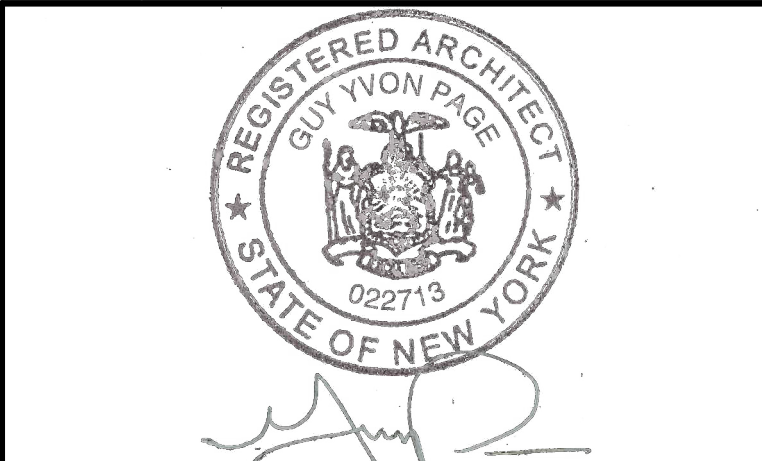


MARK	DATE	DESCRIPTION
07-23-2021		FINAL BID DOCUMENT



DESIGNED BY: TWD | DRAWN BY: MPH/RLB | CHECKED BY: TWD | REVIEWED BY: JLM
PROJECT NO: HHSD 1905 | DATE: JULY 2021 | SCALE: AS NOTED

Hastings-on-Hudson Union Free School District

Auditorium Renovations at Farragut Middle School



27 Farragut Avenue
Hastings-on-Hudson, NY 10706
66-04-04-03-0-001-036

CONTRACT **ALL CONTRACTS**

STATUS **FINAL BID SET**

SHEET TITLE **BASEMENT LIFE SAFETY PLAN**

DRAWING NO. **G100.00**

2020 BUILDING CODE OF NEW YORK STATE (NYS CODE TABLE 504.3, 504.4 NON-SPRINKLERED)

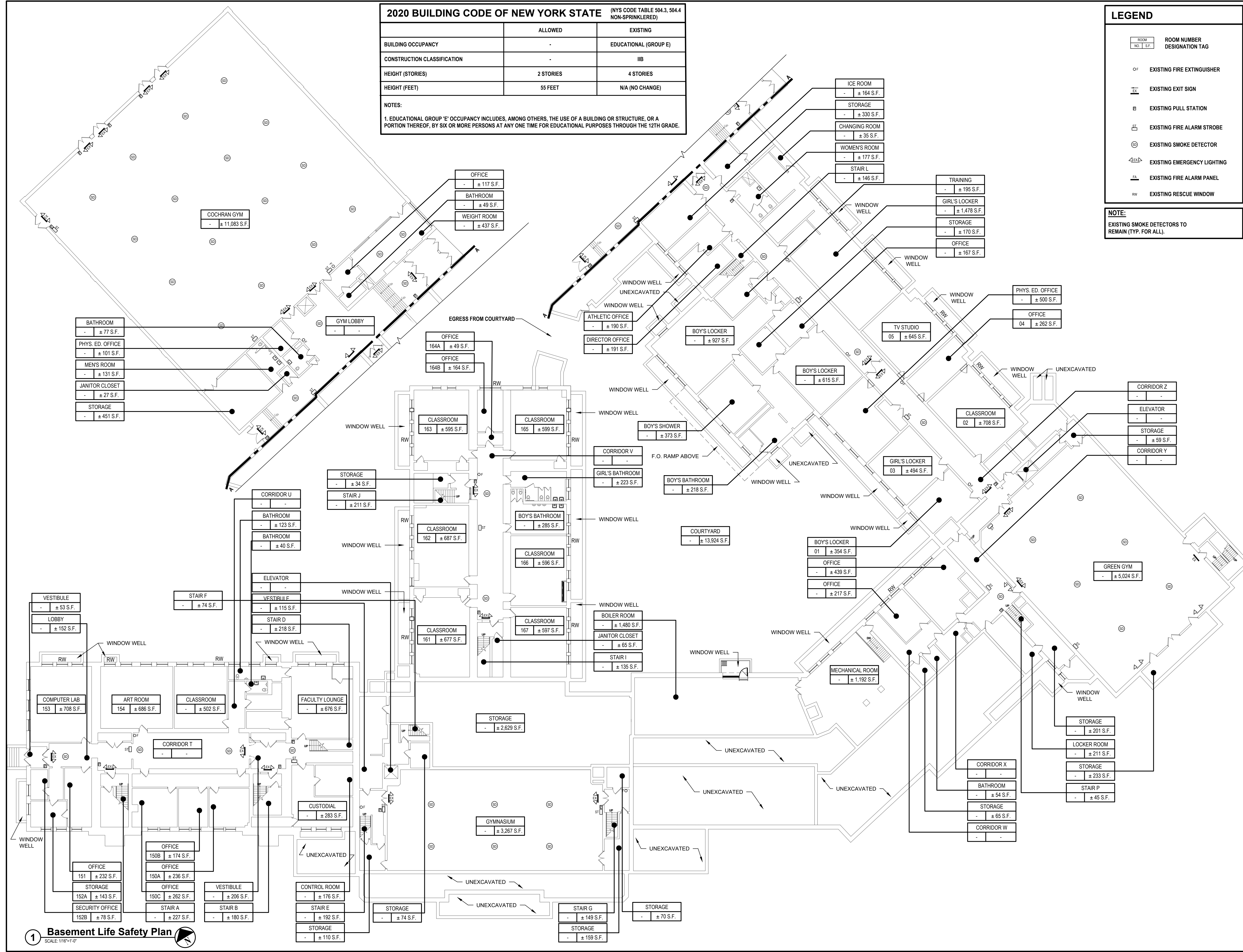
	ALLOWED	EXISTING
BUILDING OCCUPANCY	-	EDUCATIONAL (GROUP E)
CONSTRUCTION CLASSIFICATION	-	IIB
HEIGHT (STORIES)	2 STORIES	4 STORIES
HEIGHT (FEET)	55 FEET	N/A (NO CHANGE)

NOTES:
1. EDUCATIONAL GROUP 'E' OCCUPANCY INCLUDES, AMONG OTHERS, THE USE OF A BUILDING OR STRUCTURE, OR A PORTION THEREOF, BY SIX OR MORE PERSONS AT ANY ONE TIME FOR EDUCATIONAL PURPOSES THROUGH THE 12TH GRADE.

LEGEND

ROOM NO.	ROOM NUMBER DESIGNATION TAG
○	EXISTING FIRE EXTINGUISHER
✚	EXISTING EXIT SIGN
■	EXISTING PULL STATION
⊠	EXISTING FIRE ALARM STROBE
⊙	EXISTING SMOKE DETECTOR
⚡	EXISTING EMERGENCY LIGHTING
▬	EXISTING FIRE ALARM PANEL
rw	EXISTING RESCUE WINDOW

NOTE:
EXISTING SMOKE DETECTORS TO REMAIN (TYP. FOR ALL).



1 Basement Life Safety Plan
SCALE: 1/16"=1'-0"

CONSULTANTS:

MARK	DATE	DESCRIPTION



DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVIEWED BY:
TWD	MPH/RLB	TWD	GYP
PROJECT NO.:	DATE:	SCALE:	
HHSD 1905	JULY 2021	AS NOTED	

CLIENT
Hastings-on-Hudson Union Free School District

Auditorium Renovations at Farragut Middle School

27 Farragut Avenue
Hastings-on-Hudson, NY 10706

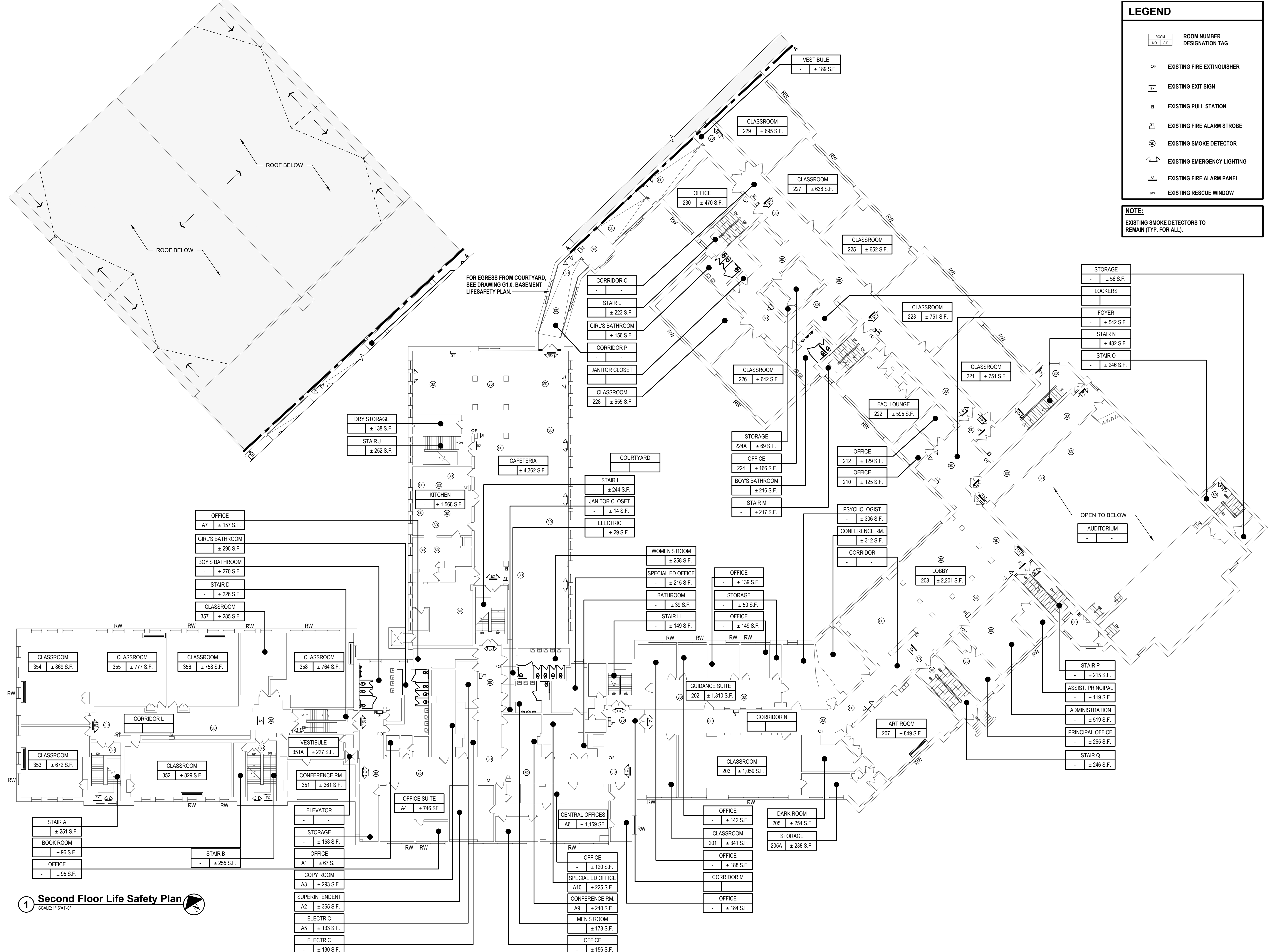
66-04-04-03-0-001-036

CONTRACT
ALL CONTRACTS

STATUS
FINAL BID SET

SHEET TITLE
SECOND FLOOR LIFE SAFETY PLAN

DRAWING NO.
G102.00



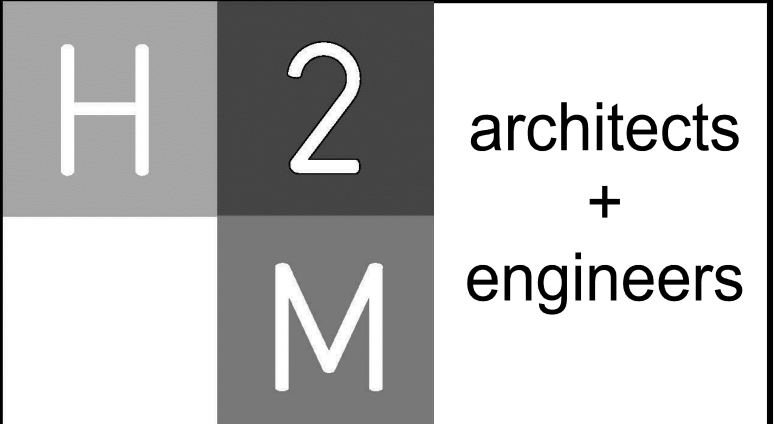
LEGEND

- ROOM NO. | SF. : ROOM NUMBER DESIGNATION TAG
- OF : EXISTING FIRE EXTINGUISHER
- EX : EXISTING EXIT SIGN
- B : EXISTING PULL STATION
- AS : EXISTING FIRE ALARM STROBE
- SD : EXISTING SMOKE DETECTOR
- EL : EXISTING EMERGENCY LIGHTING
- FA : EXISTING FIRE ALARM PANEL
- RW : EXISTING RESCUE WINDOW

NOTE:
EXISTING SMOKE DETECTORS TO REMAIN (TYP. FOR ALL).

1 Second Floor Life Safety Plan
SCALE: 1/16"=1'-0"

Vertical text on the right edge of the drawing area, partially obscured.

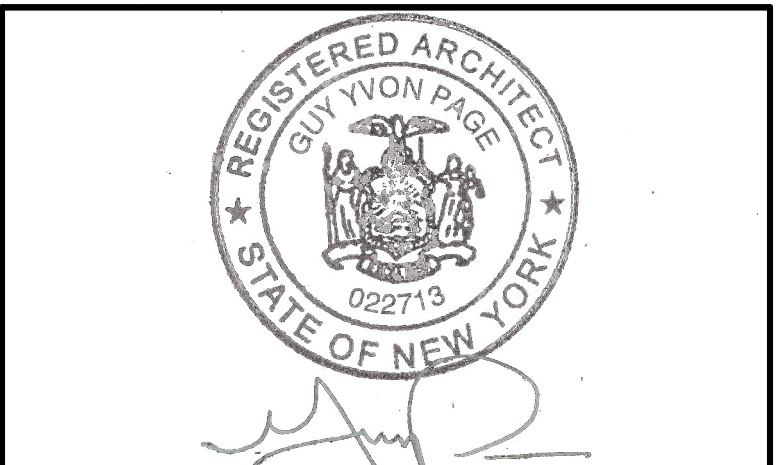


2700 Westchester Ave., Suite 415
Purchase, NY 10577
914.358.5623 • www.h2m.com

CONSULTANTS:

MARK	DATE	DESCRIPTION

07-23-2021 FINAL BID DOCUMENT



DESIGNED BY: TWD	DRAWN BY: MPH/RLB	CHECKED BY: TWD	REVIEWED BY: GYP
PROJECT NO: HHSD 1905	DATE: JULY 2021	SCALE: AS NOTED	

**Hastings-on-Hudson
Union Free School
District**

Auditorium Renovations at
Farragut Middle School



27 Farragut Avenue
Hastings-on-Hudson, NY 10706

66-04-04-03-0-001-036

CONTRACT
ALL CONTRACTS

STATUS
FINAL BID SET

SHEET TITLE
**FOURTH FLOOR AND
MEZZANINE LIFE SAFETY PLAN**

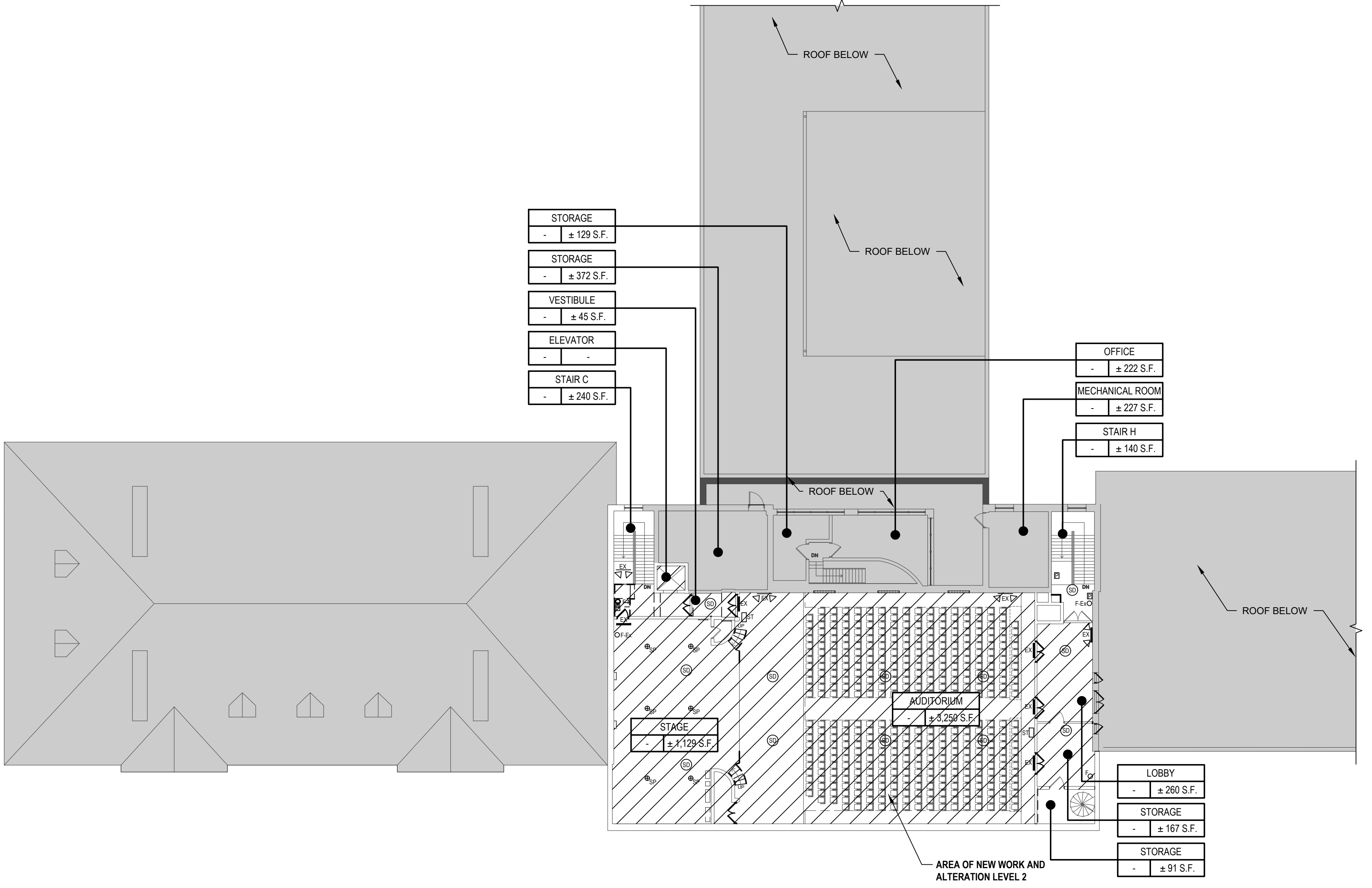
DRAWING NO.
G104.00

LEGEND

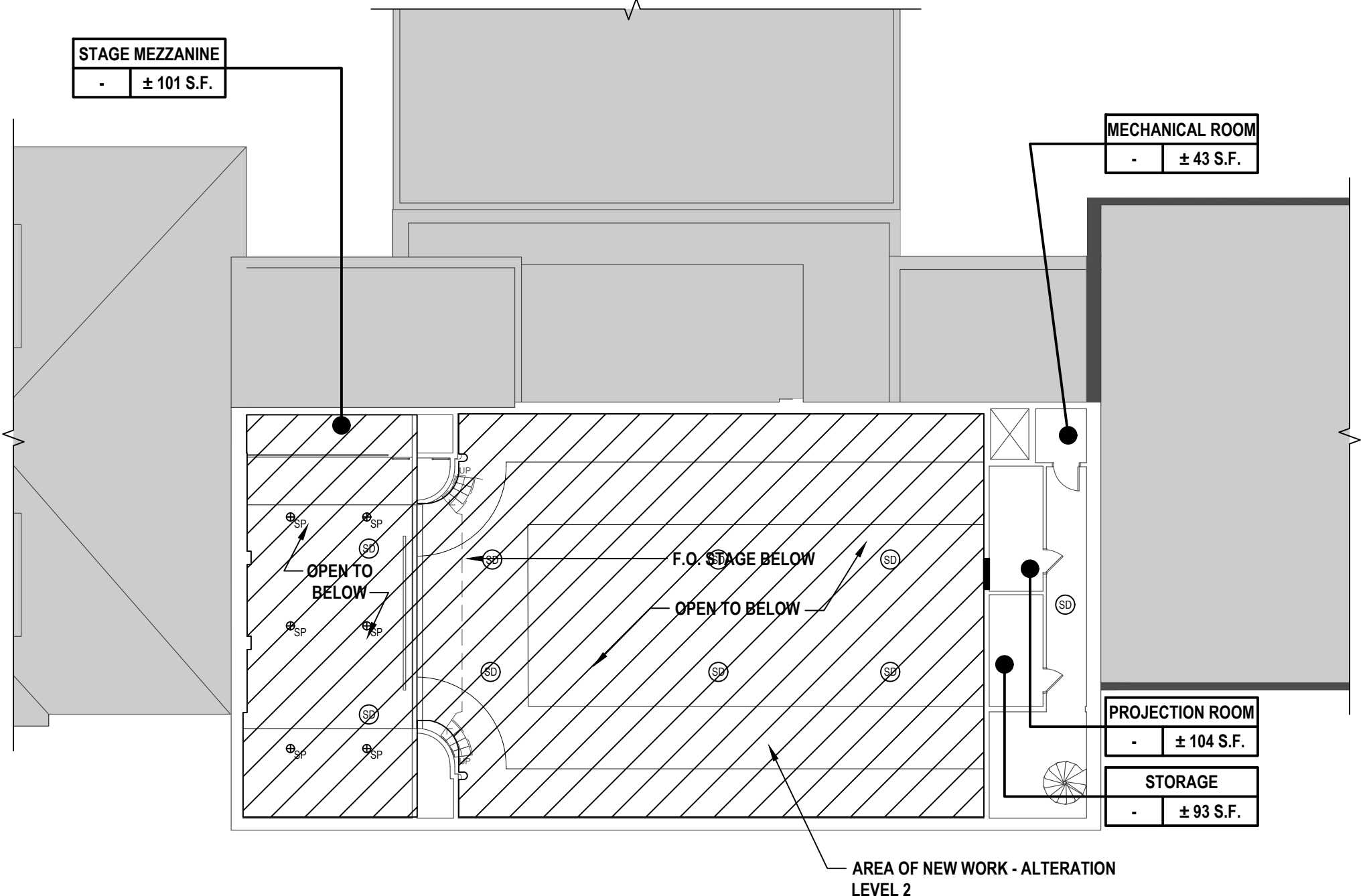
ROOM NO.	ROOM NUMBER	DESIGNATION TAG
OFEX	-	EXISTING FIRE EXTINGUISHER
OFN	-	NEW FIRE EXTINGUISHER
EX	-	EXISTING EXIT SIGN
B	-	EXISTING PULL STATION
ES	-	EXISTING FIRE ALARM STROBE
SD	-	EXISTING SMOKE DETECTOR
EL	-	EXISTING EMERGENCY LIGHTING
FAP	-	EXISTING FIRE ALARM PANEL
RW	-	EXISTING RESCUE WINDOW

NOTE:
EXISTING SMOKE DETECTORS TO
REMAIN (TYP. FOR ALL).

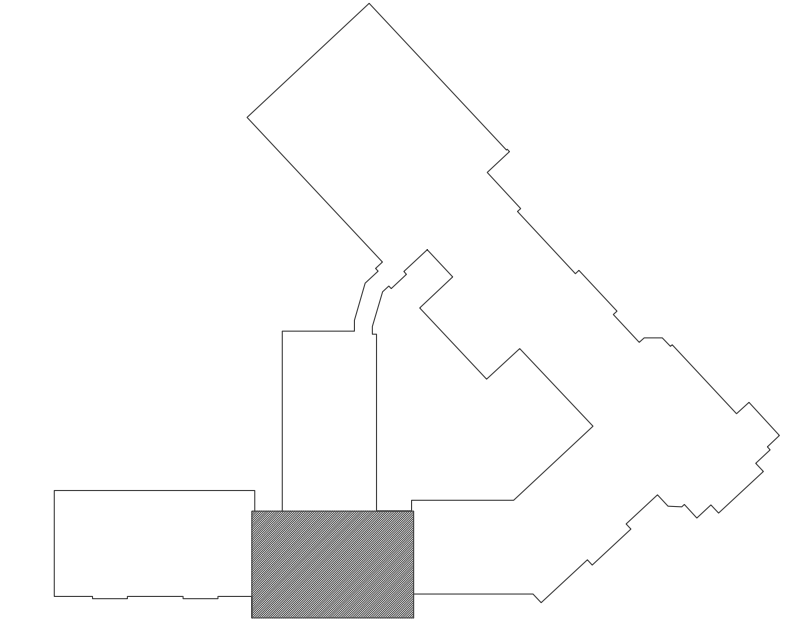
INDICATES APPROXIMATE AREA
OF INTERIOR ALTERATIONS
ALTERATION LEVEL 2



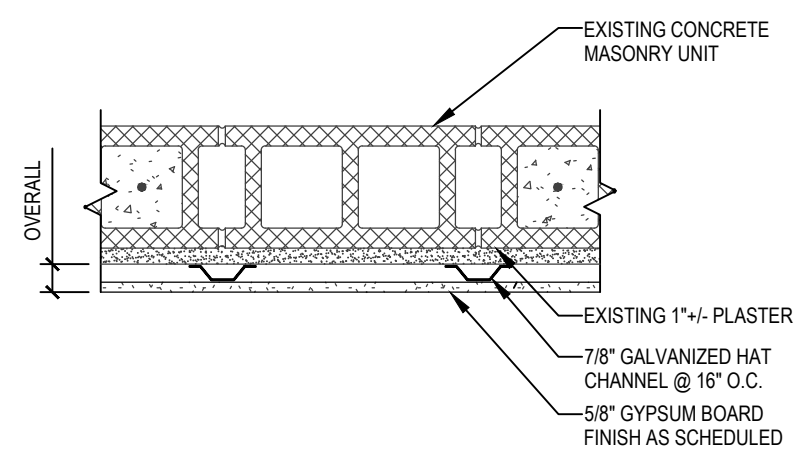
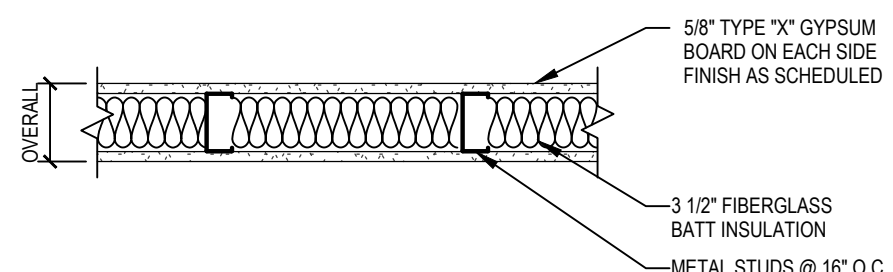
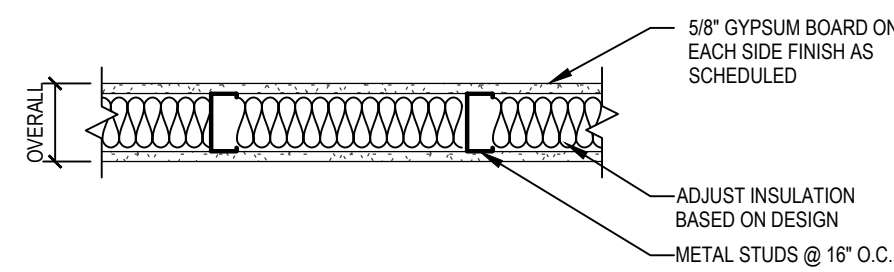
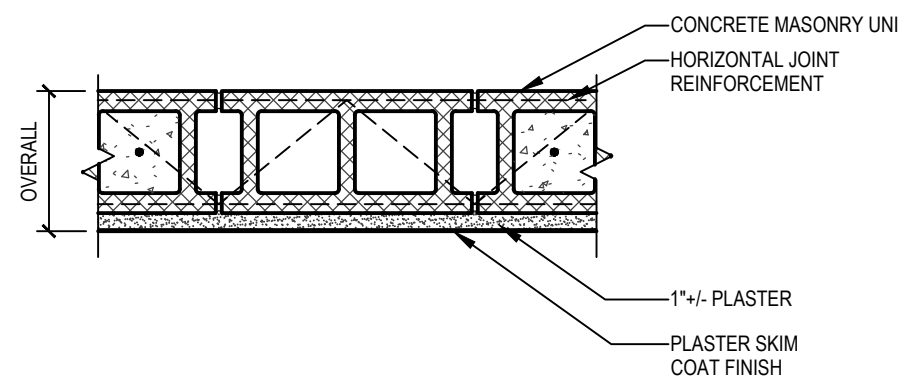
1 Fourth Floor Life Safety Plan
SCALE: 1/16"=1'-0"



2 Fourth Floor Mezzanine Life Safety Plan
SCALE: 1/16"=1'-0"



Key Plan
SCALE: 1/128"=1'-0"



WALL TYPE	OVERALL DIMENSIONS	CMU SIZE	FIRE RATING	UL No.	STC RATING	COMMENTS
102A	4 3/4"	3 5/8"	2.5 HR	U906	-	MATCH EXISTING CONDITIONS
102B	6 3/4"	5 5/8"	4.5 HR	U901	-	MATCH EXISTING CONDITIONS

WALL TYPE	OVERALL DIMENSIONS	STUD SIZE	FIRE RATING	UL No.	STC RATING	COMMENTS
131A	3 3/4"	2 1/2"	-	-	-	-
131B	4 7/8"	3 5/8"	-	-	-	-
131C	7 1/4"	6"	-	-	-	-

WALL TYPE	OVERALL DIMENSIONS	STUD SIZE	FIRE RATING	UL No.	STC RATING	COMMENTS
132A	4 7/8"	3 5/8"	1 HR	U419	40	NO INSULATION
132B	4 7/8"	3 5/8"	1 HR	U419	44	WITH INSULATION
132C	4 1/4"	3 5/8"	1 HR	-	-	GYPSUM WALLBOARD ONE SIDE

WALL TYPE	OVERALL DIMENSIONS	CMU SIZE	FIRE RATING	UL No.	STC RATING	COMMENTS
142A	1 1/2"	EXISTING	-	UR14	-	-

102 CMU w/ Plaster
Interior Partition

H2M Ref #CI-102

131 Metal Stud Partition
Interior Partition

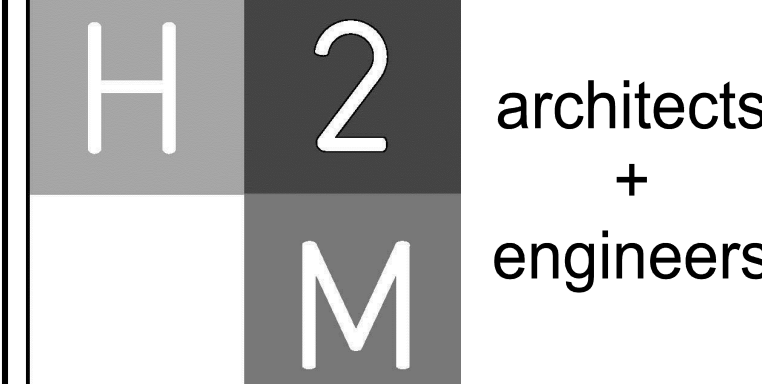
H2M Ref #MI-131

132 1 HR Metal Stud Partition
Interior Partition

H2M Ref #MI-132

142 Existing CMU w/ Hat Channel
Interior Partition

H2M Ref #CI-102



2700 Westchester Ave., Suite 415
Purchase, NY 10577
914.358.5623 • www.h2m.com

CONSULTANTS:

MARK	DATE	DESCRIPTION

07-23-2021 FINAL BID DOCUMENT



DESIGNED BY: TWD DRAWN BY: RLB CHECKED BY: TWD REVIEWED BY: GYP

PROJECT NO: HHSD 1905 DATE: JULY 2021 SCALE: AS NOTED

**Hastings-on-Hudson
Union Free School
District**

**Auditorium Renovations at
Farragut Middle School**



27 Farragut Avenue
Hastings-on-Hudson, NY 10706

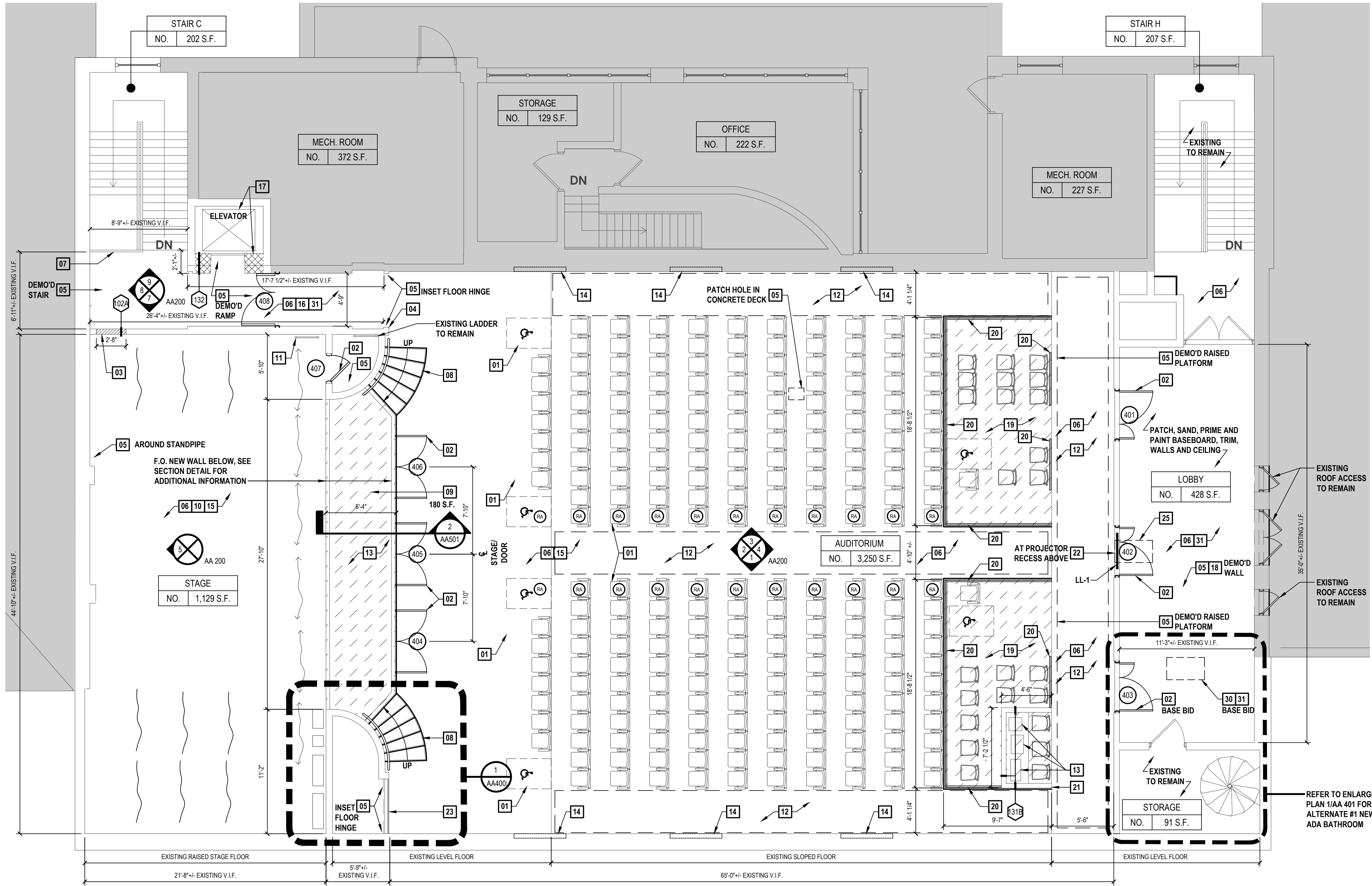
66-04-04-03-0-001-036

CONTRACT
**CONTRACT G
GENERAL CONSTRUCTION**

STATUS
FINAL BID SET

SHEET TITLE
PARTITION TYPES

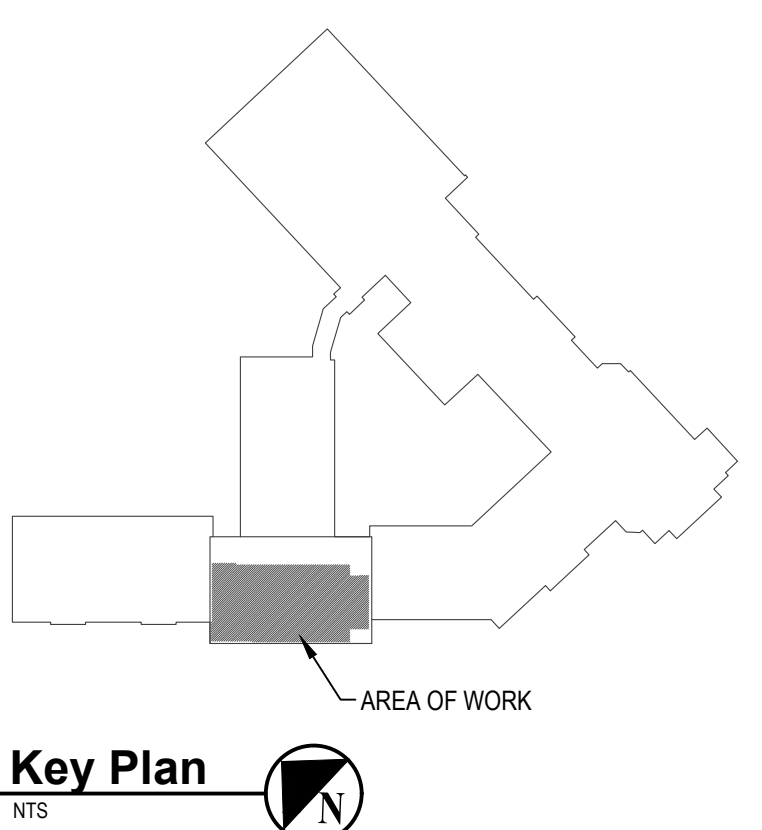
DRAWING No.
AA 100.00



1 Auditorium Floor Plan
SCALE: 3/16"=1'-0"

LOOSE LINTEL SCHEDULE			
MARK	SIZE	DETAIL	COMMENTS
LL-1	(2)L3 1/2x2 1/2x3/8 (LLBB)		SEE NOTES 1-5
LL-2	(2)L3 1/2x3 1/2x5/16		SEE NOTES 1-5
LL-3	L6x3 1/2x3/8 (SLBB) + L3 1/2x3 1/2x3/8 W/ PL 3/8" x 18" x M.O.		SEE NOTES 1-5
LL-4	L6x3 1/2x3/8 (SLBB) + L3 1/2x3 1/2x3/8 W/ PL 3/8" x 22" x M.O.		SEE NOTES 1-5

- LOOSE LINTEL NOTES:**
- ALL EXTERIOR LINTELS SHALL HAVE SHOP APPLIED HOT DIPPED GALVANIZED COATING, UNLESS OTHERWISE NOTED.
 - LINTEL LENGTHS SHALL BE THE MASONRY OPENING (M.O.) PLUS 1'-4" TO ALLOW FOR 8" BEARING ON SOLID GROUTED MASONRY AT EACH END.
 - WELD VERTICAL REINFORCEMENT INTERRUPTED BY MASONRY OPENINGS TO TOP OF STEEL LINTELS.
 - VERTICAL LEGS OF DOUBLE ANGLES SHALL BE WELDED TOGETHER.
 - FOR ALL LINTEL LOCATIONS REFER TO A _____.



- GENERAL WORK NOTES**
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL FEDERAL AND NEW YORK STATE APPLICABLE BUILDING AND LIFE AND SAFETY REGULATIONS.
 - BUILDING DIMENSIONS AND SQUARE FOOTAGE SHOWN ON THE DRAWINGS ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS FOR QUANTITY MATERIALS.
 - ACCOMMODATE THE CONSTRUCTION TO ACCEPT ALL PIPING, CONDUITS, EQUIPMENT, PANELS, ETC., EITHER SPECIFIED OR DETAILED TO BE RECESSED OR CONCEALED IN MASONRY AND FURRED WALLS, AS REQUIRED BY THIS CONTRACT OR CONTRACTS 'M', 'E' AND 'P'.
 - COORDINATE LOCATIONS OF RECESSED OR CONCEALED ITEMS DETAILED OR SPECIFIED WITH CONTRACTS 'M', 'E' AND 'P'.
 - ALL ITEMS DETAILED OR SPECIFIED TO RUN IN OR ATTACHED TO WALLS AND CEILINGS ARE TO BE CONCEALED OR RECESSED U.N.O.
 - FOR ALL DOORS DENOTED AS (XXX), SEE DRAWING AA 600 FOR ADDITIONAL INFORMATION.
 - ALL NEW PARTITION WALLS SHALL BE CONSTRUCTED PER THE NOMINAL STUD PARTITION DETAILS ON DRAWING AA 100
 - FOR ALL SURFACES WHERE EXISTING ITEMS AND/OR CONSTRUCTION IS REMOVED INCLUDING BUT NOT LIMITED TO EQUIPMENT, CASEWORK, TRIM, BLOCK, DEVICES, ETC.; ALL SURFACES SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING ADJACENT CONSTRUCTION AND FINISH.
 - FOR ALL LOCATIONS WHERE EXISTING WOOD TRIM IS SCHEDULED TO REMAIN, ALL SURFACES SHALL BE PATCHED, SANDED, CLEANED, AND PAINTED AS SPECIFIED.
 - FOR ALL LOCATIONS WHERE NEW PARTITIONS ARE CONSTRUCTED PROVIDE WALL BASE TO MATCH EXISTING SIZE AND PROFILE.

KEY WORK NOTES

- NEW AUDITORIUM SEATING W/ RETRACTABLE TABLE TABLES WITH (4) ADA COMPLIANT WHEELCHAIR SPACES. DISTRICT SHALL PURCHASE SEATING. DISTRICT'S VENDOR TO PROVIDE AND INSTALL SEATING. CONTRACTOR TO COORDINATE SCHEDULE OF WORK AND INSTALLATION W/ SEATING VENDOR
- INSTALL NEW DOOR, DOOR JAMB AND HARDWARE. REFER TO DOOR SCHEDULE ON AA 600 FOR ADDITIONAL INFORMATION
- INFILL WALL OPENING W/ MATERIALS MATCHING EXISTING WALL CONSTRUCTION. CMU BLOCK TO BE TOOTHED INTO EXISTING CMU WALL. PROVIDE SEAMLESS PATCH, PRIME AND PAINT WALL. REFER TO INTERIOR ELEVATIONS ON AA 200 FOR ADDITIONAL INFORMATION
- NEW CASSED OPENING. SEE INTERIOR ELEVATIONS FOR FINISHED CASSED OPENING SIZE
- PATCH SOLID HARDWOOD FLOOR AND STAGGER JOINTS TO PROVIDE SEAMLESS FINISH W/ SURROUNDING FLOOR
- CONTRACTOR 'G' TO FILL ALL CRACKS, DENTS, HOLES AND HOLES LEFT BY THE REMOVAL OF THE EXISTING SEATING IN EXISTING SOLID HARDWOOD FLOORING W/ WOOD FILLER. CONTRACTOR TO SAND FLOOR SMOOTH, FREE OF IMPERFECTIONS LIKE CHATTER, WAVES AND DRUM / SWIRL MARKS. REFER TO NWFA WOOD FLOORING SAND AND FINISH GUIDELINES FOR PROPER SANDING PROCESSES. PROVIDE (2) COATS STAIN MIN. OR COATING PER MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT. PROVIDE (2) COATS POLYURETHANE. CONTRACTOR TO PROVIDE 4" X 4" ONSITE MOCK UP OF FINISHED STAIN SAMPLES FOR THE DISTRICT TO REVIEW AND APPROVE. ONSITE SAMPLE LOCATION TO BE SELECTED BY OWNER / ARCHITECT
- PATCH ANY VOIDS, SAND, PRIME AND PAINT EXISTING METAL GUARDRAIL
- NEW CURVED HARDWOOD STAIRS TO STAGE AND PROVIDE CURVED HARDWOOD HANDRAIL FOR EACH STAIR MOUNTED TO CURVED WALL. SEE DETAIL 3/AA 400
- NEW 3/4" HARDWOOD FLOOR W/ STAIN AND 2 COATS OF POLY OVER 3/4" CDX PLYWOOD SUBFLOOR OVER EXISTING 2x 4 SLEEPERS ON FLAT SPACED 12" O.C. OVER EXISTING CONCRETE SLAB AND NEW UNDER STAGE STORAGE SPACE FRAMING. PROVIDE NEW STORAGE SPACE SLEEPERS, SUBFLOOR, FINISH FLOOR AND FRAMING AND WOOD PANELING. SEE SECTION DETAIL 2/AA 501
- REINSTALL ALL EXISTING STAGE EQUIPMENT. CONTRACTOR TO MOUNT / HANG ALL EQUIPMENT AT ORIGINALLY PLACED HEIGHTS AND LOCATIONS. PROVIDE, COORDINATE AND INSTALL ALL REQUIRED BLOCKING
- NEW PAINTED METAL LADDER AND GUARDRAIL
- INSTALL NEW CARPET TILE RUNNERS IN AISLES. CONTRACTOR TO PROVIDE 12" X 12" MIN. SAMPLES FOR THE DISTRICT TO CHOOSE FROM. COORDINATE FLOOR PATTERN WITH ARCHITECT / OWNER
- DISTRICT TO PURCHASE AV EQUIPMENT. DISTRICT'S AV VENDOR TO SUPPLY AND INSTALL AV EQUIPMENT. CONTRACTOR 'G' TO PROVIDE BLOCKING AS REQUIRED FOR NEW EQUIPMENT. CONTRACTOR 'G' TO COORDINATE REQUIREMENTS W/ AV VENDOR
- NEW CUSTOM REMOVABLE METAL RADIATOR COVERS. PROVIDE NEW HEAT SHIELD IN RADIATOR CAVITY. SEE DETAIL 7/AA 501
- PATCH AND REPAIR LOOSE AND CRACKED 1" PLASTER WALLS AND CEILING. SAND, PRIME AND PAINT. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
- PATCH, PRIME AND PAINT GYPSUM BOARD WALLS. PROVIDE NEW SHEETS OF GYPSUM BOARD WHERE DAMAGE IS TOO EXTENSIVE TO PATCH. SEE INTERIOR ELEVATIONS ON AA 200 FOR ADDITIONAL INFORMATION
- CONTRACTOR 'G' SHALL COORDINATE ALL ELEVATOR WORK W/ ELEVATOR MANUFACTURER. ELEVATOR MANUFACTURER TO ADJUST ELEVATOR STOP HEIGHT, INSTALL ELEVATOR DOOR AND ALL RELATED DOOR OPERATING EQUIPMENT. CONTRACTOR 'G' SHALL INFILL MASONRY SHAFT WALL AS REQUIRED BY NEW DOOR LOCATION. FINISHED ELEVATOR DOOR, JAMB AND SADDLE, RUN FINISH FLOOR TO NEW ELEVATOR DOOR SADDLE AND PATCH WALL USING METAL STUDS AND GYPSUM BOARD. (1HR FIRE RESISTANT MIN. GYPSUM BOARD) CONTRACTOR TO PRIME AND PAINT WALLS
- PATCH AND REPAIR LOOSE AND CRACKED 1" PLASTER WALLS AND CEILING WHERE WALL CONNECTIONS WERE MADE. CEILING PATCH TO MATCH EXISTING CEILING PROFILE. PROVIDE SEAMLESS PATCH TO SURROUNDING AREA. PRIME AND PAINT WALLS, WOOD BASE BOARD AND CEILING
- NEW FLAT SEATING AREA. FINISH FLOOR TO BE ALIGNED W/ EXISTING FINISH FLOOR AT REAR OF AUDITORIUM. FLOOR CONSTRUCTION: NEW HARDWOOD FLOOR, 3/4" STRIP OAK, PLANK WIDTH TO MATCH EXISTING FLOORING PLANK WIDTH, OVER 3/4" PLYWOOD SUBFLOOR OVER 2x4 PRESSURE TREATED WOOD SLEEPERS, ON FLAT, SET AT 12" O.C. OVER NEW LIGHT WEIGHT CONCRETE PAD. SEE STRUCTURAL PLANS FOR CONCRETE PAD INFORMATION
- PROVIDE NEW GUARDRAIL AT FLAT SEATING AREA. SEE INTERIOR ELEVATION 6/AA 200
- NEW HALF WALL AT AV CONTROL BOOTH. SEE DETAILS ON SHEET AA500.00
- PROVIDE NEW STEEL LINTEL. SEE LINTEL SCHEDULE FOR ADDITIONAL INFORMATION
- (2) NEW REMOVABLE LOUVER LOCATIONS FOR EXISTING HVAC DUCT WORK. (1) TAPED IN FRAME-LESS LOUVER ABOVE PANELING, (1) LOUVER LOCATION INTEGRATED INTO NEW WOOD WALL PANELING. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
- NOT USED.
- NEW GYPSUM BOARD RECESS PROJECTOR ALCOVE SET IN HVAC PLENUM OVER LOBBY. ONCE ALL PROJECTOR RELATED ITEMS ARE COMPLETE, CONTRACTOR TO PATCH CEILING ACCESS. PROVIDE SEAMLESS 1" PLASTER AND METAL LATHE PATCH IN CEILING. CEILING PATCH TO MATCH EXISTING CEILING PROFILE AND BE PRIMED AND PAINTED
- PROVIDE NEW 42" TALL GUARDRAIL AS SHOWN ON INTERIOR ELEVATIONS AA 200
- EXISTING EXPOSED CONCRETE DECK TO REMAIN
- INFILL ROUGH OPENING W/ 6" CMU BLOCK AND 1" PLASTER TO MATCH EXISTING WALL CONSTRUCTION. CMU BLOCK TO BE TOOTHED INTO EXISTING CMU WALL. PROVIDE SEAMLESS PATCH, PRIME AND PAINT WALL. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
- DISTRICT TO PURCHASE NEW RETRACTABLE PROJECTION SCREEN. DISTRICT'S AV VENDOR TO PROVIDE AND INSTALL. CONTRACTOR 'G' TO PROVIDE BLOCKING / HANGING REQUIREMENTS FOR ALL AV EQUIPMENT. CONTRACTOR TO COORDINATE W/ AV VENDOR
- PROVIDE SEAMLESS PATCH TO MATCH EXISTING. 1" PLASTER CEILING OVER METAL LATHE AND FRAME. SAND, PRIME AND PAINT
- CONTRACTOR 'G' SHALL PATCH 1" PLASTER CEILING AROUND NEW HVAC AND ELECTRICAL PENETRATIONS. REFER TO 'M' AND 'E' DRAWINGS FOR ADDITIONAL INFORMATION

NEW WORK LEGEND

	ROOM NUMBER DESIGNATION TAG		INTERIOR ELEVATION TAG
	DOOR TAG		KEYED NOTE INDICATOR
	NEW DOOR AND FRAME		WALL TO BE INFILLED
	WALL TYPE TAG		EXISTING SMOKE DETECTORS SEE 'E' DWGS. FOR ADDITIONAL INFORMATION.
	RETRACTABLE ARMREST		NEW HARDWOOD FLOORING
	SECTION CUT TAG		

2700 Westchester Ave., Suite 415
Purchase, NY 10577
914.359.5623 • www.h2m.com

CONSULTANTS:

MARK	DATE	DESCRIPTION
	07-23-2021	FINAL BID DOCUMENT

MARK	DATE	DESCRIPTION
	07-23-2021	FINAL BID DOCUMENT

REGISTERED ARCHITECT
GUY YVON PAGE
STATE OF NEW YORK
022713

DESIGNED BY: TWD | DRAWN BY: RLB | CHECKED BY: TWD | REVIEWED BY: GYP
PROJECT NO: HHSD 1905 | DATE: JULY 2021 | SCALE: AS NOTED

Hastings-on-Hudson Union Free School District

Auditorium Renovations at Farragut Middle School



27 Farragut Avenue
Hastings-on-Hudson, NY 10706
66-04-04-03-0-001-036

CONTRACT G GENERAL CONSTRUCTION

FINAL BID SET

AUDITORIUM FLOOR PLAN

DRAWING NO. **AA 101.00**

CONSULTANTS:

MARK	DATE	DESCRIPTION
	07-23-2021	FINAL BID DOCUMENT

DESIGNED BY: TWD
DRAWN BY: RLB
CHECKED BY: TWD
REVIEWED BY: GYP
PROJECT NO.: HHSD 1905
DATE: JULY 2021
SCALE: AS NOTED

CLIENT: **Hastings-on-Hudson Union Free School District**

27 Farragut Avenue
Hastings-on-Hudson, NY 10706

66-04-04-03-0-001-036

CONTRACT: **CONTRACT G
GENERAL CONSTRUCTION**

STATUS: **FINAL BID SET**

SHEET TITLE: **AUDITORIUM REFLECTED CEILING PLAN**

DRAWING NO.: **AA 103.00**



KEY WORK NOTES

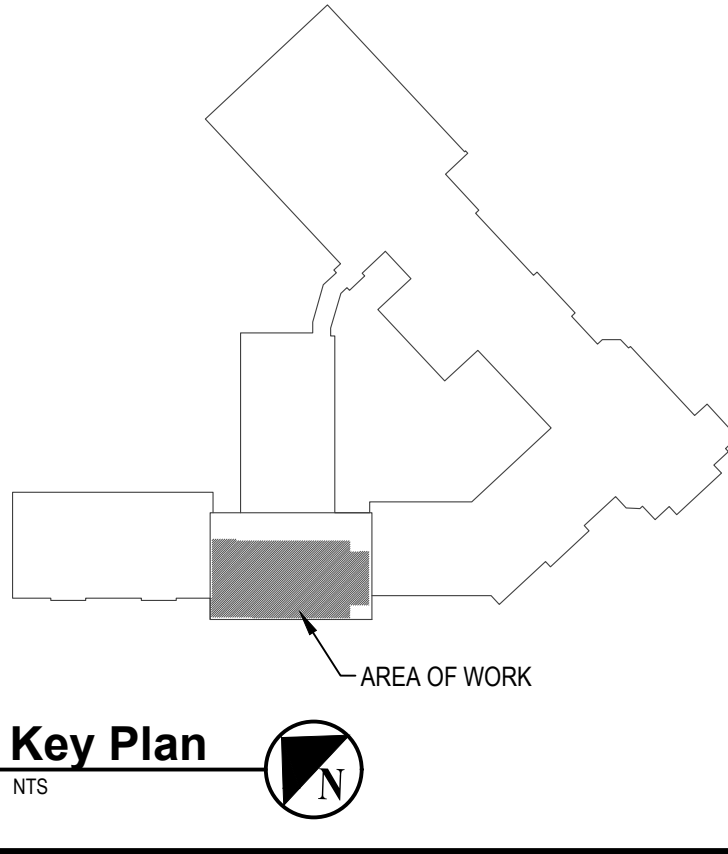
- NEW AUDITORIUM SEATING W/ RETRACTABLE TABLE TABLES WITH (4) ADA COMPLIANT WHEELCHAIR SPACES. DISTRICT SHALL PURCHASE SEATING. DISTRICT'S VENDOR TO PROVIDE AND INSTALL SEATING. CONTRACTOR TO COORDINATE SCHEDULE OF WORK AND INSTALLATION W/ SEATING VENDOR
- INSTALL NEW DOOR, DOOR JAMB AND HARDWARE. REFER TO DOOR SCHEDULE ON AA 600 FOR ADDITIONAL INFORMATION
- INFILL WALL OPENING W/ MATERIALS MATCHING EXISTING WALL CONSTRUCTION. CMU BLOCK TO BE TOOTHED INTO EXISTING CMU WALL. PROVIDE SEAMLESS PATCH. PRIME AND PAINT WALL. REFER TO INTERIOR ELEVATIONS ON AA 200 FOR ADDITIONAL INFORMATION
- NEW CASED OPENING. SEE INTERIOR ELEVATIONS FOR FINISHED CASED OPENING SIZE
- PATCH SOLID HARDWOOD FLOOR AND STAGGER JOINTS TO PROVIDE SEAMLESS FINISH W/ SURROUNDING FLOOR
- CONTRACTOR 'G' TO FILL ALL CRACKS, DENTS, HOLES AND HOLES LEFT BY THE REMOVAL OF THE EXISTING SEATING IN EXISTING SOLID HARDWOOD FLOORING W/ WOOD FILLER. CONTRACTOR TO SAND FLOOR SMOOTH, FREE OF IMPERFECTIONS LIKE CHATTER, WAVES AND DRUM / SWIRL MARKS. REFER TO NAWFA WOOD FLOORING SAND AND FINISH GUIDELINES FOR PROPER SANDING PROCESSES. PROVIDE (2) COATS STAIN MIN. OR COATING PER MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT. PROVIDE 2 COATS POLYURETHANE. CONTRACTOR TO PROVIDE 4' X 4' ONSITE MOCK UP OF FINISHED STAIN SAMPLES FOR THE DISTRICT TO REVIEW AND APPROVE. ONSITE SAMPLE LOCATION TO BE SELECTED BY OWNER / ARCHITECT
- PATCH ANY VOIDS, SAND, PRIME AND PAINT EXISTING METAL GUARDRAIL
- NEW CURVED HARDWOOD STAIRS TO STAGE. SEE DETAILS 2/AA 400 AND 3/AA 400 FOR ADDITIONAL INFORMATION. PROVIDE CURVED HARDWOOD HANDRAIL FOR EACH STAIR MOUNTED TO CURVED WALL. SEE DETAIL 2/AA 500.
- NEW TONGUE AND GROOVE HARDWOOD FLOOR OVER ACOUSTICAL UNDERLAYMENT AND 3/4" CDX PLYWOOD SUBFLOOR. MATCH FINISH OF EXISTING STAGE FLOOR TO REMAIN.
- REINSTALL ALL EXISTING STAGE EQUIPMENT. CONTRACTOR TO MOUNT / HANG ALL EQUIPMENT AT ORIGINALLY PLACED HEIGHTS AND LOCATIONS. PROVIDE, COORDINATE AND INSTALL ALL REQUIRED BLOCKING
- NEW PAINTED METAL LADDER AND GUARDRAIL
- INSTALL NEW CARPET TILE RUNNERS IN AISLES. CONTRACTOR TO PROVIDE 12" X 12" MIN. SAMPLES FOR THE DISTRICT TO CHOOSE FROM. COORDINATE FLOOR PATTERN WITH ARCHITECT / OWNER
- CONTRACTOR TO PURCHASE AV EQUIPMENT. DISTRICT'S AV VENDOR TO SUPPLY AND INSTALL AV EQUIPMENT. CONTRACTOR 'G' TO PROVIDE BLOCKING AS REQUIRED FOR NEW EQUIPMENT. CONTRACTOR 'G' TO COORDINATE REQUIREMENTS W/ AV VENDOR. SEE EA 200 FOR ADDITIONAL INFORMATION.
- NEW CUSTOM REMOVABLE METAL RADIATOR COVERS. PROVIDE NEW HEAT SHIELD IN RADIATOR CAVITY. SEE DETAIL 7/AA 501
- PATCH AND REPAIR LOOSE AND CRACKED 1" PLASTER WALLS AND CEILING. SAND, PRIME AND PAINT. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
- PATCH, PRIME AND PAINT GYPSUM BOARD WALLS. PROVIDE NEW SHEETS OF GYPSUM BOARD WHERE DAMAGE IS TOO EXTENSIVE TO PATCH. SEE INTERIOR ELEVATIONS ON AA 200 FOR ADDITIONAL INFORMATION
- CONTRACTOR 'G' SHALL COORDINATE ALL ELEVATOR WORK W/ ELEVATOR MANUFACTURER. ELEVATOR MANUFACTURER TO ADJUST ELEVATOR STOP HEIGHT, INSTALL ELEVATOR DOOR AND ALL RELATED DOOR OPERATING EQUIPMENT. CONTRACTOR 'G' SHALL INFILL MASONRY SHAFT WALL AS REQUIRED BY NEW DOOR LOCATION, FINISHED ELEVATOR DOOR JAMB AND SADDLE, RUN FINISH FLOOR TO NEW ELEVATOR DOOR SADDLE AND PATCH WALL USING METAL STUDS AND GYPSUM BOARD. (1HR FIRE RESISTANT MIN. GYPSUM BOARD) CONTRACTOR TO PRIME AND PAINT WALLS
- PATCH AND REPAIR LOOSE AND CRACKED 1" PLASTER WALLS AND CEILING WHERE WALL CONNECTIONS WERE MADE. CEILING PATCH TO MATCH EXISTING CEILING PROFILE. PROVIDE SEAMLESS PATCH TO SURROUNDING AREA. PRIME AND PAINT WALLS. WOOD BASE BOARD AND CEILING
- NEW FLAT SEATING AREA. FINISH FLOOR TO BE ALIGNED W/ EXISTING FINISH FLOOR AT REAR OF AUDITORIUM. FLOOR CONSTRUCTION: 3/4 TONGUE AND GROOVE OAK HARDWOOD FLOOR, PLANK WIDTH TO MATCH EXISTING FLOORING PLANK WIDTH, OVER ACOUSTICAL UNDERLAYMENT AND 3/4 CDX PLYWOOD SUBFLOOR OVER WOOD JOISTS AT 16" O.C. SEE STRUCTURAL PLANS FOR PLATFORM INFORMATION.
- PROVIDE NEW GUARDRAIL AT FLAT SEATING AREA. SEE INTERIOR ELEVATION 6/AA 200
- NEW HALF WALL AT AV CONTROL BOOTH. SEE DETAIL 7/ AA500.00
- PROVIDE NEW STEEL LINTEL. SEE LINTEL SCHEDULE ON SHEET AA101 FOR ADDITIONAL INFORMATION
- (2) NEW REMOVABLE LOUVER LOCATIONS FOR EXISTING HVAC DUCT WORK. (1) TAPED IN FRAME-LESS LOUVER ABOVE PANELING, (1) LOUVER LOCATION INTEGRATED INTO NEW WOOD WALL PANELING. SEE INTERIOR ELEVATIONS AND DETAILS ON AA 500 FOR ADDITIONAL INFORMATION.
- NOT USED.
- NEW GYPSUM BOARD RECESS PROJECTOR ALCOVE SET IN HVAC PLENUM OVER LOBBY. ONCE ALL PROJECTOR RELATED ITEMS ARE COMPLETE, CONTRACTOR TO PATCH CEILING ACCESS. PROVIDE SEAMLESS 1" PLASTER AND METAL LATHE PATCH IN CEILING. CEILING PATCH TO MATCH EXISTING CEILING PROFILE AND BE PRIMED AND PAINTED
- PROVIDE NEW 42" TALL GUARDRAIL AS SHOWN ON INTERIOR ELEVATIONS AA 200
- EXISTING EXPOSED CONCRETE DECK TO REMAIN
- INFILL ROUGH OPENING W/ 6" CMU BLOCK AND 1" PLASTER TO MATCH EXISTING WALL CONSTRUCTION. CMU BLOCK TO BE TOOTHED INTO EXISTING CMU WALL. PROVIDE SEAMLESS PATCH. PRIME AND PAINT WALL. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
- DISTRICT TO PURCHASE NEW RETRACTABLE PROJECTION SCREEN. DISTRICT'S AV VENDOR TO PROVIDE AND INSTALL. CONTRACTOR 'G' TO PROVIDE BLOCKING / HANGING REQUIREMENTS FOR ALL AV EQUIPMENT. CONTRACTOR TO COORDINATE W/ AV VENDOR
- PROVIDE SEAMLESS PATCH TO MATCH EXISTING. 1" PLASTER CEILING OVER METAL LATHE AND FRAME. SAND, PRIME AND PAINT
- CONTRACTOR 'G' SHALL PATCH 1" PLASTER CEILING AROUND NEW HVAC AND ELECTRICAL PENETRATIONS. REFER TO 'M' AND 'E' DRAWINGS FOR ADDITIONAL INFORMATION

NEW WORK LEGEND

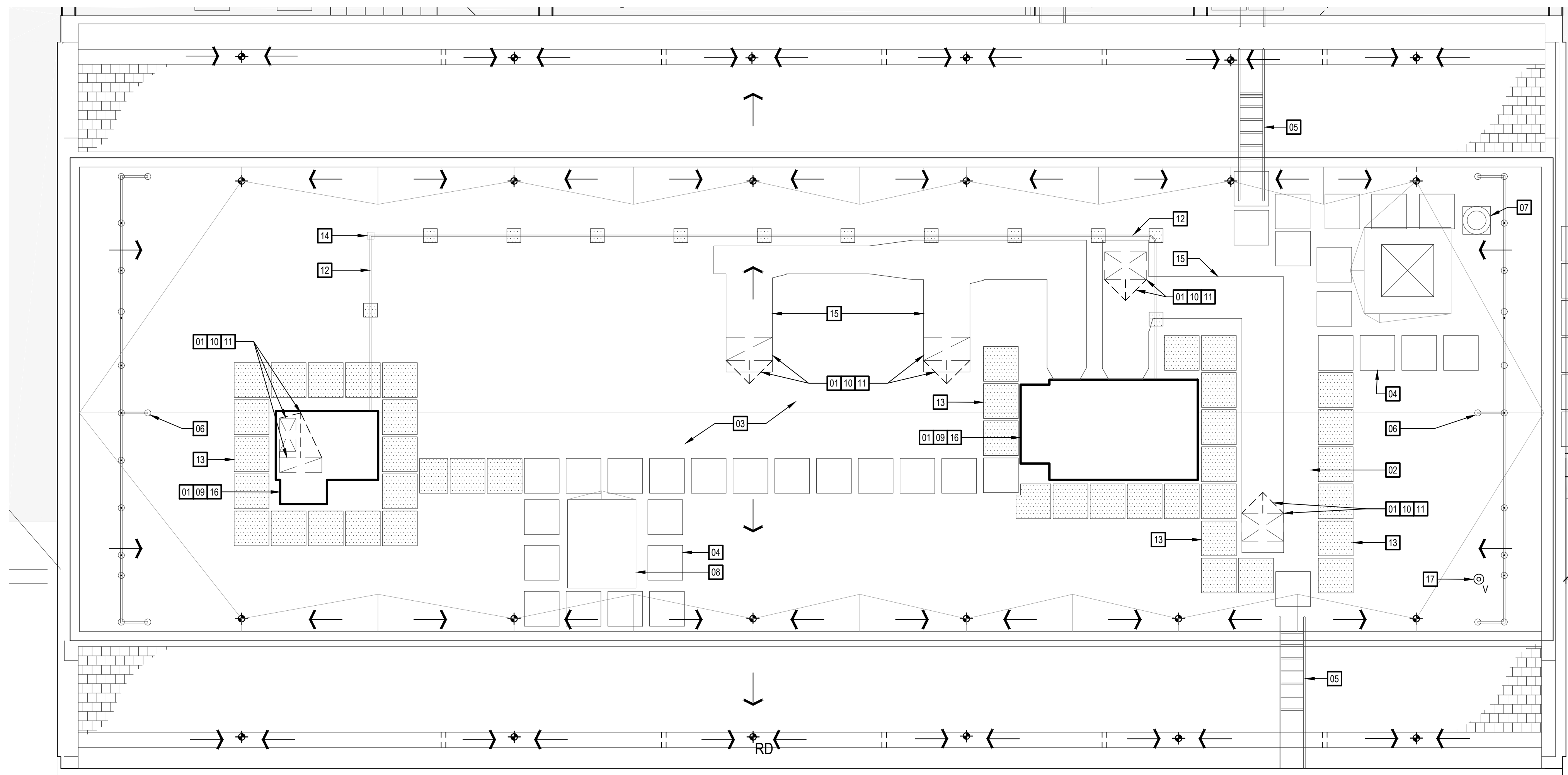
ROOM NO. ± S.F.	ROOM NUMBER DESIGNATION TAG	AXX	INTERIOR ELEVATION TAG
○	DOOR TAG	#	KEYED NOTE INDICATOR
⌒	NEW DOOR AND FRAME	■	WALL TO BE INFILLED
W2	WALL TYPE TAG	S	EXISTING SMOKE DETECTORS, SEE 'E' DWGS. FOR ADDITIONAL INFORMATION.
⊗	RETRACTABLE ARMREST		
⊚	SECTION CUT TAG		

GENERAL WORK NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL AND NEW YORK STATE BUILDING AND LIFE SAFETY REGULATIONS.
- BUILDING DIMENSIONS AND SQUARE FOOTAGE SHOWN ON THE DRAWINGS ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS FOR QUANTITY MATERIALS.
- ACCOMMODATE THE CONSTRUCTION TO ACCEPT ALL PIPING, CONDUITS, EQUIPMENT, PANELS, ETC., EITHER SPECIFIED OR DETAILED TO BE RECESSED OR CONCEALED IN MASONRY AND FURRED WALLS, AS REQUIRED BY THIS CONTRACT OR CONTRACTS 'M', 'E' AND 'P'.
- COORDINATE LOCATIONS OF RECESSED OR CONCEALED ITEMS DETAILED OR SPECIFIED WITH CONTRACTS 'M' AND 'E'.
- ALL ITEMS DETAILED OR SPECIFIED TO RUN IN OR ATTACHED TO WALLS AND CEILINGS ARE TO BE CONCEALED OR RECESSED U.N.O.
- FOR ALL DOORS DENOTED AS XXX, SEE DRAWING AA 600 FOR ADDITIONAL INFORMATION.
- ALL NEW PARTITION WALLS SHALL BE CONSTRUCTED PER THE NOMINAL STUD PARTITION DETAILS ON DRAWING AA 100
- FOR ALL SURFACES WHERE EXISTING ITEMS AND/OR CONSTRUCTION IS REMOVED INCLUDING BUT NOT LIMITED TO EQUIPMENT, CASEWORK, TRIM, BLOCK, DEVICES, ETC.; ALL SURFACES SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING ADJACENT CONSTRUCTION AND FINISH.
- FOR ALL LOCATIONS WHERE EXISTING WOOD TRIM IS SCHEDULED TO REMAIN, ALL SURFACES SHALL BE PATCHED, SANDED, CLEANED, AND PAINTED AS SPECIFIED.
- FOR ALL LOCATIONS WHERE NEW PARTITIONS ARE CONSTRUCTED PROVIDE WALL BASE TO MATCH EXISTING SIZE AND PROFILE.



1 Auditorium Reflected Ceiling Plan
SCALE: 3/16"=1'-0"



GENERAL ROOFING NOTES:

- THESE DRAWINGS SERVE AS A GRAPHIC REPRESENTATION OF THE INTENDED SCOPE OF WORK AND CONSTITUTE ONE PORTION OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN THESE DRAWINGS AND SPECIFICATIONS.
- THE INTENDED SCOPE OF WORK INCLUDES THE COMPLETE REMOVAL OF EXISTING ROOF SYSTEM WHERE NEW ROOF PENETRATIONS AND EQUIPMENT SUPPORTS ARE SHOWN ON 'M' & 'S' DRAWINGS. CONTRACTOR 'M' TO PROVIDE ROOF CURBS, CONTRACTOR 'G' TO INSTALL AND WATERPROOF. CONTRACTOR 'G' SHALL REMOVE ROOFING AS REQUIRED TO INTEGRATE NEW ROOFING MEMBRANES INTO THE EXISTING MEMBRANE SYSTEM AND PROVIDE WATERTIGHT INSTALLATION. CONTRACTOR 'G' SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIAL, LABOR, ROOFING ITEMS AND ACCESSORIES REQUIRED FOR INSTALLATION OF ROOFING WHETHER INDICATED ON THE DRAWINGS OR NOT.
- CONTRACTOR SHALL VERIFY THE LOCATIONS AND HEIGHTS OF ALL ROOF PENETRATIONS AND MECHANICAL EQUIPMENT CURBS. THE CONTRACTOR SHALL PROTECT, AT ALL TIMES, ALL EXISTING ROOF MOUNTED EQUIPMENT AND VENT STACKS. ANY DAMAGE ITEMS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE DISTRICT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES TO THE INTERIOR AND EXTERIOR OF THE BUILDING THAT RESULT FROM ROOFING INSTALLATION INCLUDING BUT NOT LIMITED TO CEILING TILE DAMAGE, WATER LEAKS, FURNITURE DAMAGE, EQUIPMENT DAMAGE, ETC.
- THE CONTRACTOR SHALL DISCONNECT / REMOVE AND RECONNECT / REINSTALL ALL EXISTING ROOF MOUNTED ELECTRICAL, MECHANICAL EQUIPMENT AND DEVICES AS REQUIRED FOR COMPLETION OF THE NEW WORK. THE CONTRACTOR SHALL HAVE A LICENSED PROFESSIONAL RE-CONNECT AND EXTEND ALL ELECTRICAL AND MECHANICAL CONNECTORS TO ENSURE EQUIPMENT IS IN PROPER WORKING ORDER.
- THE CONTRACTOR SHALL TEMPORARILY SUPPORT EXISTING PIPING/CONDUIT AS REQUIRED BY NEW WORK. THE CONTRACTOR SHALL BE REQUIRED TO PROTECT ALL EXISTING PIPING/CONDUIT. REMOVE AND REINSTALL AS NECESSARY FOR NEW WORK.
- ROOFING TAPER INDICATED ON PLAN IS EXISTING AND SHOWN IN APPROXIMATE LOCATIONS. CONTRACTOR SHALL VERIFY AND COORDINATE ACTUAL TAPER WITH NEW WORK. ROOF CANTS SHALL BE INSTALLED TO PROVIDE POSITIVE ROOF DRAINAGE AROUND NEW EQUIPMENT TO ROOF DRAINS.
- THE CONTRACTOR WILL NOT WALK ON OR OTHERWISE USE THE EXISTING ROOFS TO REMAIN AS STORAGE OR FOR THE REMOVAL OF ANY ROOFING BEING REPLACED.
- FOR ALL AREAS WHERE DAMAGED ROOF DECK IS IDENTIFIED DURING DEMOLITION, THE CONTRACTOR SHALL PROVIDE NEW ROOF DECKING TO MATCH EXISTING ADJACENT DECK CONSTRUCTION IN MATERIAL TYPE, THICKNESS AND PROFILE.
- THE CONTRACTOR SHALL PROTECT AND MAKE WEATHER TIGHT ALL AREAS EXPOSED AS A PART OF THE ROOFING DEMOLITION.
- UPON REMOVAL OF THE EXISTING ROOFING, THE CONTRACTOR SHALL INSPECT THE EXISTING DECK AND NOTIFY THE ARCHITECT OF ANY DAMAGED OR DETERIORATED CONDITIONS.
- THE CONTRACTOR SHALL DISPOSE OF ALL UNWANTED MATERIALS AND CONSTRUCTION DEBRIS OFF SITE IN ACCORDANCE WITH CONTRACT SPECIFICATIONS.
- THE USE OF OPEN CHUTES WILL NOT BE PERMITTED.

CONSULTANTS:

MARK	DATE	DESCRIPTION

07-23-2021 FINAL BID DOCUMENT

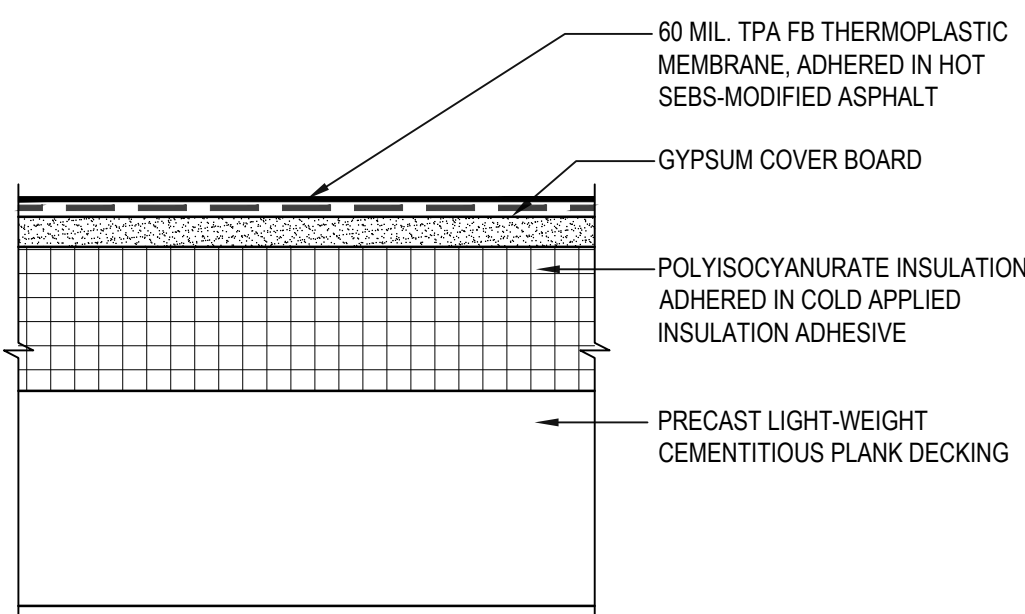
KEYED ROOFING WORK NOTES:

- DEMOLITION NOTES:**
- 01** CONTRACTOR 'G' TO COMPLETELY REMOVE AND DISPOSE OF EXISTING ROOFING SYSTEM INCLUDING ROOFING MEMBRANES, INSULATION, VAPOR BARRIER, MECHANICAL FASTENERS AND ALL DEVICES USED TO SECURE ROOFING IN PLACE DOWN TO EXISTING ROOF DECK AT NEW ROOF PENETRATIONS. SEE DETAIL 2/AA104 FOR EXISTING ROOFING ASSEMBLY. SAW CUT EXISTING ROOF DECK AS REQUIRED FOR NEW ROOF PENETRATIONS AND NEW EQUIPMENT SUPPORTS. SEE 'M' AND 'S' DRAWINGS FOR ADDITIONAL INFORMATION.
 - 02** CONTRACTOR 'G' TO REMOVE AND DISPOSE OF EXISTING WALKWAY PADS
- NEW WORK NOTES:**
- 03** EXISTING FINISH ROOF TO REMAIN U.N.O.
 - 04** EXISTING WALKWAY PADS TO REMAIN
 - 05** EXISTING METAL LADDER TO REMAIN
 - 06** EXISTING RAILING TO REMAIN
 - 07** EXISTING FAN TO REMAIN
 - 08** EXISTING AIR INTAKE TO REMAIN
 - 09** NEW RTU. SEE 'M' AND 'S' DRAWINGS FOR ADDITIONAL INFORMATION
 - 10** NEW ROOF MEMBRANE SHALL EXTEND A FULL 18" ALONG ALL ADJOINING VERTICAL SURFACES AS RECOMMENDED BY THE MANUFACTURER. CONTRACTOR 'G' SHALL VERIFY THE HEIGHTS AND LOCATIONS OF ALL EQUIPMENT AND ROOF PENETRATIONS PRIOR TO REMOVAL OF EXISTING ROOFING. CONTRACTOR 'G' SHALL BE RESPONSIBLE TO PROVIDE ALL LABOR AND MATERIALS AS REQUIRED TO INSTALL THE CURBS AND PIPE/CONDUIT PENETRATIONS TO MEET THE MINIMUM CODE REQUIREMENTS. NEW ROOF ASSEMBLY TO MATCH EXISTING. SEE DETAIL 2/AA104 FOR EXISTING ROOFING ASSEMBLY. SEE DETAIL 5/AA104 FOR NEW CURB DETAIL.
 - 11** CONTRACTOR 'G' SHALL PROVIDE CRICKETS AT ALL ROOF CURBS PER MANUFACTURER'S SPECIFICATIONS
 - 12** NEW CONDUIT/PIPE BY CONTRACTOR 'E'. CONTRACTOR 'G' TO PROVIDED NEW CONDUIT/PIPE SUPPORT AS DETAILED ON 3/AA104. CONTRACTOR 'G' SHALL PROVIDED WALKWAY PADS UNDER ALL PERMANENT CONDUIT/PIPE SUPPORTS
 - 13** THE CONTRACTOR 'G' SHALL PROVIDE WALKWAY PADS FROM EXISTING ROOFTOP LADDERS TO ALL HVAC EQUIPMENT. THE CONTRACTOR SHALL SUBMIT A PLAN FOR THE LOCATION OF ALL WALKWAY PADS TO THE ARCHITECT FOR REVIEW, PRIOR TO INSTALLATION. SEE DETAIL 6/AA104 FOR WALKWAY PAD DETAIL.
 - 14** CONTRACTOR 'G' TO PROVIDE NEW PITCH POCKET AT UTILITY ROOF PENETRATION, SEE DETAIL 4/AA104
 - 15** F.O. NEW ROOF TOP DUCT WORK. SEE 'M' DRAWINGS FOR ADDITIONAL INFORMATION
 - 16** CONTRACTOR 'G' TO COORDINATE WITH CONTRACTOR 'M' TO UTILIZE NEW ROOF PENETRATIONS AS ACCESS TO ATTIC TO BRING DUCTWORK IN.
 - 17** NEW PLUMBING VENT (ALTERNATE 1). SEE 'P' DRAWINGS FOR MORE INFORMATION.

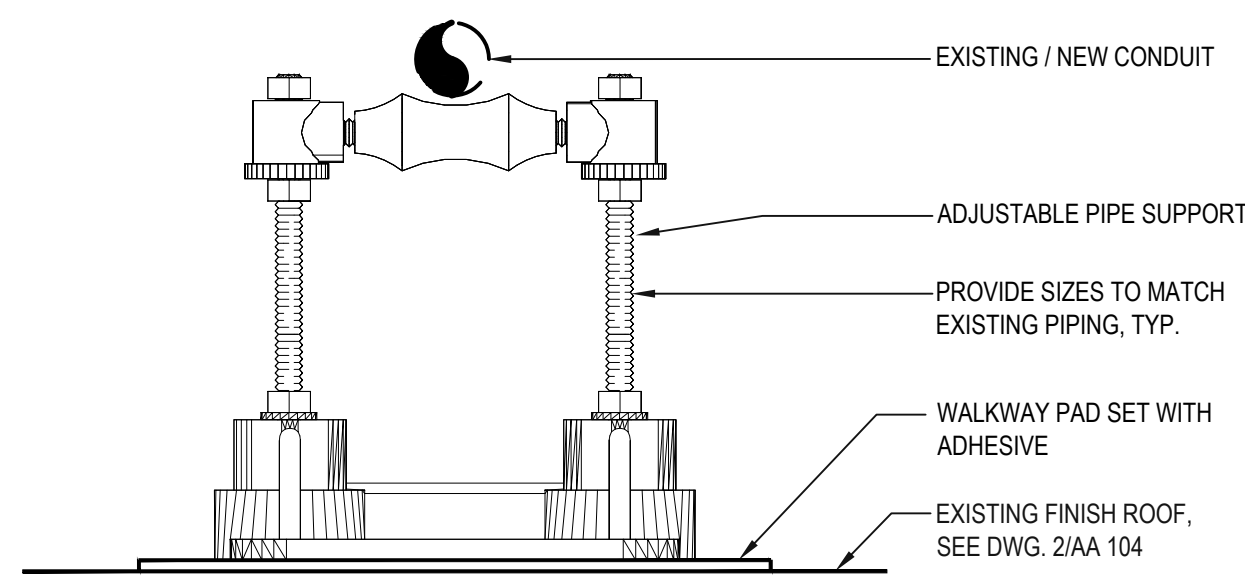
DESIGNED BY: TWD
DRAWN BY: RLB
CHECKED BY: TWD
REVIEWED BY: GYP

PROJECT NO.: HHSD 1905
DATE: JULY 2021
SCALE: AS NOTED

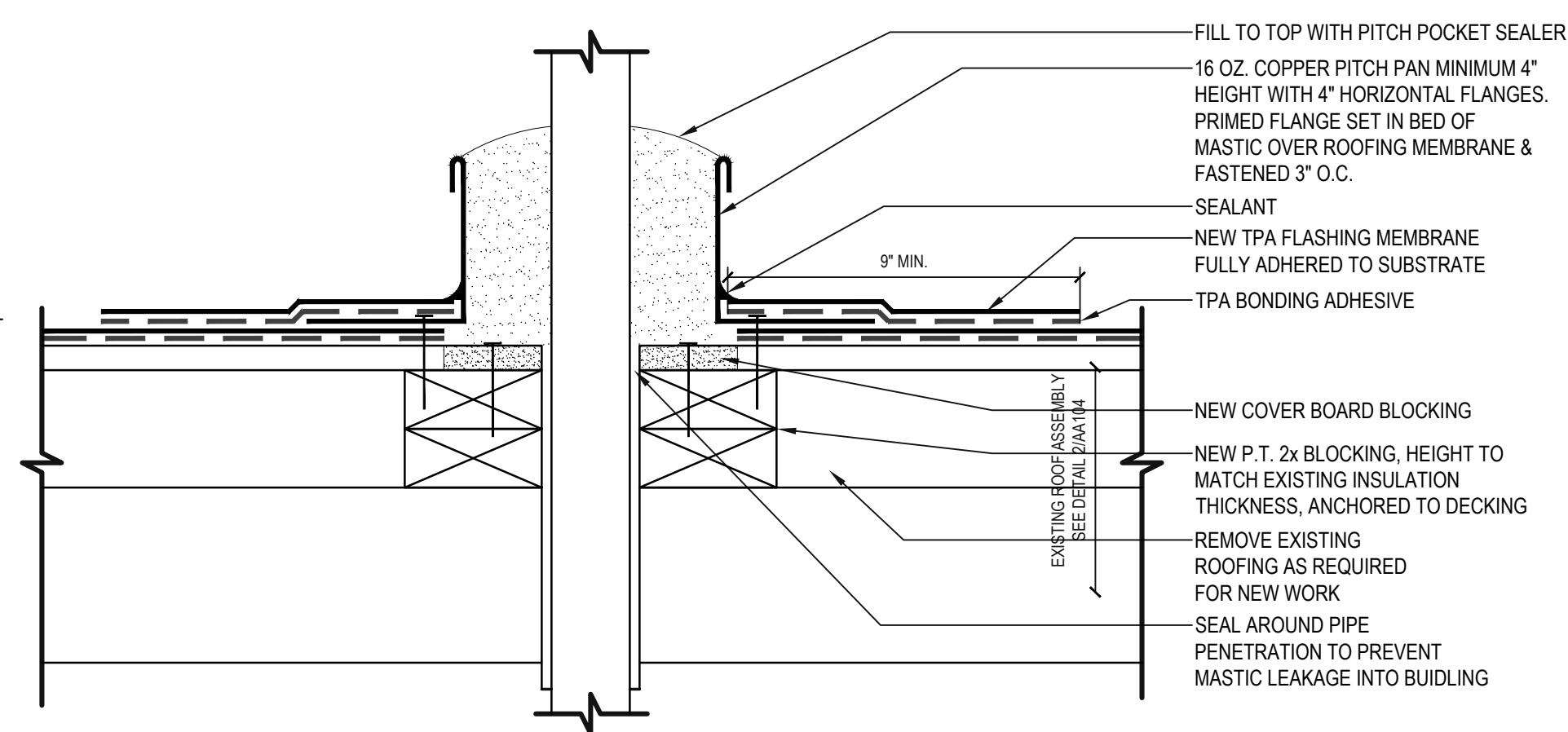
1 Auditorium Roof Plan SCALE: 3/16"=1'-0"



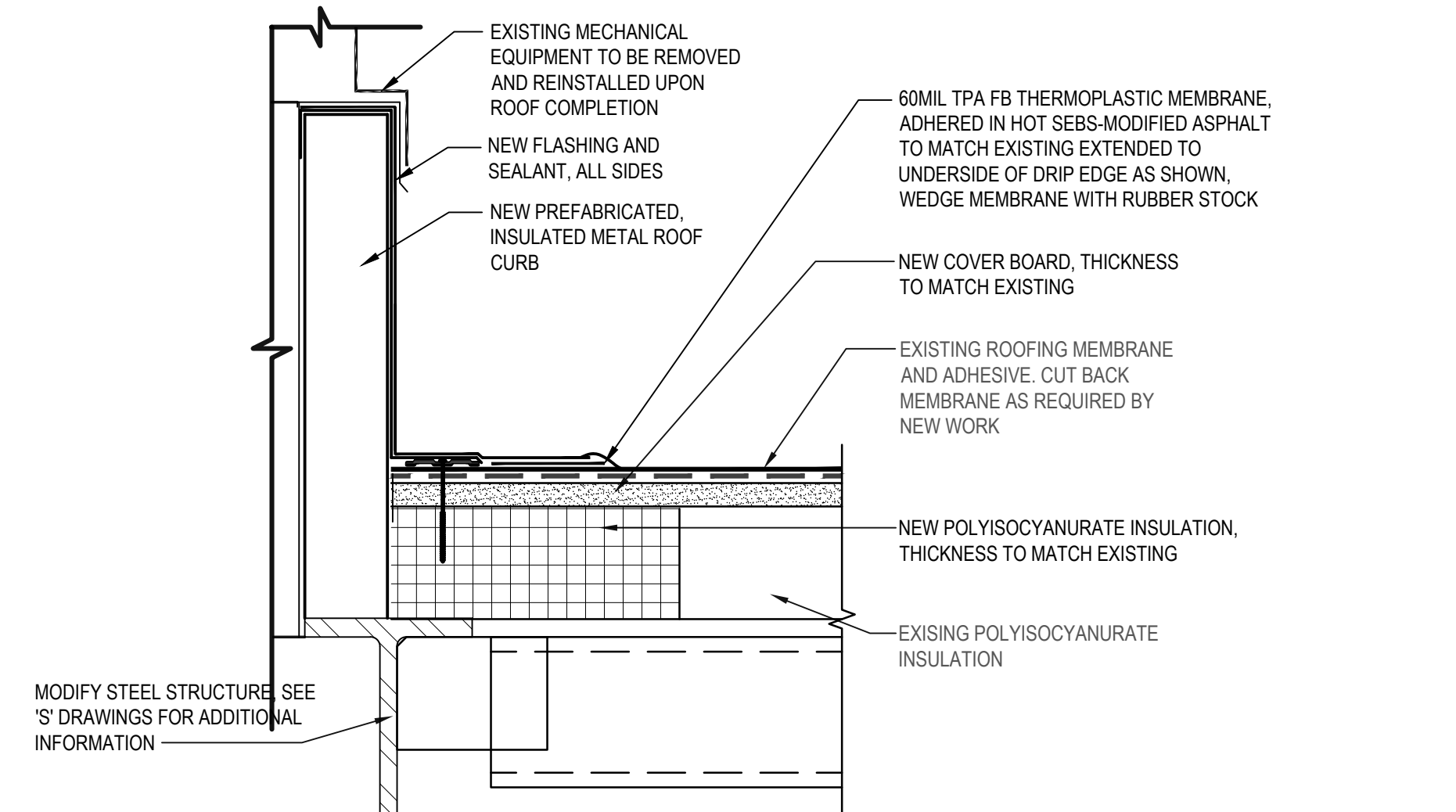
2 Existing Roof Assembly Detail SCALE: 3"=1'-0"



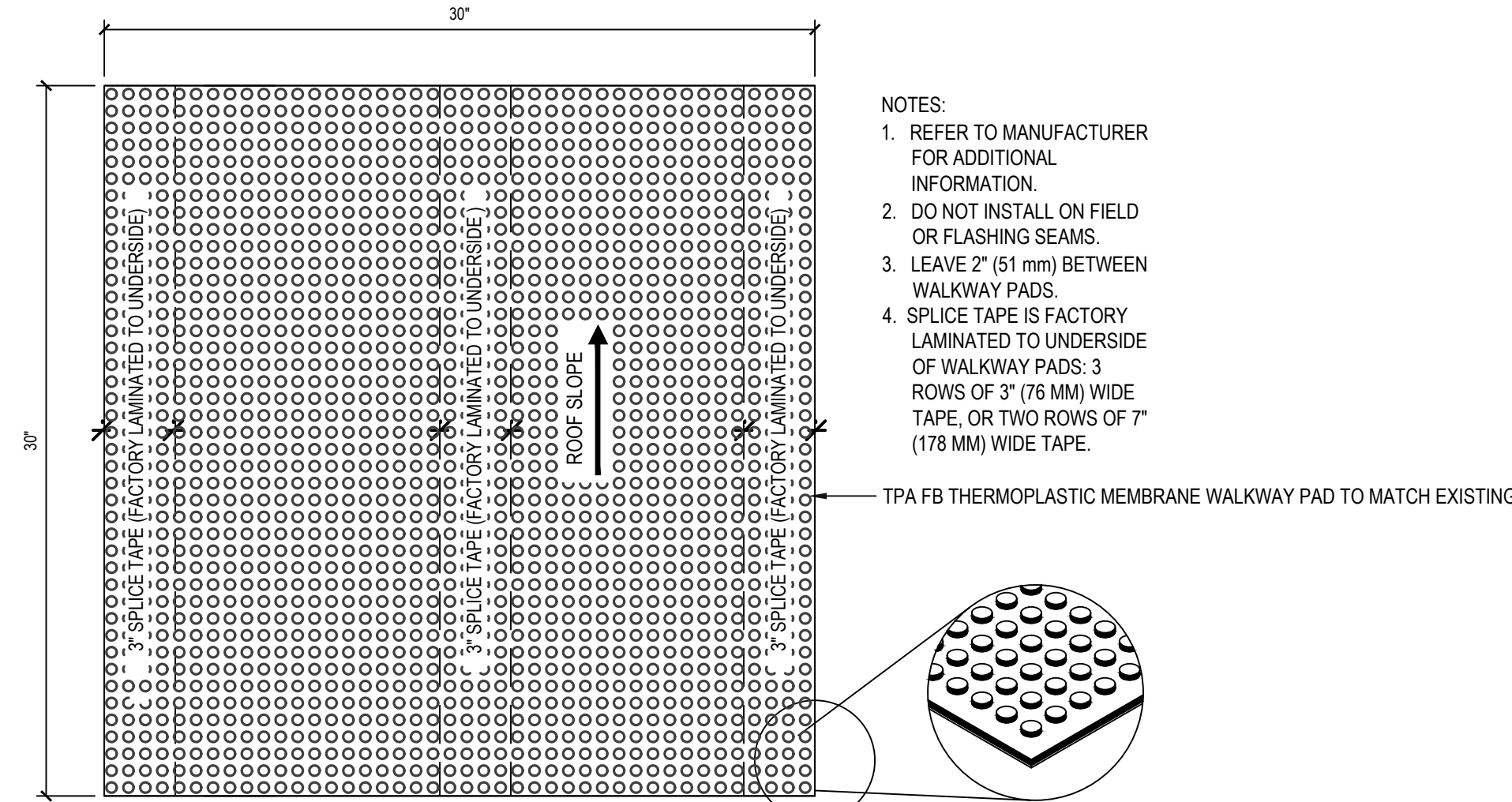
3 Typical Pipe Support Detail SCALE: 3"=1'-0"



4 Typical Pitch Pocket Detail SCALE: 3"=1'-0"



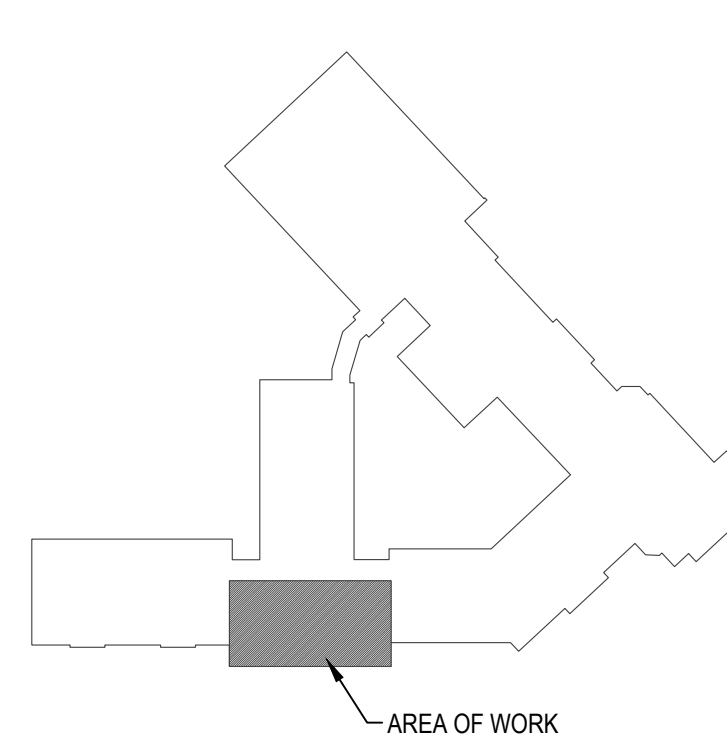
5 Curb Detail SCALE: 3"=1'-0"



6 Walkway Pad SCALE: N.T.S.

- NOTES:
- REFER TO MANUFACTURER FOR ADDITIONAL INFORMATION.
 - DO NOT INSTALL ON FIELD OR FLASHING SEAMS.
 - LEAVE 2" (51 mm) BETWEEN WALKWAY PADS.
 - SPLICE TAPE IS FACTORY LAMINATED TO UNDERSIDE OF WALKWAY PADS. 3 ROWS OF 3" (76 MM) WIDE TAPE, OR TWO ROWS OF 7" (178 MM) WIDE TAPE.

ROOFING LEGEND	
	EXISTING ROOF DRAIN TO REMAIN
	EXISTING PLUMBING VENT TO REMAIN
	EXISTING EXHAUST FAN & CURBS TO REMAIN
	NOT IN SCOPE
	EXISTING ROOF LADDER TO REMAIN
	EXISTING CHIMNEY TO REMAIN
	EXISTING ROOF MOUNTED GAS PIPING/CONDUIT TO REMAIN
	EXISTING FAN TO REMAIN
	EXISTING WALKWAY PAD TO REMAIN



CLIENT

**Hastings-on-Hudson
Union Free School
District**

Auditorium Renovations at
Farragut Middle School

27 Farragut Avenue
Hastings-on-Hudson, NY 10706

66-04-04-03-0-001-036

CONTRACT

**CONTRACT G
GENERAL CONSTRUCTION
CONTRACT M
HEATING VENTILATION AND AIR
CONDITIONING**

STATUS

FINAL BID SET

SHEET TITLE

AUDITORIUM ROOF PLAN

DRAWING NO.

AA 104.00

2700 Westchester Ave., Suite 415
Purchase, NY 10577
914.358.5623 • www.h2m.com

CONSULTANTS:

MARK	DATE	DESCRIPTION

MARK	DATE	DESCRIPTION

07-23-2021 FINAL BID DOCUMENT

REGISTERED ARCHITECT
GUY YVON PAGE
022713
STATE OF NEW YORK

DESIGNED BY: TWD | DRAWN BY: RLB | CHECKED BY: TWD | REVIEWED BY: GYP
PROJECT NO: HHSD 1905 | DATE: JULY 2021 | SCALE: AS NOTED

Hastings-on-Hudson Union Free School District

Auditorium Renovations at Farragut Middle School



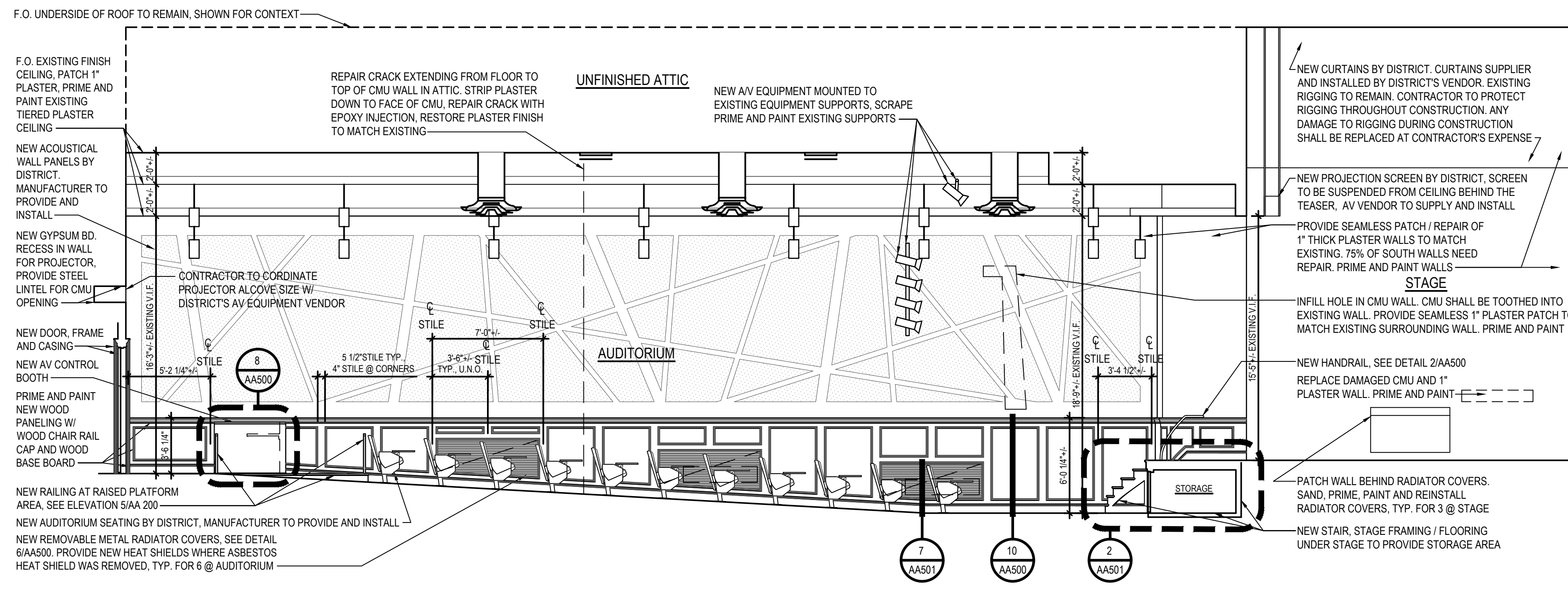
27 Farragut Avenue
Hastings-on-Hudson, NY 10706
66-04-04-03-0-001-036

CONTRACT
**CONTRACT G
GENERAL CONSTRUCTION**

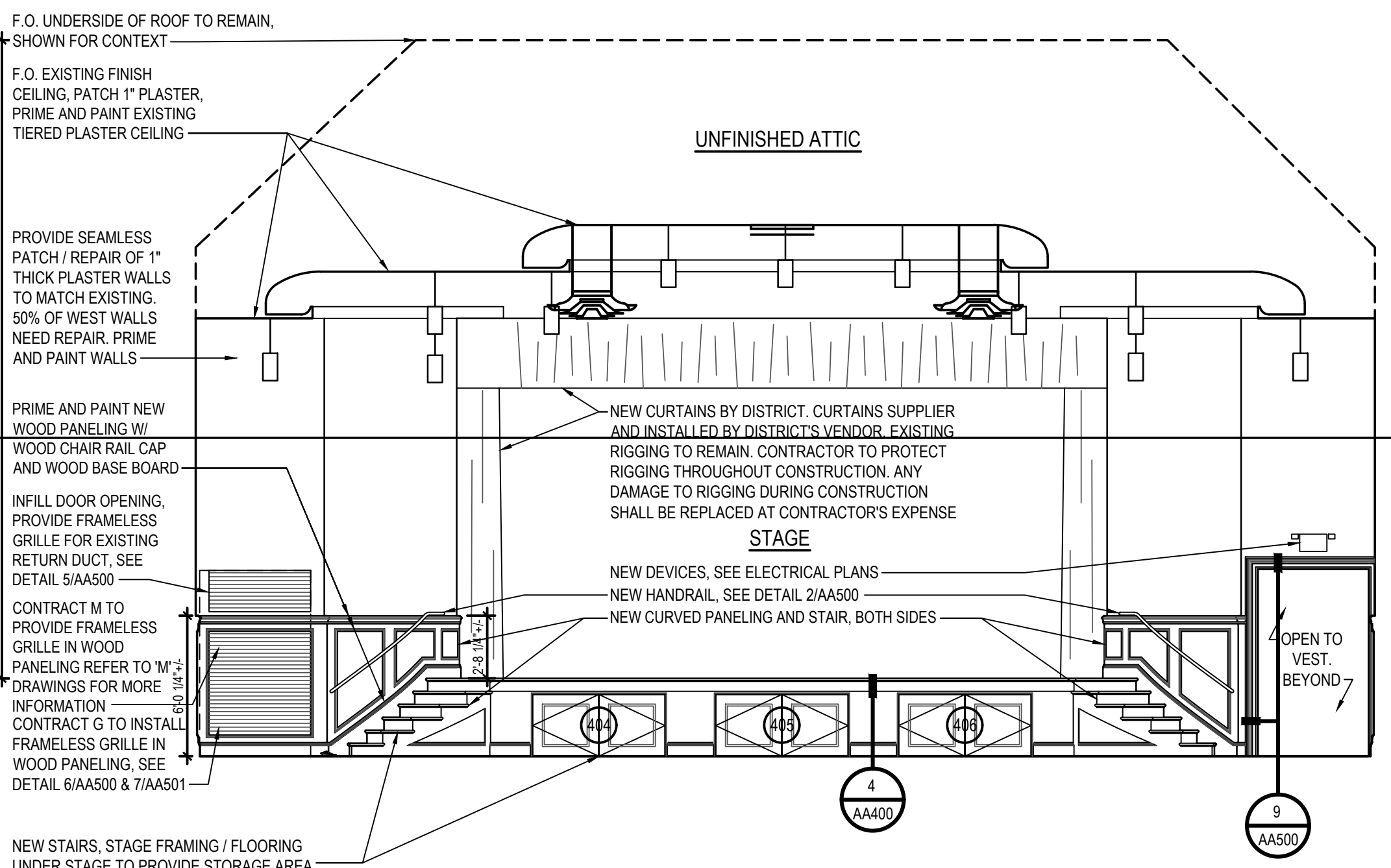
STATUS
FINAL BID SET

SHEET TITLE
AUDITORIUM INTERIOR ELEVATIONS

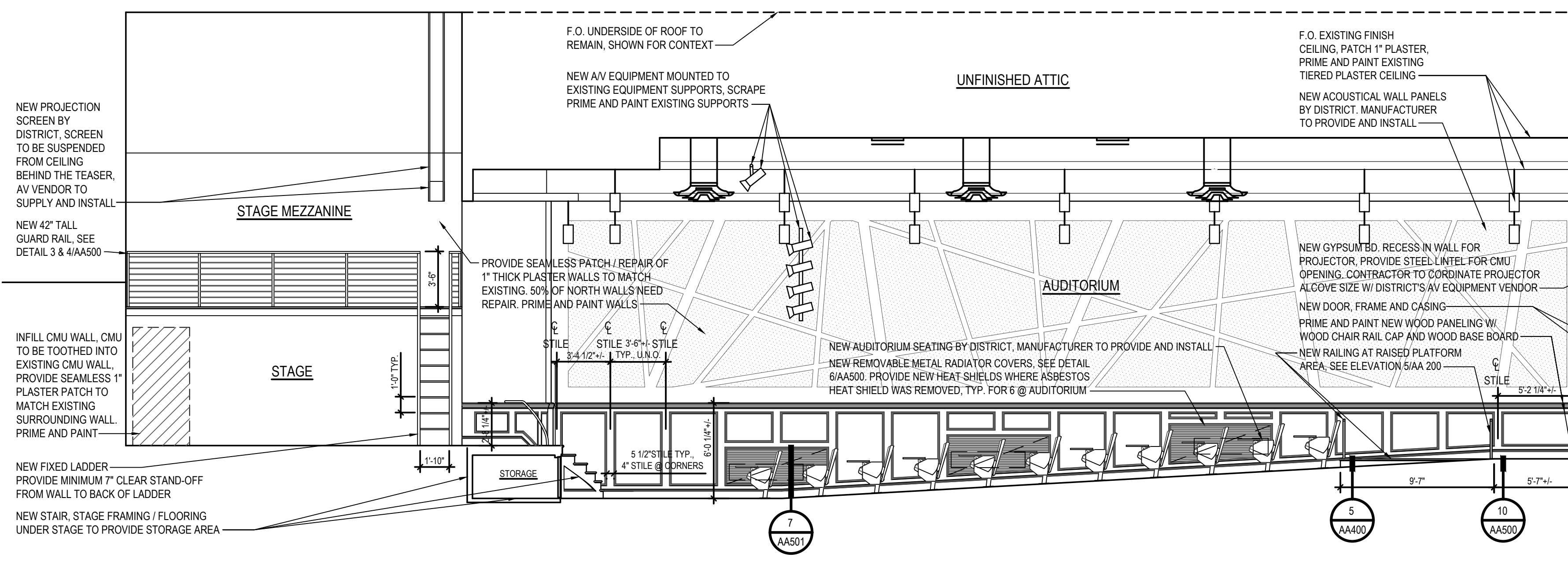
DRAWING NO.
AA 200.00



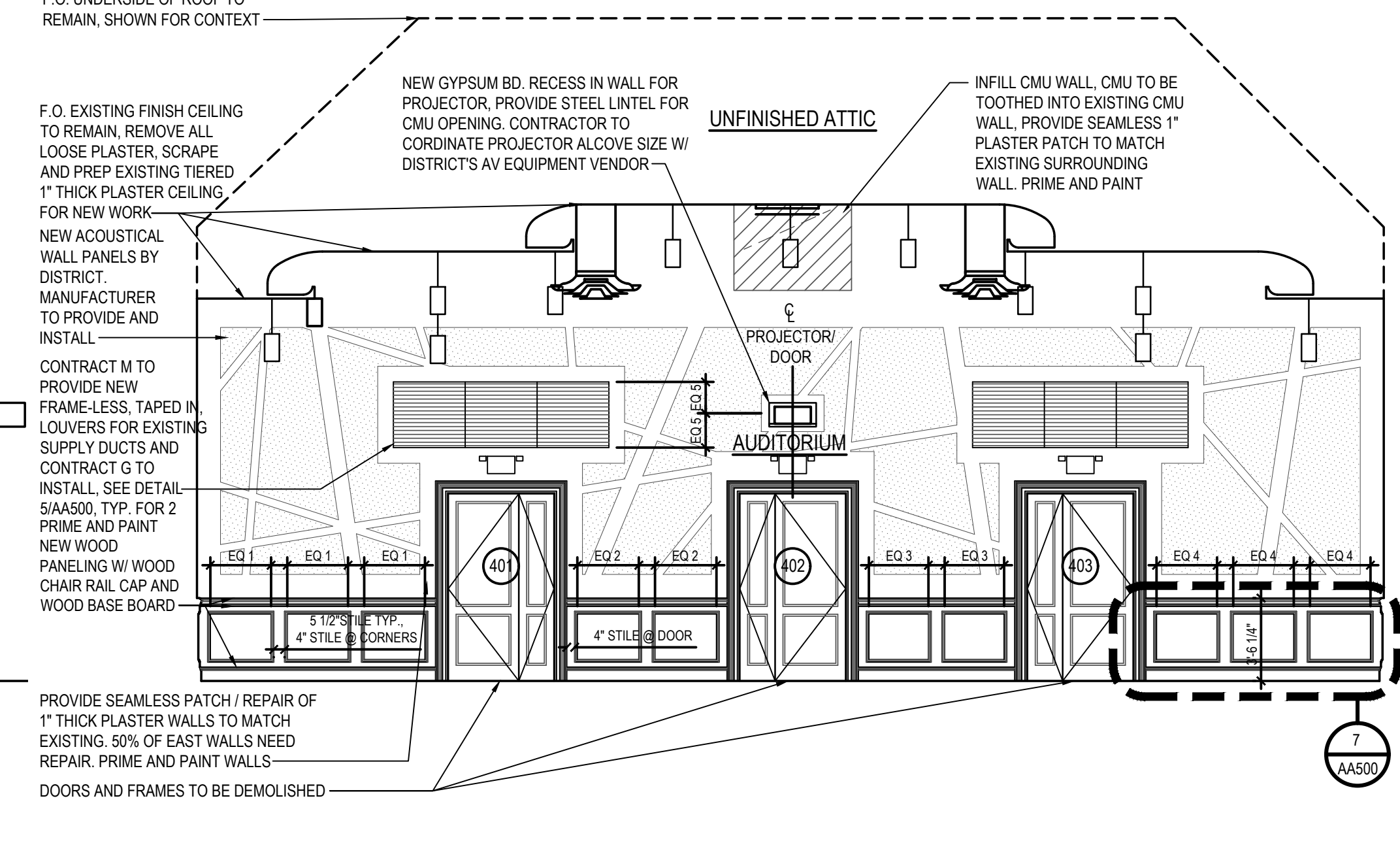
1 Auditorium & Stage South Interior Elevation
SCALE: 3/16"=1'-0"



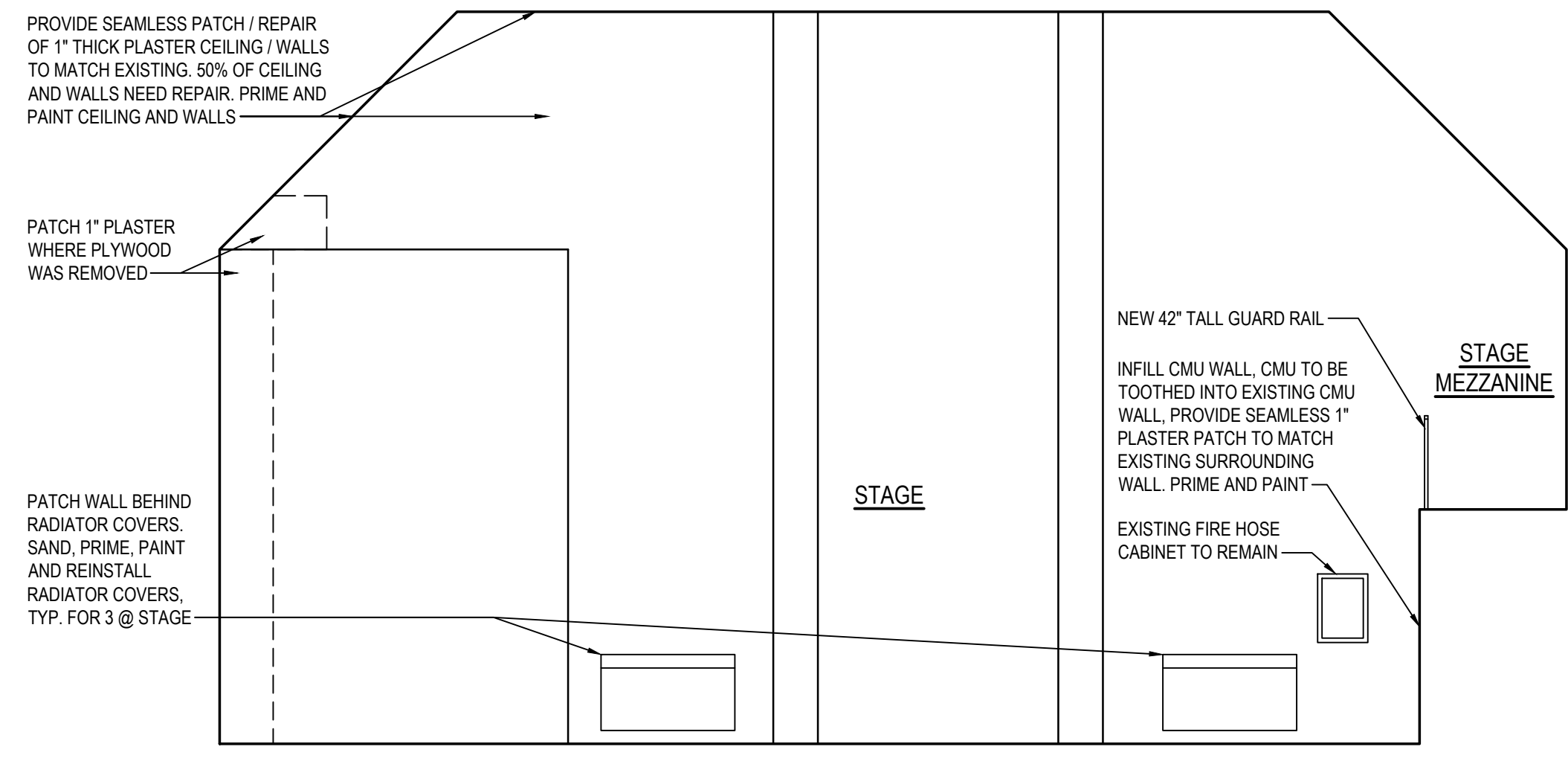
2 Auditorium West Interior Elevation
SCALE: 3/16"=1'-0"



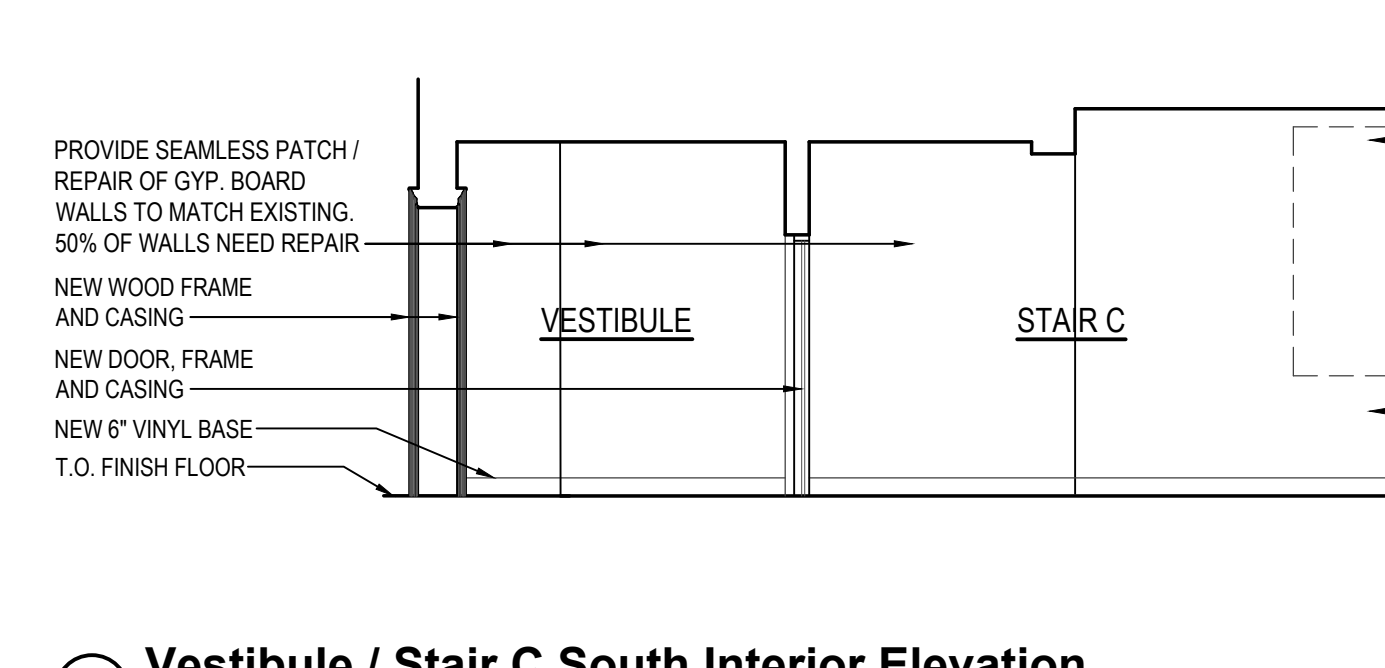
3 Auditorium & Stage North Interior Elevation
SCALE: 3/16"=1'-0"



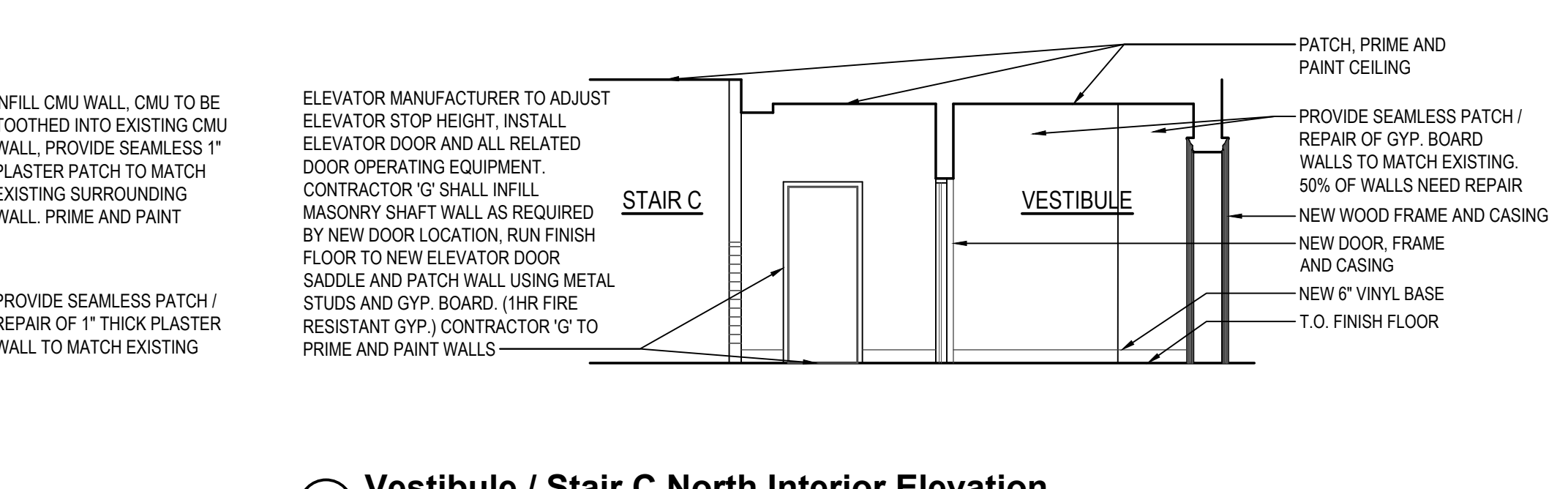
4 Auditorium East Interior Elevation
SCALE: 3/16"=1'-0"



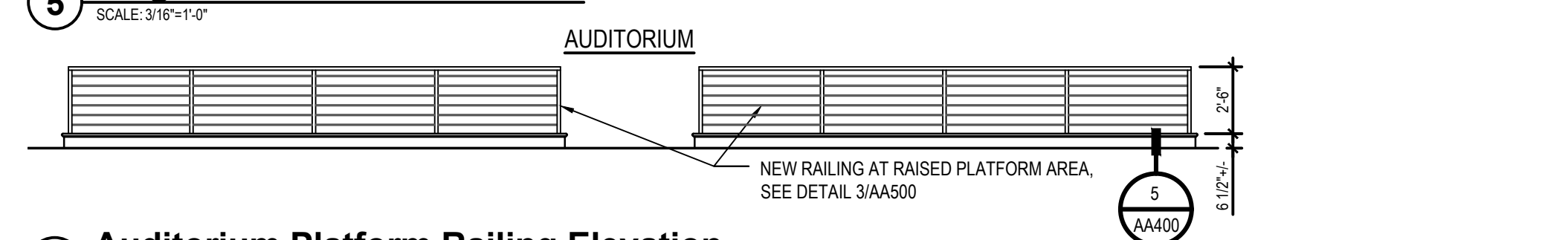
5 Stage West Interior Elevation
SCALE: 3/16"=1'-0"



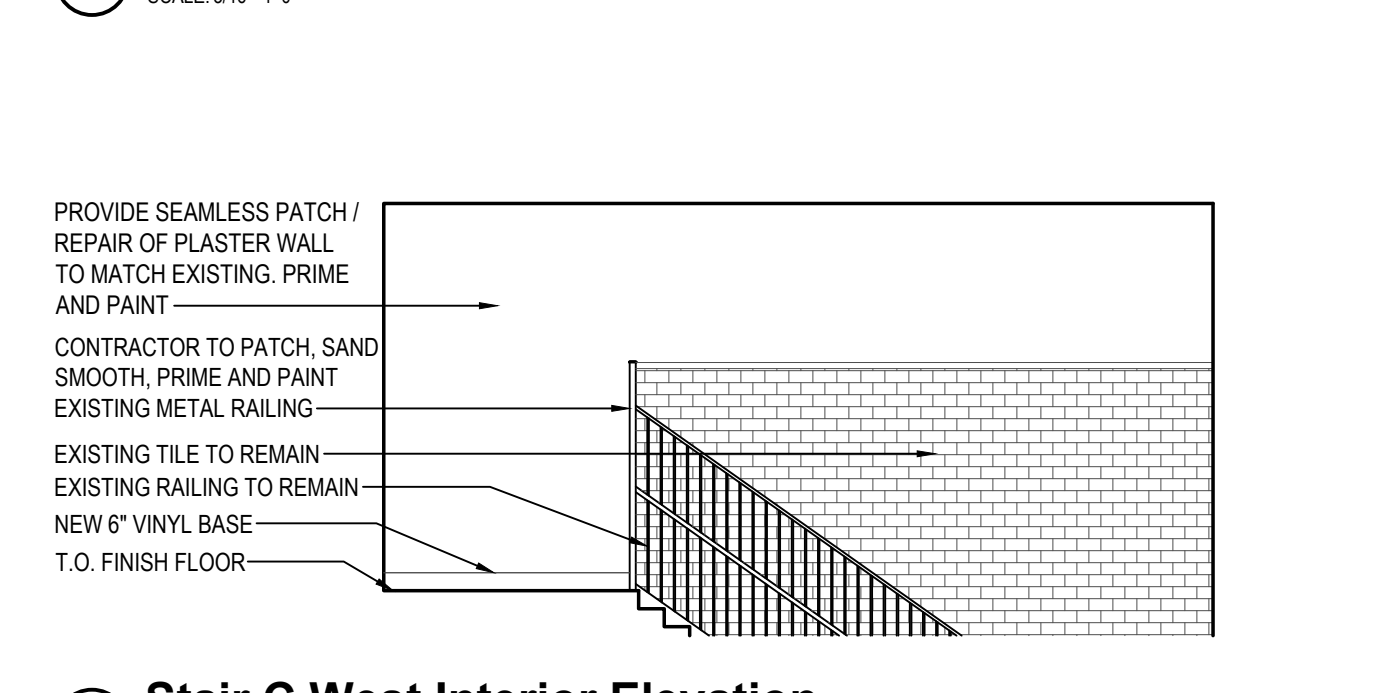
7 Vestibule / Stair C South Interior Elevation
SCALE: 3/16"=1'-0"



9 Vestibule / Stair C North Interior Elevation
SCALE: 3/16"=1'-0"



6 Auditorium Platform Railing Elevation
SCALE: 3/16"=1'-0"



8 Stair C West Interior Elevation
SCALE: 3/16"=1'-0"



10 Acoustical Paneling By District
SCALE: 3/16"=1'-0"

CONSULTANTS:

MARK	DATE	DESCRIPTION
	07-23-2021	FINAL BID DOCUMENT

REGISTERED ARCHITECT
GUY VON PAGE
STATE OF NEW YORK
022713

DESIGNED BY: TWD
DRAWN BY: RLB
CHECKED BY: TWD
REVIEWED BY: GYP

PROJECT NO.: HHSD 1905
DATE: JULY 2021
SCALE: AS NOTED

Hastings-on-Hudson Union Free School District

Auditorium Renovations at Farragut Middle School

27 Farragut Avenue
Hastings-on-Hudson, NY 10706

66-04-04-03-0-001-036



CONTRACT

CONTRACT G
GENERAL CONSTRUCTION

STATUS

FINAL BID SET

SHEET TITLE

ENLARGED BATHROOM PLAN, ELEVATIONS AND DETAILS - ALTERNATE #1

DRAWING NO.

AA 401.00

BATHROOM KEY NOTES: (NOT ALL NOTES USED ON EACH PLAN)

- DEMOLITION KEYED NOTES:**
- D1 SAW CUT EXISTING 1"-PLASTER & CMU WALL FOR NEW DOOR, PREP JAMBS FOR NEW DOOR, PREP FOR NEW STEEL LINTEL. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION & DETAILS
- D2 HATCH REPRESENTS THE REMOVAL & DISPOSAL OF EXISTING HARDWOOD FLOOR IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO EXISTING FINISH FLOORING, TRIM, SLEEPERS, MEMBRANES AND ALL DEVICES USED TO SECURE FLOOR IN PLACE. CONTRACTOR SHALL PREP EXPOSED CONCRETE FLOOR FOR NEW WORK. SEE ENVIRONMENTAL REPORT FOR ADDITIONAL INFORMATION REGARDING LEAD/ASBESTOS ABATEMENT. CORE DRILL CONCRETE SLAB FOR NEW UTILITIES. SEE 'E' & 'P' DRAWINGS FOR ADDITIONAL INFORMATION
- D3 REMOVE AND DISPOSE OF EXISTING DOOR, DOOR FRAME AND HARDWARE IN ITS ENTIRETY. REMOVALS SHALL INCLUDE, BUT NOT BE LIMITED TO ALL DEVICES USED TO SECURE DOORS IN PLACE. PREPARE DOOR ROUGH OPENINGS FOR NEW WORK. REFER TO ENVIRONMENTAL REPORT FOR POSSIBLE LEAD PAINT
- D4 RADIATOR SCHEDULED TO BE REMOVED SEE 'M' DRAWINGS FOR ADDITIONAL INFORMATION
- NEW WORK KEYED NOTES:**
- N1 THE CONTRACTOR SHALL PROVIDE AND INSTALL NEW DOOR(S), FRAMES AND HARDWARE AS INDICATED, INCLUDING BUT NOT LIMITED TO FRAME, CLOSER, HARDWARE, WALL ANCHORS, AND ALL DEVICES USED TO SECURE THE DOORS AND FRAMES IN PLACE. SEE DOOR SCHEDULE & DETAILS ON SHEET AA600
- N2 THE CONTRACTOR SHALL PROVIDE AND INSTALL NEW 12" x 24" CERAMIC FLOOR TILE THROUGHOUT, INCLUDING BUILD UP OF NEW UNDERLAYMENT AS REQUIRED FOR ALIGNMENT OF NEW AND EXISTING ADJACENT FLOORS, INCLUDING BUT NOT LIMITED TO TILE, THIN SET, MUD BED PITCHED TO ROOM DRAIN, GROUT, REINFORCING MESH, AND ALL DEVICES / MATERIALS USED TO SECURE THE TILE IN PLACE. THE CONTRACTOR SHALL PROVIDE WATERPROOFING MEMBRANE THROUGHOUT AS PART OF A COMPLETE AND PROPER INSTALLATION
- N3 THE CONTRACTOR SHALL PROVIDE AND INSTALL NEW CERAMIC WALL TILE OVER NEW 5/8" CEMENT BOARD OVER NEW METAL STUDS, INCLUDING BUT NOT LIMITED TO TILE, THINSET, GROUT, BULLNOSE TILES, TRIM AND ALL DEVICES/MATERIAL USED TO SECURE THE TILE FINISH IN PLACE. THE CONTRACTOR SHALL ALIGN AND PREPARE NEW AND EXISTING WALL TO PLUMB AS REQUIRED FOR COMPLETE AND PROPER INSTALLATION OF NEW TILE AND FINISHES. SEE PARTITION TYPES ON SHEET AA100
- N4 INFILL EXISTING 1"-PLASTER WALL OVER 6"-CMU WALL. MATERIAL THICKNESS TO MATCH EXISTING. CONTRACTOR TO PROVIDE SEAMLESS PATCH AND NEW CMU SHALL BE TOOTHED INTO EXISTING WALL
- N5 PLUMBING FIXTURES TO BE INSTALLED UNDER CONTRACT 'P'. CONTRACTOR 'G' SHALL PROVIDE ALL BLOCKING REQUIRED FOR PLUMBING FIXTURES. COORDINATE W/ CONTRACTOR 'P' AND 'P' DRAWINGS
- N6 NEW FLOOR DRAIN
- N7 T.O. FINISH WOOD FLOOR AND T.O. NEW TILE TO ALIGN. TRANSITION FROM HARDWOOD FLOOR TO TILE SHALL BE LOCATED UNDER DOOR IN THE CLOSED POSITION
- N8 CONTRACTOR TO PATCH REPAIR ALL CRACKED 1"-PLASTER. PROVIDE NEW BASE BOARD TO MATCH EXISTING. SAND, PRIME AND PAINT ALL TRIM & PLASTER / GYPSUM BOARD WALLS
- N9 COORDINATE CEILING MOUNTED EQUIPMENT W/ CONTRACTOR 'M'. SEE 'M' DRAWINGS FOR ADDITIONAL INFORMATION

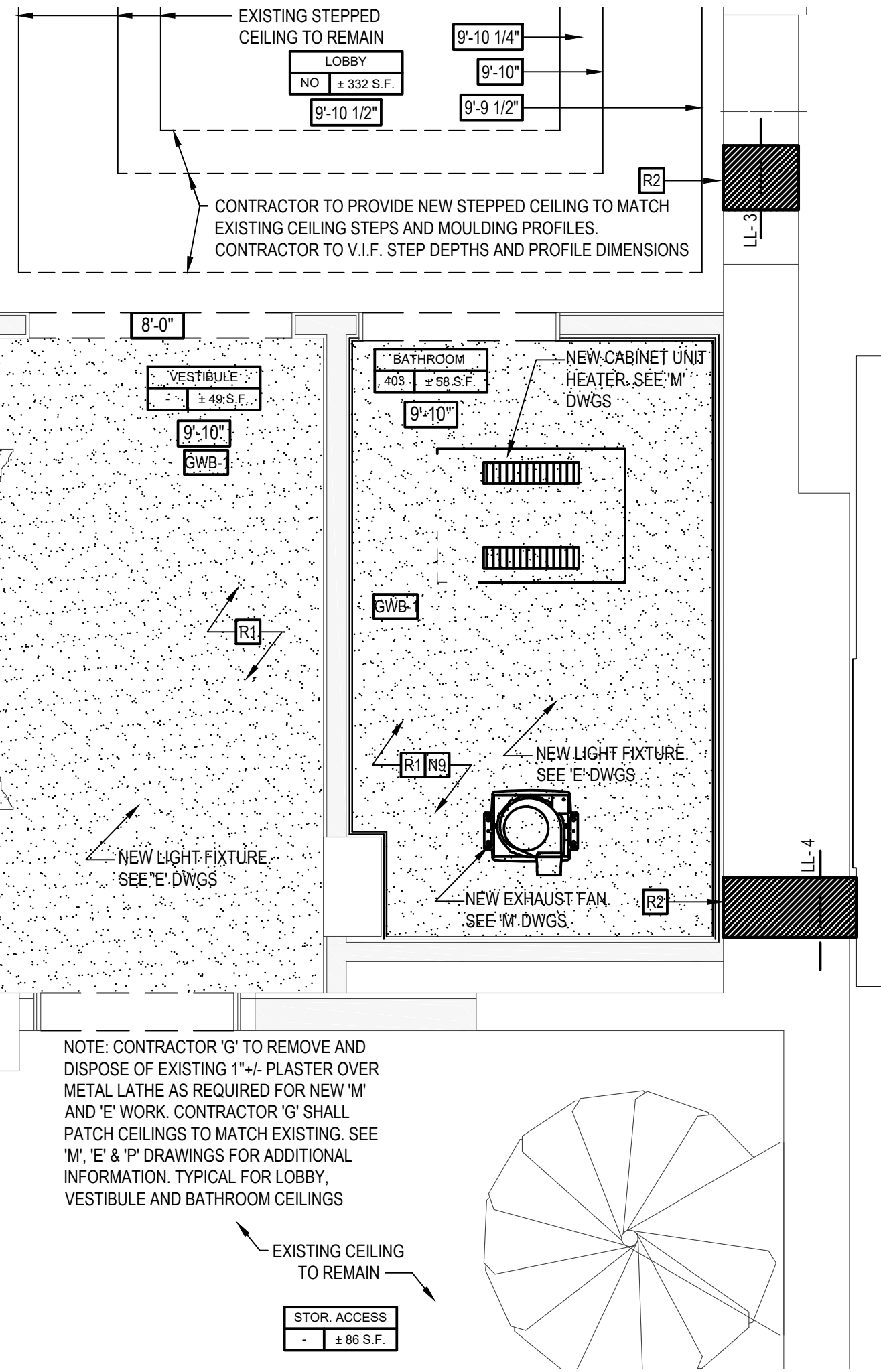
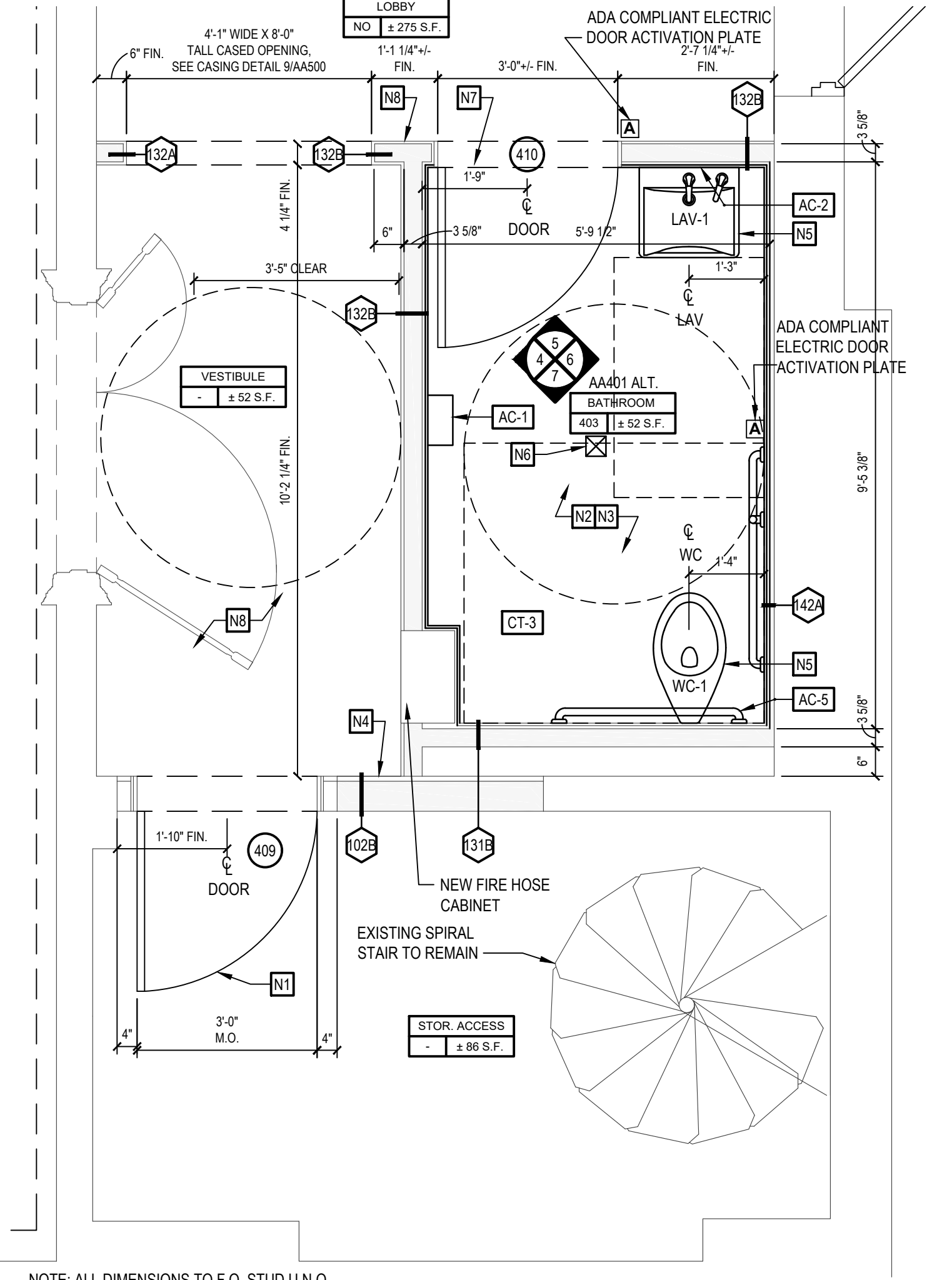
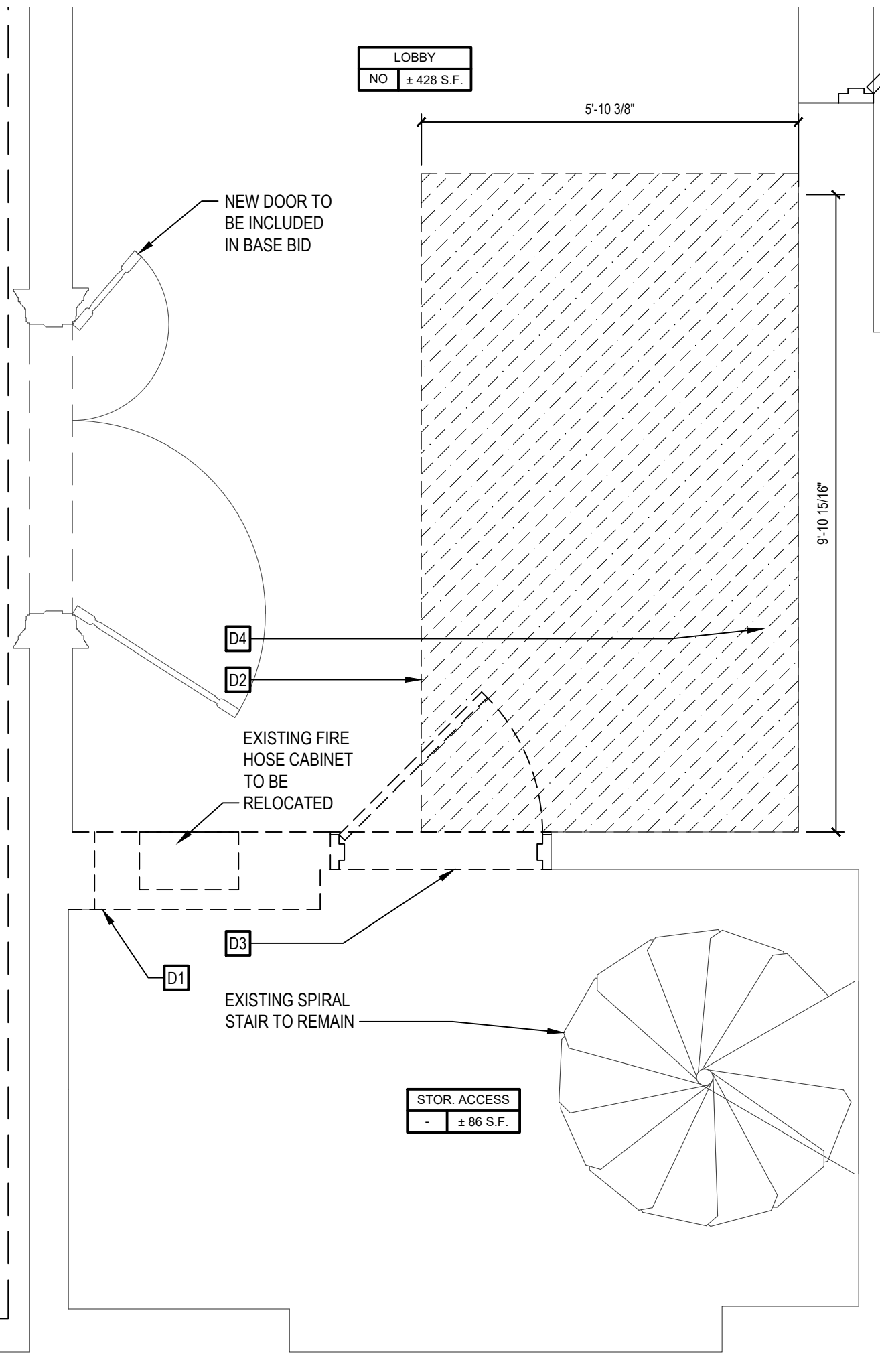
- REFLECTED CEILING KEYED NOTES:**
- R1 THE CONTRACTOR SHALL PROVIDE AND INSTALL NEW GYPSUM BOARD CEILING SYSTEM OVER EXISTING 1"-PLASTER CEILING AS INDICATED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO 5/8" TYPE 'X' GYPSUM BOARD, CROSS TEES, FURRING STRIPS, WALL ANGLES TRIM, HANGER WIRE, TIES AND ALL DEVICES USED TO SECURE THE CEILING IN PLACE. COORDINATE WITH 'M' AND 'E' CONTRACTORS REGARDING INSTALLATION OF CEILING MOUNTED ITEMS.
- R2 SAW CUT EXISTING MASONRY WALL (BRICK VENEER AND CMU) FOR NEW HVAC PENETRATIONS. SEE 'M' DRAWING FOR ADDITIONAL INFORMATION
- R3 CONTRACTOR TO SALVAGE, STORE AND PROTECT EXISTING ACT CEILING (TILE AND GRID) FOR REINSTALLATION.
- R4 REMOVE AND DISPOSE OF EXISTING 1"-PLASTER ON METAL LATHE AS REQUIRED TO INSTALL NEW PLUMBING SUPPLY AND WASTE LINES. SEE 'P' DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE AREAS REQUIRING DEMOLITION W/ CONTRACTOR 'P' PRIOR TO STARTING WORK
- R5 CONTRACTOR SHALL REINSTALL ACT TILE AND GRID TO MATCH EXISTING. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ANY ACT TILE AND GRID THAT IS DAMAGED DURING CONSTRUCTION AT NO EXPENSE TO THE OWNER

NOTES:
CONTRACTOR 'G' SHALL COORDINATE WITH 'M' AND 'E' CONTRACTORS REGARDING INSTALLATION OF NEW ITEMS THROUGHOUT SPACE

CONTRACTOR 'G' SHALL COORDINATE LAYOUT OF NEW EQUIPMENT AND ACCESSORIES WITH ALL WALL-MOUNTED ITEMS AND FINISHED SURFACES

NEW WORK LEGEND

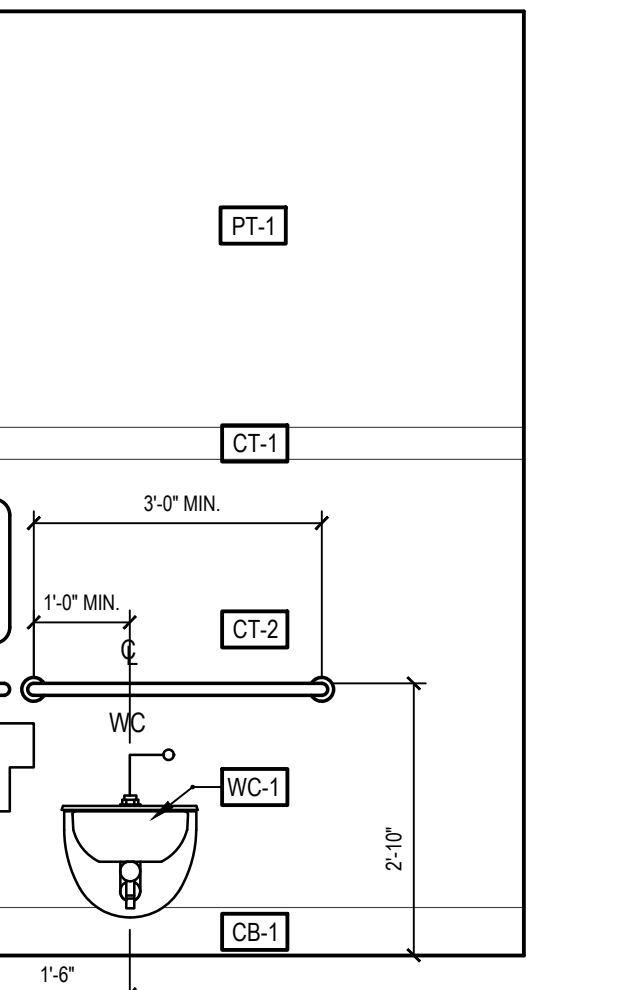
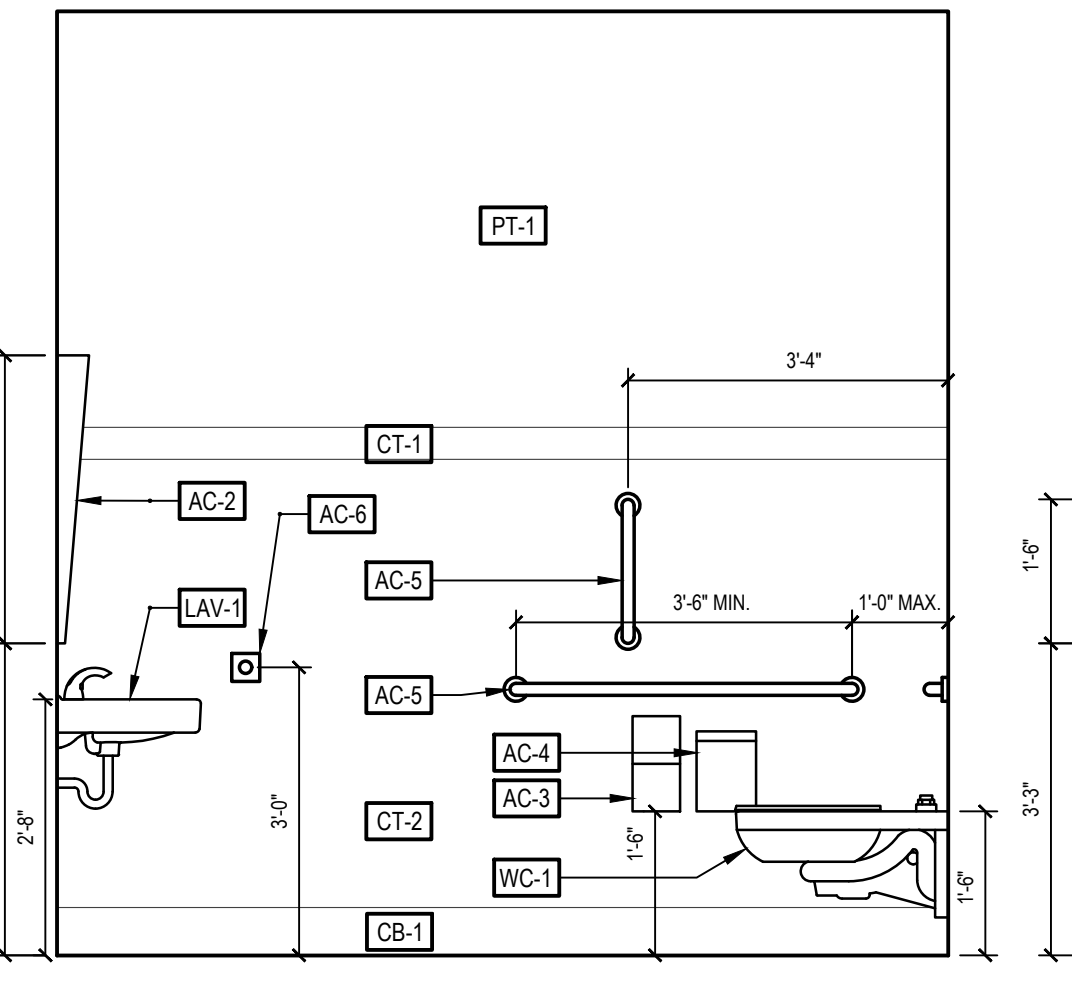
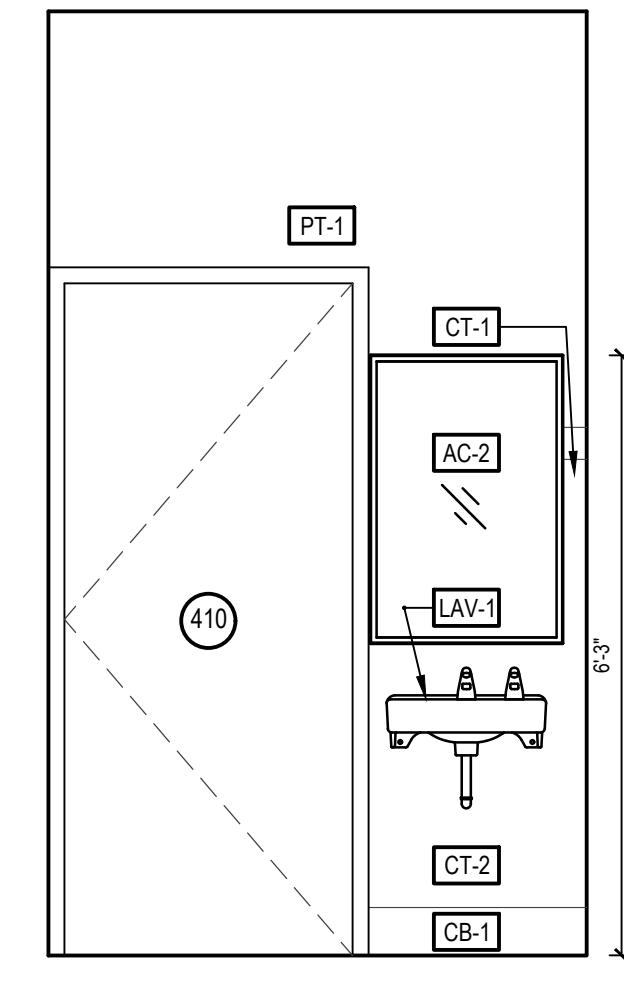
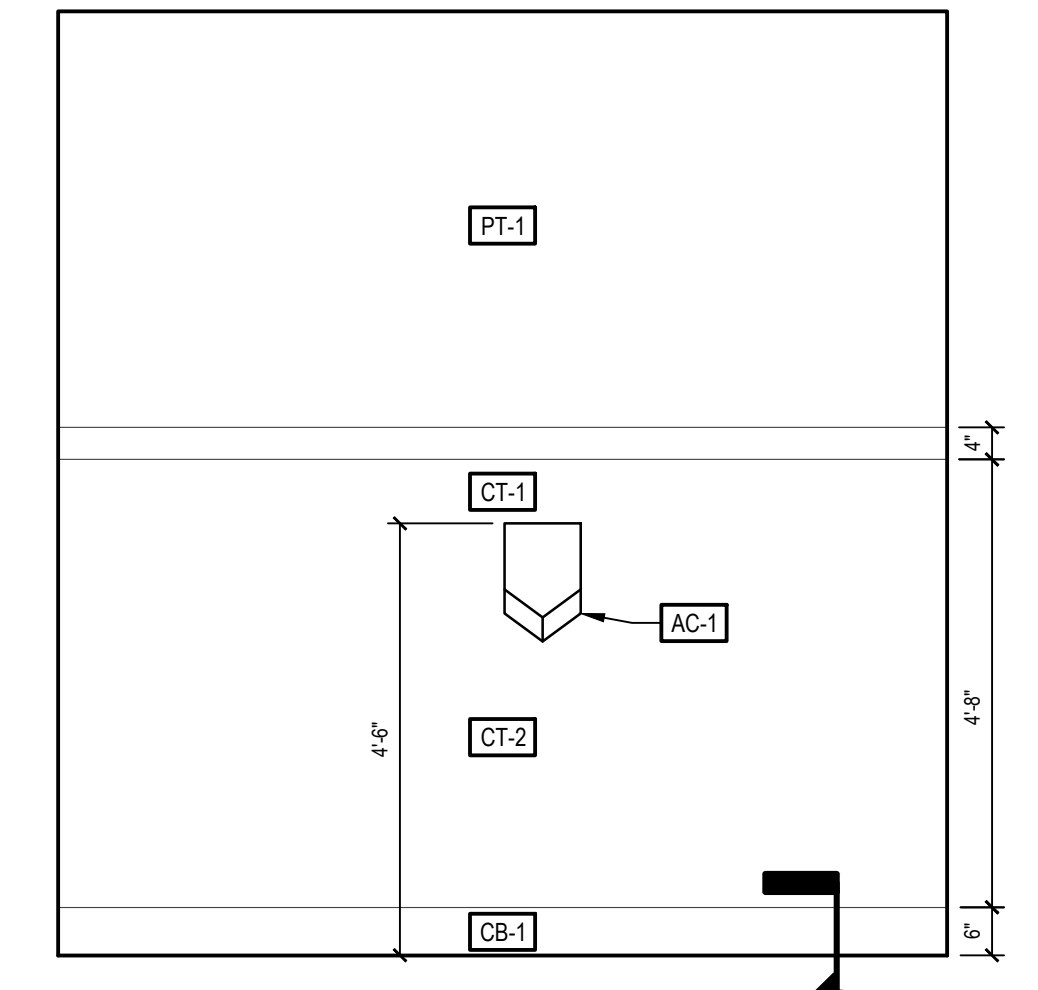
	ROOM NUMBER		NEW GYPSUM WALLBOARD CEILING
	DESIGNATION TAG		NEW WALL
	DOOR TAG		CEILING HEIGHT
	WALL TYPE TAG		FINISH DESIGNATION
	INTERIOR ELEVATION TAG		KEYED NOTE INDICATOR



1 Auditorium Lobby Demolition Plan
SCALE: 1/2"=1'-0"

2 Auditorium Lobby Bathroom Plan
SCALE: 1/2"=1'-0"

3 Auditorium Lobby Bathroom Reflected Ceiling Plan
SCALE: 1/2"=1'-0"



4 Bathroom North Elevation
SCALE: 1/2"=1'-0"

5 Bathroom East Elevation
SCALE: 1/2"=1'-0"

6 Bathroom South Elevation
SCALE: 1/2"=1'-0"

7 Bathroom West Elevation
SCALE: 1/2"=1'-0"



8 ADA Signage for Toilet Rooms
SCALE: 6"=1'-0"

BATHROOM PLUMBING FIXTURE SCHEDULE ALL MOUNTING HEIGHTS TO BE REVIEWED W/ DISTRICT PRIOR TO INSTALLATION

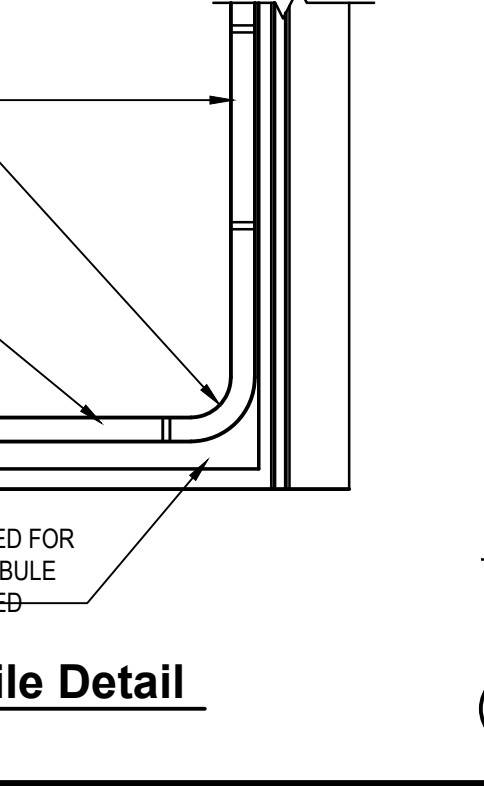
MARK	DESCRIPTION	COMMENTS
WC-1	TOILET - WALL MOUNTED (HC / ADA FIXTURE)	PROVIDE ONE (1) UNIT. AMERICAN STANDARD 2866-128 - AFWALL MILLENIUM FLOWISE 1.28 GPF BATTERY OPERATED FLUSHOMETER OR APPROVED EQUAL
LAV-1	SINK, FAUCET, SOAP DISPENSER (HC / ADA ACCESSIBLE)	PROVIDE ONE (1) UNIT. KOHLER - SOHO 20" X 18" W/ SENSOR FAUCET AND SENSOR SOAP DISPENSER OR APPROVED EQUAL

BATHROOM ACCESSORY SCHEDULE ALL MOUNTING HEIGHTS TO BE REVIEWED W/ DISTRICT PRIOR TO INSTALLATION

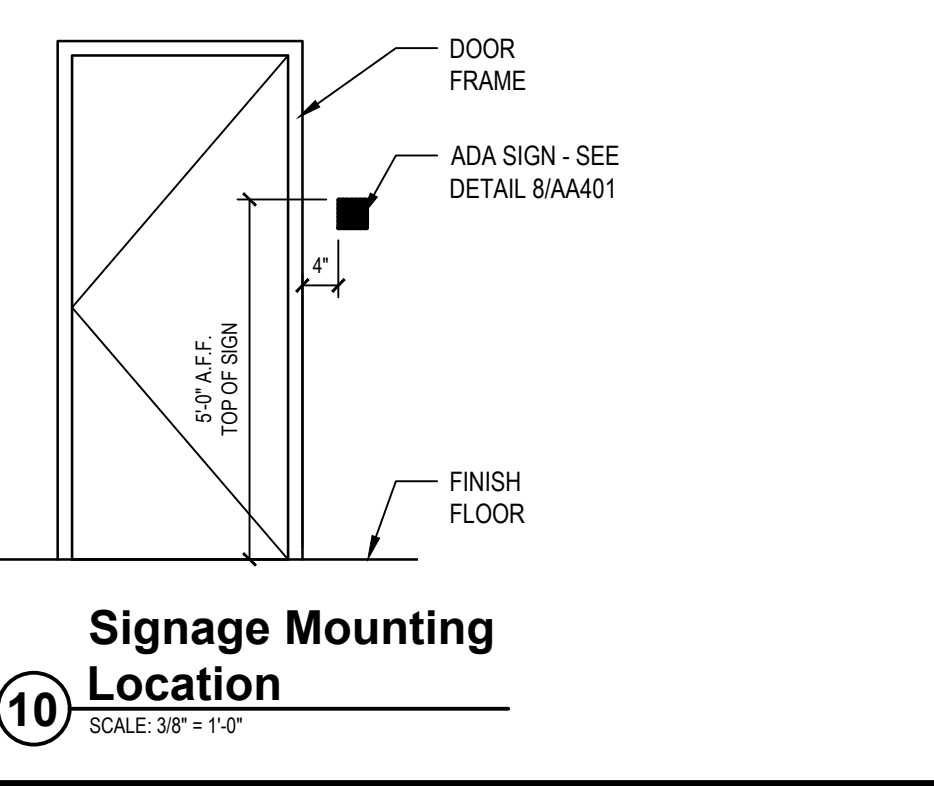
MARK	DESCRIPTION	COMMENTS
AC-1	SURFACE MOUNTED ELECTRIC HAND DRYER	PROVIDE ONE (1) UNIT. DYSON AIRBLADE V OR APPROVED EQUAL CONNECTION BY ELEC. CONTRACTOR
AC-2	FRAMELESS STAINLESS STEEL ADA MIRROR 17 1/2" x 29 1/2"	PROVIDE ONE (1) UNIT. BOBRICK B-2908-2436 W/ FRAME SET AT AN ANGLE FOR ADA USE. OR APPROVED EQUAL
AC-3	SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	PROVIDE ONE (1) UNIT. BOBRICK B-2892 OR APPROVED EQUAL
AC-4	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	PROVIDE ONE (1) UNIT. BOBRICK B-270 OR APPROVED EQUAL
AC-5	1 1/2" DIAMETER STAINLESS STEEL GRAB BARS 36" LONG, 42" LONG, 18" HIGH	PROVIDE ONE (1) OF EACH UNIT. BOBRICK B-6806 OR APPROVE EQUAL
AC-6	A CTUATOR	PROVIDE TWO (2) ACTUATORS FOR INTERIOR AND EXTERIOR OF BATHROOM

FINISH SCHEDULE

FINISH No.	DESCRIPTION
PT-1	PAINT
CT-1	CERAMIC TILE - OPTION 1
CT-2	CERAMIC TILE - OPTION 2
CT-3	CERAMIC TILE - OPTION 3
CB-1	CERAMIC BASE - OPTION 1
GWB-1	GYPSUM WALLBOARD CEILING



9 Typical Wall Tile Detail
SCALE: N.T.S.



10 Signage Mounting Location
SCALE: 3/8"=1'-0"

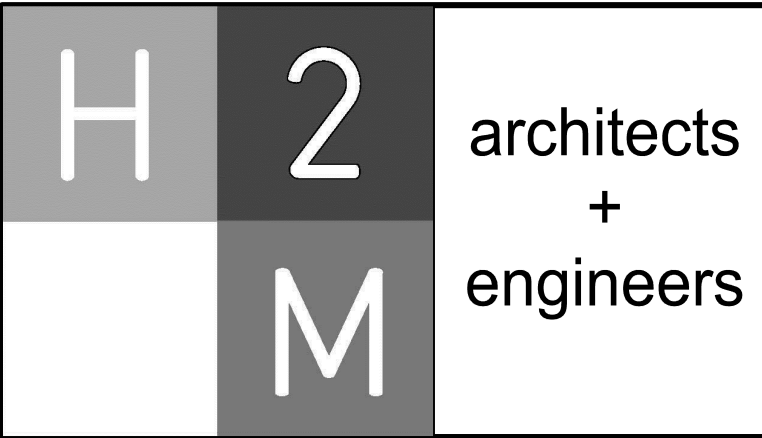
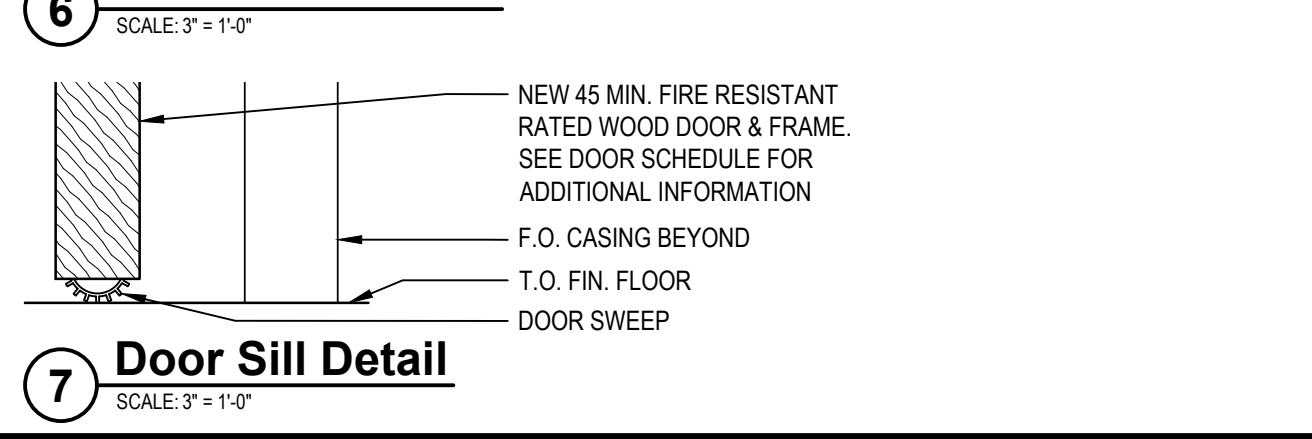
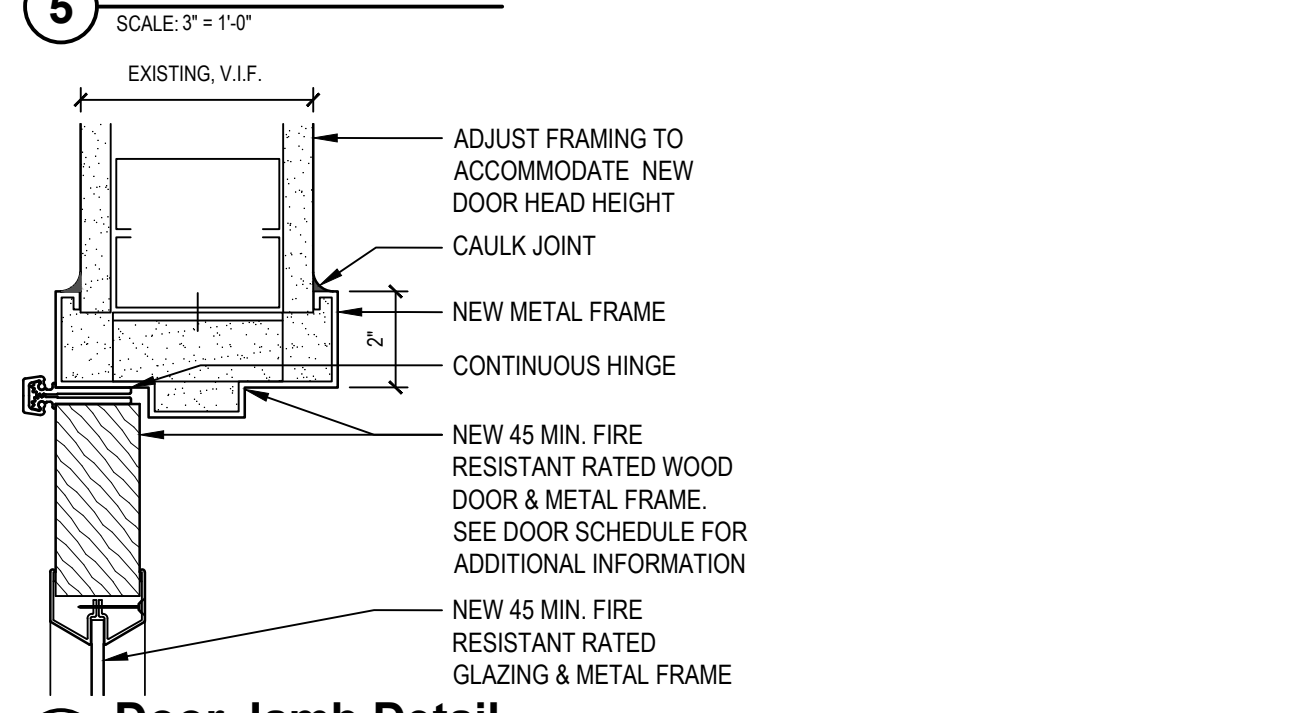
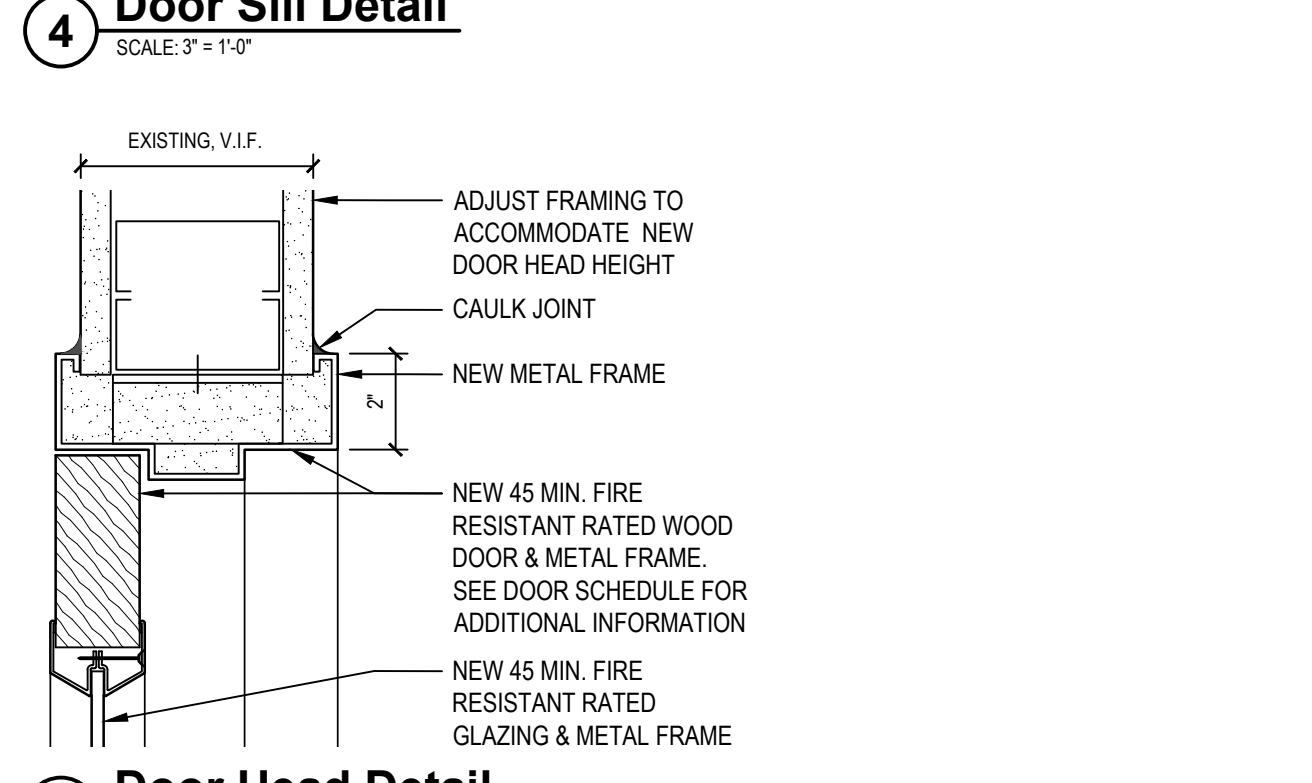
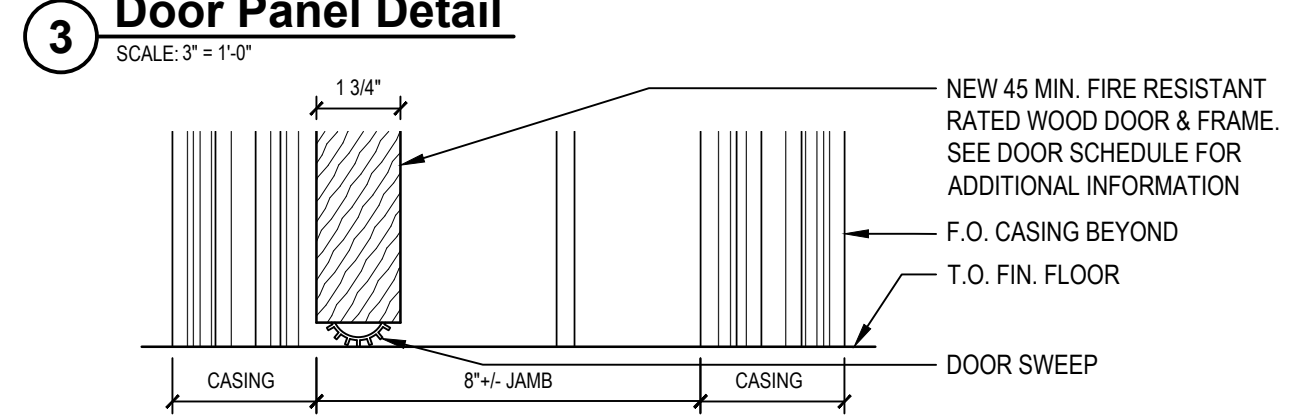
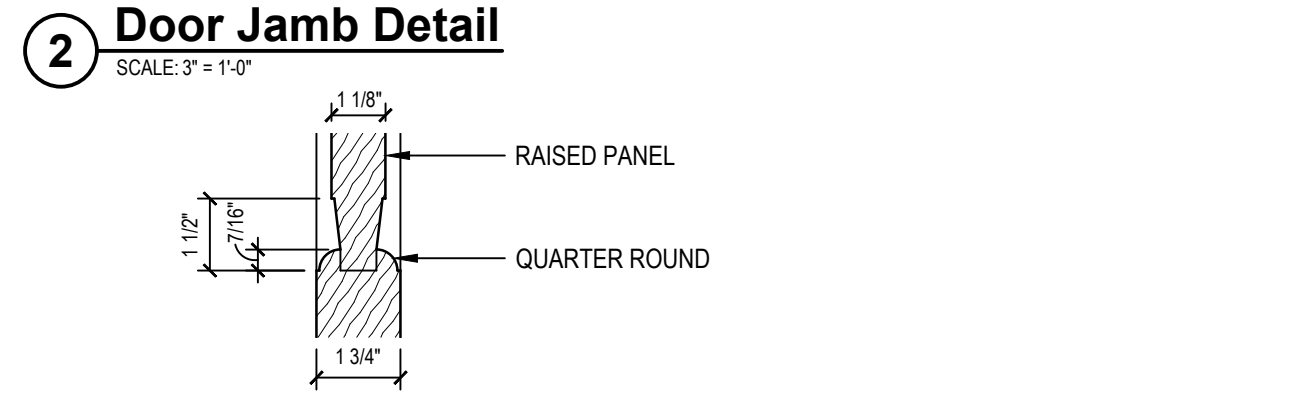
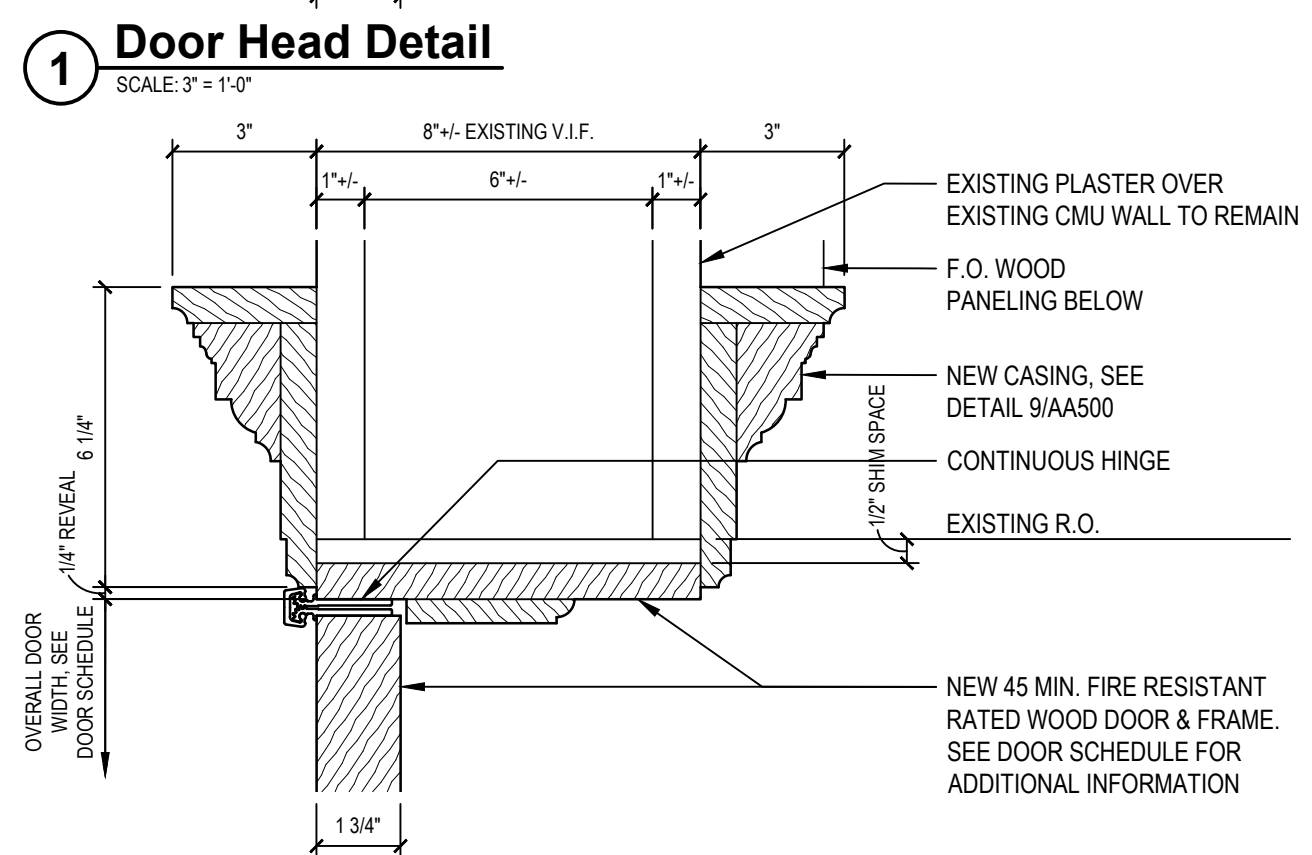
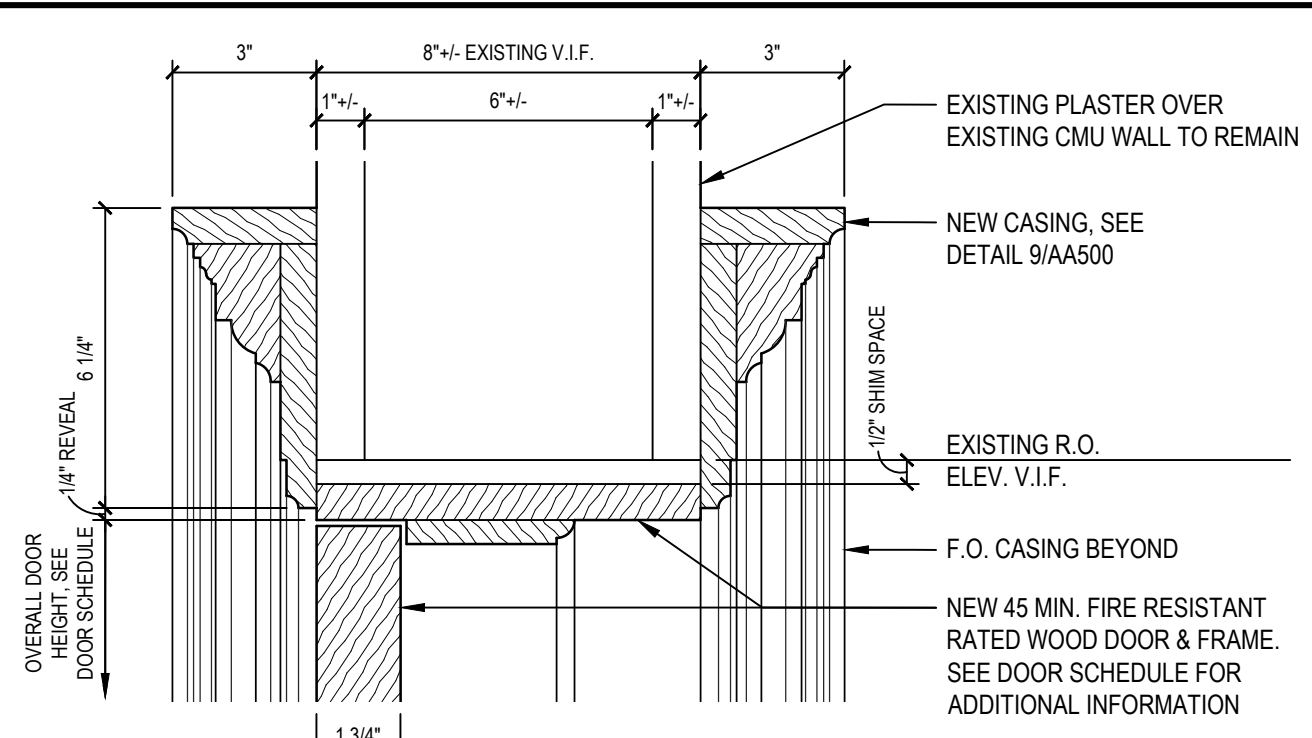
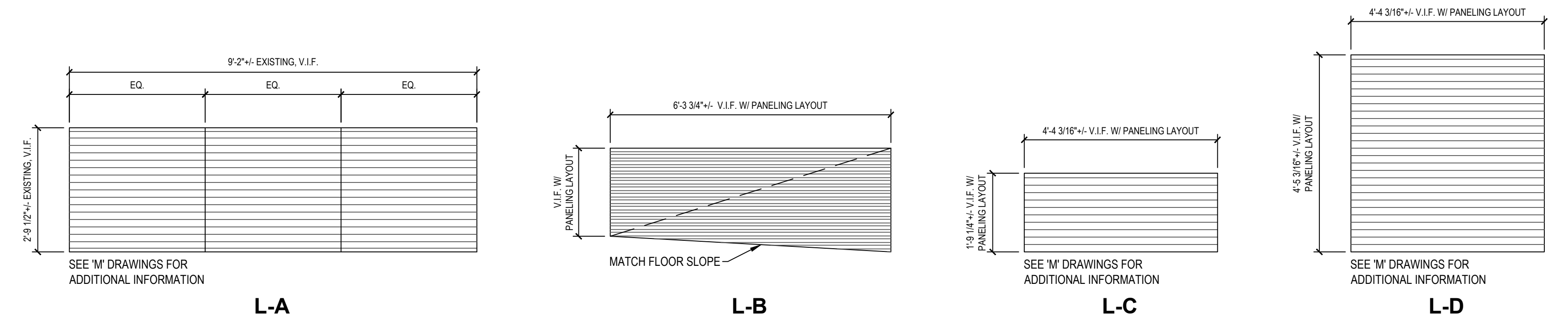
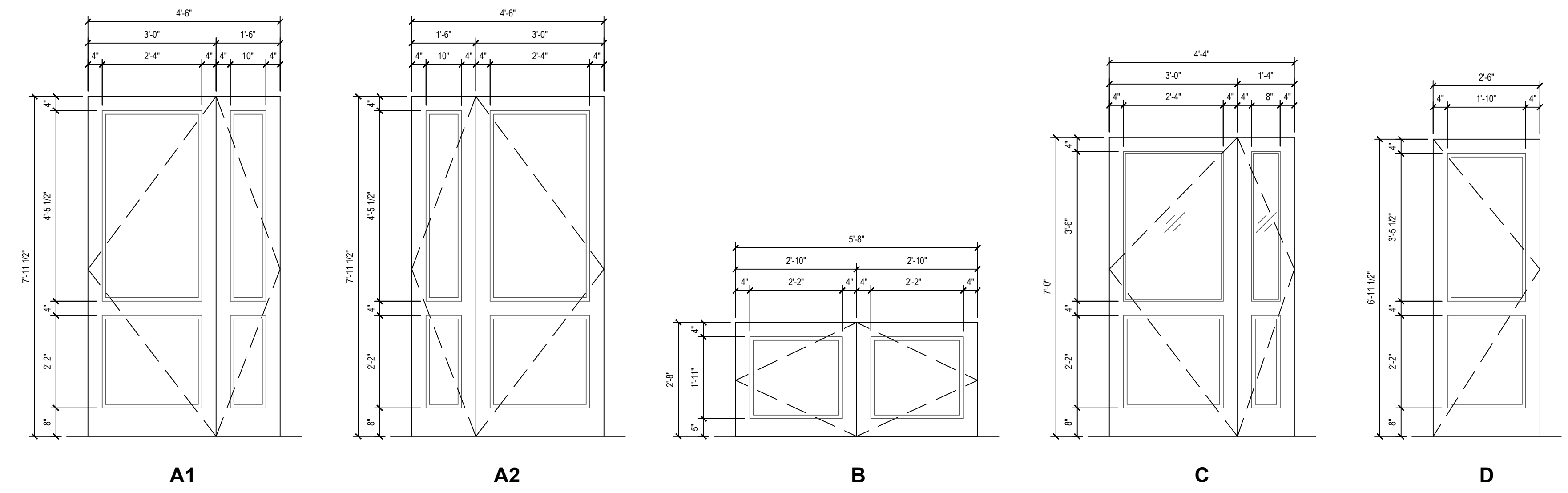
Vertical line of small text along the right margin, likely containing project information or a disclaimer.

DOOR SCHEDULE NOTE: VERIFY ALL EXISTING DOOR/FRAME/GLAZING/AND MASONRY OPENING DIMENSIONS IN FIELD, ALL WORK BY CONTRACTOR 'G' U.N.O.

DOOR NO.	ROOM NAME	HAND	QTY.	DOOR SIZE	DOOR TYPE	FRAME MATERIAL	FRAME FINISH	DOOR MATERIAL	DOOR FINISH	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	MULLION DETAIL	PANEL DETAIL	GLAZING DETAIL	FIRE RATING	HARDWARE SET	REMARKS
401	AUDITORIUM	DBL DOOR	1	4'-6" X 7'-11 1/2"	A1	WOOD	PAINTED	WOOD, PANELED W/ NON COMBUSTIBLE GYPSUM CORE	PLAIN SLICED, WHITE MAPLE, STAINED	1/A600	2/A600	4/A600	-	3/A600	N/A	45 MINUTE	1	
402	AUDITORIUM	DBL DOOR	1	4'-6" X 7'-11 1/2"	A2	WOOD	PAINTED	WOOD, PANELED W/ NON COMBUSTIBLE GYPSUM CORE	PLAIN SLICED, WHITE MAPLE, STAINED	1/A600	2/A600	4/A600	-	3/A600	N/A	45 MINUTE	1	
403	AUDITORIUM	DBL DOOR	1	4'-6" X 7'-11 1/2"	A2	WOOD	PAINTED	WOOD, PANELED W/ NON COMBUSTIBLE GYPSUM CORE	PLAIN SLICED, WHITE MAPLE, STAINED	1/A600	2/A600	4/A600	-	3/A600	N/A	45 MINUTE	1	
404	STAGE STORAGE AREA	DBL DOOR	1	2'-8" X 5'-8"	B	WOOD	PAINTED	WOOD, ONE SIDE PANELED W/ NON COMBUSTIBLE GYPSUM CORE	WOOD, PAINTED	3/A600	4/A600	5/A600	-	3/A600	N/A	45 MINUTE	3	
405	STAGE STORAGE AREA	DBL DOOR	1	2'-8" X 5'-8"	B	WOOD	PAINTED	WOOD, ONE SIDE PANELED W/ NON COMBUSTIBLE GYPSUM CORE	WOOD, PAINTED	3/A600	4/A600	5/A600	-	3/A600	N/A	45 MINUTE	3	
406	STAGE STORAGE AREA	DBL DOOR	1	2'-8" X 5'-8"	B	WOOD	PAINTED	WOOD, ONE SIDE PANELED W/ NON COMBUSTIBLE GYPSUM CORE	WOOD, PAINTED	3/A600	4/A600	5/A600	-	3/A600	N/A	45 MINUTE	3	
407	STAGE	RH	1	2'-6" X 6'-11 1/2"	D	WOOD	PAINTED	WOOD, PANELED W/ NON COMBUSTIBLE GYPSUM CORE	WOOD, PAINTED	1/A600	2/A600	4/A600	-	3/A600	N/A	90 MINUTE	4	
408	STAIR 'C'	DBL DOOR	1	4'-4" X 7'-0"	C	HOLLOW METAL	PAINTED	WOOD, PANELED W/ NON COMBUSTIBLE GYPSUM CORE & FIRE RESISTANT GLAZING	PLAIN SLICED, WHITE MAPLE, STAINED	5/A600	6/A600	7/A600	-	3/A600	5/A600	90 MINUTE	2	
409	LOBBY	RH	1	3'-0" X 7'-0"	D	WOOD	PAINTED	WOOD, PANELED W/ NON COMBUSTIBLE GYPSUM CORE	PLAIN SLICED, WHITE MAPLE, STAINED	1/A600	2/A600	4/A600	-	3/A600	N/A	45 MINUTE	4	DOOR TO BE INCLUDED IN ALTERNATE #1 WORK, SEE SHEET AA401
410	BATHROOM	RH	1	3'-0" X 7'-0"	D	HOLLOW METAL	PAINTED	WOOD, PANELED W/ NON COMBUSTIBLE GYPSUM CORE	PLAIN SLICED, WHITE MAPLE, STAINED	5/A600	6/A600	7/A600	-	3/A600	N/A	45 MINUTE	5	DOOR TO BE INCLUDED IN ALTERNATE #1 WORK, SEE SHEET AA401

LOUVER / GRILLE SCHEDULE NOTE: VERIFY ALL EXISTING MASONRY OPENING DIMENSIONS IN FIELD

LOUVER/GRILLE NO.	ROOM NAME	TYPE	QTY.	OPENING WIDTH	OPENING HEIGHT	LOUVER MATERIAL	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	MOTORIZED DAMPERS	REMARKS
L1	AUDITORIUM	L-A	1	SEE TYPE ELEV.	SEE TYPE ELEV.	PAINTED METAL	5/AA500	5/AA500	5/AA500	N/A	SEE 'M' DRAWINGS FOR SIZING AND QUANTITY. CONTRACTOR 'M' TO PROVIDE, CONTRACTOR 'G' TO INSTALL
L2	AUDITORIUM	L-A	1	SEE TYPE ELEV.	SEE TYPE ELEV.	PAINTED METAL	5/AA500	5/AA500	5/AA500	N/A	SEE 'M' DRAWINGS FOR SIZING AND QUANTITY. CONTRACTOR 'M' TO PROVIDE, CONTRACTOR 'G' TO INSTALL
L3	AUDITORIUM	L-B	1	SEE TYPE ELEV.	SEE TYPE ELEV.	PAINTED METAL	7/AA500	9/AA500	7/AA500	N/A	CONTRACTOR 'G' TO PROVIDE AND INSTALL
L4	AUDITORIUM	L-B	1	SEE TYPE ELEV.	SEE TYPE ELEV.	PAINTED METAL	7/AA500	9/AA500	7/AA500	N/A	CONTRACTOR 'G' TO PROVIDE AND INSTALL
L5	AUDITORIUM	L-B	1	SEE TYPE ELEV.	SEE TYPE ELEV.	PAINTED METAL	7/AA500	9/AA500	7/AA500	N/A	CONTRACTOR 'G' TO PROVIDE AND INSTALL
L6	AUDITORIUM	L-C	1	SEE TYPE ELEV.	SEE TYPE ELEV.	PAINTED METAL	5/AA500	5/AA500	5/AA500	N/A	SEE 'M' DRAWINGS FOR SIZING AND QUANTITY. CONTRACTOR 'M' TO PROVIDE, CONTRACTOR 'G' TO INSTALL
L7	AUDITORIUM	L-D	1	SEE TYPE ELEV.	SEE TYPE ELEV.	PAINTED METAL	7/AA500, SIM.	7/AA500, SIM.	7/AA500, SIM.	N/A	SEE 'M' DRAWINGS FOR SIZING AND QUANTITY. CONTRACTOR 'M' TO PROVIDE, CONTRACTOR 'G' TO INSTALL
L8	AUDITORIUM	L-B	1	SEE TYPE ELEV.	SEE TYPE ELEV.	PAINTED METAL	7/AA500	9/AA500	7/AA500	N/A	CONTRACTOR 'G' TO PROVIDE AND INSTALL
L9	AUDITORIUM	L-B	1	SEE TYPE ELEV.	SEE TYPE ELEV.	PAINTED METAL	7/AA500	9/AA500	7/AA500	N/A	CONTRACTOR 'G' TO PROVIDE AND INSTALL
L10	AUDITORIUM	L-B	1	SEE TYPE ELEV.	SEE TYPE ELEV.	PAINTED METAL	7/AA500	9/AA500	7/AA500	N/A	CONTRACTOR 'G' TO PROVIDE AND INSTALL



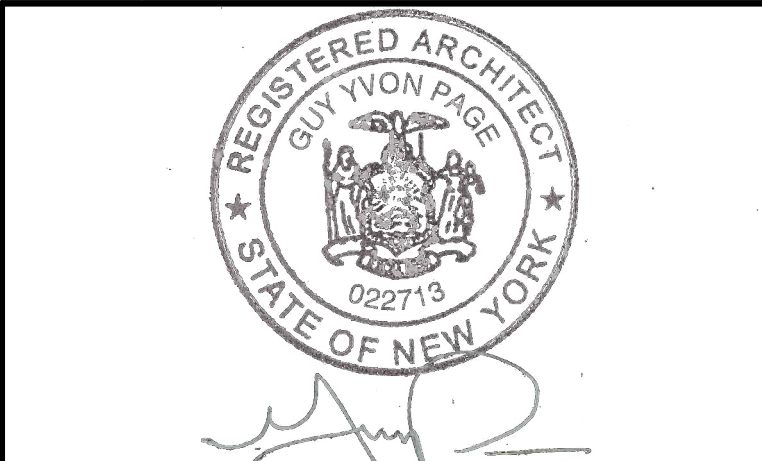
2700 Westchester Ave., Suite 415
Purchase, NY 10577
914.358.5623 • www.h2m.com

CONSULTANTS:

--

MARK	DATE	DESCRIPTION

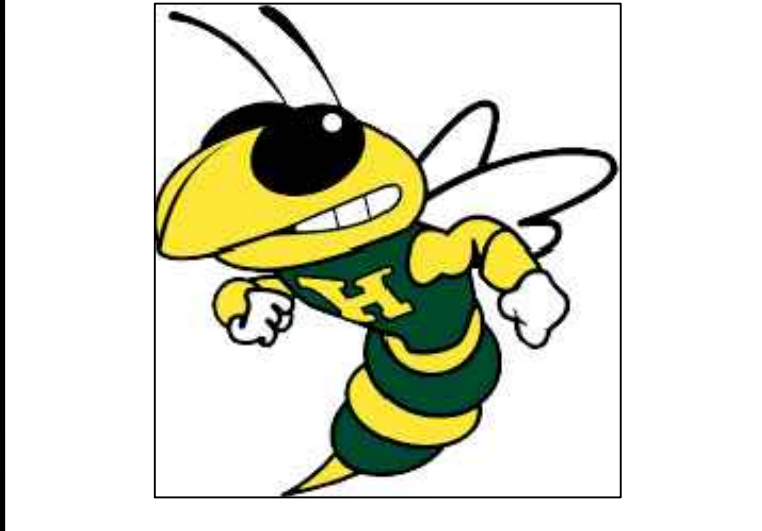
07-23-2021 FINAL BID DOCUMENT



DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVIEWED BY:
TWD	RLB	TWD	GYP
PROJECT NO.:	DATE:	SCALE:	
HHSD 1905	JULY 2021	AS NOTED	

CLIENT
Hastings-on-Hudson Union Free School District

Auditorium Renovations at Farragut Middle School



27 Farragut Avenue
Hastings-on-Hudson, NY 10706

66-04-04-03-0-001-036

CONTRACT
**CONTRACT G
GENERAL CONSTRUCTION**

STATUS
FINAL BID SET

SHEET TITLE
DOOR SCHEDULE, TYPES AND DETAILS

DRAWING NO.
AA 600.00

CONSULTANTS:

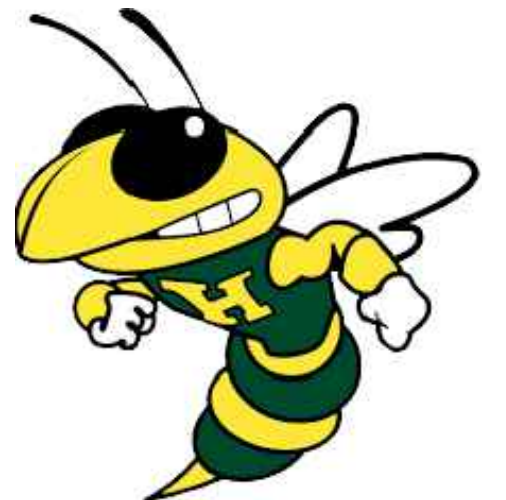
MARK	DATE	DESCRIPTION
07-23-2021	FINAL BID DOCUMENT	



DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVIEWED BY:
CAK	CAK	BMC	AEH
PROJECT NO.: HHSD 1905		DATE: JULY 2021	SCALE: AS NOTED

CLIENT
**Hastings-on-Hudson
Union Free School
District**

Auditorium Renovations at
Farragut Middle School



27 Farragut Avenue
Hastings-on-Hudson, NY 10706

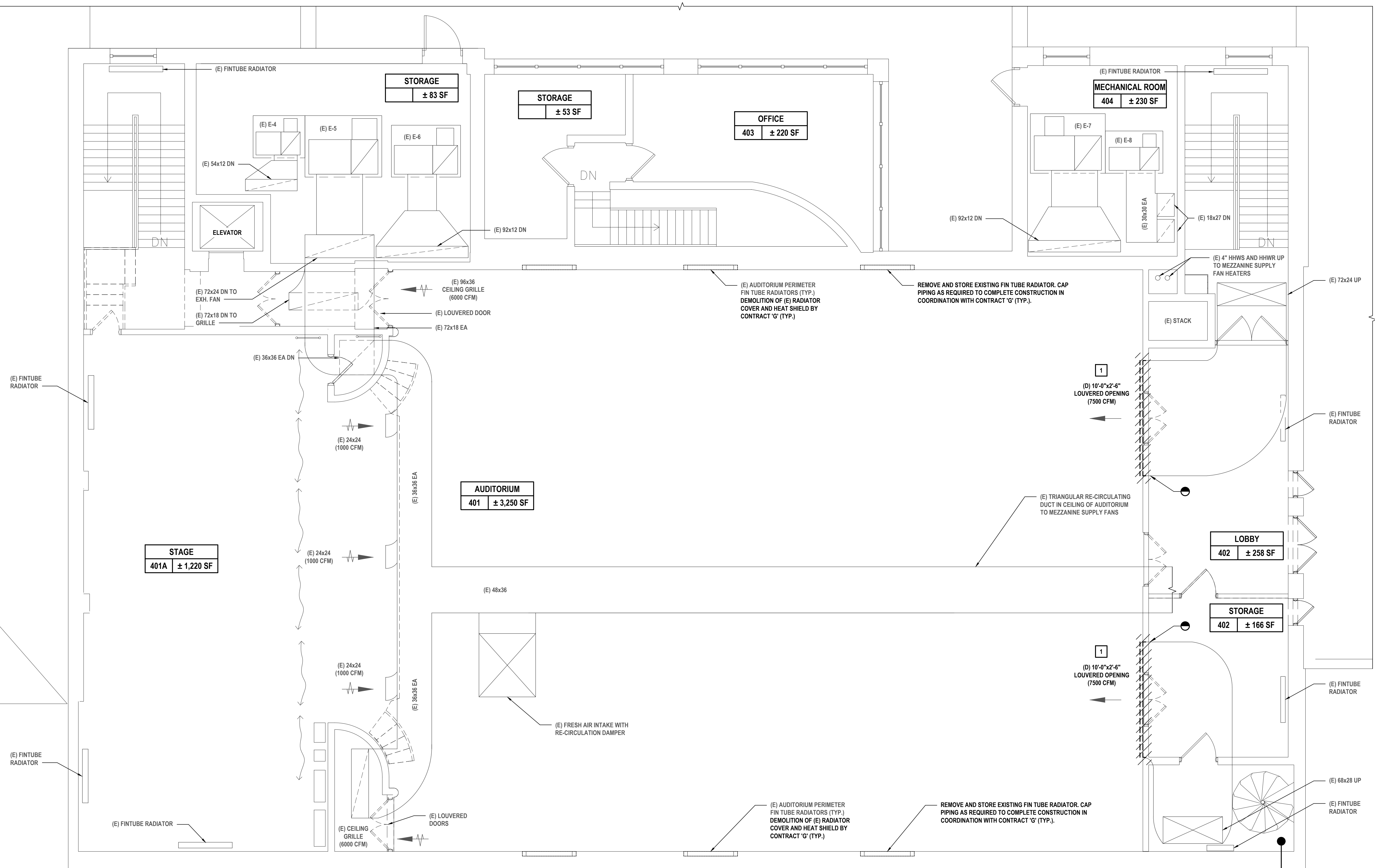
66-04-04-03-0-001-036

CONTRACT
CONTRACT M HEATING VENTILATION AND AIR CONDITIONING

STATUS
FINAL BID SET

SHEET TITLE
HVAC FOURTH FLOOR HVAC DUCTWORK DEMOLITION PLAN

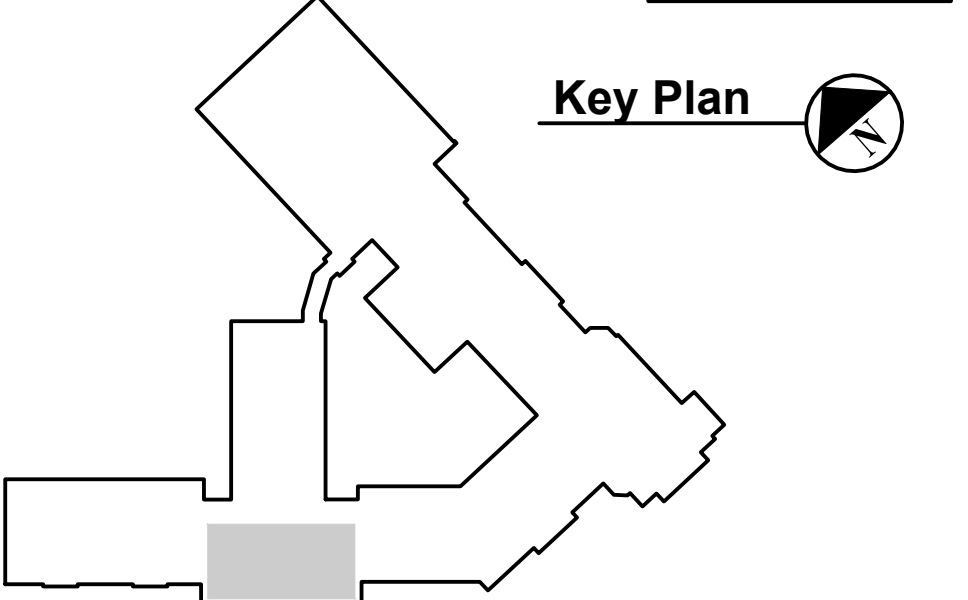
DRAWING NO.
MDA 100.00



Auditorium Floor Plan
SCALE: 1/4"=1'-0"

KEYED NOTES:
1. DEMOLISH AND DISPOSE OF EXISTING SUPPLY AIR LOUVER. CUT BACK EXISTING DUCTWORK AS REQUIRED TO PREPARE AND COMPLETE INSTALL OF NEW SUPPLY AIR LOUVER.

GENERAL NOTES:
1. EXISTING HEATING AND VENTILATION SYSTEMS ARE SHOWN FOR REFERENCE ONLY.
2. EXISTING HEATING AND VENTILATION SYSTEMS SHALL REMAIN IN OPERATION FOR WINTER MONTHS AND WHEN THERE IS A CALL FOR HEATING.



HHSD (Hastings-on-Hudson) 1905 - Remodeling of Farragut Middle School. DATE: 07/23/2021 10:00 AM. FLOOR: 4TH. HVAC: HVAC. NETWORK: DEMOLITION PLAN. NAME: LHM. LAST MODIFIED: Aug 14, 2021 2:23pm. PLOTTED ON: Aug 14, 2021 3:03pm. BY: mhmk.

