

GENERAL NOTES:

1. The work on this project shall be awarded as five (5) separate prime contracts. Contracts to be awarded under this BID are as follows:

2020-04.GC - General Construction

2020-04.M - Mechanical Work

2020-04.P - Plumbing Work

2020-04.FS - Fire Sprinkler Work

2020-04.E - Electrical Work
2. All contractors and their sub contractors shall be required to coordinate and schedule their work with other contractors as required to facilitate sequencing, coordination, etc.. It shall be the responsibility of each contractor to notify other contractors of conditions that will affect their work or the work of respective sub contractors that will require coordination and/or verification. No change orders will be considered for costs incurred due to lack of proper coordination. All notifications between prime contractors shall be in writing or in meeting minutes to be considered valid.

3. Each contractor shall review the entire set of drawings (including architectural drawings) to coordinate their own work and with work of other trades, and to verify information that will affect their work. In general, locations indicated on architectural plans takes precedence over other documents. Architect shall provide interpretation of locations etc. when requested.
4. All items specified indicate the minimum standard for components to be incorporated into the project. Any "or equal" must be approved by the Architect and owner. All items called for or specified shall be installed in compliance with the manufacturers written specifications and installation instructions which are incorporated into these drawings in their entirety by this reference. Installations shall include any and all hardware, supports, fittings, components, clearances, etc., which are required for a complete and proper installation and maintenance without exception.

5. All work shall comply with the requirements of the Building Code of New York State. contractors shall coordinate any and all required inspections as required for issuance certificate of occupancy

6. Each prime contractor shall be responsible for his own excavations, shoring, dewatering, etc.. as required for the installation of his own work. Provide 95% compaction clean back fill in max. 12" lifts typical. All Areas.

7. Each contractor shall maintain one set of marked up drawings to indicate any and all deviations for as built conditions and shall turn over same to the Architect upon completion of project.

PROPOSED ADDITION & ALTERATION FOR
HARRISON FIRE
DEPARTMENT
206 HARRISON AVE
HARRISON, NEW YORK 10528

DATE: ISSUE

04-01-21
ISSUED FOR BIDDING

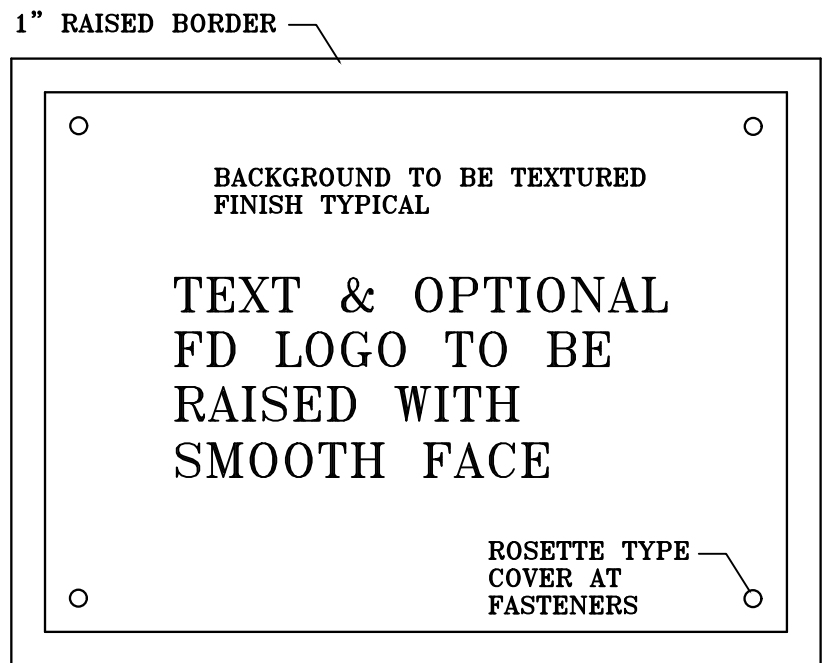
SEAL:



PROJECT LOCATION
SCALE: 1"=500'-0"

PLAQUE DETAIL

NOT TO SCALE



GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL WHERE DIRECTED, 24" X 36" BRONZE PLAQUE. TEXT CONTENT, FD LOGO & LAYOUT OF INFORMATION SHALL BE PROVIDED BY OWNER.

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS

O-0	COVER SHEET
SP-1	EXISTING SURVEY & STAGING PLANS
SP-2	SITE DEVELOPMENT PLAN
D-1	DEMO PLANS & NOTES
D-2	DEMO ELEVATIONS & NOTES
A-1.1	BASEMENT FLOOR PLAN & STAIR SECTION
A-1.2	FIRST FLOOR PLAN
A-1.3	MEZZANINE PLAN & WALL TYPES
A-1.4	SECOND FLOOR PLAN
A-2.1	ROOF PLAN
A-2.2	ROOF DETAILS
A-3.1	EAST BUILDING ELEVATION
A-3.2	NORTH BUILDING ELEVATION
A-3.3	WEST BUILDING ELEVATION
A-3.4	SOUTH ELEVATION DETAILS
A-4.1	SECTION A & SECTION B
A-4.2	SECTION C
A-4.3	STAIR SECTION
A-5.1	OMITTED
A-6	DOOR SCHEDULE & DETAILS
A-7.1	FINISH SCHEDULE & DETAILS
A-7.2	TOILET PLANS & DETAILS
A-7.3	TOILET PLANS & DETAILS
A-7.4	KITCHEN PLAN
A-8.1	BASEMENT & MEZZANINE CEILING PLAN
A-8.2	FIRST FLOOR CEILING PLAN
A-8.3	SECOND FLOOR CEILING PLAN

PLUMBING DRAWINGS

P-1	PLUMBING SITE PLAN
P-2	PLUMBING FIXTURE SCHEDULE
P-3	PLUMBING SPECIALTY SCHEDULE
P-4	BASEMENT FLOOR DOMESTIC WATER PLAN
P-5	FIRST FLOOR DOMESTIC WATER PLAN
P-6	MEZZANINE DOMESTIC WATER PLAN
P-7	SECOND FLOOR DOMESTIC WATER PLAN
P-8	BASEMENT FLOOR SANITARY PLAN
P-9	FIRST FLOOR SANITARY PLAN
P-10	MEZZANINE SANITARY PLAN
P-11	SECOND FLOOR SANITARY PLAN
P-12	ROOF PLUMBING PLAN
P-13	DOMESTIC WATER RISER DIAGRAM
P-14	SANITARY RISER DIAGRAM
P-15	NATURAL GAS RISER DIAGRAM
P-16	PLUMBING DETAILS
P-17	PLUMBING NOTES

MECHANICAL DRAWINGS

M-1	HEAT GAIN/LOSS CALCULATIONS
M-2	BASEMENT FLOOR MECHANICAL PLAN
M-3	FIRST FLOOR MECHANICAL PLAN
M-4	MEZZANINE MECHANICAL PLAN
M-5	SECOND FLOOR MECHANICAL PLAN
M-6	ROOF MECHANICAL PLAN
M-7	MECHANICAL EQUIPMENT SCHEDULES
M-8	MECHANICAL EQUIPMENT SCHEDULES (CONTINUED) & VENTILATION INDEX
M-9	HYDRONIC RISER DIAGRAM
M-10	MECHANICAL DETAILS
M-11	MECHANICAL NOTES

FIRE ALARM

FA-1	FIRE ALARM PLOT PLAN
FA-2	BASEMENT FLOOR FIRE ALARM PLAN
FA-3	FIRST FLOOR FIRE ALARM PLAN
FA-4	MEZZANINE FIRE ALARM PLAN
FA-5	SECOND FLOOR FIRE ALARM PLAN
FA-6	ROOF FIRE ALARM PLAN
FA-7	FIRE ALARM RISER DIAGRAM & SYSTEM MATRIX
FA-8	FIRE ALARM NOTES

ELECTRICAL DRAWINGS

E-1	ELECTRICAL SITE PLAN
E-2	ELECTRICAL PANEL SCHEDULES
E-2.1	ELECTRICAL PANEL SCHEDULES(CONT.)
E-3	ELECTRICAL RISER DIAGRAM
E-4	BASEMENT POWER PLAN
E-5	FIRST FLOOR POWER PLAN
E-6	MEZZANINE POWER PLAN
E-7	SECOND FLOOR POWER PLAN
E-8	ROOF POWER PLAN
E-9	BASEMENT LIGHTING PLAN
E-10	FIRST FLOOR LIGHTING PLAN
E-11	MEZZANINE LIGHTING PLAN
E-12	SECOND FLOOR LIGHTING PLAN
E-13	ROOF LIGHTING PLAN
E-14	BASEMENT MISCELLANEOUS SYSTEM PLAN
E-15	FIRST FLOOR MISCELLANEOUS SYSTEM PLAN
E-16	MEZZANINE MISCELLANEOUS SYSTEM PLAN
E-17	SECOND FLOOR MISCELLANEOUS SYSTEM PLAN
E-18	COMPUTER SYSTEM RISER DIAGRAM
E-19	CABLE TV & TELEPHONE RISER DIAGRAM
E-20	ACCESS SYSTEM RISER DIAGRAM
E-21	SURVEILLANCE RISER DIAGRAM
E-22	PA SYSTEM RISER DIAGRAM
E-23	RADIO, WI/FI SYSTEMS RISER DIAGRAM
E-24	I.T. ROOM PLANS & DETAILS

FIRE SPRINKLER

FS-1	FIRE SPRINKLER/STANDPIPE SYSTEM PLOT PLAN
FS-2	BASEMENT FIRE SPRINKLER/STANDPIPE PLAN
FS-3	FIRST FLOOR FIRE SPRINKLER/STANDPIPE PLAN
FS-4	MEZZANINE FIRE SPRINKLER/STANDPIPE PLAN
FS-5	SECOND FLOOR FIRE SPRINKLER/STANDPIPE PLAN
FS-6	ATTIC FIRE SPRINKLER/STANDPIPE PLAN
FS-7	FIRE SPRINKLER/STANDPIPE RISER DIAGRAM
FS-8	FIRE SPRINKLER/STANDPIPE DETAILS
FS-9	FIRE SPRINKLER/STANDPIPE SCHEDULES & DETAILS
FS-10	FIRE SPRINKLER/STANDPIPE NOTES

PRE-BID CONFERENCE & RFI NOTE:

A PRE-BID CONFERENCE WILL BE HELD AT THE EXISTING HARRISON FIRE DEPARTMENT MAIN FIREHOUSE FACILITY LOCATED AT 206 HARRISON AVE, HARRISON N.Y. 10528 ON WEDNESDAY, APRIL 21, 2021 AT 1:00 P.M AND ANY REQUESTS FOR INFORMATION MUST BE SUBMITTED IN WRITING ON OR BEFORE APRIL 21, 2021 @ 1:00 PM OR REQUESTED AT THE PRE-BID CONFERENCE.

SENDEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
(631) 727-5352
9 SELENA COURT
WALDEN, NY 12586
(845) 275-8859

HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528

COVER SHEET

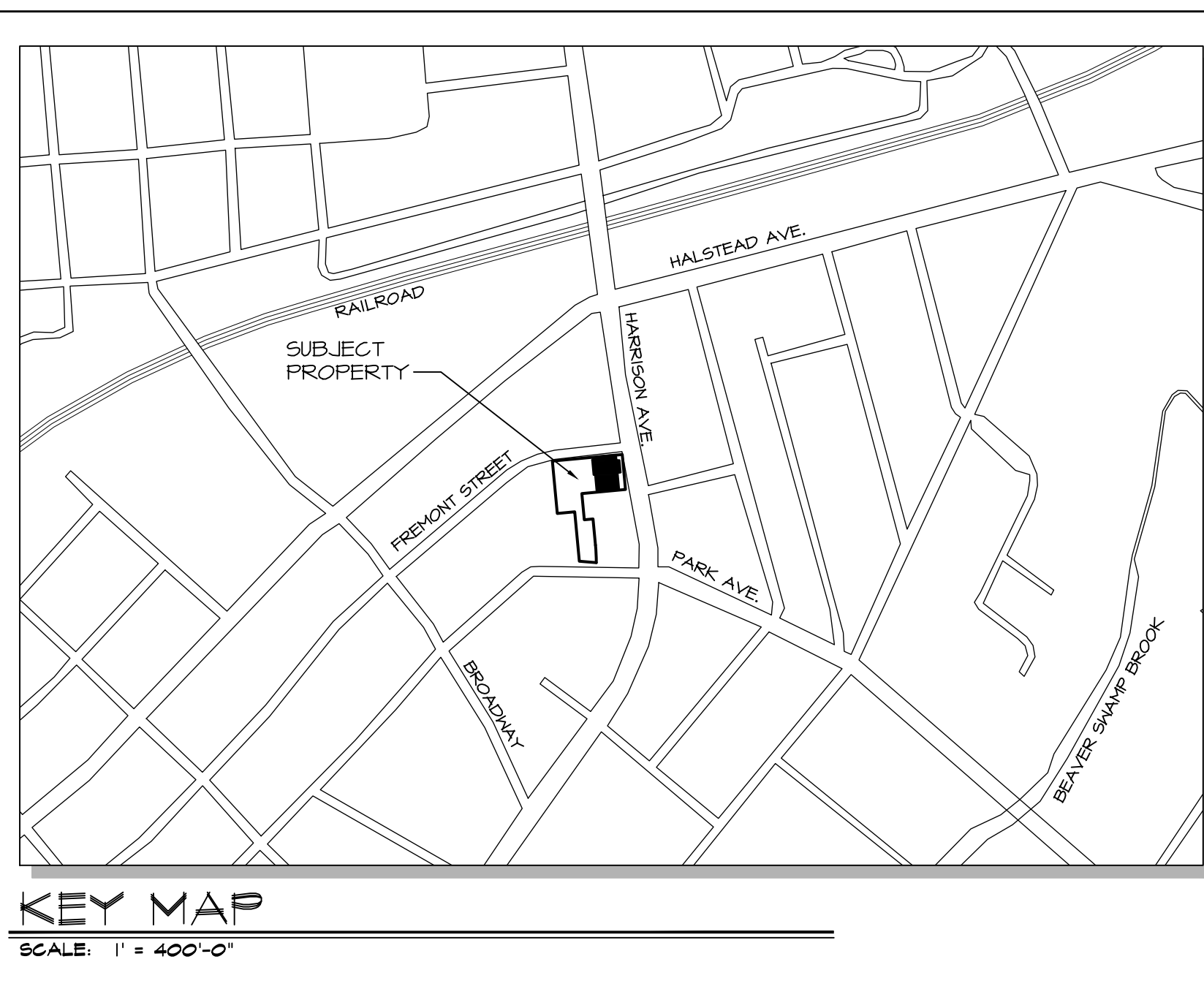
PROJECT #: 2020-04

DRAWN BY: SEND. ARCH.

CAD FILE: P/2020/HFD
2020-04

DRAWING#:

0 - 0



(EL. 98.2') GROUND SURFACE

1	6	BLACKTOP 2" STONE 2"
2	10	DK. GRAY GRAY BRN. SAND, SILT, GRAVEL, CONCR. (FILL)
3	14	BRN. GRAY BRN. SILTY SAND, TR. GRAVEL, GLAY, CONCR. GINDER (SM)(FILL)
4	18	BRN. SANDY GLAYEY SILT, TR. GRAVEL (ML)(FILL)
5	22	BRN. SANDY GLAYEY SILT, TR. GRAVEL W GRAY SILTY CLAY (ML-CL)(FILL)
6	26	GRAY SILTY GLAYEY SAND, TR. GRAVEL (SC)(4)
7	30	GRAY SILTY GLAYEY SAND, TR. GRAVEL, DECOMPOSED ROCK (SC)(4)
8	34	BRN/ GRAY BRN. SILTY SAND, TR. GRAVEL, LITTLE ROCK FRAG. (SM)(4)
9	38	BRN. SAND, TR. GRAVEL, SILT (SP)(4)
10	42	BRN. SAND, TR. GRAVEL, ROCK FRAG. LITTLE SILT (SP-SM)(4)
11	46	REFUSAL @ 23' - 6"

FEET NO SB CLASSIFICATION

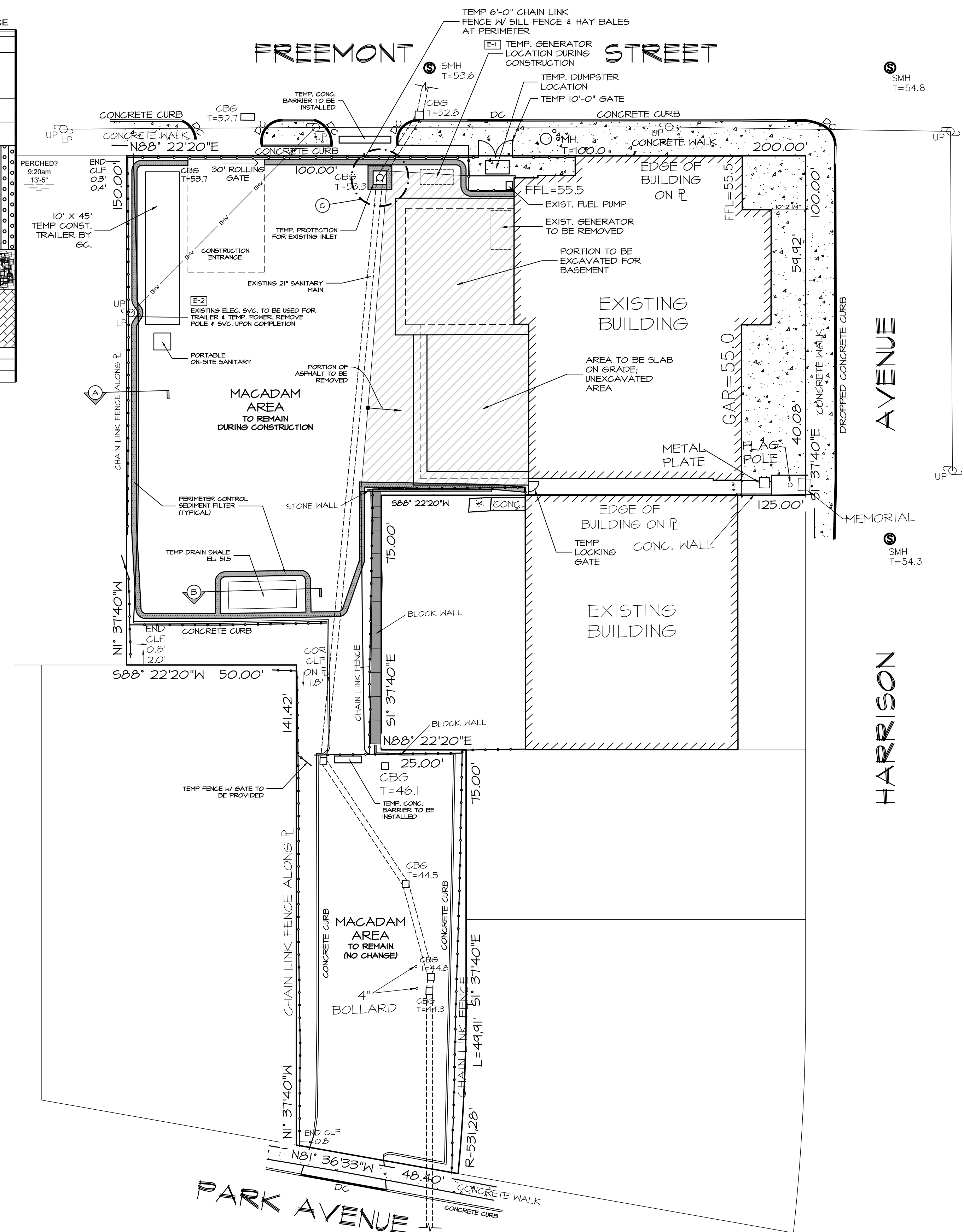
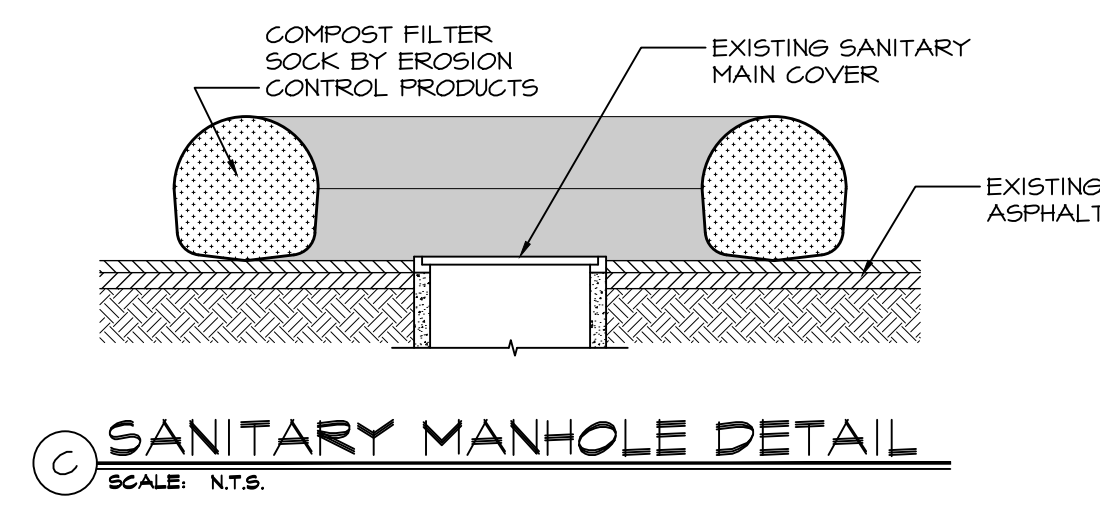
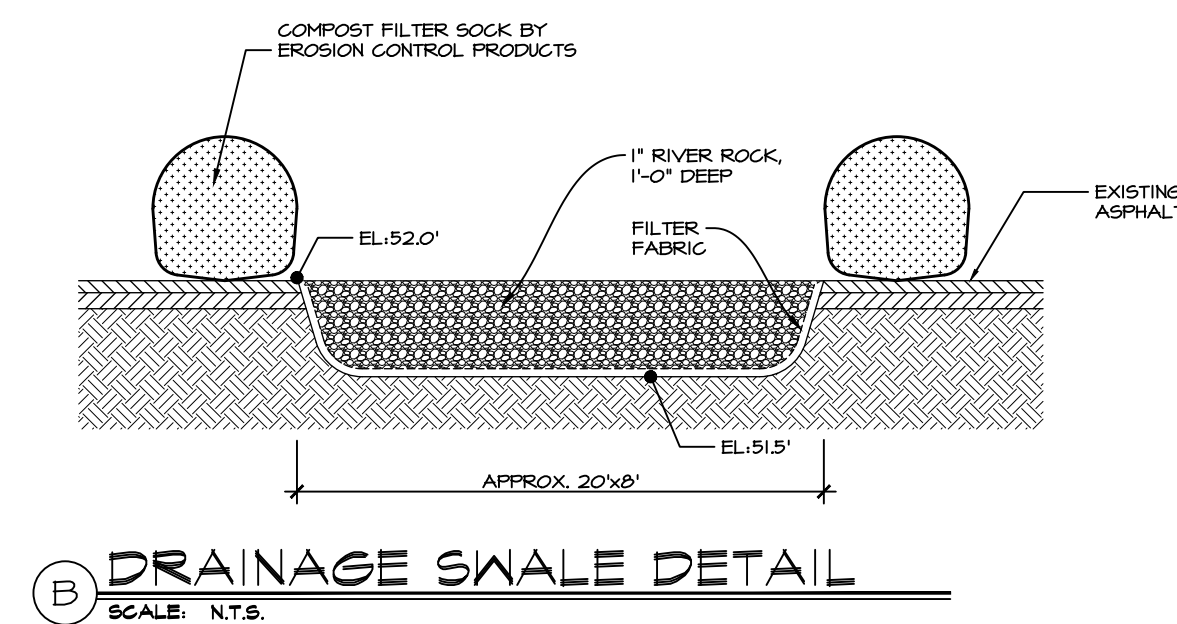
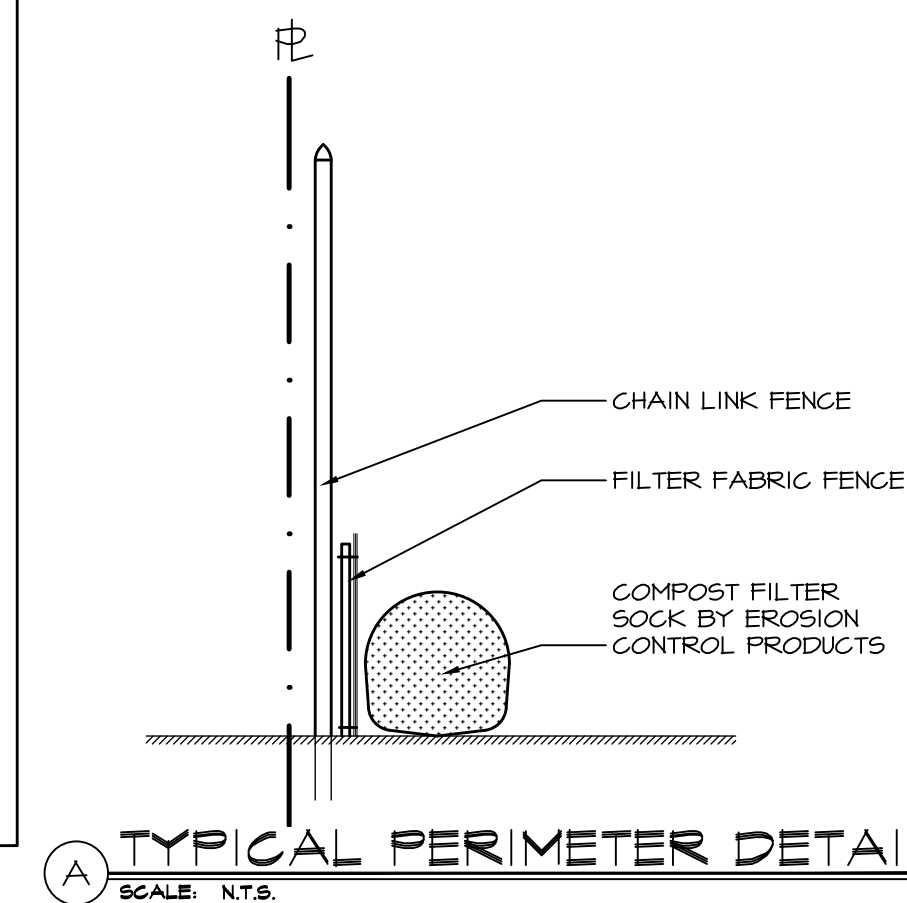
(EL. 98.3') GROUND SURFACE

1	10	BLACKTOP 2" STONE 2"
2	14	BRN/ GRAY BRN. SILTY SAND, TR. GRAVEL, SILT (SM)(FILL)
3	18	BRN. SILTY SAND, TR. GRAVEL, ROCK FRAG. (SM)(FILL)
4	22	GRAY BRN. SILTY SAND, TR. GRAVEL, ROCK FRAG. (SM)(FILL)
5	26	BRN. W GRAY SILTY SAND, TR. GRAVEL, LITTLE ROCK FRAG. (SM)(FILL?)
6	30	GRAY GRAY BRN. SILTY SAND, TR. GRAVEL (SM)(4)
7	34	GRAY GRAY BRN. SILTY SAND, TR. GRAVEL, LITTLE ROCK FRAG. (SM)(4)
8	100	DECOMPOSED ROCK (2)
9	105	5' CORE RUN
10	110	Bwg Core Barrel (ONESS) (66%) (2)

FEET NO SB CLASSIFICATION

END OF BORING 27' - 6"

TEST HOLE DATA



STAGING PLAN

SCALE: 1" = 20'-0"

SEAL:

SENDELEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS

215 ROANOKE AVENUE
RIVERHEAD, NY 11901
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9 SELENA COURT
WALDEN, NY 12586
(845) 275-8859

HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528

EXISTING CONDITION AND STAGING PLANS

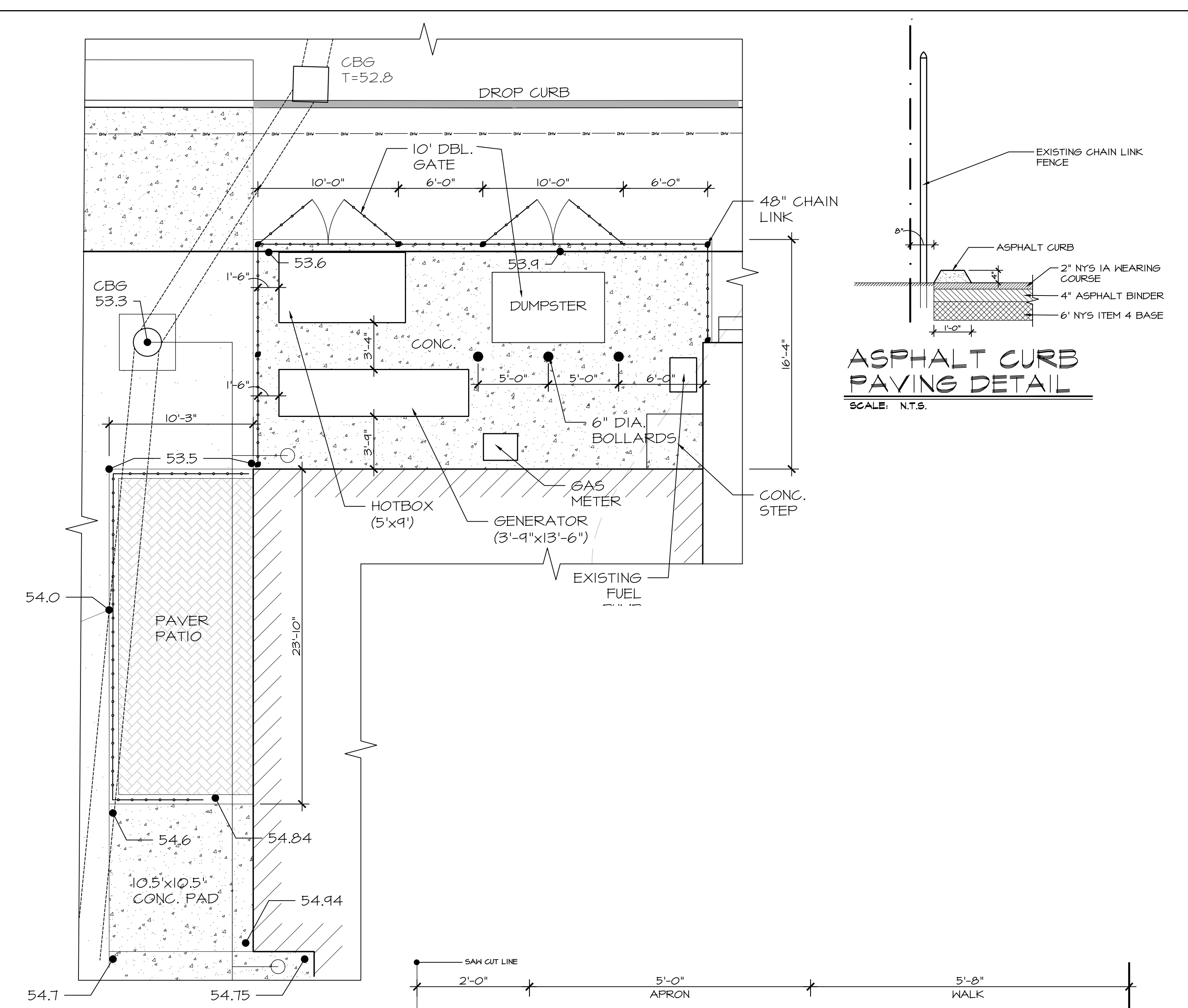
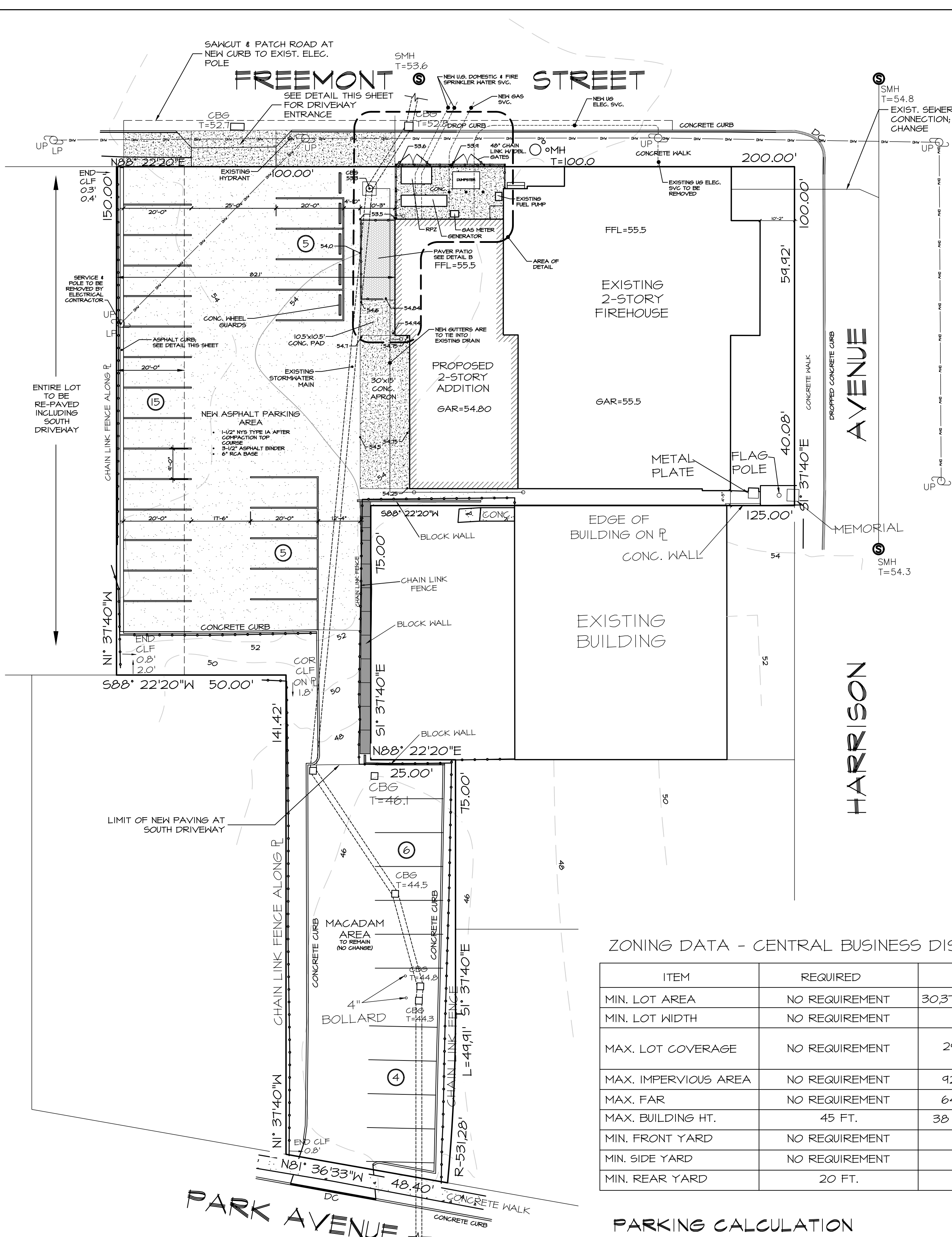
PROJECT #: 2020-04

DRAWN BY: SEND. ARCH.

CAD FILE: P/2020/HFC
2020-04

DRAWING#:

SP-1

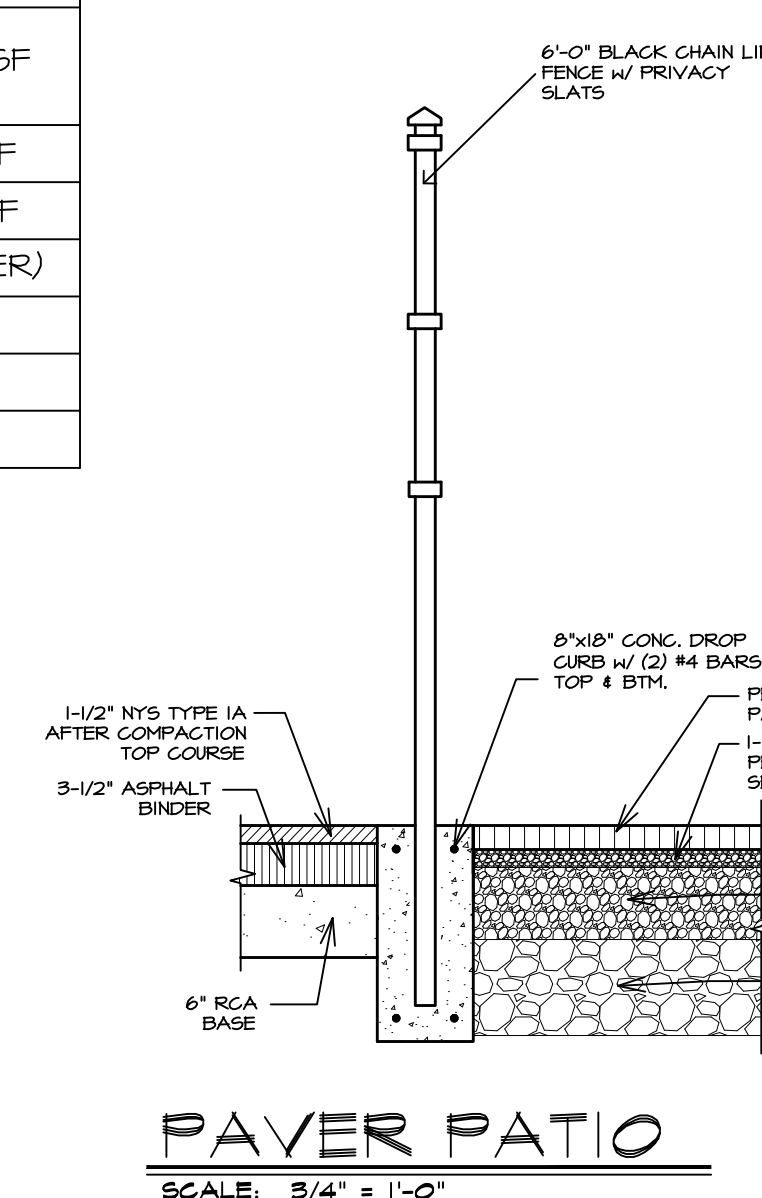


ZONING DATA - CENTRAL BUSINESS DISTRICT (CBD)

ITEM	REQUIRED	PROVIDED
MIN. LOT AREA	NO REQUIREMENT	30,377 SF (0.691 ACRES)
MIN. LOT WIDTH	NO REQUIREMENT	100 FT.
MAX. LOT COVERAGE	NO REQUIREMENT	29.3% = 8,909.6 SF
MAX. IMPERVIOUS AREA	NO REQUIREMENT	92.9% = 28,247 SF
MAX. FAR	NO REQUIREMENT	64.14% = 19,484 SF
MAX. BUILDING HT.	45 FT.	38 FT. (EXCL. TOWER)
MIN. FRONT YARD	NO REQUIREMENT	0 FT.
MIN. SIDE YARD	NO REQUIREMENT	0 FT.
MIN. REAR YARD	20 FT.	82.1'

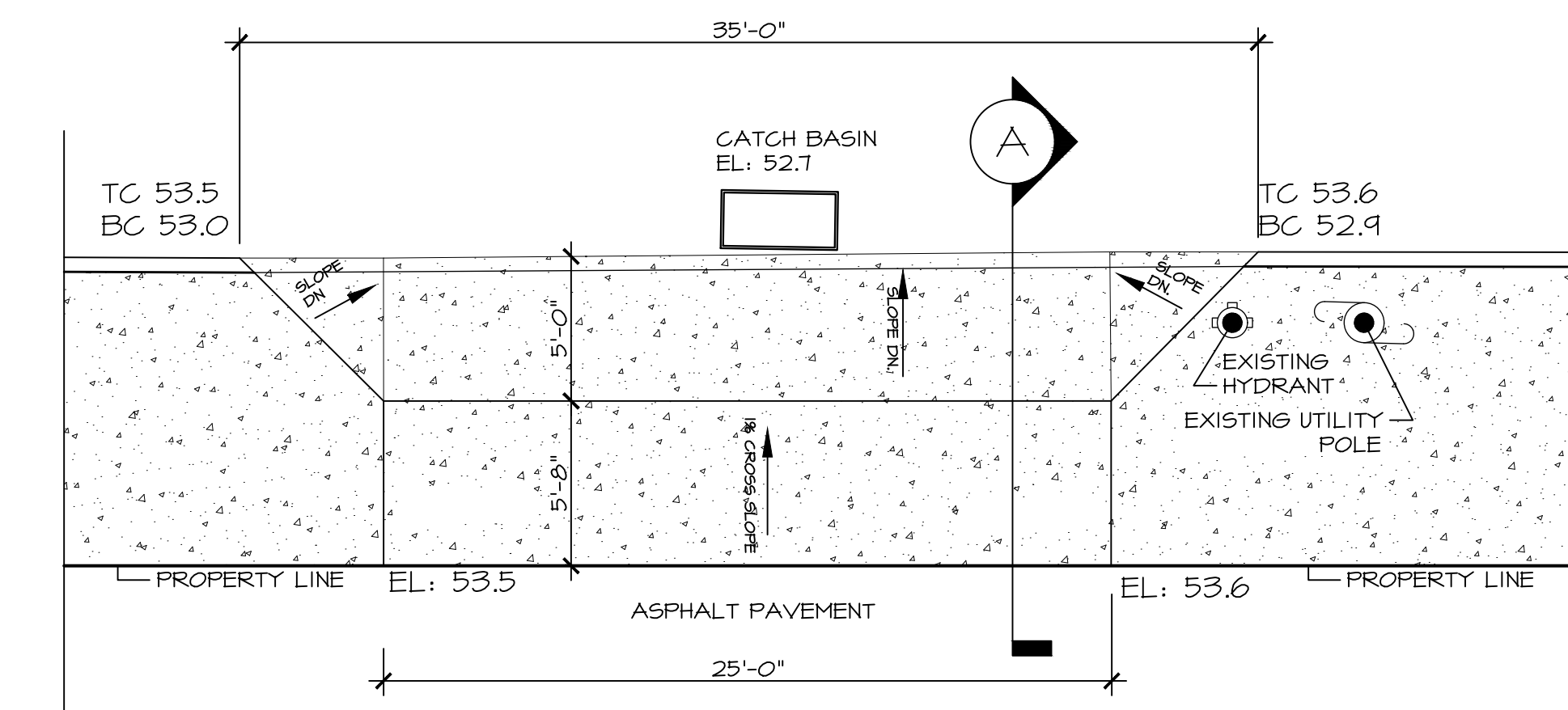
PARKING CALCULATION

PER SECTION 235-31:
OFFICE BUILDING/PROPRIETARY HEADQUARTERS
1 SPACE / 350 SQ. FT.
18,868 SQ. FT. FIREHOUSE* - 5,632 SF GARAGE = 13,236 SF
(*19,484 SF INCLUDING ELEVATOR AND BATHROOMS)
13,236 SF / 350 SQ. FT. = 37.8
PER SECTION 235-35, PART D:
DEDUCT 10 SPACES FROM TOTAL REQUIRED
37.8 - 10 = 27.8 SPACES REQUIRED
35 SPACES PROVIDED



NYS DOT DRIVEWAY SECTION

SCALE: 3/4" = 1'-0"



PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

DATE: ISSUE
02-25-2021 ISSUED FOR TOWN
ENGINEERING REVIEW
03-12-2021 REVISED FOR TOWN
PLANNING REVIEW

SEAL:

SENDEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
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WALDEN, NY 12586
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HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528
PROPOSED SITE PLAN

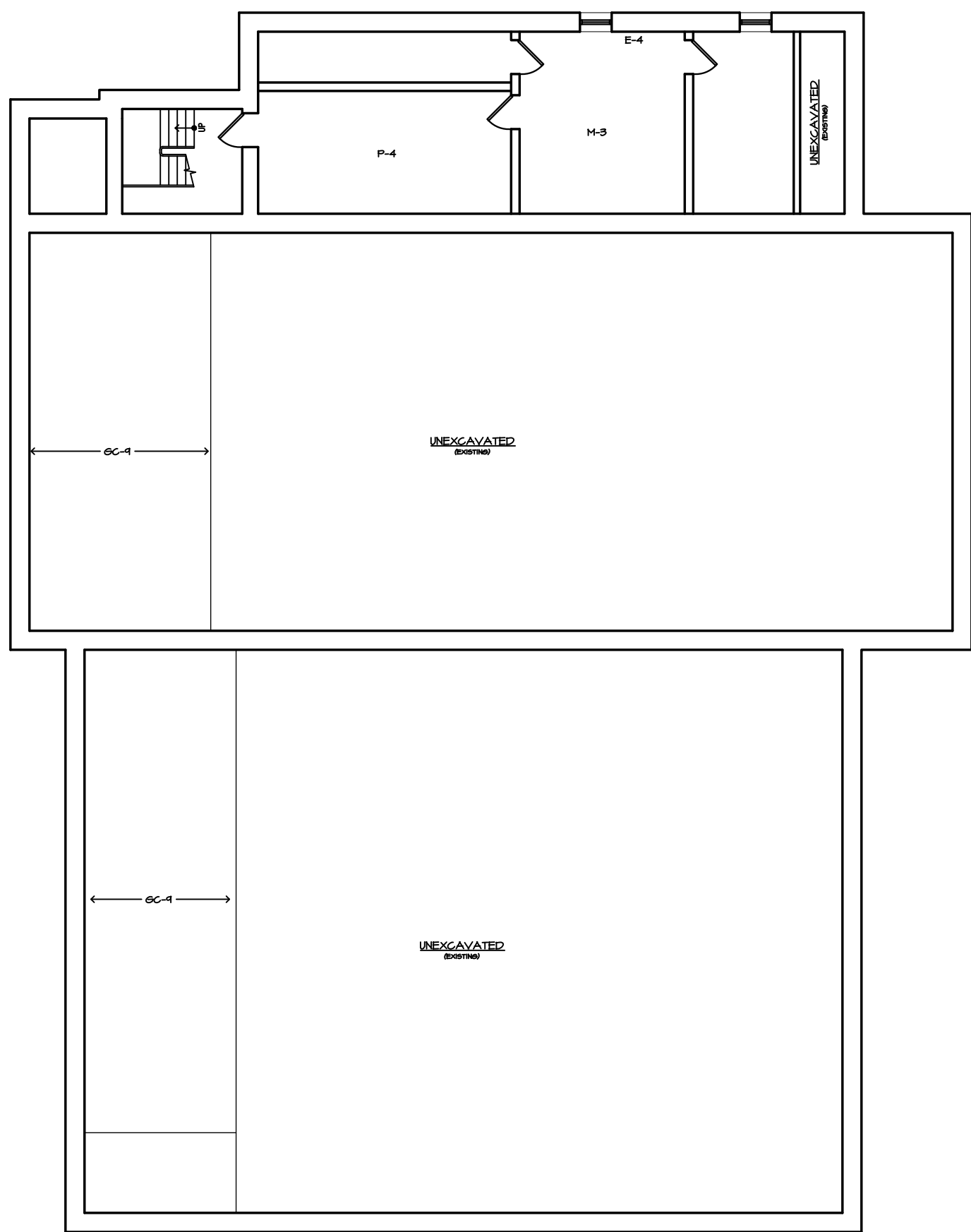
PROJECT #: 2020-04

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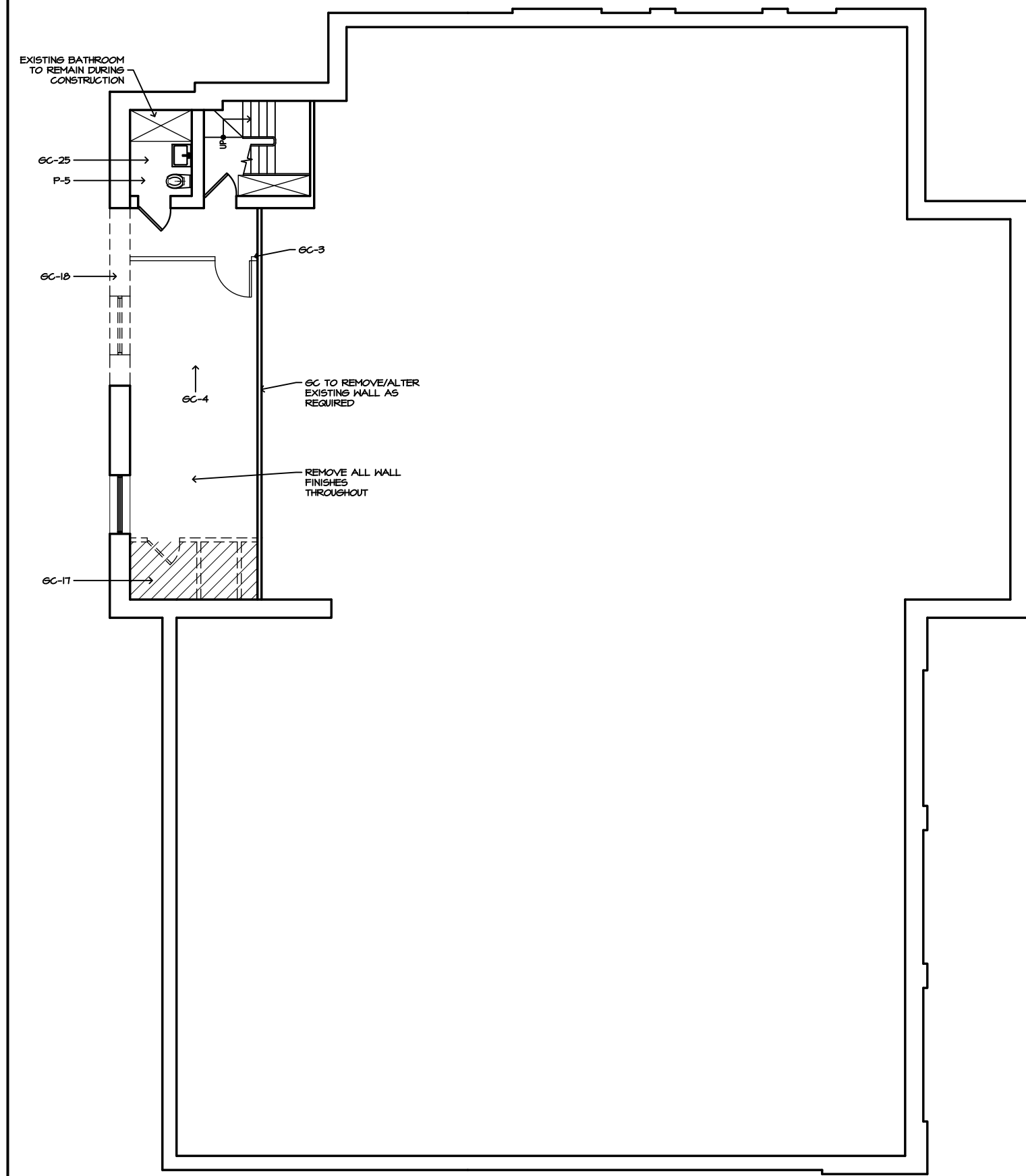
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2020-04

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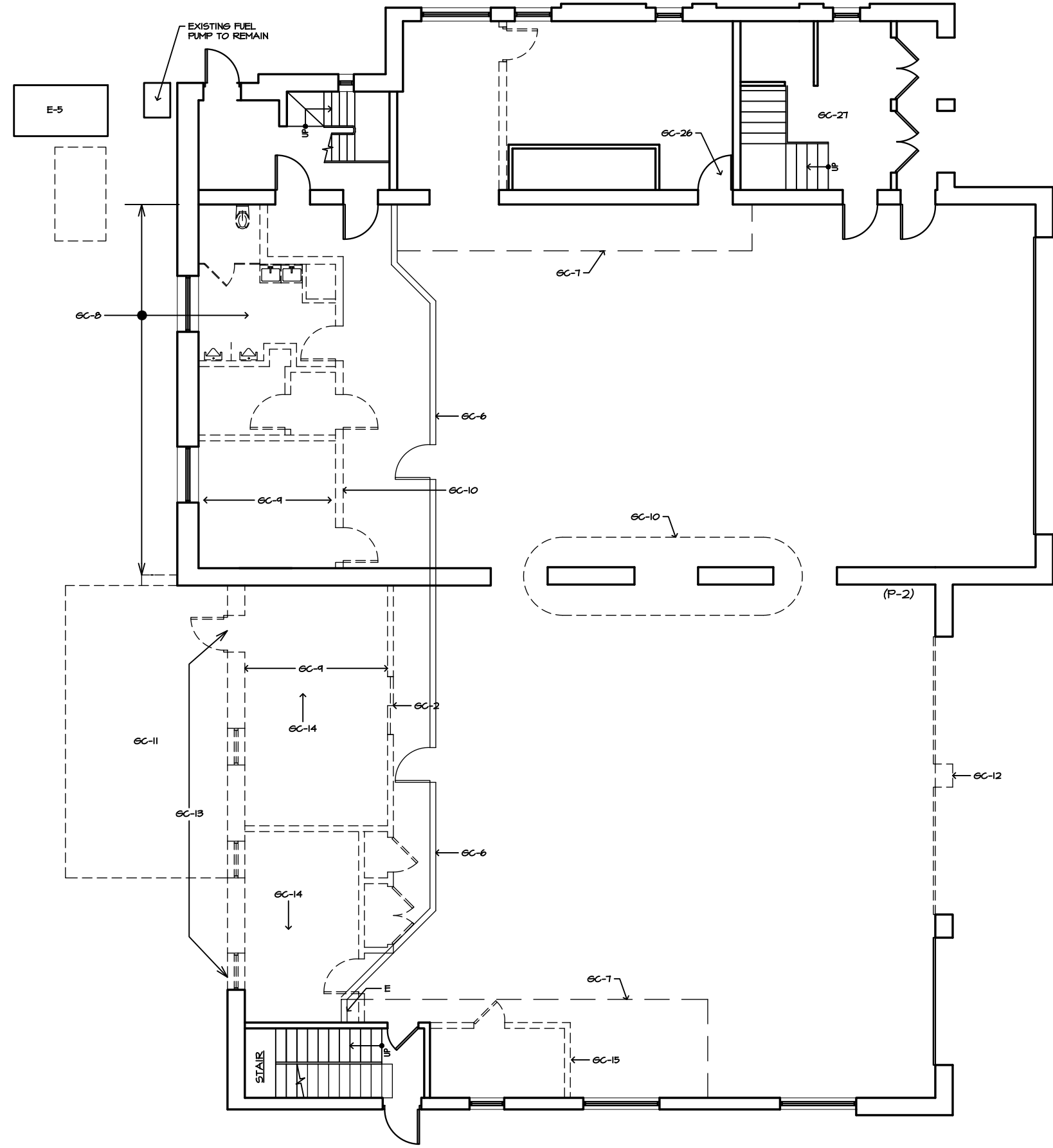
SP-2



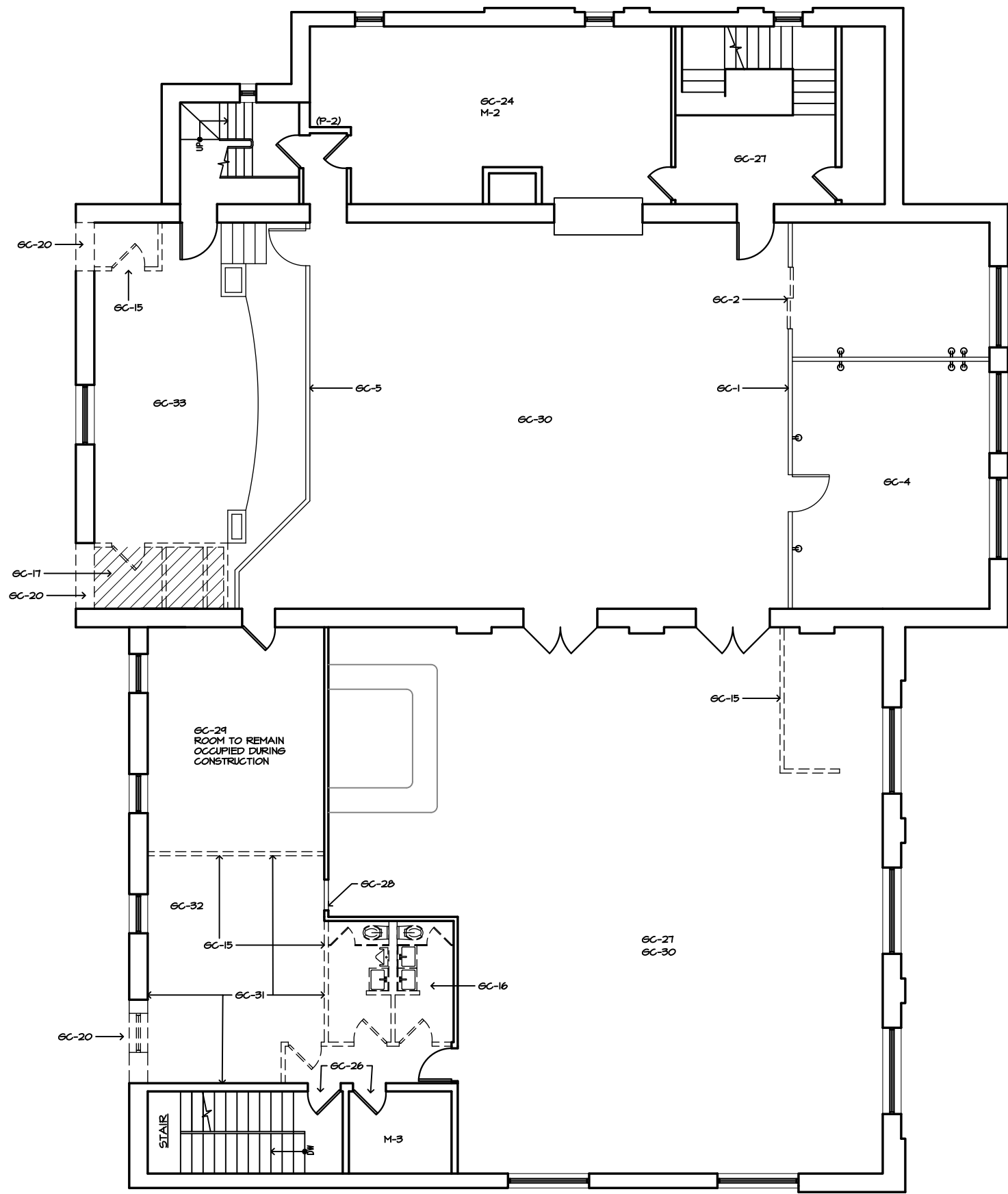
BASEMENT PLAN (M-I)
(E-I)
(P-I)
SCALE: 3/32" = 1'-0"



MEZZANINE PLAN (M-I)
(E-I)
(P-I)
SCALE: 3/32" = 1'-0"



FIRST FLOOR PLAN (M-I)
(E-I)
(P-I)
SCALE: 3/32" = 1'-0"



SECOND FLOOR PLAN (M-I)
(E-I)
(P-I)
SCALE: 3/32" = 1'-0"

DEMOLITION NOTES:

ALL TRADES:

1. Contractors shall coordinate any and all selective demolition work sequencing as required for owner occupancy of the facility during construction.
2. Stage and sequence work as required for areas to remain in use during construction, which will be subsequently demolished and altered as other parts of the facility become available as construction progresses.
3. There will be multiple sequences of demolition work which shall be indicated on the project schedule prior to commencement of work.
4. These drawings do not include any and all work that is required to be demolished in conjunction with the completion of work. Refer to drawings for contract work and provide for any and all demolition and selective demolition as required.

GENERAL CONSTRUCTION (GC):

1. Construct new temporary bunk room with 4A 20 ga. Studs at 16" o.c., 4A insulation and 1/4" gyp board each side with one coat tape & spackle and one coat tinted primer finish. Provide HM door & frame with privacy lockset at bunk room with 15 keys to owner for door.
2. Relocate existing sliding door from first floor to temporary day room.
3. Provide temporary wall with gyp board one side and lockable door for construction access at existing mezzanine.
4. Relocate existing lockers to temporary bunk room.
5. Provide temporary partition with access door at rear of meeting room during construction.
6. Provide temporary partitions with access doors at rear of bay area during construction.
7. Provide dust protection at sides of bays during demolition and construction as required.
8. Demolish existing bathrooms, storage, gear wash at this entire area. Provide temporary support for mezzanine floor framing.
9. Demo existing slab at rear of bay areas in their entirety.
10. Remove and relocate existing gear racks to new locations as construction progresses.
11. Remove existing deck and related framing & piers.
12. Remove existing garage doors & piers as required for new double wide door. Provide temporary support of floor framing and second floor masonry bearing wall during construction.
13. Remove portion of existing rear wall as required for new double wide door. Provide temporary support of floor framing and second floor masonry bearing wall during construction.
14. Demo day room and associated construction in rear of south bay in its entirety including walls, ceilings, casework etc.
15. Remove existing walls and related finishes as required for alterations.
16. Remove existing bathrooms in their entirety.
17. Remove portion of existing mezzanine floor construction and stage floor construction as required for new construction including new second floor hallway access. Temporarily support all affected structural elements to remain.
18. Remove portion of existing rear wall as required for new opening. Provide temporary support of floor framing and second floor masonry bearing wall during construction.
19. Remove portions of existing roof framing and fascia and related construction.
20. Remove portion of rear wall for new hallway opening.

GENERAL CONSTRUCTION (GC) (CONTINUED):

21. Remove existing doors and windows as required for new construction.
 22. Remove existing windows as required for window replacements.
 23. Remove all roofing as required for new roof installation as part of add alternate if accepted.
 24. Remove any and all existing finishes, gyp wall board, ceiling plaster, etc. as required if add alternate K-1 is accepted.
 25. Upon completion of new first floor toilet at gear area, remove existing toilet room as required for new storage room.
 26. Remove existing door and frame.
 27. Remove existing carpet flooring as required for new floor installation.
 28. Provide new door opening. Remove existing wall cabinet (approx. 48A) and refinish side of remaining cabinet to match existing.
 29. Existing chief's office shall remain occupied during construction. Demolish wall for new fitness room after new first floor office is occupied.
 30. Remove all ceiling tiles which are being replaced with new tile in existing grid.
 31. Remove existing gyp board from bottom of truss and related insulation as required for fire sprinkler installation in attic. Replace upon completion.
 32. Remove existing ceilings and grid.
 33. Remove existing ceiling and insulation as required for fire sprinkler installation. Replace with new 5/8A gyp board and insulation upon completion.
 34. Remove any and all existing roofing down to existing deck.
 35. Infill openings with new exterior wall construction in conjunction with add alternate GC K-2.
 36. Remove two windows to be blocked in as part of base bid.
 37. Existing Roof vent is to be removed, and saved for re-use with new construction
- MECHANICAL (M):**
1. Disconnect cap and/or remove any and all existing heating piping, furnaces, HVAC units, ducting, radiators, piping, etc. throughout entire facility as required for complete renovations to the existing facility.
 2. Remove existing kitchen hood and all associated devices as required if add alternate MK-2 is accepted.
 3. Remove existing furnace and associated equipment.
 4. Remove fan units as part of add alternate MK-2 if accepted.

PLUMBING (P):

1. Disconnect cap and/or remove any and all existing plumbing piping, devices and fixtures throughout entire facility as required for complete renovations to the existing facility.
2. Remove existing ice machine and cap water line. Relocate ice machine to new location as shown on drawing A-7.4 including new water line.
3. Remove existing kitchen plumbing fixtures, cookline gas connections and related piping, floor drains and related piping as required if add alternate PK-1 is accepted. Re-connect cook line when re-installed including new piping.
4. Remove existing air compressor.
5. Upon completion of new first floor toilet at gear area, remove existing toilet room plumbing fixtures and related piping. Prior to demolition provide any temporary piping needed to maintain operation of this bathroom during construction and alteration of first floor new plumbing work.
- 6.

