









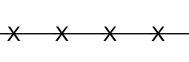



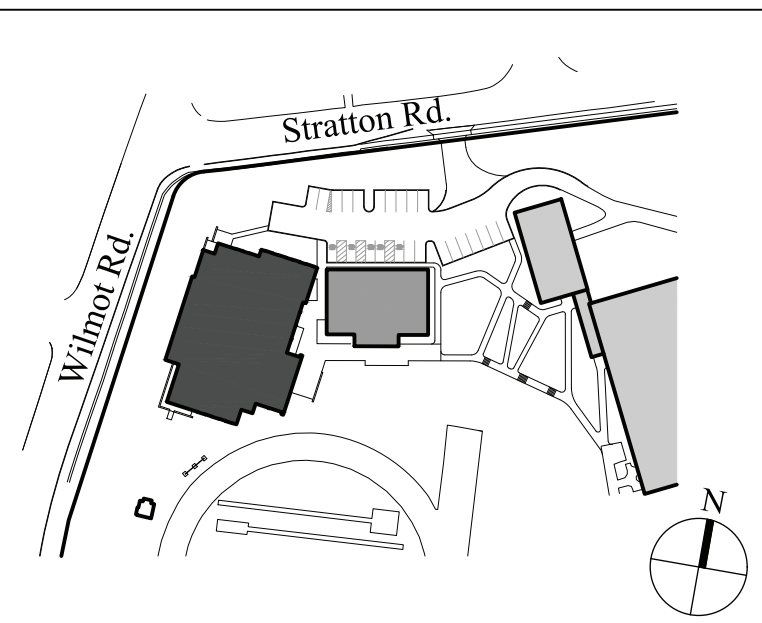


- "DO NOT ENTER EMERGENCY ACCESS ONLY" SIGN ON GATE
- EMERGENCY ACCESS LIFT GATE W/ KNOX BOX FOR CITY FIRE ACCESS KEY
- REINFORCED 8" THICK CONCRETE SIDEWALK AS PER CITY OF NEW ROCHELLE DPW STANDARD DETAIL
- EMERGENCY ONLY ACCESS
- PLASTIC GRASS PAVERS, TYP. MAX. LOADING CAPACITY 15,940 psi WHEN FILLED W/ SAND
- FULL DEPTH ASPHALT PAVEMENT, TYP.
- ASPHALT OVERFOUR, TYP.

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND FAMILIARIZE THEMSELVES WITH THE SITE PRIOR TO COMMENCEMENT OF WORK. ACTUAL FIELD CONDITIONS MAY VARY FROM LAYOUT, DIMENSIONS AND EXISTING GRADES AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH EXISTING FIELD CONDITIONS. NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES PRIOR TO CONTINUING WORK.
 - THE CONTRACTOR SHALL SECURE THE WORK AREA WITH SPECIFIED BARRIERS AND FENCING AND MAINTAIN A SAFE AND SECURE CONSTRUCTION SITE.
 - PEDESTRIAN AND VEHICULAR TRAFFIC ON ADJACENT ROADS AND SIDEWALKS SHALL BE MAINTAINED DURING CONSTRUCTION.
 - CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE OR INTERRUPTION TO EXISTING UTILITY SERVICE. ANY DAMAGE OR INTERRUPTION TO EXISTING UTILITY SERVICE SHALL BE RESTORED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
 - THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION (I.E. DEPARTMENT OF TRANSPORTATION, FIRE DEPARTMENT, DEPARTMENT OF ENVIRONMENTAL PROTECTION TELEPHONE, SEWER, GAS, ETC.) OBTAIN PERMITS AND PAY ANY FEES ASSOCIATED WITH WORK OF THIS PROJECT. SEE BIDDING GUIDE SCOPE OF WORK. WORK NOT INCLUDED FOR EXCLUSIONS.
 - IT IS ANTICIPATED THAT VARIOUS TYPES OF WORK FOR THIS CONTRACT WILL BE PERFORMED SIMULTANEOUSLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK BETWEEN SUBCONTRACTORS AND UTILITY COMPANIES TO ENSURE COMPLETION OF HIS WORK IN A TIMELY AND WORKMAN LIKE MANNER.
 - THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE TO ENSURE MATERIALS TO REMAIN SHALL NOT BE DAMAGED. ANY DAMAGE TO MATERIAL TO REMAIN SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND PAID FOR BY THE CONTRACTOR.
 - REMOVE AND DISPOSE OF ALL ITEMS DESIGNATED AS REMOVALS OFF-SITE IN A LEGAL MANNER. ALL EXISTING INLETS, BASINS AND CONNECTIONS WITHIN THE PROJECT LIMIT SHALL BE CLEANED AND CLEARED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
 - UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL RESTORE ALL "UNIMPROVED" AREAS UTILIZED FOR SITE ACCESS, STOCKPIILING, CONSTRUCTION TRAILERS ETC. TO SERVICEABLE AND SAFE CONDITIONS AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.

