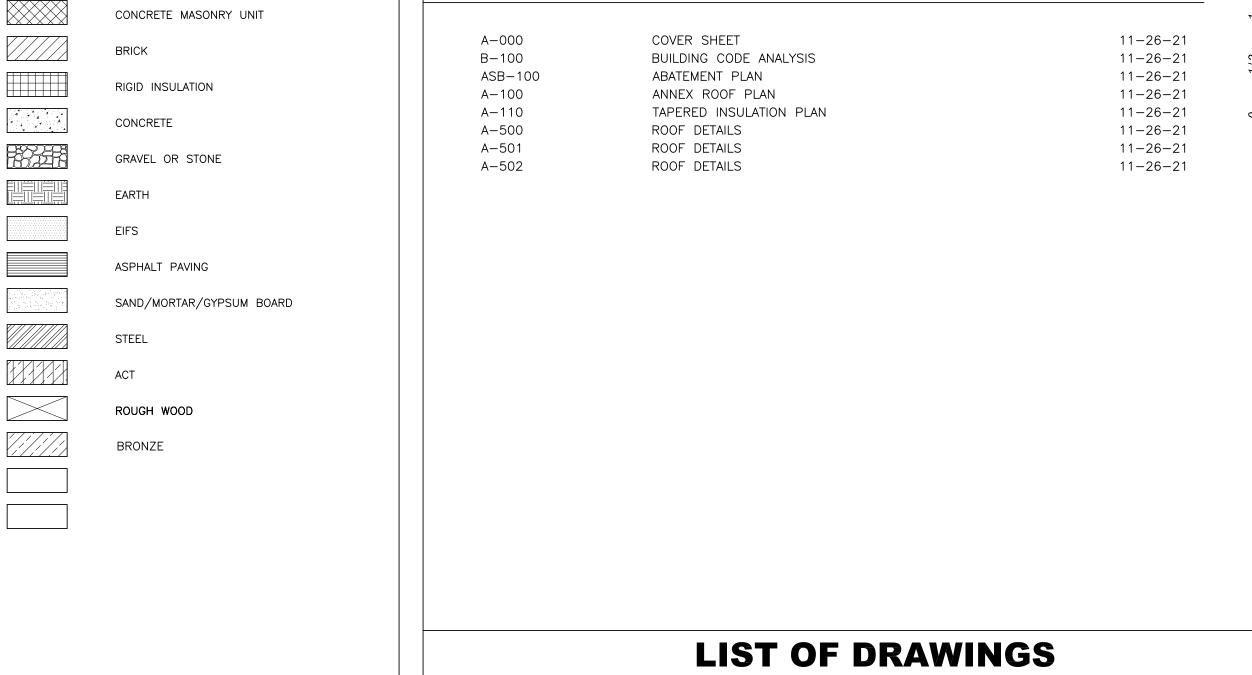
NORTH ROCKLAND HIGH SCHOOL ANNEX ROOF REPLACEMENT

NORTH ROCKLAND HIGH SCHOOL **106 HAMMOND ROAD** THIELLS, NEW YORK 10984 SED NO. 50-02-01-06-0-016-032

OWNER: North Rockland Central School District 65 Chapel St Garnerville, NY 10923

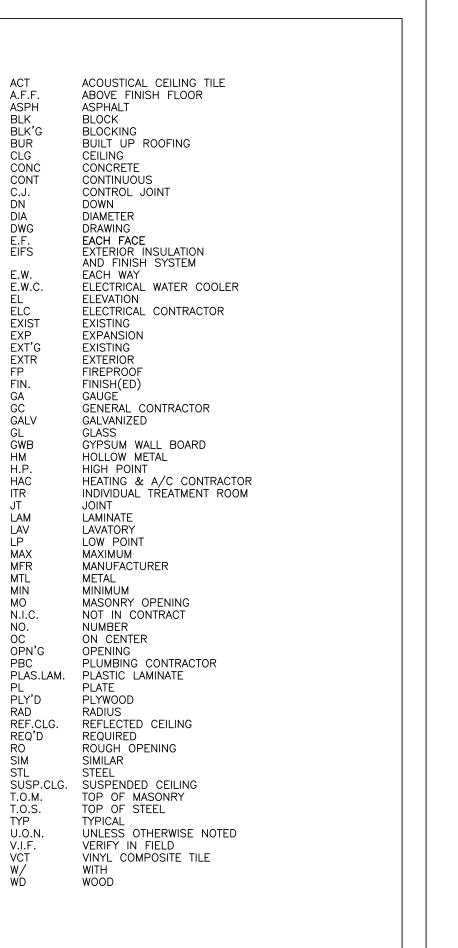
ARCHITECT: MICHAEL SHILALE ARCHITECTS, LLP 140 Park Avenue New City, NY 10956



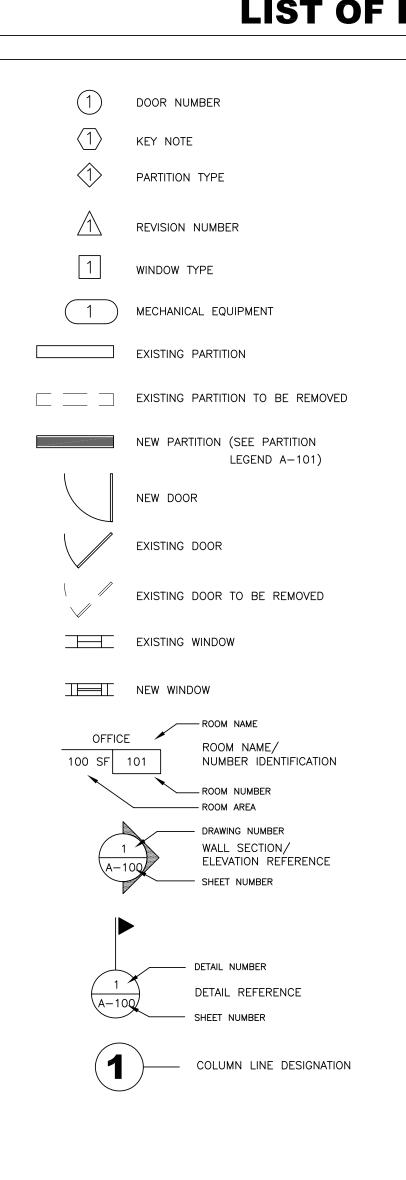
DRAWING TITLE

DRAWING No.

MATERIALS LEGEND



ABBREVIATIONS



SYMBOLS LEGEND

G.C. TO VERIFY ALL DIMENSIONS IN THE FIELD AND IS TO NOTIFY ARCHITECT

IF THERE ARE ANY DISCREPANCIES

GENERAL NOTES

ALT. NO. 1: HS ANNEX GYM ROOF REPLACEMENT (SEE ALTERNATE ROOFING AREAS DRAWING A-100)INCLUDE ABATEMENT FOR THIS ROOF SURFACE ANNEX GYM 1-STORY ROOF REPLACEMENT AND MASONRY RECONSTRUCTION(SEE ALTERNATE ROOFING AREAS DRAWING A-100) INCLUDE ABATEMENT FOR THIS ROOF

SURFACE

ALT NO. 3: HS ANNEX GYM STEAM ABSORPTION ROOFTOP COOLING TOWER REMOVAL.

ALT NO. 4: REPLACE ROOF DRAIN BOWL AND STRAINER AND 25' OF PIPE/INSULATION. PROVIDE PRICE PER DRAIN. SEE DETAIL 7/A-500 AND SPECIFICATION SECTION 221423.

ALT NO. 5: PROVIDE RETRO-FIT ROOF DRAIN AND REPLACE 25' OF PIPE/INSULATION AT EXISTING LOCATION. PATCH/REPAIR EXT'G CEILING BELOW. PROVIDE PRICE PER DRAIN. SEE DETAIL 7/A-500 AND SPECIFICATION SECTION 221423

ALLOWANCE NO. 1: INCLUDE AN ALLOWANCE FOR \$10,000 FOR TESTING AND ASBESTOS MONITORING.

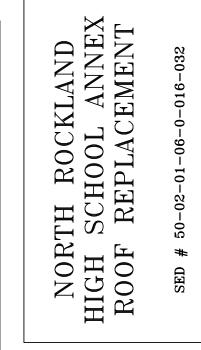
ALTERNATES/ALLOWANCES

MASONRY REPOINTING. PROVIDE UNIT PRICE PER FACE SQUARE FOOT OF BRICK. SEE DETAIL 8/A-502 AND SPECIFICATION SECTION 040120.64.

UNIT PRICES NO. 2: MASONRY REPAIR. PROVIDE UNIT PRICE PER SQUARE FOOT. SEE DETAIL 9/A-502 AND SPECIFICATION SECTION 040120.63

UNIT PRICES NO. 3: PROVIDE A PRICE TO ADD OR REMOVE 10'-0" OF ROOF DRAIN AND PIPE INSULATION TO AMOUNTS INCLUDED IN THE BASE BID, ALTERNATE NO. 4 AND

UNIT PRICES



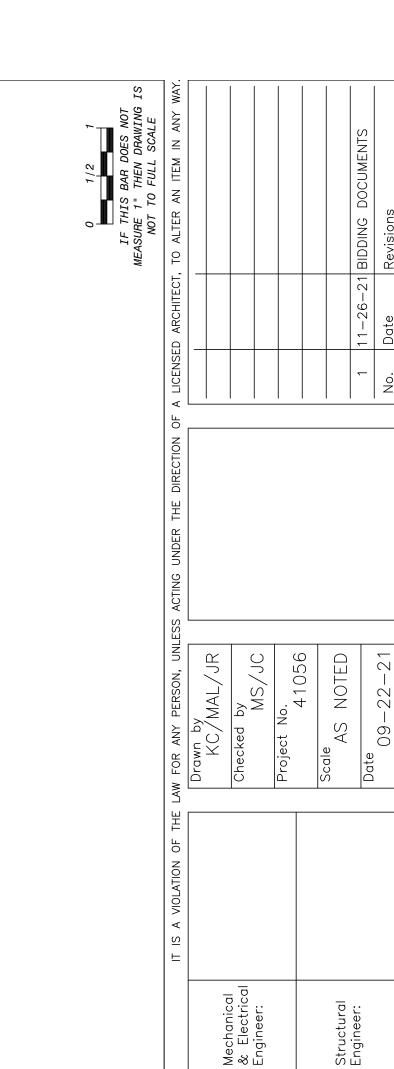


COVER SHEET

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	2020 EXISTING BUILDING CO	ODE OF NEW YORK STATE					
	BUILDING COD	E SUMMARY					
Owner:	North Rockland School District	Date:	7/9/2021				
Project Name:	High School Annex Roof Replacement	Location					
Project Name. Project	перисенен	Architect of					
Number:	41056	Record	MSA				
	106 Hammond Road, Thiells						
Project Address:	NY 10984 APPLICABLE ORDINANCE	S CODES & STANDARD					
Building Code	APPLICABLE ORDINANCES, CODES & STANDARD 2020 Building Code of New York State						
	2020 Existing Building Code State of New York						
Fire/Life Safety	2020 Fire Code of New York Sta	te					
Accessible Code Energy Code	ICC/ANSI A117.1 -2009 2020 Energy Conservation Cons	truction Code of New York	· State				
Plumbing Code	2020 Building Code of New York						
Electric Code	National Electrical Code (NFPA	•					
Mechanical Code	2020 Building Code of New York XISTING BUILDING CODE: CHAPTER	· ·	ATION				
SECTION 101	GENERAL	A I SCOPE AND ADMINISTRA	ATION				
	This code shall apply to the repair	·	•				
101 4 A	relocation of existing buildings, re	egardless of occupancy, sub	ect to the criteria				
	of Sections 101.4.1 and 101.4.2. BUILDING CODE: CHAPTER 3 PROV	/ISIONS FOR ALL COMPLIAN	ICE METHODS				
	The repair, alteration, change of o						
301.1 General.	buildings shall comply with Section	• • • • • • • • • • • • • • • • • • • •	and of all existing				
	The alteration, addition or change		g buildings shall comply				
301.3 Alteration,	with one of the methods listed in	•	•				
addition or change of occupancy.	the applicant. Sections 301.3.1 the with each other.	rough 301.3.3 shall not be a	pplied in com-bination				
	TING BUILDING CODE: CHAPTER 5 F	PRESCRIPTIVE COMPLIANCE	METHOD				
	The provisions of this chapter sha	III control the alteration, ad	dition and change of				
	occupancy of existing buildings a		-				
501.1 Scope.	structures as referenced in Section	n 301.3.1.					
501.1.1 Compliance	Alterations, additions and change	es of occupancy to existing b	ouildings and structures				
with other	shall comply with the provisions	of this chapter or with one o	of the methods				
methods	provided in Section 301.3. EXISTING BUILDING CODE: CHAPT	ER 6 CLASSIFICATION OF WO	ORK				
SECTION 601	GENERAL						
	oter 2, shall be identified or	the construction					
601.2 Work area.	documents.						
SECTION 602	ALTERATION—LEVEL 1 Level 1 alterations include the rei	moval and replacement or t	the covering of existing				
	materials, elements, equipment,	•	-				
602.1 Scope	· ·	equipment, or fixtures that serve the same purpose.					
	Level 1 alterations shall comply with the provisions of Chapter 7.						
602.2 Application	. ,	•					
602.2 Application SECTION 701	EXISTING BUILDING CODE: CHA	•					
	EXISTING BUILDING CODE: CHA	PTER 7 ALTERATIONS LEVEL	.1				
SECTION 701	EXISTING BUILDING CODE: CHA GENERAL Level 1 alterations as described in this chapter. Level 1 alterations to	PTER 7 ALTERATIONS LEVEL n Section 503 shall comply we historic buildings shall cor	.1 vith the requirements of				
	EXISTING BUILDING CODE: CHA GENERAL Level 1 alterations as described in	PTER 7 ALTERATIONS LEVEL n Section 503 shall comply we historic buildings shall cor	.1 vith the requirements of				
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701.1 Scope 701.2 Conformance SECTION 705 705.1 General. 705.3 Roof replacement SECTION 706 705.1 General of roofing or replacement of roofing or replacement of equipment	EXISTING BUILDING CODE: CHA GENERAL Level 1 alterations as described in this chapter. Level 1 alterations to except as modified in Chapter 12. An existing building or portion the becomes less safe than its existing REROOFING Materials and methods of application roof covering shall comply with the of New York State. Exception: 1. Roof replacement of shall not be required to meet the ter unit vertical in 12 units horizon Building Code of New York State of Exception: 2. Recovering or replace to meet the requirement for second Section 1502 of the Building Code positive roof drain-age. For the pure drainage or scupper systems requiremented in accordance with Section Roof replacement shall include the down to the roof deck. STRUCTURAL Any existing gravity load-carrying an increase in design dead, live of than 5 percent shall be replaced of required by the Building Code of	PTER 7 ALTERATIONS LEVEL a Section 503 shall comply we obtain the second shall not be altered so a geometric solution. tion used for recovering or the requirements of Chapter roof recover of existing loominimum design slope requirements (2-percent slope) in Secondary (emergency overflowers) of New York State for roof surposes of this exception, existed in accordance with this downstream of the Building Coomer removal of all existing lands are removal of all existing lands as structural element for white removal of all existing lands are removal of all existing lands as needed to carried as needed to carried as needed to carried as needed to carried the section of the sec	with the requirements of apply with this chapter, with that the building replacing an existing replacing an existing replacing an existing replacing an existing code w-slope roof coverings quirement of one-quarction 1507 of the ve roof drain-age. In shall not be required w) drains or scuppers in sthat provide for existing sec-ondary is code shall not be uppers designed and the of New York State. It is a provide for existing sec-ondary is code shall not be uppers designed and the of New York State. It is a provide for existing sec-ondary is code shall not be uppers designed and the of New York State. It is a provide for existing sec-ondary is code shall not be uppers designed and the of New York State. It is a provide for existing sec-ondary is code of the gravity loads				
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SECTION 1015	GUARDS					
	Guards shall be provided where various components that require service are					
	located within 10 feet (3048 mm) of a roof edge or open side of a walking surface					
1015.6 Mechanical	,					
equipment,	roof or grade below. The guard shall extend not less than 30 inches (762 mm)					
systems and	beyond each end of such components. The guard shall be constructed so as to					
devices.	prevent the passage of a sphere 21 inches (533 mm) in diameter.					
	2020 ENERGY CONSERV					
SECTION C503	ALTERATIONS					
	Alterations to any building or s	structure shall comply	with the requirements of the			
	· · ·		·			
	code for new construction. Alterations shall be such that the existing building or structure is no less conforming to the provisions of this code than the existing					
	building or structure was prior to the alteration. Alterations to an existing building,					
	building system or portion thereof shall conform to the provisions of this code as					
	those provisions relate to new construction without requiring the unaltered					
	portions of the existing building or building system to comply with this code.					
C503.1 General	Alterations shall not create an unsafe or hazardous condition or overload existing					
	Exception: The following alterations need not comply with the requirements for					
	new construction, provided the energy use of the building is not increased:					
	5. Roof recover.					
	Roof replacements shall comply with Table C402.1.3 or C402.1.4 where the existing					
C503.3.1 Roof	roof assembly is part of the building thermal envelope and contains insulation					
replacement	entirely above the roof deck.					
	2015 ENERGY CONSERV	ATION CODE - CHA	PTER 4			
Section 402	Building Envelope Requirements					
Table 402.1.3	Building Envelope Requirements - Opaque Assemblies					
	Climate Zone 5	Minimum R-Value				
	Insulation Entirely Above	R-30 ci				



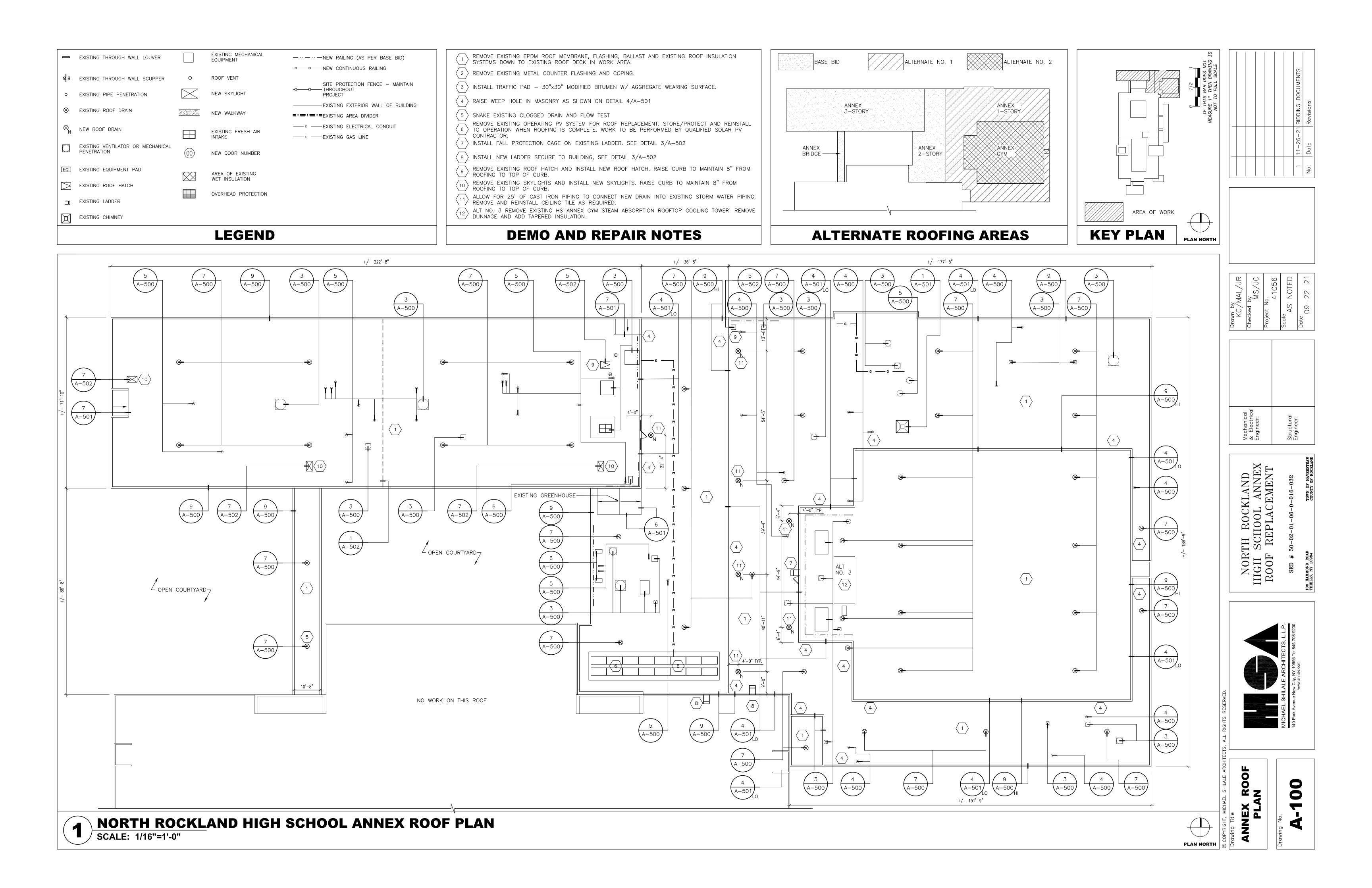
NORTH ROCKLAND
HIGH SCHOOL ANNEX
ROOF REPLACEMENT
SED # 50-02-01-06-0-016-032
THIELS, NY 10984
THIELS, NY 10984

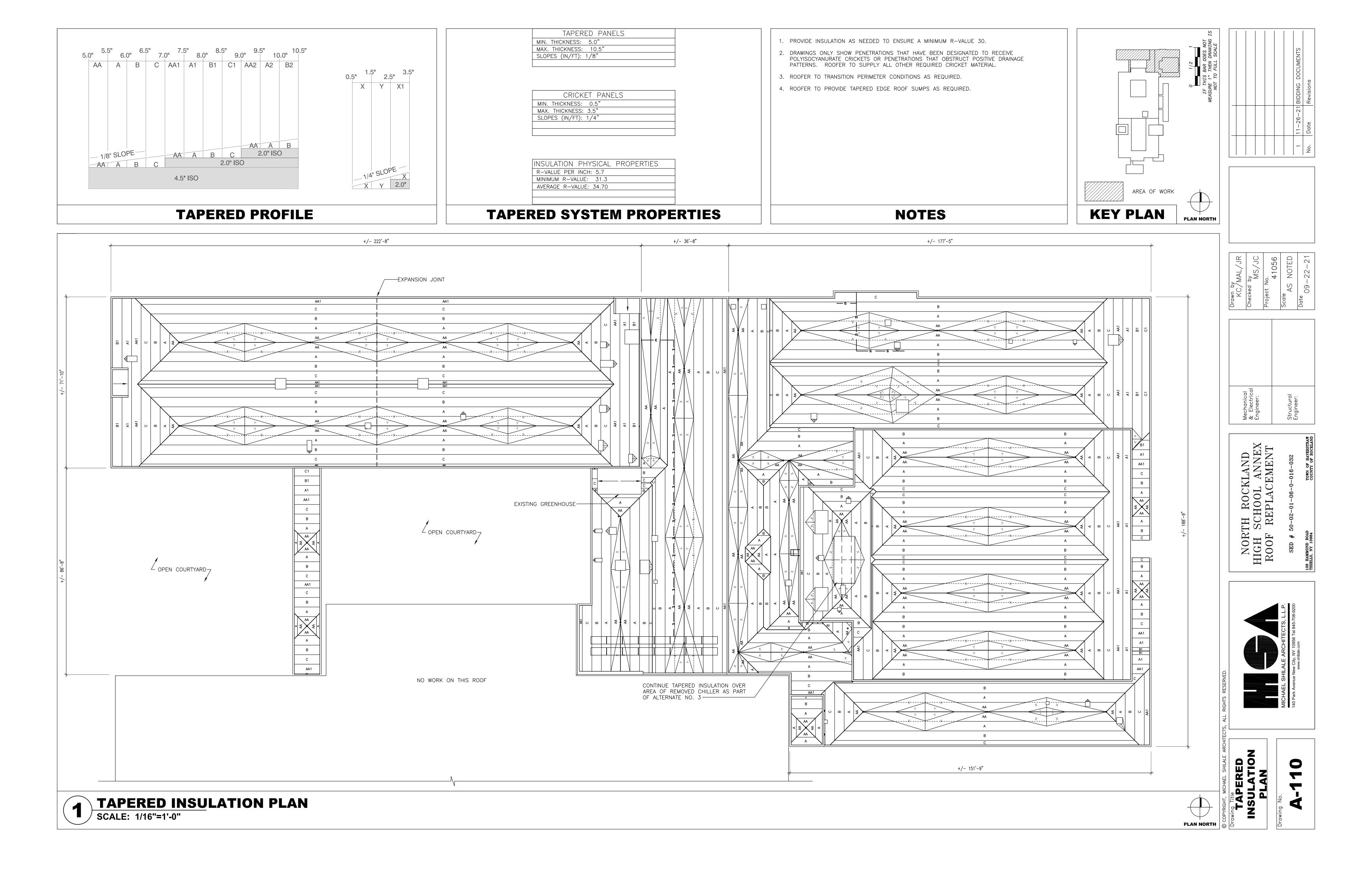
TOWN OF HAVERSTRAW COUNTY OF ROCKLAND

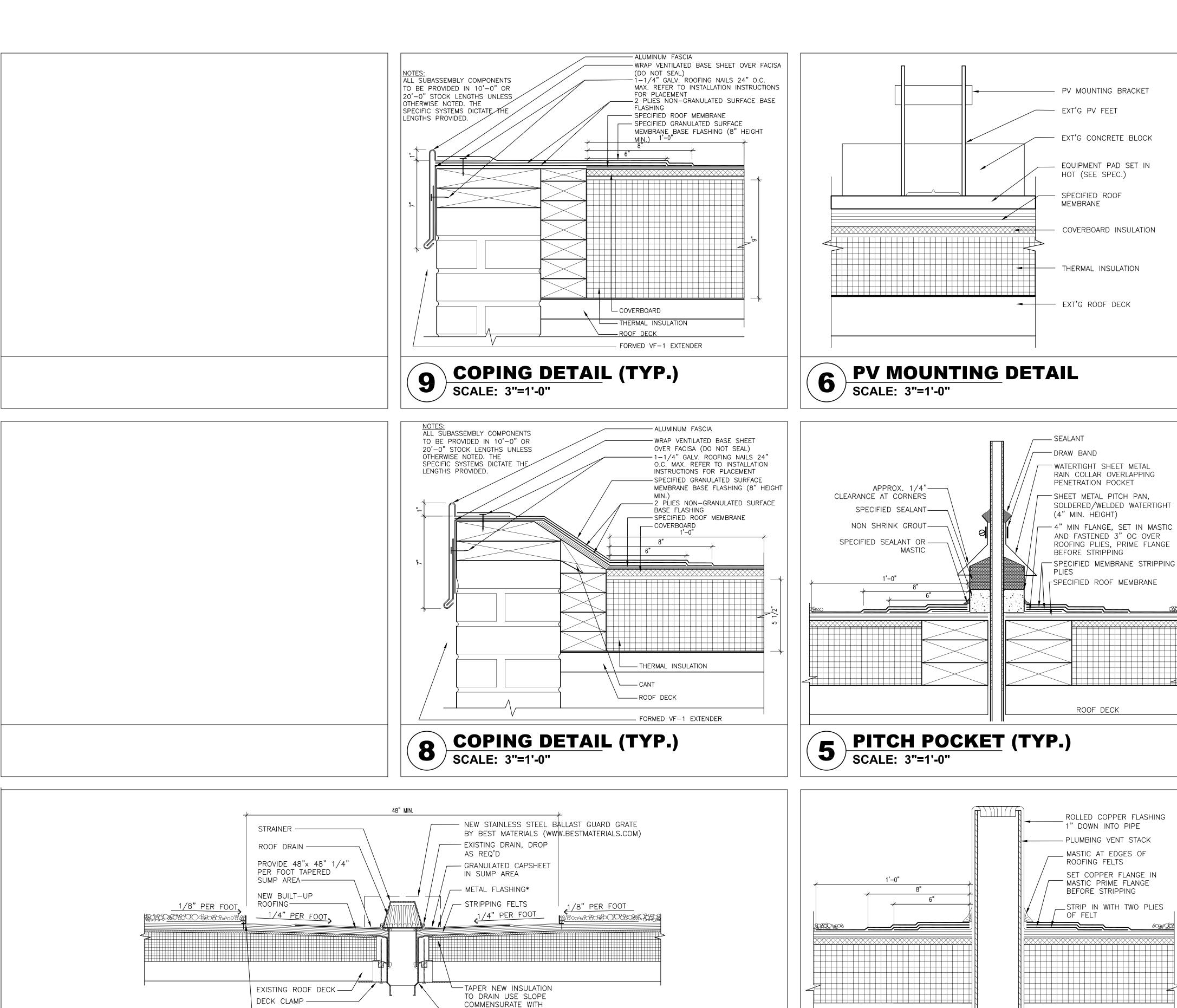


ing No. **B-100**

Drawing Title
BUILDING CODE
ANALYSIS







-NEW OR EXT'G ROOF DRAIN AS

NOTED ON A-100

 $^{f L}$ 2"x2" V-NOTCHED CONTINUOUS GRAVEL

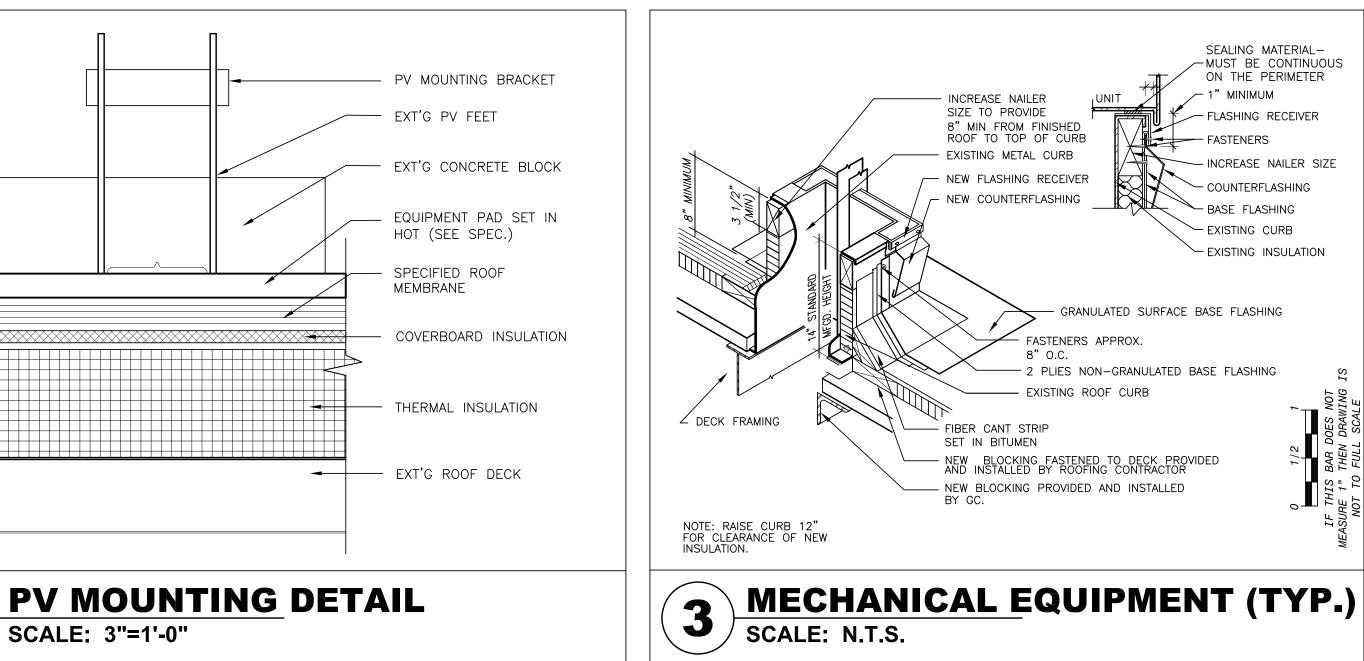
*MINIMUM 30" SQUARE 4-LB LEAD OR 16-OZ. SOFT COPPER FLASHING SET ON FINISHED ROOF FELTS IN MASTIC. PRIME TOP SURFACE BEFORE STRIPPING.

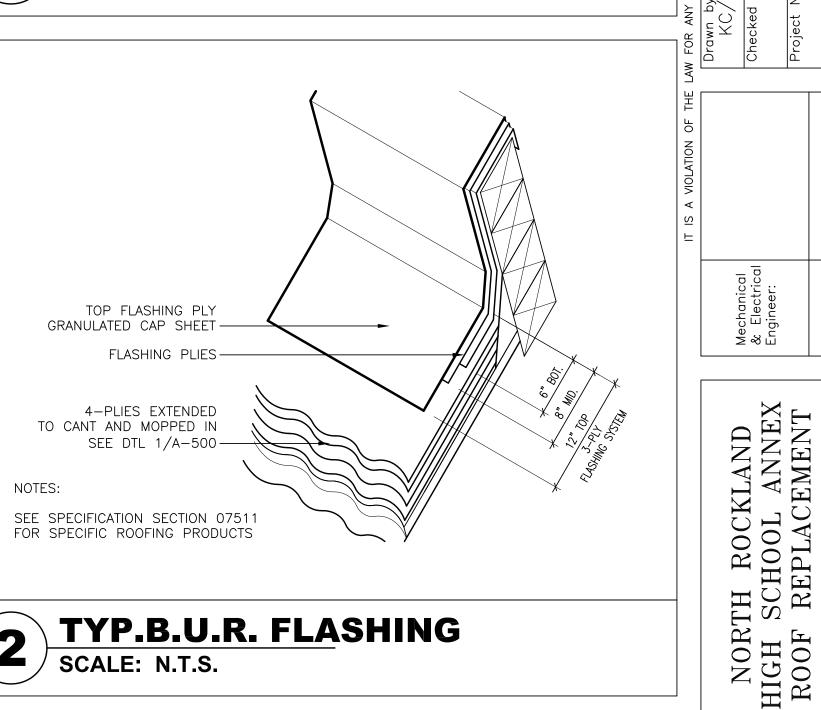
STOP 4 SIDES (TYP.)

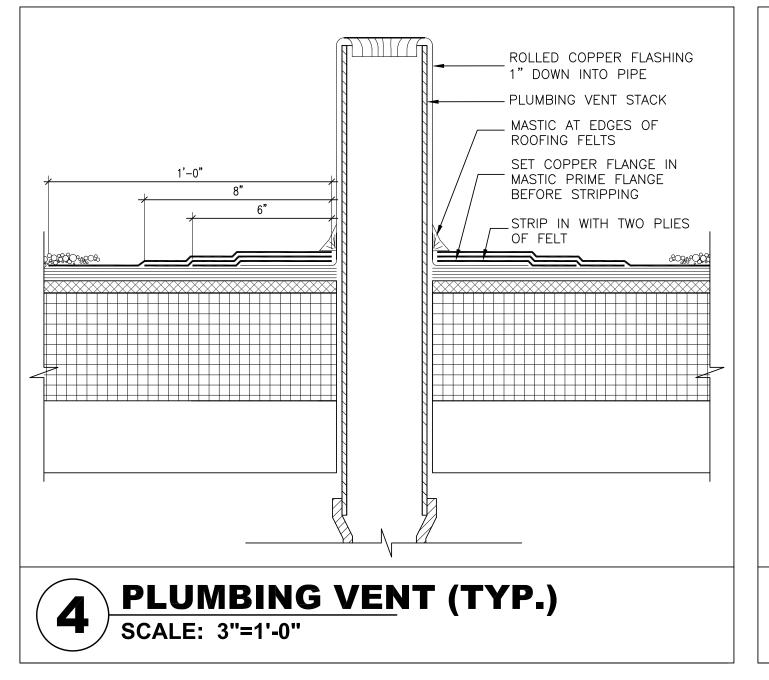
MEMBRANE PLIES, METAL FLASHING, AND FLASH-IN PLIES EXTEND UNDER CLAMPING RING.

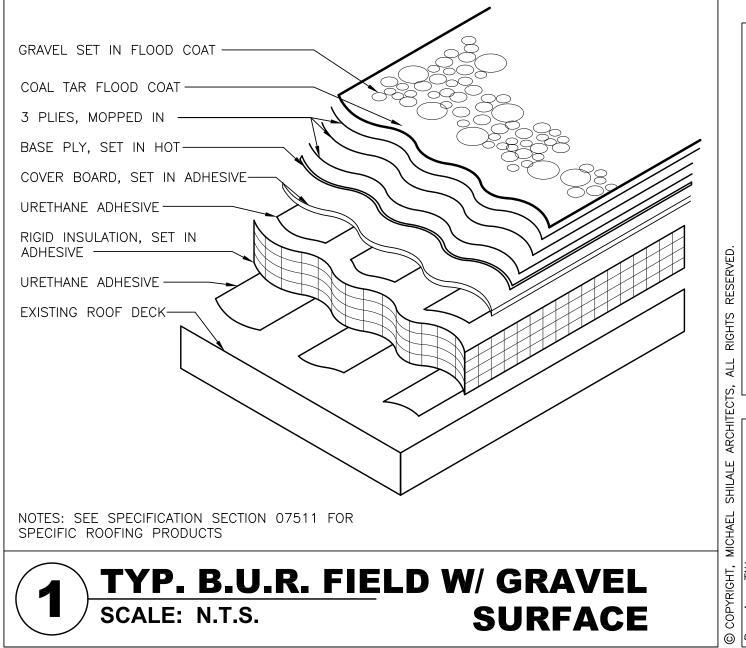
ROOF DRAIN (TYP.)
SCALE: 1-1/2" = 1'-0"

3. STRIPPING FELTS—EXTEND 4" AND 6" BEYOND EDGE OF FLASHING SHEET, BUT NOT BEYOND EDGE OF SUMP.
4. PROVIDE V—NOTCHED ALUMINUM GRAVEL STOP CONTINOUS AROUND SUMP.



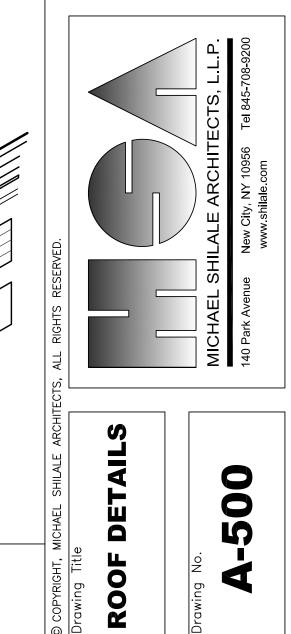


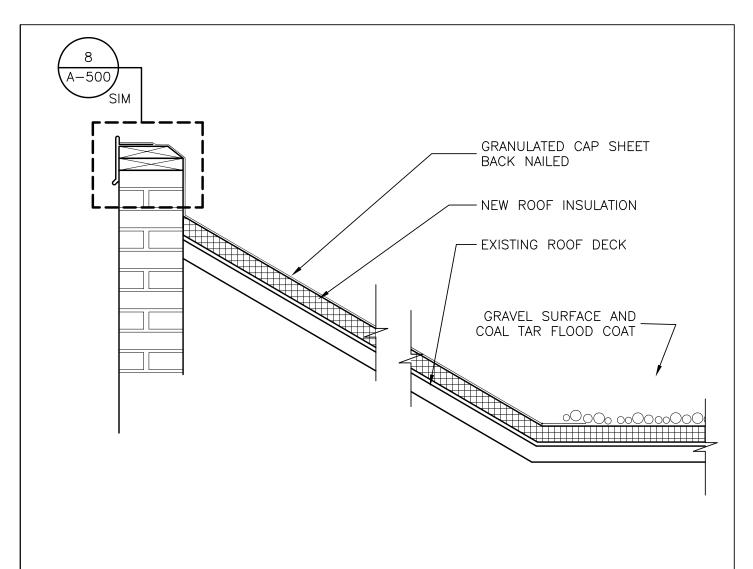




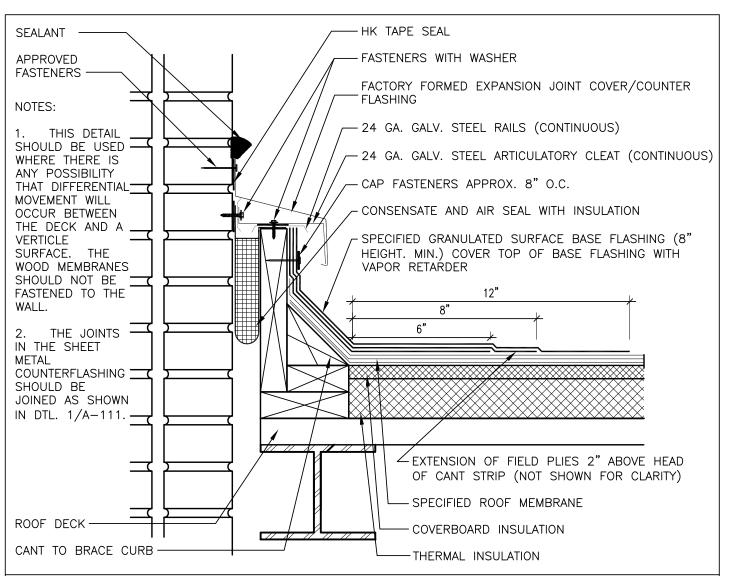
TYP.B.U.R. FLASHING

SCALE: N.T.S.

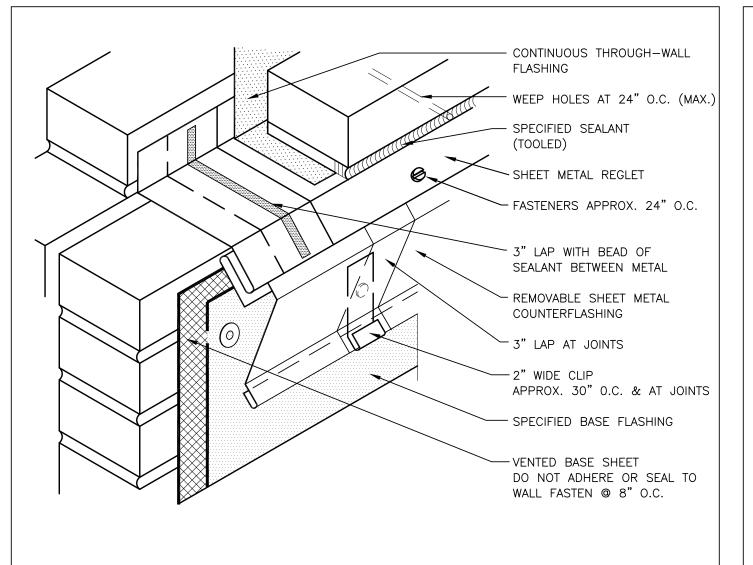




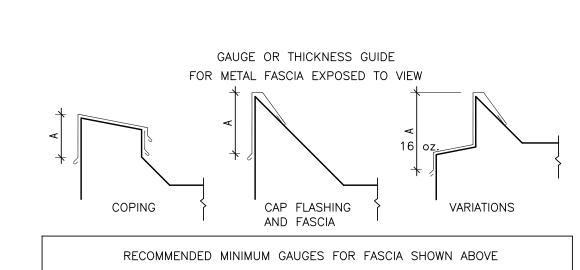








3 THRU WALL REGLET & COUNTER FLASHING



RECOMMENDED MINIMUM GAUGES FOR FASCIA SHOWN ABOVE						
EXPOSED FACE WITHOUT BREAKS "A" DIMENSION	CLEAT REQUIRED	GALVANIZED IRON	COLD ROLLED COPPER	ALUMINUM 3003-H14		
UP TO 4" FACE	NO	26 GA.	16 oz.	.032" (20 GA.)		
4" TO 6" FACE	YES	26 GA.	16 oz.	.040" (18 GA.)		
6" TO 8" FACE	YES	24 GA.		.050" (16 GA.)		
8" TO 10" FACE	YES	22 GA.	20 oz.	.064" (14 GA.)		
10" TO 15" FACE	YES	20 GA.	ADD BRAKES TO STIFFEN	.080" (12 GA.)		
NOTE:				1		

1. WHEN USING THE ABOVE TABLE, OTHER ITEMS SHOULD BE CONSIDERED, SUCH AS FASTENING PATTERN. FOR INSTANCE, IF THE METAL CAN ONLY BE FASTENED AT 100' FOOT INTERVALS, A HEAVIER GAUGE METAL WOULD BE REQUIRED. ALL CLEATS SHALL BE CONTINUOUS AND OF SAME MATERIAL OF EQUAL OR GREATER THICKNESS THAN THE FASCIA METAL USED.

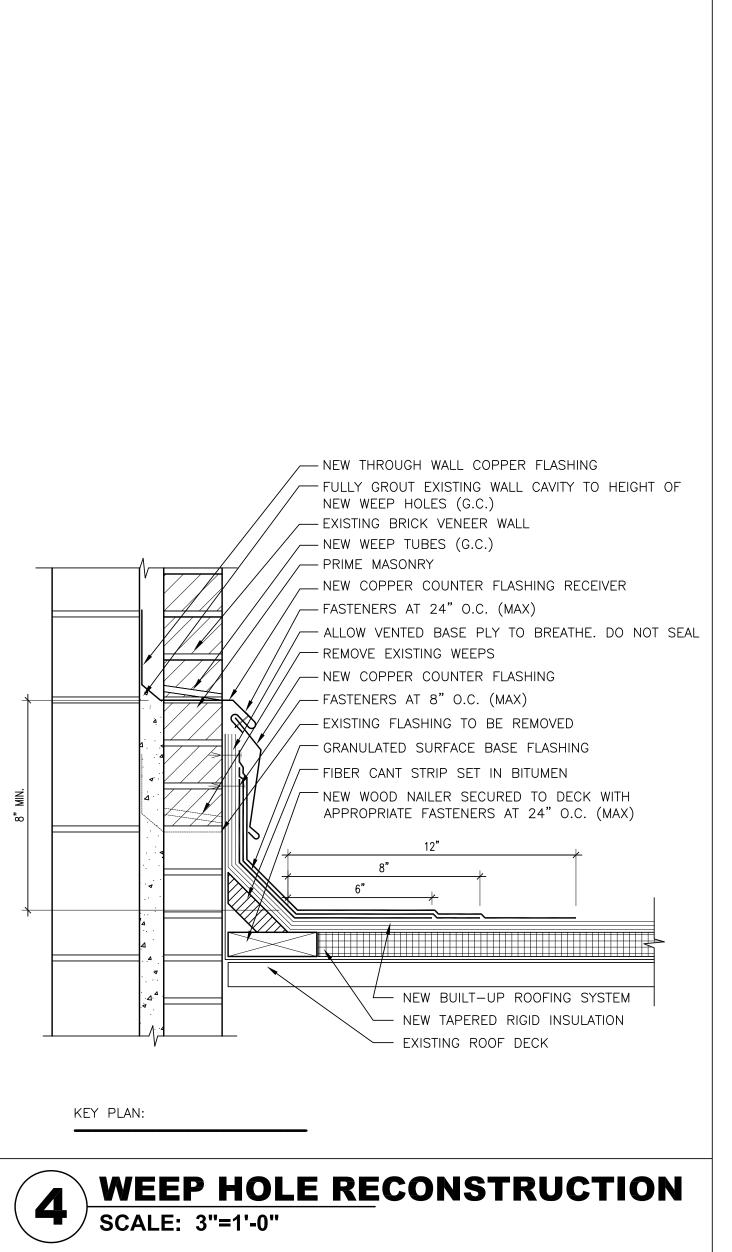
2 FASCIA THICKNESS SCALE: N.T.S.

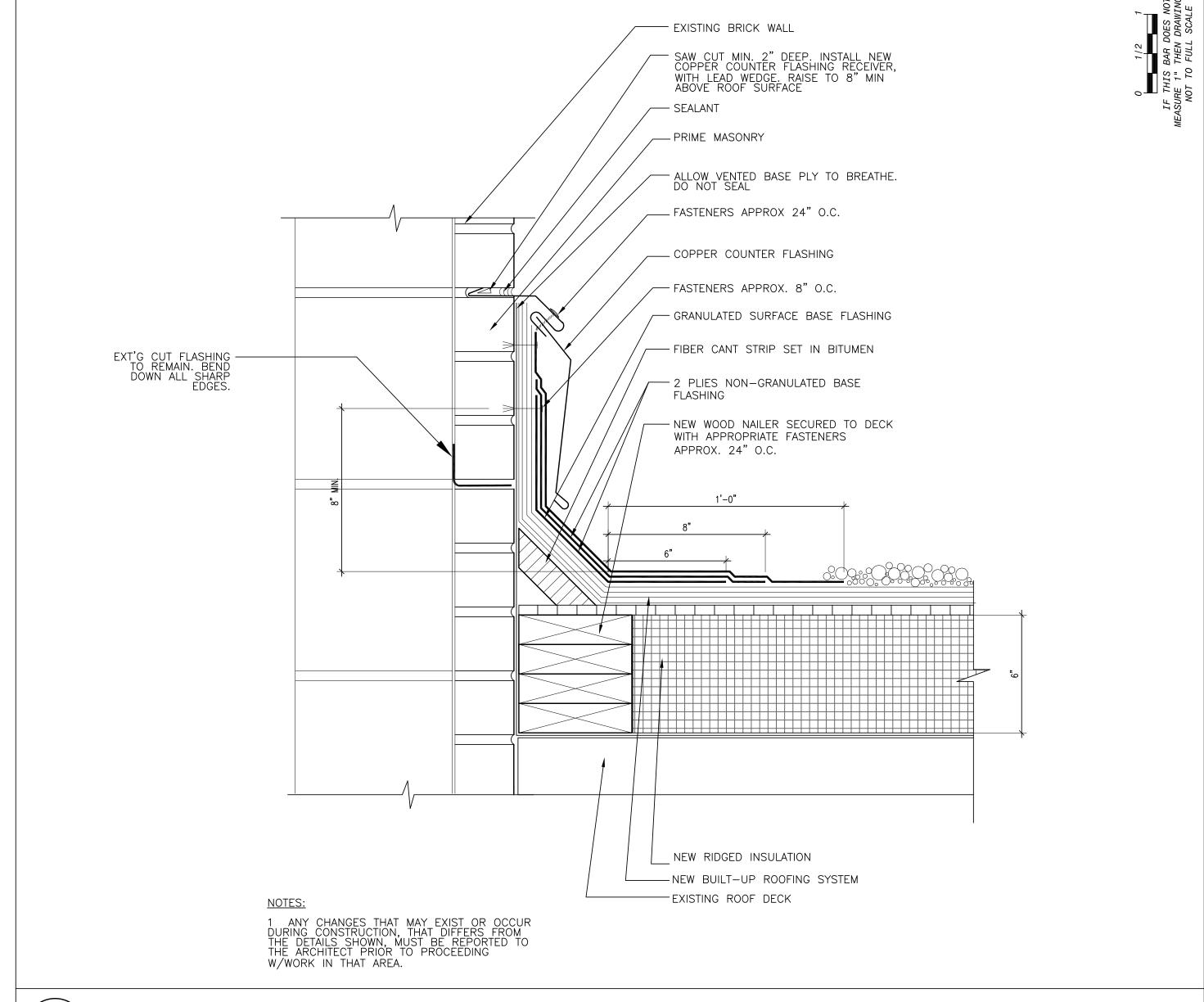
CONTINUOUS BEVELED SHIM EXISTING COPING TO BE REMOVED AND REUSED NEW WOOD NAILER CONTINUOUS CLEAT TERMINATION BAR AT 8" O.C. VERTICAL FIBER CANT STRIP SET IN BITUMEN GRANULATED SURFACE BASE FLASHING - NEW BUR ROOFING SYSTEM - NEW TAPERED RIGID INSULATION BAR __ EXISTING ROOF DECK NEW WOOD NAILER SECURED TO DECK WITH APPROPRIATE FASTENERS AT 24" OC



ROOFING PRODUCTS

NOTES: SEE SPECIFICATION 07511 FOR SPECIFIC





1 FLASHING AT WALL
SCALE: 3" = 1'-0"

TS, ALL RIGHTS RESERVED.

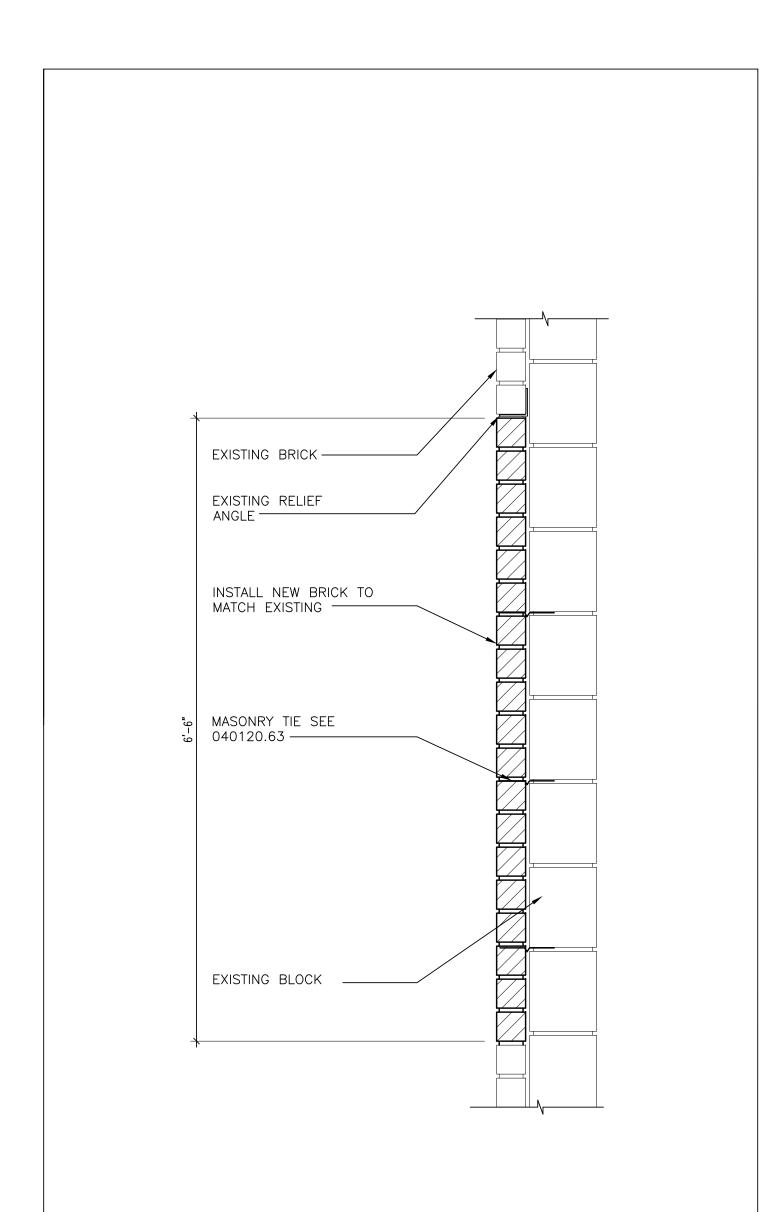
MICHAEL SHILALE ARCHITECTS, L.L.P.

NORTH ROCKLAND HIGH SCHOOL ANNEX ROOF REPLACEMENT

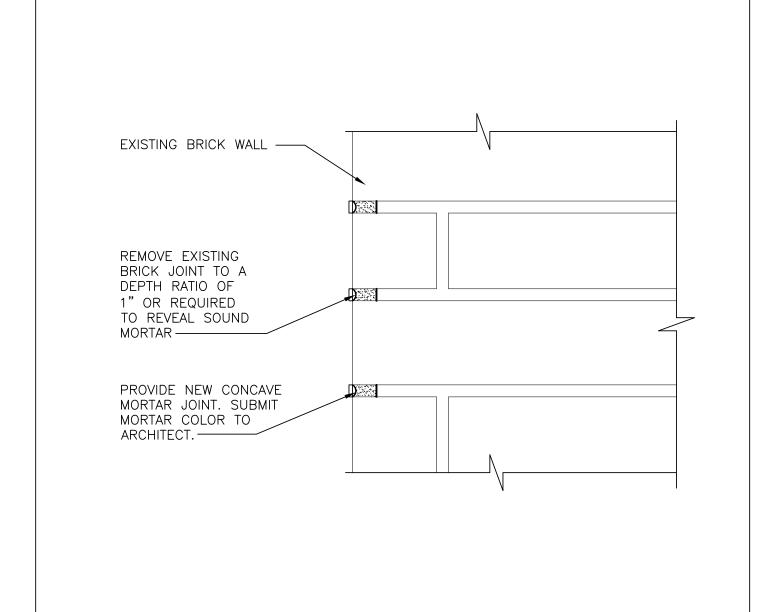
ROOF DETAILS

Drawing No.

A-501

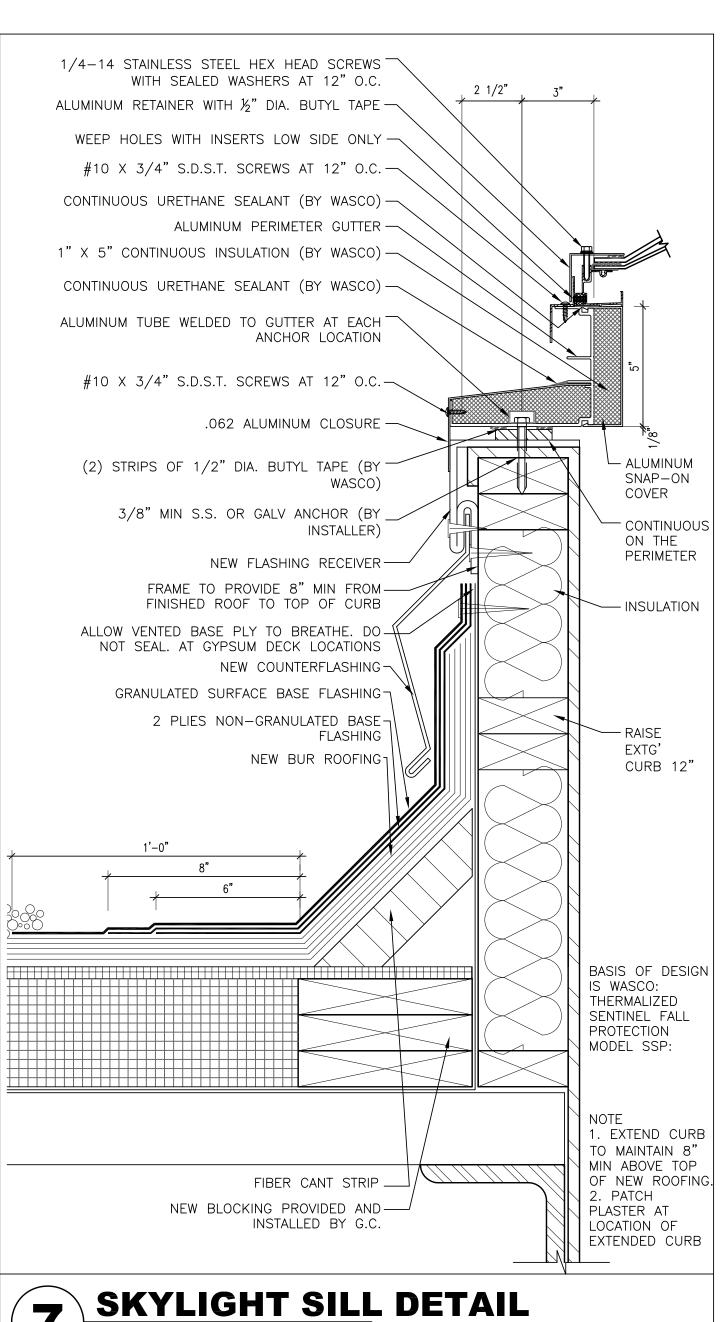




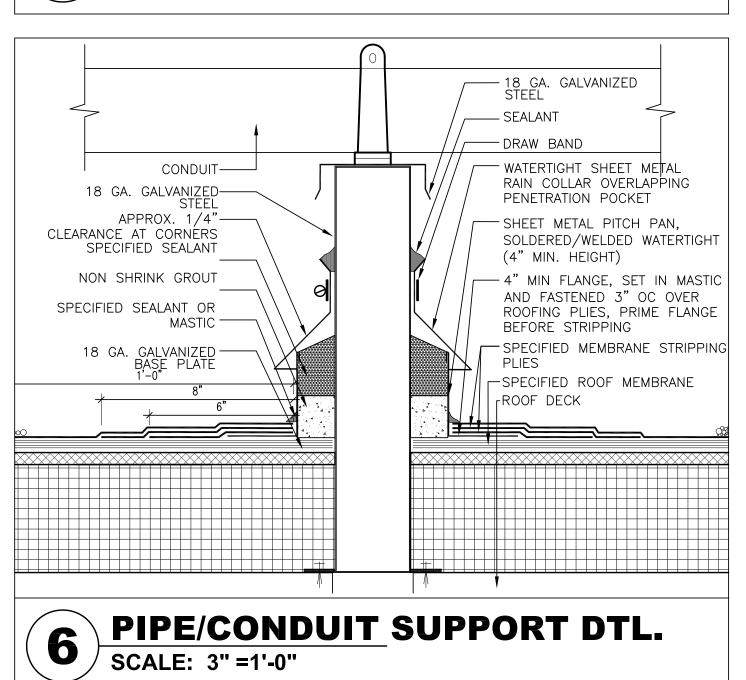


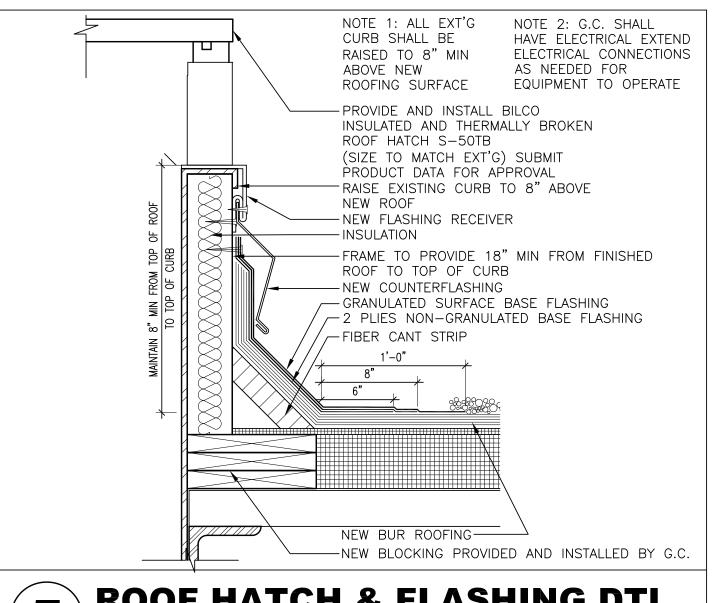
REPOINTING DETAIL

SCALE: 3" = 1'-0"

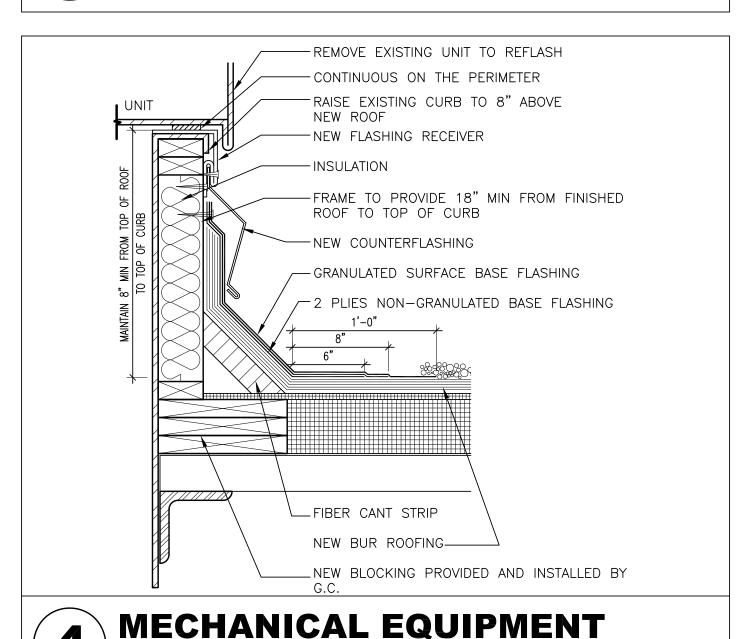




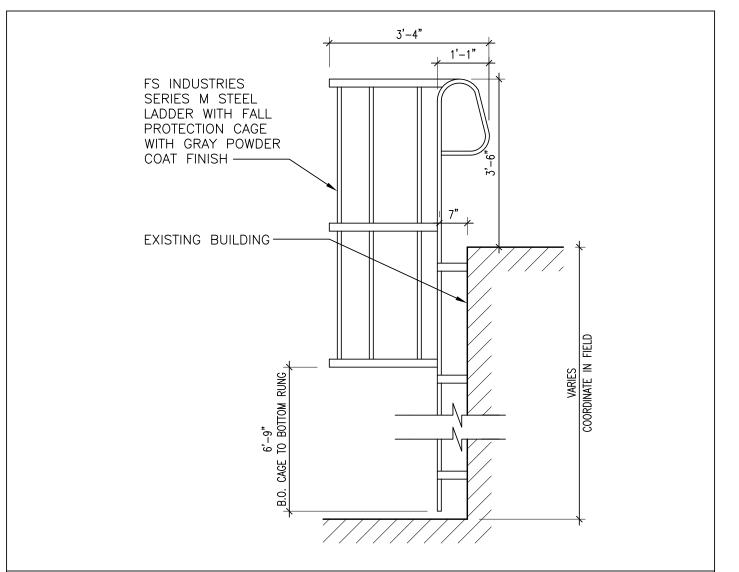




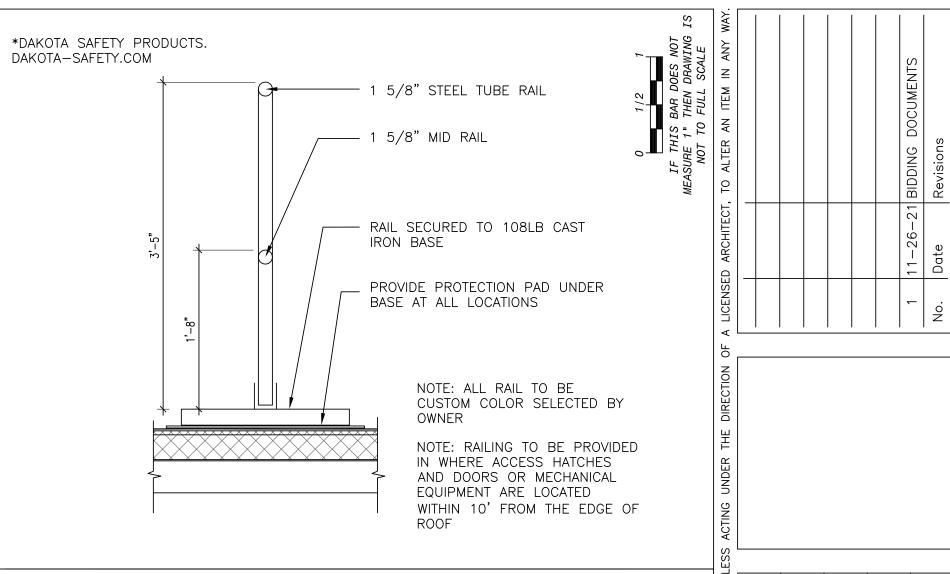
ROOF HATCH & FLASHING DTL. SCALE: 1-1/2"=1'-0"



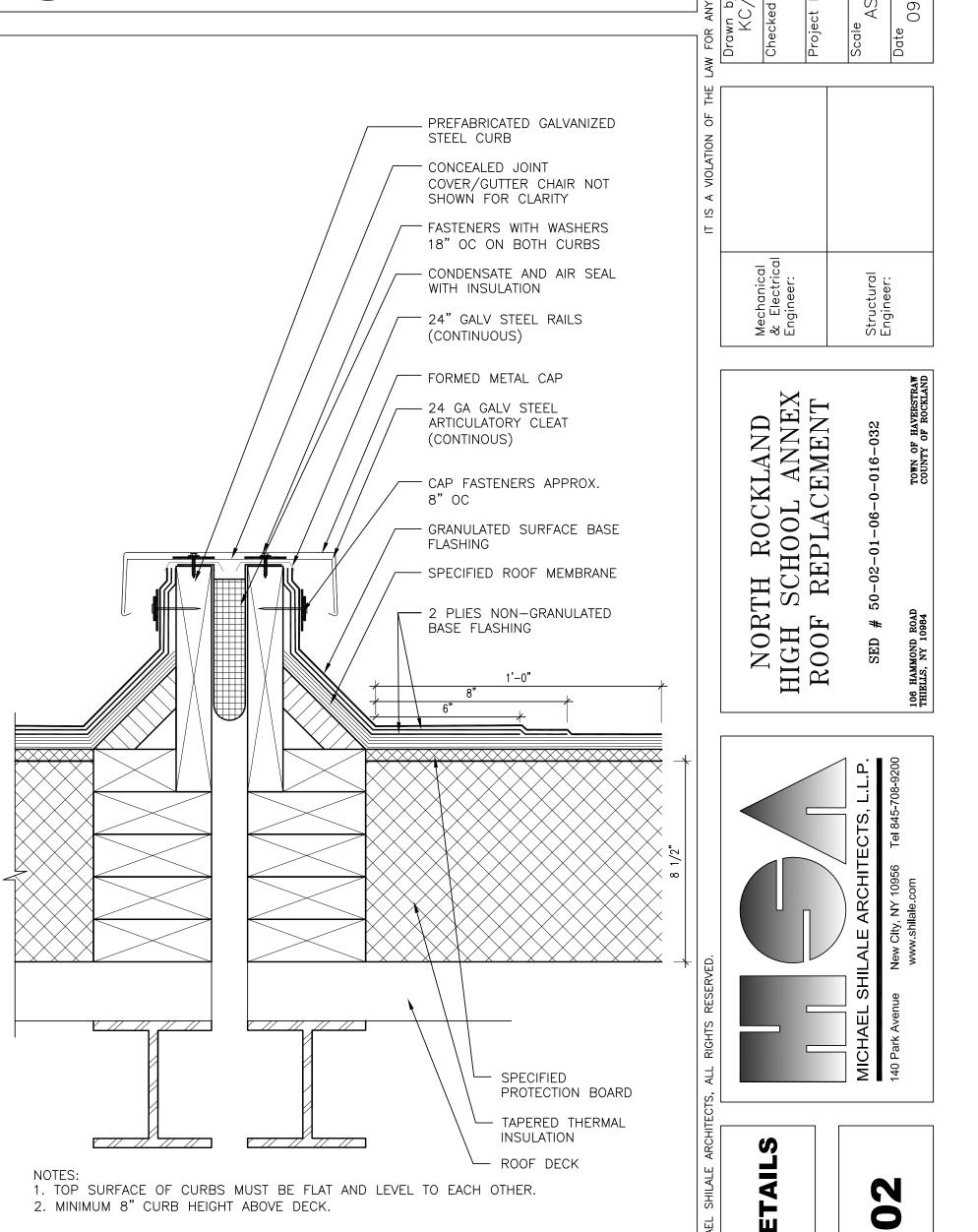
SCALE: 1 1/2"=1'-0"



SCALE: 1/2"=1'-0"



PROTECTION RAILING SCALE: 1"=1'-0"



EXPANSION JOINT DETAIL

SCALE: 3" = 1'-0"

5

ROOF