ELECTRICAL (E):

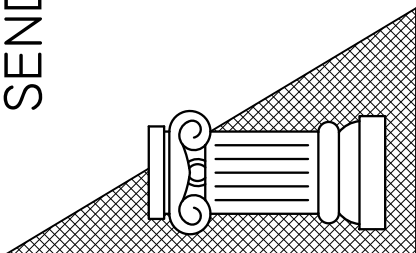
1. Provide new outlets and switch lighting fixtures in this area to local switch for owner temporary use during construction.
2. Disconnect cap and/or remove any and all existing circuits, devices and fixtures throughout entire facility as required for complete renovations to the existing facility.
3. Remove existing kitchen hood and all associated devices electrical feeders as required if add alternate EK-1 is accepted.
4. Remove all electric switchgear and service.
5. Temporarily relocate existing generator during construction. Disconnect and move to off site location (within 10 miles) where directed by owner upon completion of new work.

DATE: ISSUE

04-01-21
ISSUED FOR BIDDING

SEAL:

SENDEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
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HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528
DEMO FLOOR PLANS

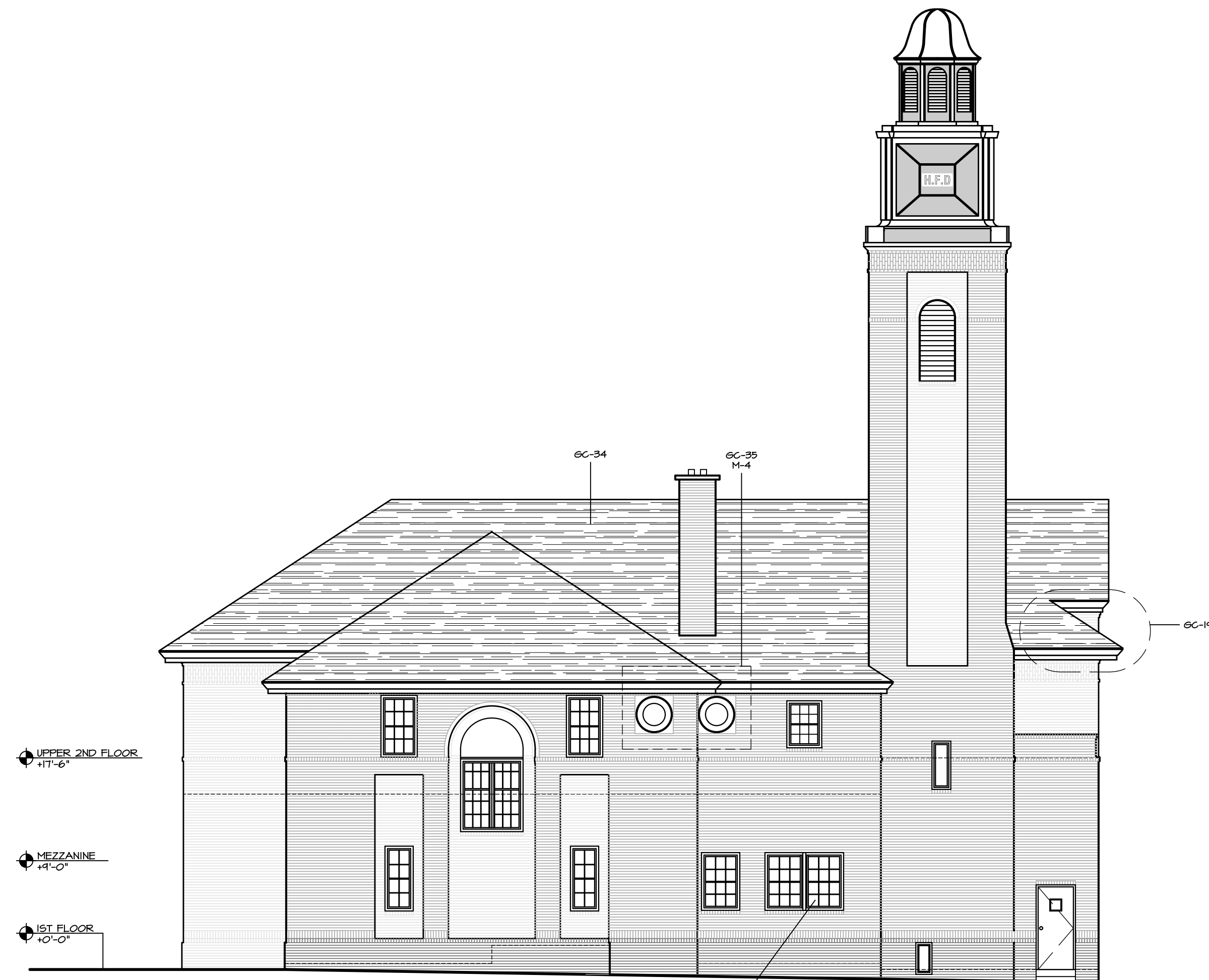
PROJECT #: 2020-04

DRAWN BY: SEND. ARCH.

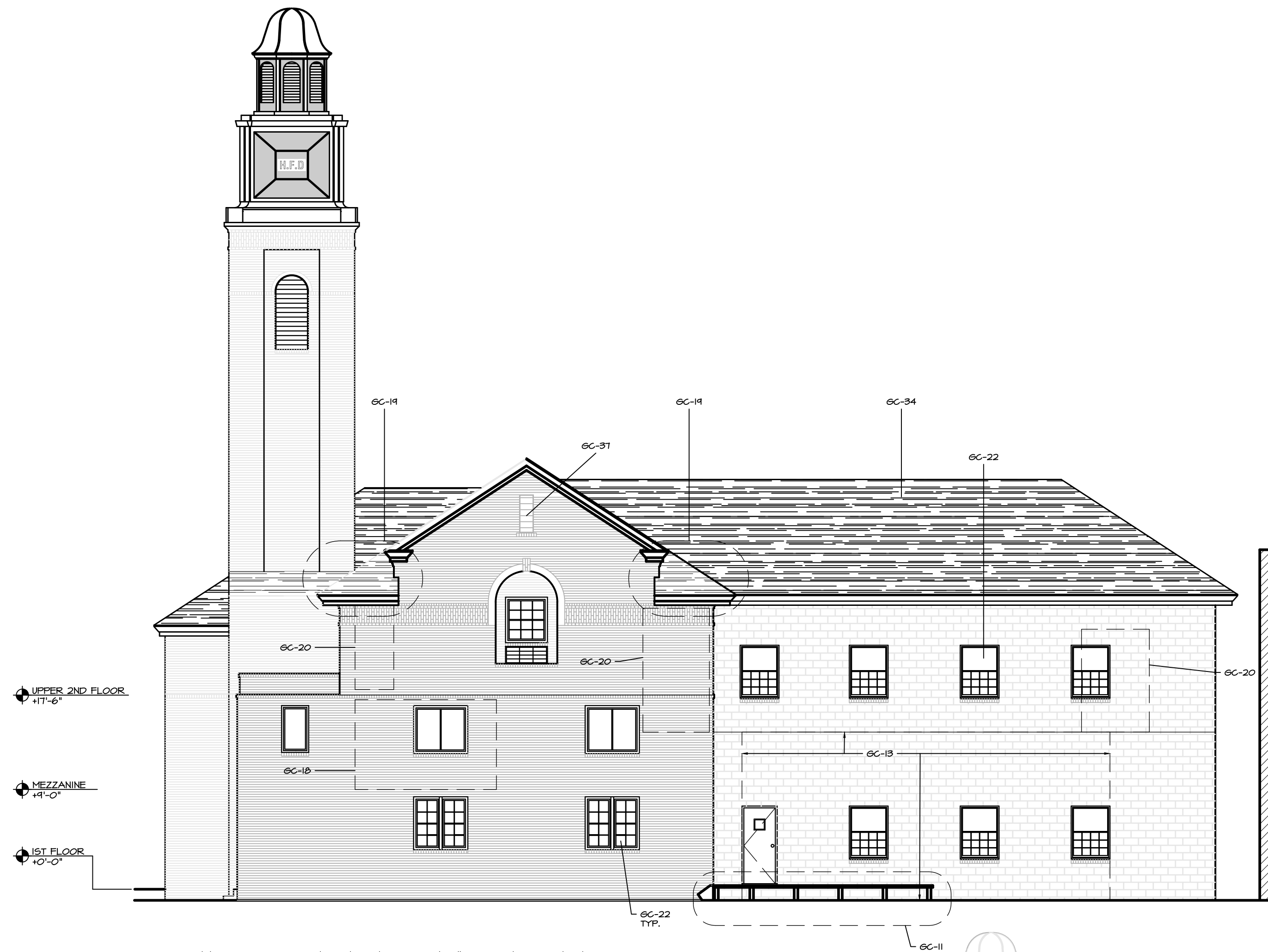
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2020-04

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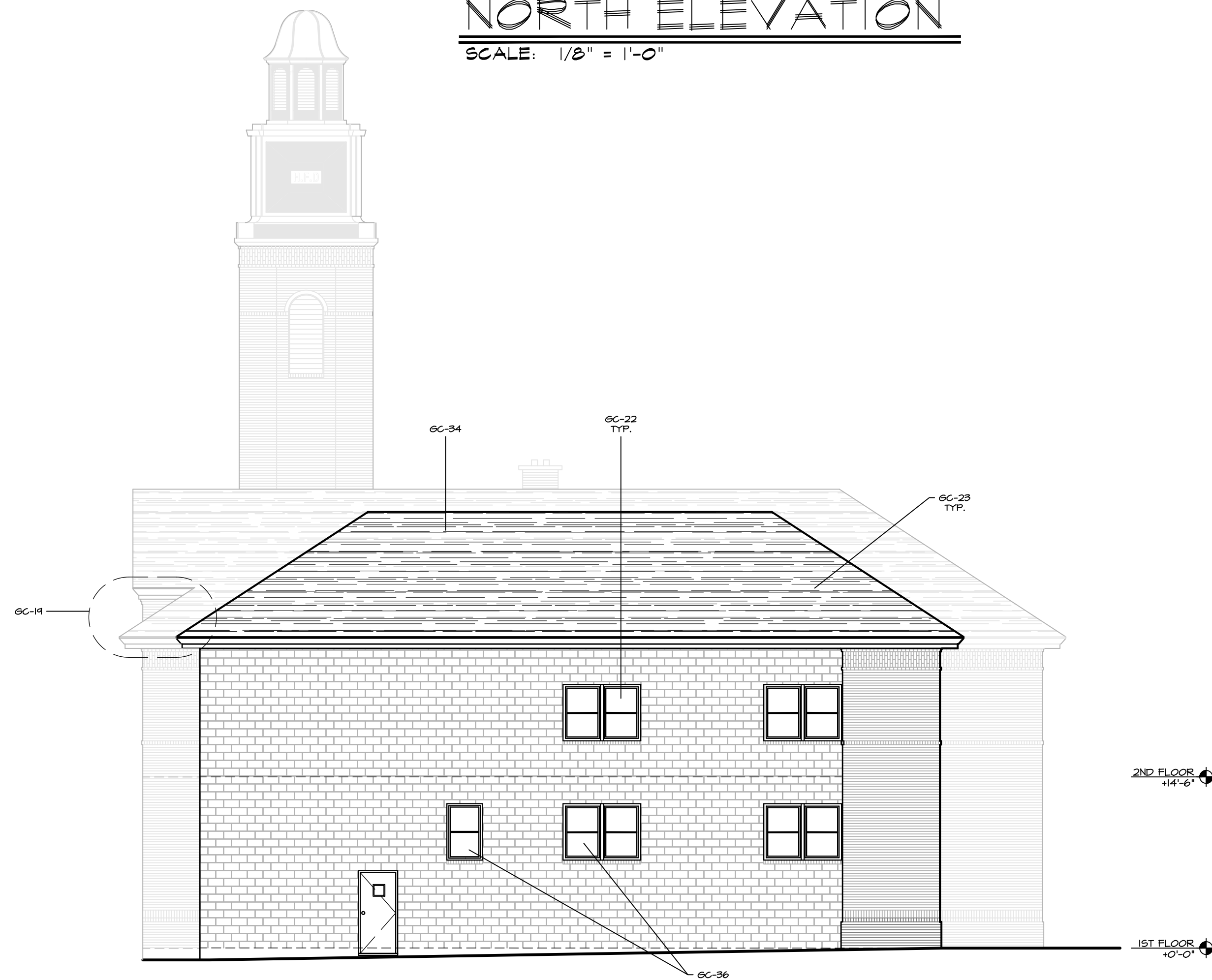
D-1



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"
GC-21 (TYP)



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

DATE: 04-01-21
ISSUE: ISSUED FOR BIDDING

SEAL:

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DEMO ELEVATIONS

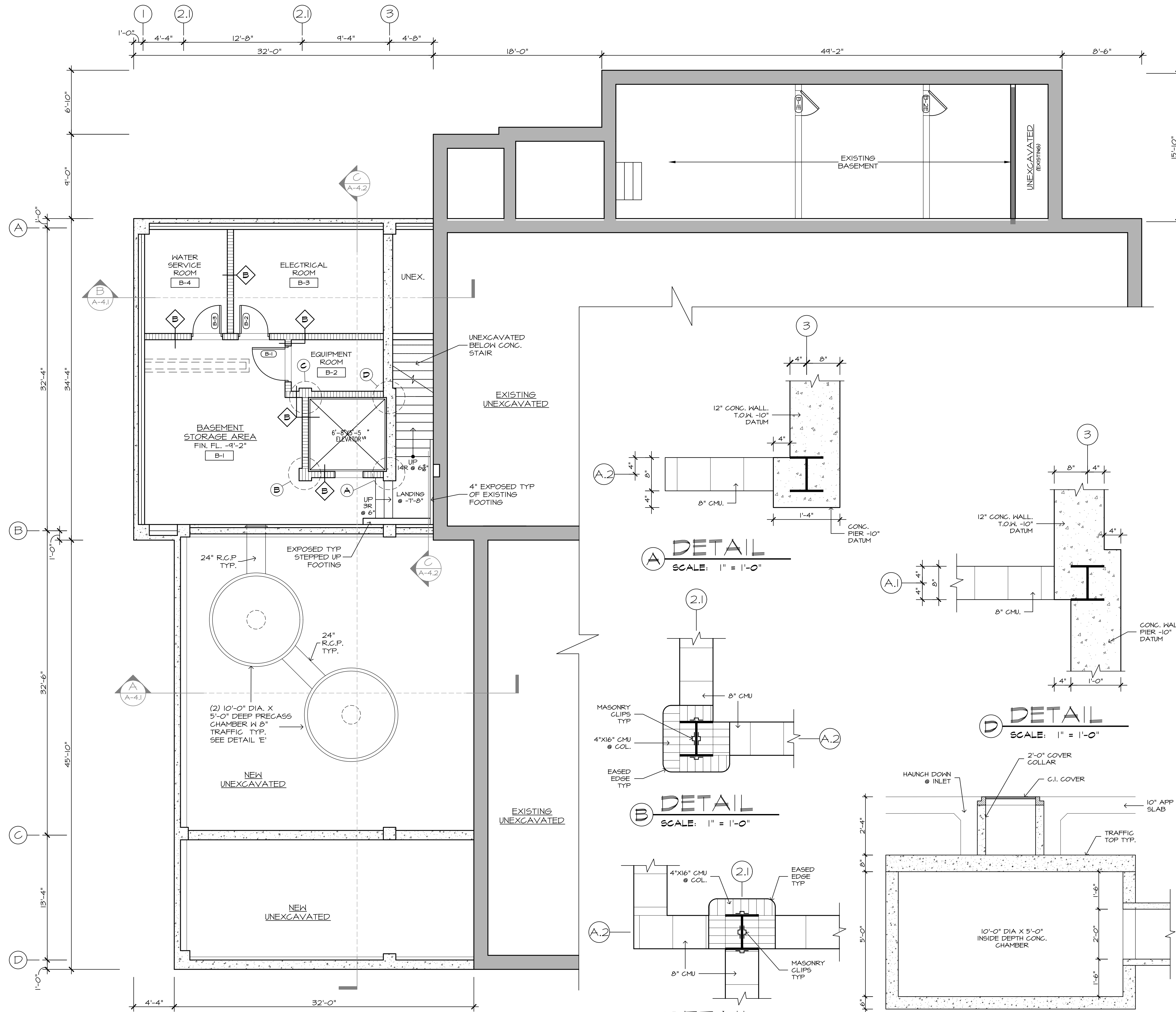
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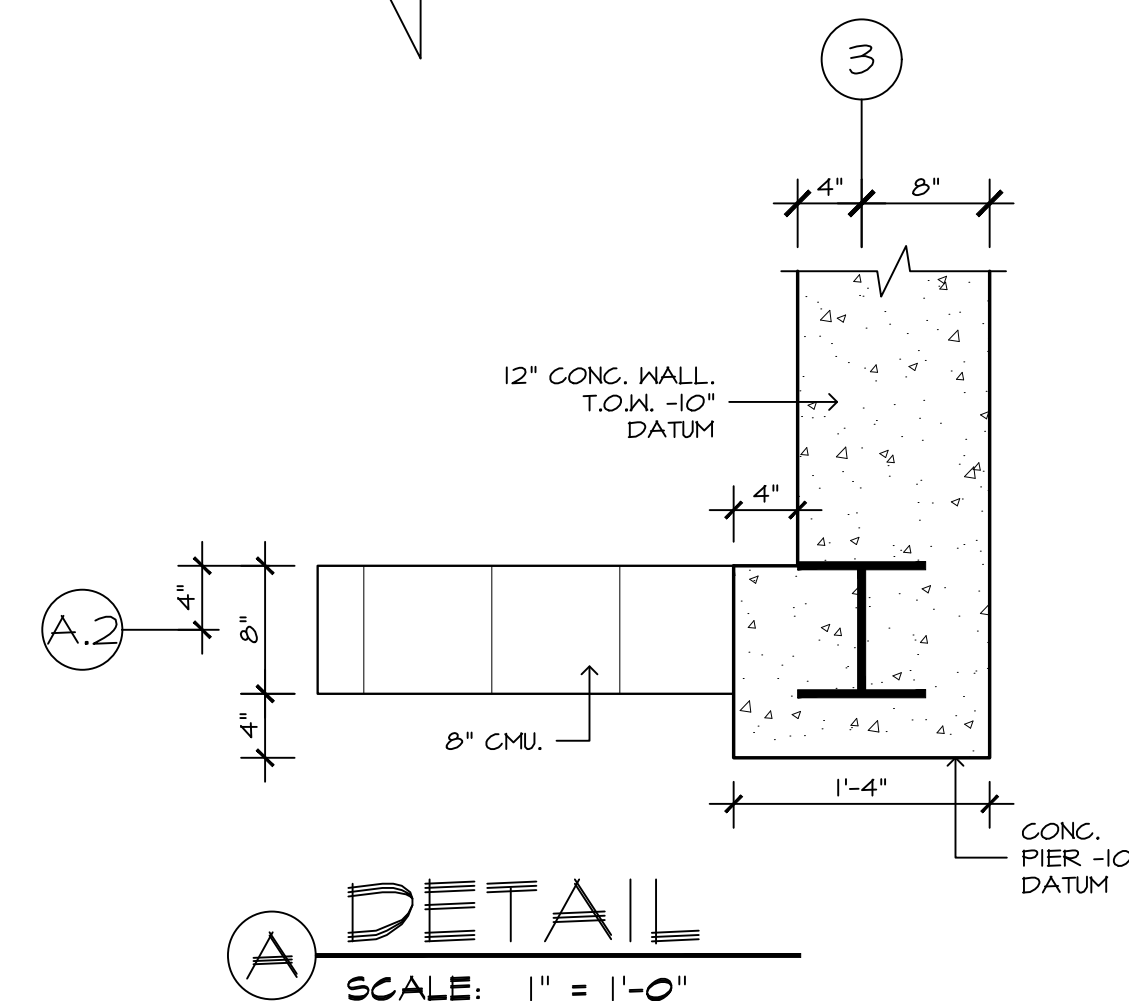
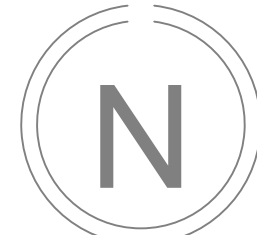
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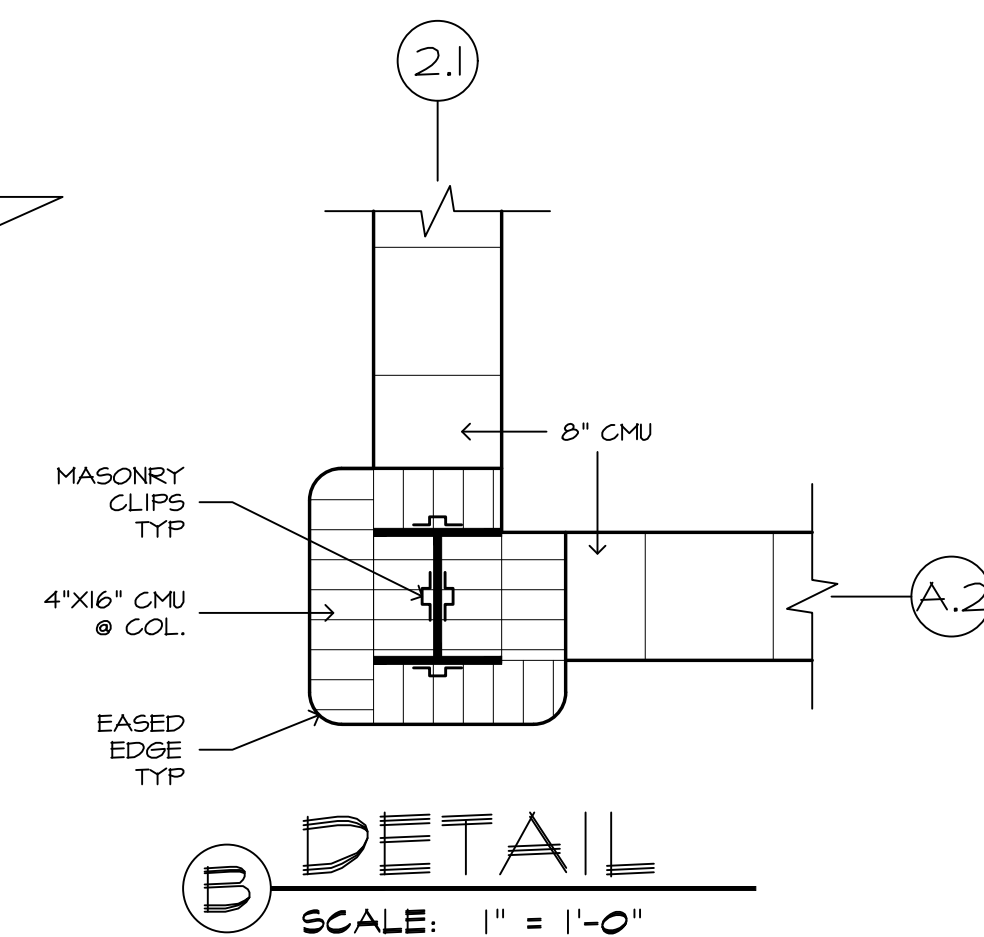
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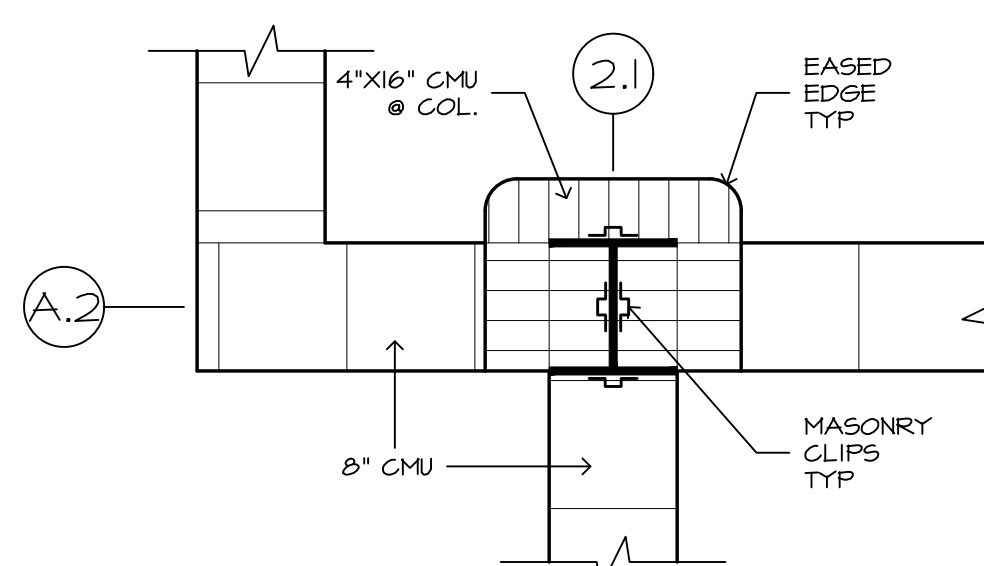
BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"
2365 S.F.



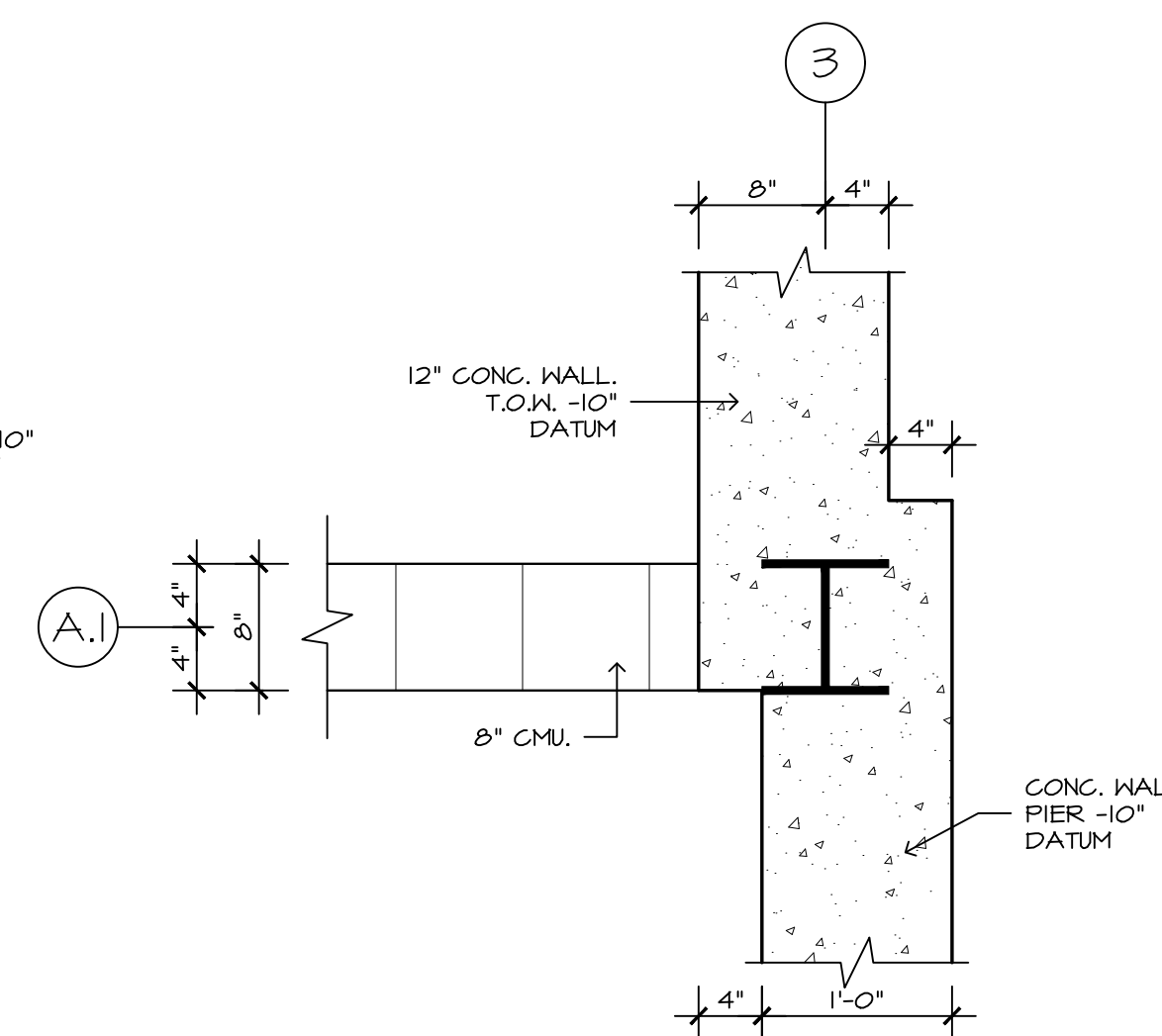
DETAIL A
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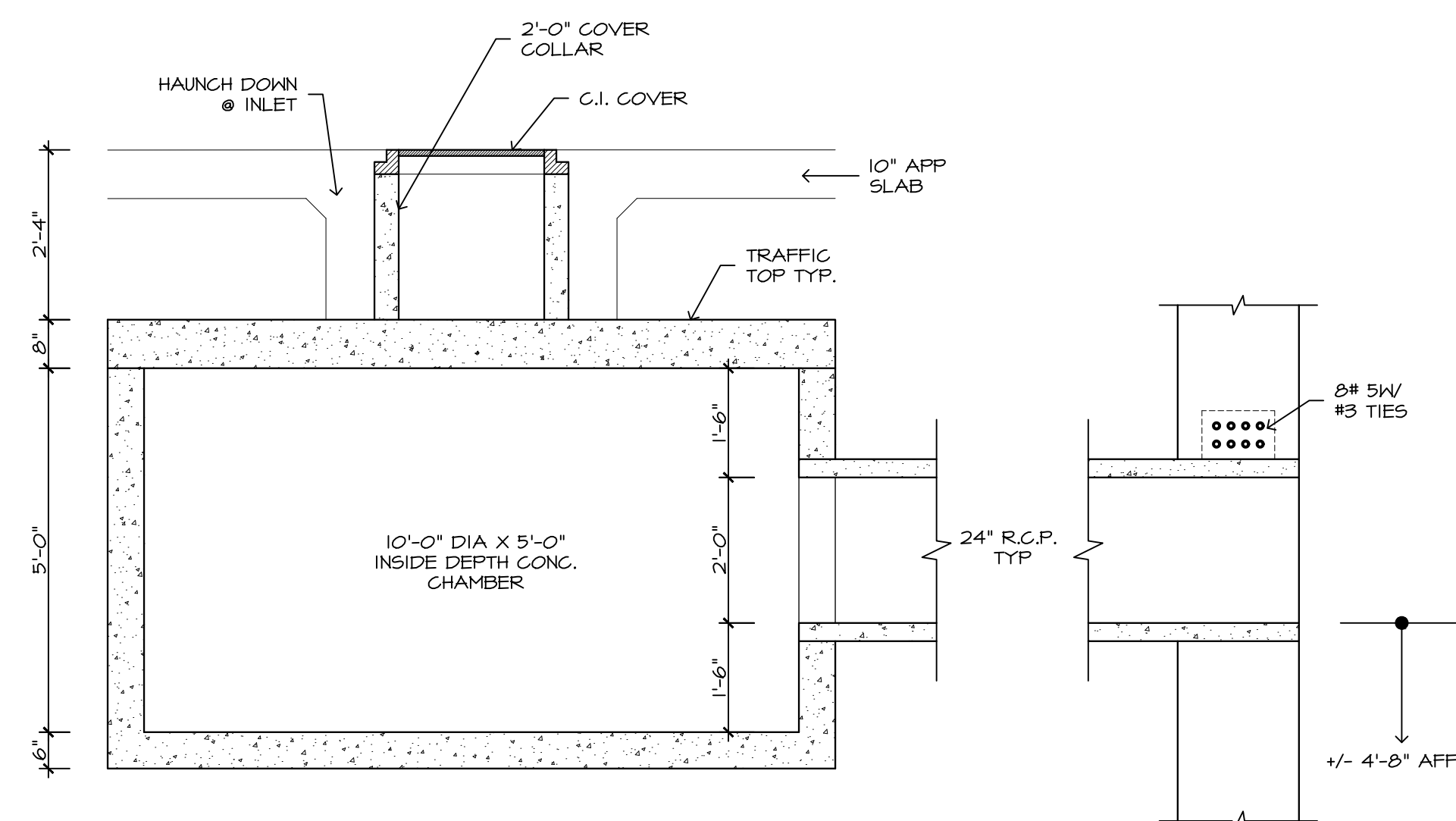
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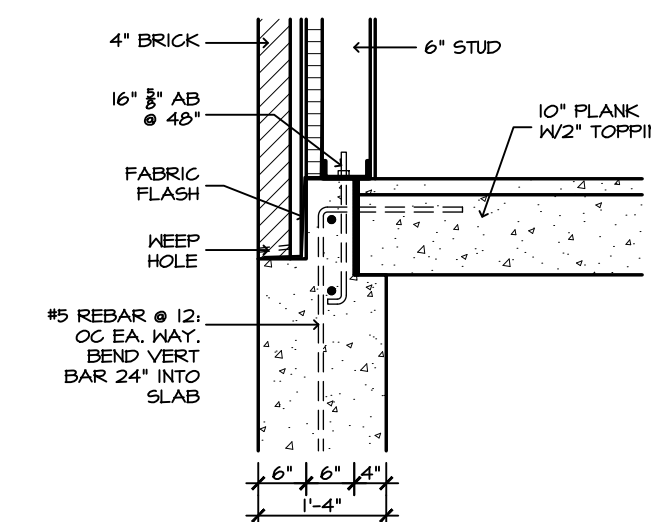
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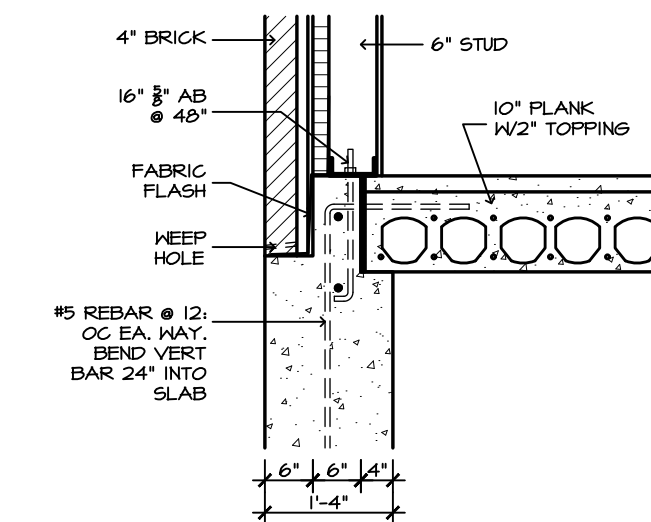
DETAIL D
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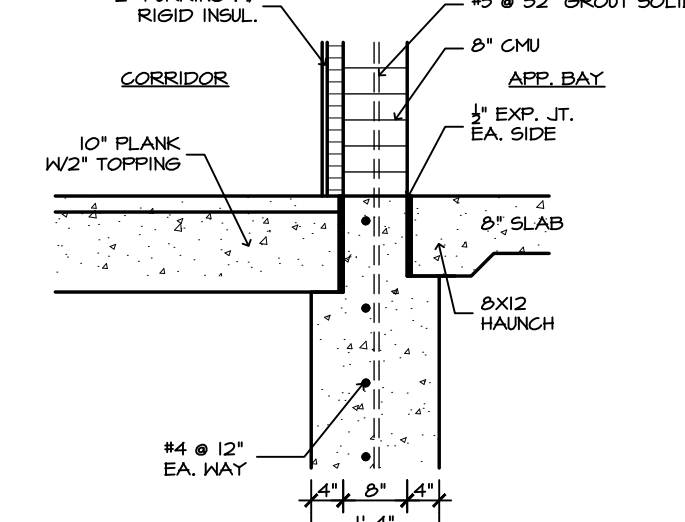
DETAIL E
SCALE: 1/2" = 1'-0"



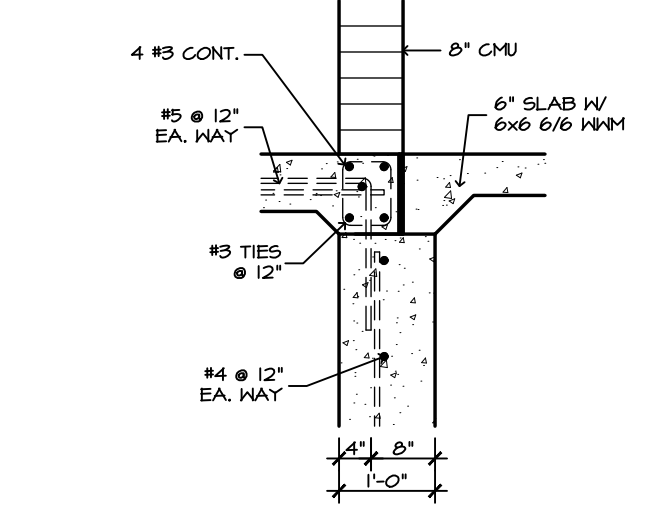
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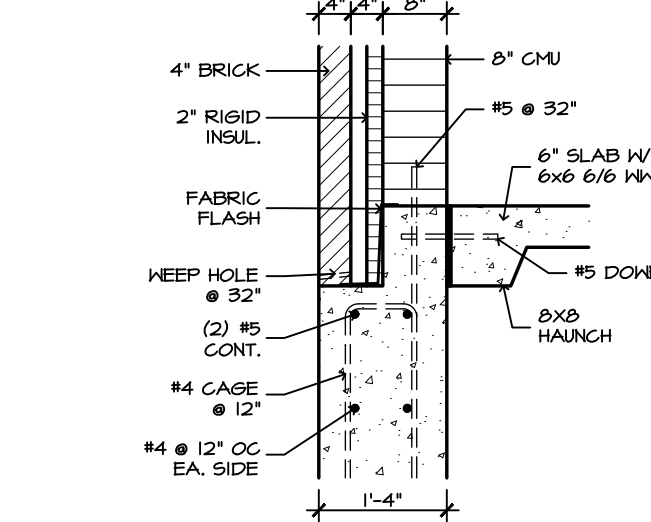
DETAIL 2
SCALE: 1/2" = 1'-0"



DETAIL 3
SCALE: 1/2" = 1'-0"



DETAIL 4
SCALE: 1/2" = 1'-0"

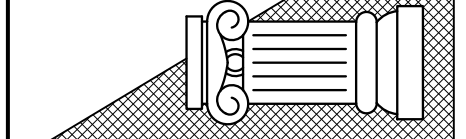


DETAIL 5
SCALE: 1/2" = 1'-0"

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PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528

BASEMENT FLOOR PLAN

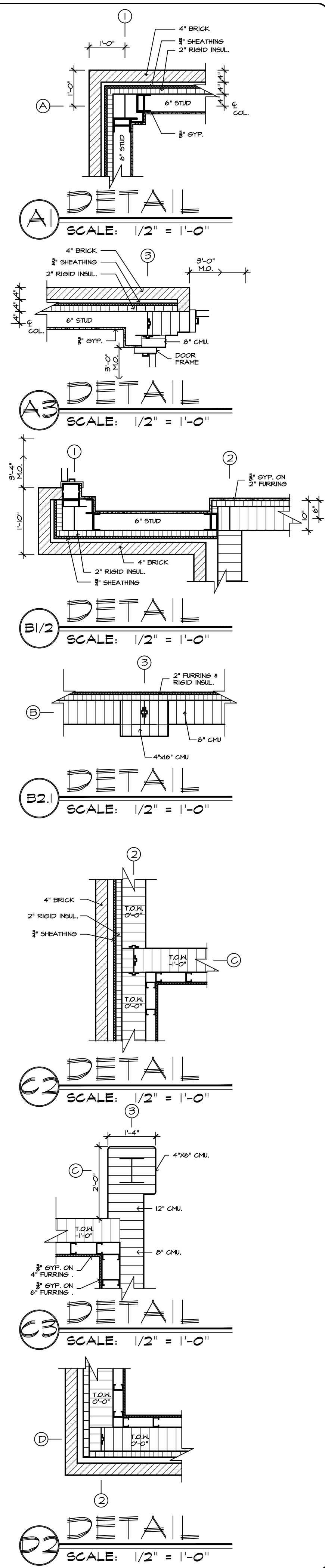
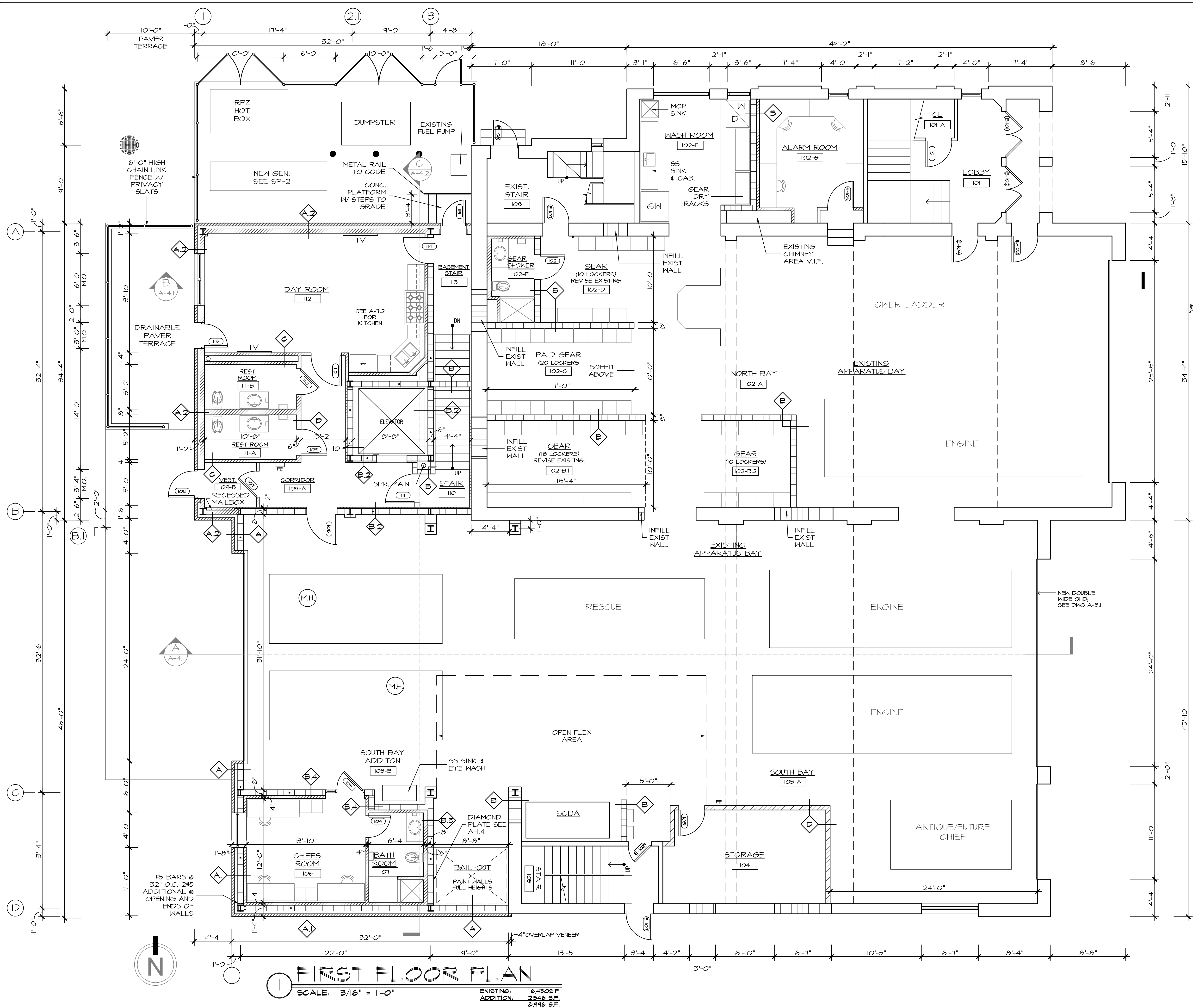
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FIRST FLOOR PLAN

PROJECT #: 2020-04

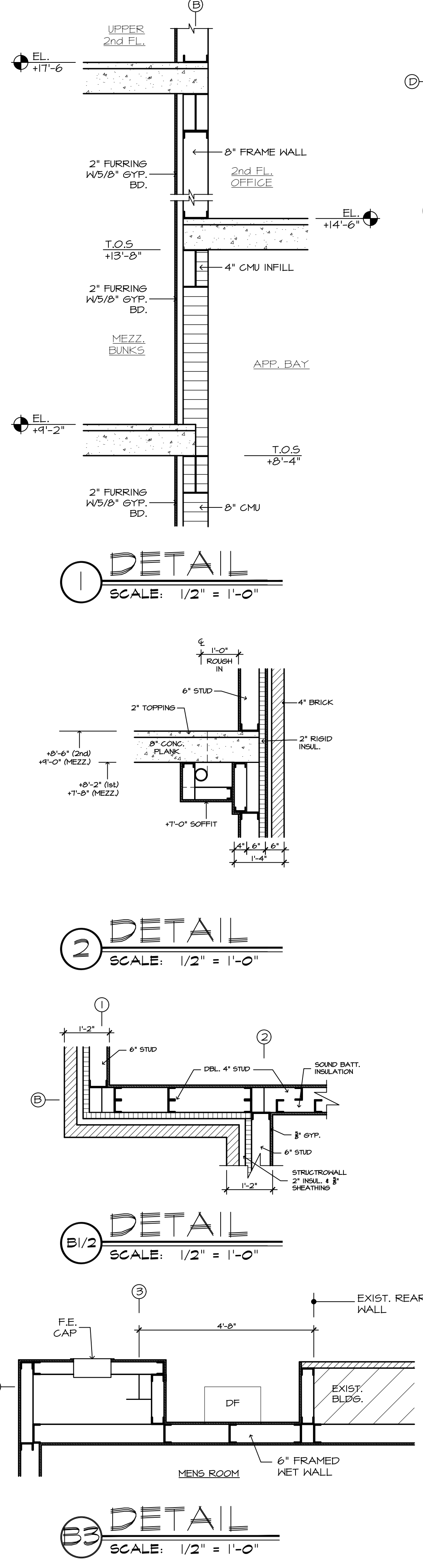
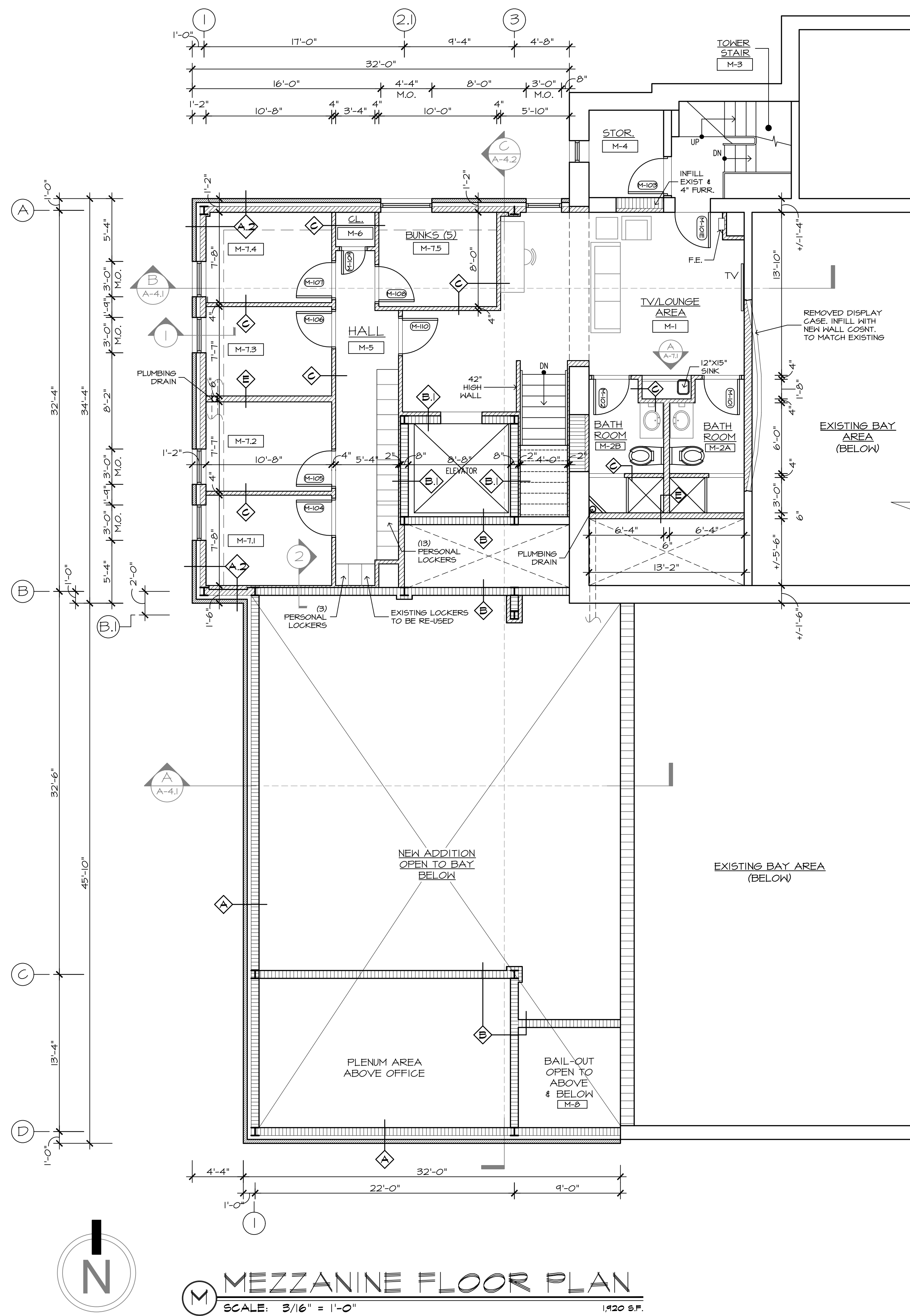
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WALL TYPES:		
A	EXT. MASONRY WALL	8" C.M.U. WALL W/ 4" AIR SPACE, AND 2" RIGID INSUL. IN CAVITY AND 4" VENEER. 8" C.M.U. TO HAVE DAMPROOFING THROUGHOUT AT EXTERIOR.
A.1	EXT. MASONRY WALL W/ FIN. INTERIOR	8" C.M.U. WALL W/ 4" AIR SPACE, AND 2" RIGID INSUL. IN CAVITY AND 4" VENEER W/ 3 3/8" STUD @ 24" O.C., 4" BATT INSUL. & 5/8" GYP. BD. ON INTERIOR FULL HEIGHT. 8" C.M.U. TO HAVE DAMPROOFING THROUGHOUT AT EXTERIOR.
A.2	EXT. MASONRY WALL W/ FIN. INTERIOR	6" 14 GA STUDS @ 24" W/2" ARMORWALL STRUCTURAL INSULATED SHEATHING, 2" AIR SPACE & 4" VENEER, INTERIOR TO HAVE 6" INSULATION & 5/8" GYP. BD. FULL HEIGHT.
B	8" C.M.U. WALL	8" CONCRETE MASONRY UNIT WALL TO UNDERSIDE OF DECK ABOVE. W/ #4 @ 32" O.C. FULL HT. W/ 3000 PSI CONC. & TRUSS REINF. @ 16" FULL HEIGHT TO DECK.
B.1	8" C.M.U. WALL FIN. 1 SIDE	8" REINFORCE PER TYPE "B" C.M.U. WALL, 3 3/8" STUD @ 24" O.C. 4" INSUL. & 5/8" G.W.B. ON ONE SIDE OF CONCRETE MASONRY UNITS. FULL HEIGHT TO DECK.
B.2	8" C.M.U. WALL W/FURRING/FINISH	8" C.M.U. WALL REINFORCED PER TYPE "B" W/ 2 MTL FURRING ONE SIDE @24" O.C. 1 1/2" RIGID INSUL. & 5/8" G.W.B. FULL HT. TO DECK ABOVE
B.3	8" C.M.U. WALL W/ 6" STL. STUDS	8" C.M.U. WALL W/ 6" STL. STUDS @ 16" O.C., 2" MTL. "2" FURRING @ 24" O.C. & 5/8" G.W.B. ON CONCRETE MASONRY UNITS. EXTEND FULL HT TO BOTTOM OF DECK ABOVE.
B.4	8" CMU WALL W/ 4" FURRING	8" C.M.U. WALL REINFORCED PER TYPE "B" W/ 4" MTL FURRING ONE SIDE @24" O.C. 1 1/2" RIGID INSUL. & 5/8" G.W.B. FULL HT. TO DECK ABOVE
C	4" WALL	4" WALL W/ 4" 20 GA. STL. STUDS @ 16" O.C. FULL HT. TO DECK ABOVE, AND 4" BATT. INSUL. W/ 5/8" GYP. BD. EACH SIDE. WALL TO EXTEND FULL HEIGHT TO DECK.
C.1	4" WALL	4" WALL W/ 4" 20 GA. STL. STUDS @ 16" O.C. AND 4" BATT. INSUL. W/ 5/8" GYP. BD. EACH SIDE EXTEND WALL 4" MIN. ABOVE FINISHED CEILING BRACE TOP OF WALL AT 8'-0" MIN.
D	6" WALL	6" WALL W/ 6" 20 GA. STL. STUDS @ 16" O.C. FULL HT. TO DECK ABOVE, AND 4" BATT. INSUL. W/ 5/8" GYP. BD. EACH SIDE. WALL TO EXTEND FULL HEIGHT TO DECK.
D.1	6" WALL	6" WALL W/ 6" 20 GA. STL. STUDS @ 16" O.C. AND 4" BATT. INSUL. W/ 5/8" GYP. BD. EACH SIDE EXTEND WALL 4" MIN. ABOVE FINISHED CEILING BRACE TOP OF WALL AT 8'-0" MIN.
D.2	6" WALL	6" PLUMBING WALL W/ 6" 20 GA. STL. STUDS @ 16" O.C. AND 4" BATT. INSUL. W/ 5/8" GYP. BD. FINISH SIDE, EXTEND WALL 4" MIN. ABOVE FINISHED CEILING BRACE TOP OF WALL AT 8'-0" MIN.
E	PLUMBING CHASE WALL	16" PLUMBING CHASE WALL WITH 2 ROWS, 4" 18 GA. STL. STUDS @ 16" O.C., 4" BATT. INSUL. EACH SIDE, AND 5/8" W.R. GYP. BD. EXTEND WALL FULL HT. TO UNDERSIDE OF DECK ABOVE
F	8" WALL	8" WALL W/ 6" 20 GA. STL. STAGGERED STUDS @ 24" O.C. (12" INTERNALS) AND SOUND ATTENUATION BLANKET. W/ 5/8" GYP. BD. EACH SIDE EXTEND WALL FULL HEIGHT TO DECK.

- WALL NOTES:**
- ALL INTERIOR FRAMED WALLS SHALL BE TYPE 'D' UNLESS OTHERWISE INDICATED ON PLANS.
 - ALL INTERIOR FRAMING DIMENSIONS ARE SHOWN AS NOMINAL CLEAR DIMENSIONS.
 - ALL BATHROOM AND KITCHEN WALLS & CEILINGS SHALL HAVE 5/8" WATER RESISTANT GYP BOARD. (EXCEPT AT TILED AREAS).
 - ALL WALLS TO RECEIVE TILE SHALL HAVE 5/8" CEMENT BOARD.
 - ALL EXTERIOR WALLS IN FINISHED AREAS SHALL HAVE INSULATION & WALL BOARD FULL HEIGHT TO DECK AT INTERIOR.
 - ALL GYP. BD. WALLS SHALL RECEIVE CAULK JOINT FINISH PRIOR TO PAINTING AT ALL AREAS WHERE GYP. BD. TERMINATES @ CMU/STEEL/GLASS/METAL/ETC.
 - GC SHALL PROVIDE WALL FRAME BLOCKING AT ALL REQUIRED AREAS INCLUDING BUT NOT LIMITED TO GRAB BAR LOCATIONS, HAND RAILS, TV MOUNT LOCATIONS, ETC.
 - REFER TO SPECIFICATION SECTION 05400 FOR LIGHT GAUGE METAL FRAME DETAILS.

