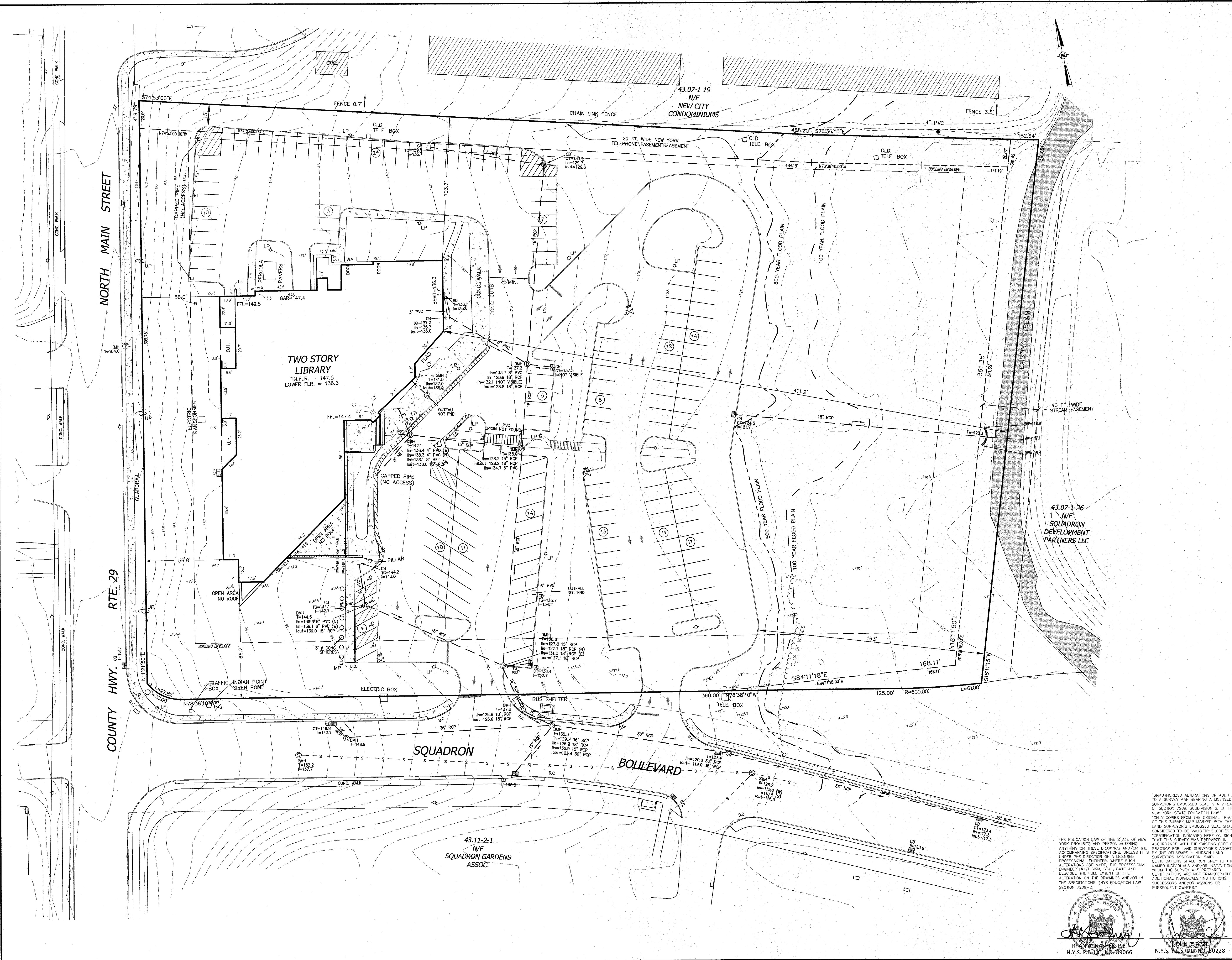
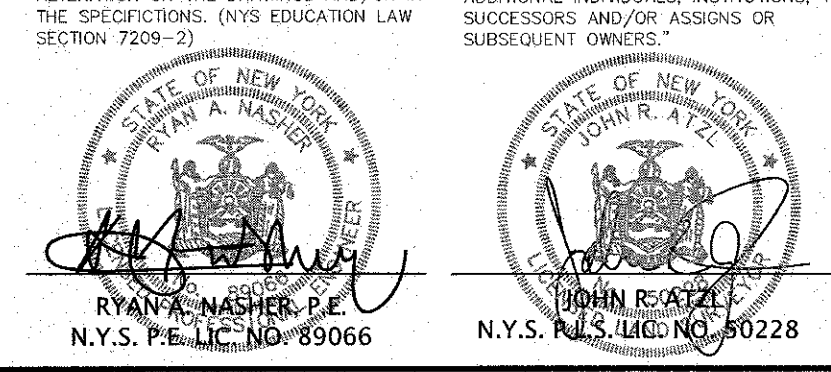
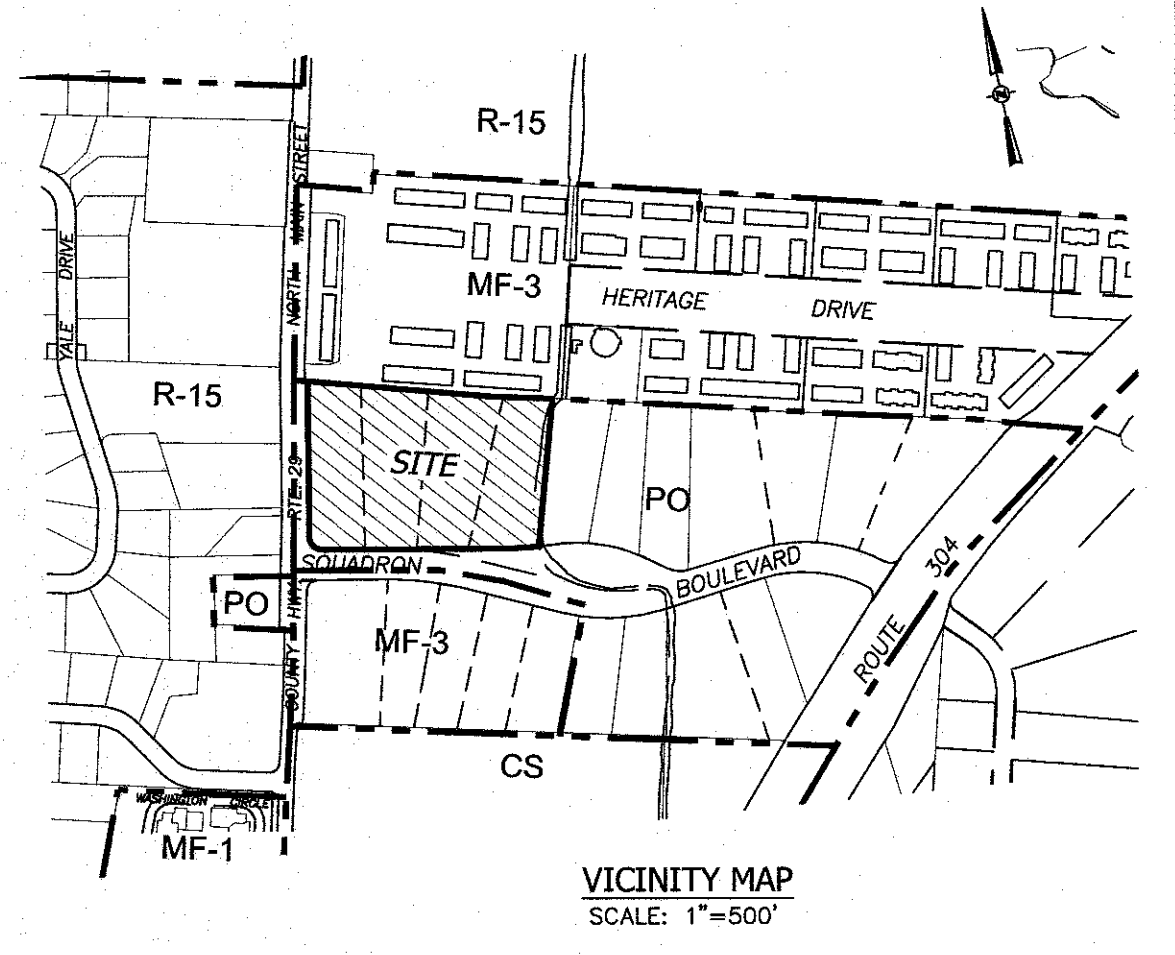
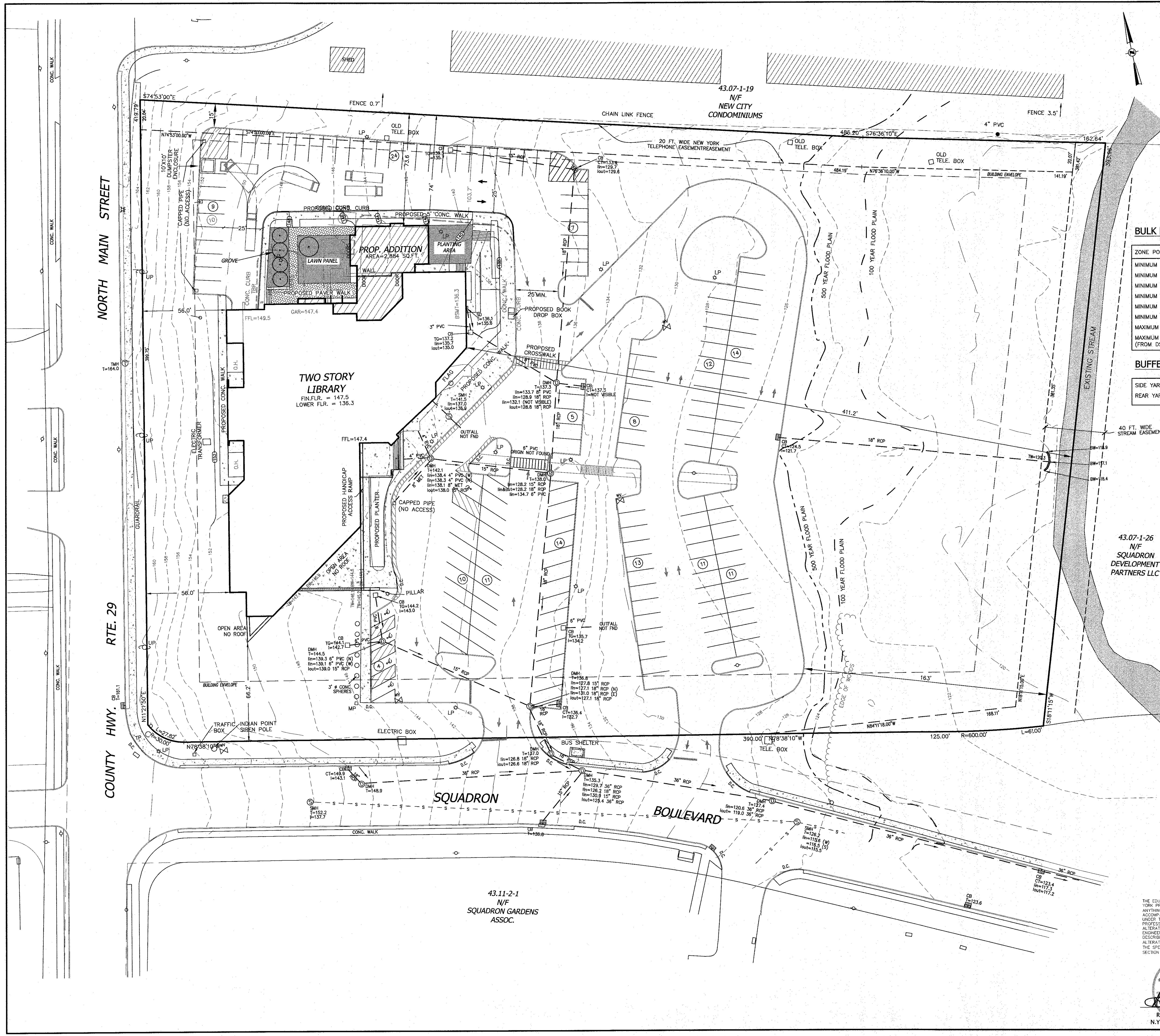




REVISION	DATE	DESCRIPTION
AN&Z ATZL, NASHER & ZIGLER P.C. ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.anzny.com		
VMDO VMDO Architects vmdo.com 434.296.5684 200 E Market Street Charlottesville, VA 22902 1200 18th Street NW Ste 700 Washington, DC 20036		
PROJECT: NEW CITY LIBRARY		
TOWN OF CLARKSTOWN ROCKLAND COUNTY, NEW YORK		
TITLE: EXISTING CONDITION		
DRAWN BY: MM	CHECKED BY: JRA	
DATE: JULY 1, 2021	SCALE: 1 IN. = 30 FT.	
PROJECT NO: 4661	DRAWING NO: 1 of 5	





BULK REQUIREMENTS

ZONE PO	USE GROUP "DD"	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA		30,000 SQ.FT.	219,283 SQ.FT.	219,283 SQ.FT.
MINIMUM LOT WIDTH		125 FT.	N/A COR. LOT	N/A COR. LOT
MINIMUM FRONT YARD DEPTH		35 FT.	56 FT.	56 FT.
MINIMUM SIDE YARD WIDTH		25 FT.	103.7 FT.	74 FT.
MINIMUM TOTAL SIDE YARD DEPTH		65 FT.	N/A COR. LOT	N/A COR. LOT
MINIMUM REAR YARD		50 FT.	411.2 FT.	411.2 FT.
MAXIMUM FLOOR AREA RATIO		0.40	0.21	0.22
MAXIMUM BUILDING HEIGHT (FROM DSL)		35 FT.	35 FT.	35 FT.