LEGEND			
	PROPERTY LINE		FULL DEPTH ASPHALT PAVEMENT
 PLL	PROJECT LIMIT LINE		ASPHALT OVERPOUR
	CONCRETE CURB		PLASTIC GRASS PAVERS
	CONCRETE RETAINING WALL W/ BARRIER RAIL		
	DECORATIVE BARRIER RAIL		
 x x x x x x	CHAIN LINK FENCE		PARKING LIGHT
	CONCRETE PAVEMENT WITH EXPANSION JOINT		AREA LIGHT
	ASPHALT PATH		LIGHT BOLLARD



Key Plan Not to Scale

9.	6/22/2021	BID ADDENDUM 4	
8.	6/09/2021	BID ADDENDUM 1	
7.	6/01/2021	ISSUED FOR BID	
6.	5/07/2021	RE-ISSUED FOR BUILDING PERMIT REVIEW	
5.	2/01/2021	ISSUED FOR BUILDING PERMIT REVIEW	
4.	10/14/2020	ISSUED FOR PLANNING BOARD REVIEW	
3.	9/23/2020	RESUBMITTED FOR ZONING REVIEW	
2.	8/28/2020	ISSUED FOR PRELIMINARY DOB REVIEW	
1.	1/10/2020	ISSUED FOR PRELIMINARY DOB REVIEW	
No.	Date	Revision/Submission	
STRUCTURAL & CIVIL ENGINEER			
DOMINICK R PILLA ASSOCIATES, P.C. 143 MAIN STREET NYACK, NY 10960 845-727-7793			
MEP ENGINEER		ROOFING CONSULTANT	
JMV CONSULTING ENGINEERING, P.C. 37 W. 39 STREET, STE 703 NEW YORK, NY 10018 212-852-9855		WATSKY ASSOCIATES 20 MADISON AVENUE VALHALLA, NY 10595 914-948-3450	

Stamp

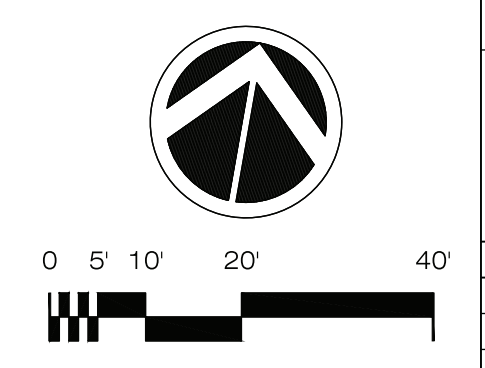
Project Title
IONA PREPARATORY SCHOOL
VERNI CENTER FOR PERFORMING ARTS

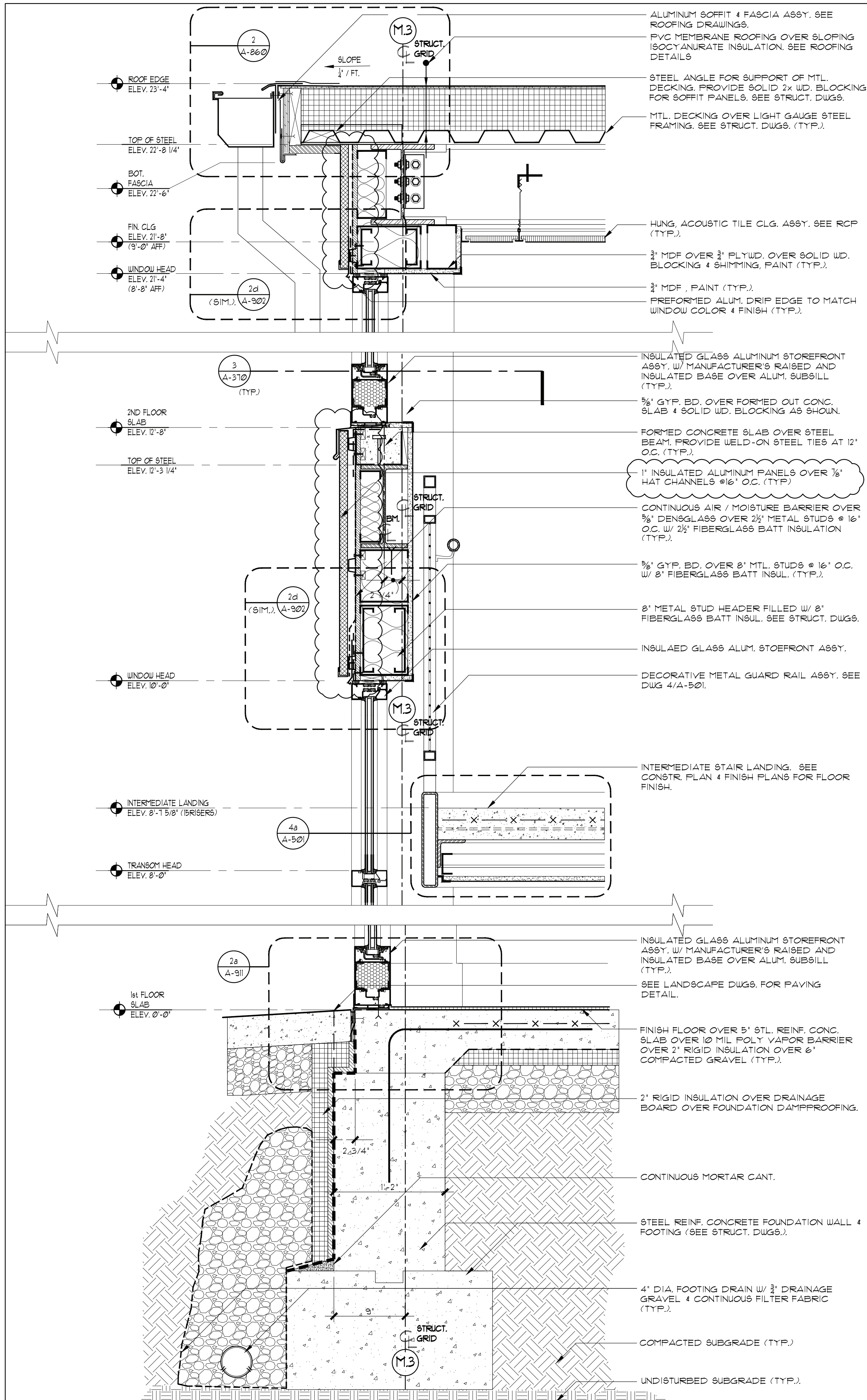
Project Address
IONA PREPARATORY SCHOOL
255 Wilmot Road
New Rochelle, NY 10804

Drawing Title
MATERIALS PLAN

Scale	Job No.	Date	Drawing No.
1" = 20'-0"	1618	04/03/2019	L-200
Drawn	Checked	Approved	
RW	RW	MT	

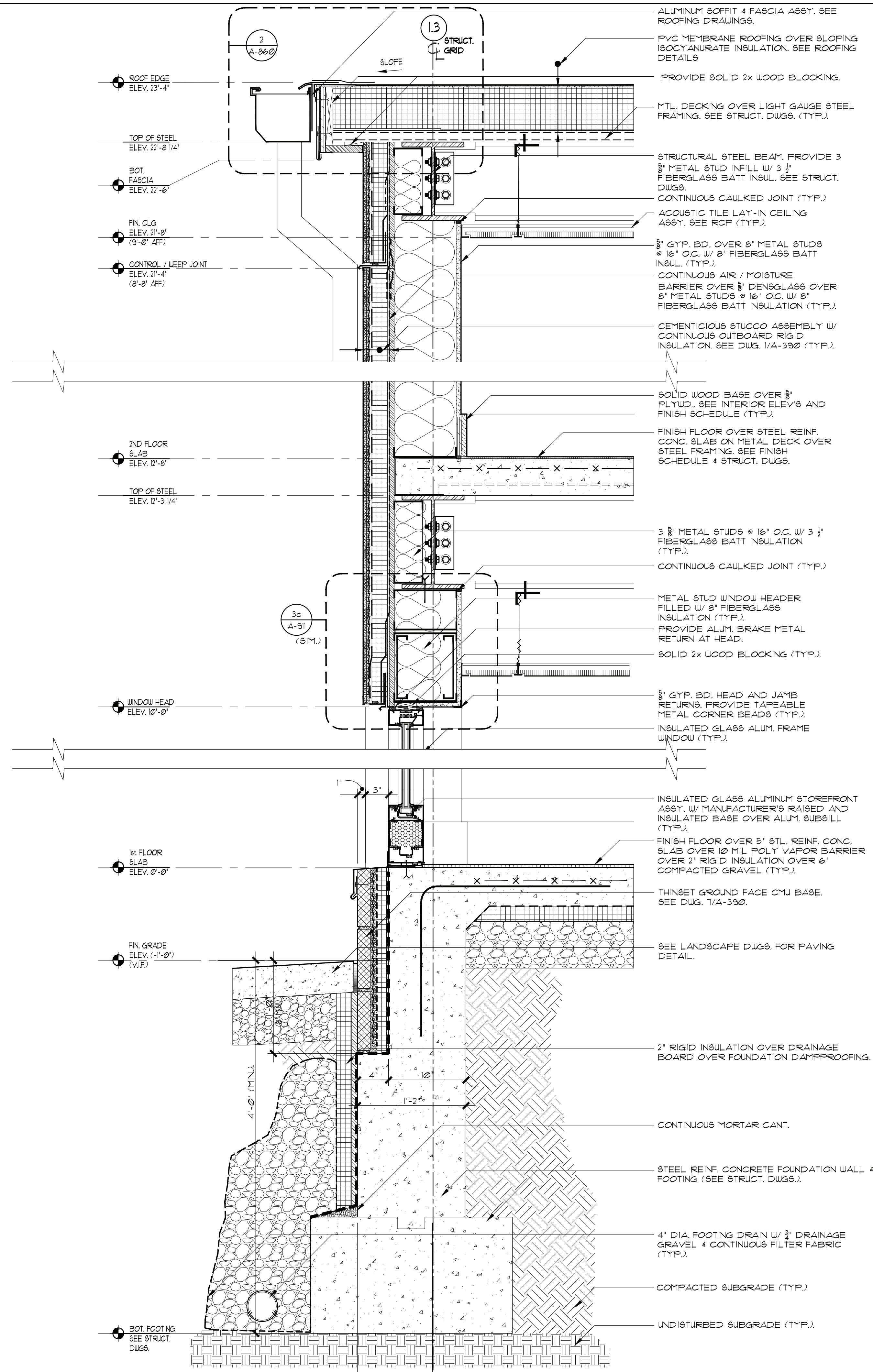
Peter Gisolfi Associates, LLP
Architects, Landscape Architects
566 Warburton Avenue
Hastings on Hudson, NY 10706
914 478 3677
PETER GISOLFI ASSOCIATES





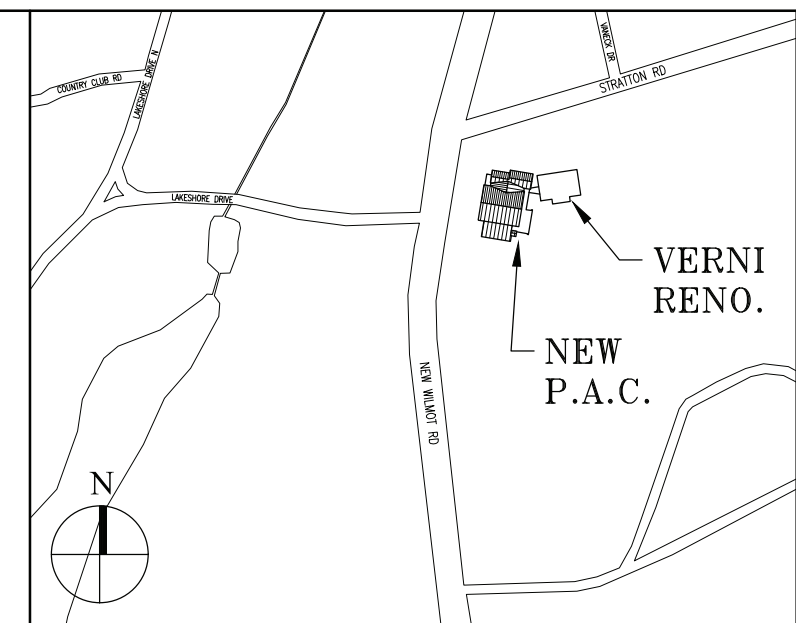
1 EXTERIOR WALL SECTION

SCALE: 1/2"=1'-0"



2 EXTERIOR WALL SECTION

SCALE: 1/2"=1'-0"



Key Plan (not to scale)

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2.	8/28/2020	ISSUED FOR PRELIMINARY DOB REVIEW
1.	1/10/2020	ISSUED FOR DD ESTIMATE
No.	Date	Revision/Submission
STRUCTURAL & SITE CIVIL ENGINEER		
DOMINICK R PILLA ASSOCIATES, P.C. 143 MAIN STREET NYACK, NY 10960 845-727-7793		
MEP ENGINEER		ROOFING CONSULTANT
JMV CONSULTING ENGINEERING, P.C. 37 W. 39 STREET, STE 703 NEW YORK, NY 10018 212-852-9855		WATSKY ASSOCIATES 20 MADISON AVENUE VALHALLA, NY 10595 914-948-3450

Stamp

Project Title
IONA PREPARATORY SCHOOL
ADDITION AND ALTERATION TO THE
PAUL VERNI FINE ARTS CENTER

Project Address
IONA PREPARATORY SCHOOL
255 Wilmot Road
New Rochelle, NY 10804

Drawing Title
EXTERIOR WALL SECTIONS

Scale	Job No.	Date	Drawing No.
	1618	04/03/2019	A-353
Drawn			

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