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HARRISON FIRE DEPT.
PROPOSED ADDITION

206 HARRISON AVE
HARRISON, NY 10528

MEZZANINE FLOOR PLAN

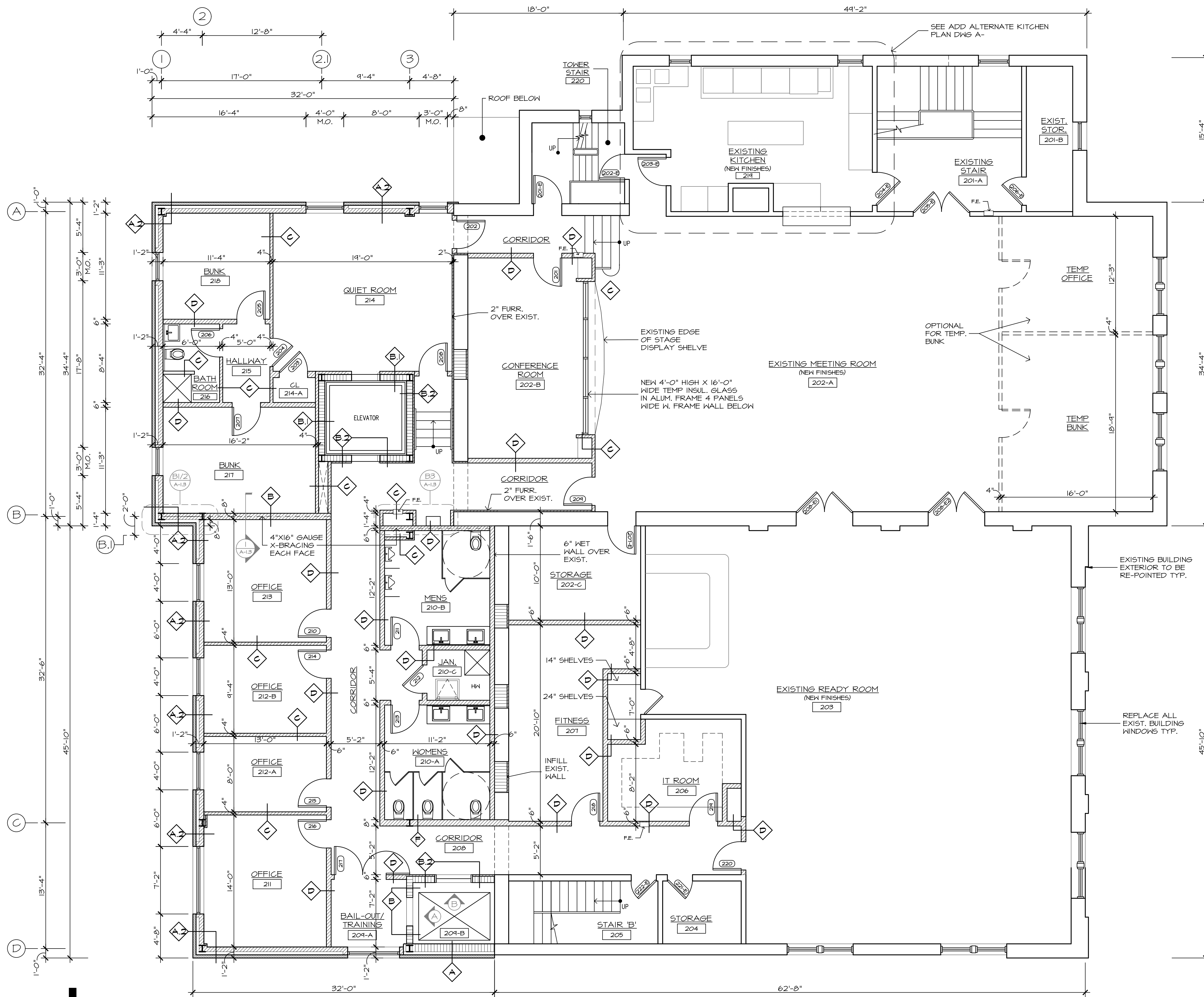
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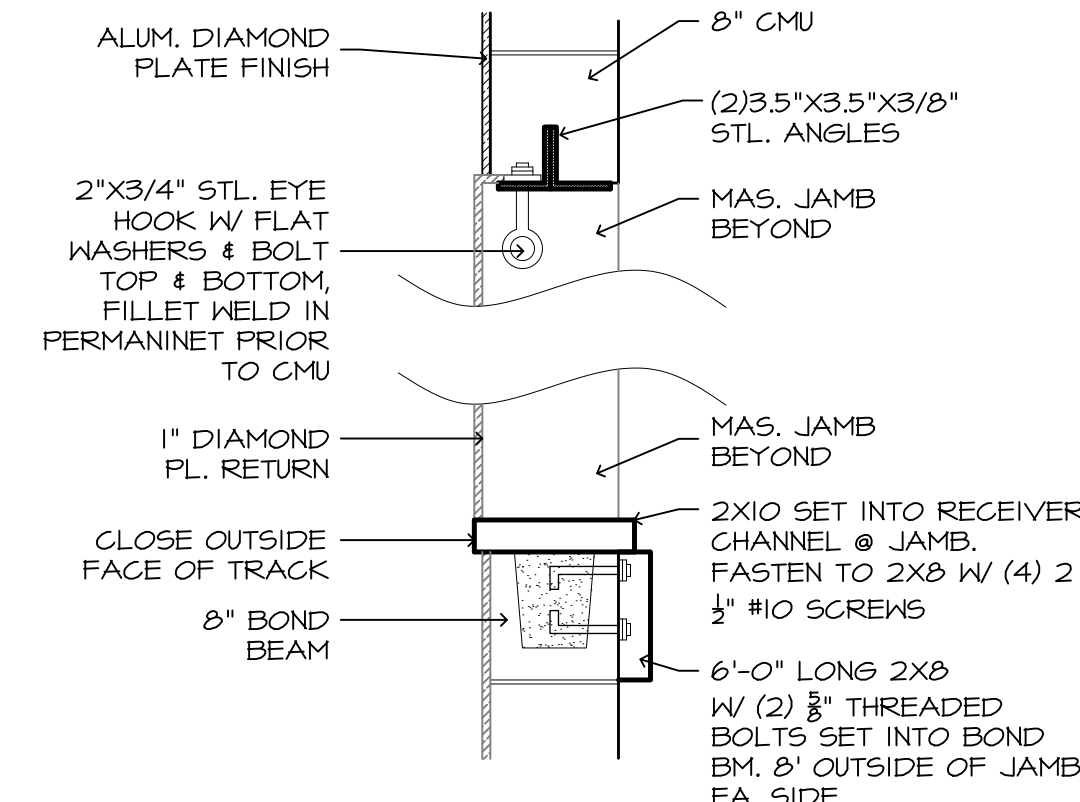
CAD FILE: P/2020/HFD
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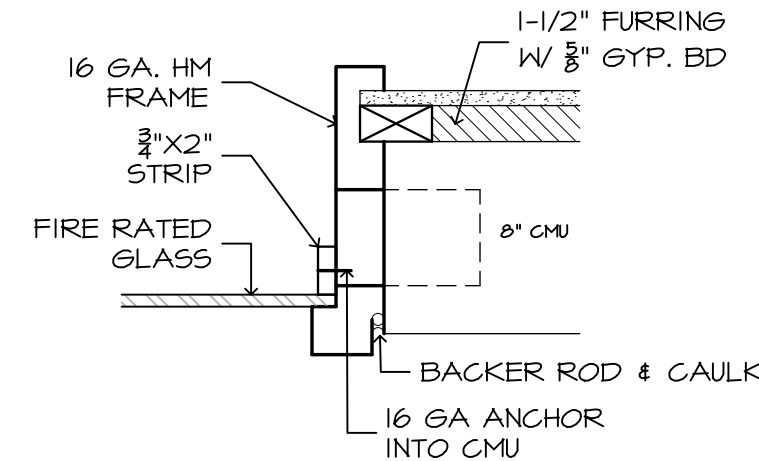
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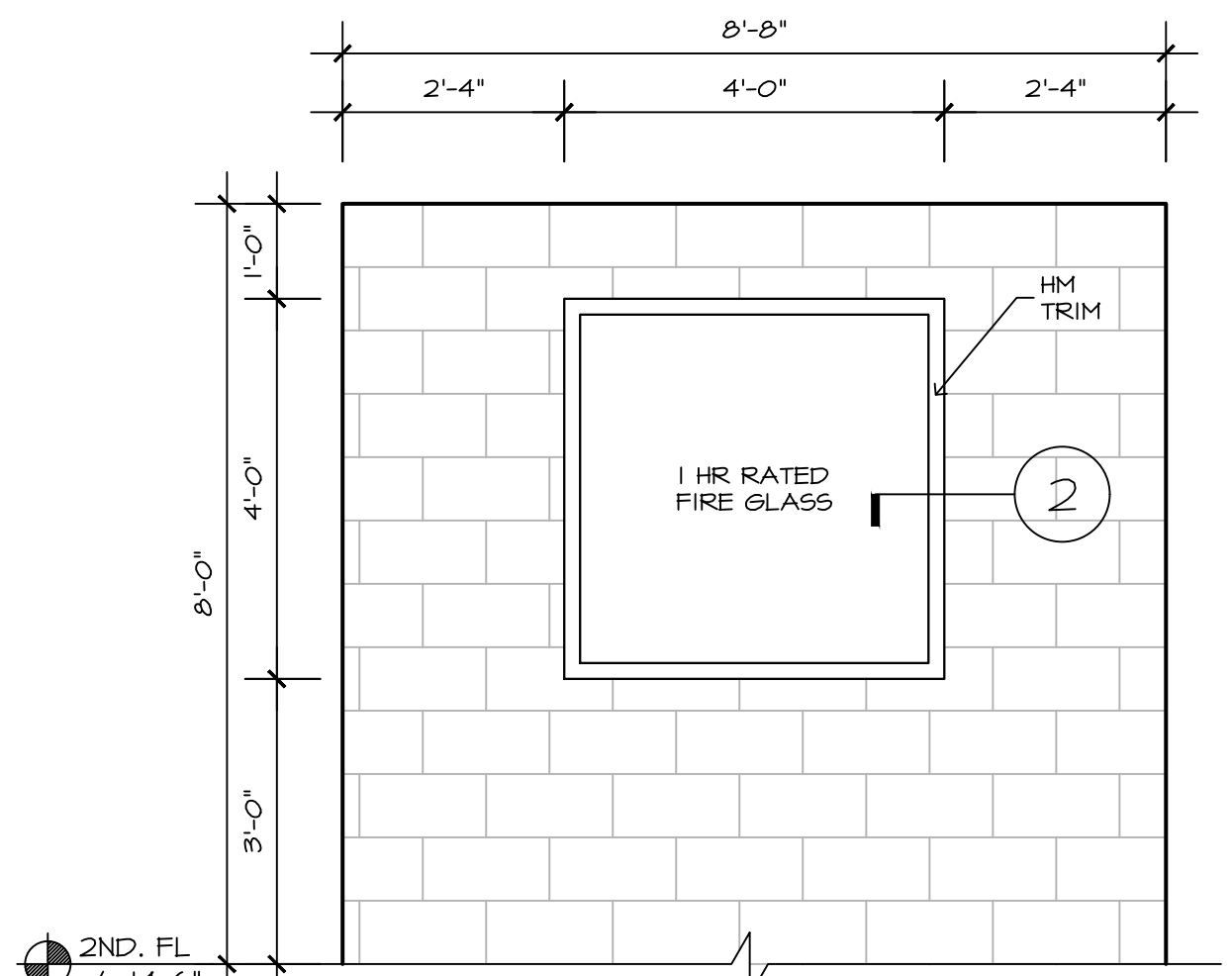
2 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



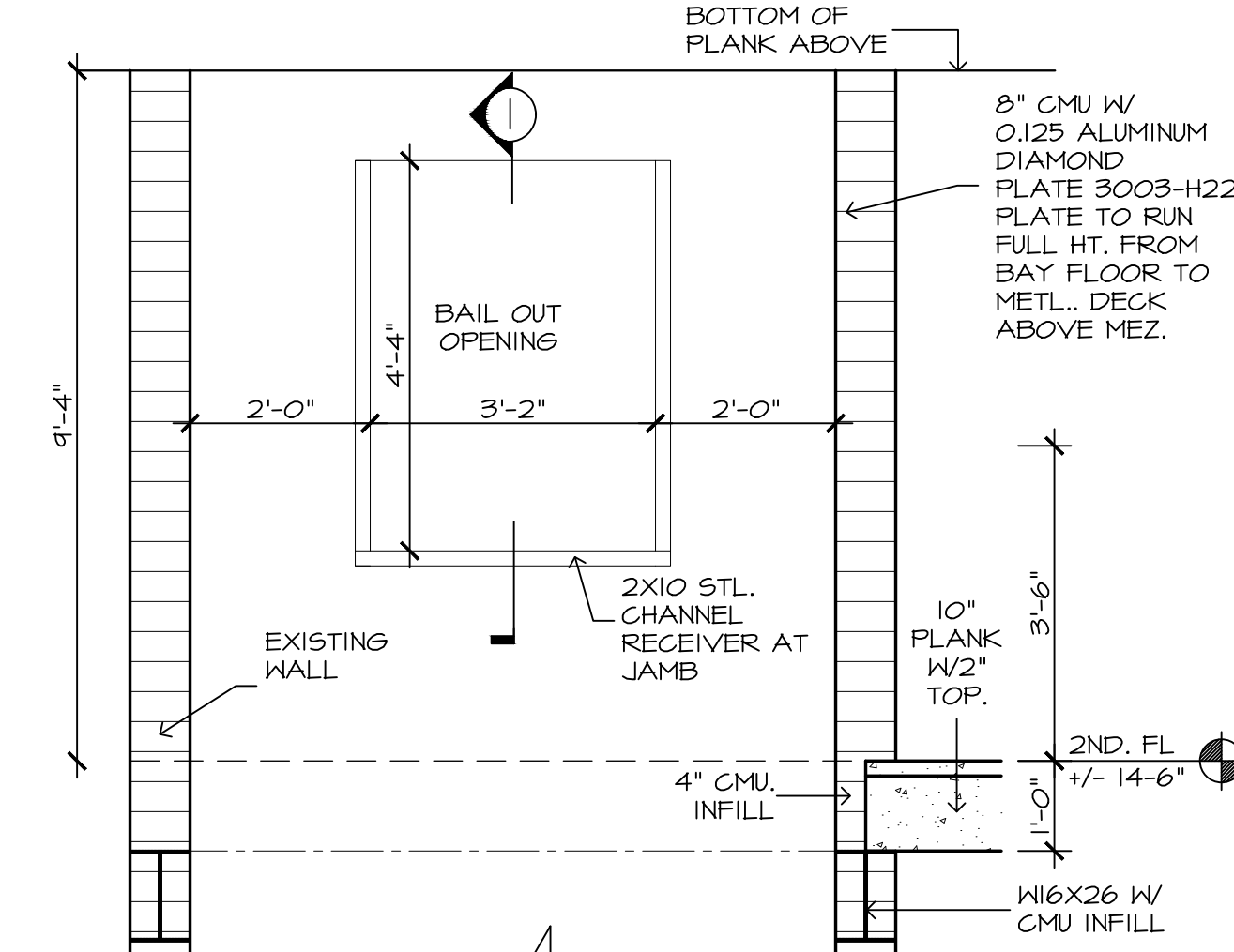
1 DETAIL
SCALE: 1" = 1'-0"



2 DETAIL
SCALE: 1-1/2" = 1'-0"



B BAIL-OUT ELEV.
SCALE: 1/2" = 1'-0"



A BAIL-OUT ELEV.
SCALE: 1/2" = 1'-0"

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HARRISON FIRE DEPT.
PROPOSED ADDITION
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HARRISON, NY 10528

SECOND FLOOR PLAN

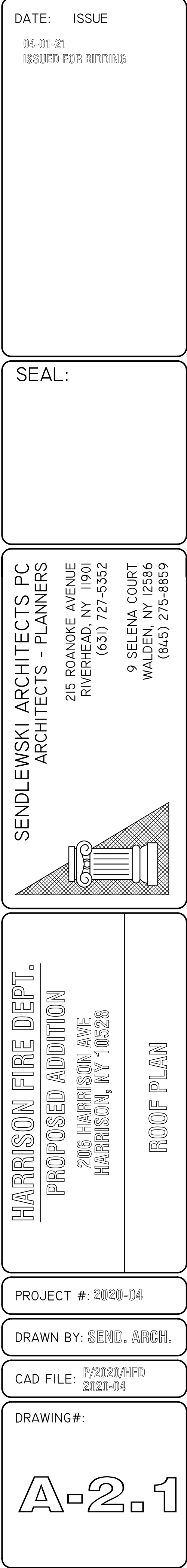
PROJECT #: 2020-04

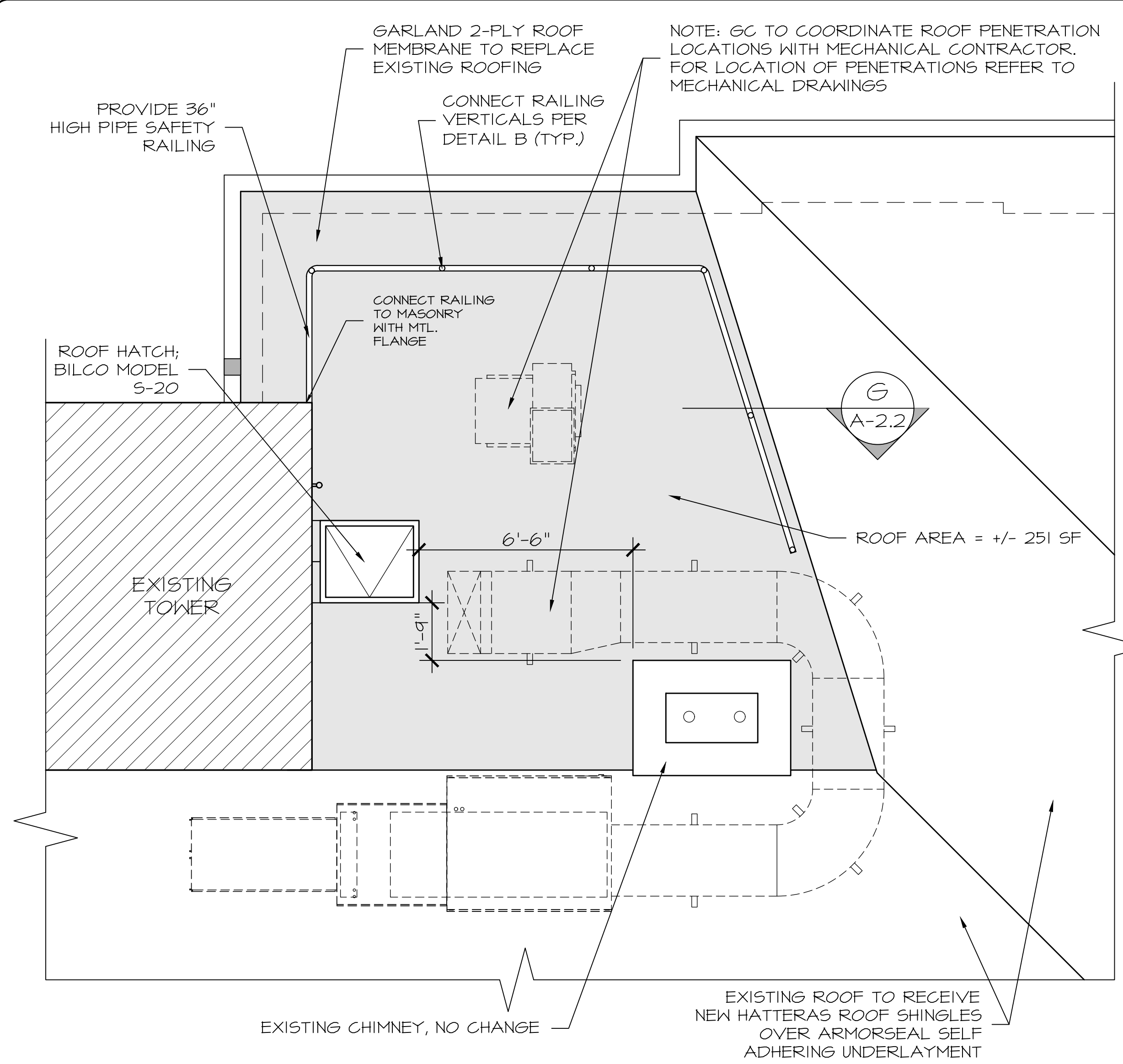
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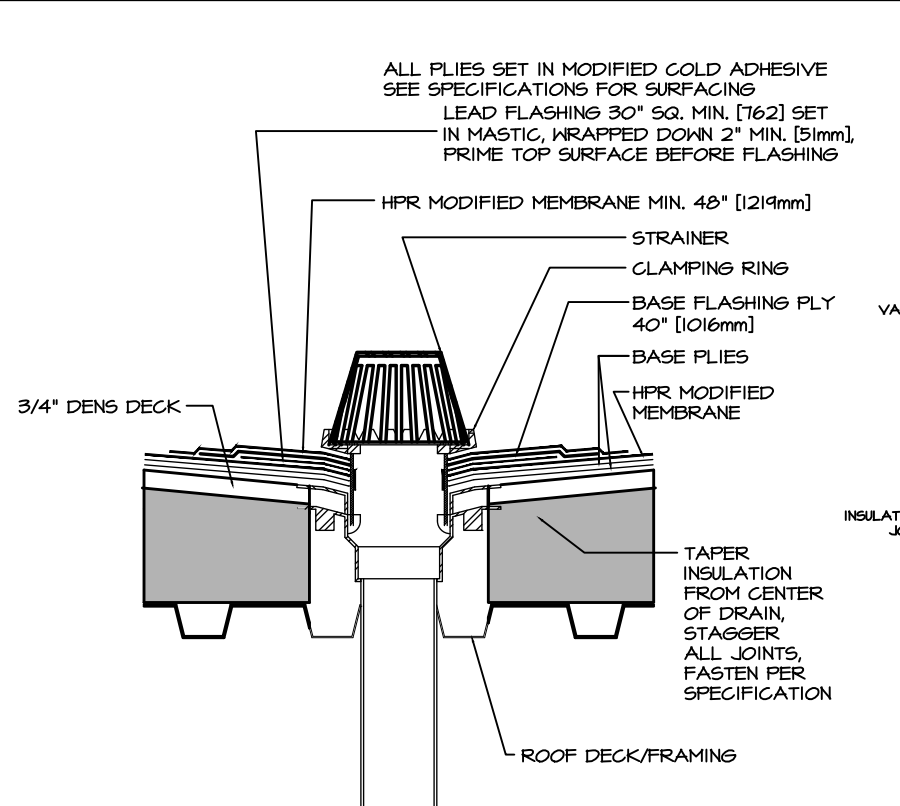
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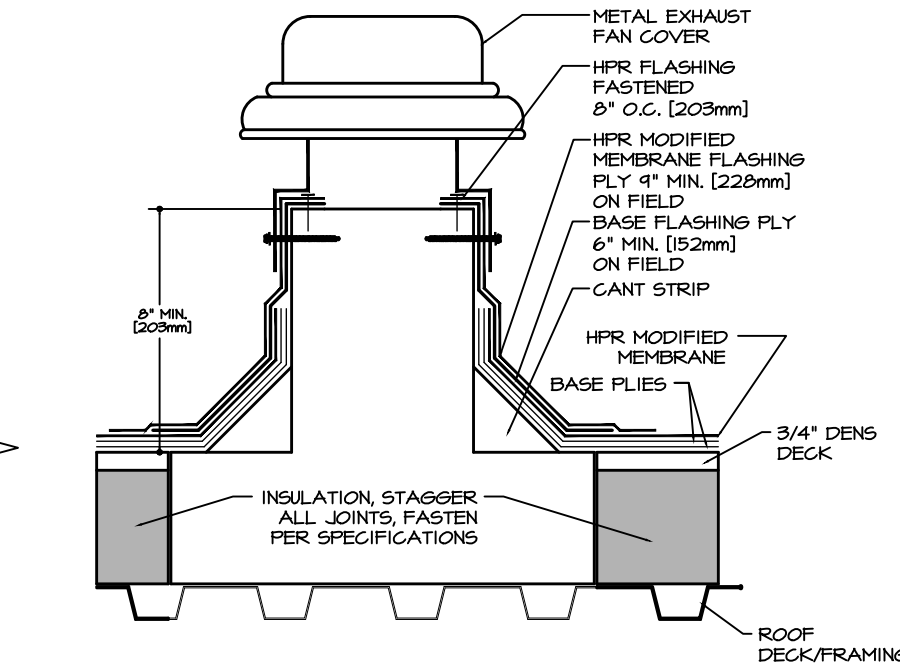


ADD ALTERNATE K-2

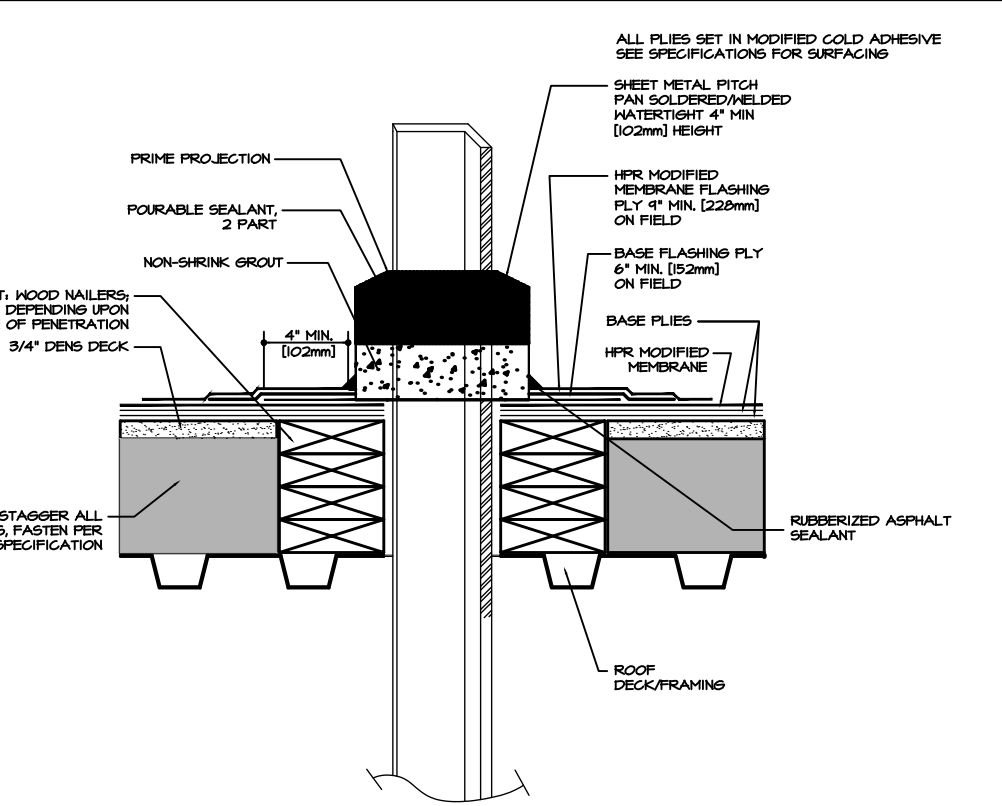
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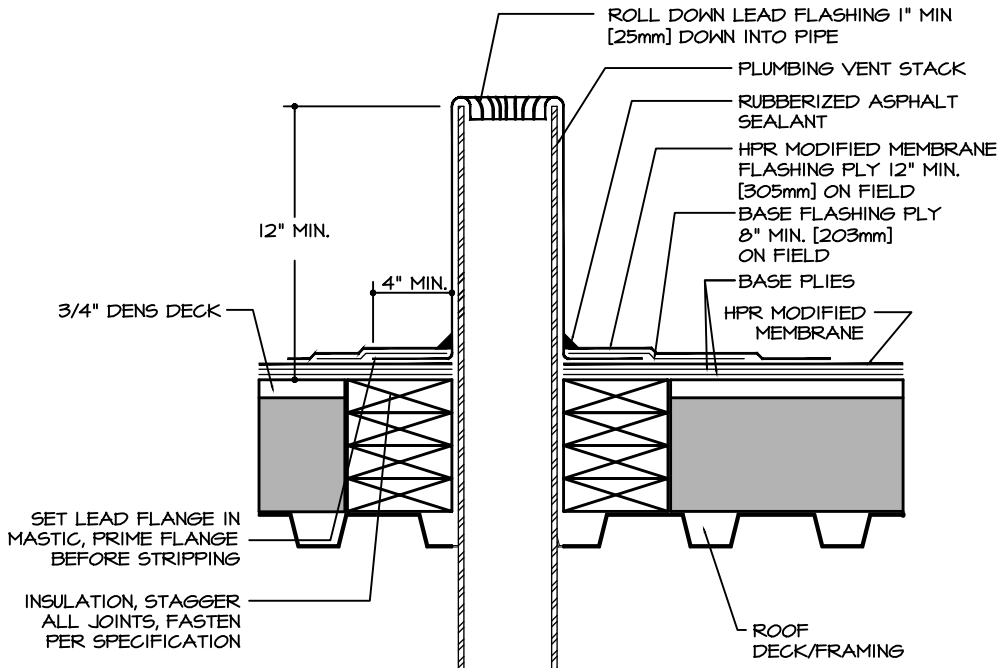
ROOF DRAIN DETAIL
SCALE: 1-1/2" = 1'-0"



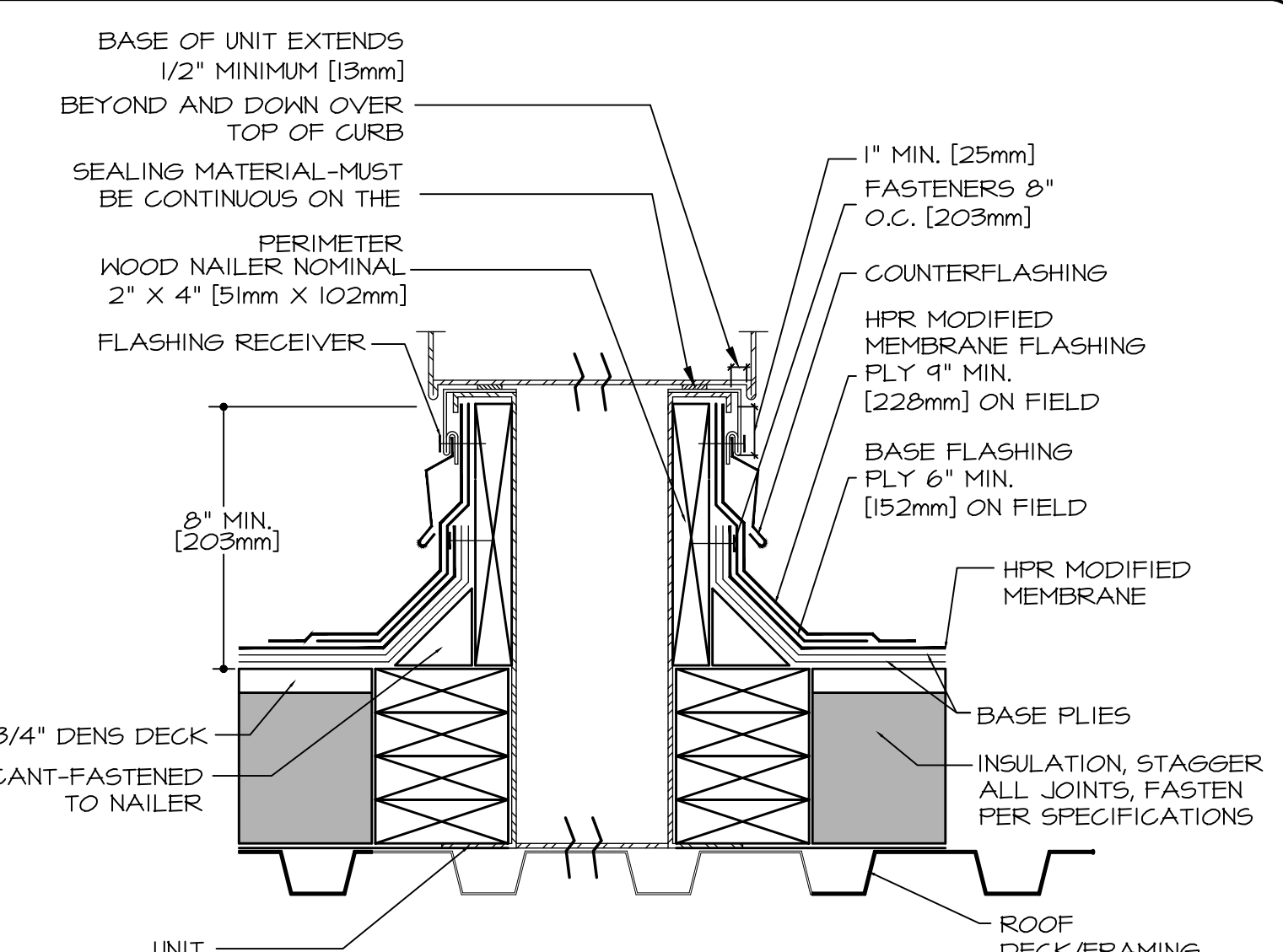
EXHAUST FAN DETAIL
SCALE: 1-1/2" = 1'-0"



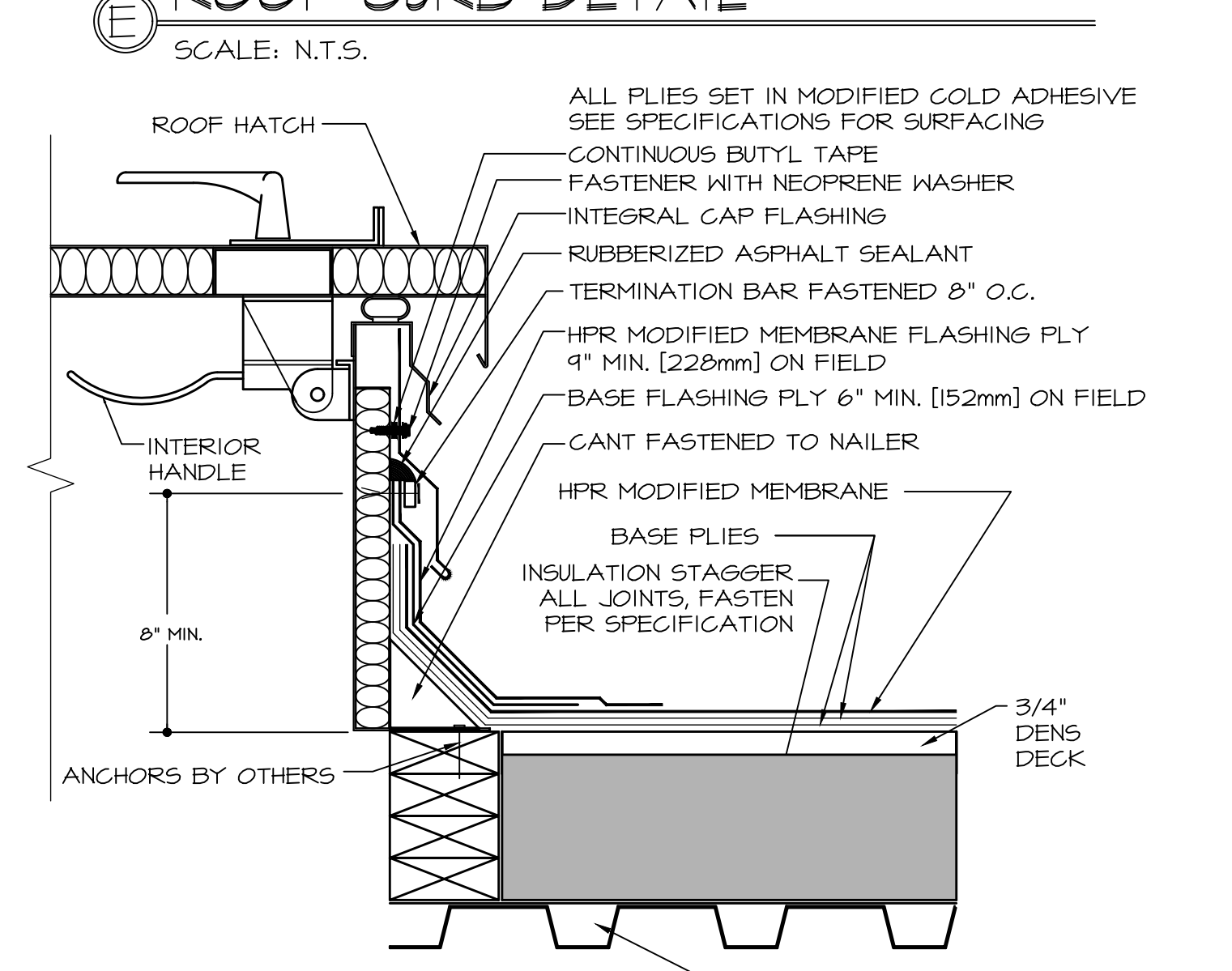
PITCH POCKET DETAIL
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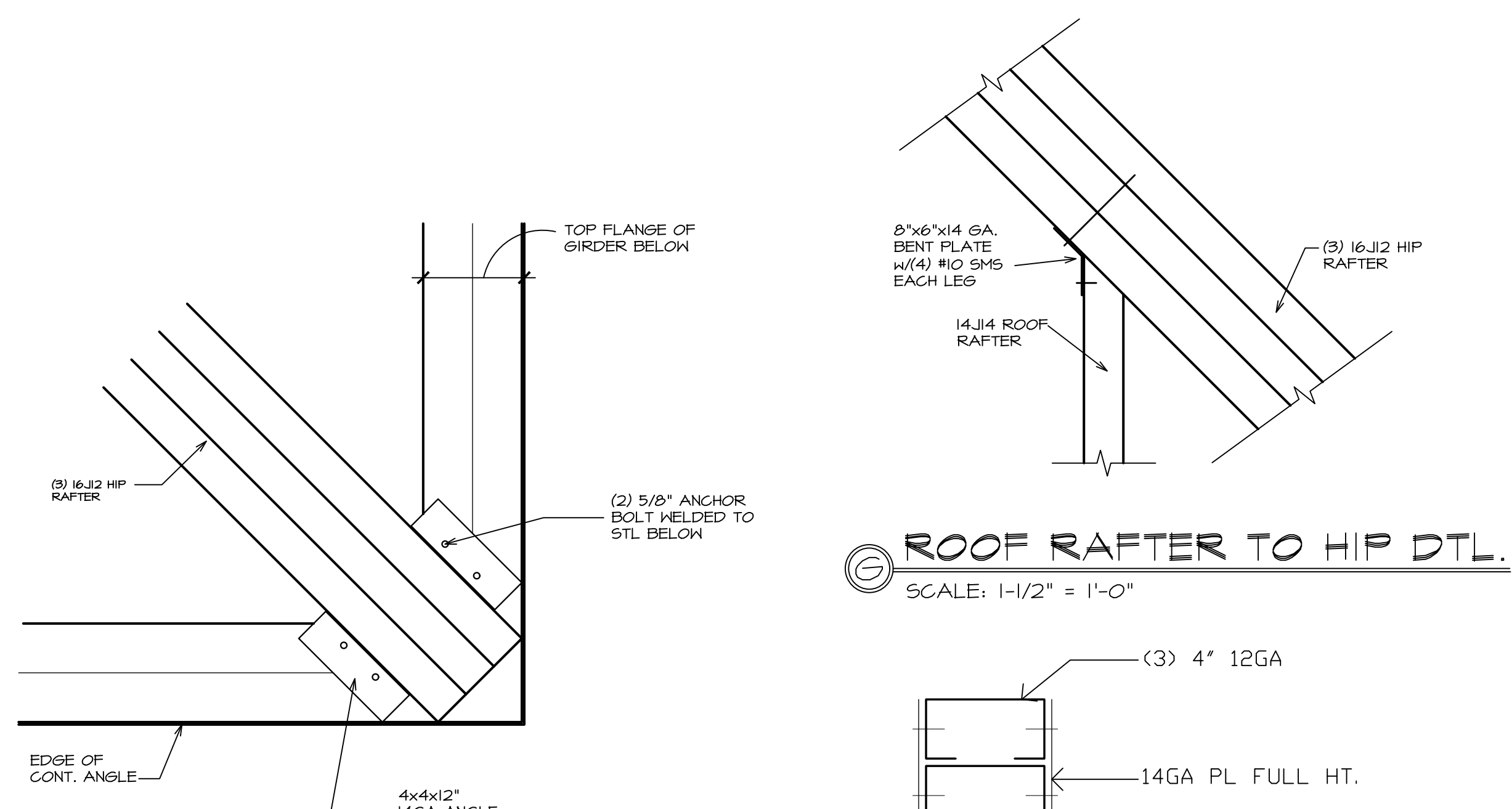
VENT PIPE DETAIL
SCALE: 1-1/2" = 1'-0"



ROOF CURB DETAIL
SCALE: N.T.S.



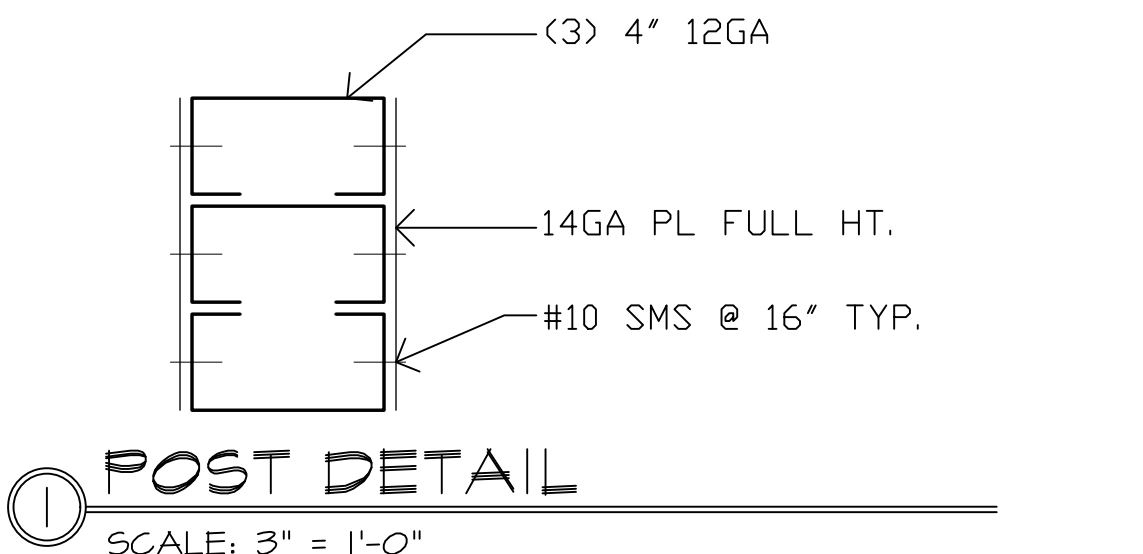
BILCO HATCH DETAIL
SCALE: N.T.S.



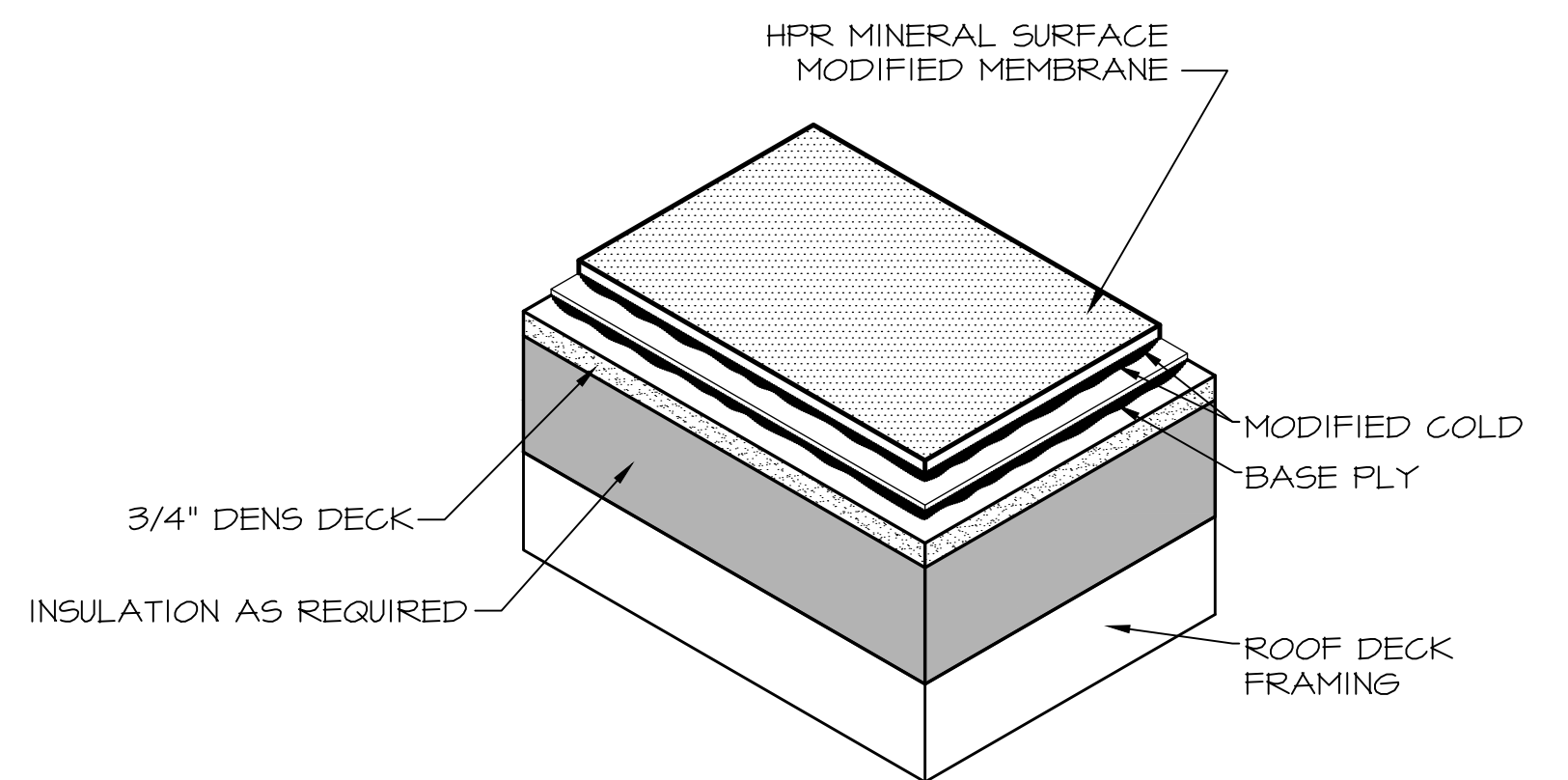
ROOF RAFTER TO HIP DTL.
SCALE: 1-1/2" = 1'-0"



HIP RAFTER/BTM. SEAT CONN. PLAN
SCALE: 1-1/2" = 1'-0"



POST DETAIL
SCALE: 3" = 1'-0"



TYPICAL 2-PLY ROOF SYSTEM
SCALE: N.T.S.

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HARRISON FIRE DEPT.

PROPOSED ADDITION

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ROOF PLAN

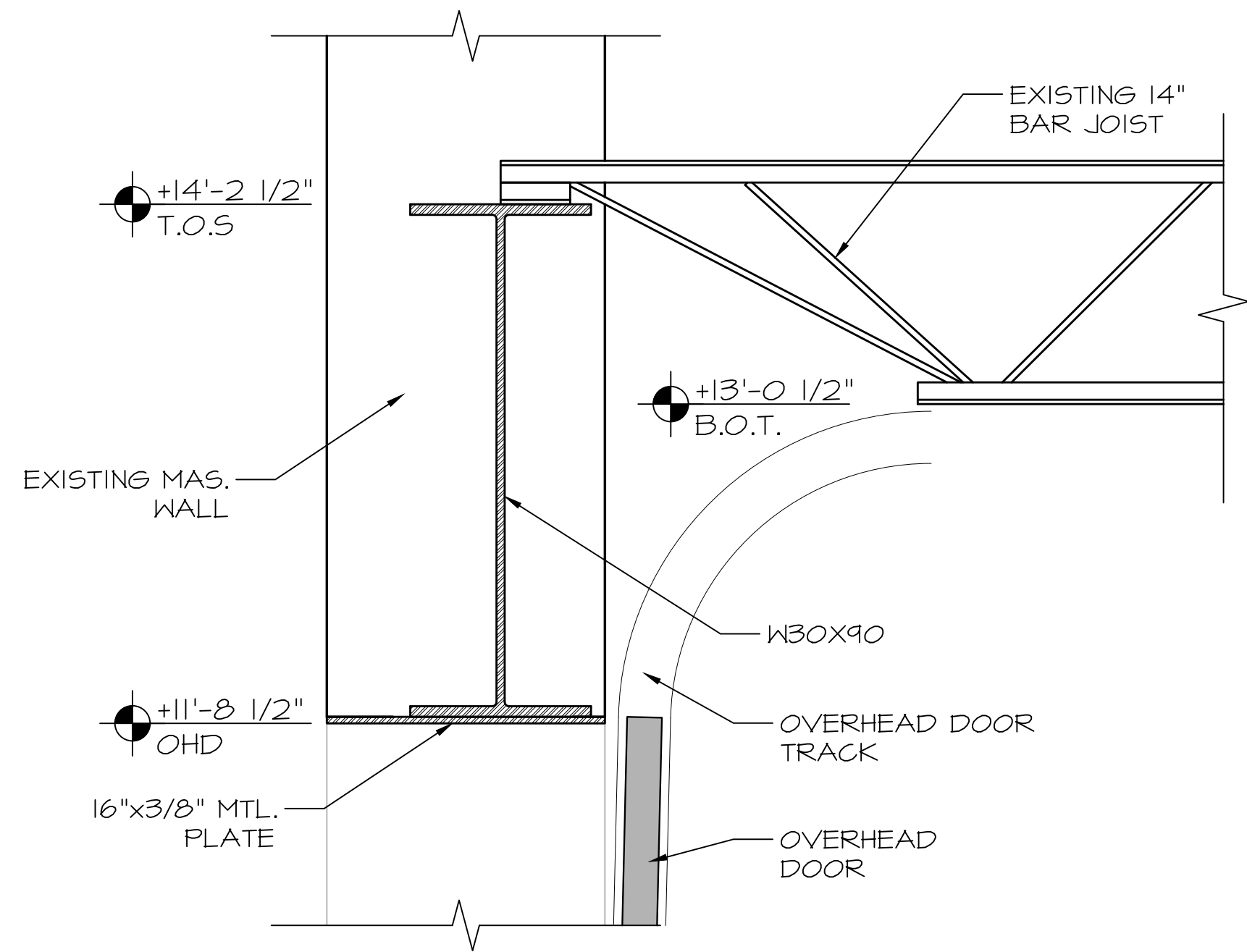
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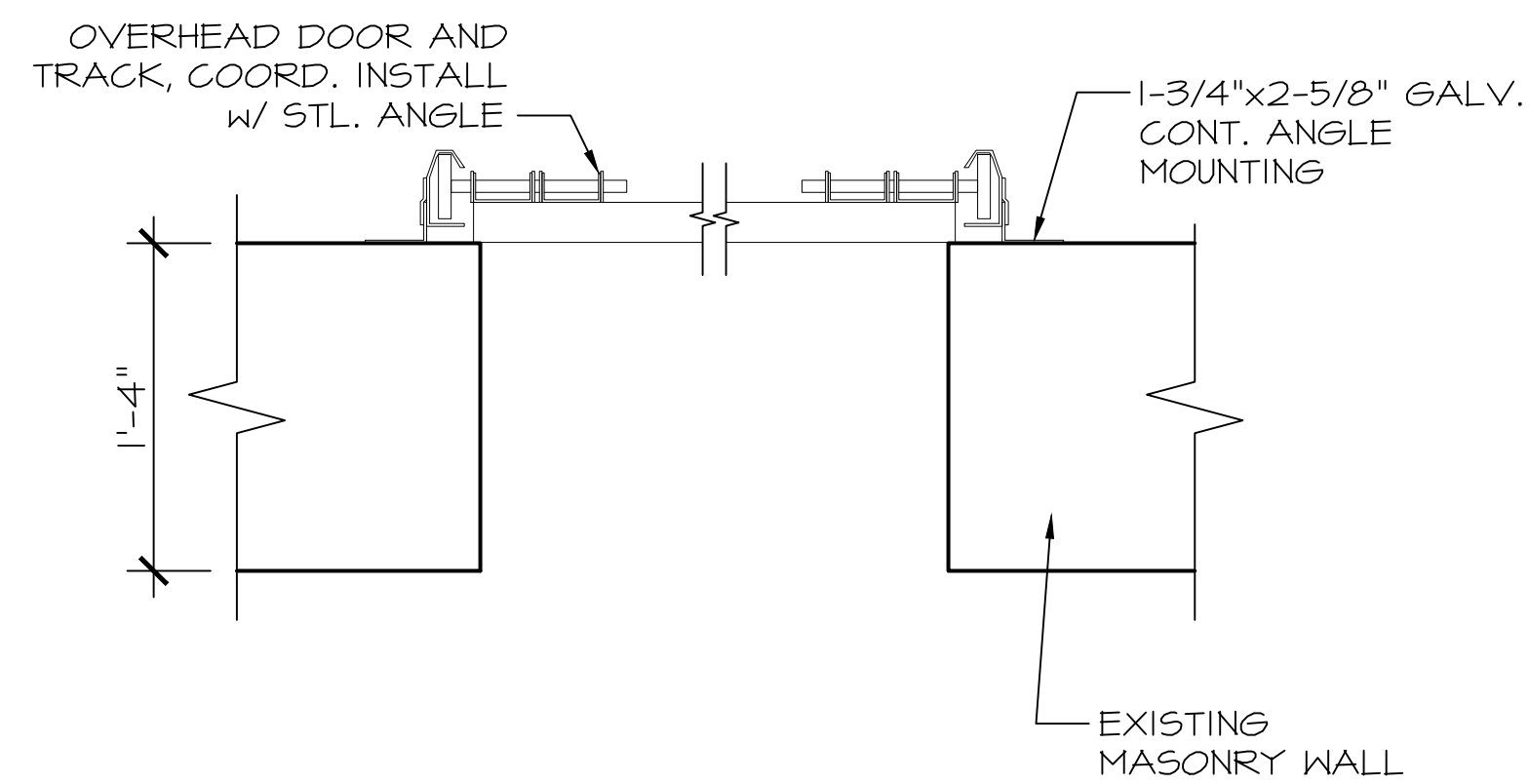
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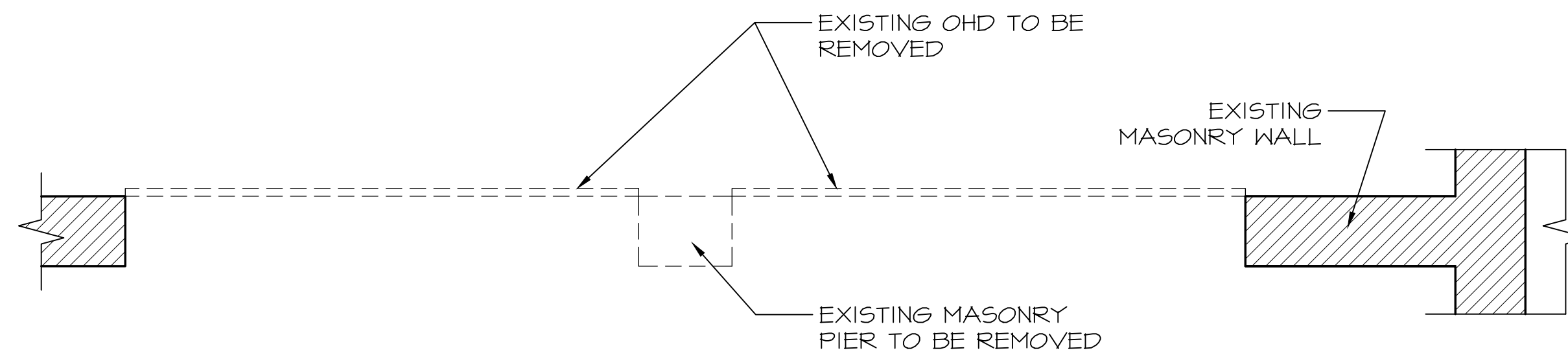
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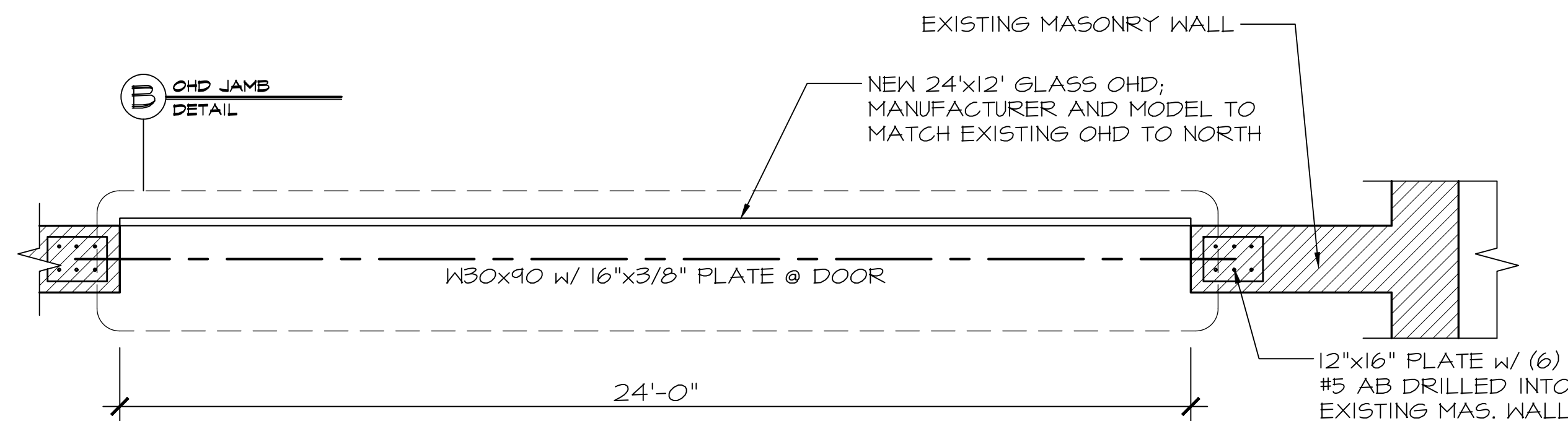
A OHD HEAD DETAIL
SCALE: 1-1/2" = 1'-0"



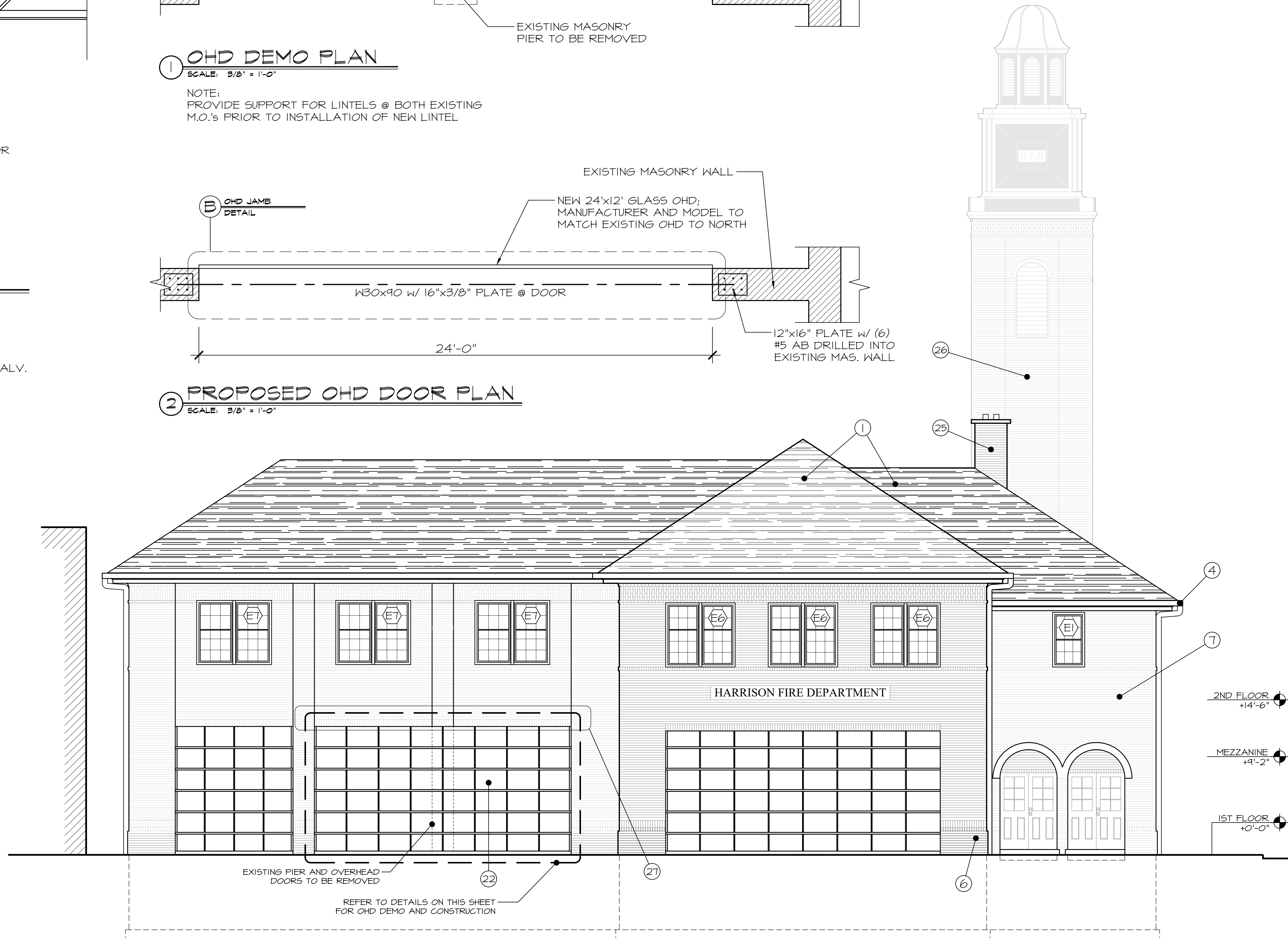
B OHD JAMB DETAIL
SCALE: 1-1/2" = 1'-0"



1 OHD DEMO PLAN
SCALE: 3/8" = 1'-0"
NOTE:
PROVIDE SUPPORT FOR LINTELS @ BOTH EXISTING
M.O.'s PRIOR TO INSTALLATION OF NEW LINTEL



2 PROPOSED OHD DOOR PLAN
SCALE: 3/8" = 1'-0"



FRONT (EAST) ELEVATION
SCALE: 3/16" = 1'-0"

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HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528
BUILDING ELEVATIONS

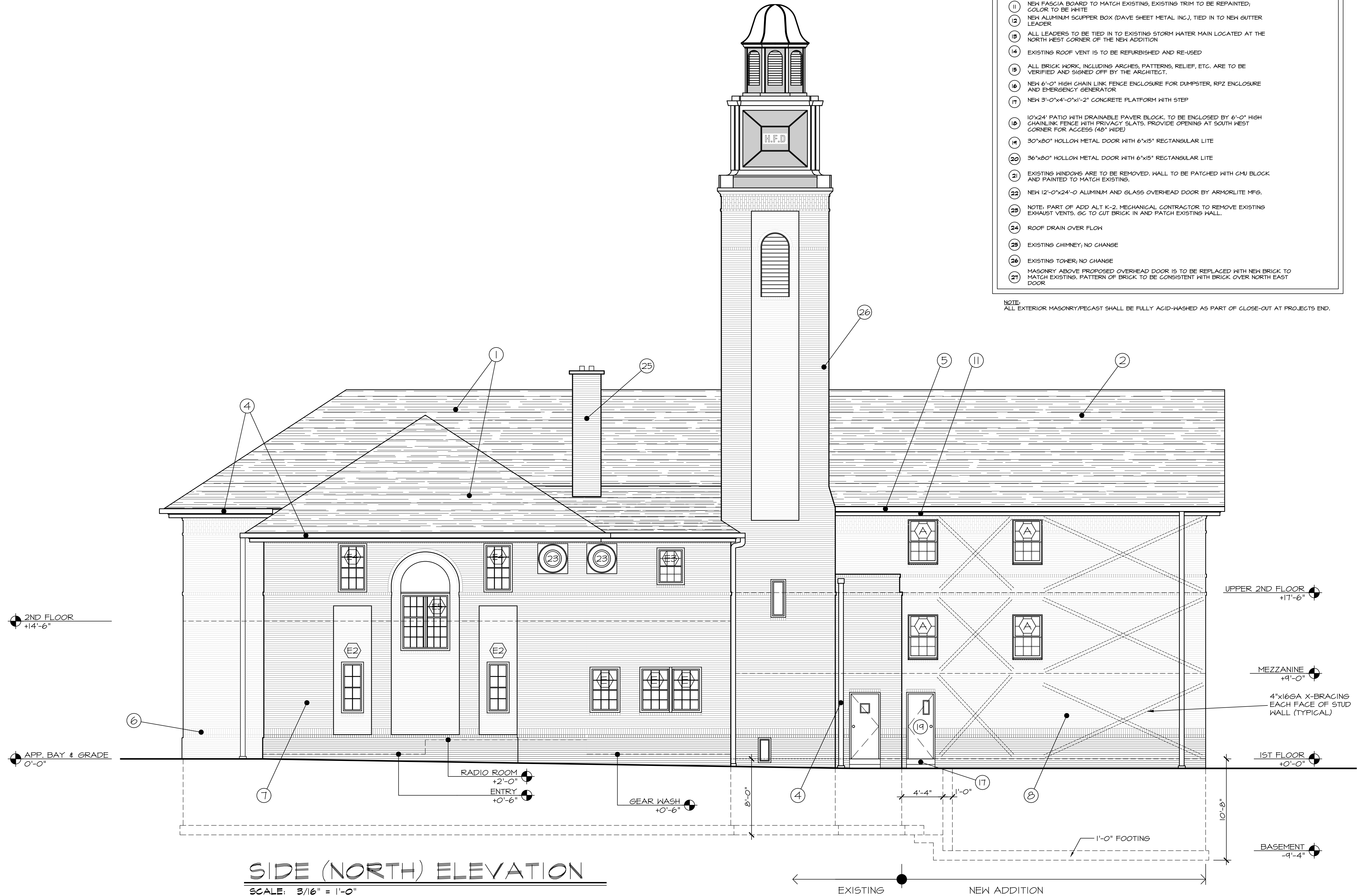
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- 1 ALL EXISTING SLOPED ROOF AREAS ARE TO RECEIVE NEW ROOFING, CONSISTING OF "COLONIAL SLATE" HATTERAS ROOFING SHINGLES OVER ARMORSEAL ADHERING UNDERLAYMENT. EXISTING ROOF FRAMING TO REMAIN.
- 2 NEW TRUSS GABLE ROOF OVER PROPOSED ADDITION. "COLONIAL SLATE" HATTERAS ROOFING SHINGLES OVER 1" NFCR HOMOSOTE BOARD.
- 3 NEW ROOF PARAPET OVER PROPOSED ADDITION. "COLONIAL SLATE" HATTERAS ROOFING SHINGLES OVER 1" NFCR HOMOSOTE BOARD.
- 4 EXISTING GUTTERS TO REMAIN.
- 5 NEW GUTTERS ARE TO BE SAF 6" CORNIAL GUTTER SYSTEM W/ 4"x4" DOWNSPOUTS; COLOR IS WHITE.
- 6 BRICK AT CORNER OF EXISTING BUILDING IS TO BE REPAIRED.
- 7 NOTE: NOT IN BASE BID; EXISTING BRICK IS TO BE REPOINTED AS A UNIT PRICE PER SQUARE FOOT AS A CHANGE ORDER.
- 8 BRICK BY WATSONTOHN BRICK COMPANY "FRANKLIN" TYPE 2. CONTACT KYLE EVANS AT BELDEN TRI-STATE BLDG MATERIALS; (631) 742-1022. BRICK TO BE COMMON BOND TO MATCH EXISTING.
- 9 EXISTING CMU BLOCK TO BE REPAINTED; COLOR TO BE WHITE.
- 10 PROVIDE END CAPS AT AREA WHERE EXISTING AND NEW GUTTERS MEET.
- 11 NEW FASCIA BOARD TO MATCH EXISTING. EXISTING TRIM TO BE REPAINTED; COLOR TO BE WHITE.
- 12 NEW ALUMINUM SCUPPER BOX (DAVE SHEET METAL INC.), TIED IN TO NEW GUTTER LEADER.
- 13 ALL LEADERS TO BE TIED IN TO EXISTING STORM WATER MAIN LOCATED AT THE NORTH WEST CORNER OF THE NEW ADDITION.
- 14 EXISTING ROOF VENT IS TO BE REFURBISHED AND RE-USED.
- 15 ALL BRICK WORK, INCLUDING ARCHES, PATTERNS, RELIEF, ETC. ARE TO BE VERIFIED AND SIGNED OFF BY THE ARCHITECT.
- 16 NEW 6'-0" HIGH CHAIN LINK FENCE ENCLOSURE FOR DUMPSTER, RPZ ENCLOSURE AND EMERGENCY GENERATOR.
- 17 NEW 3'-0"x4'-0"x1'-2" CONCRETE PLATFORM WITH STEP.
- 18 10'x24' PATIO WITH DRAINABLE PAVER BLOCK. TO BE ENCLOSED BY 6'-0" HIGH CHAIN LINK FENCE WITH PRIVACY SLATS. PROVIDE OPENING AT SOUTH WEST CORNER FOR ACCESS (48" WIDE).
- 19 30"x80" HOLLOW METAL DOOR WITH 6'x15" RECTANGULAR LITE.
- 20 36"x80" HOLLOW METAL DOOR WITH 6'x15" RECTANGULAR LITE.
- 21 EXISTING WINDOWS ARE TO BE REMOVED. WALL TO BE PATCHED WITH CMU BLOCK AND PAINTED TO MATCH EXISTING.
- 22 NEW 12'-0"x24'-0" ALUMINUM AND GLASS OVERHEAD DOOR BY ARMORLITE MFG.
- 23 NOTE: PART OF ADD ALT K-2. MECHANICAL CONTRACTOR TO REMOVE EXISTING EXHAUST VENTS. GC TO CUT BRICK IN AND PATCH EXISTING WALL.
- 24 ROOF DRAIN OVER FLOH.
- 25 EXISTING CHIMNEY; NO CHANGE.
- 26 EXISTING TOWER; NO CHANGE.
- 27 MASONRY ABOVE PROPOSED OVERHEAD DOOR IS TO BE REPLACED WITH NEW BRICK TO MATCH EXISTING. PATTERN OF BRICK TO BE CONSISTENT WITH BRICK OVER NORTH EAST DOOR.

NOTE:
ALL EXTERIOR MASONRY/RECAST SHALL BE FULLY ACID-WASHED AS PART OF CLOSE-OUT AT PROJECTS END.

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BUILDING ELEVATIONS

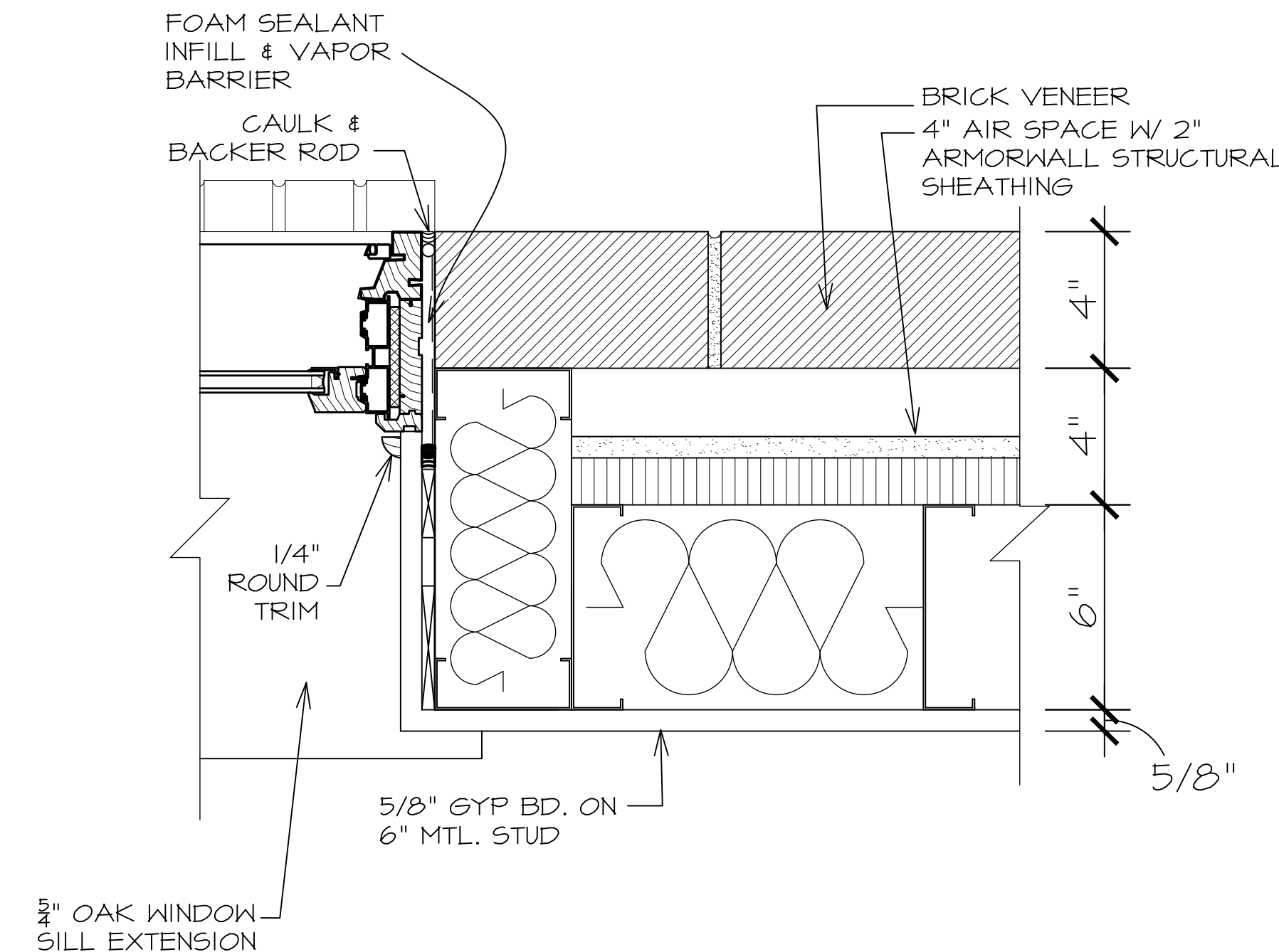
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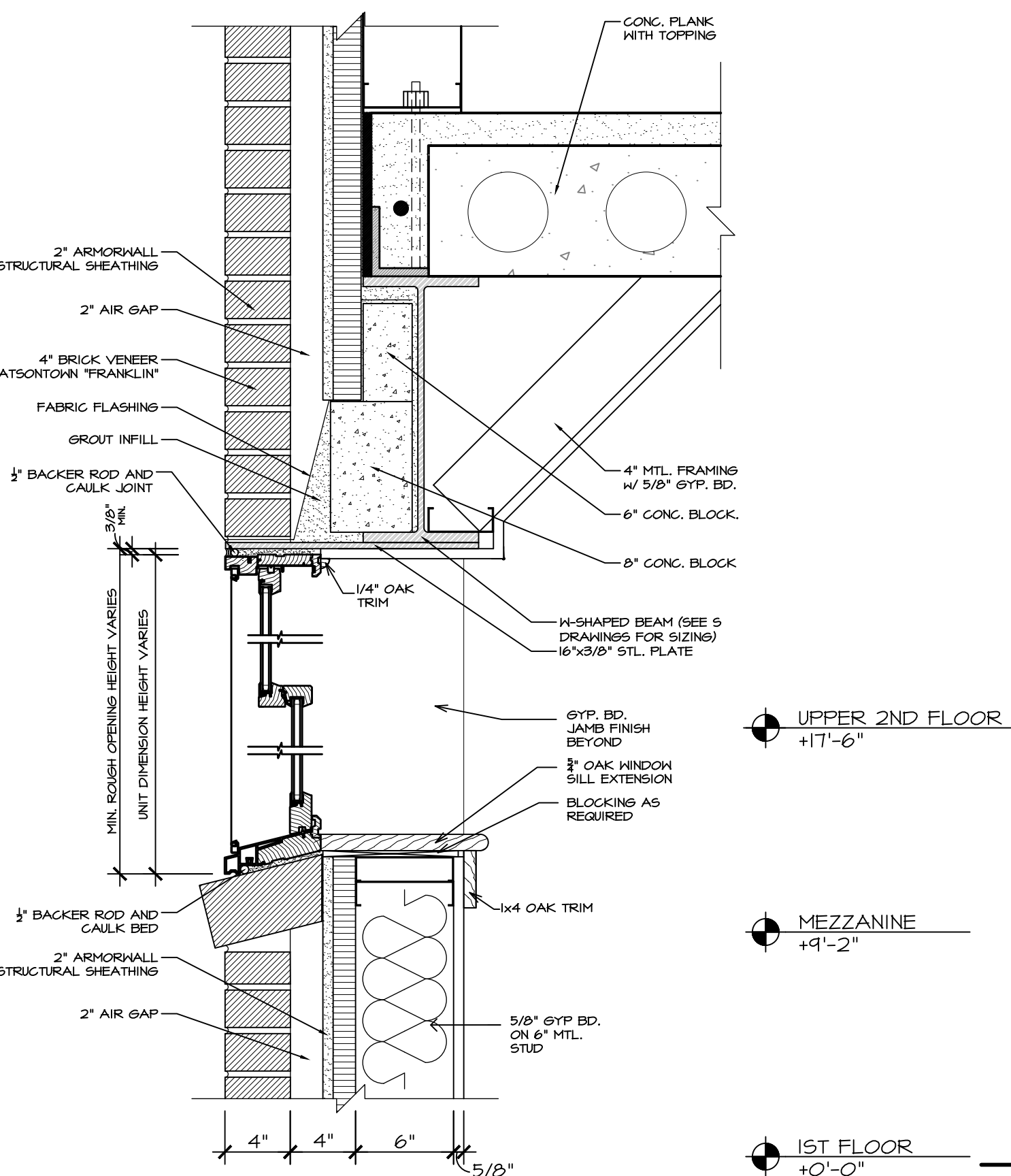
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DRAWING#:

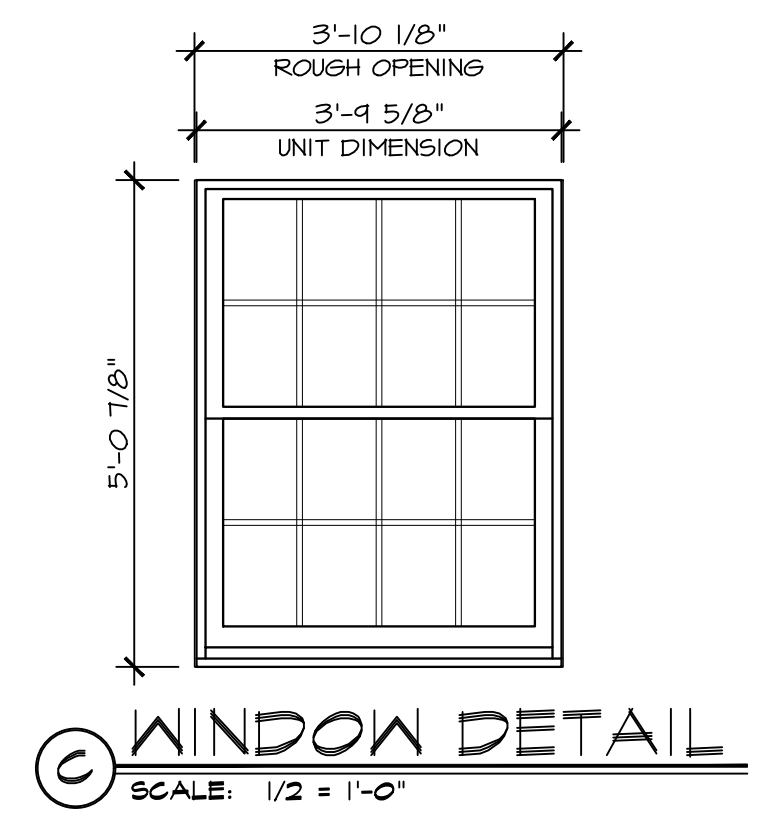
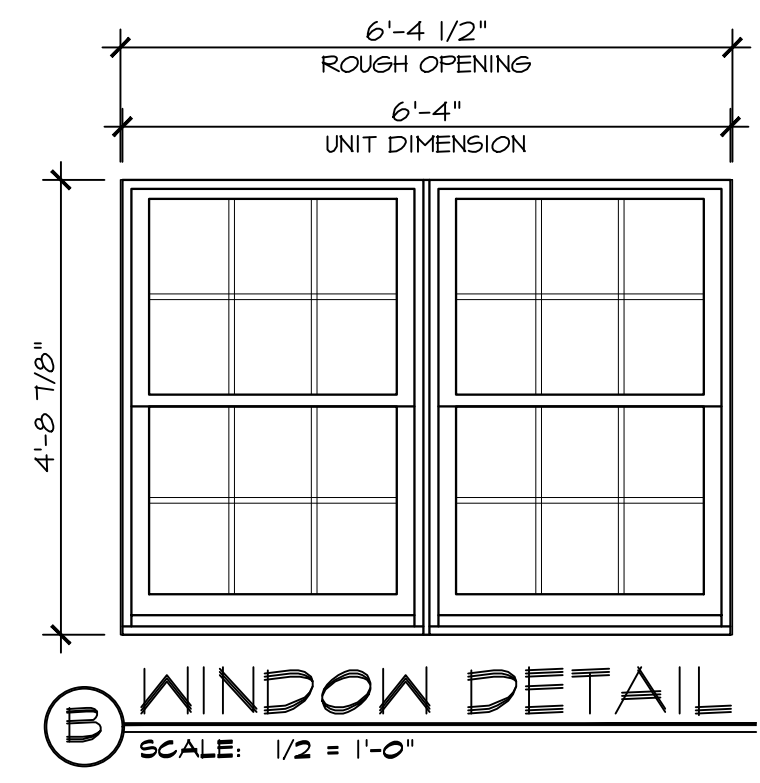
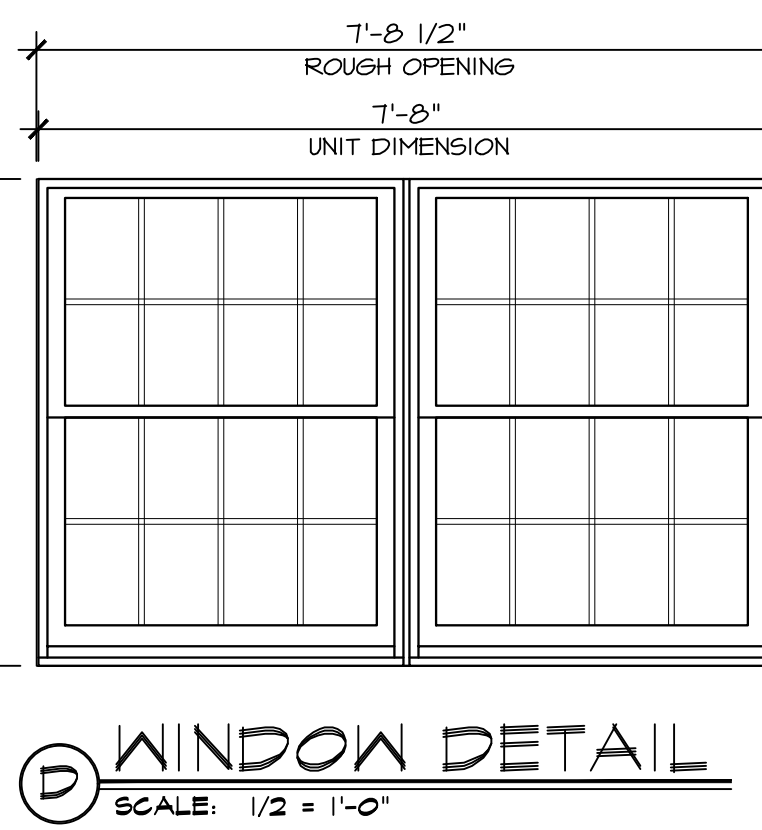
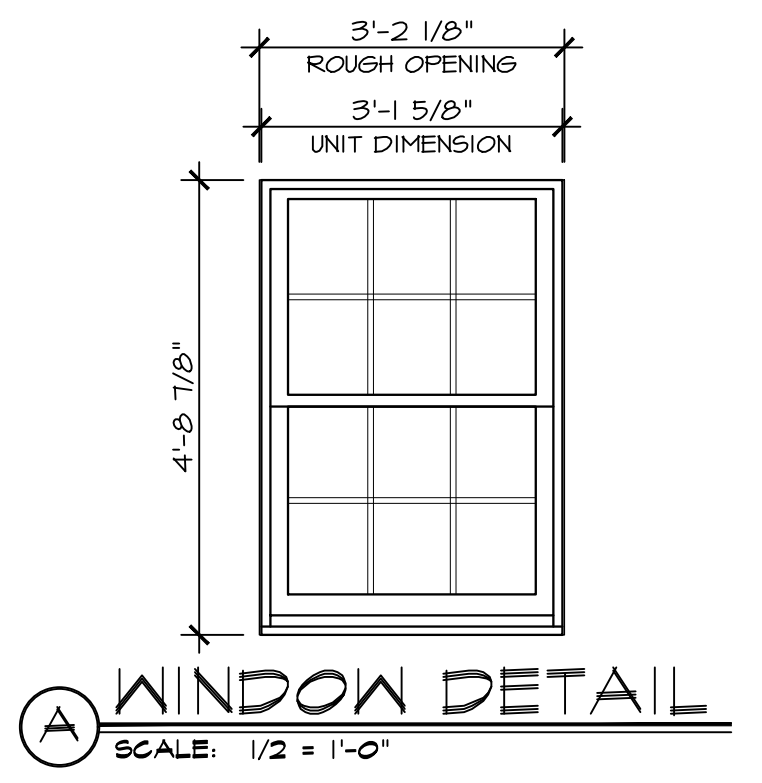
A-3.2



2 TYPICAL JAMB DETAIL
SCALE: 3\"/>



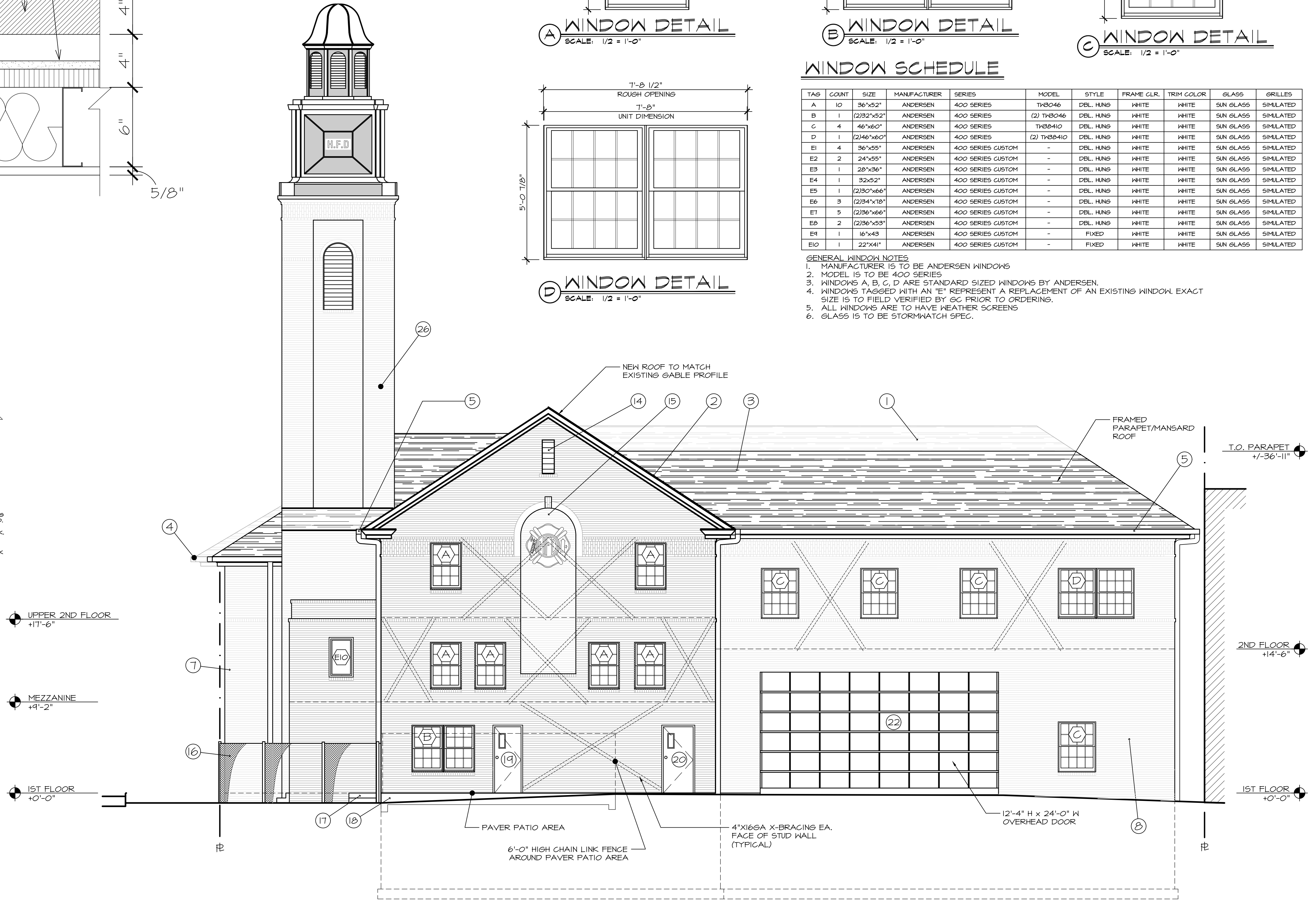
1 TYPICAL HEAD DETAIL
SCALE: 1-1/2\"/>



WINDOW SCHEDULE

TAG	COUNT	SIZE	MANUFACTURER	SERIES	MODEL	STYLE	FRAME CLR.	TRIM COLOR	GLASS	GRILLES
A	10	36"x52"	ANDERSEN	400 SERIES	TXB046	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
B	1	(2)32"x52"	ANDERSEN	400 SERIES	(2) TXB046	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
C	4	46"x60"	ANDERSEN	400 SERIES	TXB0410	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
D	1	(2)46"x60"	ANDERSEN	400 SERIES	(2) TXB0410	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
E1	4	36"x55"	ANDERSEN	400 SERIES CUSTOM	-	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
E2	2	24"x55"	ANDERSEN	400 SERIES CUSTOM	-	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
E3	1	28"x36"	ANDERSEN	400 SERIES CUSTOM	-	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
E4	1	32"x52"	ANDERSEN	400 SERIES CUSTOM	-	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
E5	1	(2)30"x66"	ANDERSEN	400 SERIES CUSTOM	-	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
E6	3	(2)34"x78"	ANDERSEN	400 SERIES CUSTOM	-	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
E7	5	(2)36"x66"	ANDERSEN	400 SERIES CUSTOM	-	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
E8	2	(2)36"x53"	ANDERSEN	400 SERIES CUSTOM	-	DBL. HUNG	WHITE	WHITE	SUN GLASS	SIMULATED
E9	1	16"x43	ANDERSEN	400 SERIES CUSTOM	-	FIXED	WHITE	WHITE	SUN GLASS	SIMULATED
E10	1	22"x41"	ANDERSEN	400 SERIES CUSTOM	-	FIXED	WHITE	WHITE	SUN GLASS	SIMULATED

GENERAL WINDOW NOTES
1. MANUFACTURER IS TO BE ANDERSEN WINDOWS
2. MODEL IS TO BE 400 SERIES
3. WINDOWS A, B, C, D ARE STANDARD SIZED WINDOWS BY ANDERSEN.
4. WINDOWS TAGGED WITH AN "E" REPRESENT A REPLACEMENT OF AN EXISTING WINDOW. EXACT SIZE IS TO FIELD VERIFIED BY GC PRIOR TO ORDERING.
5. ALL WINDOWS ARE TO HAVE WEATHER SCREENS
6. GLASS IS TO BE STORMWATCH SPEC.



REAR (WEST) ELEVATION
SCALE: 3/16\"/>

DATE: ISSUE
04-01-21
ISSUED FOR BIDDING

SEAL:

SENDEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
(631) 727-5352
9 SELENA COURT
WALDEN, NY 12586
(845) 275-8859

HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528
BUILDING ELEVATIONS

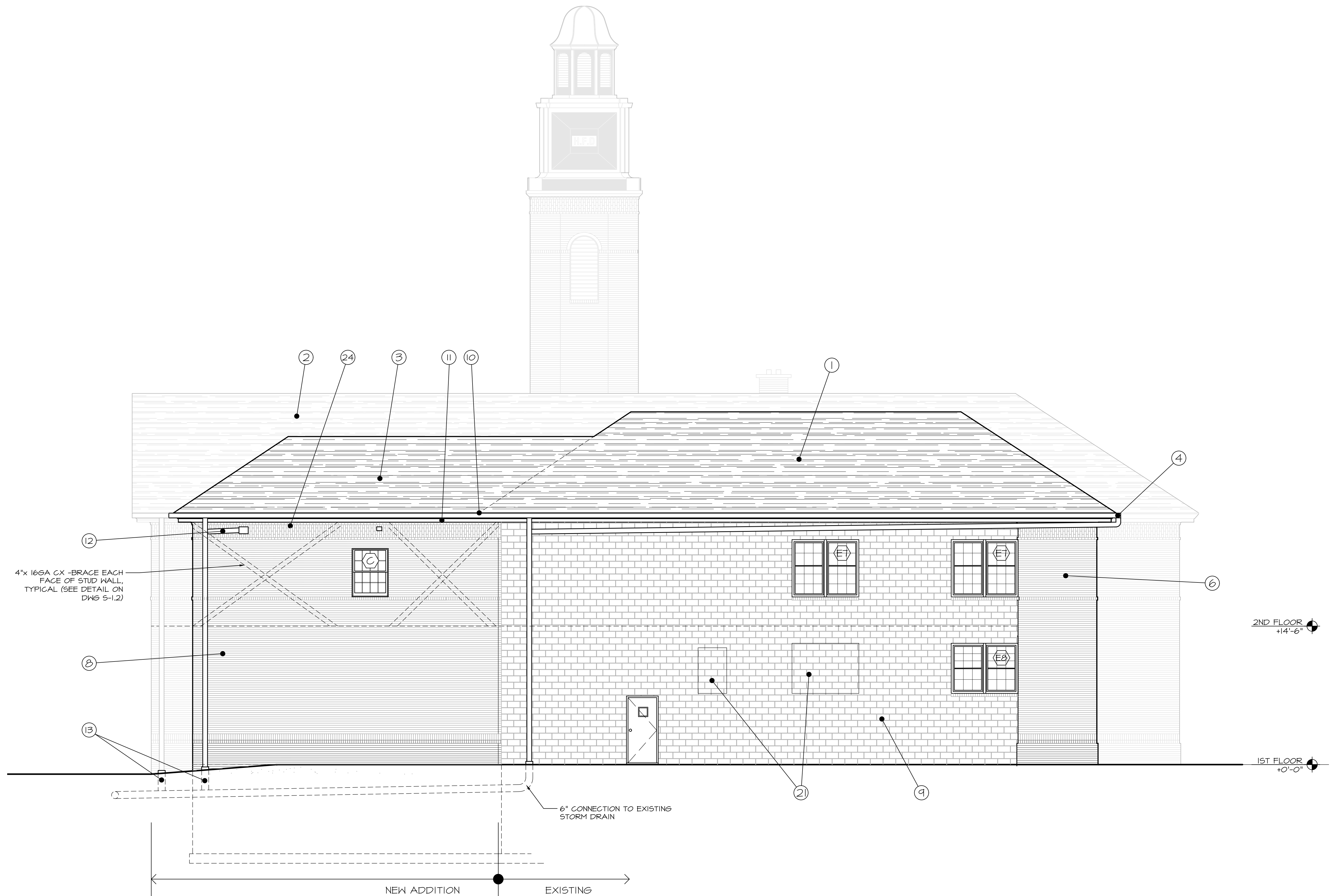
PROJECT #: 2020-04

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CAD FILE: P/2020/HFD
2020-04

DRAWING#:

A-3.3



SIDE (SOUTH) ELEVATION

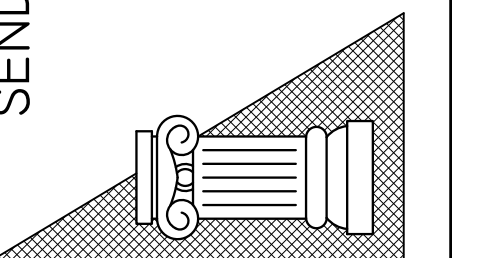
SCALE: 3/16" = 1'-0"

DATE: ISSUE

04-01-21
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HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528
BUILDING ELEVATIONS

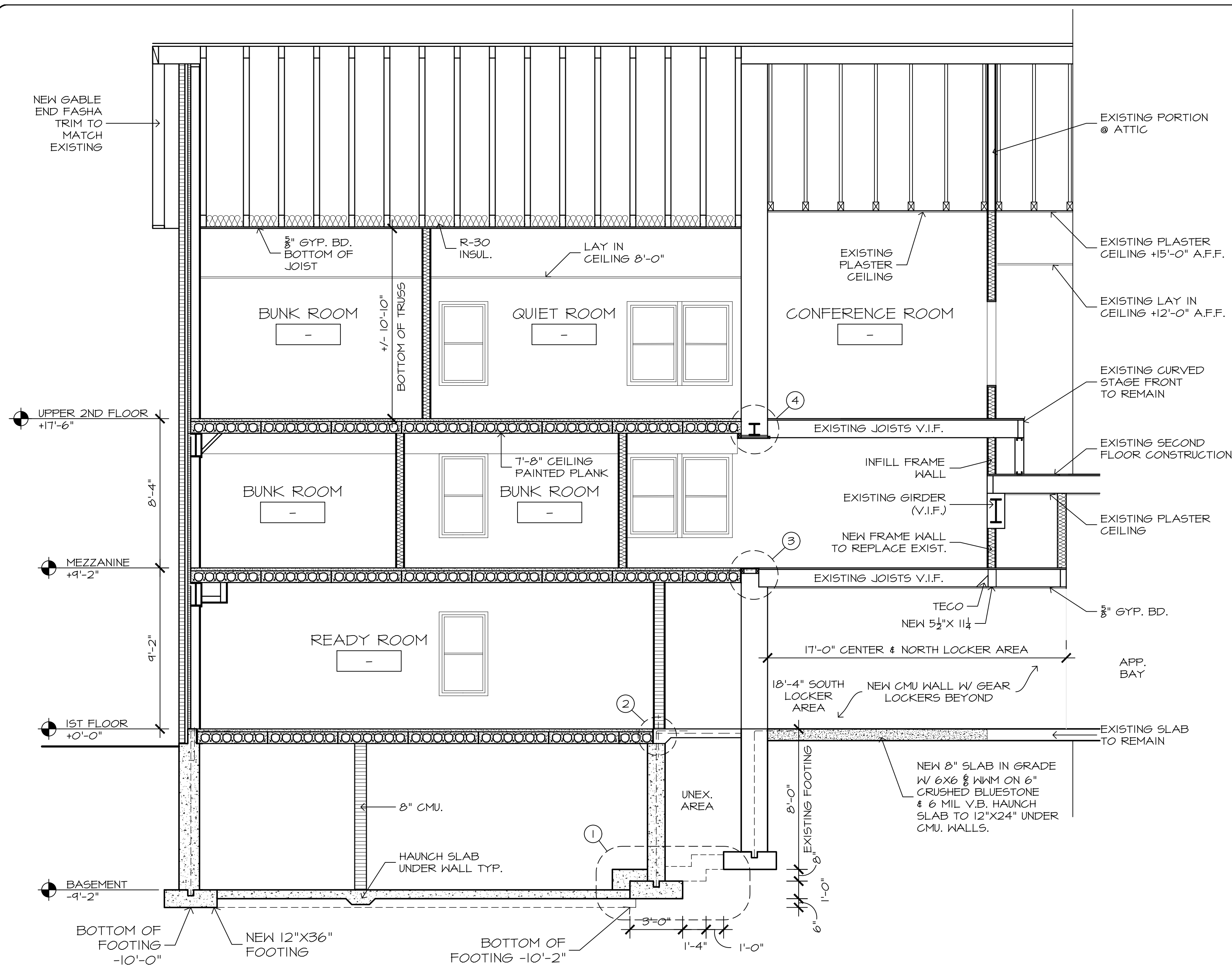
PROJECT #: 2020-04

DRAWN BY: SEND. ARCH.

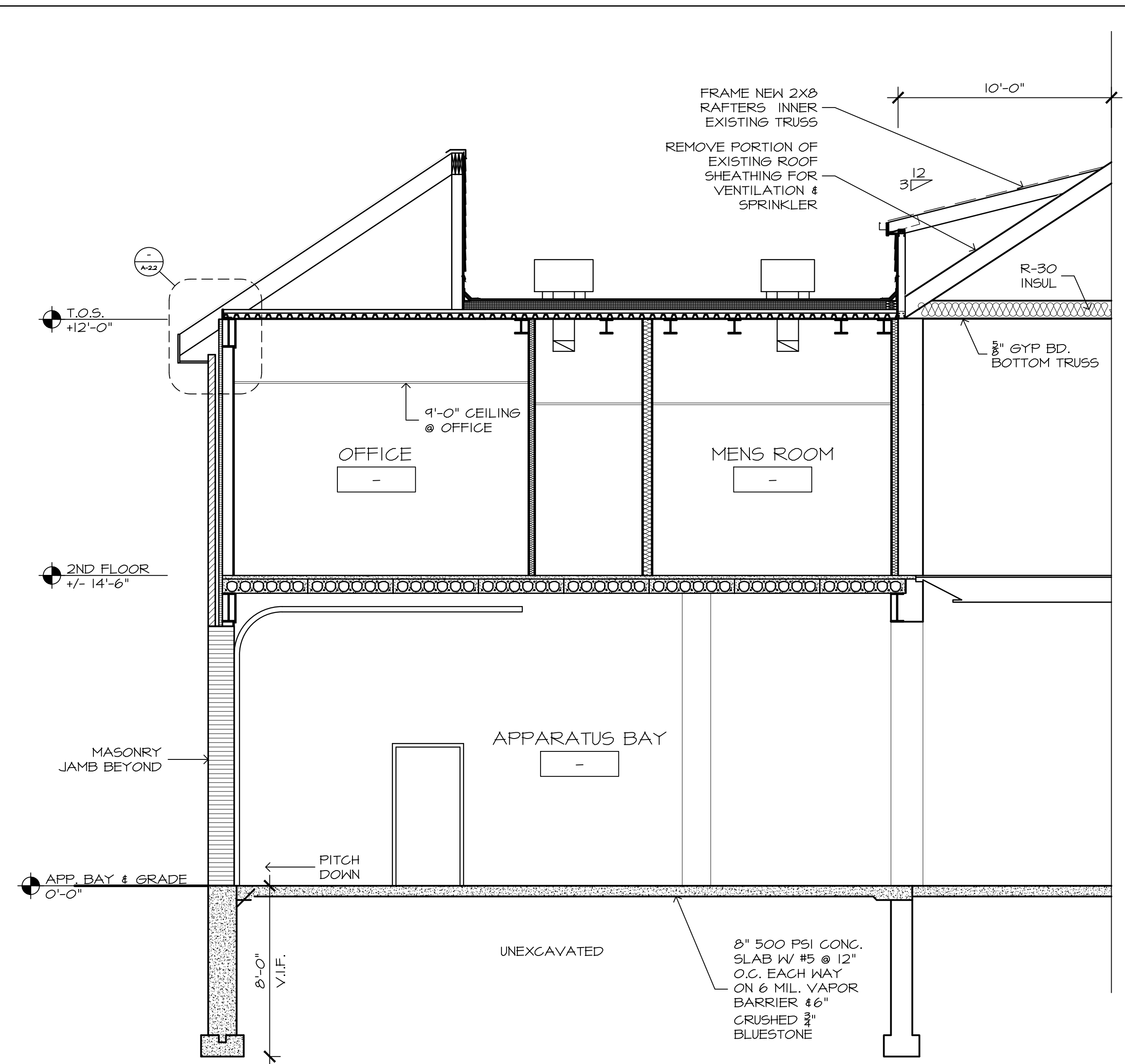
CAD FILE: P/2020/HFD
2020-04

DRAWING#:

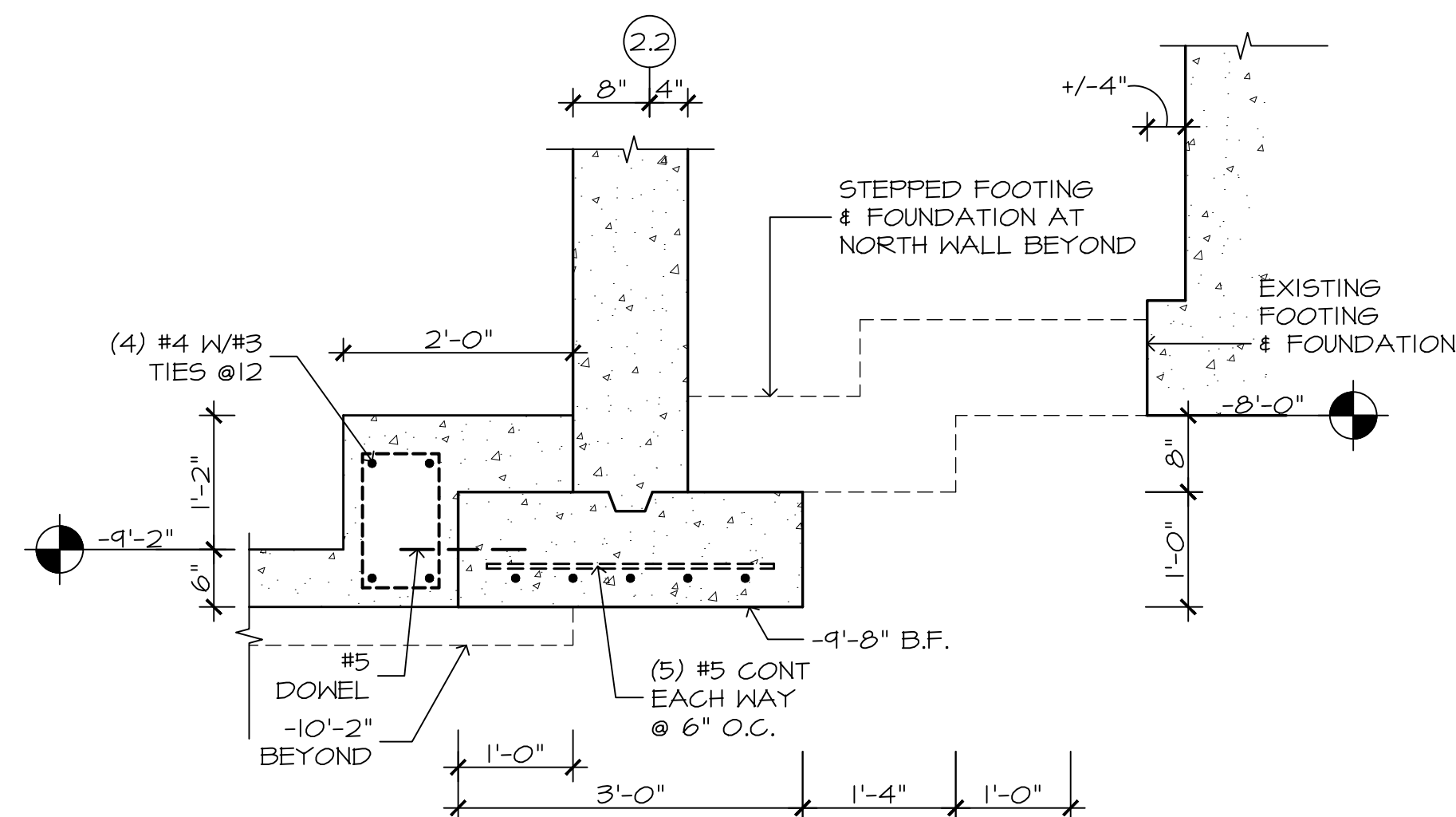
A-3.4



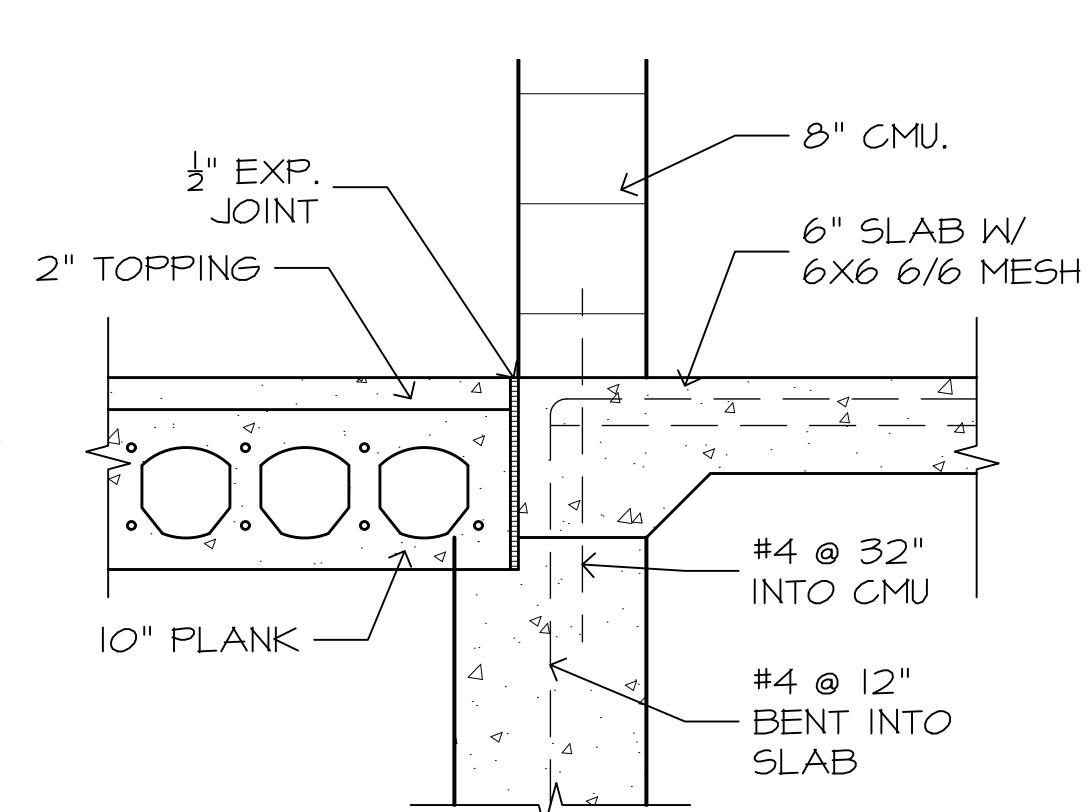
A BUILDING SECTION
SCALE: 1/4" = 1'-0"



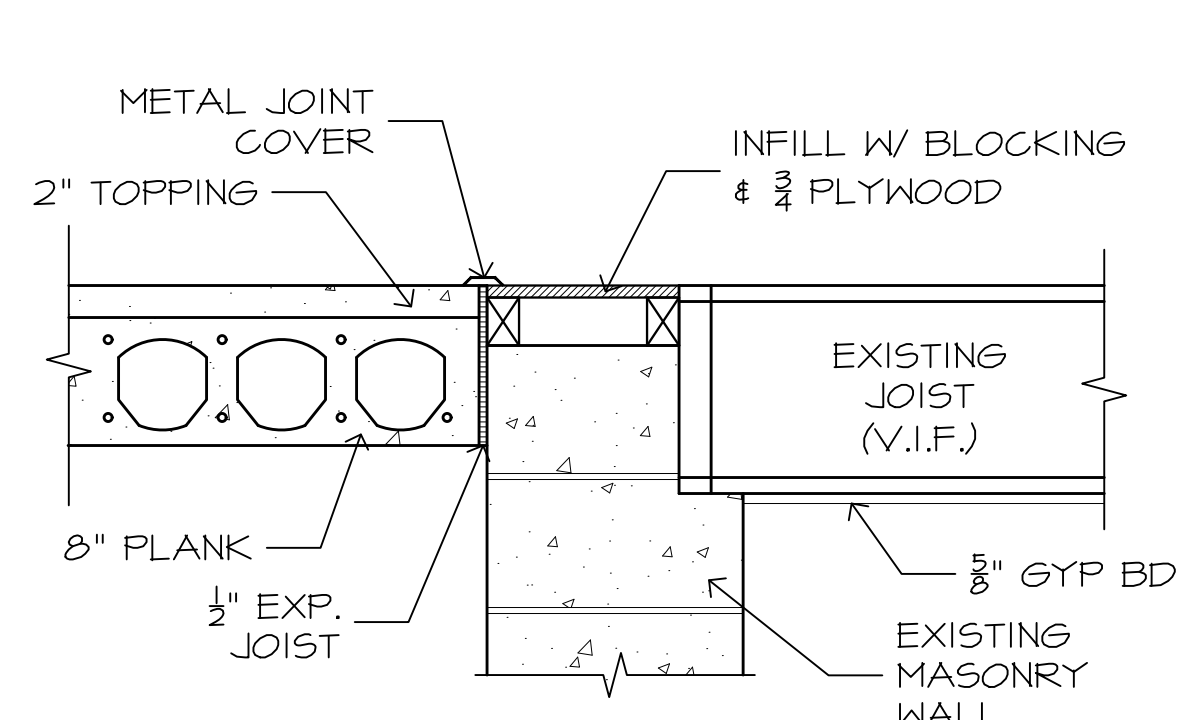
B BUILDING SECTION
SCALE: 1/4" = 1'-0"



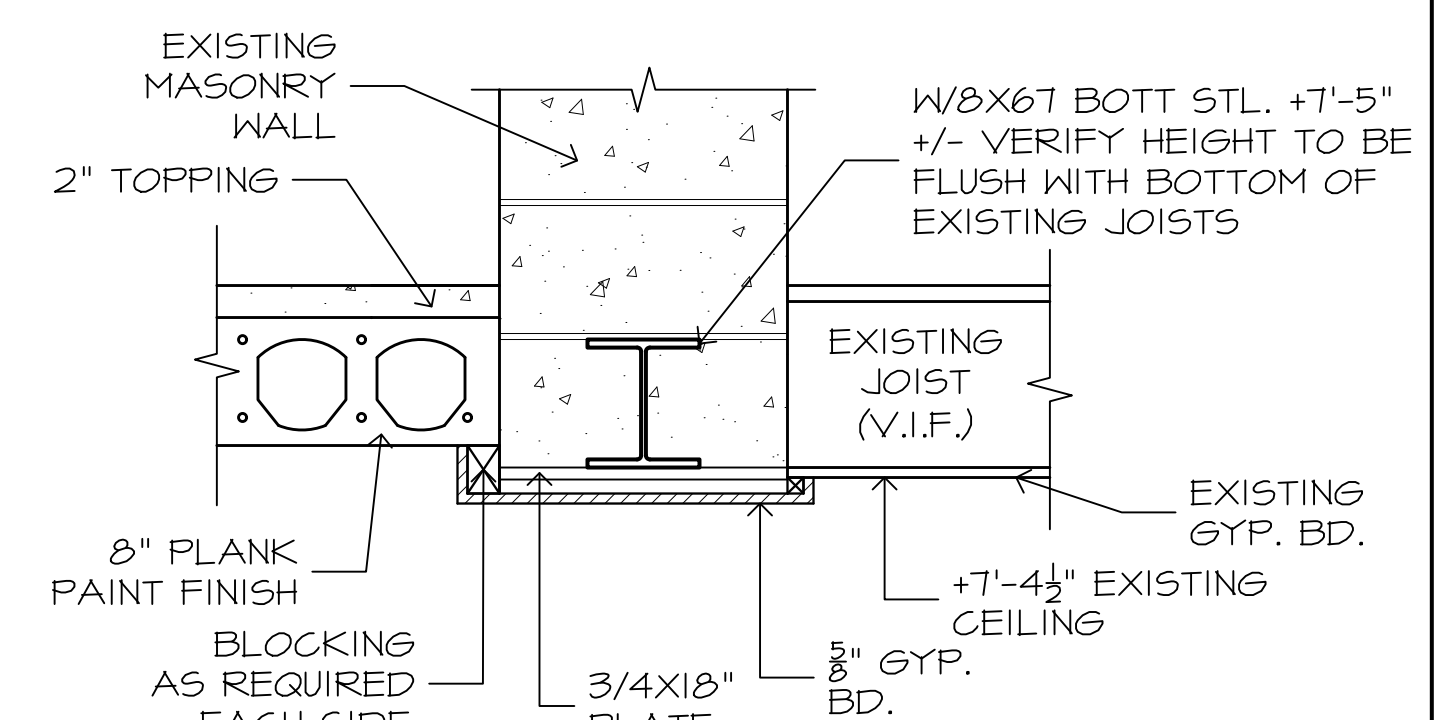
1 FOOTING DETAIL
SCALE: 3/4" = 1'-0"



2 DETAIL
SCALE: 1" = 1'-0"



3 DETAIL
SCALE: 1" = 1'-0"



4 DETAIL
SCALE: 1" = 1'-0"

DATE: ISSUE
04-01-21
ISSUED FOR BIDDING

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HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528

SECTION A & B

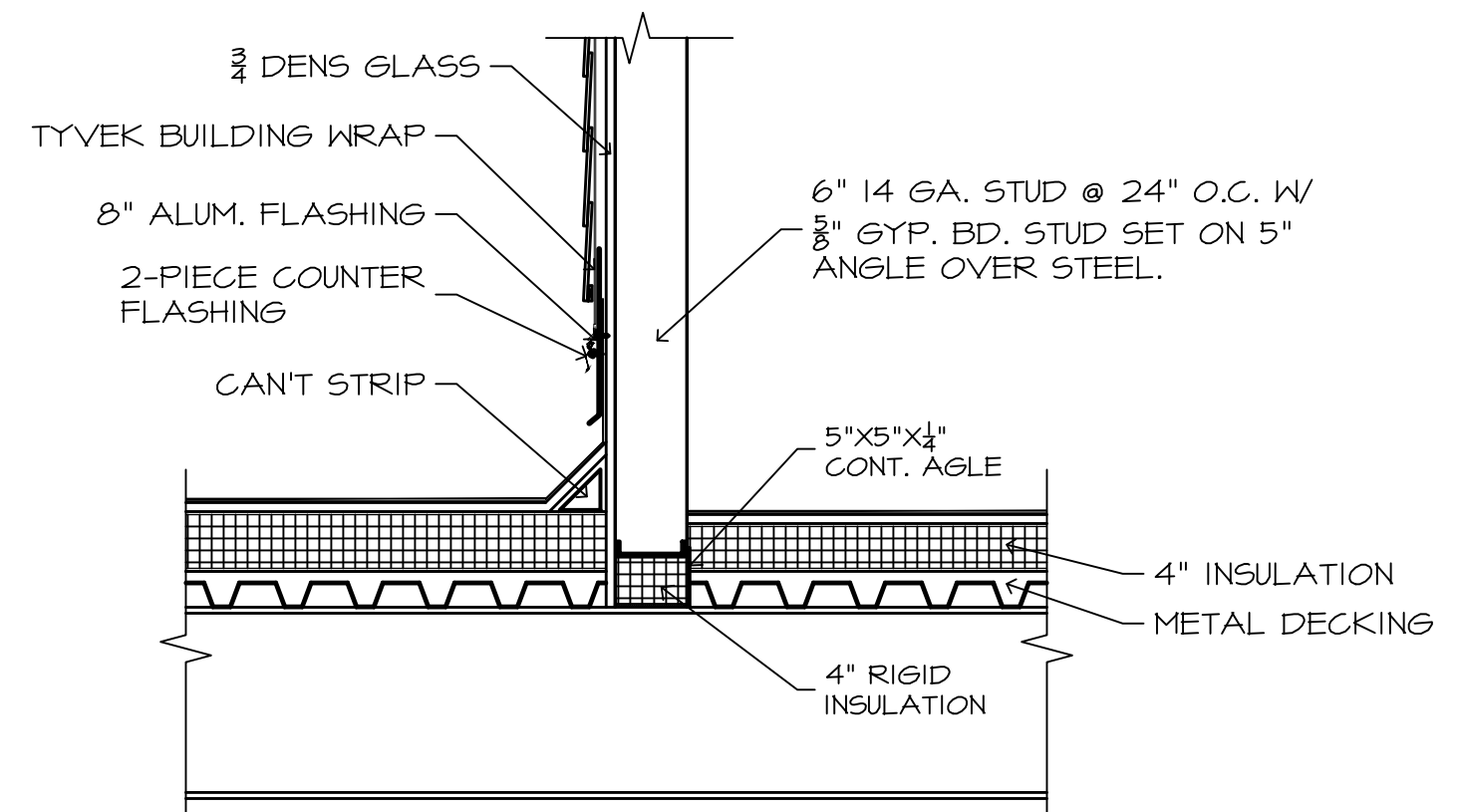
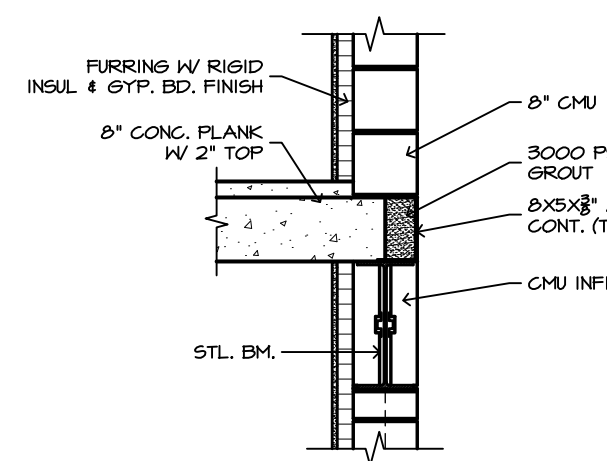
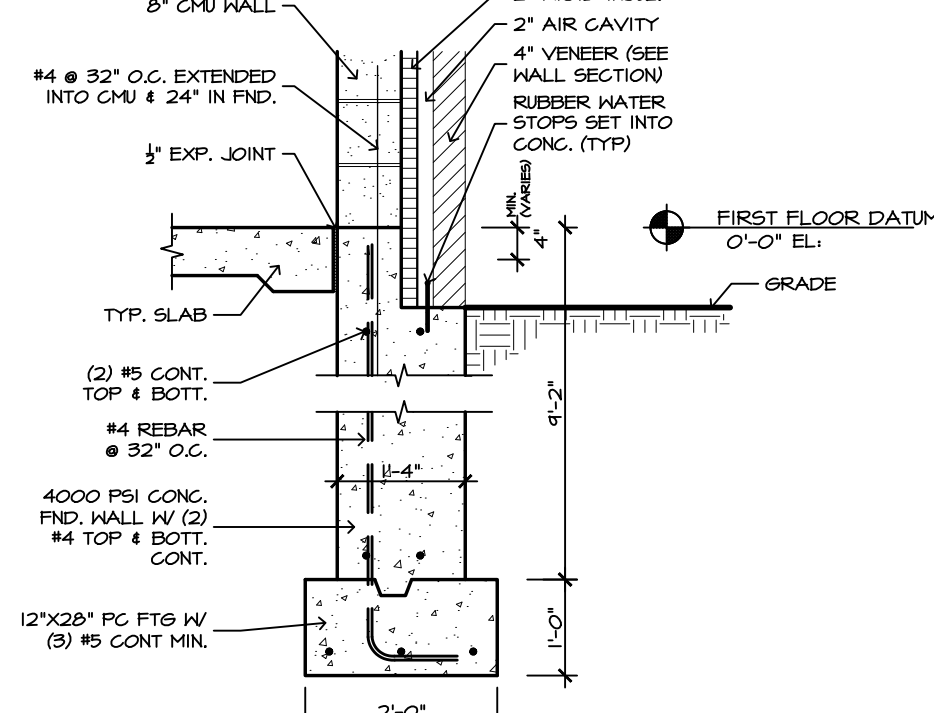
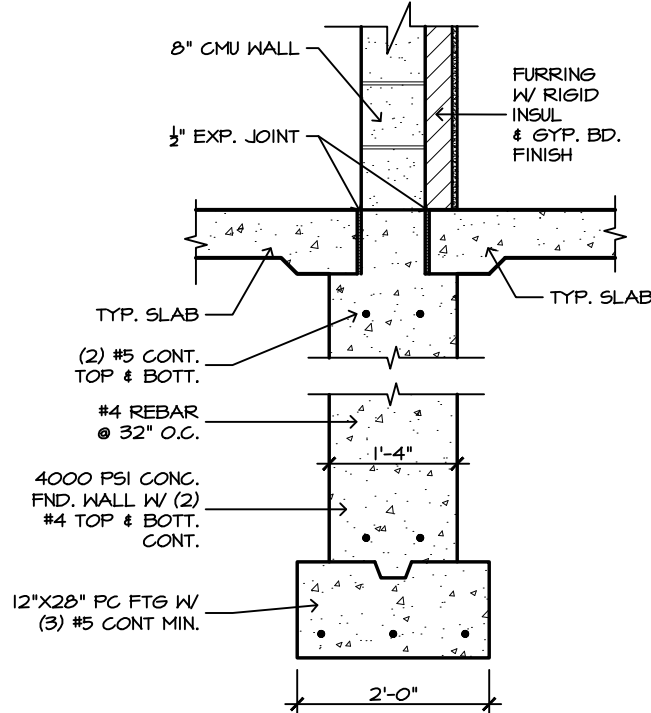
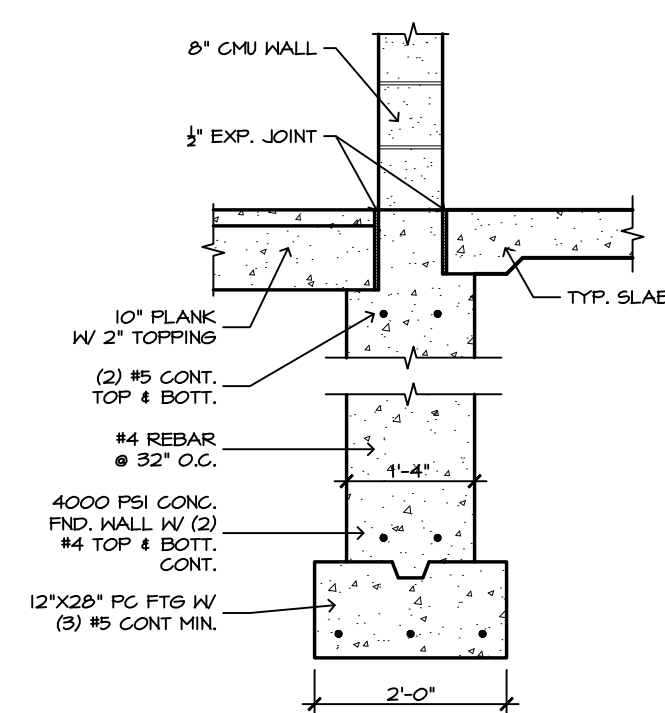
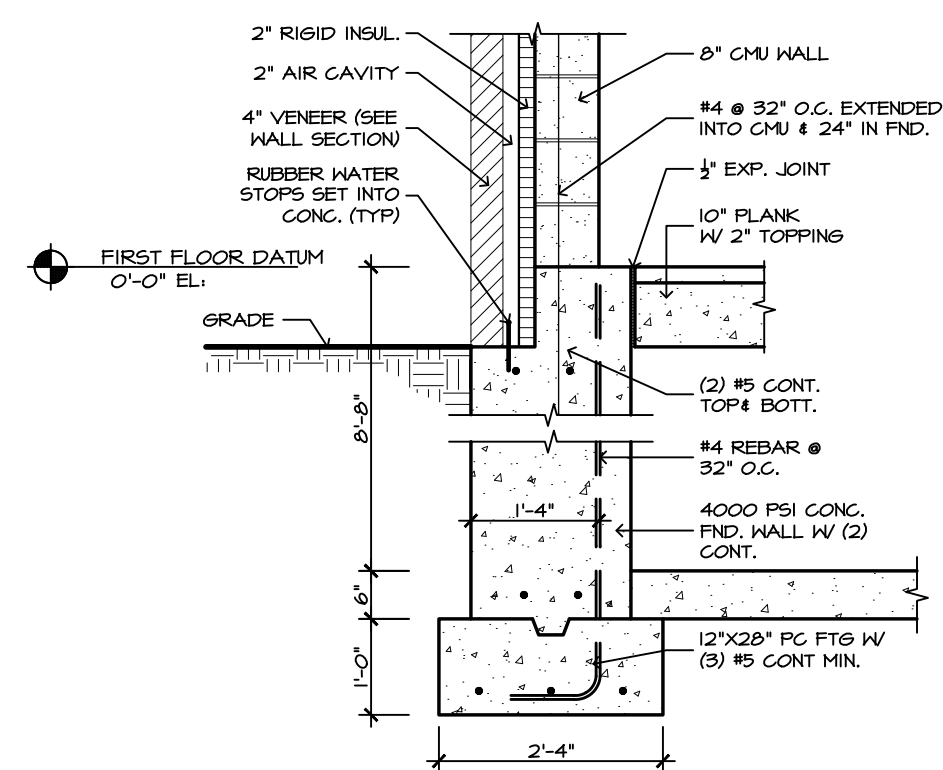
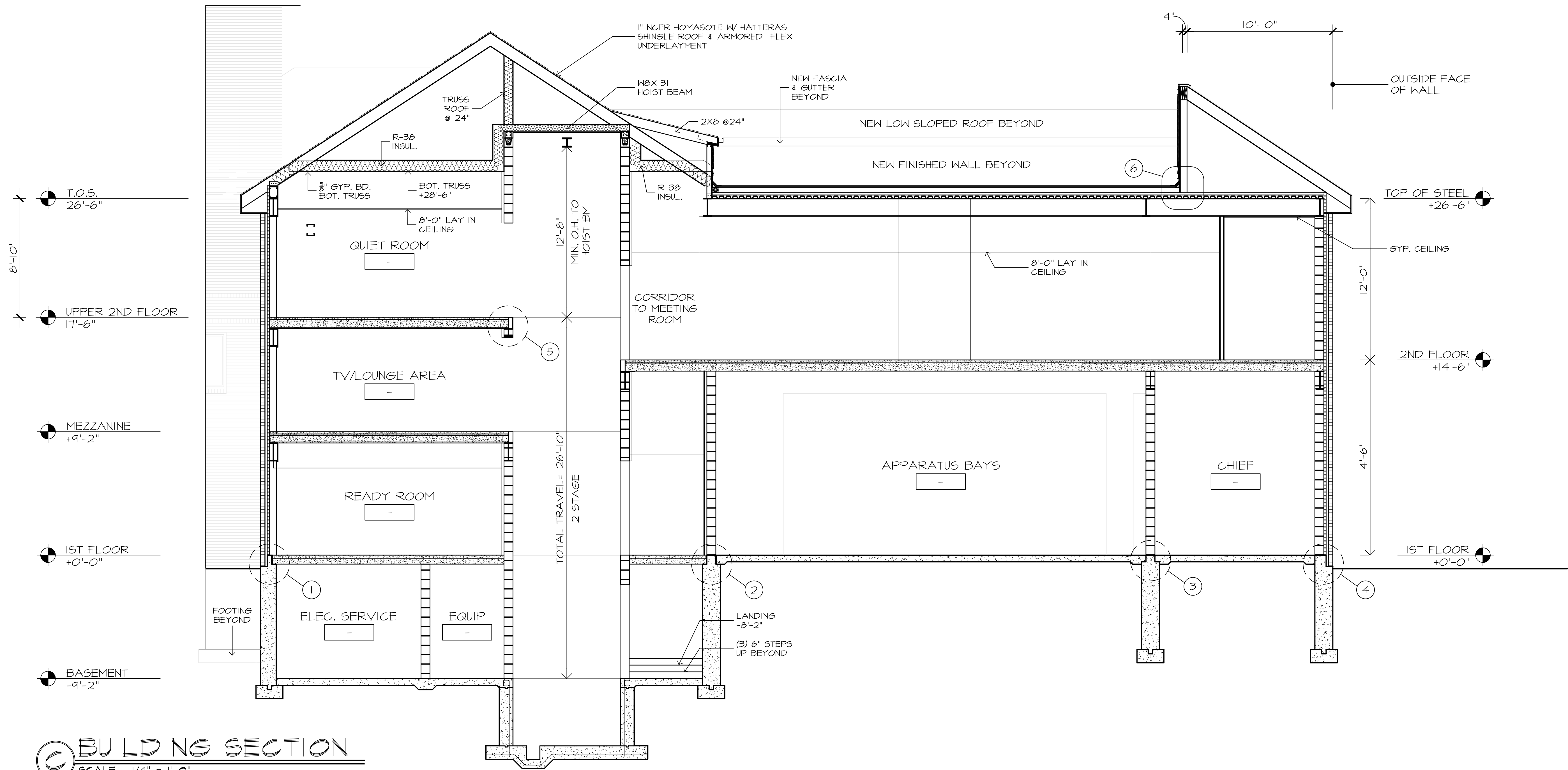
PROJECT #: 2020-04

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CAD FILE: P/2020/HFD
2020-04

DRAWING#:

A-4.1



DATE: ISSUE
04-01-21
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HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528

PROJECT #: 2020-04

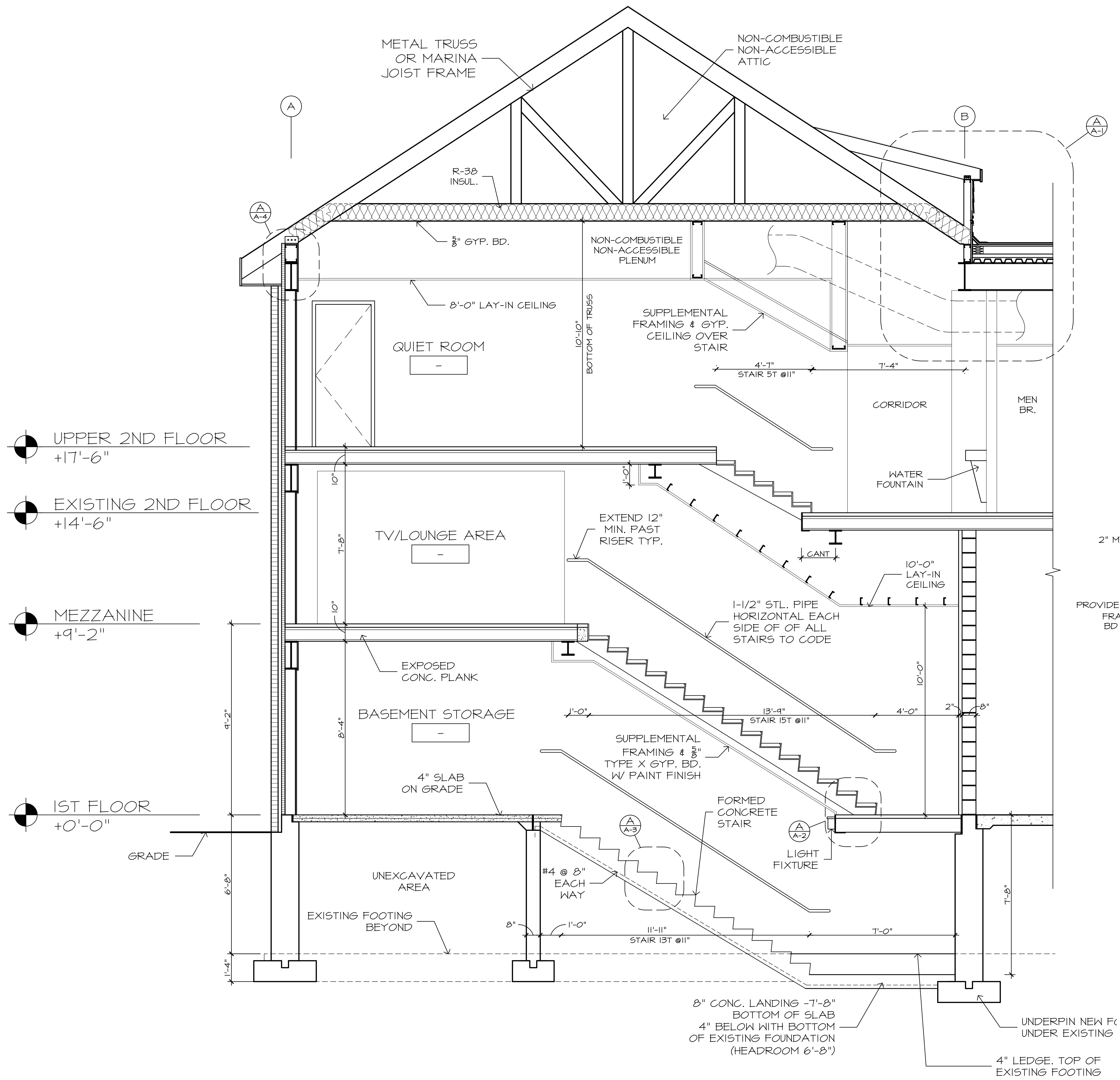
DRAWN BY: SEND. ARCH.

CAD FILE: P/2020/HFD
2020-04

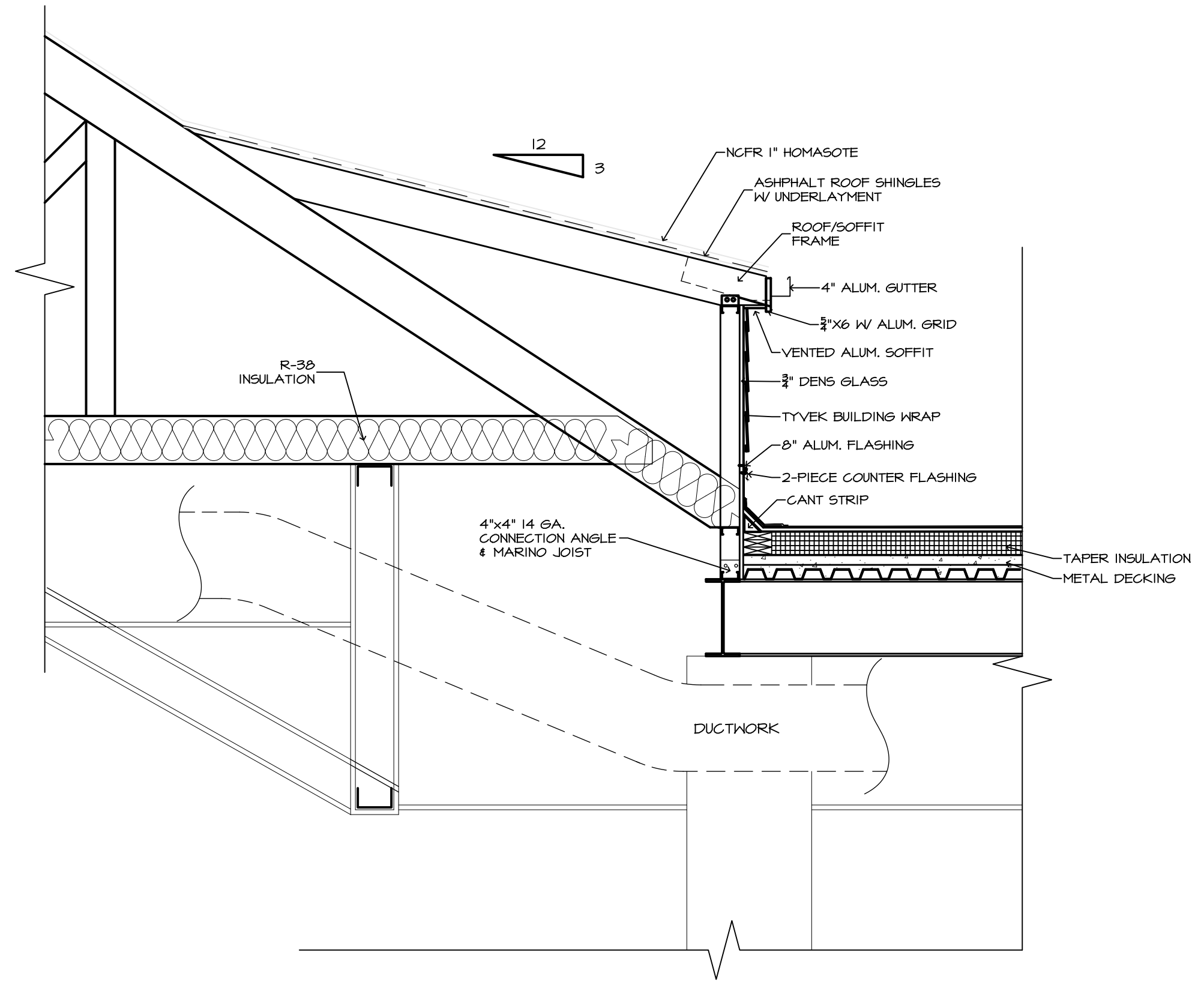
DRAWING#:

A-4.2

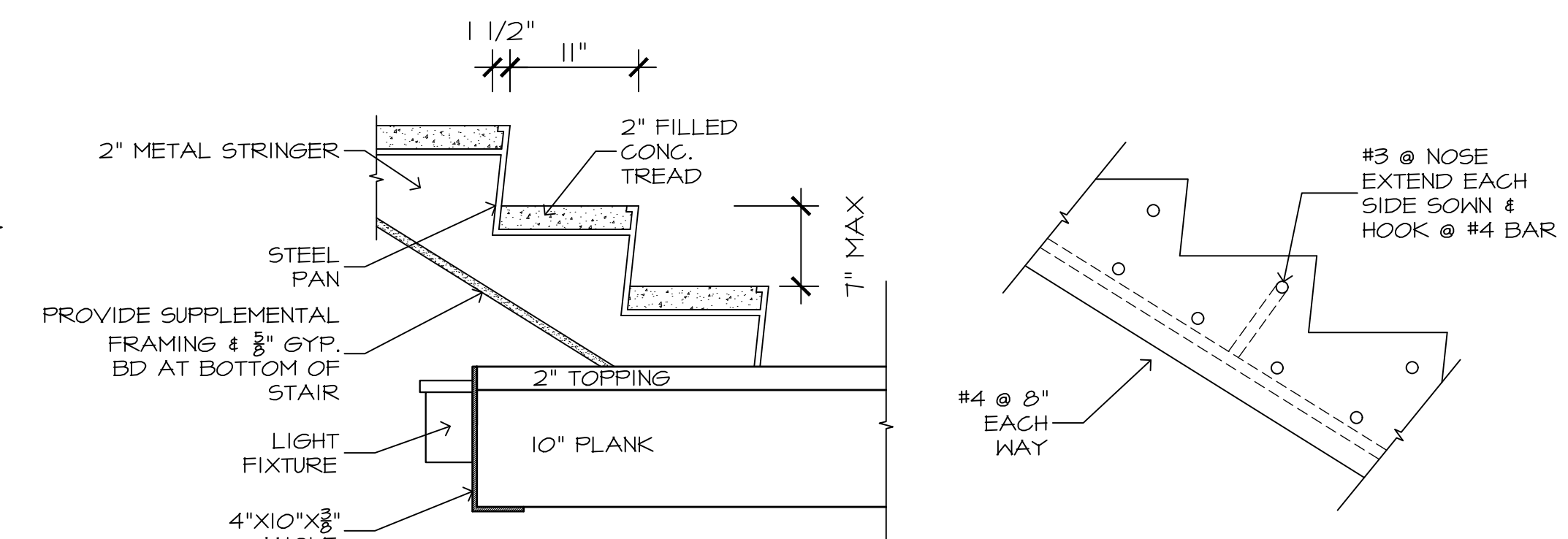
SECTION C



A BUILDING SECTION
SCALE: 3/8" = 1'-0"

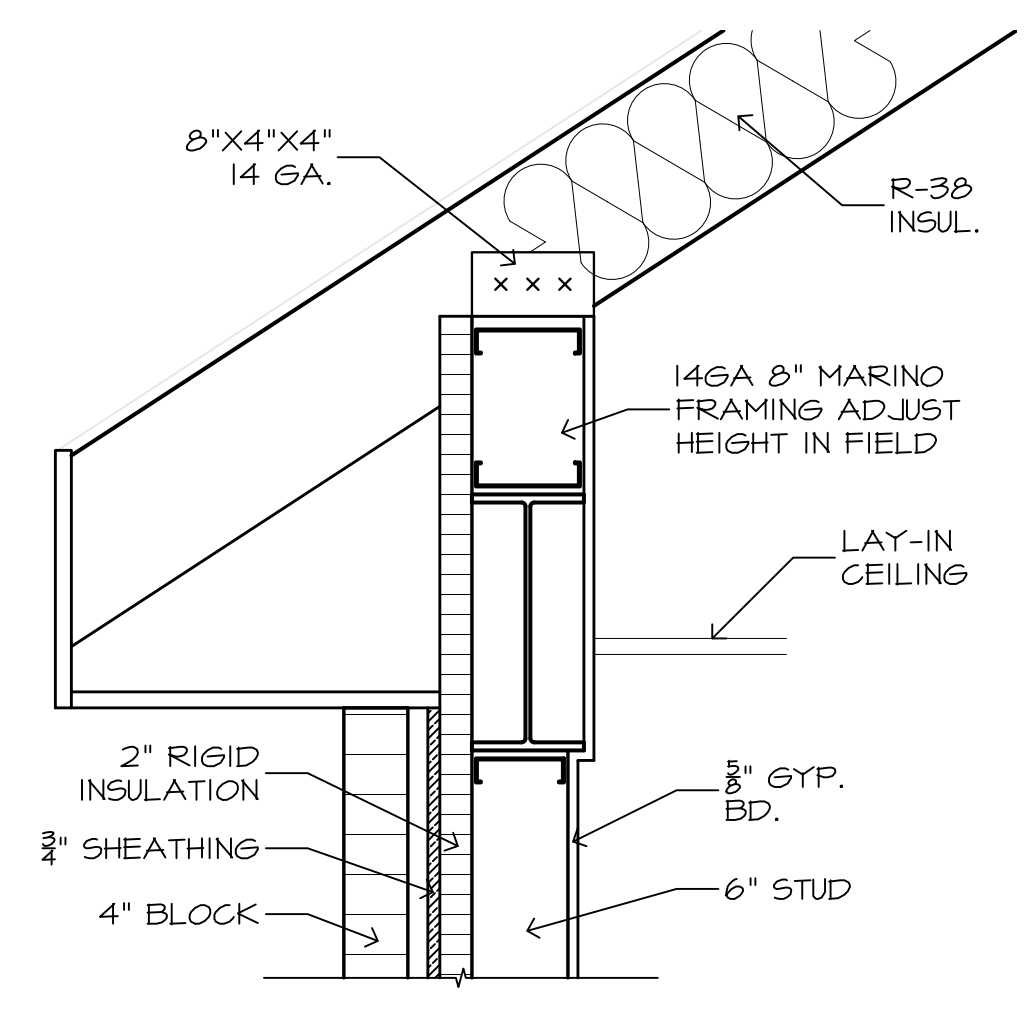


A ROOF DETAIL
A-1 SCALE: 1/2" = 1'-0"



A DETAIL
A-2 SCALE: 1" = 1'-0"

A DETAIL
A-3 SCALE: 1" = 1'-0"



A DETAIL
A-4 SCALE: 1" = 1'-0"

DATE: ISSUE
04-01-21
ISSUED FOR BIDDING

SEAL:

SENDEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
(631) 727-5352
9 SELENA COURT
WALDEN, NY 12586
(845) 275-8859

HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528
STAIR SECTION PLAN

PROJECT #: 2020-04

DRAWN BY: SEND. ARCH.

CAD FILE: P/2020/HFD
2020-04

DRAWING#:

A-4.3

DOOR SCHEDULE

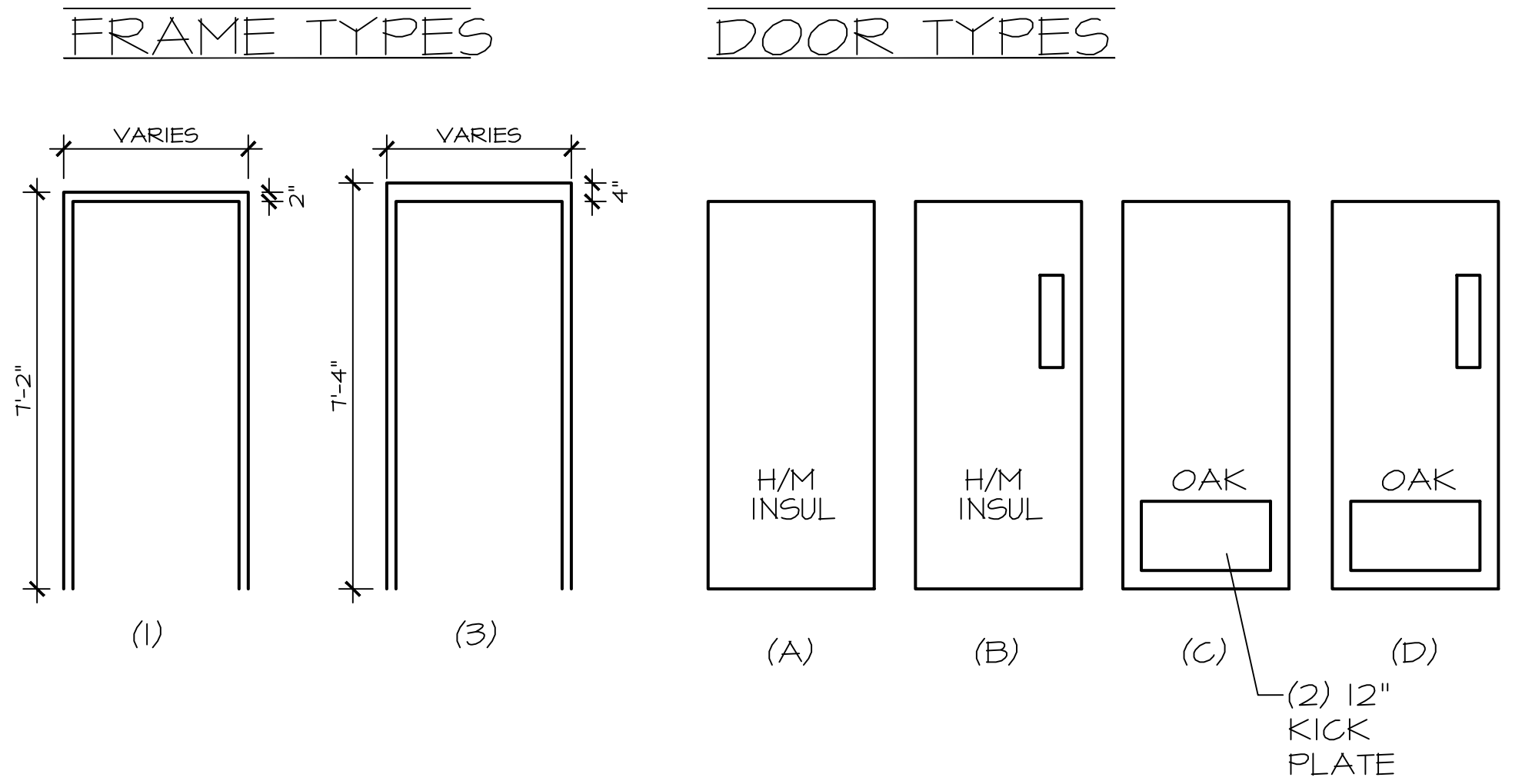
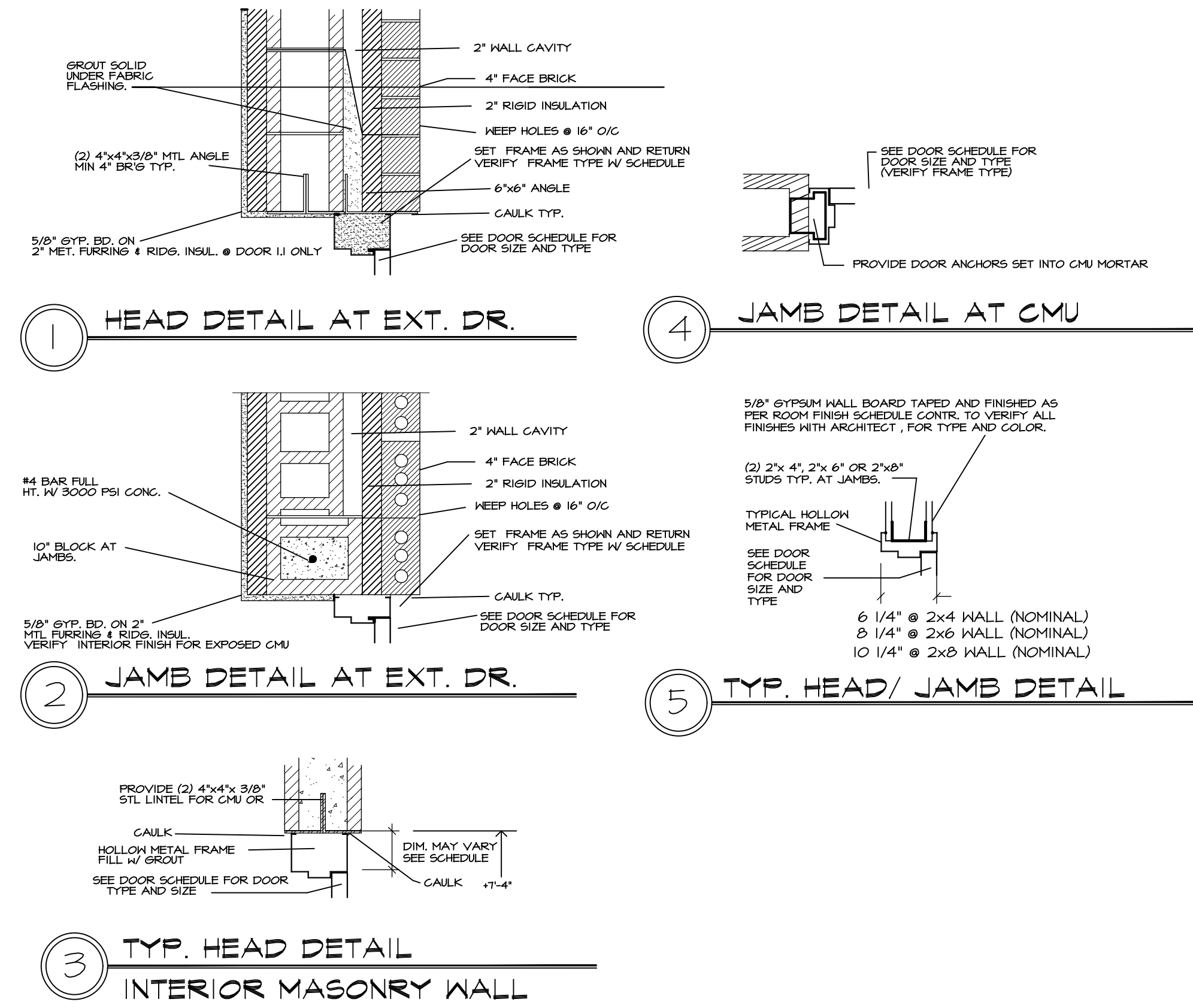
DOOR INFORMATION			SIZE			MATERIAL		FINISH		DETAILS		FRAME TYPE	HARDWARE GROUP	RATING LABEL DR & FRAME	REMARKS
NO.	QTY.	TYPE	WIDTH	HEIGHT	THK	DOOR	FRAME	DOOR	FRAME	HEAD	JAMB				
B-1	1	A	3'-8"	7'-0"	1-3/4"	HM	HM	PT	PT	3	4	3	3	I-I	
B-2	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	3	4	3	3	I-I	
B-3	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	3	4	3	3	I-I	
101-E	1	-	2'-6"	7'-0"	1-3/4"	WD	WD	PT	PT	EXIST	EXIST	N/A	EXIST	N/A	1,2
102-E	1	-	2'-6"	7'-0"	1-3/4"	WD	WD	PT	PT	EXIST	EXIST	N/A	EXIST	N/A	1,2
103-E	1	-	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	EXIST	EXIST	N/A	EXIST	N/A	1
104-E	1	-	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	EXIST	EXIST	N/A	EXIST	N/A	1
105-E	1	B	3'-6"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	3	I-I	3
106-E	1	-	3'-3"	7'-0"	1-3/4"	HM	HM	PT	PT	EXIST	EXIST	N/A	2	N/A	1,3
107-E	1	-	3'-0"	7'-0"	1-3/4"	WD	WD	PT	PT	EXIST	EXIST	N/A	EXIST	N/A	1
108-E	1	-	2'-8"	7'-0"	1-3/4"	HM	HM	PT	PT	EXIST	EXIST	N/A	EXIST	3	1,3
109-E	1	-	3'-4"	7'-0"	1-3/4"	HM	HM	PT	PT	EXIST	EXIST	N/A	EXIST	2	1,3
101	1	-	3'-0"	7'-0"	1-3/4"	WD	WD	PT	PT	EXIST	EXIST	N/A	EXIST	N/A	1
102	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	3	4	3	5	I-I	
103	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	3	I-I	
104	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	5	N/A	
105	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	3	4	3	3	I-I	1
106	1	B	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	3	4	3	3	I-I	5
107	1	KAWNEER A	3'-0"	7'-0"	1-3/4"	ALUM/GL	ALUM/GL	FF	FF	K1	K2	ALUM	1	N/A	
108	1	KAWNEER A	3'-0"	7'-0"	1-3/4"	ALUM/GL	ALUM/GL	FF	FF	K1	K2	ALUM	1	N/A	5
109	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	5	I-I	
110	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	5	I-I	
111	1	B	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	3	I-I	
112	1	B	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	3	I-I	5
113	1	B	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	SIM-1	SIM-2	3	2	I-I	5
114	1	B	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	3	4	3	3	I-I	5
115	1	B	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	SIM-1	SIM-2	3	2	I-I	5
M-101E	1	-	3'-0"	7'-0"	1-3/4"	WD	WD	PT	PT	-	-	-	3	N/A	3
M-101	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	5	N/A	
M-102	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	5	N/A	
M-103	1	A	2'-6"	7'-0"	1-3/4"	HM	HM	PT	PT	3	4	1	3	I-I	
M-104	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	3	N/A	
M-105	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	3	N/A	
M-106	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	3	N/A	
M-107	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	3	N/A	
M-108	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	3	N/A	
M-109	1	A	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	4	N/A	
M-110	1	B	3'-0"	7'-0"	1-3/4"	HM	HM	PT	PT	5	5	1	4	N/A	
201-E	1	-	3'-0"	7'-0"	1-3/4"	WD	WD	VAR	VAR	EXIST	EXIST	N/A	EXIST	N/A	6
202-E	1	-	2'-8"	7'-0"	1-3/4"	WD	WD	VAR	VAR	EXIST	EXIST	N/A	EXIST	N/A	6
203-E	1	-	3'-0"	7'-0"	1-3/4"	WD	WD	VAR	VAR	EXIST	EXIST	N/A	EXIST	N/A	6
204-E	1	-	3'-6"	7'-0"	1-3/4"	WD	WD	VAR	VAR	EXIST	EXIST	N/A	EXIST	N/A	6
205-E	1	-	3'-0"	7'-0"	1-3/4"	WD	WD	VAR	VAR	EXIST	EXIST	N/A	EXIST	N/A	6
206-E	1	-	3'-0"	7'-0"	1-3/4"	WD	WD	VAR	VAR	EXIST	EXIST	N/A	EXIST	N/A	6
207-E	1	-	3'-0"	7'-0"	1-3/4"	WD	WD	VAR	VAR	EXIST	EXIST	N/A	EXIST	N/A	6
208-E1	2	-	2'-8"	7'-0"	1-3/4"	WD	WD	VAR	VAR	EXIST	EXIST	N/A	EXIST	N/A	6
208-E2	2	-	2'-8"	7'-0"	1-3/4"	WD	WD	VAR	VAR	EXIST	EXIST	N/A	EXIST	N/A	6
201	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	4	I-I	
202	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	3	I-I	
203	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	4	I-I	
204	1	D	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	4	I-I	
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207	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	4	I-I	
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211	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	4	I-I	
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215	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	3	I-I	
216	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	3	I-I	
217	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	3	I-I	
218	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	3	I-I	
219	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	3	I-I	
220	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	4	I-I	
221	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	3	I-I	
222	1	C	3'-0"	7'-0"	1-3/4"	WD	HM	VAR	PT	5	5	1	2	I-I	

NOTE:

- ALL DOOR FRAMES AT MASONRY WALLS SHALL HAVE 4" HEAD (TYPE 3)
- ALL DOOR FRAMES TO BE PRE-CUT TO ALLOW FOR ELEC. DOOR STRIKE HARDWARE PROVIDE 5.5" FINISH PLATE FOR ANY LOCATIONS THAT DO NOT GET ELEC. STRIKE.
- ALL DOORS TO BE B-LABEL RATED UNLESS OTHERWISE NOTED ON SCHEDULE
- DOORS WITH GLASS EXCEEDING 100 SQ. INCH SHALL BE FIRE RATED GLASS (TYP)
- GC SHALL CONFIRM ALL DOOR & HARDWARE SCHEDULE WITH ARCHITECT PRIOR TO PURCHASE.
- GC SHALL FIELD REVIEW & CONFIRM ALL DOOR LOCATIONS THAT ARE TO RECEIVE ELECTRIC STRIKES WITH ELECTRICIAN FOR WIRING COORDINATION. PRESENT ANY CONFLICTS TO ARCHITECT IN WRITING

GENERAL NOTE:

- EXISTING DOOR & FRAME TO BE SCRAPPED, REPAIR, PRIMED & PAINTED
- PROVIDE NEW VERTICAL ROD PANIC BAR HARDWARE TO INTERIOR WITH LOCKABLE LATCH
- ADD NEW HARDWARE & STRIKE TO EXISTING DOOR, CUT STRIKE INTO FRAME AS REQUIRED, COORDINATE STRIKE WIRING WITH ELECTRICIAN
- DOOR FRAME W/ SIDELITE. PROVIDE 1-HR GLASS IN SIDELITE.
- COORDINATE FRAME HEAD DIMENSION TO BOTTOM OF STEEL
- SAND & REFINISH EXISTING WOOD DOOR.



HARDWARE GROUP 1				
QTY	TYPE	MFG	DESCRIPTION	FIN.
3	HINGES	KAWNEER	4.5 X 4.0	S.S.
1	RIM PANICS	DORMA	9700	689 ALUM
1	CLOSERS	LCN	2030	N/A
1	ELECTRIC STRIKES	HES	7000	US26P
1	SADDLES	KAWNEER	STANDARD	MILL
1	TRIM	DORMA	2P03	689 ALUM
1	WEATHERSTRIP	KAWNEER	STANDARD	N/A
1	FACE PLATE	NES	7895	US26P

HARDWARE GROUP 3				
QTY	TYPE	MFG	DESCRIPTION	FIN.
3	HINGES	PBB	BB81 4.5 X 4.5(27- NRP)	26D
1	STOREROOM LOCKS	PDQ	GT 115 PHL	26D
1	CLOSERS	PDQ	5100 BC PA	689
1	ELECTRIC STRIKES	HES	9500 LBM	32D
1	WALL STOPS	RKWD	406(WHERE REQ'D)	32D
1	KICK PLATES	RKWD	12 X 34	32D

HARDWARE GROUP 4				
QTY	TYPE	MFG	DESCRIPTION	FIN.
3	HINGES	PBB	BB81 4.5 X 4.5	26D
1	PASSAGE SETS	PDQ	GT 126 PHL	26D
1	CLOSERS	PDQ	5100 BC PA	689
1	STOPS	RKWD	406	32D
1	KICK PLATES	RKWD	12 X 34	32D

HARDWARE GROUP 5				
QTY	TYPE	MFG	DESCRIPTION	FIN.
3	HINGES	PBB	BB81 4.5 X 4.5 NRP	26D
1	PRIVACY LOCK	PDQ	GT 115 PHL	26D
1	WALL STOP	RKWD	406	32D
1	CLOSER	RDQ	5100 BC PA	32D

DATE: ISSUE

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HARRISON FIRE DEPT.

PROPOSED ADDITION

206 HARRISON AVE
HARRISON, NY 10528

DOOR SCHEDULE

PROJECT #: 2020-04

DRAWN BY: SEND. ARCH.

CAD FILE: P/2020/HFD
2020-04

DRAWING#:

A-6

ROOM	NAME	FLOOR		BASE		HALLS		CEILING			MISC.	NOTES
		MATERIAL	FINISH	MATERIAL	HEIGHT	MATERIAL	FINISH	TYPE	FINISH	HEIGHT		
B-1	BASEMENT LOBBY	CONC.	UNFINISHED	CONC.	--	CONC.	UNFINISHED	STL/CONC.	UNFINISHED	8'-2"		
B-2	EQUIPMENT ROOM	CONC.	UNFINISHED	CONC.	--	CONC.	UNFINISHED	STL/CONC.	UNFINISHED	8'-2"		
B-3	ELECTRICAL ROOM	CONC.	UNFINISHED	CONC.	--	CONC.	UNFINISHED	STL/CONC.	UNFINISHED	8'-2"		
B-4	WATER SERVICE ROOM	CONC.	UNFINISHED	CONC.	--	CONC.	UNFINISHED	STL/CONC.	UNFINISHED	8'-2"		
101	LOBBY	CONC./WOOD	CARPET	EXISTING	--	PLASTER	PAINT	PLASTER	PAINT	--		1,2,3
101A	CLOSET	CARPET	EXISTING	EXISTING	--	PLASTER	EXISTING	PLASTER	PAINT	--		
102-A	NORTH BAY	CONC.	DQ	DQ	6'	CMU	PAINT	PLASTER	PAINT	--		
102-B1	GEAR	CONC.	DQ	DQ	6'	CMU	PAINT	GB	PAINT	8'-2"		
102-B2	GEAR	CONC.	DQ	DQ	6'	CMU	PAINT	GB	PAINT	8'-2"		
102-C	PAID GEAR	CONC.	DQ	DQ	6'	CMU	PAINT	GB	PAINT	8'-2"		
102-D	GEAR	CONC.	DQ	DQ	6'	CMU	PAINT	GB	PAINT	8'-2"		
102-E	GEAR SHOWER	CONC.	GT	GT	--	CMU	GT	GB	PAINT	8'-0"	SEE A-12	
102-F	WASH ROOM	CONC.	DQ	DQ	6'	CMU	PAINT	GB	PAINT	8'-0"	SEE A-12	
102-G	ALARM ROOM	CONC.	DQ	DQ	6'	GB	PAINT	(3)	--	8'-0"		
103-A	SOUTH BAY	CONC.	DQ	DQ	6'	CMU	PAINT	EXPOSED	--	--		4
103-B	SOUTH BAY ADDITION	CONC.	DQ	DQ	6'	CMU	PAINT	EXPOSED	PAINT	--		5
104	STORAGE	CONC.	DQ	DQ	6'	GB	PAINT	GB	PAINT	8'-0"		
105	SOUTH STAIR	CONC.	VCT	VB	4'	GB/CMU	PAINT	GB	PAINT	--		6
106	BAIL-OUT	CONC.	--	CONC.	--	CMU	PAINT	--	--	--		
107-A	CHIEF	CONC.	ACRYLX	VB	4'	GB	PAINT	(4)	--	9'-0"		
107-B	BATHROOM	CONC.	GT	GT	--	GB	GT	(3)	--	8'-0"	SEE A-12	7
108	TOWER STAIR	CONC./STL	PAINT	--	--	MAS	PAINT	--	--	--		8
104-A	CORRIDOR	CONC.	ACRYLX	VB	4'	GB	PAINT	(3)	--	7'-6"		
104-B	VESTIBULE	CONC.	ACRYLX	VB	4'	GB	PAINT	(3)	--	7'-6"		
110	STAIR	LAMINATED	VCT	VB	4'	GB	PAINT	GB	--	--		6
111-A	RESTROOM	CONC.	GT	--	--	48" TILE	PAINT	(3)	--	7'-6"	SEE A-12	7
111-B	RESTROOM	CONC.	GT	--	--	48" TILE	PAINT	(3)	PAINT	7'-6"	SEE A-12	7
112	DAY ROOM	CONC.	ACRYLX	VB	4'	GB	PAINT	GB	PAINT	7'-10"		9
113	BASEMENT STAIR	CONC.	--	--	--	CMU	--	--	--	--		
M-1	TV/LOUNGE	CONC./WD	ACRYLX	VB	4'	GB	PAINT	GB/CP	PAINT	7'-6"/7'-4"		
M-2A	BATHROOM	CONC.	GT	GT	--	48" TILE	PAINT	CP	PAINT	7'-4"	SEE A-13	7
M-2B	BATHROOM	CERAMIC TILE	GT	GT	--	48" TILE	PAINT	CP	PAINT	7'-4"	SEE A-13	7
M-3	TOWER STAIR	METAL	PAINT	--	--	MAS	PAINT	--	PAINT	--		8
M-4	STORAGE	WD	ACRYLX	VB	4'	GB	PAINT	GB	PAINT	7'-4"		
M-5	HALL	CONC.	ACRYLX	VB	4'	GB	PAINT	GB	TP	7'-8"		
M-6	STORAGE	CONC.	ACRYLX	VB	4'	GB	PAINT	GB	TP	7'-8"		
M-71	SLEEPING ROOM	CONC.	ACRYLX	VB	4'	GB	PAINT	GB	TP	7'-8"		
M-72	SLEEPING ROOM	CONC.	ACRYLX	VB	4'	GB	PAINT	GB	TP	7'-8"		
M-73	SLEEPING ROOM	CONC.	ACRYLX	VB	4'	GB	PAINT	GB	TP	7'-8"		
M-74	SLEEPING ROOM	CONC.	ACRYLX	VB	4'	GB	PAINT	GB	TP	7'-8"		
M-75	SLEEPING ROOM	CONC.	ACRYLX	VB	4'	GB	PAINT	GB	TP	7'-8"		
M-8	BAIL-OUT	CONCRETE	--			CMU	PAINT					
201-A	LOBBY STAIR	WD	CARPET	EXISTING	--	PLASTER	PAINT	PLASTER	PAINT	EXISTING		1,2,3
201-B	STORAGE	WD	ACRYLX	VB	4'	GB	PAINT	GB	PAINT	EXISTING		
202-A	MEETING ROOM	WD	ACRYLX	WD	PT	GB	PAINT	(1)	--	12'-0"	FLOOR ADD. ALT.	9,10,11
202-B	CONFERENCE ROOM	WD	CPT	VB	4'	GB	PAINT	(1)	--	8'-0"		
202-C	STORAGE	EXISTING	EXISTING	VB	4'	GB	PAINT	(3)	--	8'-0"		11
203	READY ROOM	CONC.	ACRYLX	VB	4'	GB	PAINT	(3)	--	9'-0"		
204	STORAGE	EXISTING	EXISTING	--	--	GB	PAINT	GB	PAINT	EXISTING		
205	SOUTH STAIR-B	CONC.	VCT	VB	4'	GB/CMU	PAINT	GB	PAINT	EXISTING		6
206	IT ROOM	CONC.	VCT	VB	4'	GB	PAINT	GB	PAINT	10'-0"		
207	FITNESS	CONC.	ACRYLX	VB	4'	GB	PAINT	(3)	--	10'-0"		
208	CORRIDOR	CONC.	ACRYLX	VB	4'	GB	PAINT	(1)	--	8'-0"		
204-A	BAIL-OUT/TRAINING	CONC.				CMU	PAINT			--		
204-B	BAIL-OUT/TRAINING	CONC.				CMU	PAINT			--		
210-A	WOMEN'S ROOM	CONC.	GT	GT	--	48" TILE	PAINT	(1)	--	8'-0"	SEE A-13	
210-B	MEN'S ROOM	CONC.	GT	GT	--	48" TILE	PAINT	(1)	--	8'-0"	SEE A-13	
210-C	JANITOR	CONC.	GT	GT	--	GB	PAINT	(6)	PT	10'-0"	SEE A-13	
211	OFFICE	CONC.	ACRYLX	VB	4'	GB	PAINT	(3)	GRID	8'-0"		
212-A	OFFICE	CONC.	ACRYLX	VB	4'	GB	PAINT	(3)	GRID	8'-0"		
212-B	OFFICE	CONC.	ACRYLX	VB	4'	GB	PAINT	(3)	GRID	8'-0"		
213	OFFICE	CONC.	ACRYLX	VB	4'	GB	PAINT	(3)	GRID	8'-0"		
214	QUIET ROOM	CONC.	ACRYLX	VB	4'	GB	PAINT	(3)	GRID	8'-0"		
214-A	CLOSET	CONC.	ACRYLX	VB	4'	GB	PAINT	(3)	GRID	8'-0"		
215	HALLWAY	CONC.	ACRYLX	VB	4'	GB	PAINT	(1)	GRID	8'-0"		
216	BATHROOM	CONC.	GT	GB	--	GB	PAINT	(1)	GRID	8'-0"		
217	BUNK	CONC.	ACRYLX	GB	GB	GB	PAINT	(3)	GRID	8'-0"		
218	BUNK	CONC.	ACRYLX	GB	GB	GB	PAINT	(3)	GRID	8'-0"		
219	KITCHEN	WD	GT	GT	--	GB	GT	GB	PT	--	SEE A-14	
220	TOWER STAIR	EXISTING	PAINT	--	--	MAS	PAINT	--	PAINT	8'-0"		8

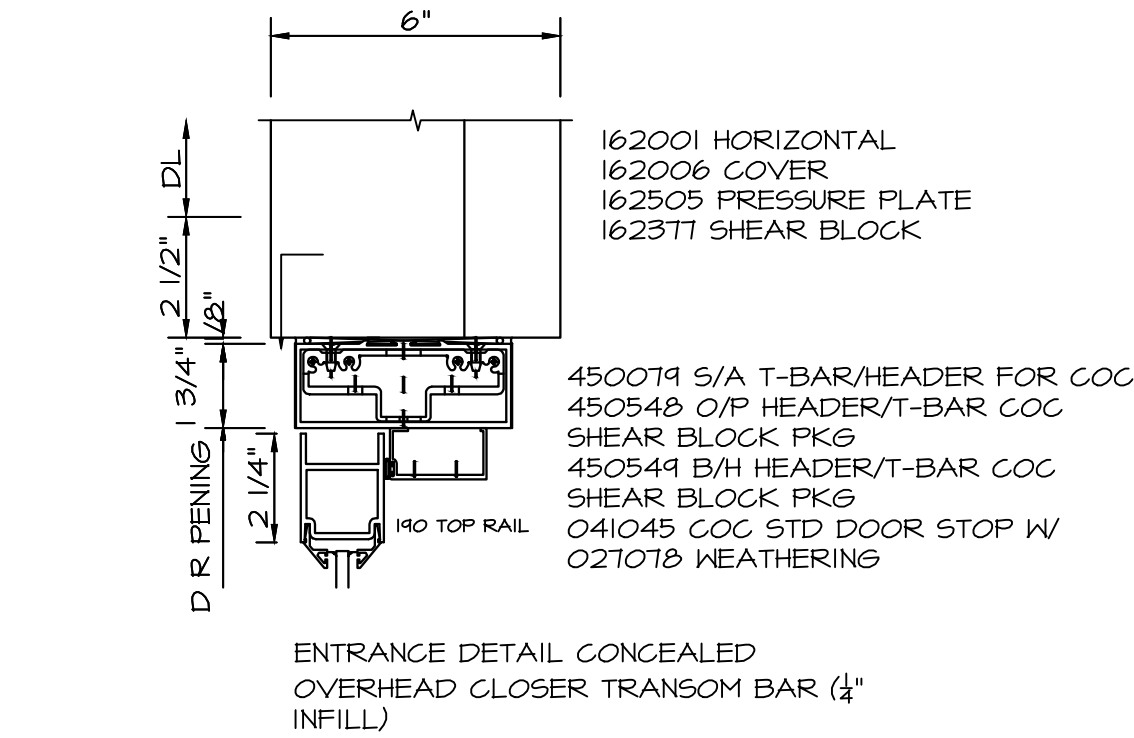
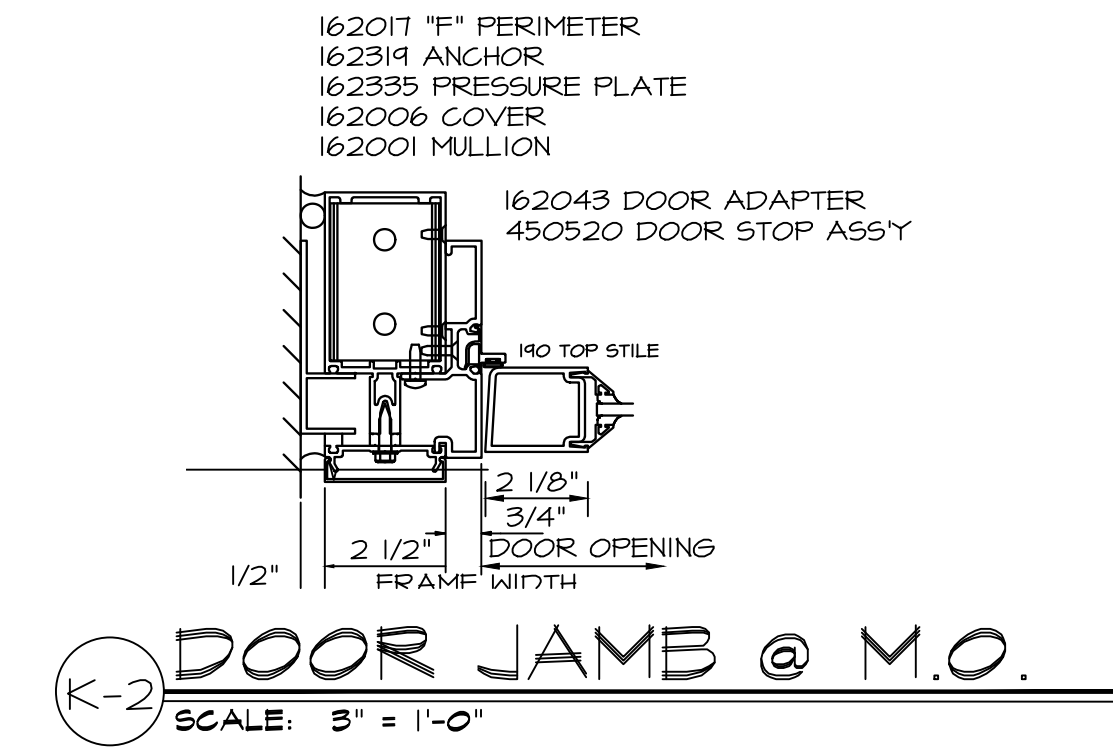
LEGEND:

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	N/A or ---	NOT APPLICABLE
ACRYLX	GENCORE ACRYLX INTERLOCKING FLOOR TILE	PT	PAINT
		GT	QUARRY TILE
CMU	CONCRETE BLOCK	RT	ROPPE RUBBER TREAD DIAMOND DESIGN
CONC	CONCRETE	RBR	1/2" THICK RUBBER GYM INTERLOCKING FLOOR TILE
CPT	CARPET		
CR	OAK CHAIR RAIL		
CT	CERAMIC TILE	TP	TEXTURE PAINT FINISH.
CP	CONCRETE FLANK		
EPOX	EPOXY PAINT	VB	4" HIGH ROPPE VINYL BASE. USE FORMED CORNERS
DQ	DURAQUARTZ EPOXY FLOOR & BASE FINISH	VCT	VINYL COMPOSITION TILE
FL	FLOOR	VT	VINYL TREAD
GB	GYPSUM BOARD	WD	WOOD

NOTES:

- (1) EXISTING LOBBY CARPET TO BE REMOVED WITH NEW MOHAWK COMMERCIAL MANU BROADLOOM TEXTURED PATTERNED CUT & CARPET, COLOR AS SELECTED BY OWNER
- (2) PREP & REFINISHED EXISTING WOOD BASE & ALL WOOD TRIM
- (3) PATCH, PREP & PAINT EXISTING WALLS - REMOVE & PREPARE PLAQUES & ARTWORK IN LOBBIES.
- (4) SOUTH BAY EXPOSED CEILING ABOVE TO REMAIN - NO CHANGE - PAINT ALL AS ADD ALT.
- (5) SOUTH BAY ADDITION EXPOSED JOIST, DECK, PIPING, CONDUCT, ETC. TO HAVE PAINT FINISH.
- (6) PROVIDE RUBBER STAIR TREADS, PAINT STRINGERS AND RISERS TYPICAL.
- (7) PROVIDE DUROCK WALLBOARD AT ALL WALL TILE AREAS TYPICAL.
- (8) TOWER STAIR WALLS TO BE SCRAPED, PREPARED & PAINTED TO CEILING LEVEL OF SECOND FLOOR, METAL STAIRS, RAILING, ETC. TO BE PREPARED & PAINTED
- (9) PROVIDE WOOD WAINSCOT W/ PAINT FINISH. WAINSCOT IN MEETING ROOM 202-A TO BE BID AS ADD ALT.
- (10) MEETING ROOM FLOOR TO BE BID AS ADD ALTERNATE
- (11) REPLACE CEILING TILE IN EXISTING GRID



PAINTING NOTES:

1. GC SHALL PROVIDE A FULL MOCK-UP PANEL CONSISTING OF ALL OWNER SELECTED PAINT FINISHES, FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY PAINTING
2. GC SHALL ENSURE THAT ALL CMU TO RECEIVED PAINT FINISH IS PROPERLY BRUSHED & PREPARED PRIOR TO PAINTING.
3. ALL PAINTED CMU SHALL RECEIVED BLOCK-FILLER BASE PAINT AS PREPARATION TO PAINTING.
4. ALL AREAS TO RECEIVE FINISH PAINT SHALL NOT GET ITS FINAL COAT UNTIL THE END OF THE PROJECTS PUNCH-LIST PHASE AND ONLY WHEN ALL OTHER TRADE/VENDORS HAVE BEEN CONFIRMED TO BE COMPLETED WITH THIER WORK IN ALL AREAS.

CEILING NOTES:

1. GC SHALL BE RESPONSIBLE FOR INSTALLED CEILING TILES/GRIDS FOR THE DURATION OF THE PROJECTS. ANY REPLACEMENT OR TOUCH-UP OF DAMAGED AREAS SHALL BE COMPLETED BY THE GC AT THE END OF THE PUNCH-LIST PHASE AND ONLY WHEN ALL OTHER TRADES/VENDORS ARE COMPLETED WITH ABOVE CEILING WORK.

GENERAL FINISH NOTES:

1. ALL DOOR FRAMES, TRIMS, SOFFITS, RAILINGS, EXPOSED STL, LINTELS, ETC. TO HAVE PAINT FINISH TYPICAL INTERIOR & EXTERIOR
2. ALL INTERIOR WOOD TRIM, MOLDING, BASEBOARD TO HAVE PAINT FINISH
3. KITCHEN WALLS TO HAVE GLAZED FINISH CERAMIC TILE FULL-HT
4. CARPET TILE TO BE MOHAWK MANU BROADLOOM
5. PARTIAL SOFFIT CEILING SHALL BE ON METAL SUSPENSION SYSTEM W/ PAINT FINISH, TYPICAL ALL SOFFIT LOCATIONS.

CEILING TYPES:

- (1) ARMSTRONG CIRRUS REGULAR FINE TEXTURE NO 578 24" x 24" x 3/4" LAY IN FIRE GUARD WITH PRELUDE XL FIRE GUARD 15/16" EXPOSED TEE GRID.
- (2) ARMSTRONG CIRRUS REGULAR FINE TEXTURE NO 578 24" x 48" x 3/4" LAY IN FIRE GUARD WITH PRELUDE XL FIRE GUARD 15/16" EXPOSED TEE GRID.
- (3) ARMSTRONG FINE FISSURED REGULAR EDGE NO. 1824 24" x 24" x 5/8" LAY IN FIRE GUARD WITH PRELUDE XL FIRE GUARD 15/16" EXPOSED TEE GRID.
- (4) ARMSTRONG FINE FISSURED REGULAR EDGE NO. 1824 24" x 48" x 5/8" LAY IN FIRE GUARD WITH PRELUDE XL FIRE GUARD 15/16" EXPOSED TEE GRID.

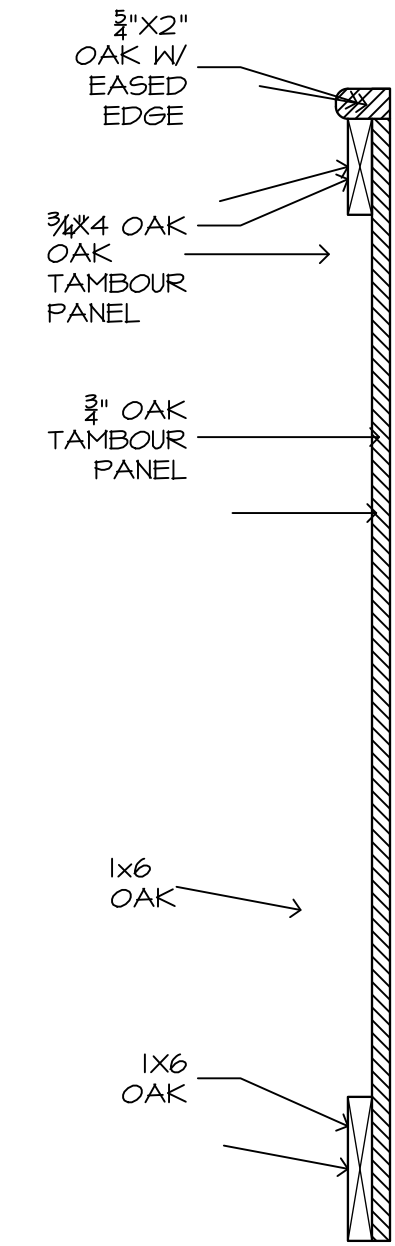
GEAR LOCKER SCHEDULE

GC TO PROVIDE & INSTALL THE FOLLOWING GEAR GRID LOCKERS:

- (8) STANDARD WALL MOUNT 3-PACK LOCKERS
- (4) STANDARD WALL MOUNT 2-PACK LOCKERS

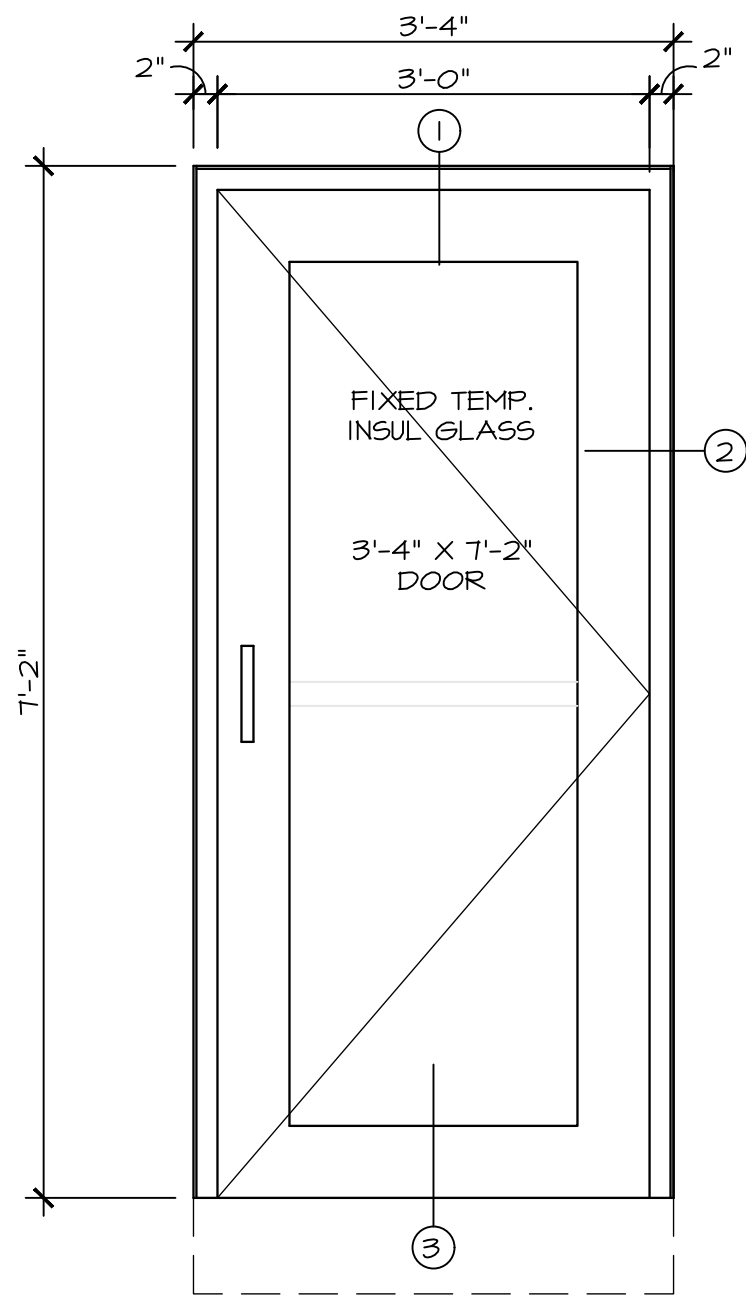
NOTES:

1. ALL LOCKERS TO HAVE GRIDIRON 6"x6"x12" LOCK BOX
2. ALL LOCKERS TO HAVE TOPSIDE STORAGE SHELF
3. ALL LOCKERS TO HAVE STANDARD POWER BAR
4. COLOR TO BE SELECTED BY OWNER



WAINSCOT DETAIL

SCALE: 1-1/2" = 1'-0"



KAWNEER A

SCALE: 3/4" = 1'-0"

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HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528

FINISH SCHEDULE

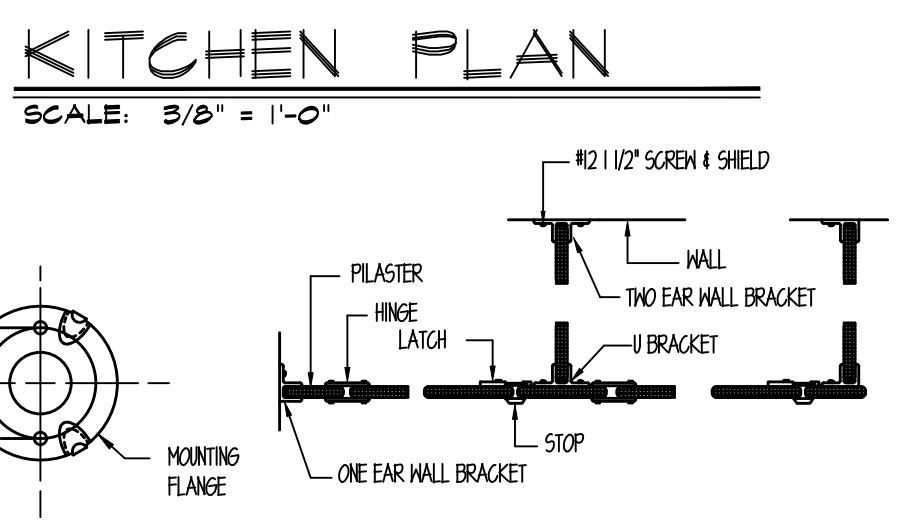
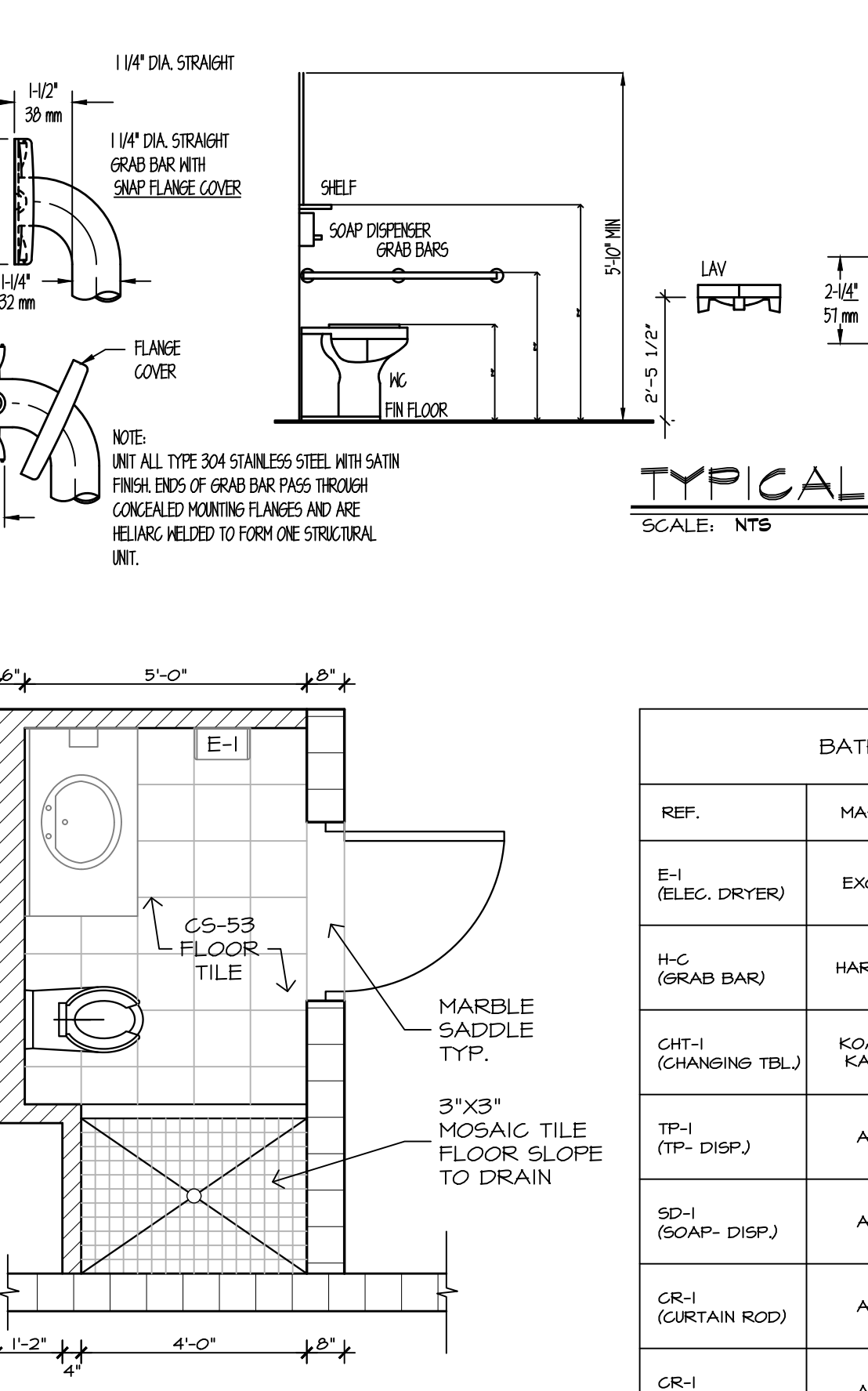
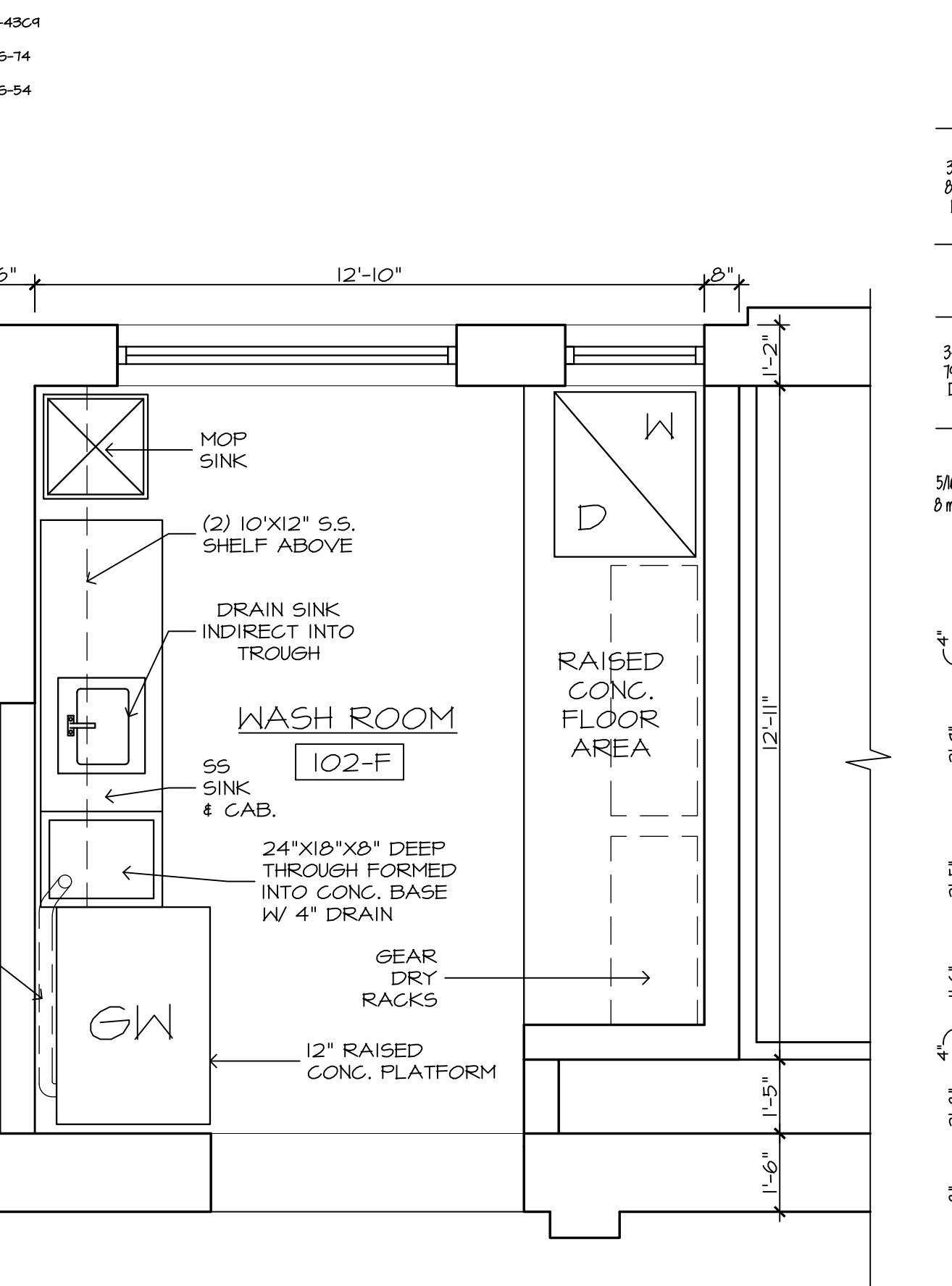
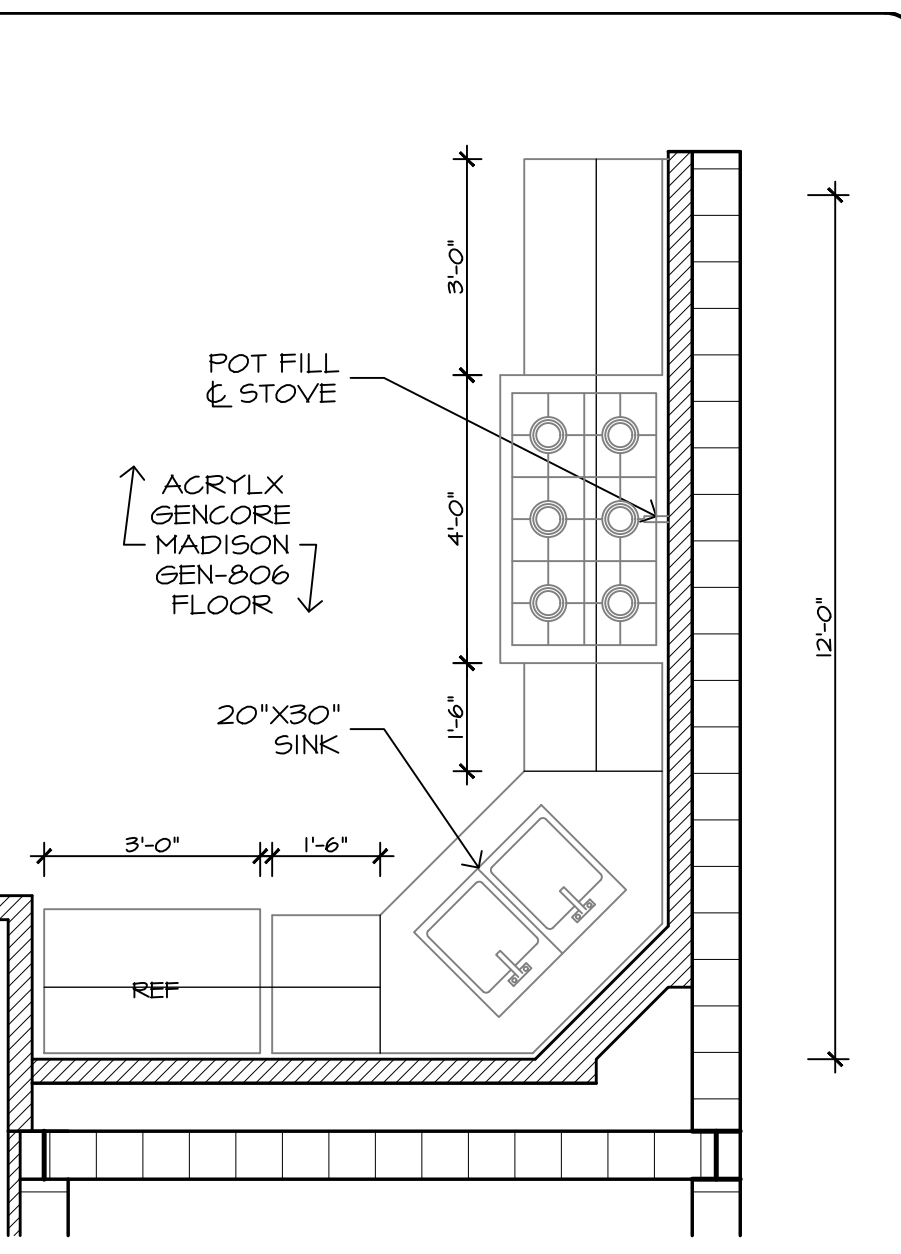
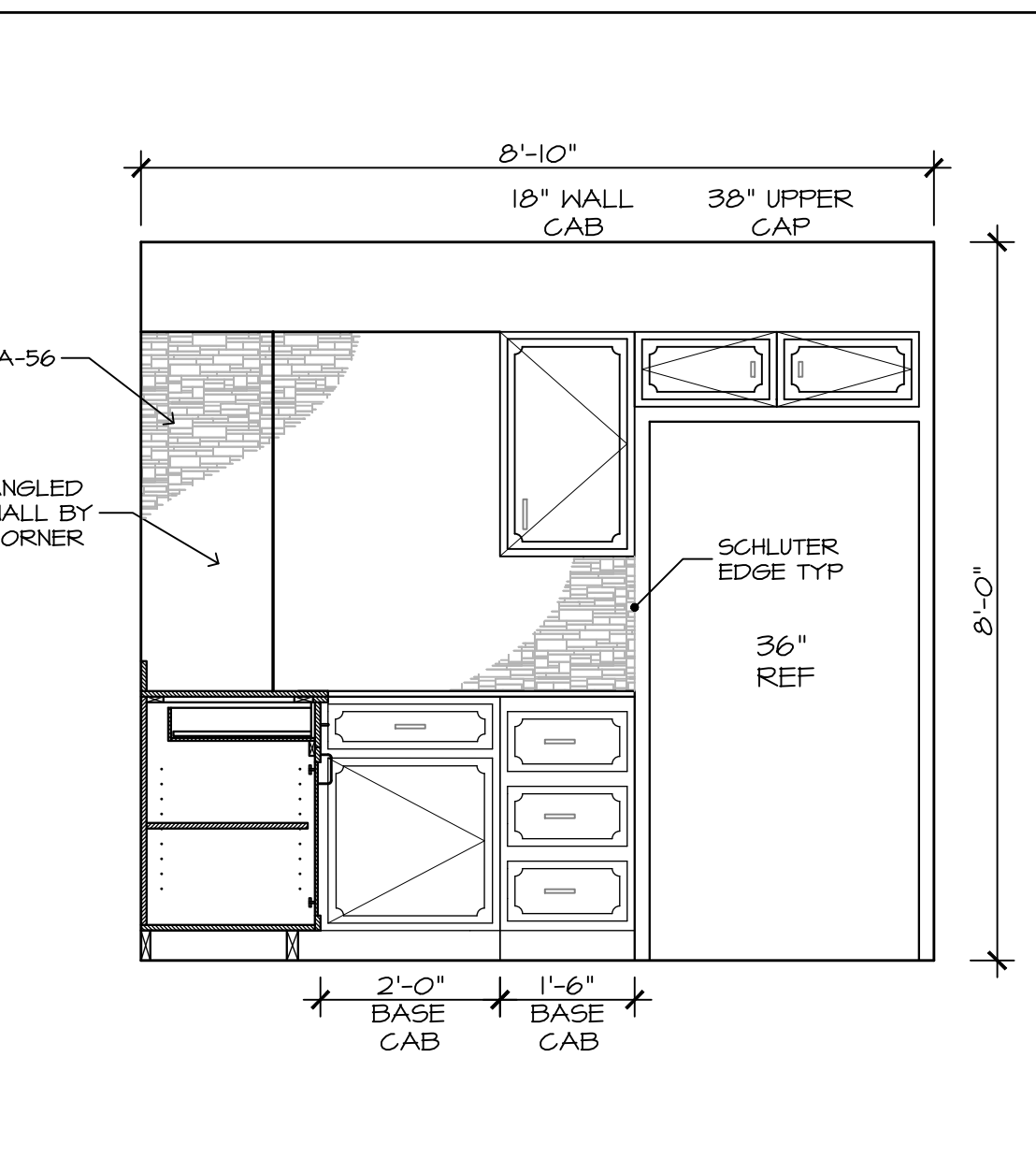
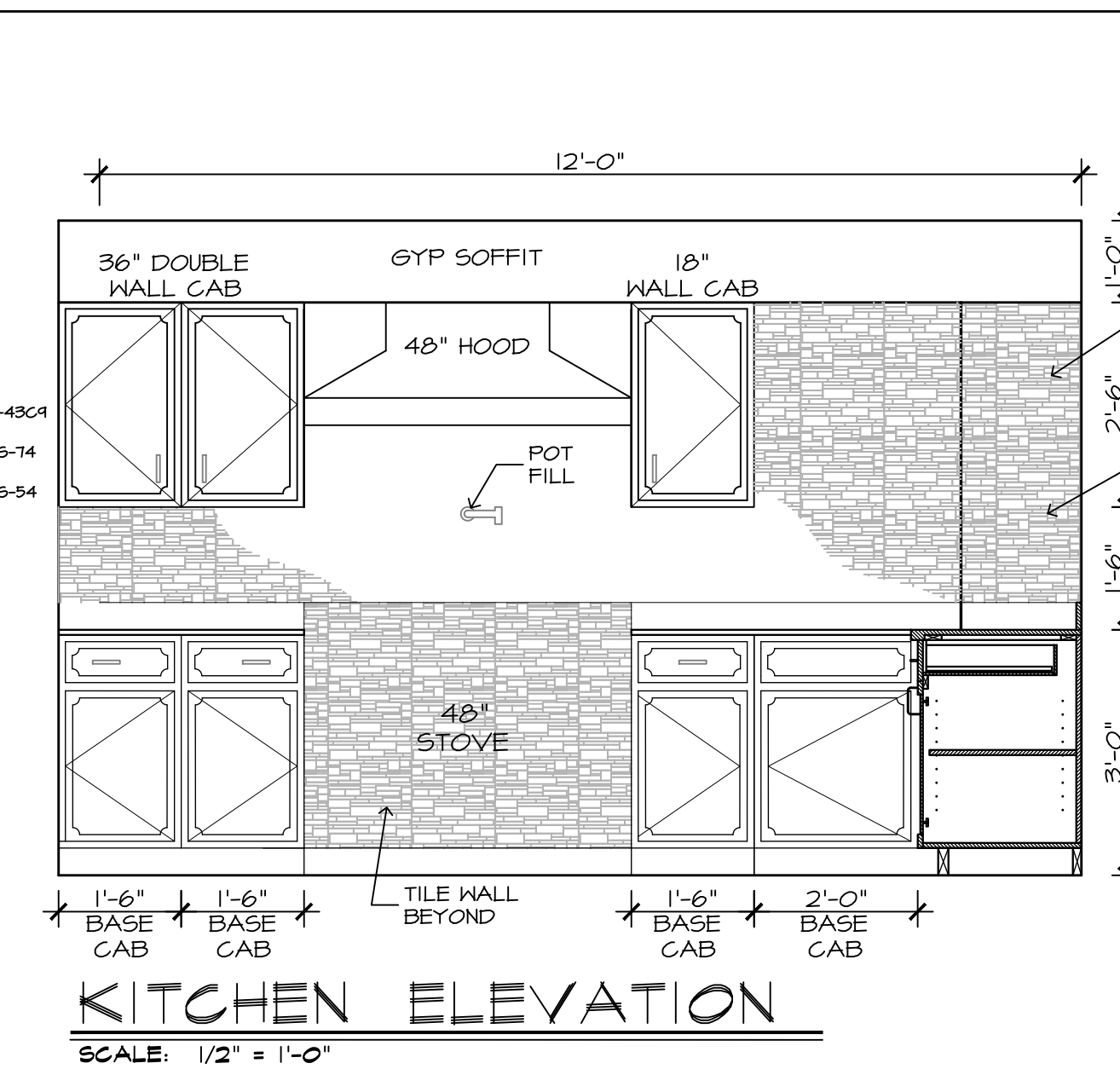
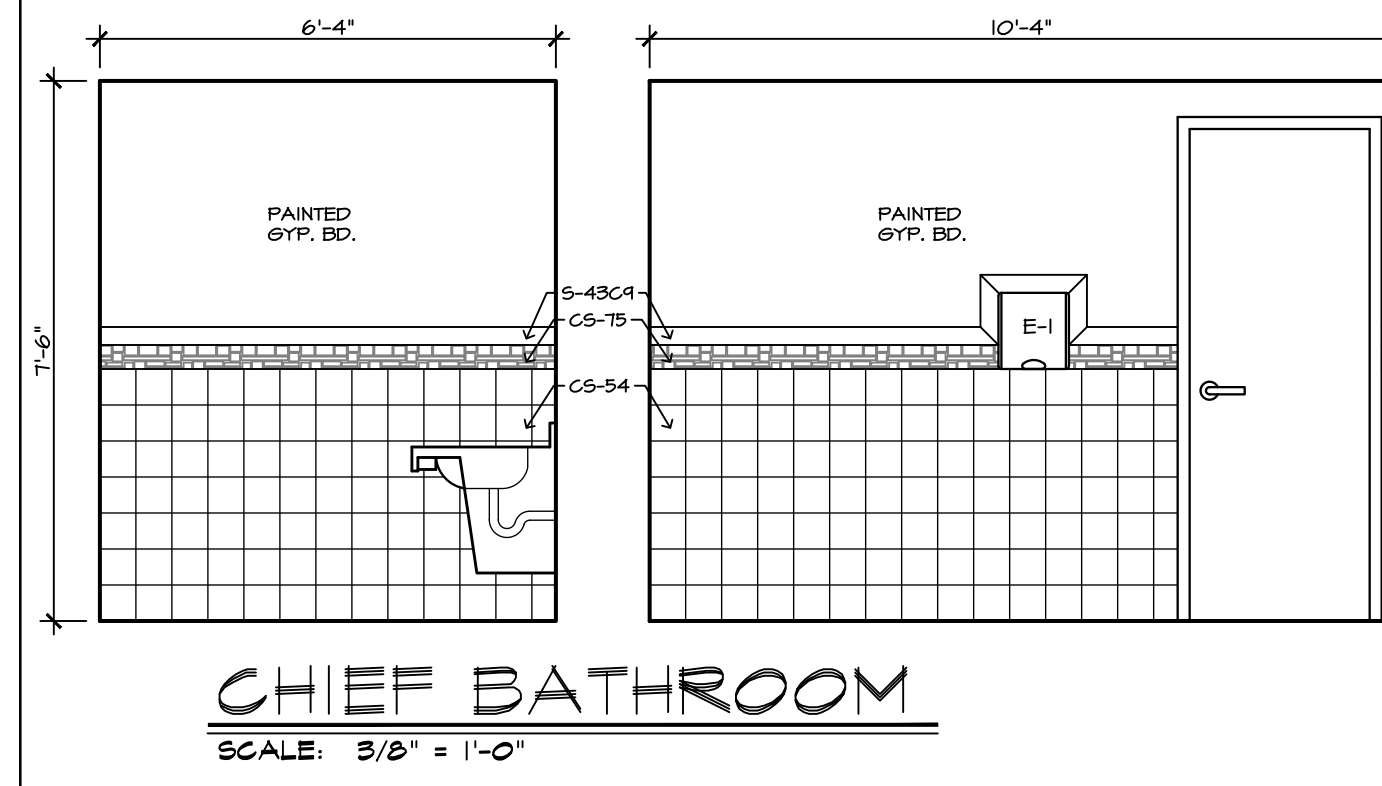
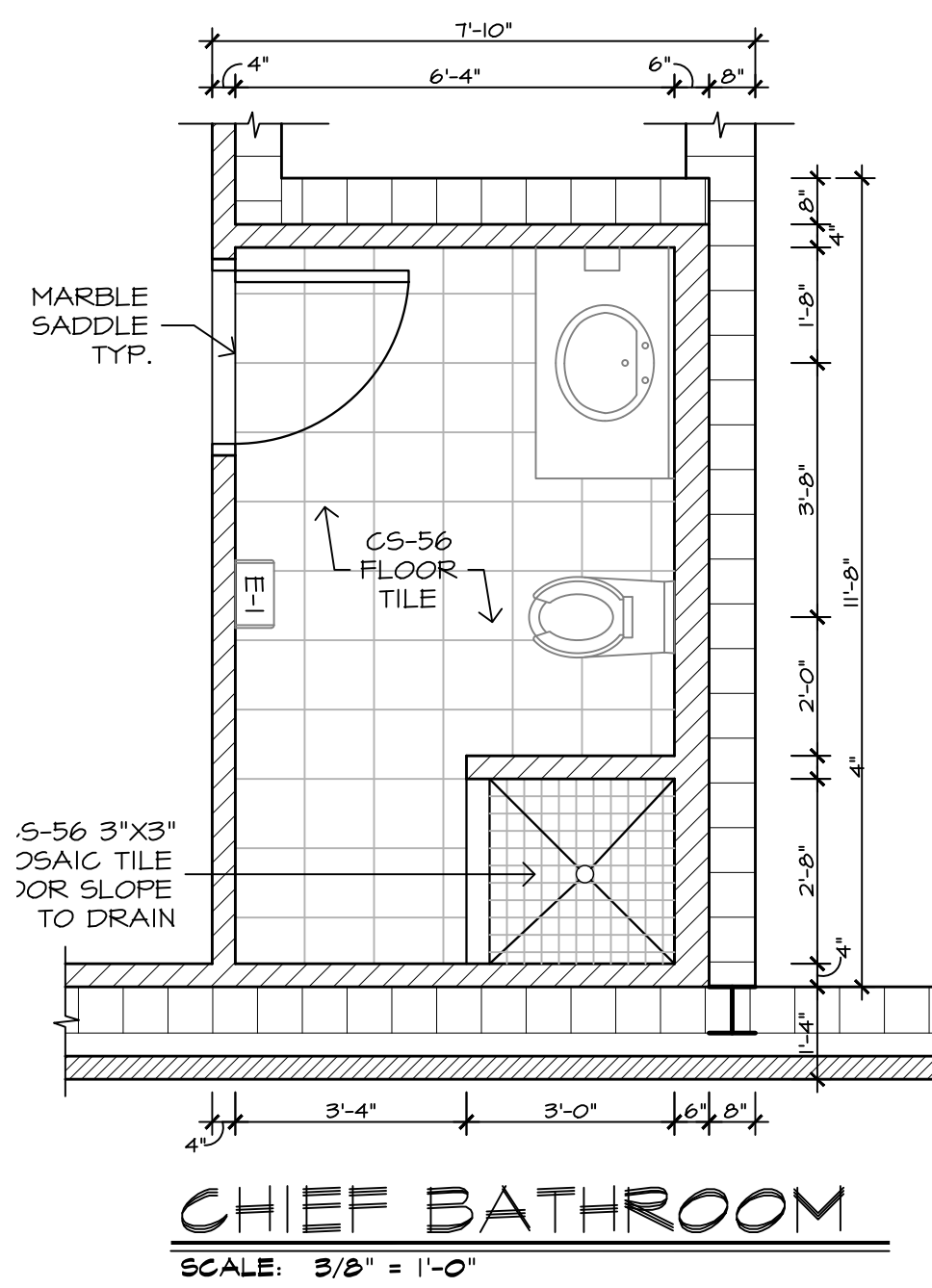
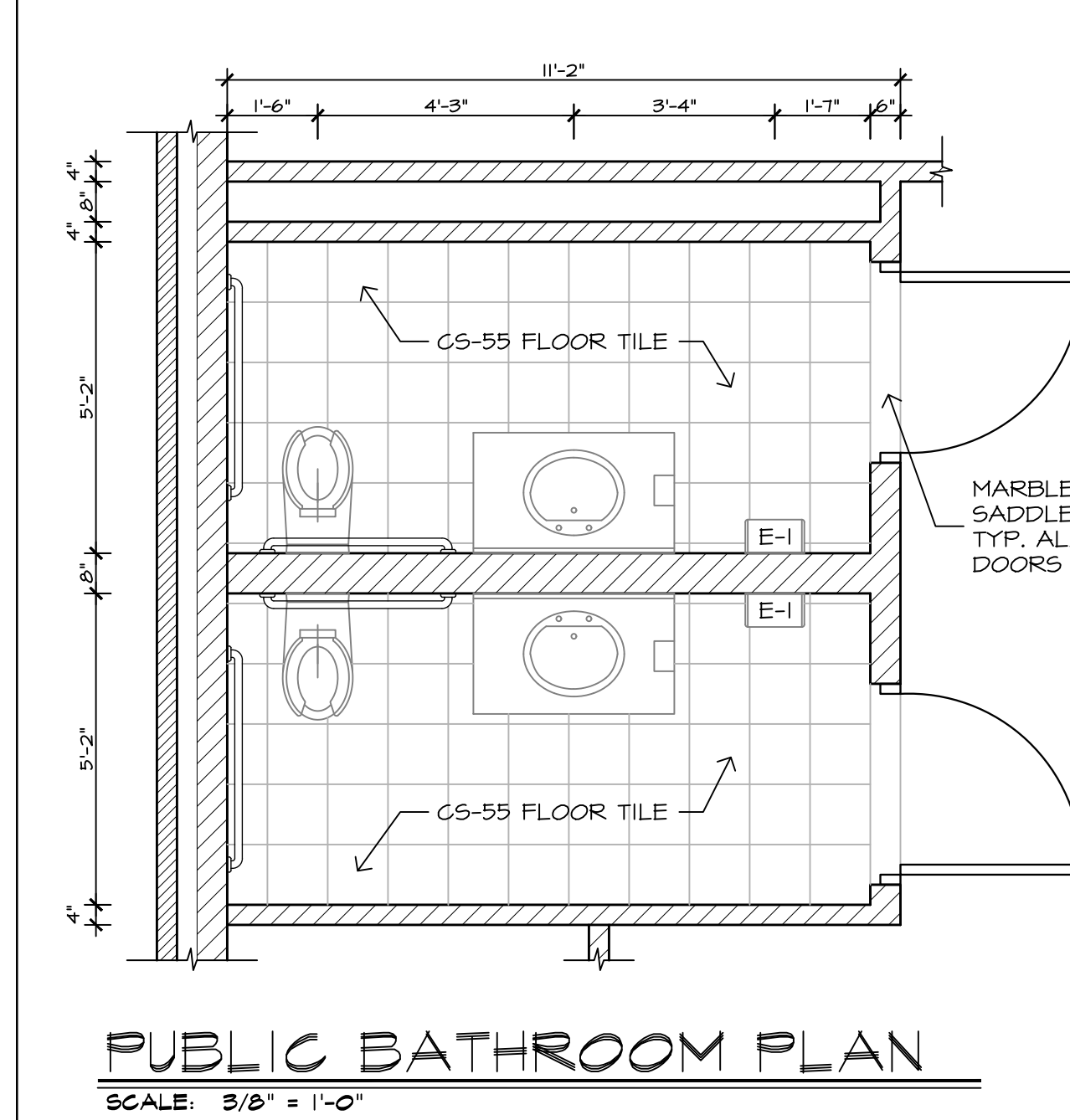
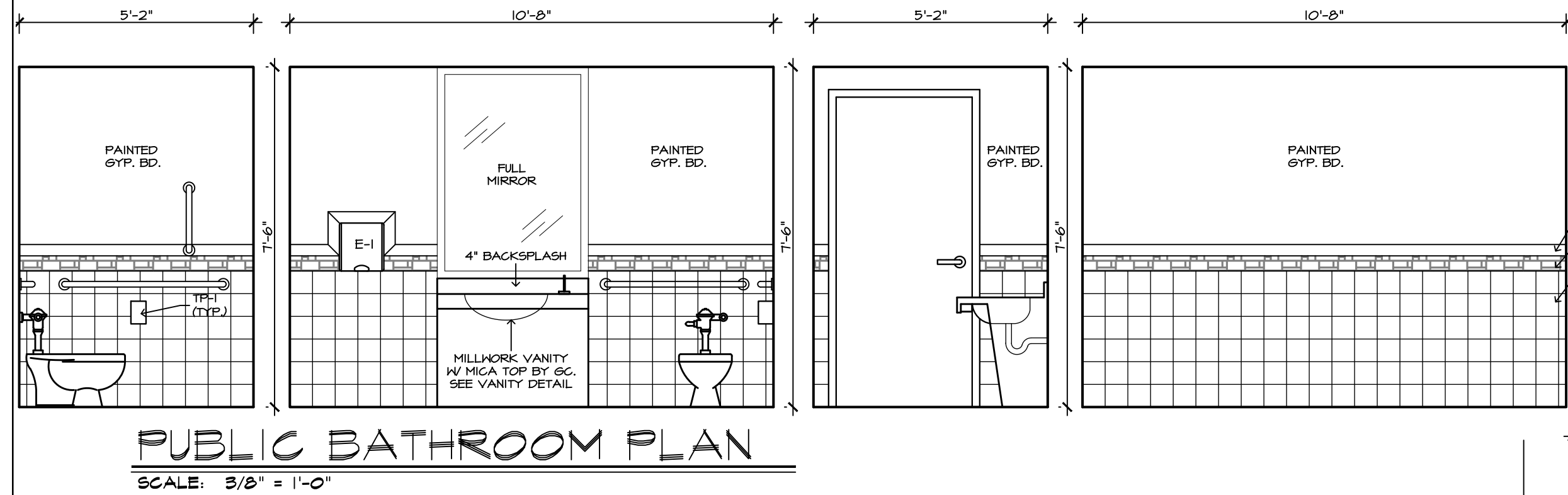
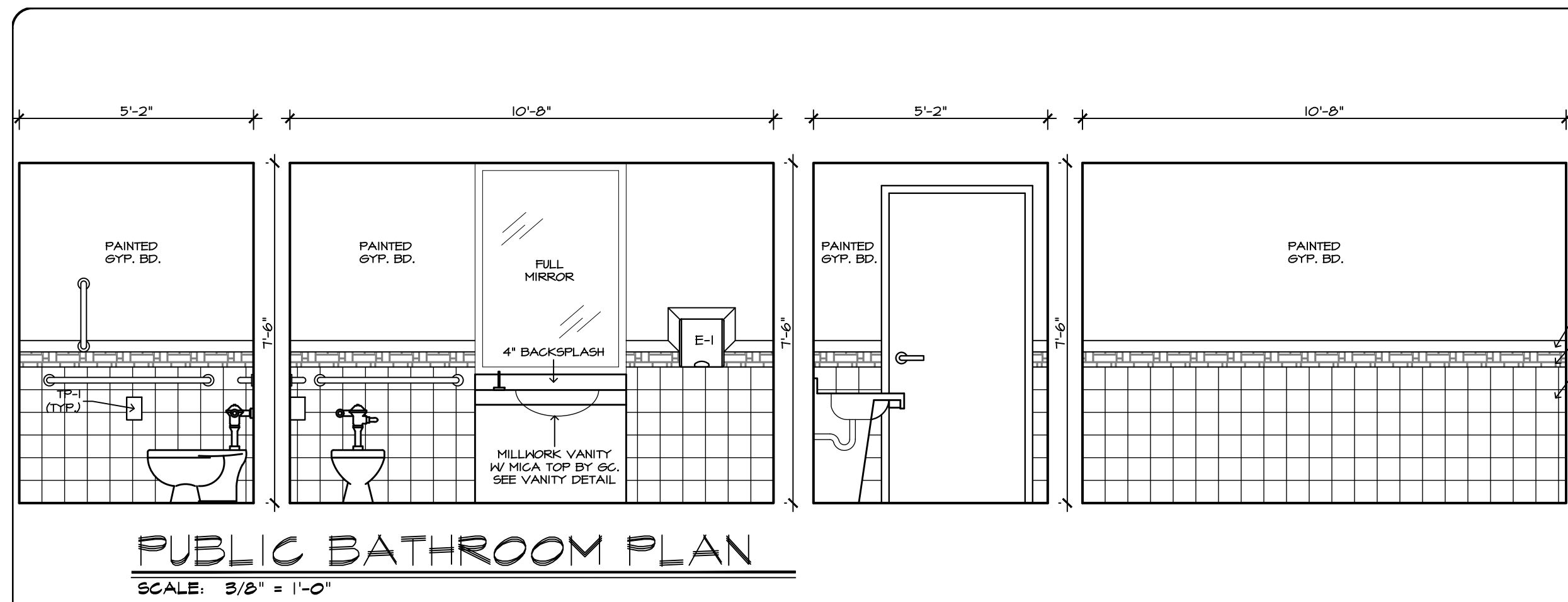
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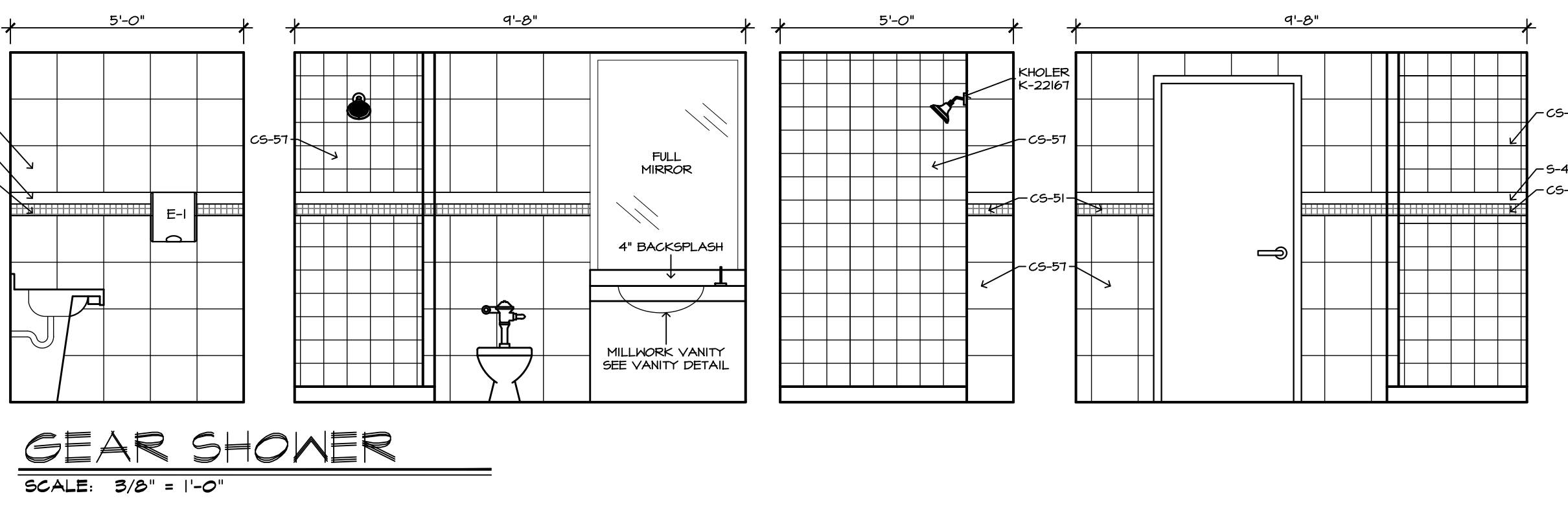
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2020-04

DRAWING#:

A-7.1



BATHROOM ACCESSORY/EQUIPMENT LEGEND				
REF.	MAKE	MODEL	COLOR/FINISH	NOTES
E-1 (ELEC. DRYER)	EXCEL	XLERATOR	XL-GR	FIELD COORDINATE LOCATION & MTS. HEIGHTS
H-C (GRAB BAR)	HARNEY	36" GRAB BAR	US-32D BRUSHED S.S.	FIELD COORDINATE LOCATION & MTS. HEIGHTS
GHT-1 (CHANGING TBL.)	KOALA KARE	KB100-01ST	CREAM	FIELD COORDINATE LOCATION & MTS. HEIGHTS
TP-1 (TP- DISP.)	ASI	200-30	S.S.	FIELD COORDINATE LOCATION & MTS. HEIGHTS
SD-1 (SOAP- DISP.)	ASI	0362	S.S.	FIELD COORDINATE LOCATION & MTS. HEIGHTS
GR-1 (CURTAIN ROD)	ASI	1204	S.S.	FIELD COORDINATE LOCATION & MTS. HEIGHTS
GR-1 (CURTAIN ROD)	ASI	1204	S.S.	FIELD COORDINATE LOCATION & MTS. HEIGHTS



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PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528

BATHROOM PLAN & ELEVATION

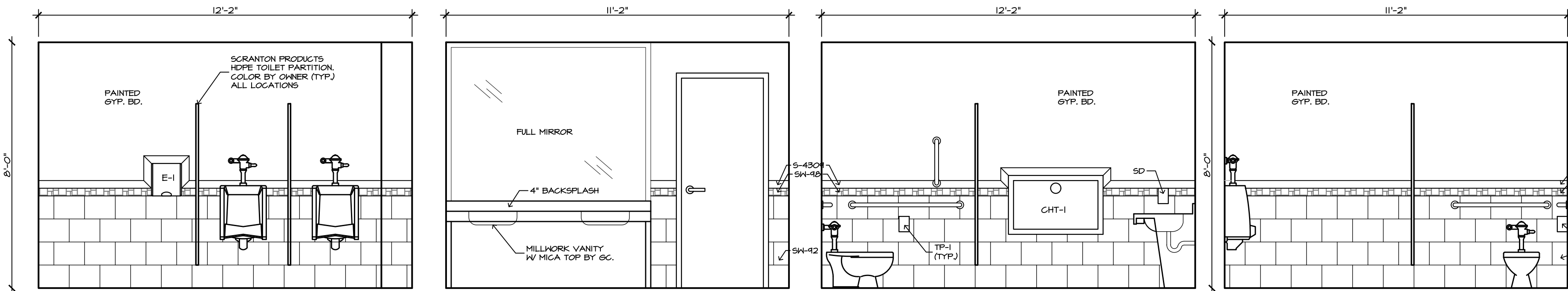
PROJECT #: 2020-04

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2020-04

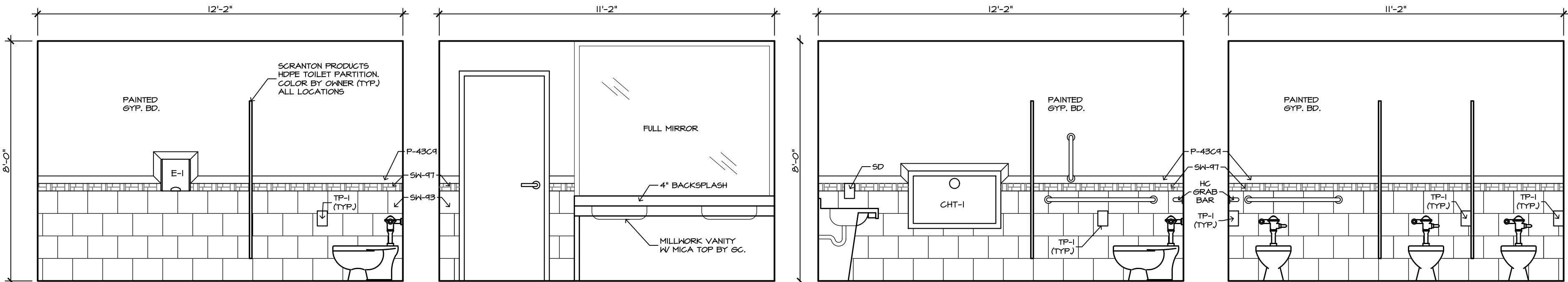
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A-7.2



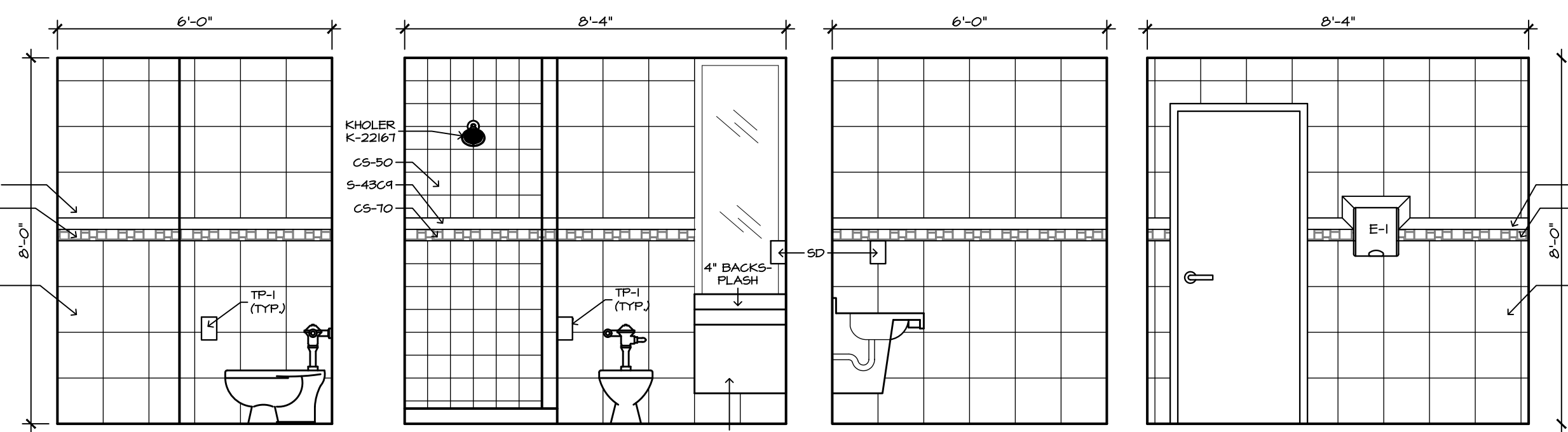
MEN'S BATHROOM PLAN

SCALE: 3/8" = 1'-0"



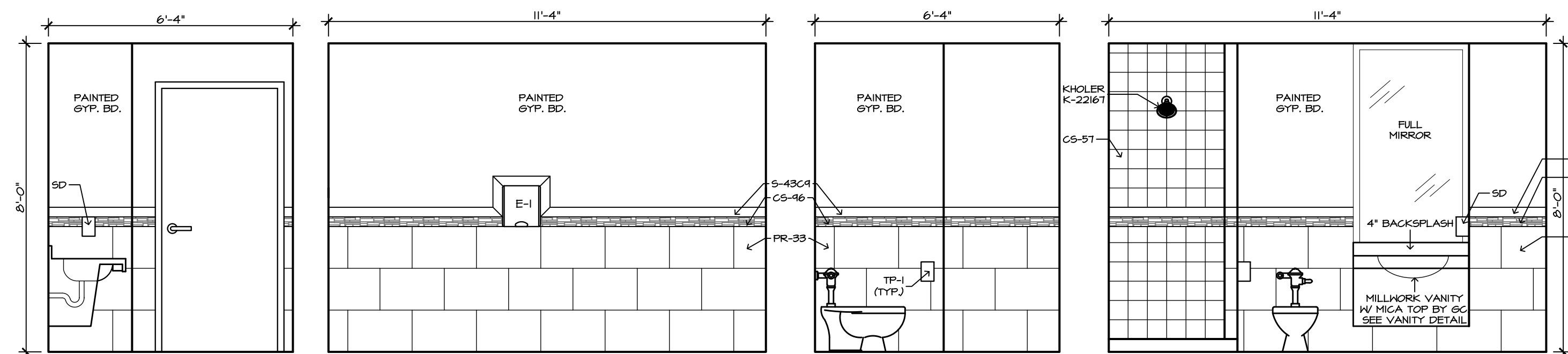
WOMEN'S BATHROOM PLAN

SCALE: 3/8" = 1'-0"



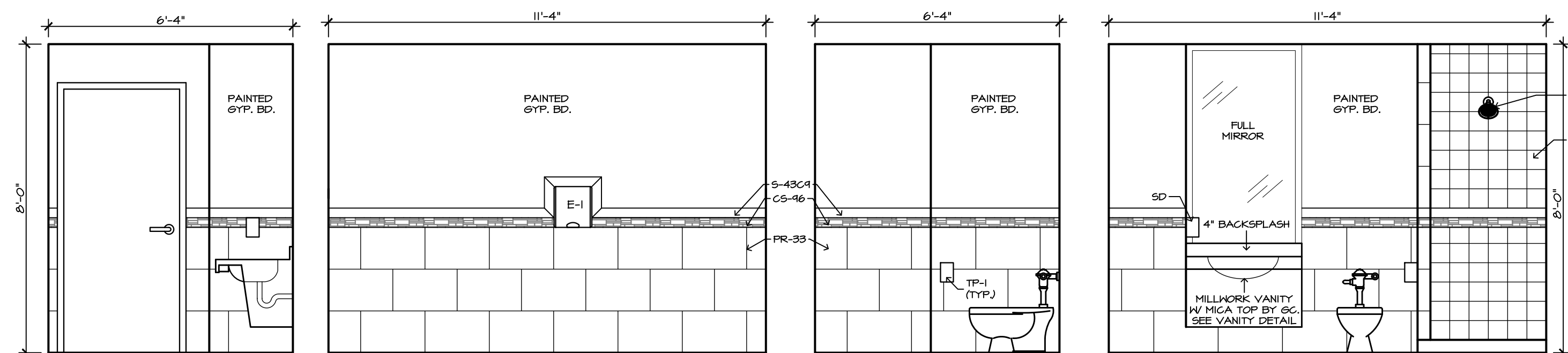
BUNK BATHROOM

SCALE: 3/8" = 1'-0"



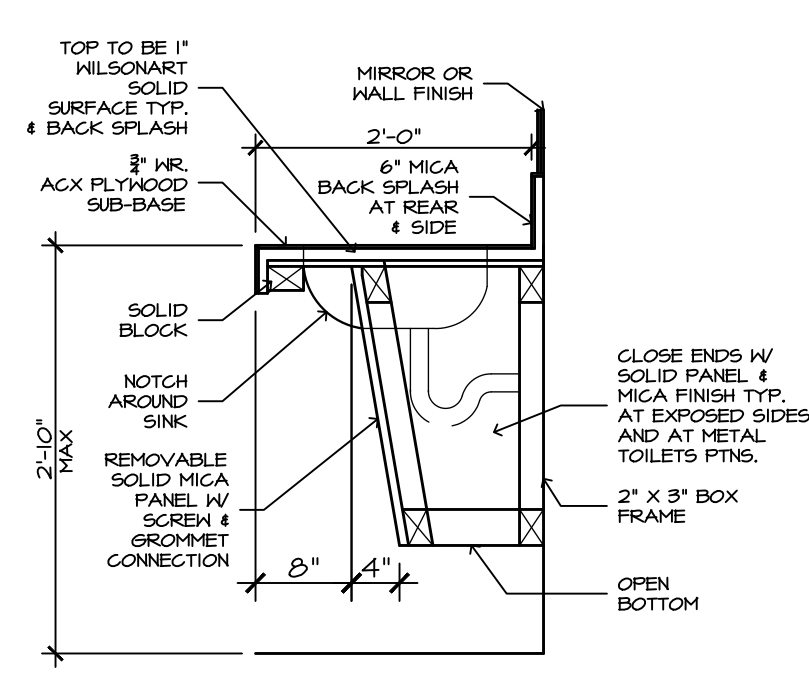
MEZZANINE BATHROOM

SCALE: 3/8" = 1'-0"



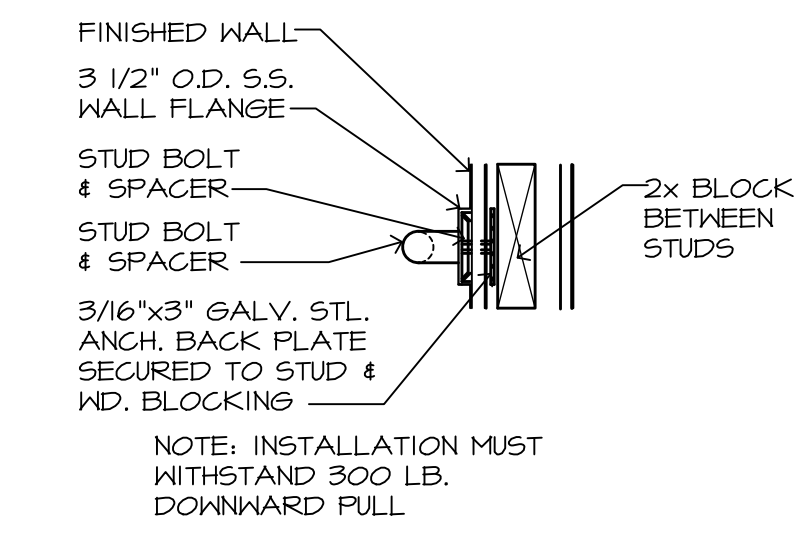
MEZZANINE BATHROOM

SCALE: 3/8" = 1'-0"



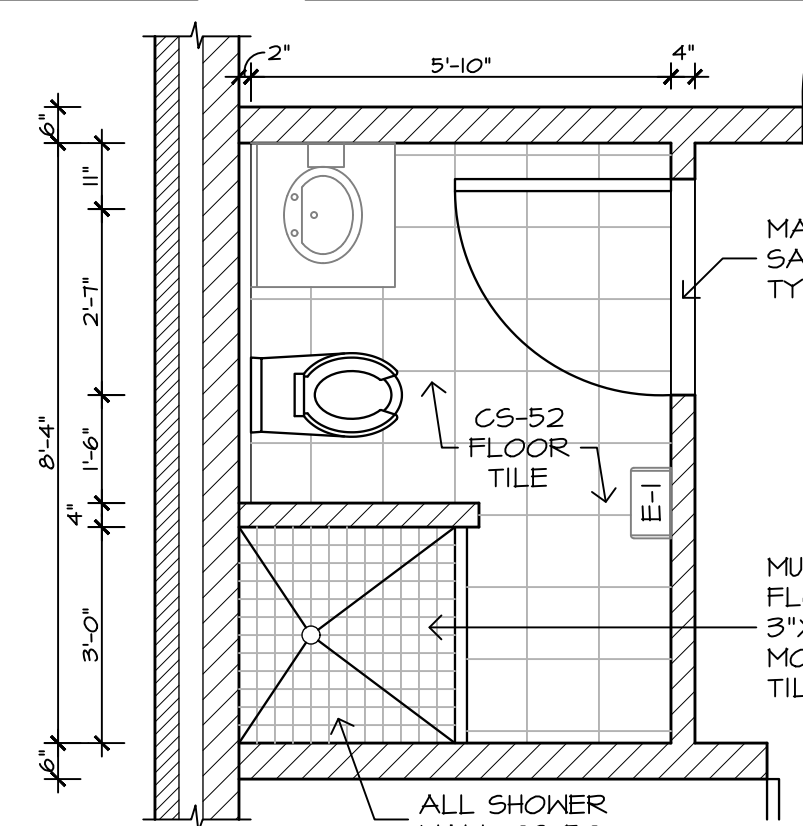
VANITY DETAIL

SCALE: 3/4" = 1'-0"



TYP. GRAB BAR ANCHOR

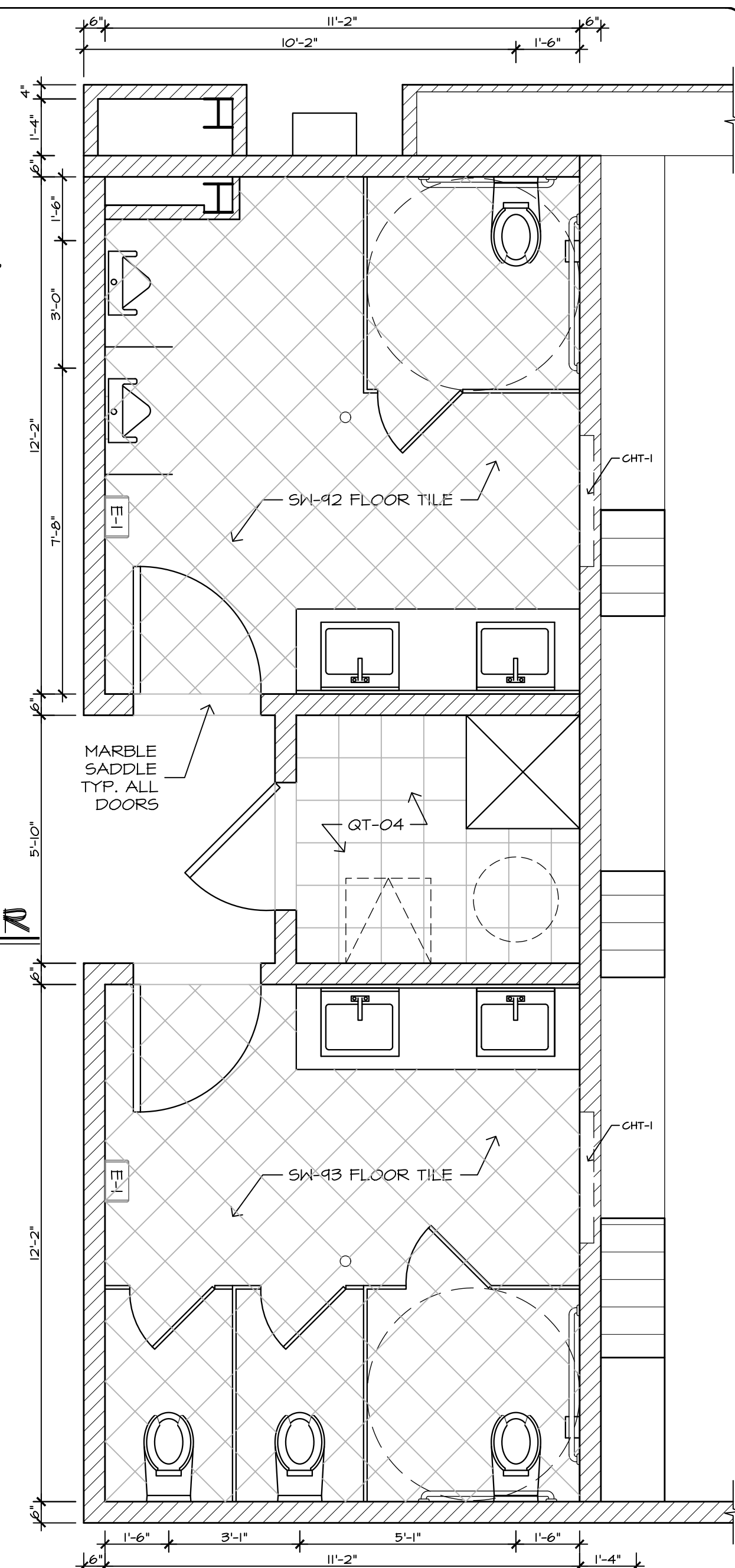
SCALE: 1-1/2" = 1'-0"



BUNK BATHROOM

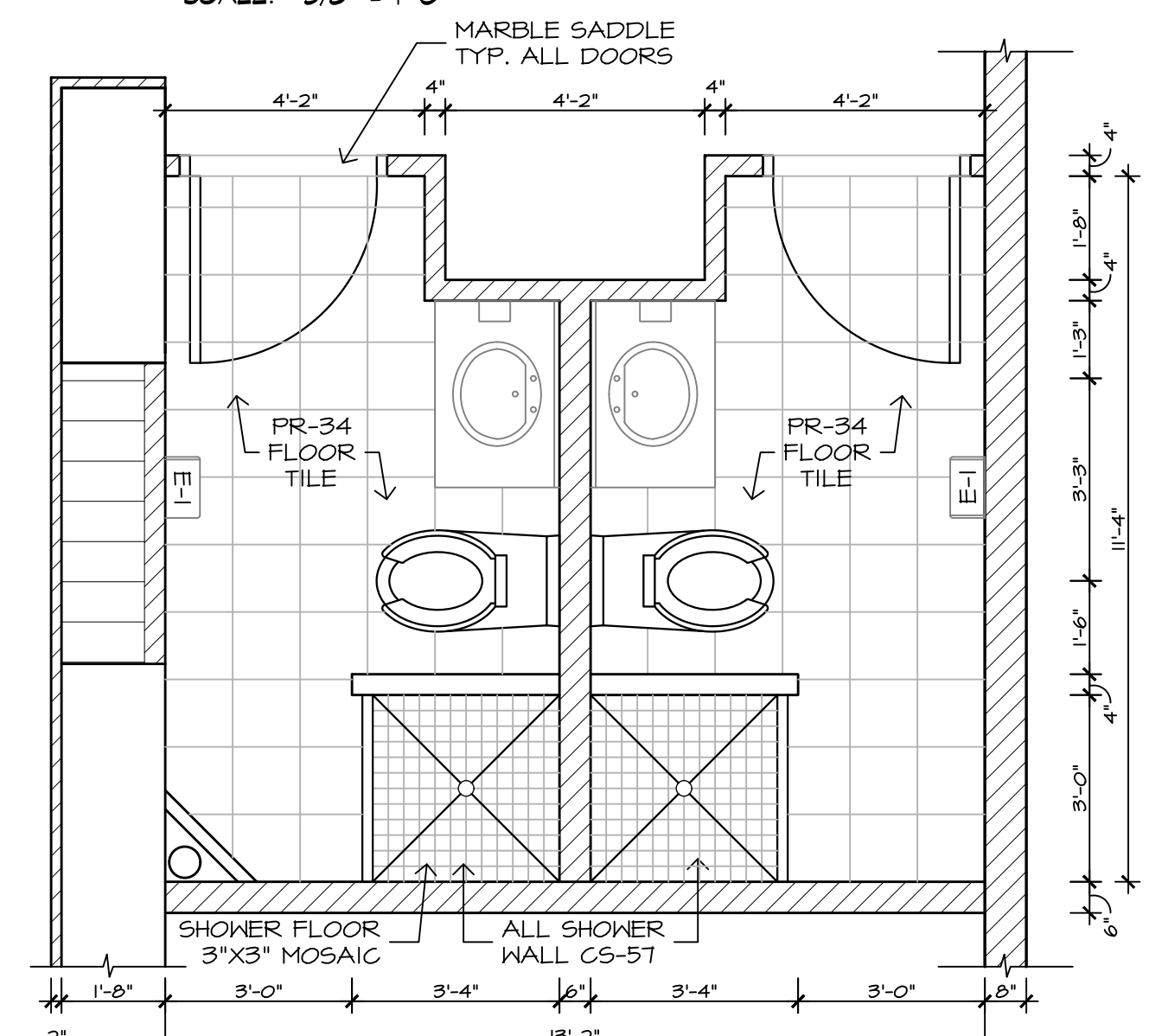
SCALE: 3/8" = 1'-0"

TILE SCHEDULE				
TILE REF.	SERIES	COLOR	SIZE	NOTES
CS-50	CONTINENTAL SLATE	EGYPTIAN BEIGE	12"x12" WALL 6"x6" WALL	
CS-51	CONTINENTAL SLATE	INDIAN RED	3"x3" MOSAIC	
CS-52	CONTINENTAL SLATE	BRAZILIAN GREEN	12"x12" FLOOR	
CS-53	CONTINENTAL SLATE	ASIAN BLACK	12"x12" FLOOR	
CS-54	CONTINENTAL SLATE	PERSIAN GOLD	6"x6" WALL	
CS-55	CONTINENTAL SLATE	MOROCCAN BROWN	12"x12" FLOOR	
CS-56	CONTINENTAL SLATE	TUSCAN BLUE	12"x12" WALL 3"x3" MOSAIC	
CS-57	CONTINENTAL SLATE	ENGLISH GREY	12"x12" WALL 6"x6" WALL 3"x3" MOSAIC	
CS-70	CONTINENTAL SLATE	EGYPTIAN BEIGE/INDIAN RED/ BRAZILIAN GREEN/ASIAN BLACK	4"x12" DECORATIVE BORDER	
CS-74	CONTINENTAL SLATE	PERSIAN GOLD/TUSCAN BLUE/ MOROCCAN BROWN	4"x12" DECORATIVE BORDER	
CS-75	CONTINENTAL SLATE	PERSIAN GOLD/TUSCAN BLUE/ENGLISH GREY	4"x12" DECORATIVE BORDER	
CS-46	CRYSTAL SHORES	EMERALD ISLE	MOSAIC	
EL-40	ELEVARE	LINAR	12"x18" WALL	
EL-43	ELEVARE	ELEMENT	12"x18" WALL	
PR-33	PORADA	SUBTLE GREY	13"x13" WALL	
PR-34	PORADA	DEEP GREY	13"x13" FLOOR	
QT-04	QUARRY TEXTURE	ASHEN FLASH	6"x6" FLOOR	*
SH-42	SANDALO	CASTILLIAN GRAY	12"x12" WALL 6"x6" FLOOR	1
SH-43	SANDALO	RAFFIA NOCE	12"x12" WALL 6"x6" FLOOR	1
SH-48	SANDALO	ZIRCON BLEND	3"x12" MOSAIC	
SH-47	SANDALO	SMOKY TOPAZ BLEND	3"x12" MOSAIC	
SA-56	FASHION ACCENTS	SLATE RADIANCE SADDLE	WALL	
S-43C4	CONTINENTAL SLATE	HALL BALLNOSE	3"x12" TRIM	
S-43C4	SANDALO	HALL BALLNOSE	3"x14" TRIM	



PUBLIC BATHROOM PLAN

SCALE: 3/8" = 1'-0"



MEZZANINE BATHROOM PLAN

SCALE: 3/8" = 1'-0"

DATE: ISSUE

04-01-21
ISSUED FOR BIDDING

SEAL:

SENDEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
(631) 727-5352
9 SELENA COURT
WALDEN, NY 12586
(845) 275-8859

HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528

PROJECT #: 2020-04

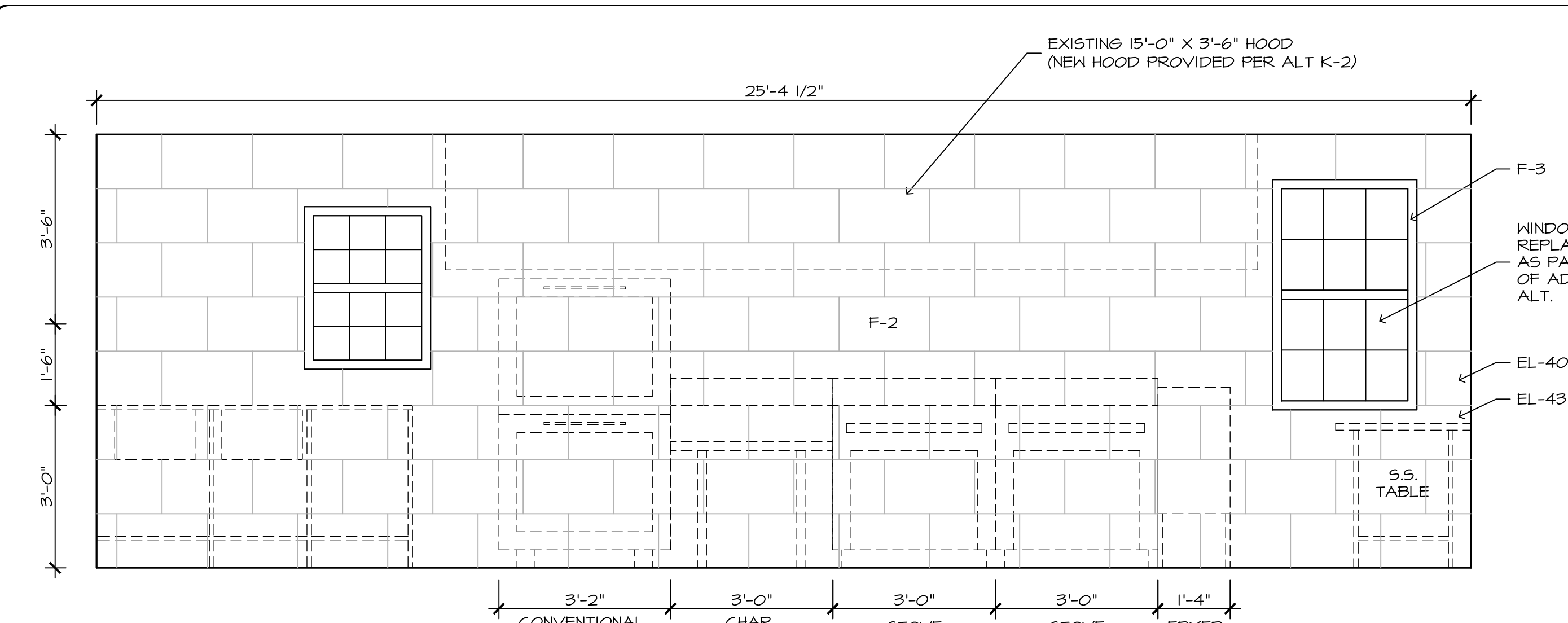
DRAWN BY: SEND. ARCH.

CAD FILE: P/2020/HFD
2020-04

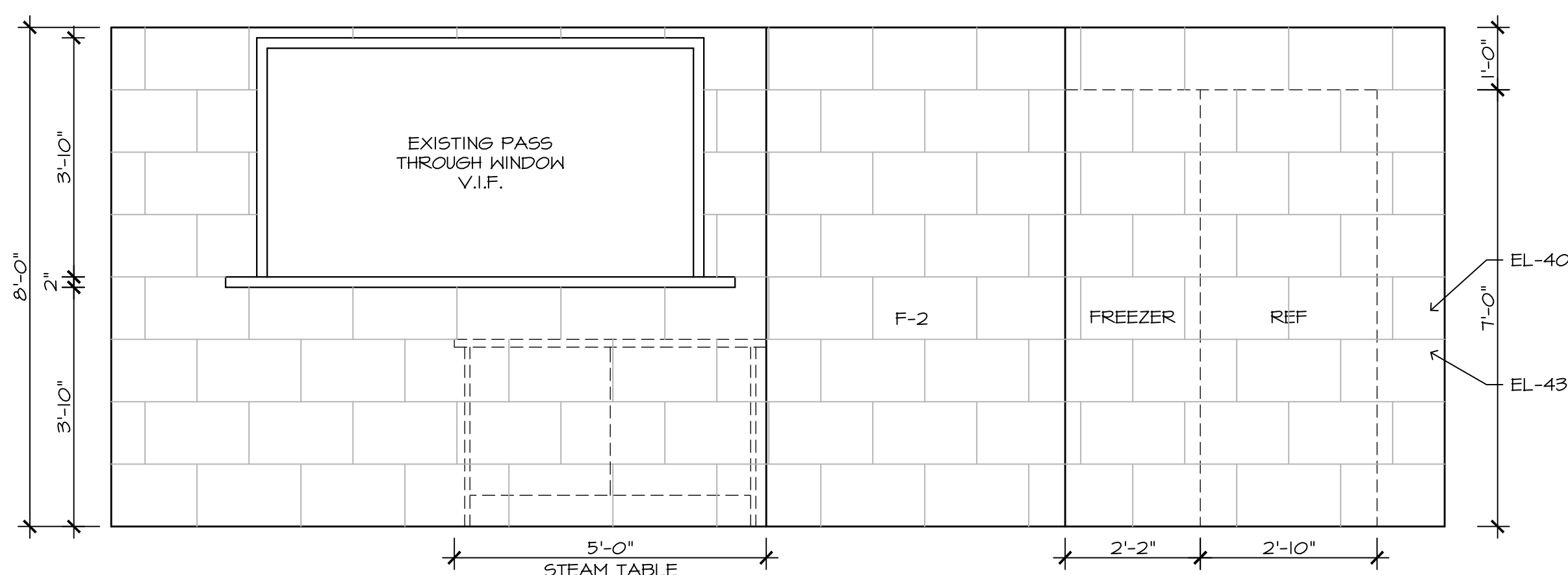
DRAWING#:

A-7.3

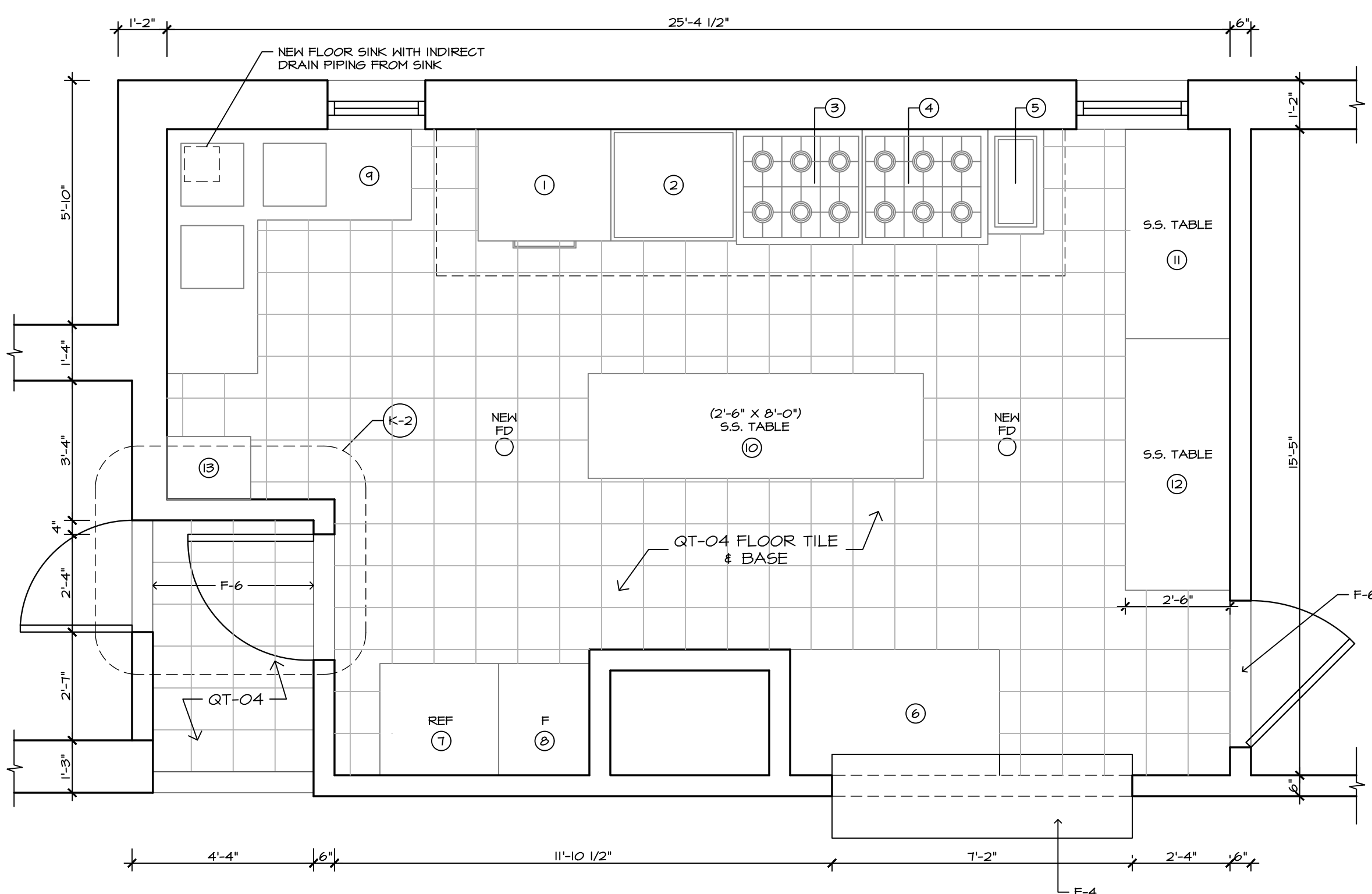
BATHROOM PLAN & ELEVATION



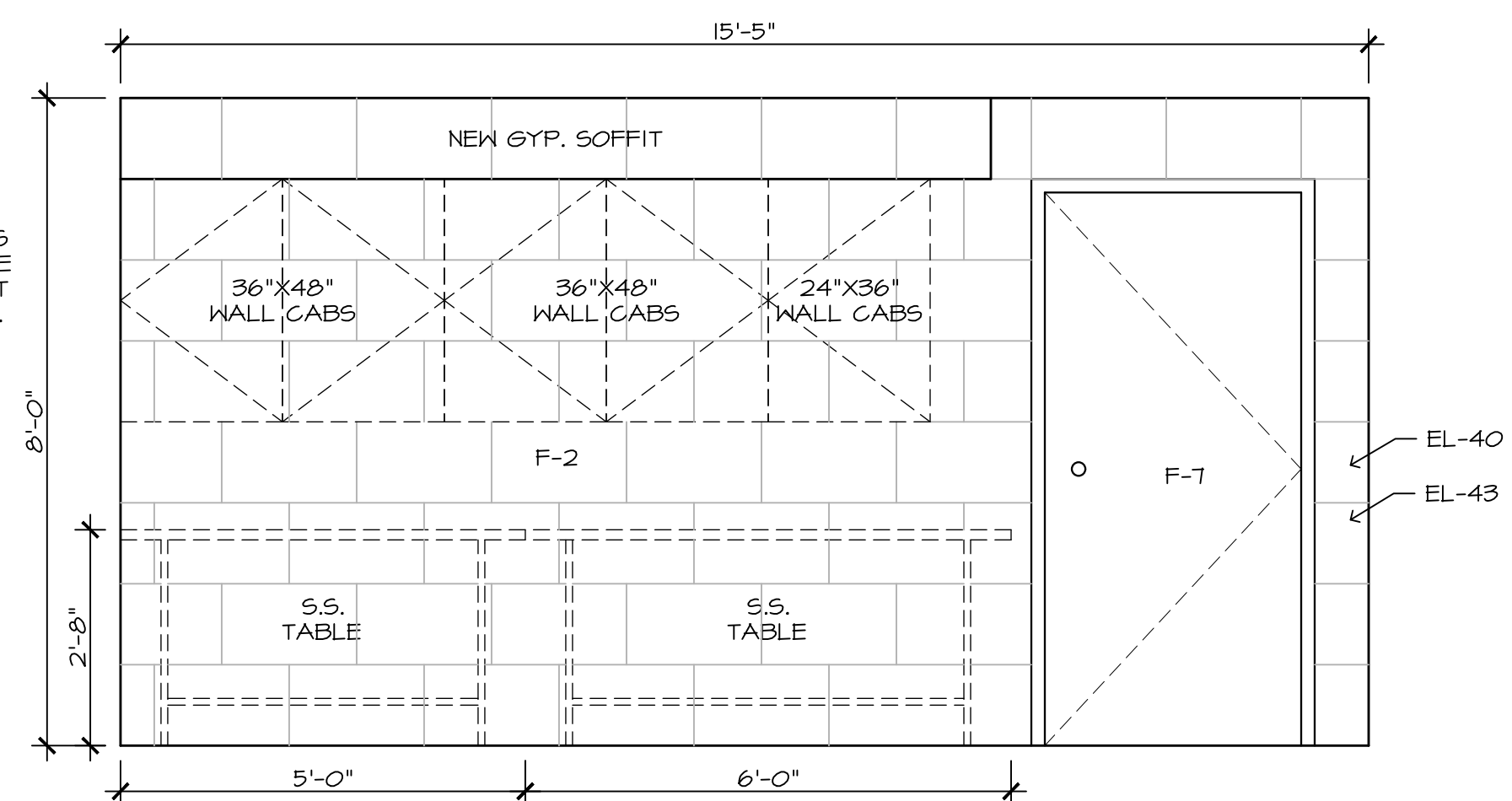
NORTH ELEVATION
SCALE: 1/2" = 1'-0"



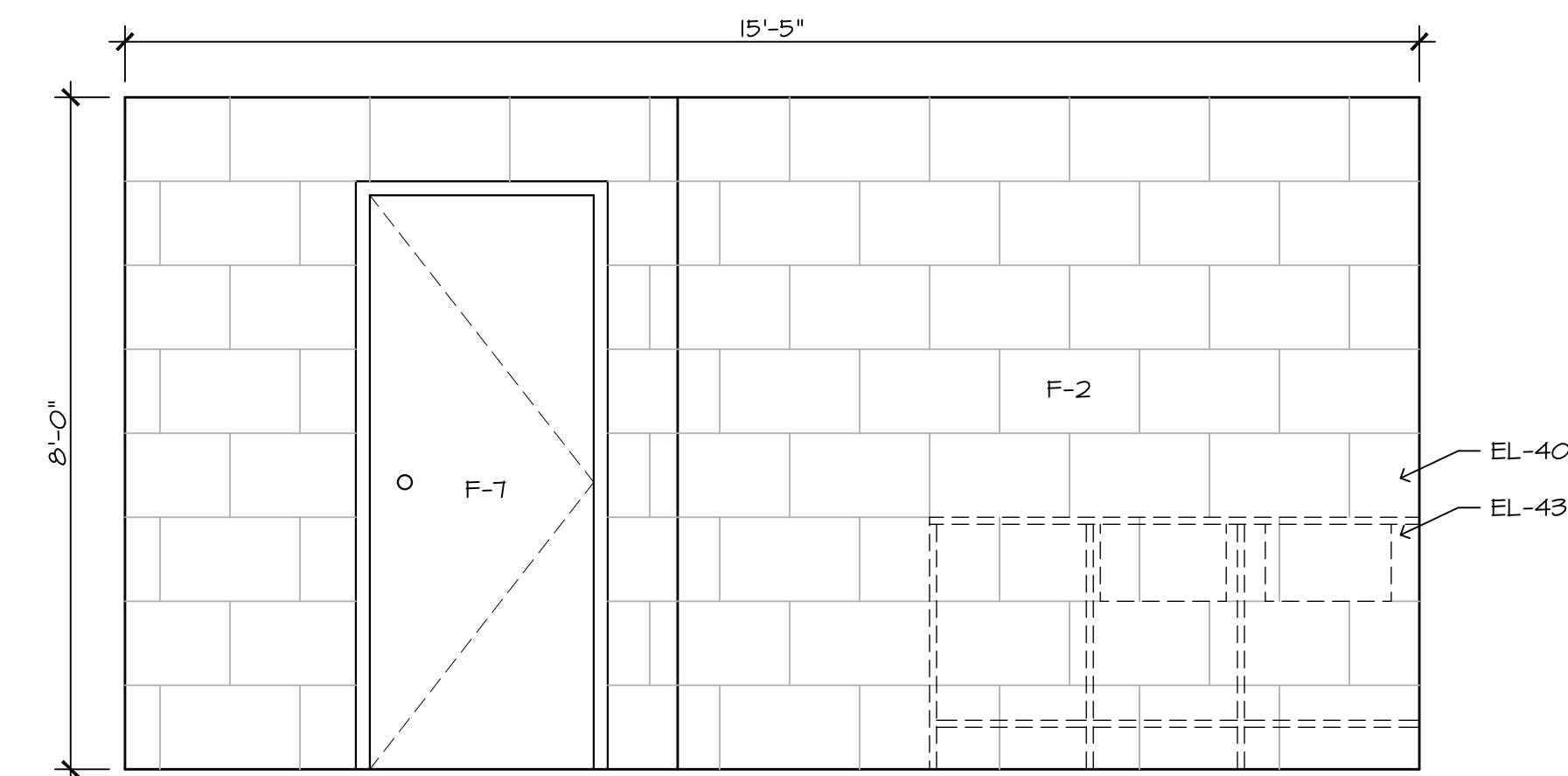
SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



SECOND FLOOR KITCHEN PLAN
SCALE: 3/8" = 1'-0"



EAST ELEVATION
SCALE: 1/2" = 1'-0"



WEST ELEVATION
SCALE: 1/2" = 1'-0"

LEGENDS

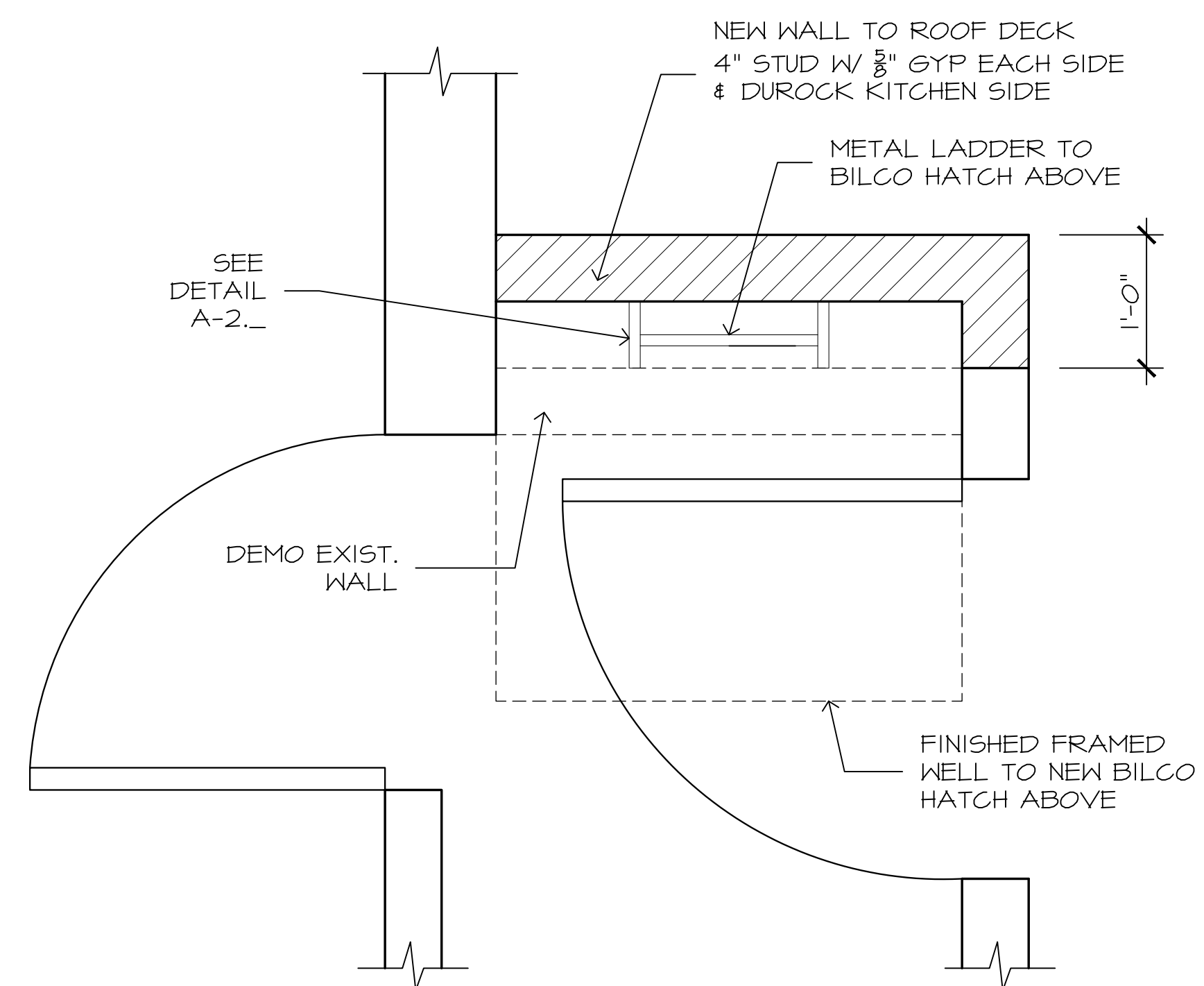
○ FD REPLACE EXISTING FLOOR DRAIN

FINISHES

- F-1 EXISTING FLOOR TILE TO BE REMOVE, FLOOR TO BE PREP. FOR NEW FLOOR TILE
- F-2 REMOVE EXISTING GYP WALL FINISH AND RE-PLACE WITH NEW DUROCK BOARD WITH NEW TILE FINISH.
- F-3 TILE RETURN FINISHED AT WINDOWS TYPICAL
- F-4 REPLACE EXISTING COUNTER AT PASS THRU WINDOW WITH NEW QUARTZ TOP TYPICAL EXISTING. ROLL DOWN SHUTTER TO REMAIN
- F-5 EXISTING CEILING FINISH TO REMAIN PAINTED SEE DWG A-8.3) - REMOVE & REPLACE IN ITS ENTIRETIES AS PART OF ALTERNATE K-2
- F-6 MARBLE THRESHOLD
- F-7 EXISTING DOOR & FRAME TO BE REPAINTED

EQUIPMENT SCHEDULE			
EQ. NO.	QUANTITY	DESCRIPTION	NOTES
①	1	EXISTING CONVENTIONAL OVEN	REMOVE & RE-INSTALL
②	1	NEW VULCAN VCRB CHAR BROILER	SUPPLY & INSTALL INCLUDING ADVANCE TABCO ES-303 TABLE BELOW
③	1	VULCAN V60-1 GAS, 10 BURNER DOUBLE OVEN STOVE	SUPPLY & INSTALL
④	1	VULCAN 36-RB SALAMANDER	SUPPLY & INSTALL
⑤	1	NEW FRY-MASTER GF-14 DOUBLE	SUPPLY & INSTALL
⑥	1	EXISTING STEAM TABLE	SUPPLY & INSTALL
⑦	1	EXISTING REFRIGERATOR	SUPPLY & INSTALL
⑧	1	EXISTING FREEZER	SUPPLY & INSTALL
⑨	1	EXISTING S.S. TRIPLE SINK	PROVIDE NEW FAUCET SET (BY PLUMBER)
⑩	1	EXISTING S.S. TABLE (2'-6" X 8'-0")	SUPPLY & INSTALL
⑪	1	EXISTING S.S. TABLE (2'-6" X 5'-0")	SUPPLY & INSTALL
⑫	1	EXISTING S.S. TABLE (2'-6" X 6'-0")	SUPPLY & INSTALL
⑬	1	NEW ICE-O-MATIC HISUO90FA	SUPPLY & INSTALL

GENERAL CONTRACTOR SHALL REMOVE EXISTING EQUIPMENT TO ALLOW FOR NEW WORK AND RE-INSTALL UPON COMPLETION. DIS-CONNECT AND RE-CONNECT TO BE BY OTHERS



ADD. ALT. K-2
SCALE: 1/2" = 1'-0"
(THIS ALTERNATE WORK IS TO BE BID AS PART OF ALTERNATE K-2 FOR HOOD REPLACEMENT)

DATE: ISSUE

04-01-21
ISSUED FOR BIDDING

SEAL:

SENDEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
(631) 727-5352
9 SELENA COURT
WALDEN, NY 12586
(845) 275-8859

HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528
ADD ALTERNATE KITCHEN PLAN

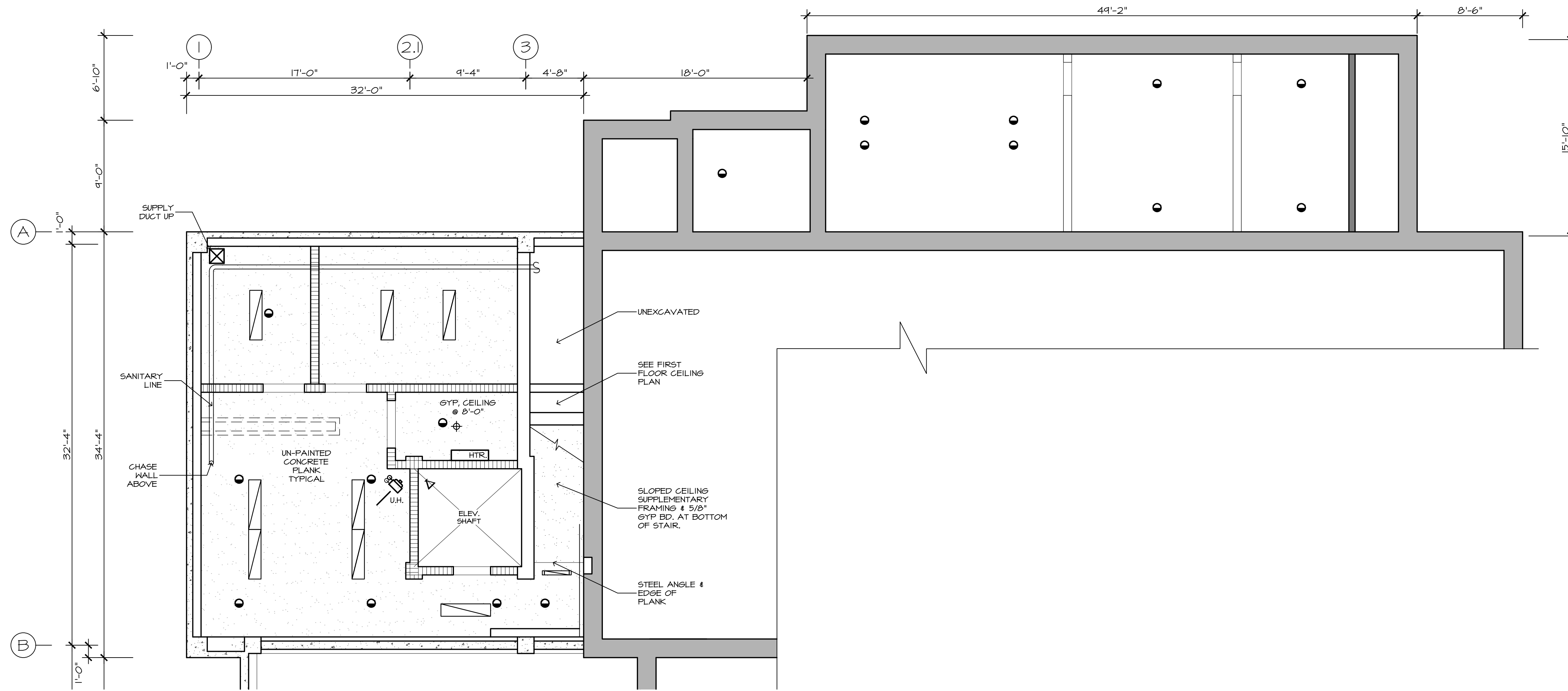
PROJECT #: 2020-04

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2020-04

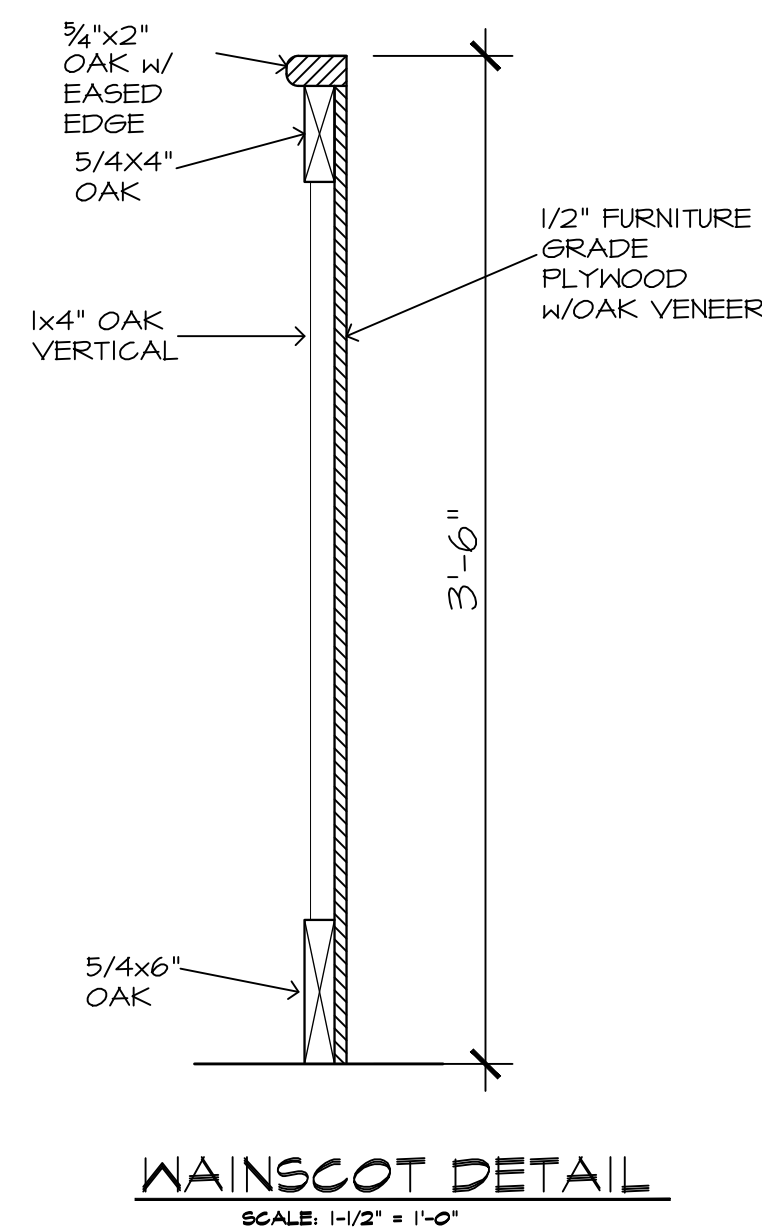
DRAWING#:

A-7.4



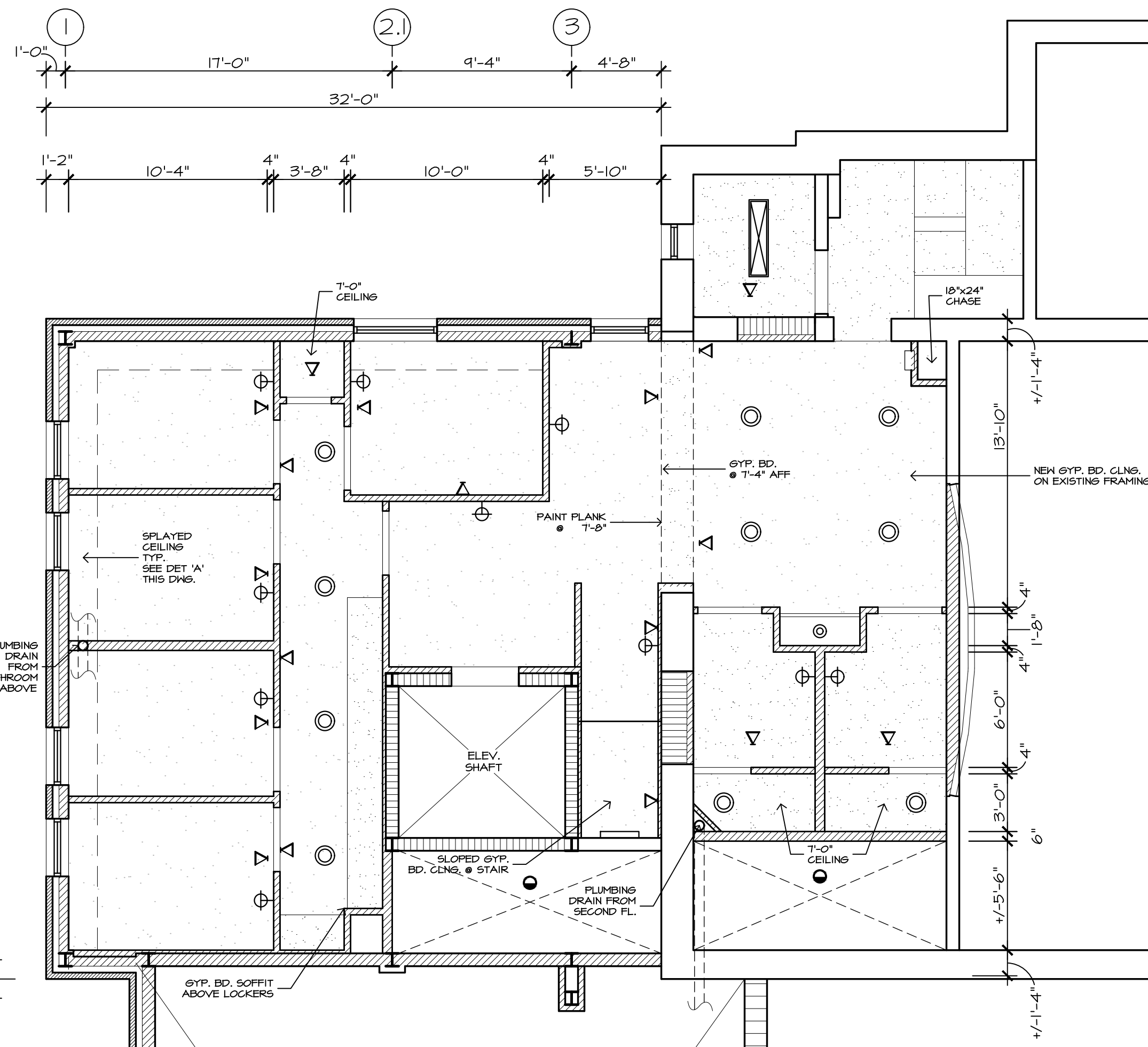
BASEMENT CEILING PLAN
SCALE: 3/16" = 1'-0"
2365 S.F.

NOTE:
1. REFER TO MECHANICAL, PLUMBING, FIRE SPRINKLER & ELECTRICAL DRAWINGS AND COORDINATE ANY AND ALL DEVICES INCLUDING EXPOSED AND RECESSED WITH EACH TRADE.



WAINSCOT DETAIL
SCALE: 1/2" = 1'-0"

- NOTES:**
1. ALL CR & WAINSCOT TO RECEIVE STAIN FINISH (COLOR SELECTED BY OWNER).
 2. GC SHALL COORDINATE CR & WAINSCOT INSTALLS WITH SWITCH & WALL DEVICE LOCATIONS BY ALL OTHER TRADES.

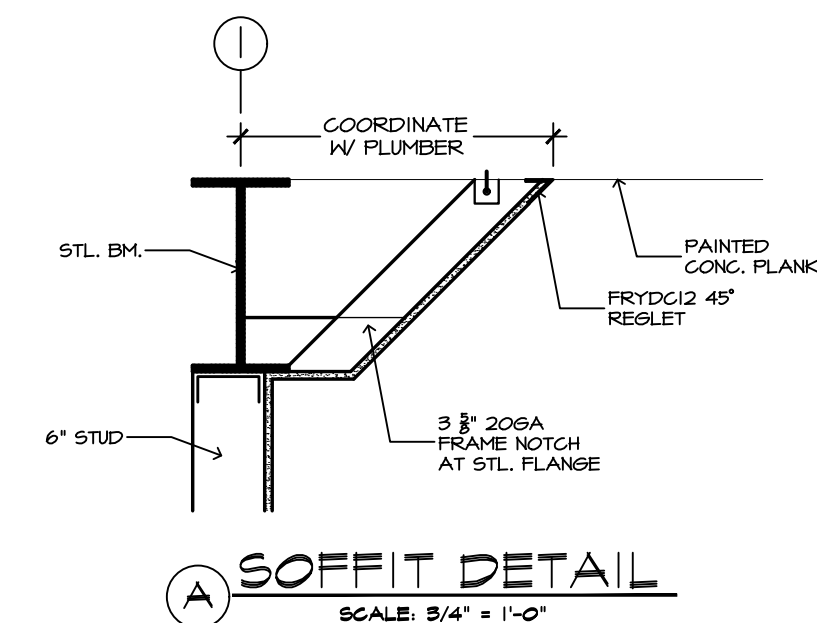


MEZZANINE CEILING PLAN
SCALE: 3/16" = 1'-0"
2365 S.F.

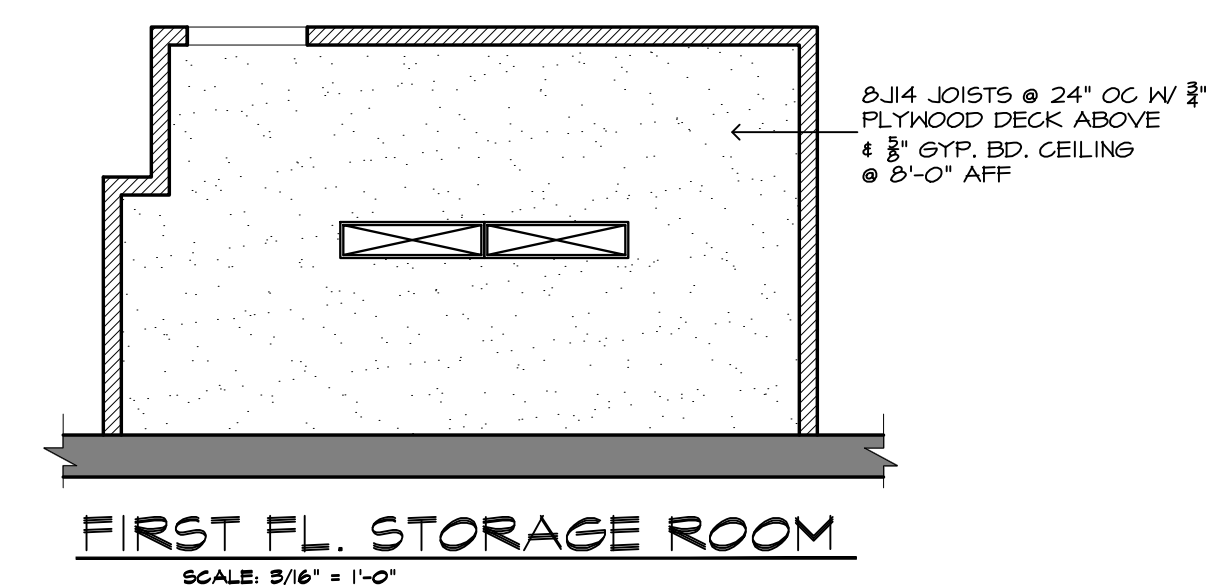
CEILING LEGEND:

- 1'-0" x 4'-0" LED SURFACE LIGHT
- 2'-0" x 4'-0" LED FIXTURE
- 2'-0" x 2'-0" LED FIXTURE
- LED RECESSED HI-HAT
- WATER-RESISTANT LED HI-HAT @ SHOWER ALCOVE
- CALL LIGHT w/ SPEAKER
- MINI LED HI-HAT DIRECTIONAL ACCENT LIGHT
- SURFACE MTD. WALL LIGHT ABOVE VANITY/MIRROR
- DECORATIVE PENDANT MTD. LED LIGHT FIXTURE
- 1x4' LED WALL FIXTURE
- LED READING LIGHT w/ CHARGING PLUG @ BED, 42" AFF
- SURFACE MTD. DECORATIVE LED EXTERIOR FIXTURE
- DECORATIVE PENDANT FIXTURE
- DECORATIVE WALL SCENCE
- SURFACE MTD. LIGHT, 12" DIA.
- HVAC SUPPLY
- HVAC RETURN
- EXHAUST FAN
- FIRE SPRINKLER HEAD
- FIRE SPRINKLER SIDE/WALL HEAD
- CLNG. FAN
- CURTAIN ROD (TYP. ALL SHOWER LOCATIONS)
- GYP. BD. SOFFIT AREAS @ 7'-0" AFF
- HATCH DEPICTS PAINTED GYP. BD. CLNG. FINISH (TYP.)

- NOTES:**
1. GC SHALL COORDINATE ALL REFLECTED CEILING WORK WITH THE WORK OF ALL OTHER TRADES.
 2. GC SHALL BE RESPONSIBLE FOR THE FULL & COMPLETE INSTALLATION/MAINTENANCE OF ALL LAY-IN CEILING/TILES. ANY LOCATIONS THAT REQUIRE REMOVAL AFTER INSTALL FOR OTHER TRADES CEILING WORK SHALL BE COORDINATED & STORED BY THE GC.
 3. ALL AREAS NOT SHOWN TO RECEIVE LAY-IN SUSPENDED CEILING SHALL GET PAINT FINISH TYPICAL.
 4. REFER TO ROOM FINISH SCHEDULE FOR COORDINATED HEIGHTS OF ALL FINISHED CEILING



A SOFFIT DETAIL
SCALE: 3/4" = 1'-0"



FIRST FL. STORAGE ROOM
SCALE: 3/16" = 1'-0"

DATE: ISSUE
04-01-21
ISSUED FOR BIDDING

SEAL:

SENDEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
(631) 727-5352
9 SELENA COURT
WALDEN, NY 12586
(845) 275-8859

HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528
BASEMENT & MEZZANINE
FLOOR PLAN

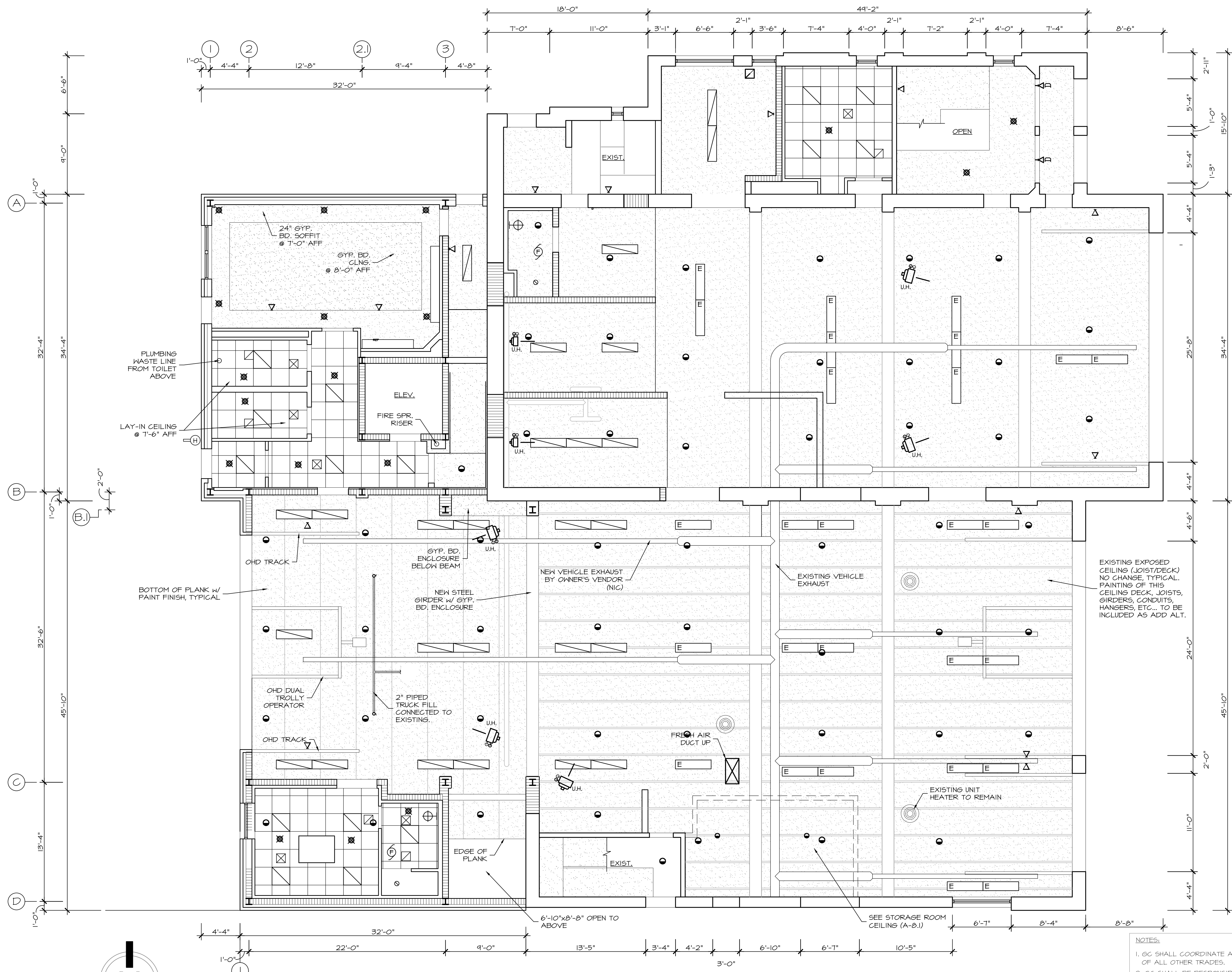
PROJECT #: 2020-04

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CAD FILE: P/2020/HFD
2020-04

DRAWING#:

A-8.1



1 FIRST FLOOR CEILING PLAN
SCALE: 3/16" = 1'-0"

EXISTING: 6,450 S.F.
ADDITION: 2,346 S.F.
8,796 S.F.

- NOTES:
- GC SHALL COORDINATE ALL REFLECTED CEILING WORK WITH THE WORK OF ALL OTHER TRADES.
 - GC SHALL BE RESPONSIBLE FOR THE FULL & COMPLETE INSTALLATION/MAINTENANCE OF ALL LAY-IN CEILINGS/TILES. ANY LOCATIONS THAT REQUIRE REMOVAL AFTER INSTALL FOR OTHER TRADES CEILING WORK SHALL BE COORDINATED & STORED BY THE GC.
 - ALL AREAS NOT SHOWN TO RECEIVE LAY-IN SUSPENDED CEILING SHALL GET PAINT FINISH TYPICAL.
 - REFER TO ROOM FINISH SCHEDULE FOR COORDINATED HEIGHTS OF ALL FINISHED CEILINGS.

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(845) 275-8859

HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528
FIRST FLOOR CEILING PLAN

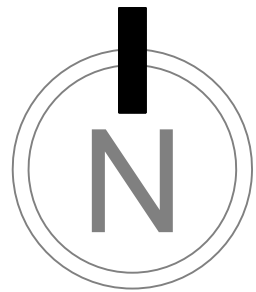
PROJECT #: 2020-04

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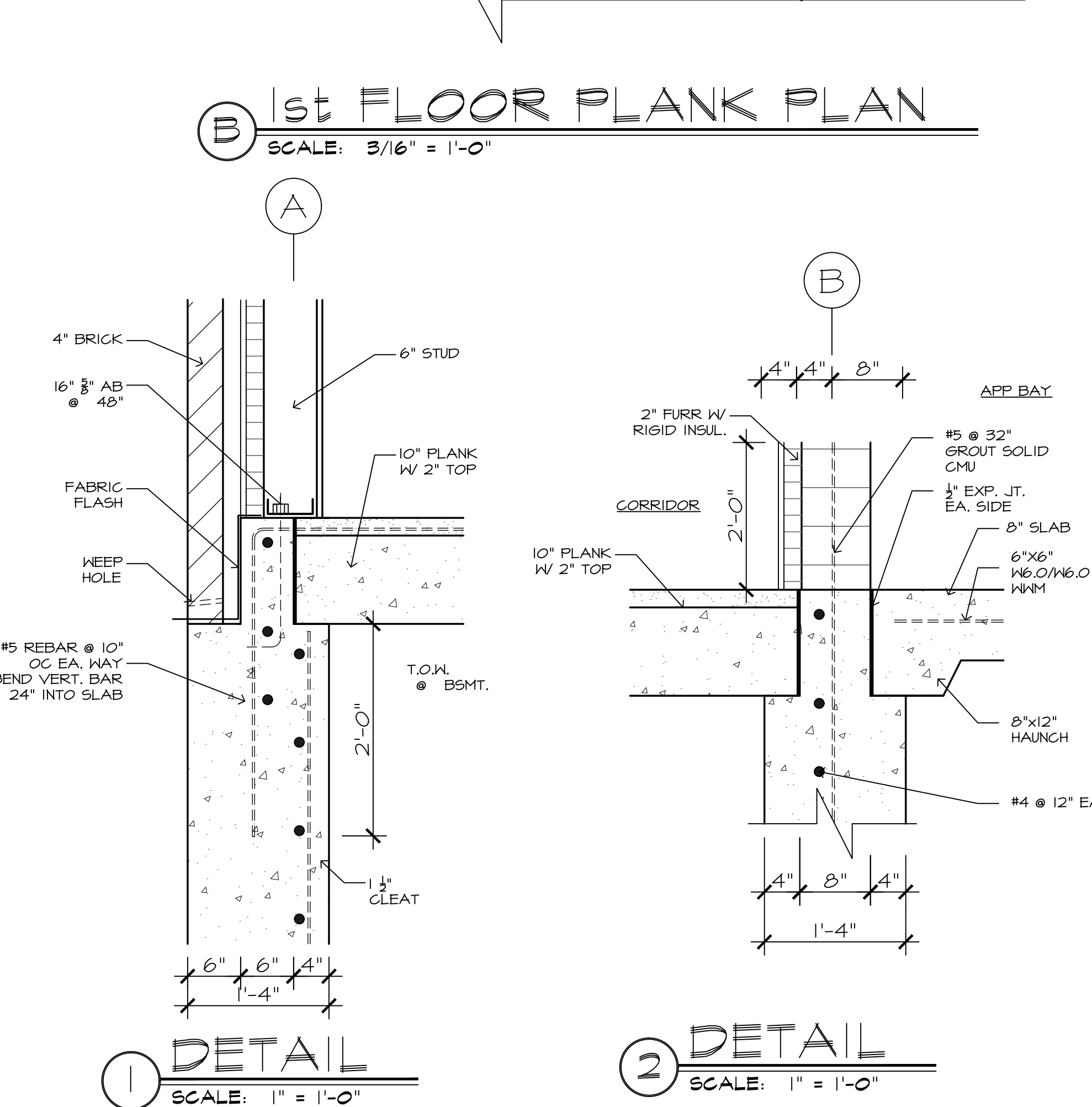
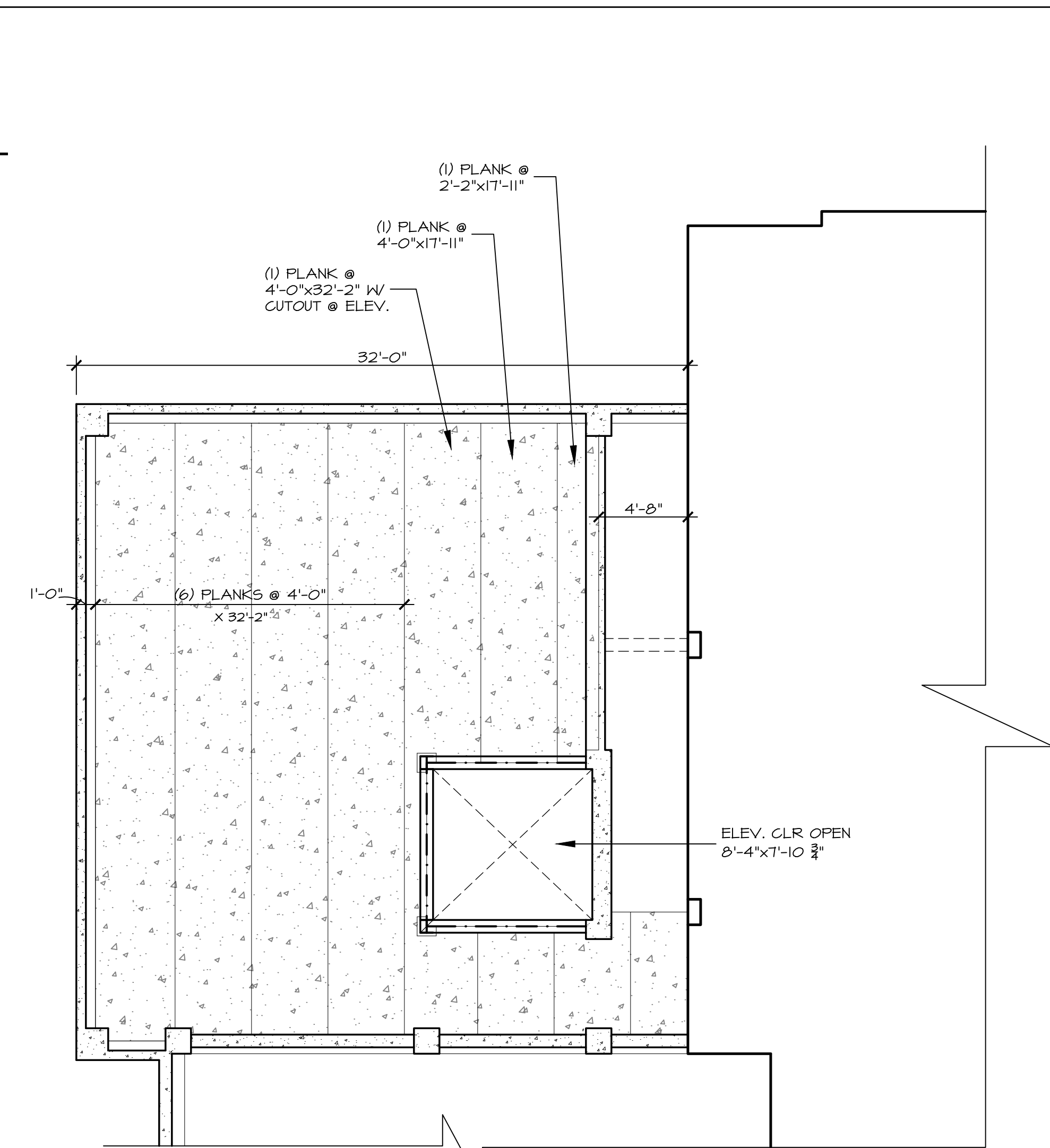
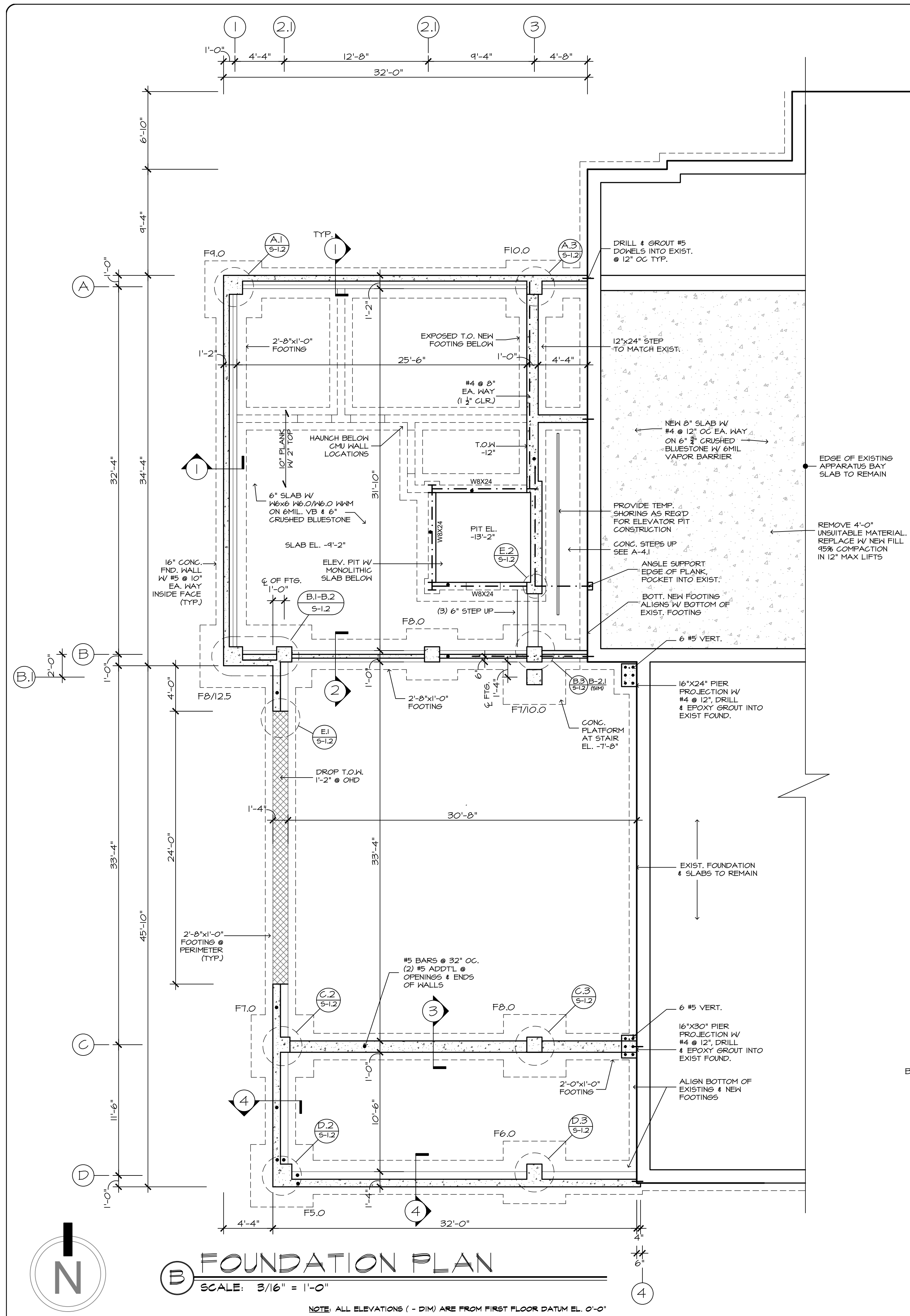
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A-8.2



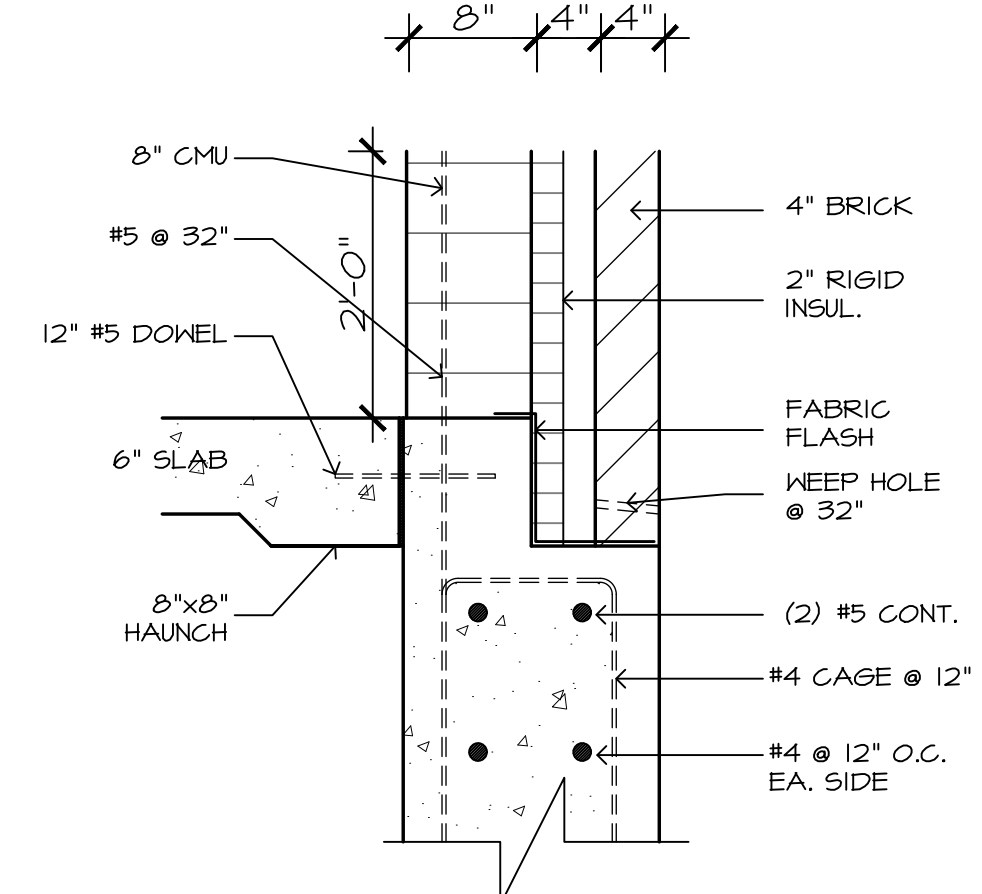
- NOTES:
1. GC SHALL COORDINATE ALL REFLECTED CEILING WORK WITH THE WORK OF ALL OTHER TRADES.
 2. GC SHALL BE RESPONSIBLE FOR THE FULL & COMPLETE INSTALLATION/MAINTENANCE OF ALL LAY-IN CEILINGS/TILES. ANY LOCATIONS THAT REQUIRE REMOVAL AFTER INSTALL FOR OTHER TRADES CEILING WORK SHALL BE COORDINATED & STORED BY THE GC.
 3. ALL AREAS NOT SHOWN TO RECEIVE LAY-IN SUSPENDED CEILING SHALL GET PAINT FINISH TYPICAL.
 4. REFER TO ROOM FINISH SCHEDULE FOR COORDINATED HEIGHTS OF ALL FINISHED CEILINGS.

A-8.3



FOOTING SCHEDULE				
MARK	SIZE	REINFORCEMENT		
		SHORT WAY	LONG WAY	
F5.0	5'-0" X 5'-0" X 1'-2"	6-#6	6-#6	
F6.0	6'-0" X 6'-0" X 1'-4"	8-#7	8-#7	
F7.0	7'-0" X 7'-0" X 1'-6"	10-#7	10-#7	
F8.0	8'-0" X 8'-0" X 1'-10"	12-#9	12-#9	
F9.0	9'-0" X 9'-0" X 2'-0"	14-#9	14-#9	
F10.0	10'-0" X 10'-0" X 2'-0"	16-#9	16-#9	
F7/10.0	10'-0" X 7'-0" X 1'-6"	14-#7	10-#7	
F8/12.5	12'-6" X 8'-0" X 1'-6"	14-#9	9-#9	

- SLAB NOTES:
- APPARATUS SLABS TO BE 10' 5000 PSI W/ #5 REBAR EACH WAY @ 8" OC. 12"x12" HAUNCH TO BE AT EDGE OF ALL SLAB AREAS AT CONSTRUCTION JOINTS W/ (4) #5 CONT. & #3 TIES @ 12" OC. SLABS TO BE ON 6 MIL VAPOR BARRIER & 6" OF 3/4" CRUSHED BLUESTONE FULLY COMPACTED.
 - SLABS AT NON-APPARATUS AREAS TO BE 6' 4000 PSI W/ 6x6 W6.0/W6.0 W/W ON 6 MIL VAPOR BARRIER & 4" OF 3/4" CRUSHED BLUESTONE FULLY COMPACTED.
 - ALL FOUNDATION WALLS GET ROLL-ON DAMP-PROOFING @ EXTERIOR FACE FULL HT.



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HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528

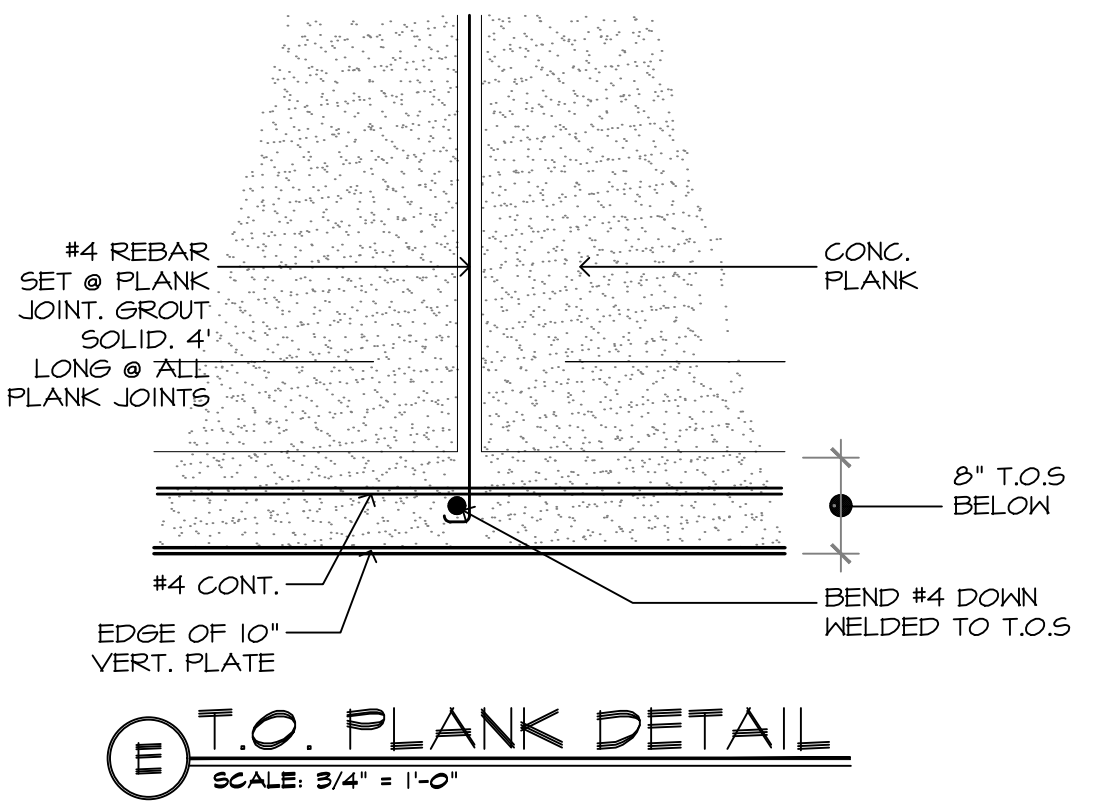
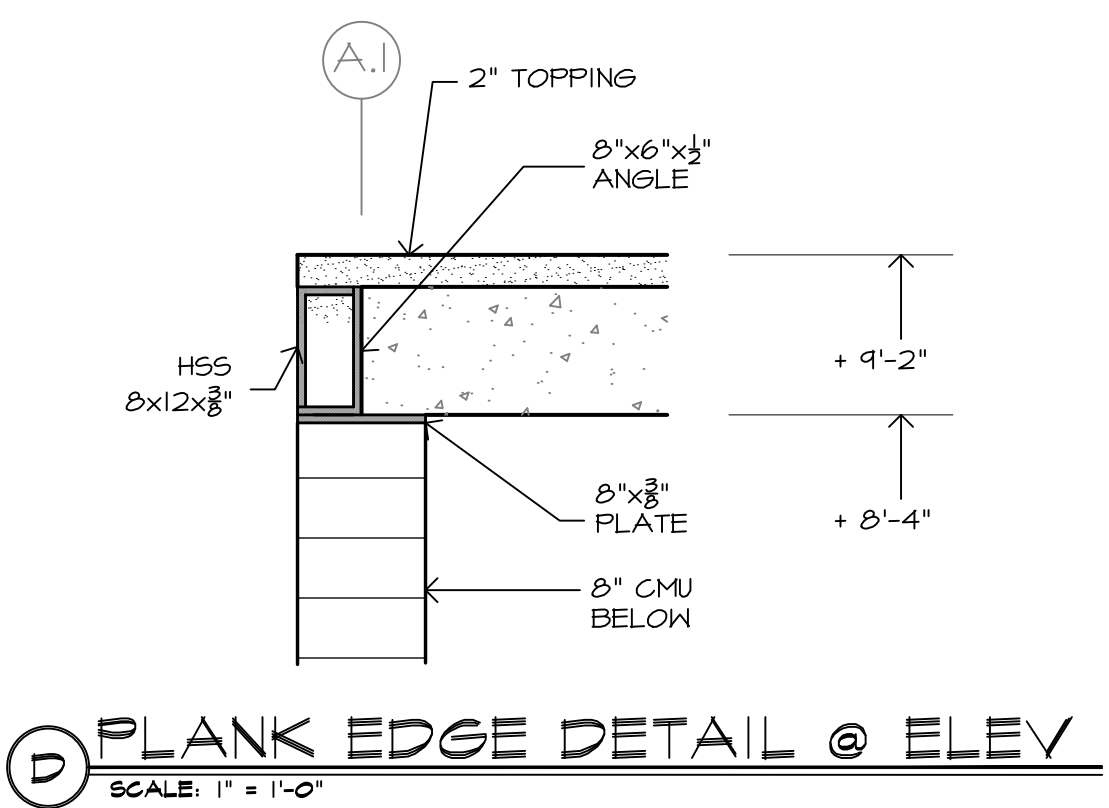
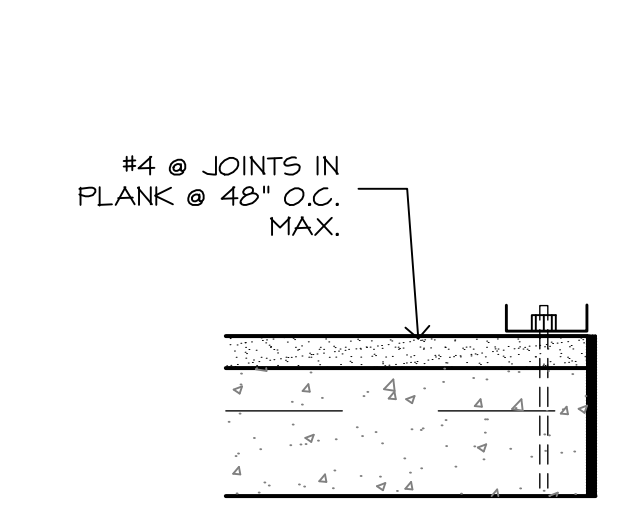
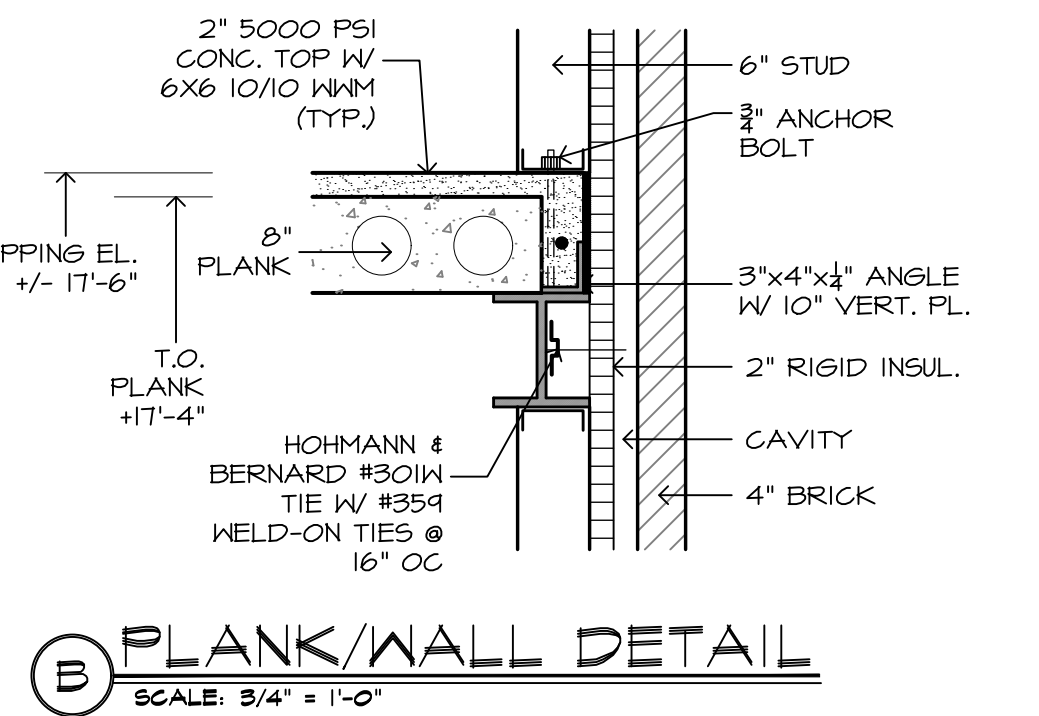
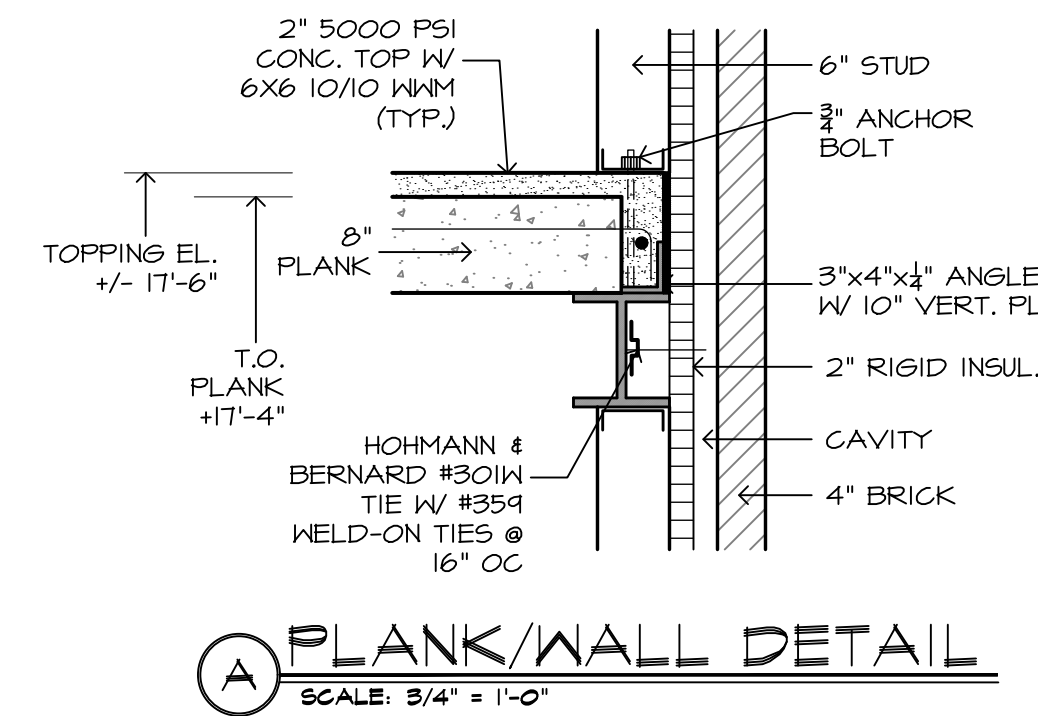
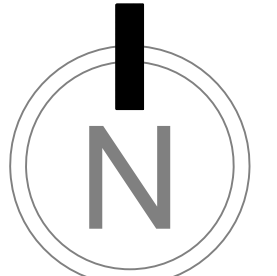
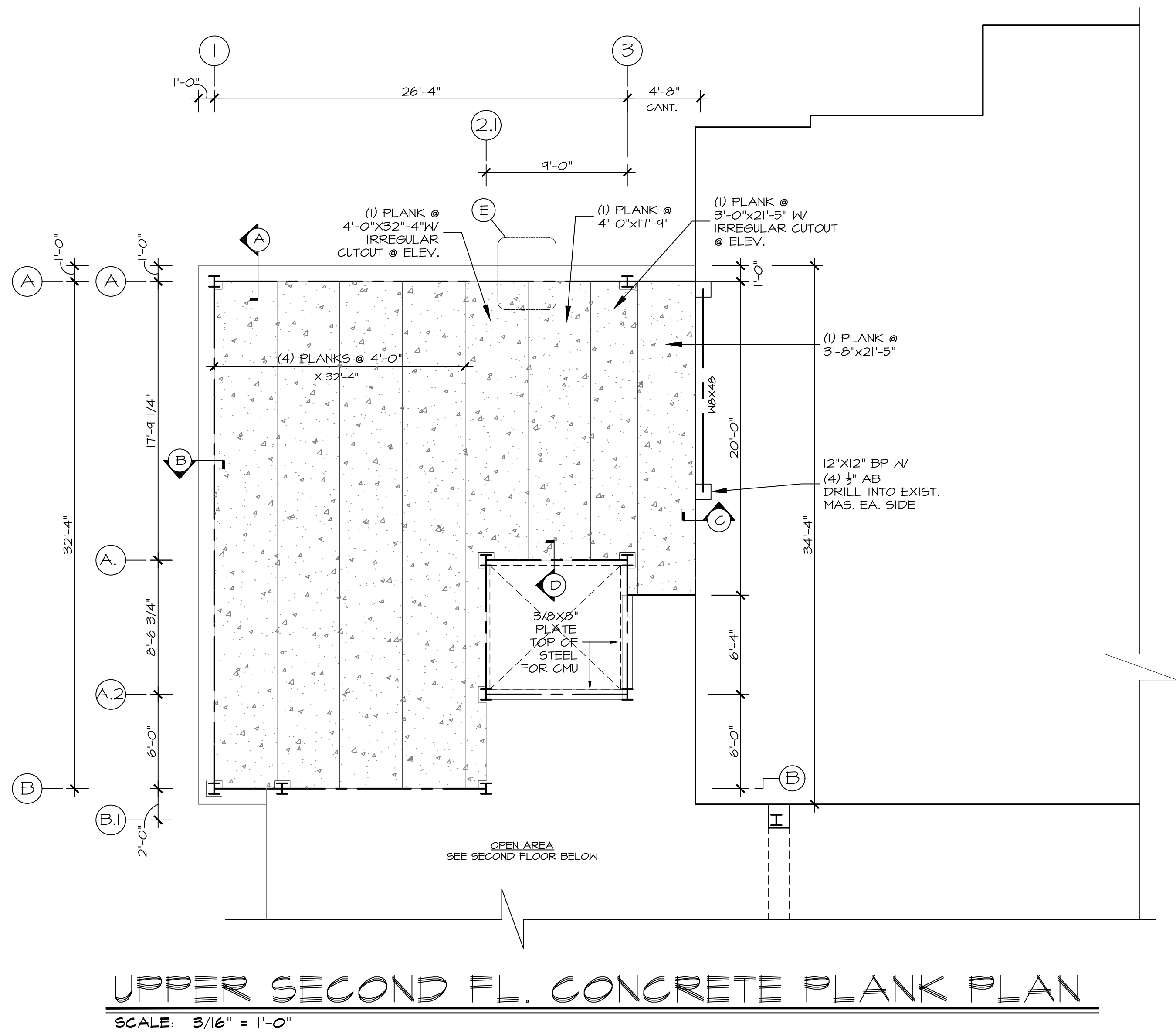
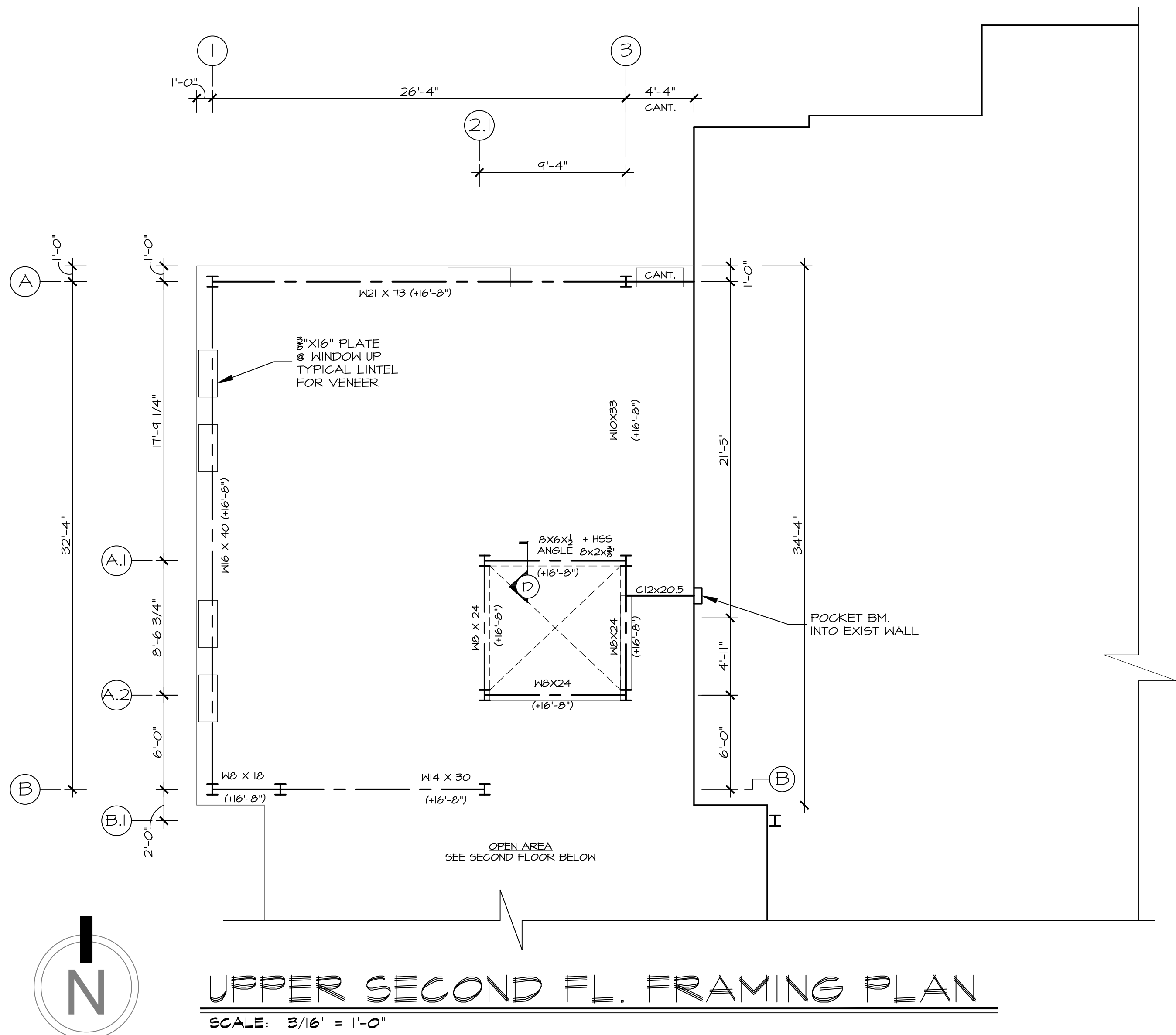
PROJECT #: 2020-04

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2020-04

DRAWING#:

S-1.1



- NOTES:**
- UPPER SECOND FLOOR DECK SHALL BE 8" PLANK W/ 2" TOP (10" OVERALL) AS MANUFACTURED BY OLD CASTLE (OR EQUAL). (DESIGNED FOR LIVE LOAD OF 100 PSF)
 - TOP OF STEEL TO BE @ ELEV. +16'-8" UNLESS NOTED OTHERWISE (X) USING ELEV. +16'-8" AS REFERENCE
 - CONTRACTOR SHALL COORDINATE ALL PLANK OPENINGS WITH OTHER TRADES & MANUFACTURERS SHOP DRAWINGS.
 - PROVIDE 3"x4"x1/2" W/ 10"x3" VERT. PLATE FRAME AT PERIMETER OF ALL STAIR OPENINGS AND ELEVATOR OPENING
 - INDICATES MOMENTS CONNECTIONS SEE DWS. 5-3 FOR DETAILS

DATE: ISSUE

04-01-21
ISSUED FOR BIDDING

SEAL:

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ARCHITECTS - PLANNERS

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HARRISON FIRE DEPT.
PROPOSED ADDITION

206 HARRISON AVE
HARRISON, NY 10528

MEZANINE CONCRETE PLANK PLAN

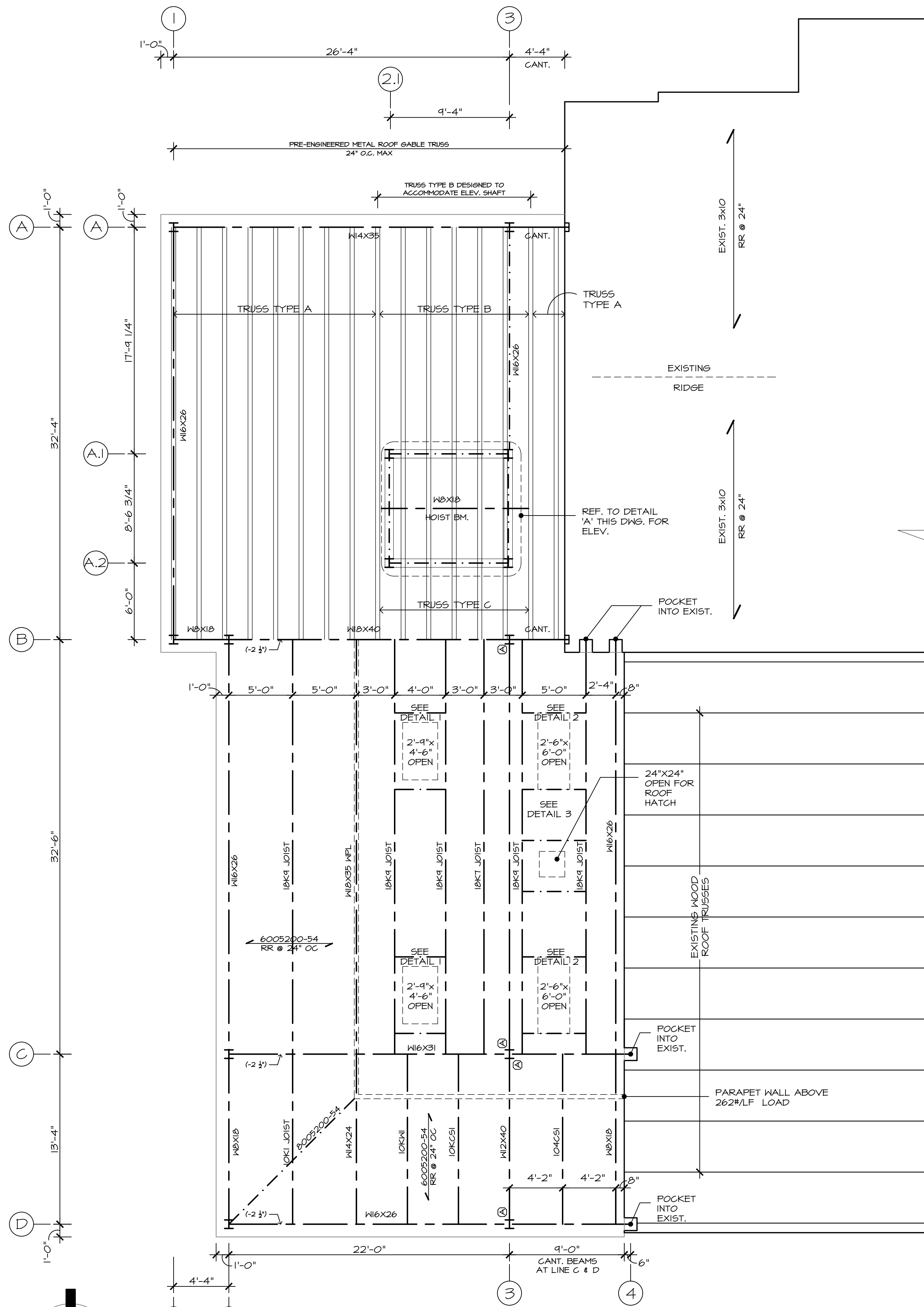
PROJECT #: 2020-04

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CAD FILE: P/2020/HFD
2020-04

DRAWING#:

S-2.2



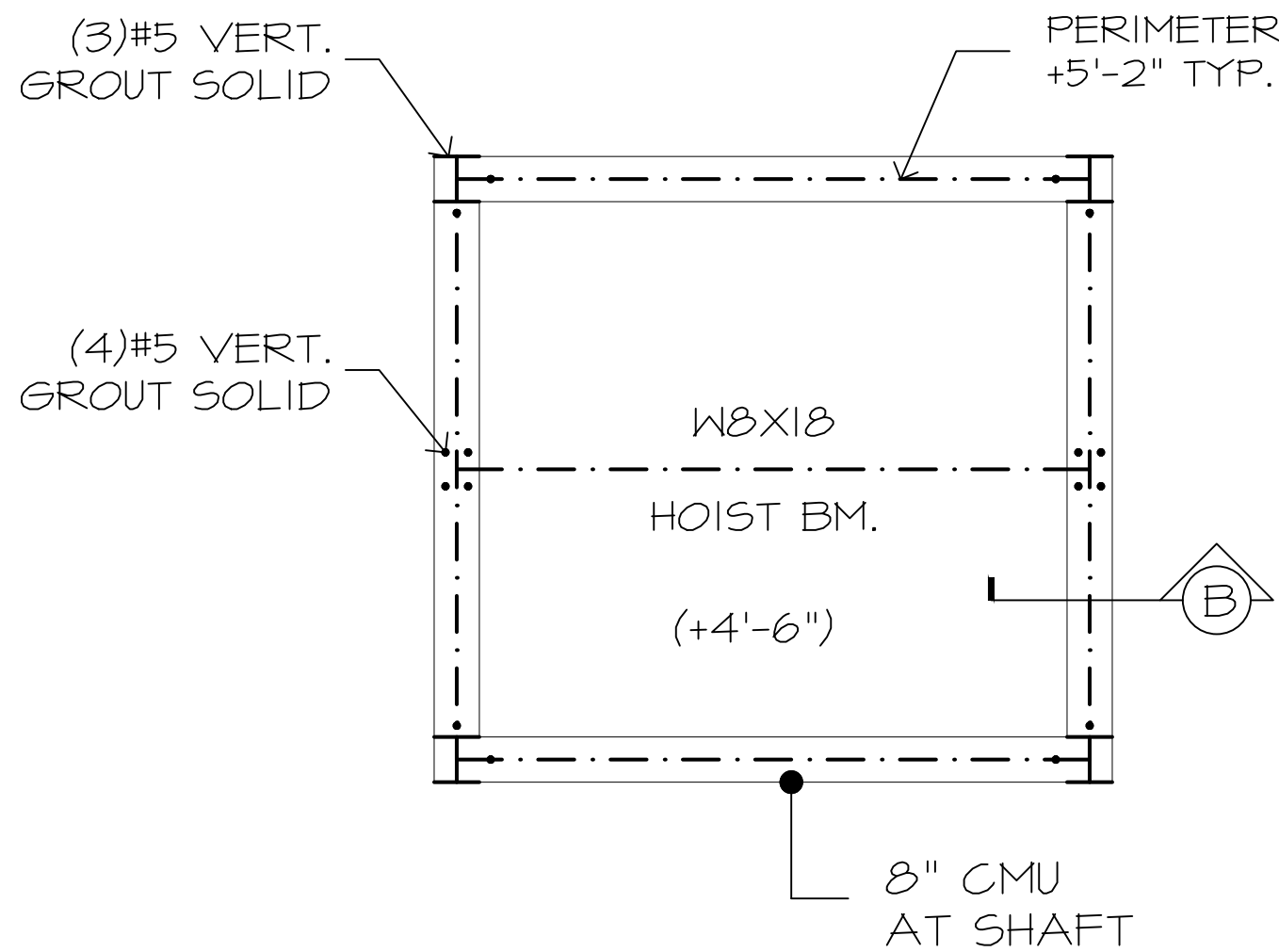
ATTIC/ROOF FRAMING PLAN

SCALE: 3/16" = 1'-0"

+ (DIM) = TOP OF STEEL (TYPICAL) W/ 26'-6" AS REFERENCE

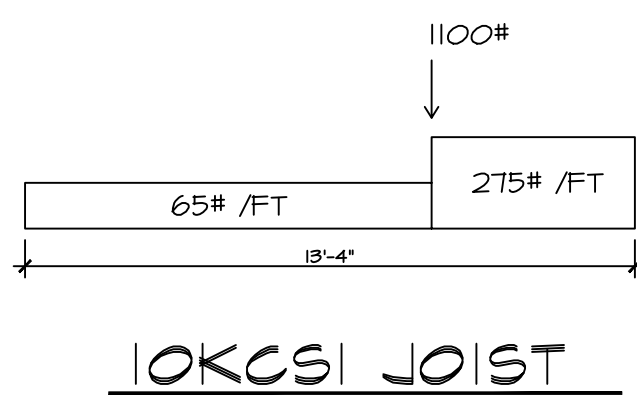
T.O.S = +26'-6" UNLESS NOTED OTHERWISE USING 26'-6" AS REFERENCE

FLAT ROOF LOADING 50#/SF LL + 15#/SF DL = 65#/SF
SLOPED ROOF LOADING 35#/SF LL + 15#/SF DL = 50 #/SF



ELEV. DETAIL

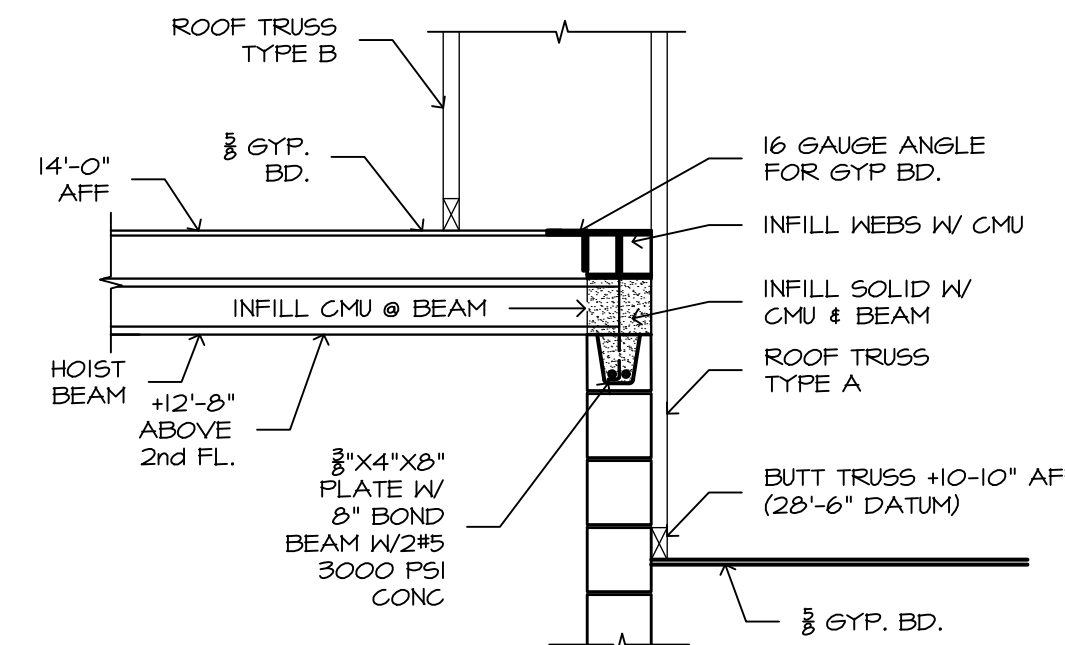
SCALE: 3/8" = 1'-0"



ROOF TRUSS NOTES:

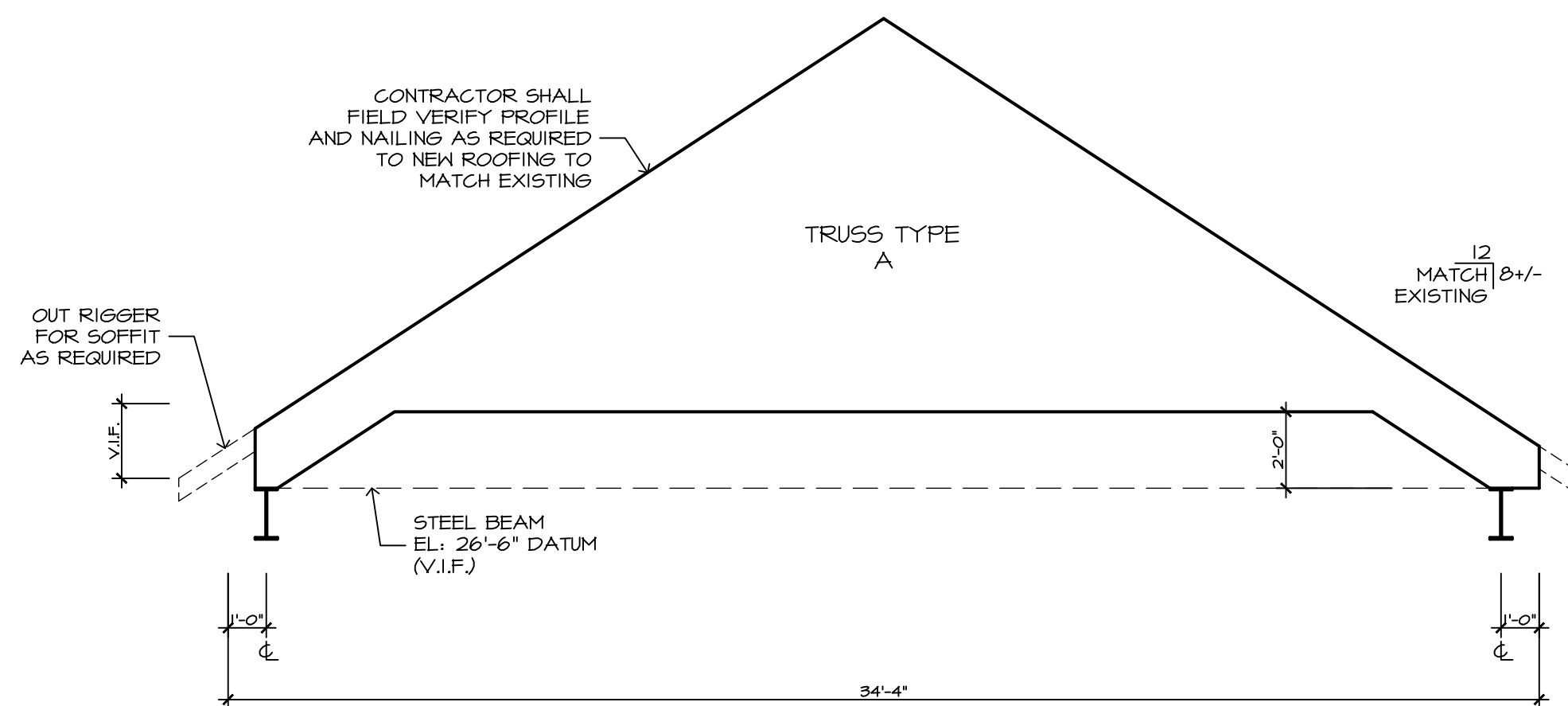
STEEL ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:

- LOADING: TOP CHORD LIVE LOAD = 30 psf
TOP CHORD DEAD LOAD = 10 psf
BOTTOM CHORD LIVE LOAD = 10 psf
BOTTOM CHORD DEAD LOAD = 10 psf
TOTAL = 60 psf
- PROVIDE ALL TEMPORARY & PERMANENT LATERAL BRACING AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY.
- SHOP DRAWINGS PREPARED & SEALED BY A NYS LICENSED PROFESSIONAL ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT OF RECORD FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS THAT SHOW MEMBER FORCES, LUMBER GRADES, AND ALL DETAILS OF CONNECTIONS.



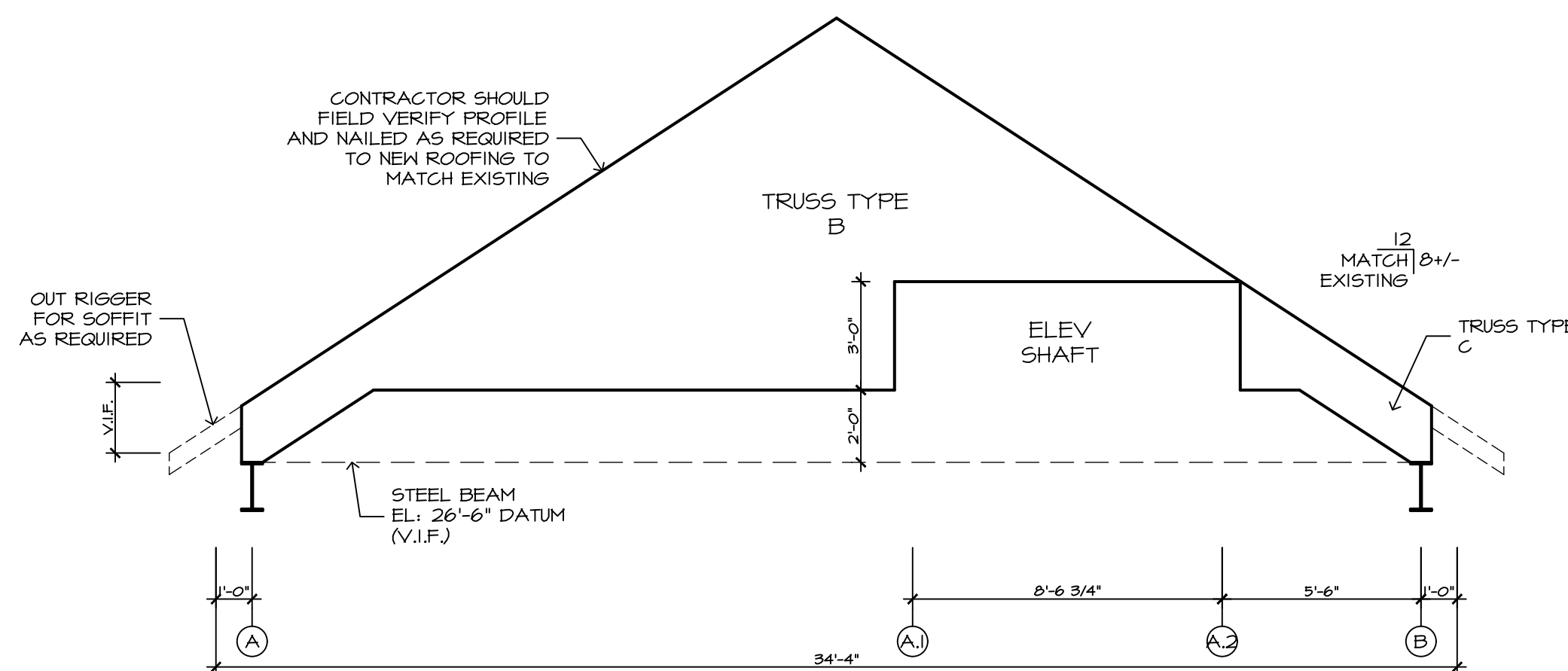
DETAIL B

SCALE: 3/8" = 1'-0"



TRUSS TYPE A

SCALE: 1/4" = 1'-0"



TRUSS TYPE B

SCALE: 1/4" = 1'-0"

DATE: ISSUE

04-01-21
ISSUED FOR BIDDING

SEAL:

SENDEWSKI ARCHITECTS PC
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
(631) 727-5352
9 SELENA COURT
WALDEN, NY 12586
(845) 275-8859

HARRISON FIRE DEPT.

PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528

ATTIC/ROOF FRAMING PLAN

PROJECT #: 2020-04

DRAWN BY: SEND. ARCH.

CAD FILE: P/2020/HFD
2020-04

DRAWING#:

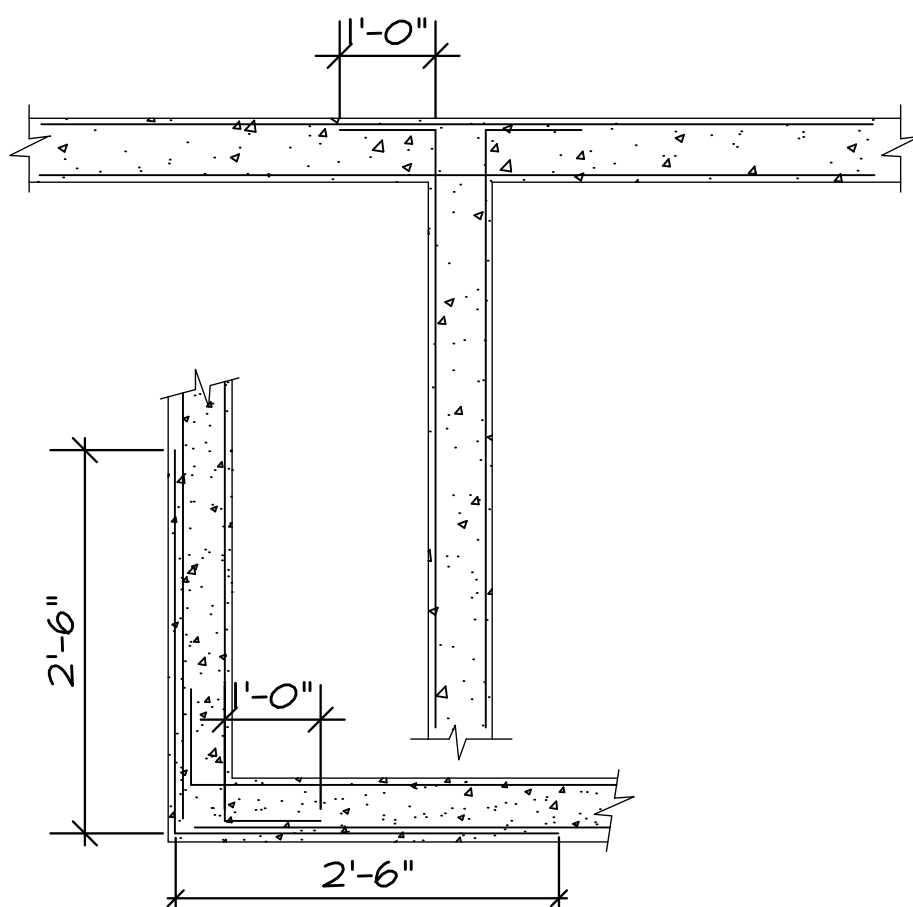
S-2.3

COLUMN SCHEDULE														*ALL COLUMNS 50 KSI UNLESS NOTED OTHERWISE			
COL. NO.	A-1	A-3	A1-21	A1-3	A2-21	A2-3	B-1	B-2	B-21	B-3	B1-3	B1-4	C-2	C-3	C-4	D-2	D-3
TIER																	
ROOF/ATTIC +26'-6" T.O.S		BM								BM				BM			BM
UPPER 2ND. FLR. +17'-8"	8" PLANK	W 8 X 31								W 8 X 40							W 8 X 31
2ND. FLR. +14'-6"	10" PLANK	W 8 X 48	BM	W 8 X 31	W 8 X 31	W 8 X 31	W 8 X 31	W 8 X 48	W 8 X 31	BM	W 8 X 31	W 8 X 48	W 8 X 48	W 8 X 48	W 8 X 48	W 8 X 31	BM
MEZZANINE +9'-2"	8" PLANK	BM															
1ST. FL. +0'-0" (DATUM)	8" PLANK	W 8 X 48															
BASEMENT -8'-8" (VIF EXIST.)																	
BASE PLATE	B	B	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A

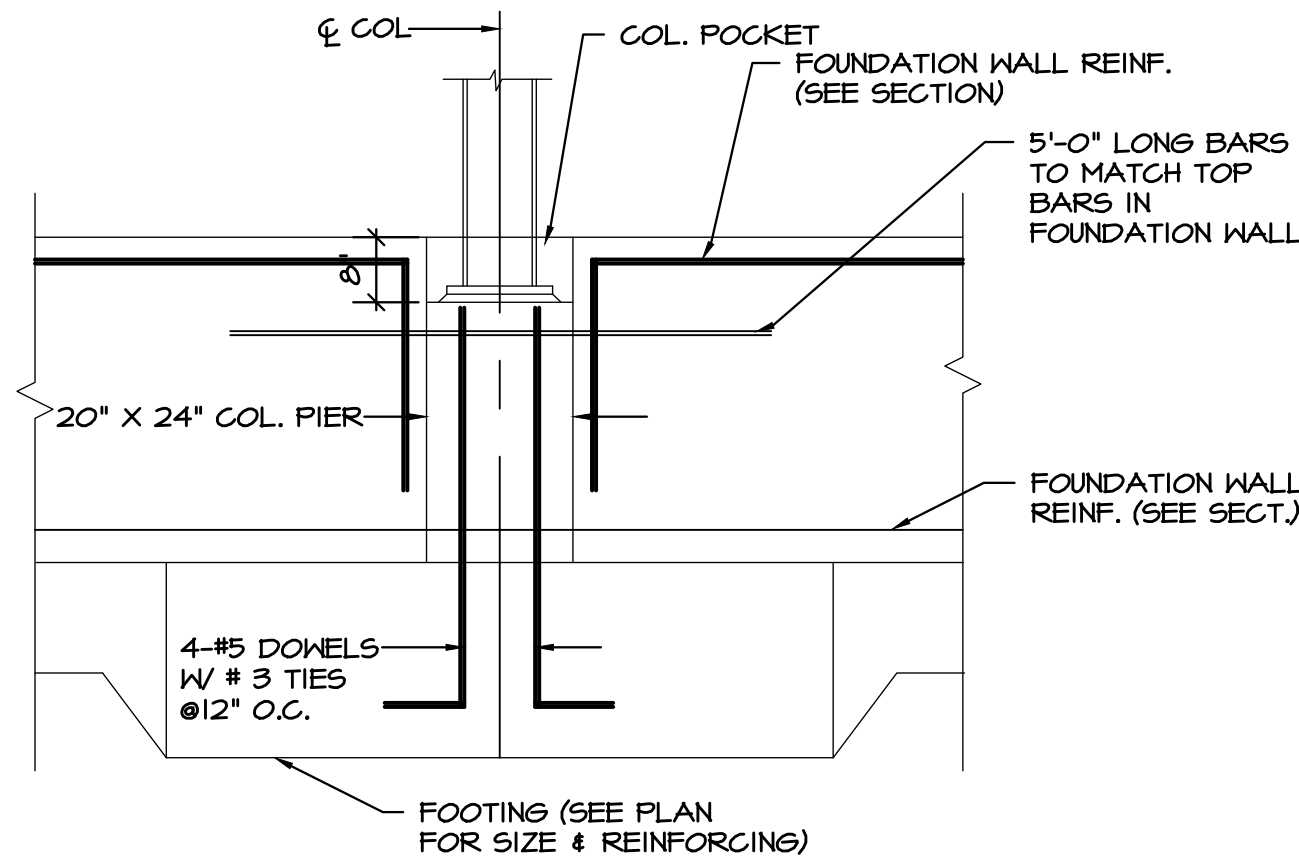
*BOTTOM ELEV. OF ALL COLUMNS BELOW DATUM TO BE -7" + 1" NON-SHRINK GROUT
WELDED MASONRY ANCHORS ON ALL COLUMNS SHALL BE FULL HEIGHT TYPICAL.
COORDINATE W/ MASON FOR ANCHOR TIE INSTALLS.

MOVENT CONNECTION SCHEDULE		
MARK	PLATE SIZE	# OF A-325X BOLTS
A	12"X6"X3/8"	4
B	12"X6"X1/2"	6

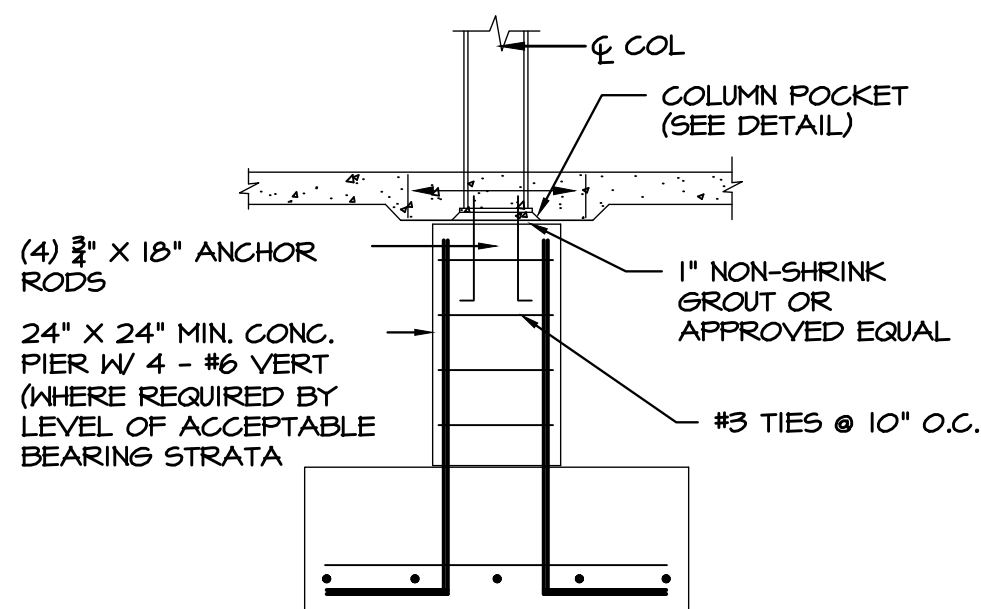
BASE PLATE SCHEDULE	
MARK	SIZE
A	14" X 14" X 3/4"
B	16" X 16" X 1"



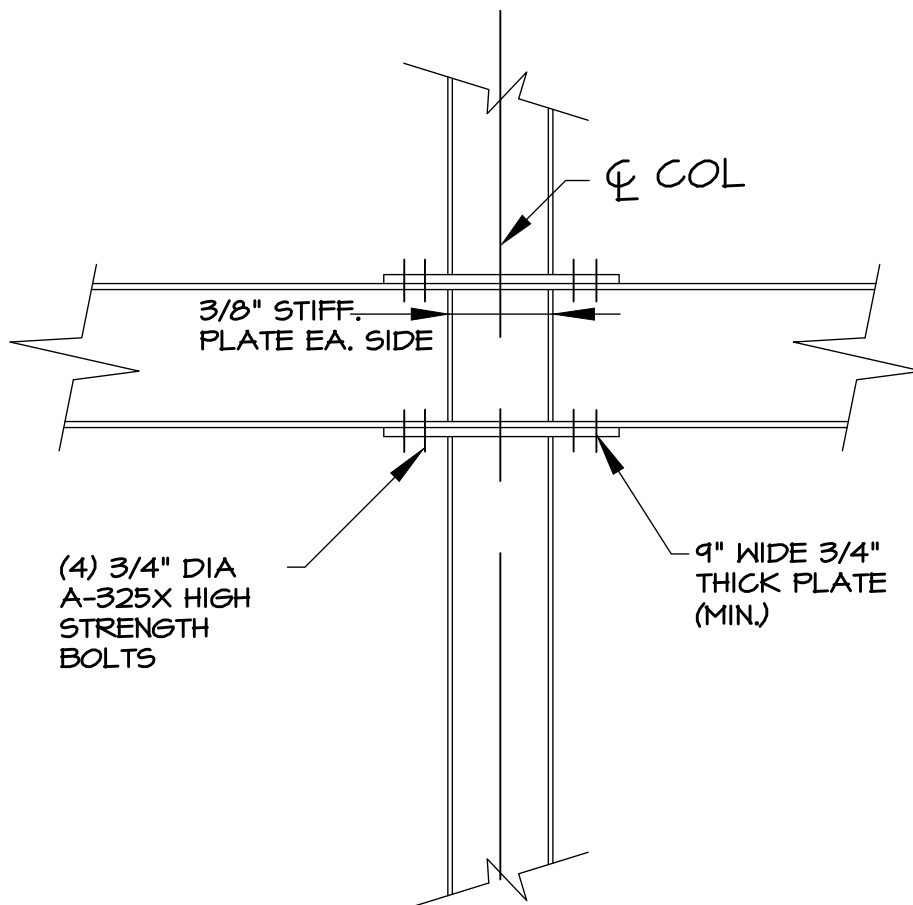
CORNER DETAILS-REINFORCED
CONCRETE WALLS



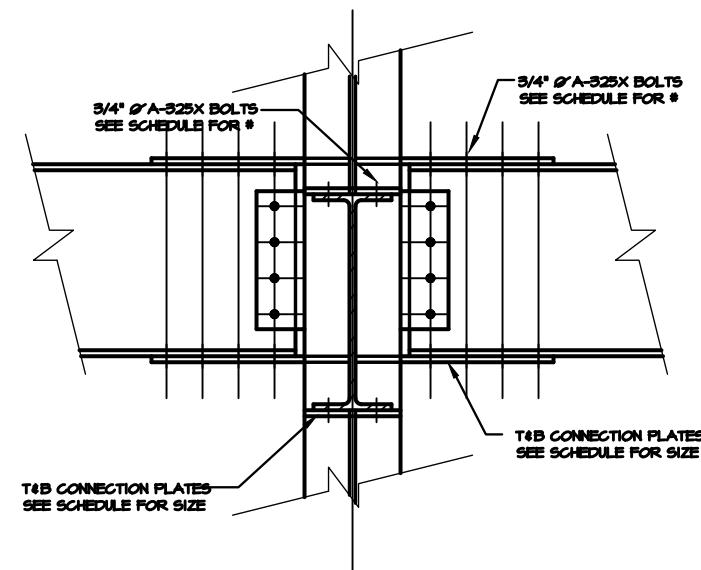
TYPICAL DETAIL @ EXTERIOR COLUMN FOOTING



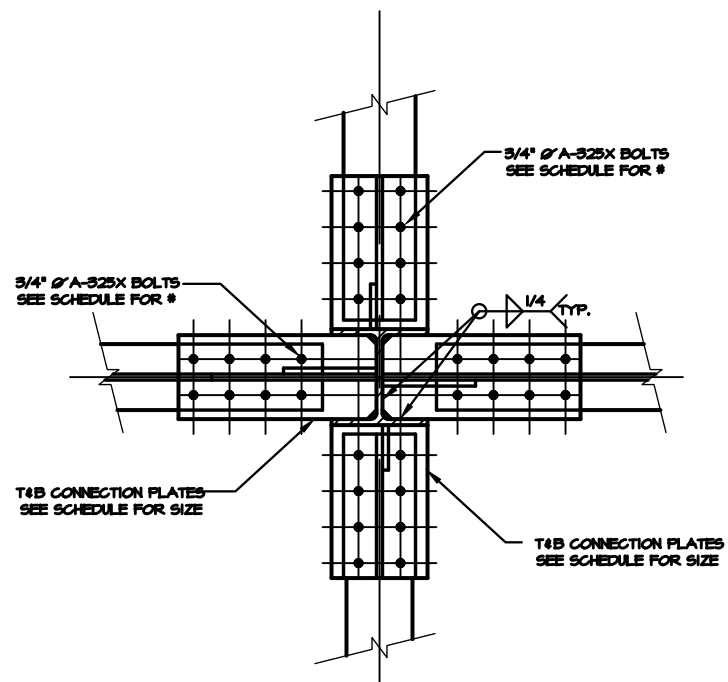
TYPICAL INTERIOR COLUMN FOOTING



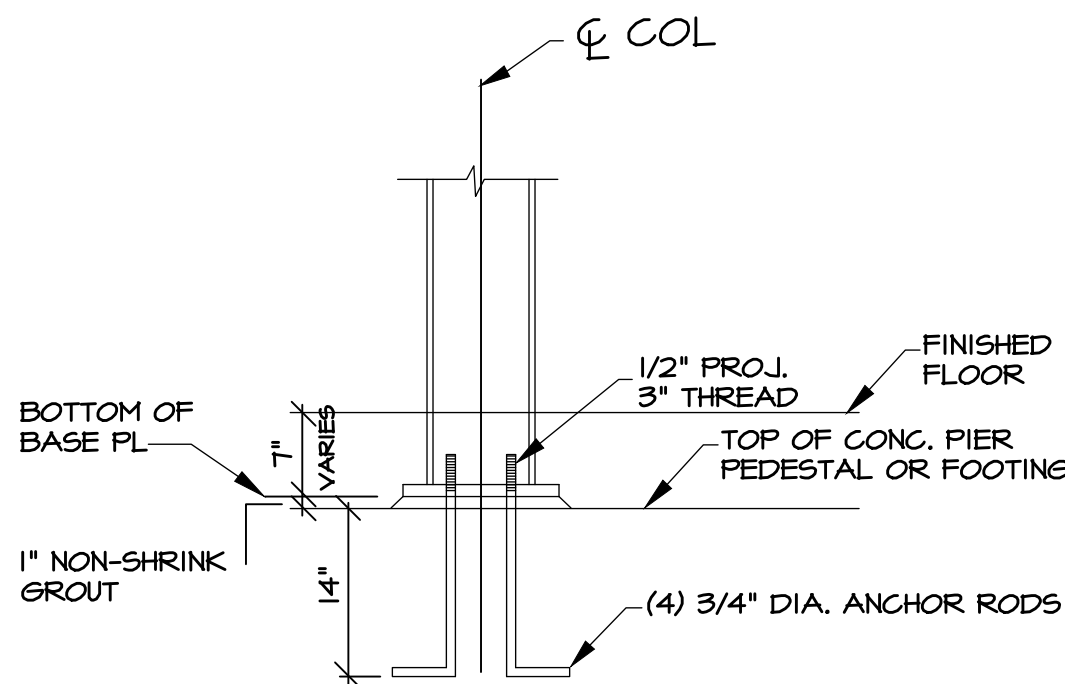
TYPICAL DETAIL
BEAM OVER TOP OF COLUMN



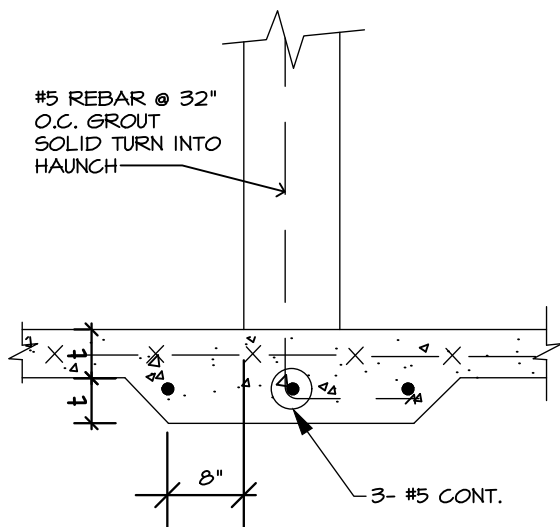
SECTION



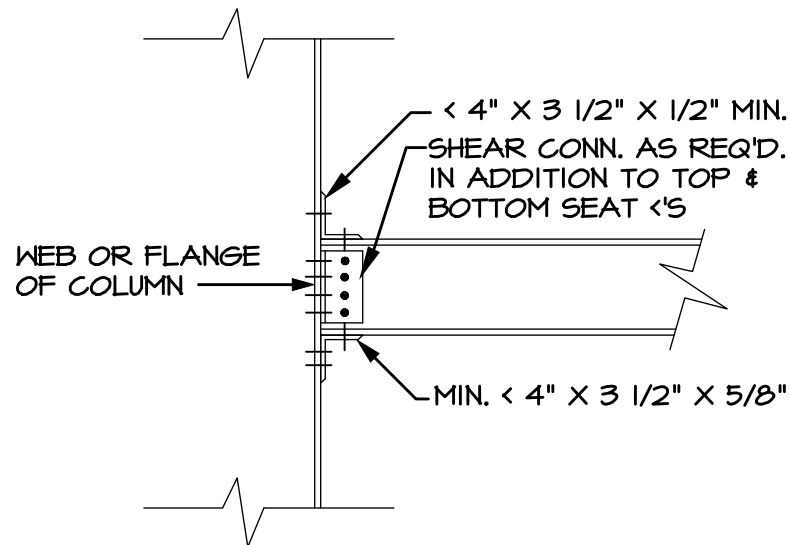
PLAN



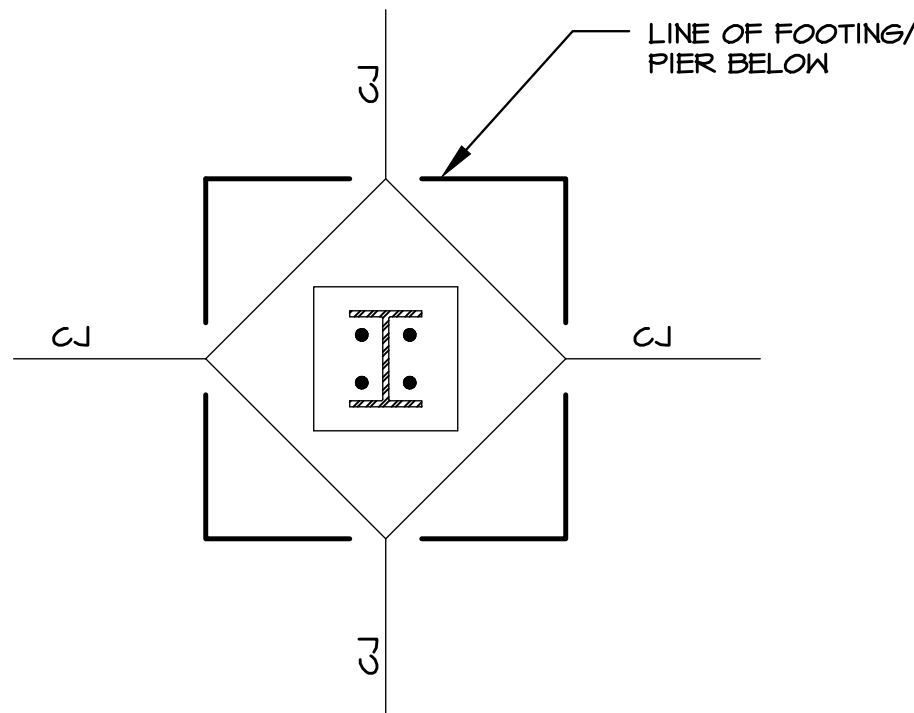
TYPICAL ANCHOR
BOLT DETAIL



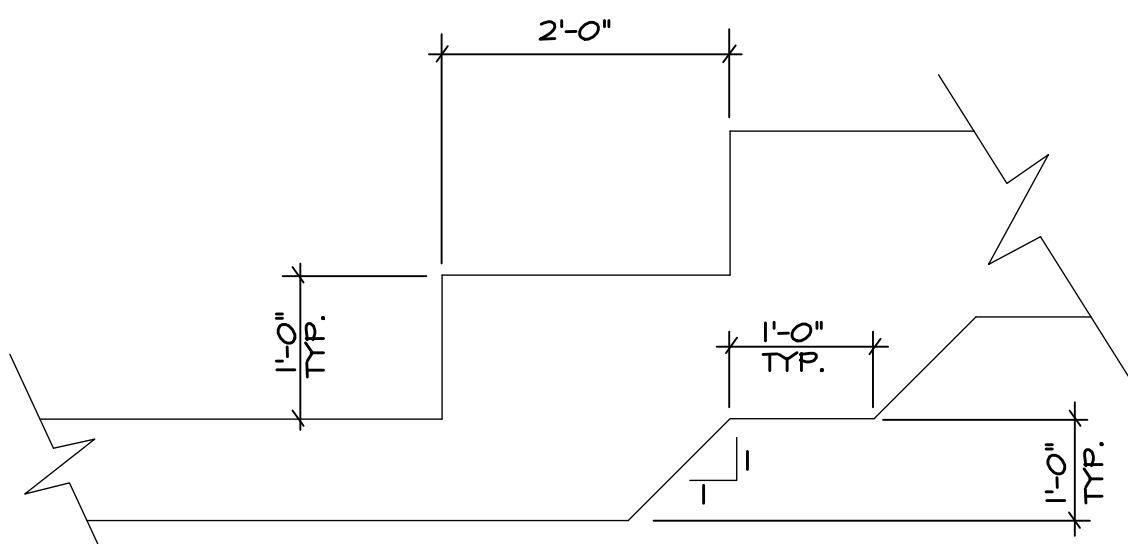
HAUNCH @ 8" THICK
OR GREATER CMU WALLS



TYPICAL COLUMN CONNECTION
TO FLANGE OR WEB



COLUMN POCKET DETAIL



TYPICAL STEP FOOTING DETAIL

GENERAL STRUCTURAL NOTES

FOUNDATION:

- ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL OF 1 TSF BEARING CAPACITY SUBJECT TO SPECIAL INSPECTION. APPROXIMATELY 8'-0" BELOW EXIST GRADE (MIN. -5'-0")
- KEEP FOOTING BOTTOMS WELL DRAINED UNTIL FOOTINGS ARE IN PLACE, PUMP AS REQUIRED.
- CONSTRUCTION JOINTS IN FOUNDATION WALLS SHALL BE NO MORE THAN 50 FEET APART AND NO LESS THAN 4'-0" FROM ANY PIER. REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONSTRUCTION JOINTS. DO NOT USE HORIZONTAL CONSTRUCTION JOINTS.
- SLABS ON GRADE SHALL BE PLACED BY STRIP PLACING METHOD (MAX. WIDTH 30 FT. BY INFINITE LENGTH) WITH CONTROL JOINTS (SAW CUT) MAX. 30'-0" O.C.; CONSTRUCTION JOINTS SHALL BE LOCATED ALONG LENGTH OF PLACEMENT AND AT ENDS OF PLACEMENT.

CONCRETE:

- ALL CONCRETE WORK SHALL CONFORM TO ACI 301-16; EXTERIOR CONCRETE WORK SHALL BE 4000 PSI AIR-ENTRAINED. SLABS ON GRADE SHALL BE NORMAL WEIGHT CONCRETE.
- ALL REINFORCEMENT SHALL BE DEFORMED TYPE INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.
- TEMPERATURE REINFORCEMENT, SPLICES, SUPPORTS FOR REINFORCEMENT SHALL CONFORM TO REQUIREMENTS OF ACI-318 14.
- CONTINUOUS REINFORCEMENTS SHALL BE LAPPED 48 DIAMETERS AT SPLICES AND CORNERS AND HOOKED AT NON-CONTINUOUS ENDS OR EXTENDED 24 BAR DIAMETERS UNLESS OTHERWISE NOTED. DETAILING OF ALL REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI 318-17
- PROVIDE TWO #6 ALL SIDES FOR OPENINGS IN CONCRETE WALLS UNLESS OTHERWISE NOTED. EXTEND BARS 2'-0" BEYOND OPENING; HOOK ENDS.
- PROVIDE SLEEVES AND BOX OUT FOR OPENINGS FOR MECHANICAL TRADES. OPENINGS SHALL BE PLACED SO AS NOT TO AFFECT THE STRENGTH OF STRUCTURAL MEMBERS.
- BEFORE PLACING CONCRETE, CONTRACTOR SHALL SUBMIT FOR REVIEW A COMPLETE SEQUENCE OF PLACING SCHEDULE INDICATING ALL CONSTRUCTION JOINTS, TIME SCHEDULE, AND GUARANTEE OF CONTINUITY OF CONCRETE SUPPLY.

MASONRY:

- ALL CONCRETE BLOCK SHALL BE LOAD BEARING AND SHALL CONFORM TO A.S.T.M. STANDARD C-90 FOR GRADE "N" UNITS. MORTAR SHALL BE TYPE "M".
- PROVIDE VERTICAL CONTROL JOINTS IN BLOCK WALL 30'-0" O.C. MAXIMUM USING A FIRE MOLDED FILLER AND JAMB BLOCKS UNLESS DETAILED OTHERWISE.
- ALL BLOCK WALLS SHALL BE CONSTRUCTED WITH GALV. WALL REINFORCING. REINFORCING TO BE TRUSS-TYPE #9 GAUGE AND PLACED A MAXIMUM OF 1'-4" O.C. VERTICALLY AND TO BE THE WIDTH RECOMMENDED BY THE MANUFACTURER. PROVIDE #3 BARS @ 32" O.C. VERT. IN ALL MASONRY WALLS
- FILL BLOCKS SOLID UNDER CONCENTRATED LOADS IN ALL BLOCK WALLS ABOVE AND BELOW GRADE.
- ALL ANCHORAGE PLACED IN MASONRY SHALL BE ANCHORED SECURELY WITH CONCRETE.
- ALL JAMBS AT MASONRY OPENINGS SHALL BE FILLED SOLID WITH GROUT.

STRUCTURAL STEEL:

- STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH AISC SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- ROLLED SHAPES AND PLATES SHALL CONFORM TO ASTM DESIGNATION A-572 UNLESS NOTED OTHERWISE; STEEL PIPE SHALL CONFORM TO ASTM A501; STRUCTURAL TUBING SHALL CONFORM TO ASTM A500 GRADE B.
- SHOP CONNECTIONS SHALL BE WELDED. FIELD CONNECTIONS SHALL BE 3/4" DIAMETER A-325 TYPE N CONNECTION, EXCEPT WHERE FIELD WELDING IS CALLED FOR ON THE DRAWINGS.
- WELDING SHALL COMPLY WITH AWS SPECIFICATIONS. USE E70XX ELECTRODES.
- ALL STEEL SHALL RECEIVE ONE SHOP COAT OF RUST-INHIBITIVE PAINT.
- PROVIDE ANGLE ANCHORS AT ENDS OF ALL BEAMS RESTING ON MASONRY OR CONCRETE.
- CONNECTIONS TO BE DOUBLE ANGLE CONNECTIONS UNLESS NOTED OTHERWISE.
- ALL BASE PLATES SHALL BE ANCHORED WITH (4) 3/4" DIAMETER BY 18" LONG ANCHOR RODS UNLESS NOTED OTHERWISE.
- ALL LOOSE LINTELS SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END OF M.O.; PROVIDE FLASHING AT ALL EXTERIOR OPENINGS. ALL WIDE FLANGE LINTELS SHALL HAVE A MINIMUM OF 10" BEARING EACH END OVER 16" BRICK MASONRY.
- PROVIDE ALL BOLTS, HOLES ANCHORS, ANGLES, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION AND AS REQUIRED BY THE WORK OF OTHER TRADES.
- PROVIDE MASONRY ANCHORS AT 32" O.C. ON ALL SPANDREL BEAMS AND 16" O.C. ON ALL COLUMNS. HOHMANN & BARNARD 1/4" #VNT GALV. WALL TIE WITH #359 GALV. WELD-ON TIES OR APP. EQUAL.

STEEL DECK:

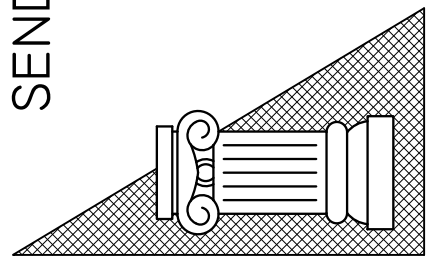
- STEEL ROOF DECK SHALL BE 22 GAUGE, 1 1/2" DEEP, GALVANIZED, TYPE "B" AS MANUFACTURED BY UNITED STEEL DECK INC. OR APPROVED EQUAL.
- WELD SIDE LAPS AT MID-POINT OF SPAN.

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HARRISON FIRE DEPT.
PROPOSED ADDITION
206 HARRISON AVE
HARRISON, NY 10528

COLUMN SCHEDULE & FRAMING DETAILS

PROJECT #: 2020-04

DRAWN BY: SEND. ARCH.

CAD FILE: P/2020/HFD
2020-04

DRAWING#:

S-3