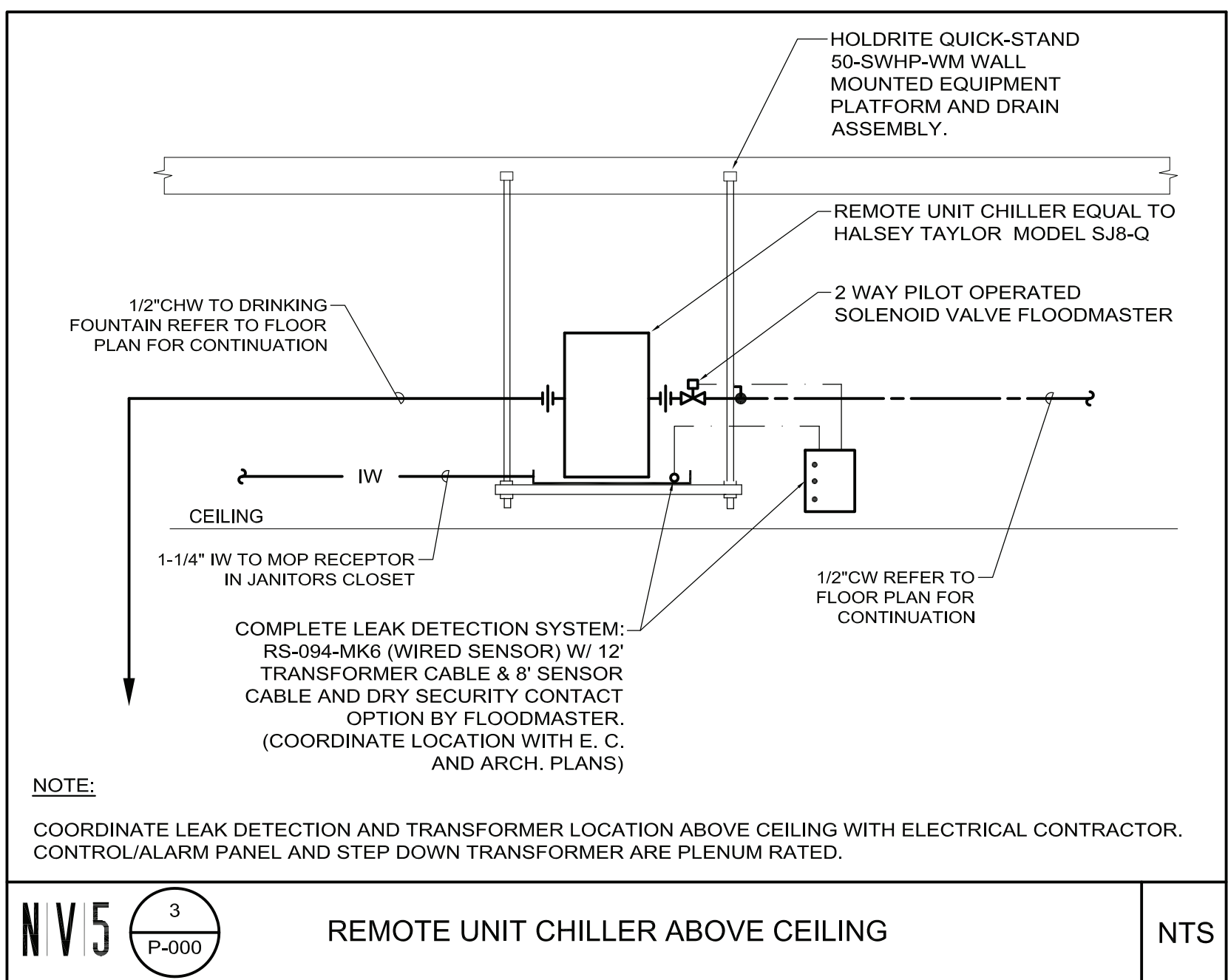
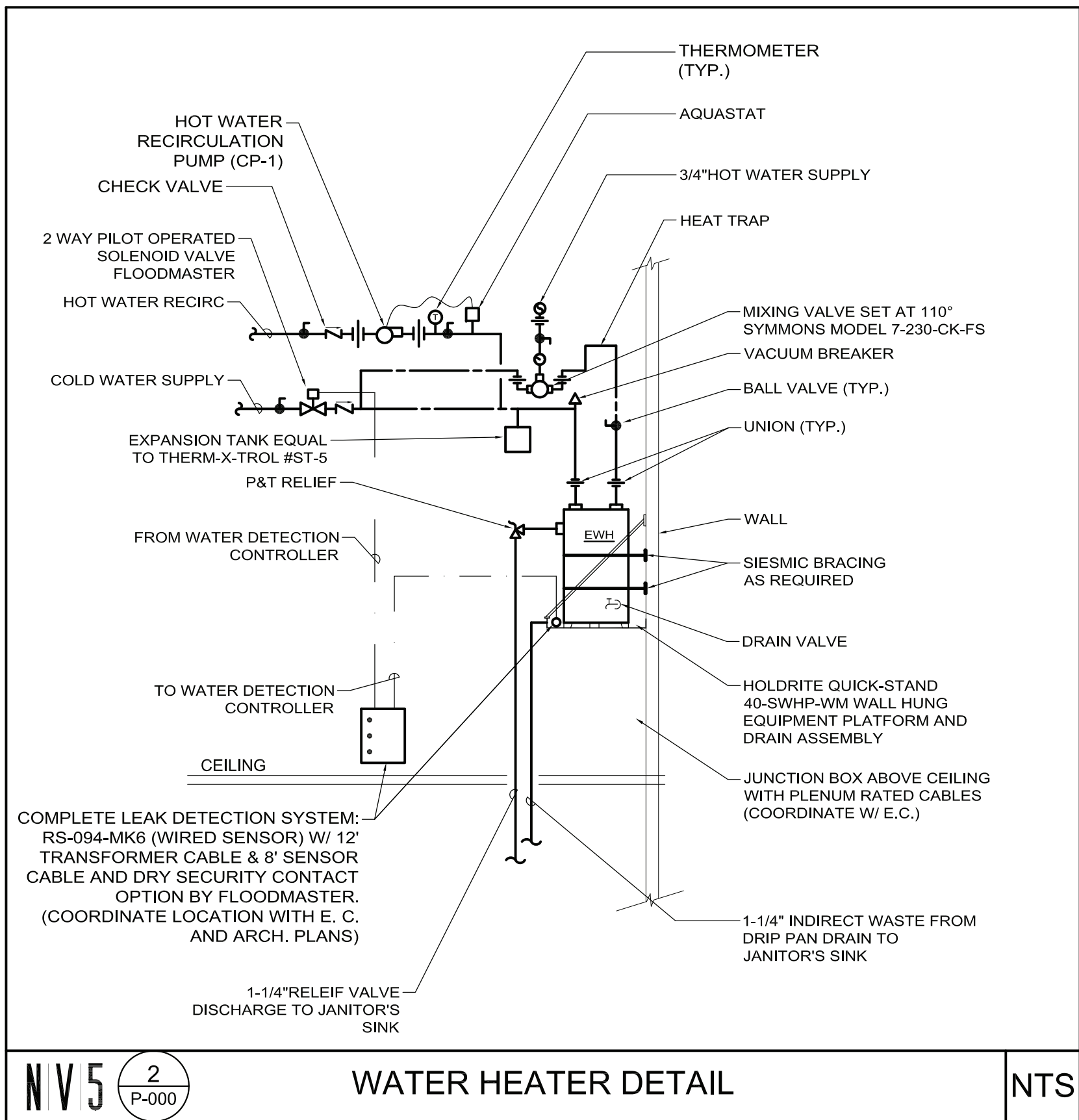
1. REFER TO THE ARCHITECTURAL DRAWINGS FOR THE EXTENT OF THE DEMOLITION SCOPE OF WORK AND AREA.
2. THE LOCATIONS OF EXISTING EQUIPMENT INCLUDING PIPING, DUCTWORK, EQUIPMENT, CONDUITS, ETC. ARE SHOWN IN AN APPROXIMATE WAY ONLY. VISIT THE SITE PRIOR TO SUBMISSION OF THE BIDS AND COMMENCEMENT OF WORK TO BECOME FAMILIAR WITH THE ACTUAL CONDITIONS AND EXTENT OF THE WORK.
3. TRACE AND LABEL ALL EXISTING SYSTEMS WITHIN THE DEMOLITION AREA AND BEYOND PRIOR TO DISCONNECTION AND REMOVAL TO ENSURE THAT NO AREA OUTSIDE THE DEMOLITION AREA IS AFFECTED. REVIEW IN DETAIL WITH THE GENERAL CONTRACTOR AND OWNER WHAT IS TO BE REMOVED AND REMAIN PRIOR TO WORK COMMENCING THE DEMOLITION. THERE SHALL BE NO INTERRUPTION OF SERVICES OUTSIDE THE DEMOLITION AREA WITHOUT APPROVAL FROM THE OWNER'S REPRESENTATIVE.
4. COORDINATE EQUIPMENT REMOVAL WITH ALL PARTIES TO PROVIDE DISCONNECTION. REMOVE EQUIPMENT BY UNFASTENING AT THE SUPPORTS OR ATTACHMENTS. ALSO REMOVE THE ATTACHMENTS FROM THE BUILDING, LEAVING NO COMPONENT OF THE ORIGINAL INSTALLATION.
5. EXERCISE CARE WITH EQUIPMENT THAT IS TO BE RELOCATED OR TURNED OVER TO THE OWNER. COMING TO SPACES, SUCH AS DUCT AND PIPE INTERIORS. VERIFY CONDITION AND CONTENTS TO DETERMINE ITS CONDITION. DELIVER OWNER-RETAINED EQUIPMENT TO AN ON-SITE LOCATION DESIGNATED BY THE OWNER AND OBTAIN ACKNOWLEDGMENT OF RECEIPT IN ORIGINAL CONDITION.
6. INSTALL RELOCATED EQUIPMENT IN ORIGINAL CONDITION ENSURING NO DAMAGE.
7. PROMPTLY REPAIR ANY DAMAGE CAUSED DURING/BY THE EXECUTION OF WORK. DAMAGE INCLUDES BUT IS NOT LIMITED TO DESTRUCTION OF ITEMS INTENDED TO REMAIN OR TO BE SALVAGED.
8. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY UNANTICIPATED HIDDEN CONDITIONS ENCOUNTERED DURING THE DEMOLITION.
9. ALL ITEMS REMOVED SHALL BE OFFERED TO THE OWNER FOR SALVAGE. IF THE OWNER DOES NOT TAKE POSSESSION, DISPOSE OF THE ITEMS IN A SAFE AND LEGAL MANNER. ALL ITEMS CLASSIFIED AS HAZARDOUS SHALL BE REMOVED AS HAZARDOUS WASTES AND A UNIFORM HAZARDOUS WASTE MANIFEST SHALL BE PROVIDED TO THE OWNER.
10. ENSURE THE SAFE PASSAGE OF PERSONS IN AND AROUND THE BUILDING DURING DEMOLITION. PREVENT INJURY TO PERSONS AND DAMAGE TO PROPERTY. PROVIDE ADEQUATE SHORING AND BRACING TO PREVENT COLLAPSE. IMMEDIATELY REPAIR DAMAGED PROPERTY TO THE CONDITION BEFORE BEING DAMAGED. TAKE EFFECTIVE MEASURES TO PREVENT WINDBLOWN DUST.
11. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS, AT CONCEALED SPACES, SUCH AS DUCT AND PIPE INTERIORS. VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
12. NOTIFY UTILITY COMPANIES IN ACCORDANCE WITH THEIR REQUIREMENTS PRIOR TO DEMOLITION. VERIFY THAT THE UTILITIES HAVE BEEN DISCONNECTED, VALVED, CAPPED AND MADE SAFE PRIOR TO DEMOLITION.
13. DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT, AND PROPERLY DISPOSE OF CHEMICALS, LIQUIDS, GASES, EXPLOSIVES, ACIDS, FLAMMABLES, OR OTHER DANGEROUS MATERIALS BEFORE PROCEEDING WITH DEMOLITION OPERATIONS.
14. PROPERLY LABEL ALL UNLABELED SERVICE PIPELINES AND VALVES TO REMAIN WITH COLOR PIPE MARKERS AND VALVE TAGS. MOUNT A VALVE AND SERVICE CHART IN THE AREA OF DEMOLITION THAT IDENTIFIES ALL LABELED SERVICES. TURN ONE COPY OF SAME OVER TO THE OWNER.
15. PRIOR TO DEMOLITION, MAKE SAFE ALL SERVICE PIPE TERMINATIONS TO THE AREA. PROVIDE VALVE AND CAPS ON PRESSURE SERVICES TO THE AREA THAT ARE TO REMAIN IN SERVICE.

=====	CHW	CHILLED WATER
=====	FW	FILTERED WATER
=====	CW	DOMESTIC COLD WATER
=====		DOMESTIC COLD WATER BELOW SLAB
=====	HW	DOMESTIC HOT WATER
=====	HWC	DOMESTIC HOT WATER CIRCULATING
=====	S or W	SOIL OR WASTE ABOVE GROUND
=====	S or W	SOIL OR WASTE BELOW SLAB
=====	V	VENT ABOVE GROUND
=====	V	VENT BELOW SLAB
=====	IW	INDIRECT WASTE
=====	IW	INDIRECT WASTE BELOW SLAB
=====	G	NATURAL GAS PIPING
=====	TP	TRAP PRIMER

	FD	FLOOR DRAIN
	CO	CLEANOUT
	FCO	FLOOR CLEANOUT
		P-TRAP
		ELBOW UP OR RISE
	DN/DP	ELBOW DOWN OR DROP
		CAP OR END OF PIPE
	HB	HOSE BIBB
		TEE LOOKING UP
		TEE LOOKING DOWN
		UNION
	WHA/SA	WATER HAMMER ARRESTOR/SHOCK ABSORBER
	CTE	CONNECT TO EXISTING
	ETR	EXISTING TO REMAIN
	ETBR	EXISTING TO BE REMOVED
		FLOW IN DIRECTION OF ARROW
		DIRECTION OF SLOPE
		PIPE GUIDE
		IN-LINE FILTER
		LIMIT OF WORK
	HC	HANDICAPPED ACCESSIBLE
		KEY NOTE DESIGNATION
	TP	TRAP PRIMER

		BALL VALVE
		GATE VALVE
		CHECK VALVE
		GAS COCK
	MV	MIXING VALVE
		BALANCING VALVE
		ANGLE VALVE
		VACUUM RELIEF VALVE
		AQUASTAT
		THERMOMETER
	PRV	PRESSURE REDUCING/REGULATING VALVE
	PG	PRESSURE GAUGE
		SOLENOID VALVE

1 _____ DETAIL DESIGNATION NUMBER
P-1 _____ DETAIL DESIGNATION DRAWING



Landlord Comments:

Project Title:



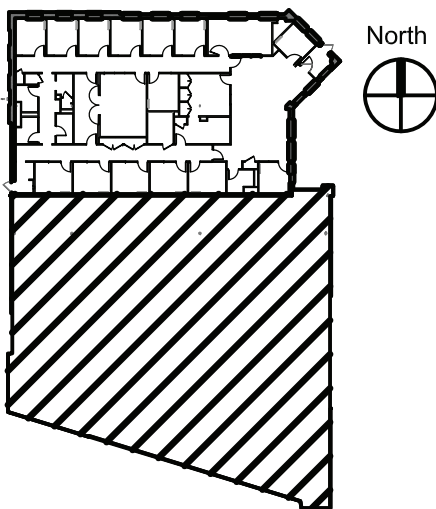
Fidelity Real Estate Company
245 Summer Street
Boston, MA 20110

Fidelity Investor Center

2142 Fashion Drive
Nanuet, NY
10954

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Key Plan:



Project No.:	Y021006
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Drawing Sheet Title:

PLUMBING LEGEND, DETAILS, NOTES, AND ABBREVIATIONS

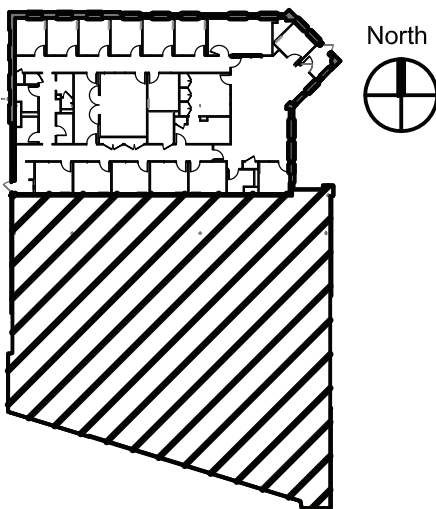
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Owner's Branch No.:

532

Key Plan:

Landlord Comments:

General Notes:

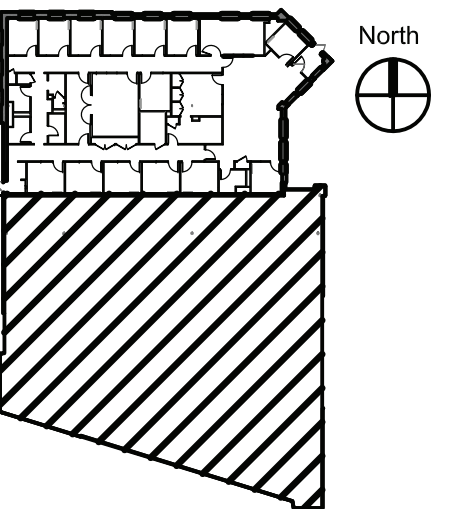


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Landlord Comments:

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Drawing Sheet Title:

PLUMBING 1ST FLOOR PLAN

Drawing Sheet Number:

P-201

Owner's Branch No.:

532



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Drawing Sheet Number:

Owner's Branch No.:

532

Landlord Comments:

