

# Roof Condition Assessment

Property Address

**106 Hammond Rd.**

**Thiells, New York 10984**



June 27<sup>th</sup> 2021

Completed By:

Michael Shilale Architects,LLP

**HSA**  
MICHAEL SHILALE ARCHITECTS, LLP

## **Index Page**

<b>A.) Index Page .....</b>	<b>Page 2</b>
<b>B.) General Information .....</b>	<b>Page 3</b>
<b>C.) Core Samples.....</b>	<b>Page 4-8</b>
<b>D.) Roof Inspection Summary .....</b>	<b>Page 9</b>
<b>E.) Photographs.....</b>	<b>Page 10-13</b>
<b>F.) Building Overview .....</b>	<b>Pag 14</b>
<b>G.) Roof Schematic.....</b>	<b>Page 15</b>
<b>H.) Recommendations.....</b>	<b>Page 16</b>



## GENERAL INFORMATION:

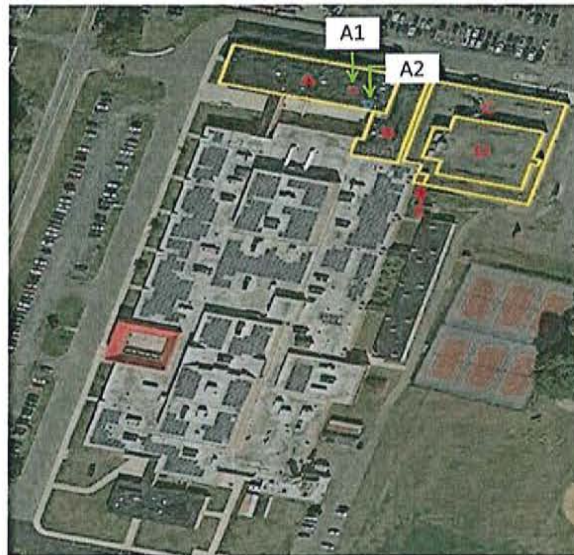
A visual and physical inspection was completed at 106 Hammond Rd., Thiells, NY 10984. The inspection of the roofing system took place on Wednesday, June 27th, 2021. The weather conditions during the roof inspection can be described as hot and sunny with clear skies. The purpose of the inspection was to evaluate the existing usable service life as well as any/all possible leaks. Based on findings an informed opinion is provided about the useful service life of the roofs, as well as recommendations on how to proceed and to determine if the roofs could potentially be a restoration candidate vs full replacement.

The general scope of the roof inspection involved the following:

1. Visual examination of all accessible exterior roof surfaces and flashing systems.
2. Visual examination of accessible interior ceiling locations, where possible.
3. Visual examination of existing masonry walls, particularly at/near roof lines.
4. Visual inspection of existing drains and penetration.
5. Core samples were taken to verify existing construction.
6. Photographic documentation of everything above.



## CORE SAMPLES:



### Core Sample Layout A1:

- EPDM
- 3" Iso
- ½" coverboard
- Sloped Lightweight Concrete deck

Red = Core Sample 1

Blue = Core Sample 2

### Core Sample Layout A2:

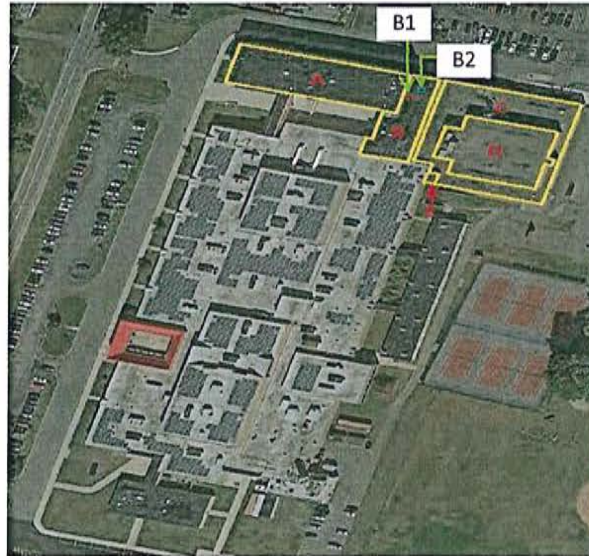
- EPDM
- 2 ½" Iso
- ½" coverboard
- Sloped Lightweight Concrete deck



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## CORE SAMPLES:



### Core Sample Layout B1:

- EPDM
- 2" Iso
- ½" coverboard
- Sloped Lightweight Concrete deck

Red = Core Sample 1

Blue = Core Sample 2

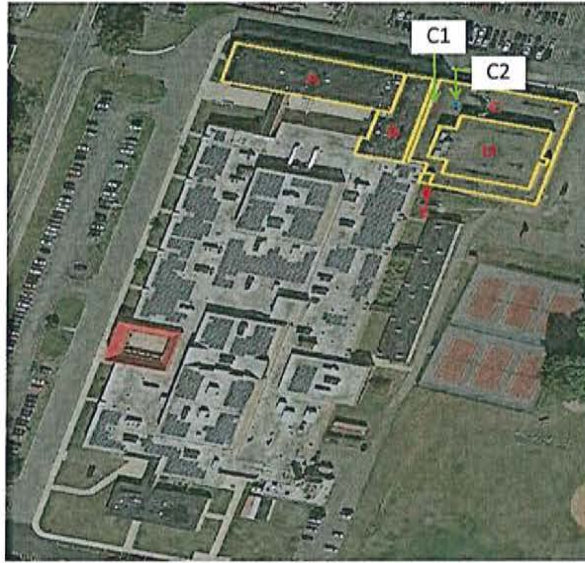
### Core Sample Layout B2:

- EPDM
- 3" Iso
- ½" coverboard
- Sloped Lightweight Concrete deck



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## CORE SAMPLES:



### Core Sample Layout C1:

- EPDM
- 3" Iso
- ½" coverboard
- Sloped Lightweight Concrete deck

Red = Core Sample 1

Blue = Core Sample 2

### Core Sample Layout C2:

- Ballasted EPDM
- 3" Iso
- ½" coverboard
- Sloped Lightweight Concrete deck



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## CORE SAMPLES:



### Core Sample Layout D1:

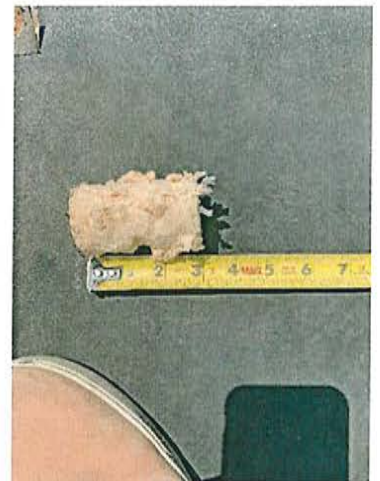
- Ballasted EPDM
- 5" Iso
- ½" coverboard
- Sloped Lightweight Concrete deck

Red = Core Sample 1

Blue = Core Sample 2

### Core Sample Layout D2:

- Ballasted EPDM
- 3" Iso
- ½" coverboard
- Sloped Lightweight Concrete deck



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## CORE SAMPLES:



### Core Sample Layout E1:

- Ballasted EPDM
- 3" Iso
- ½" coverboard
- Sloped Lightweight Concrete deck

Red = Core Sample 1



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## **Roof Inspection Summary:**

A visual roof inspection was completed at 106 Hammond Rd., Thiells, NY 10984. Nine core samples were taken during this inspection. The following conditions and defects were noted during the time of the inspection.

- Open seams.
- Open patches.
- Debris in drains.
- Damaged counter flashings
- Debris on roofs.
- Aging membrane.
- Signs of degradation.
- Wet insulation.



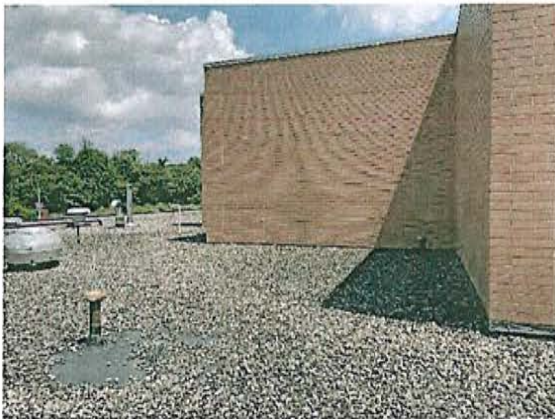
## Photographs



Roof overview.



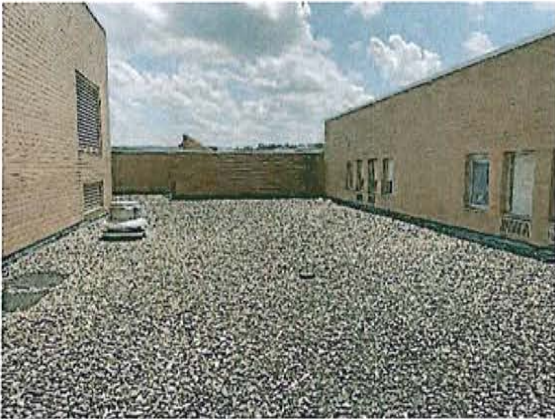
Roof overview.



Roof overview.



Roof overview.



Roof overview.



Roof overview.

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## Photographs



Roof overview.



Roof overview.



Roof overview.



Roof overview.



Roof overview.



Roof overview.

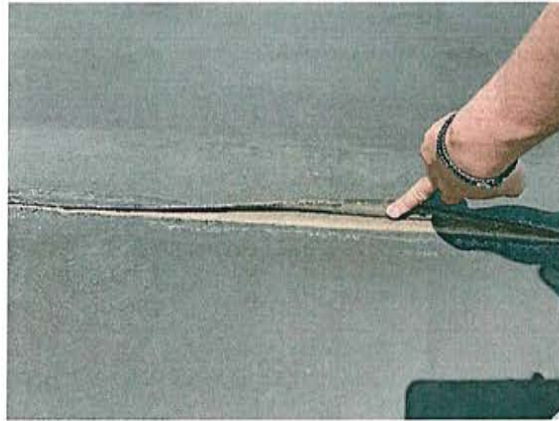
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## Photographs



Open patch.



Open Seam.



Failing Seam.



Damaged counter flashing.



Debris.



Open patch.

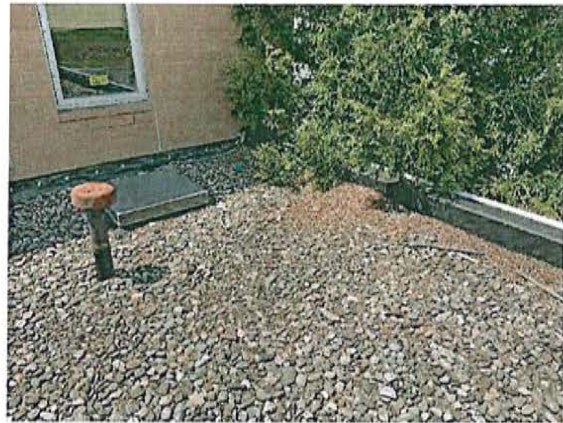
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## Photographs



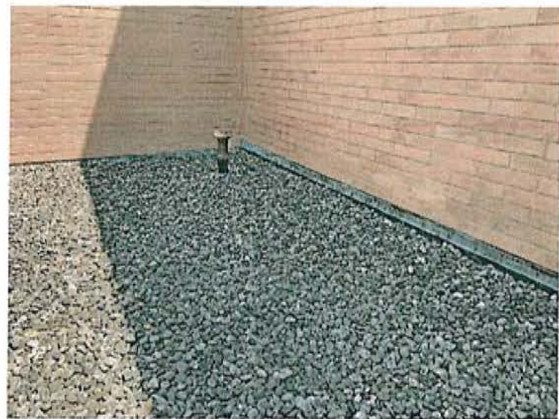
Debris.



Debris.



Open patches.



Damaged counter flashing.



Debris.



Damaged counter flashing.

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## Building Overview:



### Overview Measurements

Roof section A	16,000 Ft <sup>2</sup>
Roof section B	8,000 Ft <sup>2</sup>
Roof section C	18,000 Ft <sup>2</sup>
Roof section D	13,500 Ft <sup>2</sup>
Roof section E	500 Ft <sup>2</sup>
Total Square Feet	56,000 Ft <sup>2</sup>

Roof section 7	14,900 Ft <sup>2</sup>
Roof section 8	1,400 Ft <sup>2</sup>
Roof section 9	14,680 Ft <sup>2</sup>
Roof section 10	2,780 Ft <sup>2</sup>
Roof section 11	8,800 Ft <sup>2</sup>
Roof section 12	2,750 Ft <sup>2</sup>

Total square feet      100,580 Ft<sup>2</sup>

**Yellow = Potentially Restorable**

**Red= Replaceable**

**Complete Total Ft<sup>2</sup> = 56,000 Ft<sup>2</sup>**







## Recommendations

- It is recommended that all active leaks be repaired to provide a dry environment.
- Penetrations, base flashings, units, drain details etc. with failures should be cleaned, patched, and sealed with proper materials and methods.
- Cuts, tears, and pinholes should be sealed.
- All debris and vegetation should be cleared from the roof.
- All drains should be cleared of debris.
- Failing repairs recommend be ripped off and repaired.