LOT AREA CALCULATION:
GROSS LOT AREA = 256,473 SQ.FT.
50% OF AREA WITHIN 100 YR FLOOD PLAIN = -28,376 SQ.FT.
50% OF SLOPES 20% - 50% = -8,814 SQ.FT.
NET LOT AREA FOR ZONING PURPOSES = 219,283 SQ.FT.

PARKING CALCULATIONS:
REQUIRED:
1 PARKING SPACE PER 200 SQ. FT. OF GROSS FLOOR AREA BUT NOT LESS 1 SPACE FOR EACH 5 SEATS WHERE PROVIDED.
25,321 SQ. FT./200 = 109.15 OR 110 SPACES
740 SEATS/5 SEATS = 148 SPACES REQUIRED
TOTAL PARKING SPACES REQUIRED = 148 SPACES REQUIRED

BUFFERS:

SIDE YARD	10 FT.	15 FT.	15 FT.
REAR YARD	10 FT.	163 FT.	163 FT.

NOTE: STORAGE AND MECHANICAL SPACE NOT INCLUDED IN PARKING CALCULATIONS.
PROPOSED:
TOTAL PARKING SPACES PROVIDED = 153 SPACES

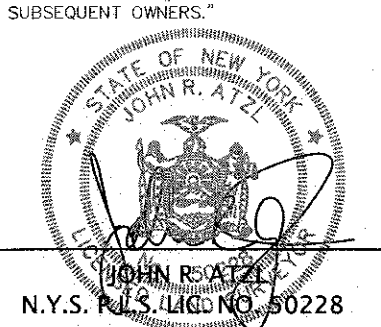
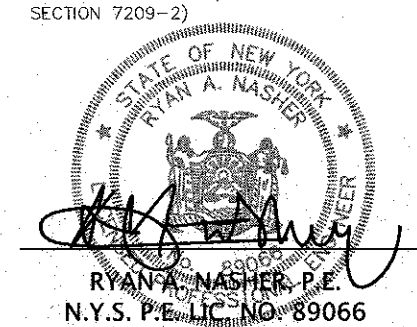
SEAT CALCULATIONS:

OCCUPANCY TYPE	AREA	AREA PER PERSON	OCCUPANTS
BASEMENT:			
BUSINESS(OFC)	1,103 SQ.FT.	150 SQ.FT.	8
BUSINESS(OFC)	1,385 SQ.FT.	150 SQ.FT.	10
	2,488 SQ.FT.		18
LOWER LEVEL:			
BUSINESS(OFC)	983 SQ.FT.	150 SQ.FT.	8
LIBRARY(READING)	50 SQ.FT.	100 SQ.FT.	12
LIBRARY(STACKS)	3,332 SQ.FT.	100 SQ.FT.	34
	4,875 SQ.FT.		54
MAIN LEVEL:			
ASSEMBLY(CONCENTRATED)	2,992 SQ.FT.	7 SQ.FT.	429
ASSEMBLY(UNCONCENTRATED)	734 SQ.FT.	15 SQ.FT.	49
BUSINESS(OFC)	5,134 SQ.FT.	150 SQ.FT.	35
BUSINESS(OFC)	4,924 SQ.FT.	150 SQ.FT.	26
LIBRARY(READING)	2,147 SQ.FT.	50 SQ.FT.	45
LIBRARY(STACKS)	1,574 SQ.FT.	100 SQ.FT.	16
	17,505 SQ.FT.		610
MEZZANINE:			
BUSINESS(OFC)	326 SQ.FT.	150 SQ.FT.	3
BUSINESS(OFC)	343 SQ.FT.	150 SQ.FT.	3
LIBRARY(READING)	987 SQ.FT.	50 SQ.FT.	20
LIBRARY(STACKS)	2,997 SQ.FT.	100 SQ.FT.	32
	4,653 SQ.FT.		58
TOTAL:	29,521 SQ.FT.		740 SEATS

LOT COVERAGE BREAKDOWN

	EXISTING	PROPOSED
BUILDING	22,991 SQ.FT.	24,164 SQ.FT.
WALKWAY & PATIO	8,103 SQ.FT.	11,714 SQ.FT.
MACADAM AREA	82,586 SQ.FT.	79,793 SQ.FT.
TOTAL	113,680 SQ.FT.	115,671 SQ.FT.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
CERTIFICATION INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION. S.A.D.
CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS.

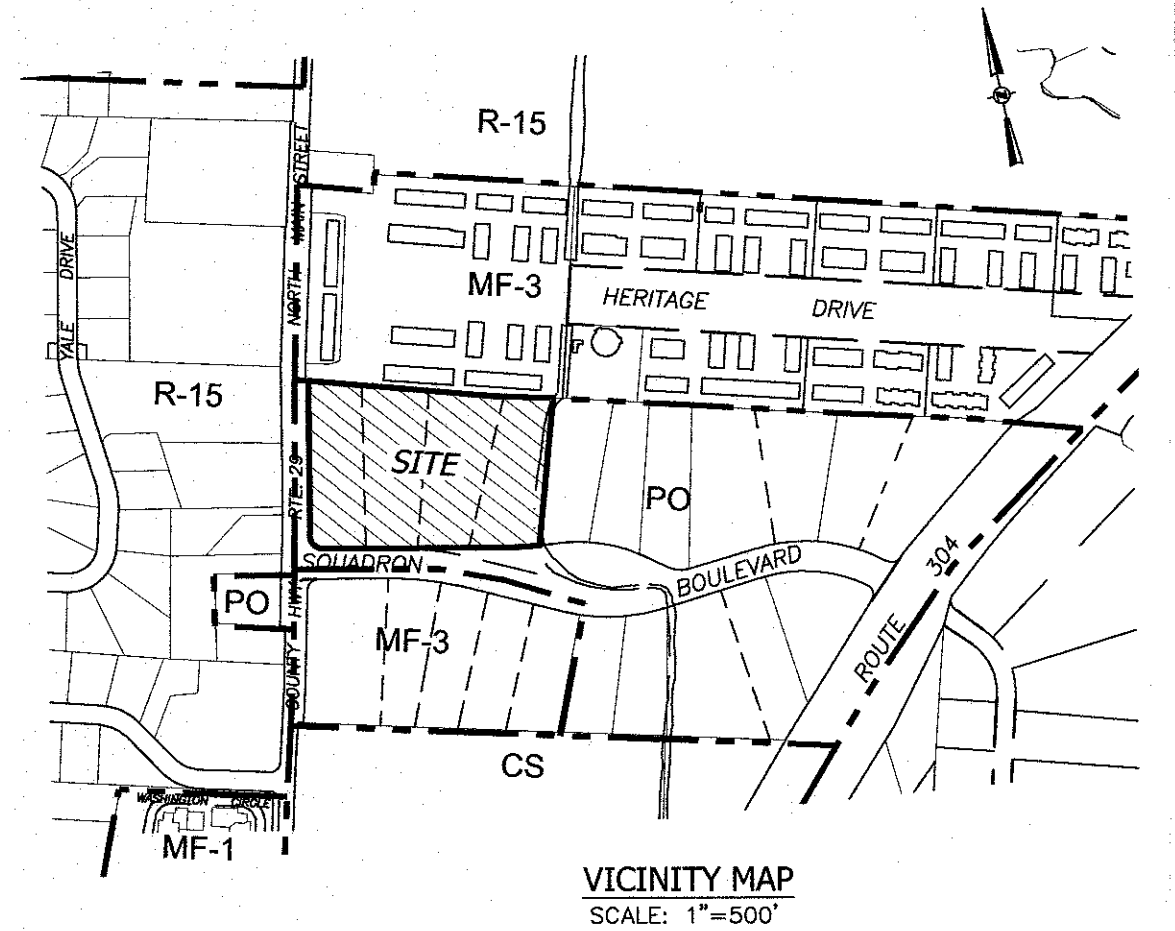
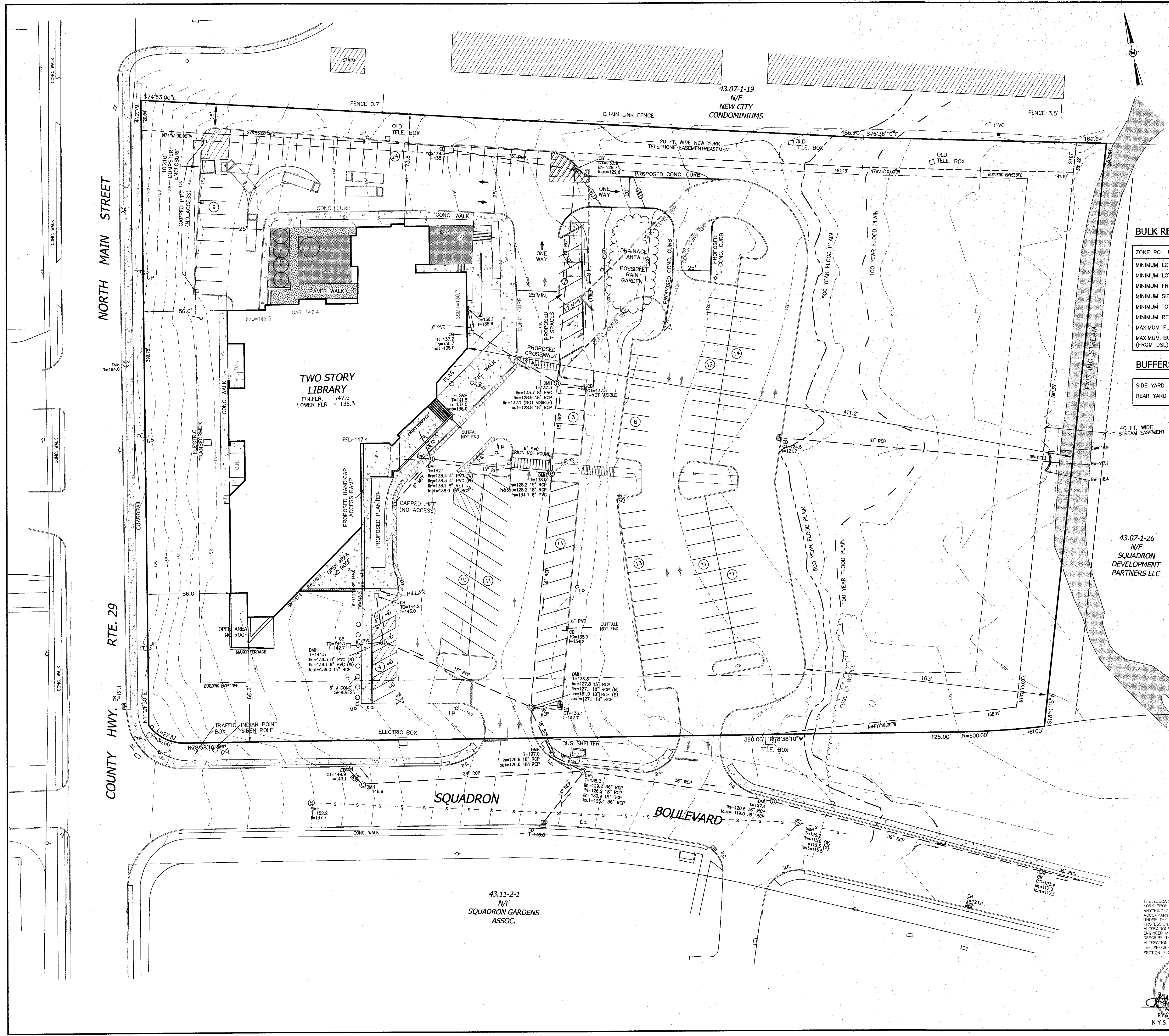


ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4684
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

VMDO
VMDO Architects
vmdo.com
434.296.5684
200 E Market Street
Charlottesville, VA 22902
1200 18th Street NW Ste 700
Washington, DC 20036

PROJECT:
NEW CITY LIBRARY
TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE:
**PHASE ONE
SITE DEVELOPMENT PLAN**
DRAWN BY: MM
DATE: JULY 1, 2021
PROJECT NO: 4661
CHECKED BY: JRA
SCALE: 1 IN. = 30 FT.
DRAWING NO: 2 of 5



BULK REQUIREMENTS

ZONE PO	USE GROUP "DD"	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA		30,000 SQ.FT.	219,283 SQ.FT.	219,283 SQ.FT.
MINIMUM LOT WIDTH		125 FT.	N/A COR. LOT	N/A COR. LOT
MINIMUM FRONT YARD DEPTH		35 FT.	56 FT.	56 FT.
MINIMUM SIDE YARD WIDTH		25 FT.	103.7 FT.	74 FT.
MINIMUM TOTAL SIDE YARD DEPTH		65 FT.	N/A COR. LOT	N/A COR. LOT
MINIMUM REAR YARD		50 FT.	411.2 FT.	411.2 FT.
MAXIMUM FLOOR AREA RATIO		0.40	0.21	0.22
MAXIMUM BUILDING HEIGHT (FROM DSL)		35 FT.	35 FT.	35 FT.
		1'0" FT.	1'0" FT.	1'0" FT.

LOT AREA CALCULATION:
GROSS LOT AREA = 256,473 SQ.FT.
50% OF AREA WITHIN 100 YR FLOOD PLAIN = -28,376 SQ.FT.
50% OF SLOPES 20% - 50% = -8,814 SQ.FT.
NET LOT AREA FOR ZONING PURPOSES = 219,283 SQ.FT.

PARKING CALCULATIONS:
REQUIRED: PARKING SPACE PER 200 SQ. FT. OF GROSS FLOOR AREA BUT NOT LESS 1 SPACE FOR EACH 5 SEATS WHERE PROVIDED.
29,321 SQ. FT./200 = 109.15 OR 110 SPACES
740 SEATS/5 SEATS = 148 SPACES REQUIRED
TOTAL PARKING SPACES REQUIRED = 148 SPACES REQUIRED

BUFFERS:

SIDE YARD	10 FT.	15 FT.	15 FT.
REAR YARD	10 FT.	163 FT.	163 FT.

NOTE: STORAGE AND MECHANICAL SPACE NOT INCLUDED IN PARKING CALCULATIONS.
PROPOSED: TOTAL PARKING SPACES PROVIDED = 153 SPACES

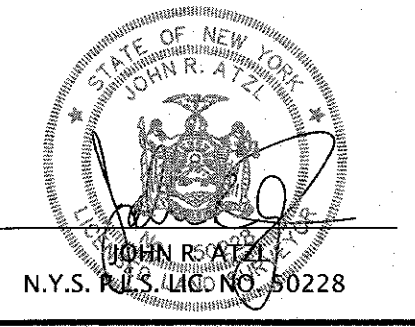
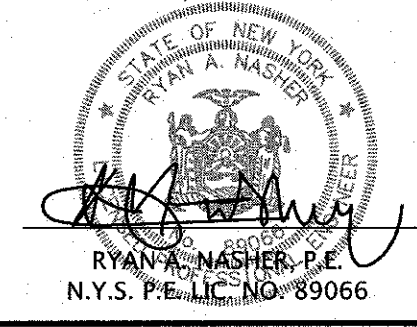
SEAT CALCULATIONS:

OCCUPANCY TYPE	AREA	AREA PER PERSON	OCCUPANTS
BASEMENT:			
BUSINESS(O/R)	1,103 SQ.FT.	150 SQ.FT.	8
BUSINESS(O/R)	1,385 SQ.FT.	150 SQ.FT.	10
	2,488 SQ.FT.		18
LOWER LEVEL:			
BUSINESS(O/R)	983 SQ.FT.	150 SQ.FT.	8
LIBRARY(READING)	50 SQ.FT.	150 SQ.FT.	12
LIBRARY(STACKS)	3,332 SQ.FT.	100 SQ.FT.	34
	4,875 SQ.FT.		54
MAIN LEVEL:			
ASSEMBLY(CONCENTRATED)	2,992 SQ.FT.	7 SQ.FT.	429
ASSEMBLY(UNCONCENTRATED)	734 SQ.FT.	15 SQ.FT.	49
BUSINESS(O/R)	5,134 SQ.FT.	150 SQ.FT.	35
BUSINESS(O/R)	4,924 SQ.FT.	150 SQ.FT.	26
LIBRARY(READING)	2,147 SQ.FT.	50 SQ.FT.	45
LIBRARY(STACKS)	1,574 SQ.FT.	100 SQ.FT.	16
	17,505 SQ.FT.		610
MEZZANINE:			
BUSINESS(O/R)	326 SQ.FT.	150 SQ.FT.	3
BUSINESS(O/R)	343 SQ.FT.	150 SQ.FT.	3
LIBRARY(READING)	987 SQ.FT.	50 SQ.FT.	20
LIBRARY(STACKS)	2,997 SQ.FT.	100 SQ.FT.	32
	4,653 SQ.FT.		58
TOTAL:	29,521 SQ.FT.		740 SEATS

LOT COVERAGE BREAKDOWN

	EXISTING	PROPOSED
BUILDING	24,164 SQ.FT.	24,164 SQ.FT.
WALKWAY & PATIO	11,714 SQ.FT.	12,535 SQ.FT.
MACADAM AREA	79,793 SQ.FT.	78,977 SQ.FT.
TOTAL	115,671 SQ.FT.	115,676 SQ.FT.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHOSE SIGN, SEAL, DATE AND DESCRIPTION ARE REQUIRED. ANY ALTERATION OR ADDITION TO THESE DRAWINGS AND/OR SPECIFICATIONS WITHOUT THE SIGNATURE AND SEAL OF THE PROFESSIONAL ENGINEER SHALL BE CONSIDERED TO BE A VIOLATION OF THE EDUCATION LAW OF THE STATE OF NEW YORK. (NYS EDUCATION LAW SECTION 2209-2)



ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

VMDO
VMDO Architects
vmdo.com
434.296.5684
200 E Market Street
Charlottesville, VA 22902
1200 18th Street NW Ste 700
Washington, DC 20036

PROJECT:

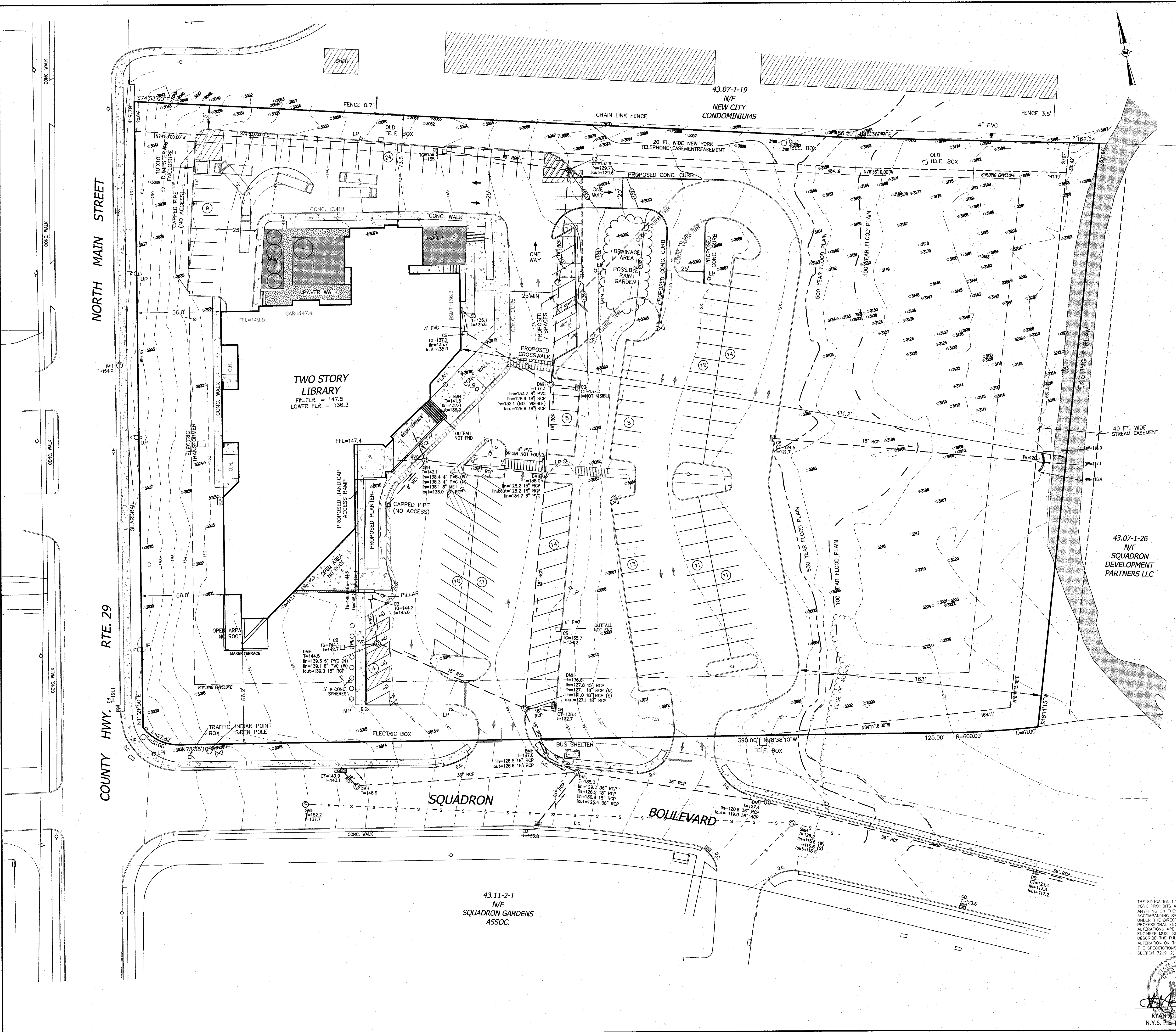
NEW CITY LIBRARY

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE:

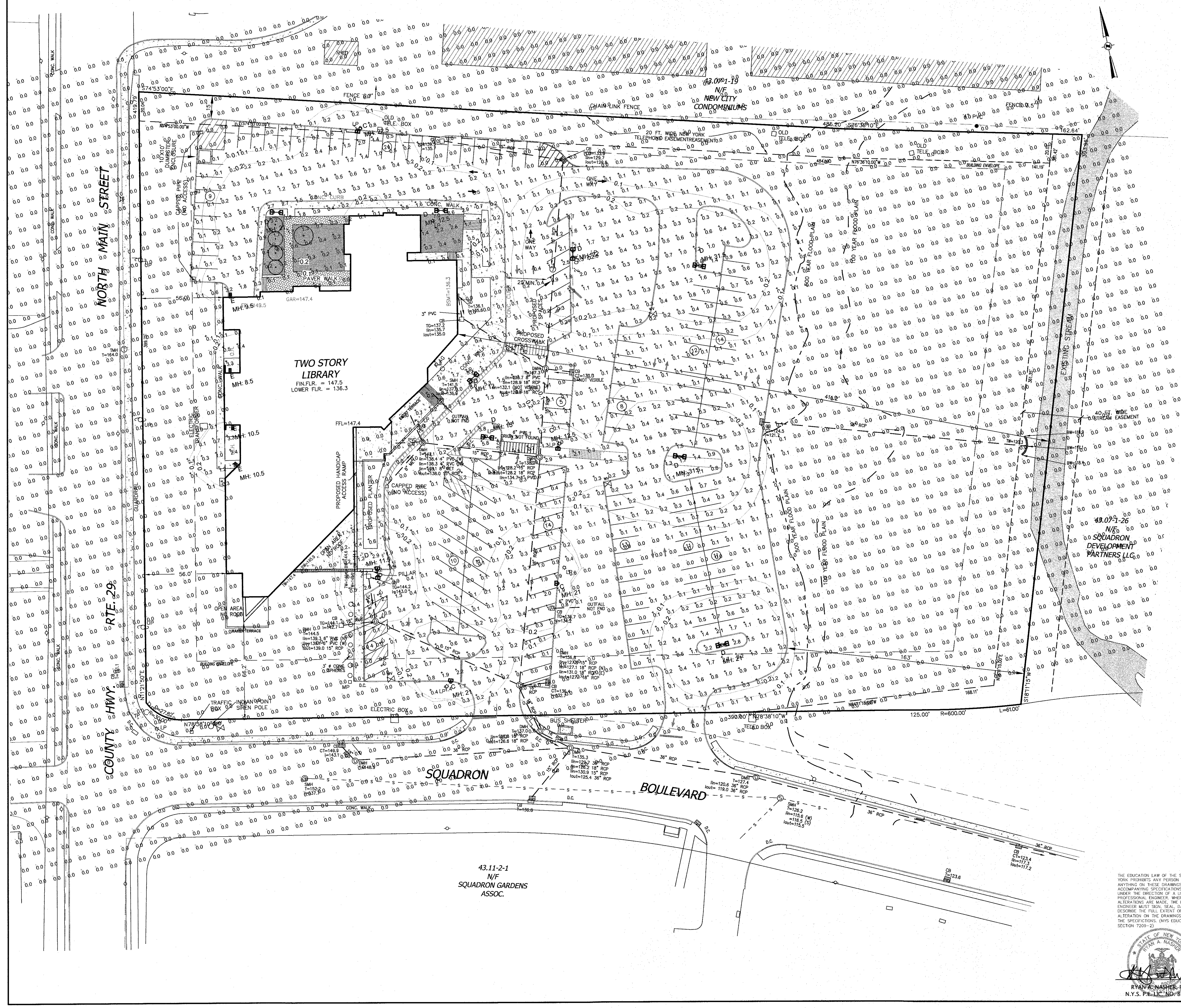
**PHASE TWO
SITE DEVELOPMENT PLAN**

DRAWN BY: MM	CHECKED BY: JRA
DATE: JULY 1, 2021	SCALE: 1 IN. = 30 FT.
PROJECT NO: 4661	DRAWING NO: 3 of 5



TREE LIST:

NUMBER	SIZE (IN)	SPECIES
3001	12	PINE
3002	14	WALNUT
3003	15	OAK
3004	16	WALNUT
3005	17	WALNUT
3006	18	WALNUT
3007	19	WALNUT
3008	20	WALNUT
3009	21	WALNUT
3010	22	WALNUT
3011	23	WALNUT
3012	24	WALNUT
3013	25	WALNUT
3014	26	WALNUT
3015	27	WALNUT
3016	28	WALNUT
3017	29	WALNUT
3018	30	WALNUT
3019	31	WALNUT
3020	32	WALNUT
3021	33	WALNUT
3022	34	WALNUT
3023	35	WALNUT
3024	36	WALNUT
3025	37	WALNUT
3026	38	WALNUT
3027	39	WALNUT
3028	40	WALNUT
3029	41	WALNUT
3030	42	WALNUT
3031	43	WALNUT
3032	44	WALNUT
3033	45	WALNUT
3034	46	WALNUT
3035	47	WALNUT
3036	48	WALNUT
3037	49	WALNUT
3038	50	WALNUT
3039	51	WALNUT
3040	52	WALNUT
3041	53	WALNUT
3042	54	WALNUT
3043	55	WALNUT
3044	56	WALNUT
3045	57	WALNUT
3046	58	WALNUT
3047	59	WALNUT
3048	60	WALNUT
3049	61	WALNUT
3050	62	WALNUT
3051	63	WALNUT
3052	64	WALNUT
3053	65	WALNUT
3054	66	WALNUT
3055	67	WALNUT
3056	68	WALNUT
3057	69	WALNUT
3058	70	WALNUT
3059	71	WALNUT
3060	72	WALNUT
3061	73	WALNUT
3062	74	WALNUT
3063	75	WALNUT
3064	76	WALNUT
3065	77	WALNUT
3066	78	WALNUT
3067	79	WALNUT
3068	80	WALNUT
3069	81	WALNUT
3070	82	WALNUT
3071	83	WALNUT
3072	84	WALNUT
3073	85	WALNUT
3074	86	WALNUT
3075	87	WALNUT
3076	88	WALNUT
3077	89	WALNUT
3078	90	WALNUT
3079	91	WALNUT
3080	92	WALNUT
3081	93	WALNUT
3082	94	WALNUT
3083	95	WALNUT
3084	96	WALNUT
3085	97	WALNUT
3086	98	WALNUT
3087	99	WALNUT
3088	100	WALNUT
3089	101	WALNUT
3090	102	WALNUT
3091	103	WALNUT
3092	104	WALNUT
3093	105	WALNUT
3094	106	WALNUT
3095	107	WALNUT
3096	108	WALNUT
3097	109	WALNUT
3098	110	WALNUT
3099	111	WALNUT
3100	112	WALNUT
3101	113	WALNUT
3102	114	WALNUT
3103	115	WALNUT
3104	116	WALNUT
3105	117	WALNUT
3106	118	WALNUT
3107	119	WALNUT
3108	120	WALNUT
3109	121	WALNUT
3110	122	WALNUT
3111	123	WALNUT
3112	124	WALNUT
3113	125	WALNUT
3114	126	WALNUT
3115	127	WALNUT
3116	128	WALNUT
3117	129	WALNUT
3118	130	WALNUT
3119	131	WALNUT
3120	132	WALNUT
3121	133	WALNUT
3122	134	WALNUT
3123	135	WALNUT
3124	136	WALNUT
3125	137	WALNUT
3126	138	WALNUT
3127	139	WALNUT
3128	140	WALNUT
3129	141	WALNUT
3130	142	WALNUT
3131	143	WALNUT
3132	144	WALNUT
3133	145	WALNUT
3134	146	WALNUT
3135	147	WALNUT
3136	148	WALNUT
3137	149	WALNUT
3138	150	WALNUT
3139	151	WALNUT
3140	152	WALNUT
3141	153	WALNUT
3142	154	WALNUT
3143	155	WALNUT
3144	156	WALNUT
3145	157	WALNUT
3146	158	WALNUT
3147	159	WALNUT
3148	160	WALNUT
3149	161	WALNUT
3150	162	WALNUT
3151	163	WALNUT
3152	164	WALNUT
3153	165	WALNUT
3154	166	WALNUT
3155	167	WALNUT
3156	168	WALNUT
3157	169	WALNUT
3158	170	WALNUT
3159	171	WALNUT
3160	172	WALNUT
3161	173	WALNUT
3162	174	WALNUT
3163	175	WALNUT
3164	176	WALNUT
3165	177	WALNUT
3166	178	WALNUT
3167	179	WALNUT
3168	180	WALNUT
3169	181	WALNUT
3170	182	WALNUT
3171	183	WALNUT
3172	184	WALNUT
3173	185	WALNUT
3174	186	WALNUT
3175	187	WALNUT
3176	188	WALNUT
3177	189	WALNUT
3178	190	WALNUT
3179	191	WALNUT
3180	192	WALNUT
3181	193	WALNUT
3182	194	WALNUT
3183	195	WALNUT
3184	196	WALNUT
3185	197	WALNUT
3186	198	WALNUT
3187	199	WALNUT
3188	200	WALNUT
3189	201	WALNUT
3190	202	WALNUT
3191	203	WALNUT
3192	204	WALNUT
3193	205	WALNUT
3194	206	WALNUT
3195	207	WALNUT
3196	208	WALNUT
3197	209	WALNUT
3198	210	WALNUT
3199	211	WALNUT
3200	212	WALNUT
3201	213	WALNUT
3202	214	WALNUT
3203	215	WALNUT
3204	216	WALNUT
3205	217	WALNUT
3206	218	WALNUT
3207	219	WALNUT
3208	220	WALNUT
3209	221	WALNUT
3210	222	WALNUT
3211	223	WALNUT
3212	224	WALNUT
3213	225	WALNUT
3214	226	WALNUT
3215	227	WALNUT
3216	228	WALNUT
3217	229	WALNUT
3218	230	WALNUT
3219	231	WALNUT
3220	232	WALNUT
3221	233	WALNUT
3222	234	WALNUT
3223	235	WALNUT
3224	236	WALNUT
3225	237	WALNUT
3226	238	WALNUT
3227	239	WALNUT
3228	240	WALNUT
3229	241	WALNUT
3230	242	WALNUT
3231	243	WALNUT
3232	244	WALNUT
3233	245	WALNUT
3234	246	WALNUT
3235	247	WALNUT
3236	248	WALNUT
3237	249	WALNUT
3238	250	WALNUT
3239	251	WALNUT
3240	252	WALNUT
3241	253	WALNUT
3242	254	WALNUT
3243	255	WALNUT
3244	256	WALNUT
3245	257	WALNUT
3246	258	WALNUT
3247	259	WALNUT
3248	260	WALNUT
3249	261	WALNUT
3250	262	WALNUT
3251	263	WALNUT
3252	264	WALNUT
3253	265	WALNUT
3254	266	WALNUT
3255	267	WALNUT
3256	268	WALNUT
3257	269	WALNUT
3258	270	WALNUT
3259	271	WALNUT
3260	272	WALNUT
3261	273	WALNUT
3262	274	WALNUT
3263	275	WALNUT
3264	276	WALNUT
3265	277	WALNUT
3266	278	WALNUT
3267	279	WALNUT
3268	280	WALNUT
3269	281	WALNUT
3270	282	WALNUT
3271	283	WALNUT
3272	284	WALNUT
3273	285	WALNUT
3274	286	WALNUT
3275	287	WALNUT
3276	288	WALNUT
3277	289	WALNUT
3278	290	WALNUT
3279	291	WALNUT
3280	292	WALNUT
3281	293	WALNUT
3282	294	WALNUT
3283	295	WALNUT
3284	296	WALNUT
3285	297	WALNUT
3286	298	WALNUT
3287	299	WALNUT
3288	300	WALNUT
3289	301	WALNUT
3290	302	WALNUT
3291	303	WALNUT
3292	304	WALNUT
3293	305	WALNUT
3294	306	WALNUT
3295	307	WALNUT
3296	308	WALNUT
3297	309	WALNUT
3298	310	WALNUT
3299	311	WALNUT
3300	312	WALNUT
3301	313	WALNUT
3302	314	WALNUT
3303	315	WALNUT
3304	316	WALNUT
3305	317	WALNUT
3306	318	WALNUT
3307	319	WALNUT
3308	320	WALNUT
3309	321	WALNUT
3310	322	WALNUT
3311	323	WALNUT
3312	324	WALNUT
3313	325	WALNUT
3314	326	WALNUT
3315	327	WALNUT
3316	328	WALNUT
3317	329	WALNUT
3318	330	WALNUT
3319	331	WALNUT
3320	332	WALNUT
3321	333	WALNUT
3322	334	WALNUT
3323	335	WALNUT
3324	336	WALNUT
3325	337	WALNUT
3326	338	WALNUT
3327	339	WALNUT
3328	340	WALNUT
3329	341	WALNUT
3330	342	WALNUT
3331	343	WALNUT
3332	344	WALNUT
3333	345	WALNUT
3334	346	WALNUT
3335	347	WALNUT
3336	348	WALNUT
3337	349	WALNUT
3338	350	WALNUT
3339	351	WALNUT
3340	352	WALNUT
3341	353	WALNUT
3342	354	WALNUT
3343	355	WALNUT
3344	356	WALNUT
3345	357	WALNUT
3346	358	WALNUT
3347	359	WALNUT
3348	360	WALNUT
3349	361	WALNUT
3350	362	WALNUT
3351	363	WALNUT
3352	364	WALNUT
3353	365	WALNUT
3354	366	WALNUT
3355	367	WALNUT
3356	368	WALNUT
3357	369	WALNUT
3358	370	WALNUT
3359	371	WALNUT
3360	372	WALNUT
3361	373	WALNUT
3362	374	WALNUT
3363	375	WALNUT
3364	376	WALNUT
3365	377	WALNUT
3366	378	WALNUT
3367	379	WALNUT
3368	380	WALNUT
3369	381	WALNUT
3370	382	WALNUT
3371	383	WALNUT
3372	384	WALNUT
3373	385	WALNUT
3374	386	WALNUT
3375	387	WALNUT
3376	388	WALNUT
3377	389	WALNUT
3378	390	WALNUT
3379	391	WALNUT
3380	392	WALNUT
3381	393	WALNUT
3382	394	WALNUT
3383	395	WALNUT
3384	396	WALNUT
3385	397	WALNUT
3386	398	WALNUT
3387	399	WALNUT
3388	400	WALNUT
3389	401	WALNUT
3390	402	WALNUT
3391	403	WALNUT
3392	404	WALNUT
3393	405	WALNUT
3394	406	WALNUT
3395	407	WALNUT
3396	408	WALNUT
3397	409	WALNUT
3398	410	WALNUT
3399	411	WALNUT
3400	412	WALNUT
3401	413	WALNUT
3402	414	WALNUT
3403	415	WALNUT
3404	416	WALNUT
3405	417	WALNUT
3406	418	WALNUT
3407	419	WALNUT
3408	420	WALNUT



NOTES:

- * The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLF is the result (quotient) of mean lumens / initial lumens per lamp manufacturer's specifications.
- * Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.
- * The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.
- * Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
- * It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.
- * The landscape material shown hereon is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.
- * Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the design of light must be detailed by the customer documents for inclusion in the RAB lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies.
- * RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	BUG Rating
	4	LED18Y	SINGLE	N.A.	1.000	Area Light	B1-U0-G0
	9	LED18Y x 2	BACK-2-2	N.A.	1.000	Area Light	B1-U0-G0
	4	WPLED10Y	SINGLE	N.A.	1.000	Wallpack	B1-U0-G0

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PISp/L	PISp/Tb
SITE	Illuminance	Fc	0.12	9.2	0.0	N.A.	N.A.	10	10
			Horizontal						

Expanded Luminaire Location Summary									
LumNo	Tag	X	Y	MTG HT	Orient	Tilt			
1	C	3584.552	5626.138	22.5	251.754	0			
2	C	3673.412	5384.22	12.5	255.826	0			
3	C	3654.099	6292.072	21	167.263	0			
4	C	3567.342	6240.926	21	72.917	0			
5	D	3755.763	5227.186	21	0	0			
6	D	3754.163	5227.186	21	180	0			
7	D	3754.163	5359.737	31.5	342.034	0			
8	D	3752.831	5359.231	31.5	162.034	0			
9	D	3794.626	5484.998	31.5	339.532	0			
10	D	3793.128	5485.558	31.5	159.532	0			
11	D	3534.181	5325.676	11.5	79.62	0			
12	D	3533.893	5324.102	11.5	259.62	0			
13	D	3628.048	5400.245	15	341.585	0			
14	D	3626.53	5400.751	15	161.565	0			
15	D	3626.961	5443.097	12	33.253	0			
16	D	3625.643	5442.219	12	213.253	0			
17	D	3629.617	5559.486	12.5	347.66	0			
18	D	3628.053	5559.828	12.5	167.66	0			
19	D	3545.794	5581.686	21	344.216	0			
20	D	3517.254	5582.125	21	184.218	0			
21	D	3711.208	5512.316	22	76.803	0			
22	D	3710.842	5510.768	22	256.803	0			
23	E	3475.012	5531.791	9.5	79.412	0			
24	E	3463.902	5480.964	8.5	77.758	0			
25	E	3456.022	5444.648	10.5	256.231	0			
26	E	3455.424	5417.399	10.5	126.955	0			
Total Quantity: 26									

AN&Z

ATZL NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.anzny.com

VMDO

VMDO Architects
vmdo.com
434.296.5654
200 E Market Street
Charlottesville, VA 22902
1200 18th Street NW Ste 705
Washington, DC 20036

PROJECT:
NEW CITY LIBRARY
TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK
TITLE:
LIGHTING PLAN

DRAWN BY: MM	CHECKED BY: JRA
DATE: JULY 1, 2021	SCALE: 1 IN. = 30 FT.
PROJECT NO:	DRAWING NO:

